



**Location**

961 & 967 South Park Street

**Project Name**

Barriques

**Applicant**

Dave Vogel/Rebecca Rodriguez &  
SSM Healthcare of Wisconsin/  
Todd Barnett - Barnett Architecture

**Existing Use**

Vacant commercial building and  
undeveloped lot

**Proposed Use**

Construct an outdoor eating  
area for a restaurant/coffeehouse/  
wine shop

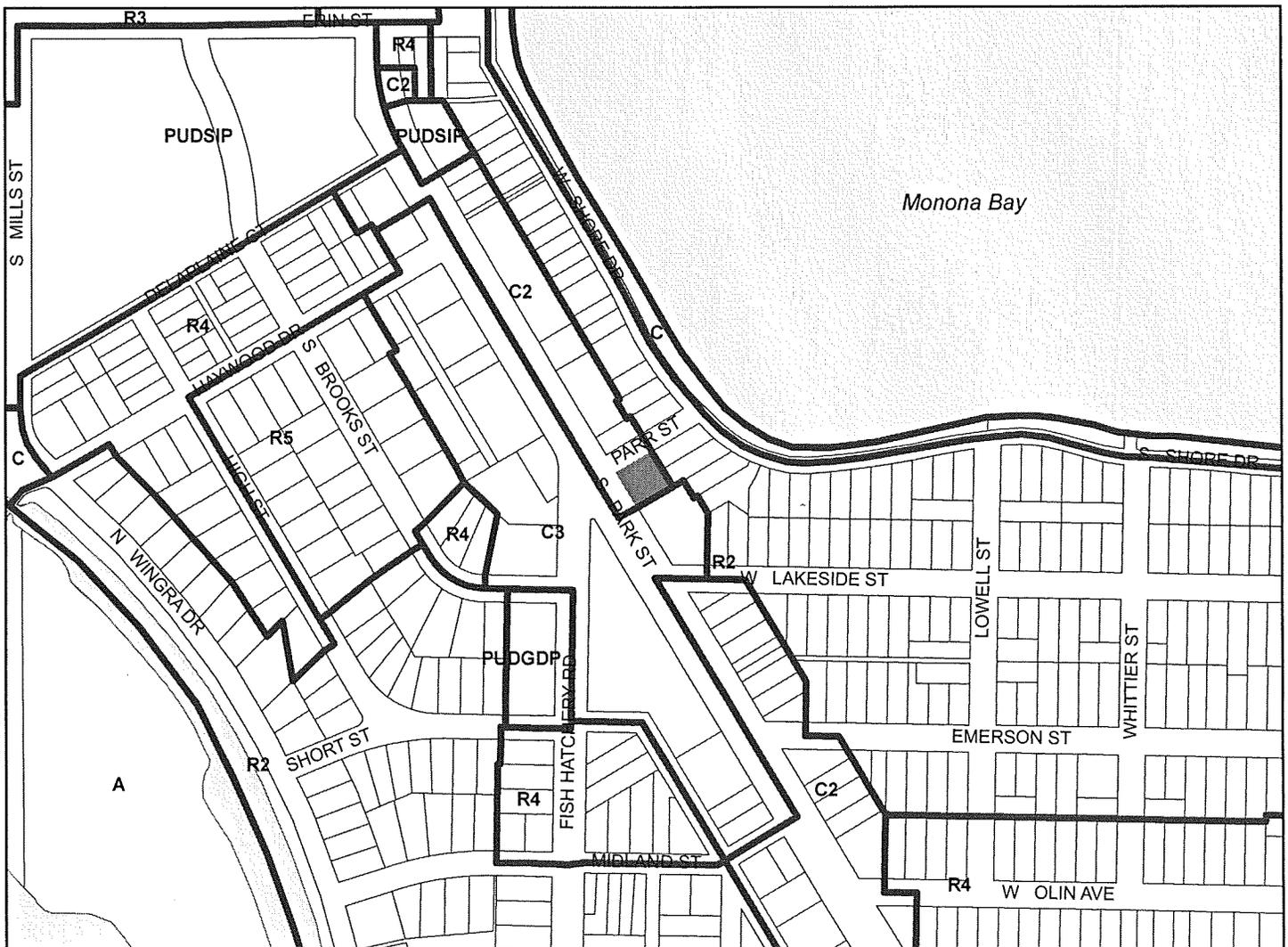
**Public Hearing Date**

Plan Commission

11 April 2011



For Questions Contact: Heather Stouder at: 266-5974 or [hstouder@cityofmadison.com](mailto:hstouder@cityofmadison.com) or City Planning at 266-4635



Scale : 1" = 400'





# LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed with the Subdivision Application.
- Before filing your application, please review the information regarding the **LOBBYING ORDINANCE** on the first page.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at [www.cityofmadison.com/planning/plan.html](http://www.cityofmadison.com/planning/plan.html)
- All Land Use Applications should be filed directly with the Zoning Administrator.

FOR OFFICE USE ONLY:	
Amt. Paid _____	Receipt No. _____
Date Received _____	
Received By _____	
Parcel No. _____	
Aldermanic District _____	
GQ _____	
Zoning District _____	
For Complete Submittal	
Application _____	Letter of Intent _____
IDUP _____	Legal Descript. _____
Plan Sets _____	Zoning Text _____
Alder Notification _____	Waiver _____
Ngbrhd. Assn Not. _____	Waiver _____
Date Sign Issued _____	

1. **Project Address:** 961 & 967 S. Park **Project Area in Acres:** .23  
**Project Title (if any):** BARRIGUES

2. **This is an application for:**

Zoning Map Amendment (check the appropriate box(es) in only one of the columns below)	
<input type="checkbox"/> <b>Rezoning to a Non-PUD or PCD Zoning Dist.:</b> Existing Zoning: _____ to _____ Proposed Zoning (ex: R1, R2T, C3): _____	<b>Rezoning to or Amendment of a PUD or PCD District:</b> <input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-GDP <input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-SIP <input type="checkbox"/> Amended Gen. Dev. <input type="checkbox"/> Amended Spec. Imp. Plan
<input checked="" type="checkbox"/> <b>Conditional Use</b>	<input type="checkbox"/> <b>Demolition Permit</b>
<input type="checkbox"/> <b>Other Requests (Specify):</b> _____	

3. **Applicant, Agent & Property Owner Information:**

Applicant's Name: FINN BERGE / Matt Weigandt Company: BARRIGUES  
 Street Address: 1831 Monroe St. City/State: Madison, WI Zip: 53711  
 Telephone: (608) 284-9463 Fax: (608) 284-9464 Email: finn@barriguesmarket.com  
 Project Contact Person: Todd Barnett Company: Barnett Architecture  
 Street Address: 118 North Breese Terrace City/State: Madison, WI Zip: 53726  
 Telephone: (608) 233-4538 Fax: ( ) Email: barnettarchitecture.com

9615 Park Property Owner (if not applicant): DAVE VOGEL & Rebecca Rodriguez  
 Street Address: 1009 N. Wingra Dr. City/State: Madison, WI Zip: 53715

4. **Project Information:**

Provide a brief description of the project and all proposed uses of the site:

Renovate existing building to a cafe @ 9615 Park w/ parking lot & patio @ 9675 Park.

Development Schedule: Commencement April, 2011 Completion July 2011

5. Required Submittals:

- Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
  - **7 copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
  - **7 copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
  - **1 copy** of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper
- Letter of Intent (12 copies):** describing this application in detail including, but not limited to: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor. For any application for rezoning, the description must be submitted as an electronic word document via CD or e-mail. For applications proposing rezoning to more than one district, a separate description of each district shall be submitted.
- Filing Fee: \$550** See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*
- Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or in an e-mail sent to [pcapplications@cityofmadison.com](mailto:pcapplications@cityofmadison.com). The e-mail shall include the name of the project and applicant. Applicants unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

In Addition, The Following Items May Also Be Required With Your Application:

- For any applications proposing demolition or removal of existing buildings, the following items are required:
  - Prior to the filing of an application, the applicant or his/her agent is required to notify a list of interested persons registered with the City **30 or 60 days prior to filing** their application using the online notification tool found at: <https://www.cityofmadison.com/developmentCenter/demolitionNotification/>
  - A photo array (6-12 photos) of the **interior and exterior** of the building(s) to be demolished or removed. A written assessment of the condition of the building(s) to be demolished or removed is highly recommended.
  - Note: A Reuse and Recycling Plan approved by the City's Recycling Coordinator is required prior to issuance of wrecking permits and the start of construction.
- Zoning Text (12 copies):** must accompany Planned Community or Planned Unit Development (PCD/PUD) submittals.

6. Applicant Declarations:

- Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:
  - The site is located within the limits of Comprehensive Plan Plan, which recommends: Community, Mixed Use for this property.
- Pre-application Notification:** Section 28.12 of the Zoning Code requires that the applicant notify the district alder and any nearby neighborhood & business associations in writing no later than **30 days** prior to filing this request:
  - List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:  
Brendan O'Donnell Bay Creek Neighborhood 10/18/10, Aaron Cronell Monona Bay 10/18/10  
NOTE: If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.  
Julia Kerr, Dist. 13 Alderperson 10/14/10
- Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.
  - Planning Staff: Heather Stouder Date: 2-28-11 Zoning Staff: Maria Tucker Date: 2-28-11

Check here if this project will be receiving a public subsidy. If so, indicate type in your Letter of Intent.

The signer attests that this form is accurately completed and all required materials are submitted:

Printed Name FIXIN V. BEIGE Date 3/1/11  
 Signature [Signature] Relation to Property Owner LESSEE

Authorizing Signature of Property Owner [Signature] Date 3-1-11  
Jonathan Kuffel 3/1/11  
 Effective May 1, 2009 10



**Barnett Architecture**

March 2, 2011

Mr. Nancy E. Fey, Chair  
Plan Commission  
Department of Planning and Development  
City of Madison  
215 Martin Luther King, Jr. Blvd.  
Madison, WI 53701-2984

Re: Letter of Intent - 961 and 967 South Park Street Barriques Coffee Shop Conditional Use Application

Dear Ms. Fey and Members of the Plan Commission:

Attached please find the following documents for Plan Commission Consideration as part of this Letter of Intent:

1. 12 copies of Land Use Application
2. 12 copies of Letter of Intent
3. 7 copies of Site Documents Full Size/Collated:
  - a. Legal Site Plan (Williamson Surveying and Associates, LLC); 11x17
  - b. Proposed Site Plan (Quam Engineering); 11 x 17
  - c. Proposed Landscape Plan (Richard Slayton, RLA); 11 x 17
4. 7 Copies Full Plan set at 11" x 17" (site and architectural plans)
5. 1 Copy Plan set at 8.5" x 11" (site and architectural plans)
6. Application Fee Check
7. Disc with Full Documents

### **Retail Location Introduction**

Barriques plans on opening a cafe location at the above noted parcels. The project will include utilizing 961 S. Park Street for parking and building operations and 967 S. Park Street for outdoor seating and parking. Similar to the other five Barriques locations in and around Madison, the Park Street location would feature a menu offering coffee and tea beverages, pastry and bakery items, sandwiches, soups and salads and a small amount of wine and beer for in-house consumption. The location will also feature the Barriques Wall of 100 wines which offers customers an opportunity to purchase wine for off-site enjoyment.

The building at 961 Park Street is approximately 2700 square feet. The space will be used for the café, the Barriques training program and possibly for bakery production. The interior space will be designed in a similar fashion to the other Barriques locations, featuring significant amounts of recycled material and taking advantage of the existing interior architecture of the space which will give it a well-worn, comfortable, industrial-ish feel. The Park Street location is positioned both adjacent to a well established neighborhood as well as on a major commuting route which should provide a good mix of customers at all three day parts.

### **Project Location Introduction**

The properties, within Urban Design District 7, are located at the southwest corner of the intersection of South Park and Parr Streets. An existing building exists at the 961 South Park Street Parcel while the 967 South Street Parcel is vacant. The existing building, the former Atomic Furniture retail space, is proposed to be re-purposed as the new retail location with the 967 parcel to provide space for a outdoor seating, parking and vehicular circulation. Both parcels are zoned C2.

Commercial properties are located directly to the north, west and south with residential to the east.



**Barnett Architecture**

A few significant features are proposed, including:

1. Connect the two parcels as one entity. A cross-easement relationship was made possible by working with the Zoning Department and two property owners (Dave Vogel and St. Mary's Hospital).
2. Site ingress to remain off Parr Street with egress on Park Street. Traffic will be one-way. The parking plan has been reviewed, at the time of this submittal, with John Leach.
3. The current street-facing door will remain the primary entry while a second entry point is proposed along the east face.
4. An open terrace for outdoor eating is proposed at the 967 parcel complete with landscape.
5. The project is working with the Façade Grant team.

**Project Name**

Barriques Park Street Location

**Existing Conditions**

The proposed project site is comprised of 961 and 967 S. Park Street. The 961 parcel features an existing concrete block one-story structure and a gravel paved site. The 967 parcel is undeveloped.

**Project Communication**

Barriques has formally met with City Staff (10-19-10 and 2-28-2011), District 2 Alderperson Julia Kerr (10-14-2010) and the Bay Creek and Monona Bay Neighborhood Associations (10-18-2010).

**Proposed Construction Schedule**

<b>Date</b>	<b>Milestone</b>
April 2011	Commencement
July 2011	Final Completion

**Building Area**

The existing size of the building at the 961 Parcel will remain at 2696 square feet.

**Parking Spaces**

9 Surface stalls, including (1) accessible stall and (1) compact stall, are provided. Six (6) Bicycle stalls are provided along the Park Street side. A parking lot reduction application has been reviewed with zoning staff and an application is being submitted.

**Site Area**

961 S. Park Street: 4941 SF/.1134 acres  
967 S. Park Street: 4958 SF/.1138 acres

**Project Team**

**Owner**

Barriques  
1831 Monroe Street  
Madison, WI 53711  
P 608.284.9463  
Contact: Finn Berge and Matt Weygandt  
[Finn@barriquesmarket.com](mailto:Finn@barriquesmarket.com)  
[Matt@barriquesmarket.com](mailto:Matt@barriquesmarket.com)

**Architect**

Barnett Architecture LLC

118 N. Breese Terrace Suite I

Madison, WI 53726-4133

P. 608.233.4538

[barnettarchitecture.com](http://barnettarchitecture.com)



**Barnett Architecture**

118 N. Breese Terrace Suite I  
Madison, WI 53726  
P 608-233-4538  
Contact: Todd Barnett, AIA  
[todd@barnettarchitecture.com](mailto:todd@barnettarchitecture.com)

**Surveyor**

Williamson Surveying and Associates, LLC  
104A West Main Street  
Waunakee, WI 53597  
Contact: Mr. Noa Prieve  
P 608.255.5705  
[willsurv@tds.net](mailto:willsurv@tds.net)

**Civil Engineer**

Quam Engineering, LLC  
4604 Sigglekow Road, Suite A  
McFarland, WI 53558  
P 608.838.7750  
Contact: Mr. Ryan Quam, PE  
[rquam@quamengineering.com](mailto:rquam@quamengineering.com)

**Landscape Architect**

Richard Slayton, RLA  
[rlslayton@hotmail.com](mailto:rlslayton@hotmail.com)

**Contractor**

Self-Contracted by Barriques

Thank you for your assistance and please contact me if I can provide any additional materials.

Sincerely,

Todd Barnett, AIA ALA  
Architect/Managing Partner

cc Finn Berge; Matt Weygandt; Quam Engineering; Richard Slayton

**PROJECT**  
**NEW RETAIL LOCATION FOR BARRIQUES**  
 961 AND 967 SOUTH PARK STREET MADISON, WI

**DRAWING INDEX**

- 1.1 COVER SHEET
- 2.1 EXISTING SURVEY/SITE PLAN
- 2.2 PROPOSED SITE PLAN
- 2.3 GRADING/EROSION CONTROL PLAN
- 2.4 LANDSCAPE PLAN AND DETAILS
- 2.5 LANDSCAPE SCHEDULE

**PROJECT TEAM**

- ARCHITECT**  
 BARNETT ARCHITECTURE LLC  
 118 N. BRESE TERRACE, SUITE I  
 MADISON, WI 53726  
 P. 608-233-4538  
 CONTACT: TODD BARNETT, ARCHITECT  
 email: todd@barnettarchitecture.com
- CIVIL ENGINEER**  
 QUAM ENGINEERING  
 SIGGELCOW ROAD SUITE A  
 MCFARLAND, WI 53558  
 P. 608-838-7750  
 F. 608-838-7752  
 CONTACT: RYAN QUAM, PE  
 email: ryon@quamengineering.com
- LANDSCAPE ARCHITECT**  
 RICHARD SLAYTON, ASLA  
 MADISON, WI  
 email: rslayton@hotmail.com
- SURVEYOR**  
 WILLIAMSON SURVEYING  
 104 A WEST MAIN STREET  
 WAUNAKEE, WI 53597  
 P. 608-255-5705  
 F. 608-849-9760  
 CONTACT: NOA PRIEVE  
 email: sod@RR.WI.com  
 email: nod@williamsonsurveying.com

**CODE REFERENCES**

MUNICIPALITY CITY OF MADISON  
 BUILDING CODE WISCONSIN COMMERCIAL BUILDING CODE  
 ZONING CODE CITY OF MADISON GENERAL ORDINANCE CHAPTER 28

**BUILDING DATA**

1 NUMBER OF STORIES/LEVELS

**AREAS - gross square footage, Informational only**

LEVEL	Existing SF	Proposed SF
FIRST	2696	2696

**PROPERTY INFORMATION**

PLATE OF SURVEY  
 Parts of Lots 22 and 23, Block 10, South Madison, located in the NW 1/4 of Section 26, T17N, R9E, City of Madison, Dane County, Wisconsin.

**ZONING CODE INFORMATION**

C2 ZONING CLASSIFICATION - both properties  
 YES PERMITTED USE  
 4941SF PARCEL A: 961 S. PARK STREET  
 4958 SF PARCEL B: 967 S. PARK STREET  
 BUILDING HEIGHT LIMIT  
 FRONT YARD SETBACK  
 SIDE YARD SETBACK  
 REAR YARD SETBACK  
 URBAN DESIGN COMMISSION APPROVAL DATE

**PROPOSED OCCUPANCY LOADS**

66	INTERIOR PATRONS
26	EXTERIOR PATRONS
4	STAFF
96	TOTAL

**STRUCTURAL INFORMATION - SEE "S" SHEETS**

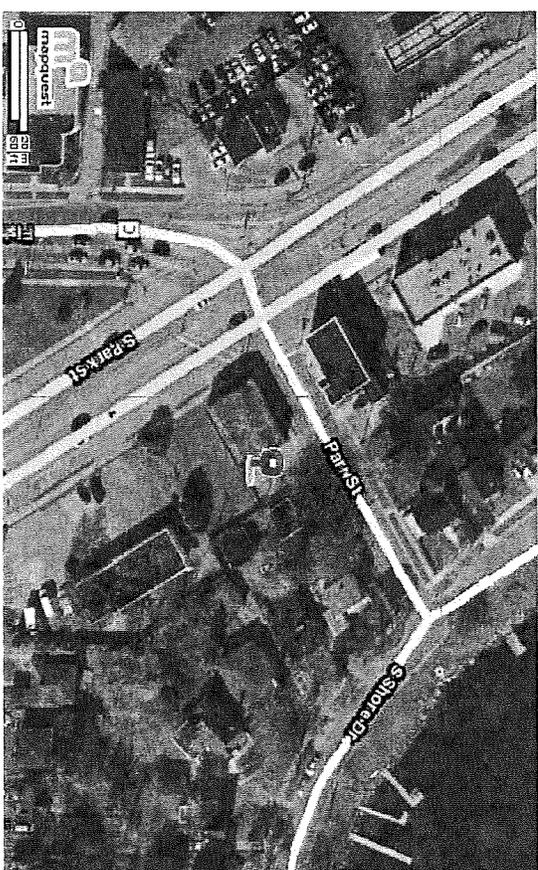
2000 SOIL BEARING PRESSURE PSF, ASSUMED

**ALTERNATE BID INFORMATION**

ALTERNATE BID NO. 1: PROVIDE

**UNIT COST INFORMATION**

UNIT COST NO. 1:



**1 AREA LOCATION PLAN**

SCALE NONE

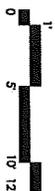


**Barnett Architecture**  
 118 NORTH BRESE TERRACE  
 SUITE I  
 MADISON, WISCONSIN 53726  
 608.233.4538  
 barnettarchitecture.com

NEW LOCATION FOR:  
**BARRIQUES**  
 961 SOUTH PARK ST.  
 967 SOUTH PARK ST.  
 MADISON, WI 53715



**PRELIMINARY  
 NOT FOR CONSTRUCTION**



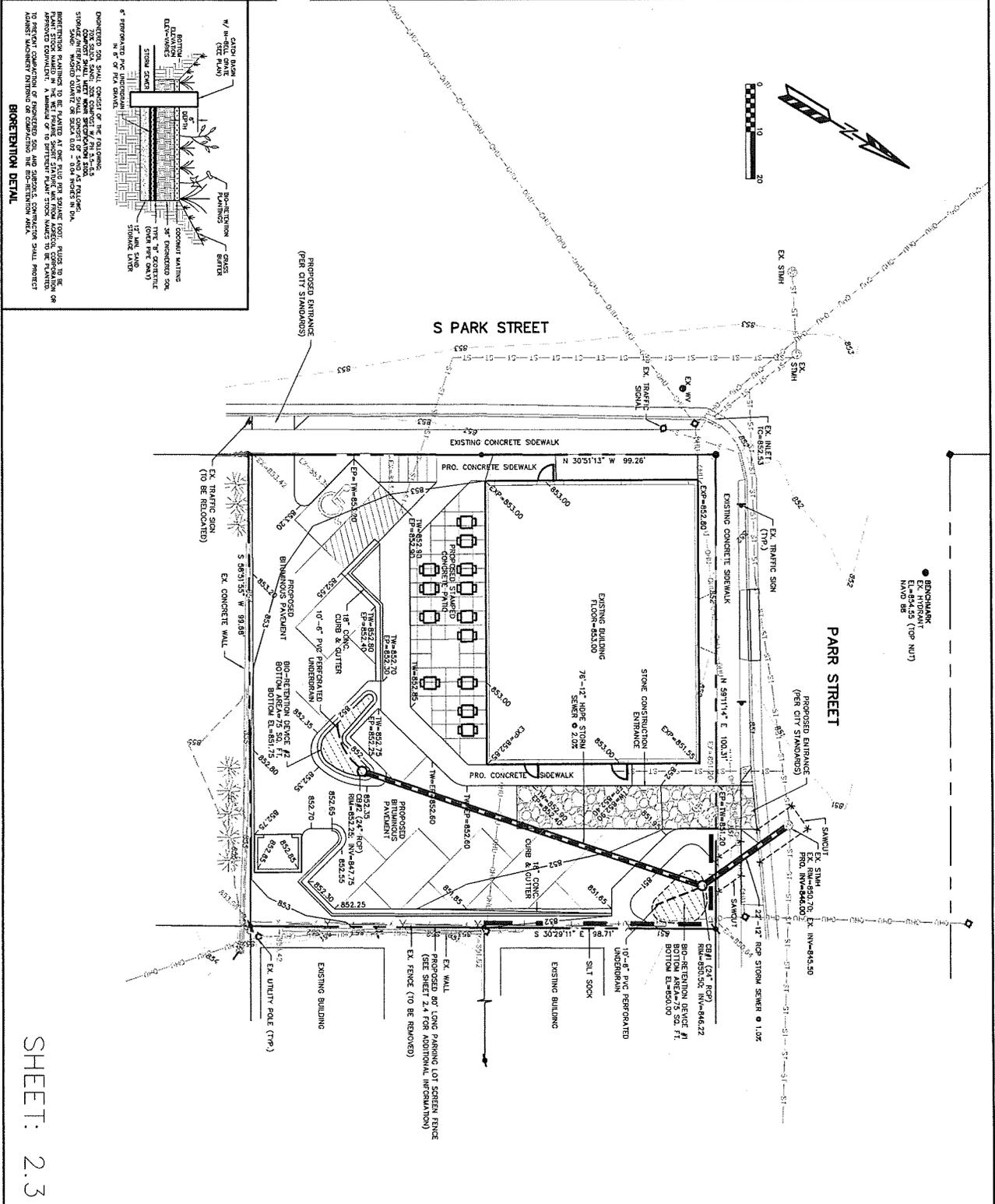
PRELIMINARY  
 NOT FOR CONSTRUCTION  
 DRAWING ISSUE DATES  
 3-2-2011

**1.1**

The information contained on this drawing is preliminary and is not intended to be used for construction. It is subject to change without notice and is not to be relied upon for any purpose other than that intended.







**EROSION NOTES:**

THE STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE PROPOSED GRADING SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE PROPOSED GRADING SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE PROPOSED GRADING SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

**THE SCHEDULE:**

INSTALL INITIAL EROSION CONTROL DEVICES.  
 APRIL 15 - MAY 31, 2011  
 COMPLETE BIORETENTION DEVICES.  
 JUNE 1 - 14, 2011

**REGISTRAR NOTES:**

ALL PROPOSED DISTURBED AREAS SHALL BE COVERED WITH A MINIMUM OF FOUR (4) INCHES OF STONE. THE STONE SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE STONE SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

**OWNER:**

QUAM ENGINEERING, LLC  
 4604 S. IKWON ROAD, SUITE A  
 MCFARLAND, WI 53558

**ENGINEER:**

QUAM ENGINEERING, LLC  
 4604 S. IKWON ROAD, SUITE A  
 MCFARLAND, WI 53558

**BIORETENTION DETAIL**

ENGINEER'S DETAIL SHALL CONSIST OF THE FOLLOWING:  
 1. BIORETENTION DEVICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.  
 2. BIORETENTION DEVICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.  
 3. BIORETENTION DEVICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

**STONE CONSTRUCTION ENTRANCE**

INSTALL 3" CLEAR STONE.  
 1" MIN. CLEARANCE.  
 3" MIN. CLEARANCE.

**SILT SOCK DETAIL**

INSTALL 3" CLEAR STONE.  
 1" MIN. CLEARANCE.  
 3" MIN. CLEARANCE.



**Barnette Architecture**  
 18 NORTH BREEZE TERRACE  
 SUITE 1  
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 608.233.4538  
 barnettearchitecture.com

**NEW LOCATION FOR:  
 BARRIQUES**  
 961 SOUTH PARK ST.  
 967 SOUTH PARK ST.  
 MADISON, WI 53715



**LANDSCAPE ARCHITECT:  
 HARD SLAYTON, ASU**

**PRELIMINARY  
 DT FOR CONSTRUCTION**  
 DRAWING ISSUE DATES  
 3-2-2011

**2.4**

This document contains confidential or proprietary information and is intended for the sole use of the recipient. It is not to be distributed, copied, or otherwise used in any way without the express written consent of Barnette Architecture. If you are not the intended recipient, please notify the sender immediately.

**LANDSCAPE WORKSHEET**

**I. Number of Trees Required**  
 Total Square Footage of the Storage Area: \_\_\_\_\_  
 Divided by Trees per Square Foot: \_\_\_\_\_  
 Number of Trees Required: \_\_\_\_\_

**II. Number of Landscaping Spots Required**  
 Total Square Footage of the Storage Area: \_\_\_\_\_  
 Divided by Spots per Square Foot: \_\_\_\_\_  
 Number of Spots Required: \_\_\_\_\_

**III. Number of Plants and Growth**  
 Number of Plants Required (See Schedule on reverse side): \_\_\_\_\_  
 Number of Growth (See Schedule on reverse side): \_\_\_\_\_

PLANT	QUANTITY	PLANT	QUANTITY	PLANT	QUANTITY	PLANT	QUANTITY
SM	1	SM	1	SM	1	SM	1
BM	1	BM	1	BM	1	BM	1
AG	1	AG	1	AG	1	AG	1
MS	1	MS	1	MS	1	MS	1
GP	1	GP	1	GP	1	GP	1
AV	1	AV	1	AV	1	AV	1
JS	1	JS	1	JS	1	JS	1
UN	1	UN	1	UN	1	UN	1
VO	1	VO	1	VO	1	VO	1
BN	1	BN	1	BN	1	BN	1
GP	1	GP	1	GP	1	GP	1
AV	1	AV	1	AV	1	AV	1
JS	1	JS	1	JS	1	JS	1
UN	1	UN	1	UN	1	UN	1
VO	1	VO	1	VO	1	VO	1
BN	1	BN	1	BN	1	BN	1
GP	1	GP	1	GP	1	GP	1
AV	1	AV	1	AV	1	AV	1
JS	1	JS	1	JS	1	JS	1
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AV	1	AV	1	AV	1	AV	1
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AV	1	AV	1	AV	1	AV	1
JS	1	JS	1	JS	1	JS	1
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BN	1	BN	1	BN	1	BN	1
GP	1	GP	1	GP	1	GP	1
AV	1	AV	1	AV	1	AV	1
JS	1	JS	1	JS	1	JS	1
UN	1	UN	1	UN	1	UN	1
VO	1	VO	1	VO	1	VO	1
BN	1	BN	1	BN	1	BN	1
GP	1	GP	1	GP	1	GP	1
AV	1	AV	1	AV	1	AV	1
JS	1	JS	1	JS	1	JS	1
UN	1	UN	1	UN	1	UN	1
VO	1	VO	1	VO	1	VO	1
BN	1	BN	1	BN	1	BN	1
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AV	1	AV	1	AV	1	AV	1
JS	1	JS	1	JS	1	JS	1
UN	1	UN	1	UN	1	UN	1
VO	1	VO	1	VO	1	VO	1
BN	1	BN	1	BN	1	BN	1
GP	1	GP	1	GP	1	GP	1
AV	1	AV	1	AV	1	AV	1
JS	1	JS	1	JS	1	JS	1
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JS	1	JS	1	JS	1	JS	1
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JS	1						



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**ANSOCAPE ARCHITECT:  
 HARD SLAYTON, ASU**

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**PLANT SCHEDULE AND LEGEND**

Key	Botanical Name	Common Name	Qty	Planting Size	Root Spec	Spacing	Comments
<b>Major Deciduous Trees</b>							
BN	Betula nigra 'Heritage'	Heritage River Birch	2	2-2 1/2" cal	B&B	As shown	multi-stem
AR	Acer rubrum 'Red Sunset'	Red Sunset Maple	1	2-2 1/2" cal	B&B	As shown	Straight leader
<b>Minor Deciduous Trees</b>							
AG	Amelanchier grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	2	6' HT min	B&B	As shown	Multi-stem, matched full plants
<b>Evergreens</b>							
BM	Buxus microphylla 'Wintergreen'	Wintergreen Boxwood	3	18" HT min	B&B	As shown	Full plants, matched
JS	Juniperus sabina 'Buffalo'	Buffalo Savin Juniper	3	18" HT min	B&B	As shown	Full plants, matched
JM	Juniperus x media 'Soybrook Gold'	Soybrook Gold Juniper	3	3' HT min	B&B	As shown	Full plants, matched
<b>Deciduous Shrubs</b>							
CS	Cornus sericea 'Kelsey'	Kelsey Redtwig Dogwood	3	3' HT min	CONT	As shown	Full, matched plants
VO	Viburnum opulus 'Compactum'	Compact Euro Cranberrybush	4	3' HT min	CONT	As shown	Full, matched plants
<b>Perennials, Grasses and Groundcovers</b>							
hm	heuchera micrantha 'Palace Purple'	Palace Purple Coral Bells	12	1 GAL	CONT	18" o.c.	Vigorous plants
ep	Echinacea purpurea	Purple Coneflower	14	3 Gal	CONT	18" o.c.	Vigorous plants
ms	Miscanthus sinensis 'Gracillimus'	Gracillimus Maiden Grass	6	3 GAL	CONT	As shown	Full, matched plants
pv	Panicum virgatum 'Shenandoah'	Shenandoah Switchgrass	12	1 GAL	CONT	18" o.c.	Full, matched plants



Stone Mulch



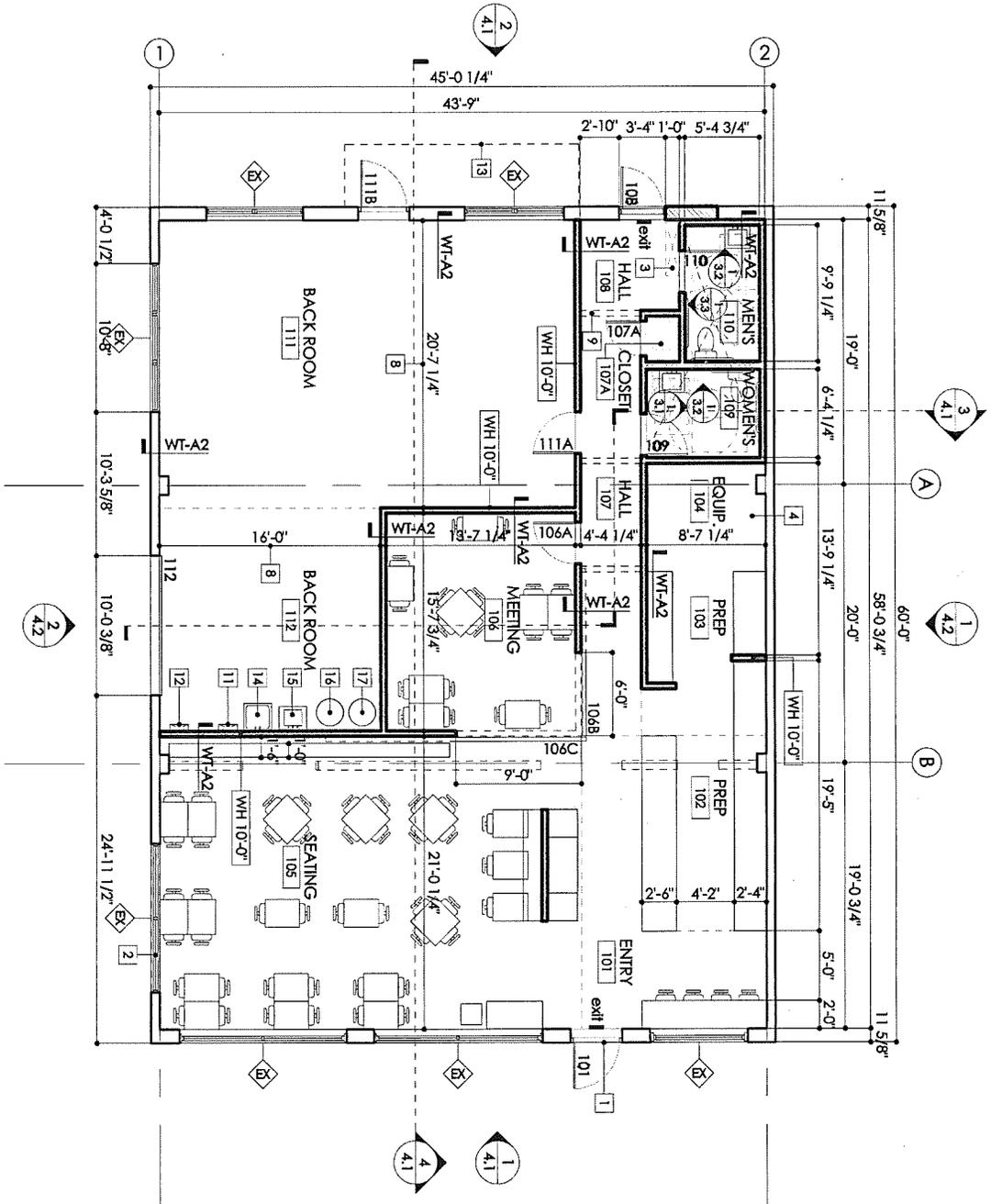
Shredded Bark Mulch: all planting areas shall receive bark mulch

961-967 S PARK STREET  
 SHEET: PLANT SCHEDULE AND LEGEND  
 DATE: FEBRUARY 21, 2011  
 DATE: MARCH 2, 2011

# 1 FIRST FLOOR

SCALE 1/8"=1'-0"

- LEGEND**
-  EXISTING WALL TO REMAIN
  -  EXISTING CONSTRUCTION TO BE REMOVED
  -  PROPOSED FRAME WALL CONSTRUCTION
  -  PROPOSED CMU WALL CONSTRUCTION



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01

- FT-1 CONCRETE SLAB - BY OWNER
- 4" WELDED WIRE FABRIC REINFORCED CONCRETE SLAB
- VAPOR BARRIER
- 2" RIGID INSULATION
- GRANULAR FILL BASE COURSE
- 2" STRIP CONTROL JOINTS
- 2" RIGID INSULATION THERMAL BREAK AT SLAB-WALL

**ROOF TYPES**

- RT-1 SHED ROOF - EXISTING
- RUBBER ROOF MEMBRANE
- RIGID INSULATION
- SHEATHING
- STEEL OPEN-WEB PURLINS
- STEEL BOW-STRING TRUSSES
- EDGE GUTTERS TO INTERIOR ROOF DRAINS

**EXISTING WALL TYPES**

- WT-E1 EXTERIOR WALL - EXISTING
- EXISTING CMU - VERIFY THICKNESS IN FIELD

**EXTERIOR WALL TYPES**

- WT-E1 EXTERIOR WALL OPTION 1
- EXISTING CMU - VERIFY THICKNESS IN FIELD
- 2" RIGID INSULATION TAPED AND CAULKED
- 2X4 FRAMING LAYED FLAT AT 16" O.C.
- 5/8" PAPERLESS GWB

**INTERIOR WALL TYPES**

- WT-I1 INTERIOR WALL - PROPOSED
- 2X4 FRAMING AT 16" O.C.
- 5/8" GWB EACH FACE

- WT-I2 INTERIOR WALL - PROPOSED
- 2X6 FRAMING AT 16" O.C.
- 5/8" GWB EACH FACE

- WT-I3 INTERIOR WALL - PROPOSED
- 2X4 FRAMING AT 16" O.C.
- 5/8" GWB EACH FACE
- LOW VOC FG SOUND ATTENUATION INSUL.

- WT-I4 INTERIOR WALL - PROPOSED
- 2X6 FRAMING AT 16" O.C.
- 5/8" GWB EACH FACE
- LOW VOC FG SOUND ATTENUATION INSUL.

**WALL AND ROOF TYPE NOTES**

1. PROVIDE CEMENT BOARD BEHIND BATH/SHOWER AND SHOWER WALLS IN LIEU OF GWB.
2. PROVIDE SOUND ATTENUATION BATTS IN PROPOSED BEDROOM AND BATHROOM WALLS.
3. COORDINATE TO OFF FLOOR FRAMING ELEVATION WITH PROPOSED FINISH FLOOR FOR LEVEL CONDITIONS.

**FINISH FLOOR NOTES**

1. SEE SPECIFICATIONS FOR FINISH FLOORING NOTES.

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**3.3**

The American Institute of Architects  
 is pleased to have the honor of preparing  
 this drawing for the project of the Madison  
 County Jail. It is a privilege to be  
 associated with this project.

**ROOM FINISH SCHEDULE**

NO.	NAME	FLOOR	BASE	WALL			CEILING			HT.	NOTES	NO.
				N	S	E	W	TYPE				
101	ENTRY	CONC-1	B-1	-	CMU-P	CMU-P	-	EX-P	VARIES	1	101	
102	PREP	CONC-1	B-1	GWB-P	GWB-P	GWB-P	GWB-P	EX-P	VARIES	1	102	
103	PREP	CONC-1	B-1	-	GWB-P	-	-	EX-P	VARIES	1	103	
104	EQUIPMENT	CONC-1	B-1	GWB-P	GWB-P	GWB-P	GWB-P	EX-P	VARIES		104	
105	SEATING	CONC-1	B-1	CMU-P	-	CMU-P	GWB-P	EX-P	VARIES		105	
106	MEETING	CONC-1	B-1	GWB-P	GWB-P	GWB-P	GWB-P	EX-P	VARIES		106	
107	HALL	CONC-1	B-1	GWB-P	GWB-P	-	-	EX-P	VARIES		107	
108	HALL	CONC-1	B-1	GWB-P	GWB-P	CMU-P	-	EX-P	VARIES		108	
109	WOMENS	CONC-1	B-1	GWB-P	GWB-P	GWB-P	GWB-P	GWB-P	8'-0"		109	
110	MENS	CONC-1	B-1	GWB-P	GWB-P	GWB-P	GWB-P	GWB-P	8'-0"		110	
111	BACK ROOM	CONC-1	B-1	CMU-P	GWB-P	CMU-P	GWB-P	EX-P	VARIES		111	
112	BACK ROOM	CONC-1	B-1	CMU-P	GWB-P	-	GWB-P	EX-P	VARIES	1	112	

**DOOR SCHEDULE**

DOOR TAG	W	H	T	TYPE	MAT.	GLASS	LOUVER	UCUT	HW	LBL.	FRAME		HEAD	JAMB	SILL	NOTES	TAG
											MAT.	HEAD					
101	41	84	1 3/4		ALUM						ALUM					3,4	
106A	36	84	1 3/4		SCW						WD.					2	
106B	72	84	1 3/4		SCW						WD.					2	
106C	111	84	1 3/4		SCW						WD.					2	
107A	30	84	1 3/4		SCW				H2		WD.						
108	36	84	1 3/4		HM						HM						
109	36	84	1 3/4		SCW				H1		WD.						
110	36	84	1 3/4		SCW				H1		WD.						
111A	34	84	1 3/4		SCW						WD.					5	
111B	40	91	1 3/4		HM						HM					5	
112				EXISTING												1	

**WINDOW SCHEDULE**

TAG	STYLE	MANUF.	MODEL	FRAME SIZE	ROUGH OPENING	NOTES	TAG
A	AWNING	MARVIN	CAWNA4024	3'-4" X 1'-11 1/8"	3'-5" X 1'-11 5/8"	1	ex
ex	EXISTING WINDOW						

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- GENERAL NOTES FOR PROJECT**
1. VERIFY EXISTING DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION.
  2. EXTERIOR DIMENSIONS ARE FROM OUTSIDE FACE OF SHEATHING TO OUTSIDE FACE OF SHEATHING/FACE OF FOUNDATION WALL.
  3. INTERIOR DIMENSIONS ARE FROM FACE OF FINISH MATERIAL.
  4. REPAIR AND MATCH EXISTING FINISHES.
  5. SEE 3.3 FOR FINISH NOTES.
  6. PROPOSED MECHANICAL, ELECTRICAL AND PLUMBING DEVICES AND EQUIPMENT ARE CONCEALED ONLY AND ARE THE RESPONSIBILITY OF THE MEP CONTRACTORS.
- EXISTING KEYED NOTES**
- E1. EXISTING CMU.
  - E2. EXISTING POURED CONCRETE WALL BASE.
  - E3. EXISTING OVERHEAD DOOR.
  - E4. EXISTING PARAPET.
  - E5. EXISTING WINDOW.
  - E6. EXISTING POURED CONCRETE LINTEL.
- PROPOSED PLAN AND ELEVATION KEYED NOTES**
1. REMOVE DOOR, FRAME AND ASSOCIATED CONSTRUCTION AND REPLACE WITH NEW DOOR AND TRANSOM WINDOW.
  2. REMOVE SECTION OF EXISTING WALL WHERE WALL INFILL IS CLEAR FOR INSTALLATION OF NEW WINDOW TO MATCH ADJACENT.
  3. MAINTAIN 12" X 48" CLEAR SPACE AT PULL SIDE OF DOOR.
  4. SHADED AREA INDICATES VOLUME ABOVE EQUIPMENT 104, WOMENS 109 AND MENS, 110.
  5. REMOVE EXISTING WINDOW AND SECTION OF CMU AS REQUIRED TO INSTALL PROPOSED DOOR ASSEMBLY AND INFILL CMU SECTION.
  6. OUTLINE OF PROPOSED AWNING.
  7. APPROXIMATE LINE OF PROPERTY LINE.
  8. ADJUST THIS DIMENSION AS REQUIRED PER FIELD CONDITIONS. AS REQUIRED. HOLD OTHER DIMENSIONS.
  9. WOOD CROSS WALL CROSS-BRACING
  10. DOTTED OUTLINE OF BARN DOOR IN OPEN POSITION.
  11. PROPOSED ELECTRICAL PANE.
  12. PROPOSED WATER SERVICE AND METER.
  13. PROPOSED WALL SUPPORTED HVAC UNIT ENCLOSURE WITH PERFORATED METAL SHROUD.
  14. PROPOSED MOP SINK.
  15. PROPOSED HAND WASH SINK.
  16. PROPOSED WATER HEATER.
  17. PROPOSED WATER SOFTENER TANK.
  18. LIGHT FIXTURE TYPE "A". 5 COUNT AT SOUTH WALL.
  19. CUT-OFF SECURITY LIGHT FIXTURE TYPE "B". 2 COUNT AT EAST WALL.
  20. GOOSE NECK LIGHT FIXTURE TYPE "C". 5 COUNT ON NORTH-PARR STREET.

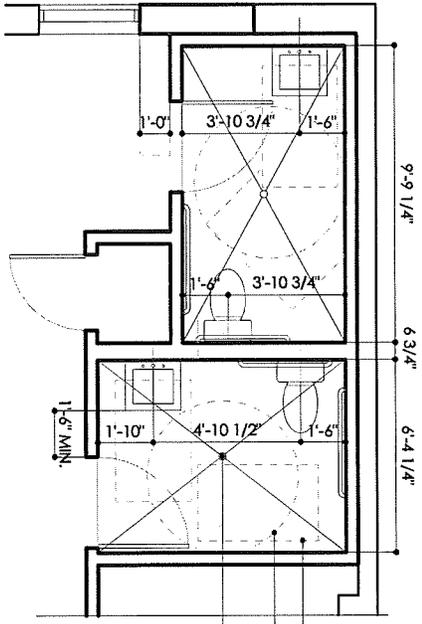
- ROOM FINISH SCHEDULE KEYED NOTES**
1. CMU IS EXISTING EXCEPT AT INFILL AT DOOR 108 AND WINDOW A AREAS OF CONSTRUCTION.

**DOOR SCHEDULE KEYED NOTES**

1. CMU IS EXISTING EXCEPT AT INFILL AT DOOR 108 AND WINDOW A AREAS OF CONSTRUCTION.
2. BARN DOOR ON TRACK.
3. VERIFY SIZE WITH EXISTING OPENING.
4. DOOR WITH INTEGRAL ALUMINUM FRAMED TRANSOM.
5. FULL HEIGHT DOOR TO MATCH OR, AT OWNER OPTION, MINIMUM 84" TALL DOOR WITH BRAKE-METAL OR AZER TRIM INFILL ABOVE DOOR HEAD. DOOR WIDTH TO SUIT EXISTING OPENING. VERIFY DIMENSION IN FIELD.
- H1. PRIVACY LOCKSET
- H2. KEYED LOCKSET.

**WINDOW SCHEDULE KEYED NOTES**

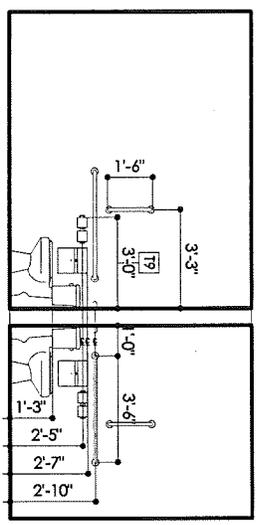
1. MATCH WINDOW PATTERN, MATERIALS AND DETAILS ALONG PARK STREET.



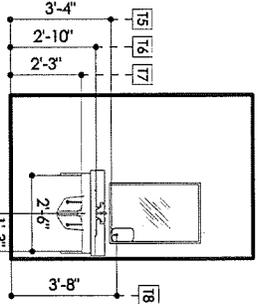
30" X 48" CLEAR FLOOR SPACE  
 60" CLEAR TURNING RADIUS  
 FLOOR DRAIN PITCH FLOOR TO CENTER AT NO MORE THAN 1/48 PITCH.

- ADA DIMENSION NOTES**
- 11. TO TOP OF SEAT.
  - 12. TO CENTER OF TOILET PAPER DISPENSER.
  - 13. TO TOP OF SANITARY NAPKIN DISPOSAL.
  - 14. TO CENTER OF GRAB BAR.
  - 15. TO BOTTOM OF MIRROR REFLECTIVE SURFACE.
  - 16. TO TOP OF SINK EDGE.
  - 17. CLEAR DIMENSION, MINIMUM.
  - 18. TO CENTER OF SOAP DISPENSER CONTROL, MAX.
  - 19. TO EDGE OF TOILET PAPER DISPENSER, MAX.

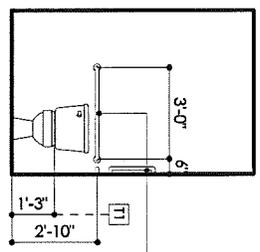
**1 ENLARGED TOILET ROOM PLAN**  
 SCALE: 1/4" = 1'-0"



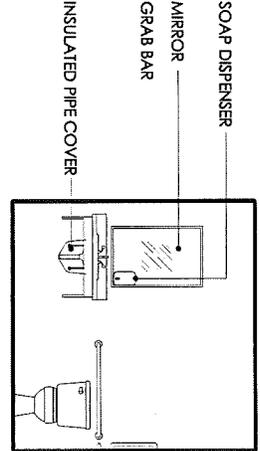
**2 ELEVATION**  
 SCALE: 1/4" = 1'-0"



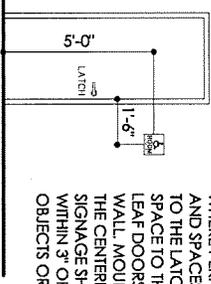
**3 ELEVATION**  
 SCALE: 1/4" = 1'-0"



**4 ELEVATION**  
 SCALE: 1/4" = 1'-0"

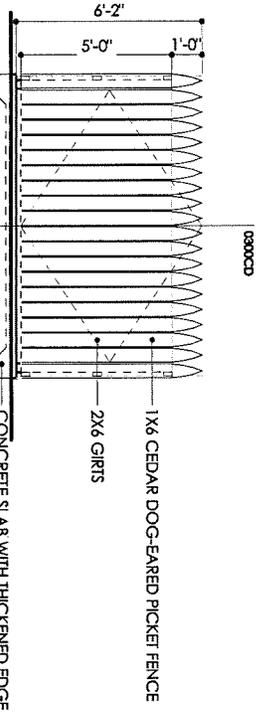


**5 ELEVATION**  
 SCALE: 1/4" = 1'-0"



**6 ADA SIGNAGE**  
 SCALE: 1/4" = 1'-0"

WHERE PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES, SIGNS SHALL BE INSTALLED IN THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR, WHERE THERE IS NO WALL SPACE TO THE LATCH SIDE OF THE DOOR, INCLUDING AT DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL. MOUNTING HEIGHT SHALL BE 60" ABOVE FINISH FLOOR TO THE CENTERLINE OF THE SIGN. MOUNTING LOCATION FOR SUCH SIGNAGE SHALL BE SO THAT A PERSON MAY APPROACH TO WITHIN 3" OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF THE DOOR.



**7 REFUSE ENCLOSURE-PARKING SCREENING**  
 SCALE: 1/4" = 1'-0"

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**3.4**

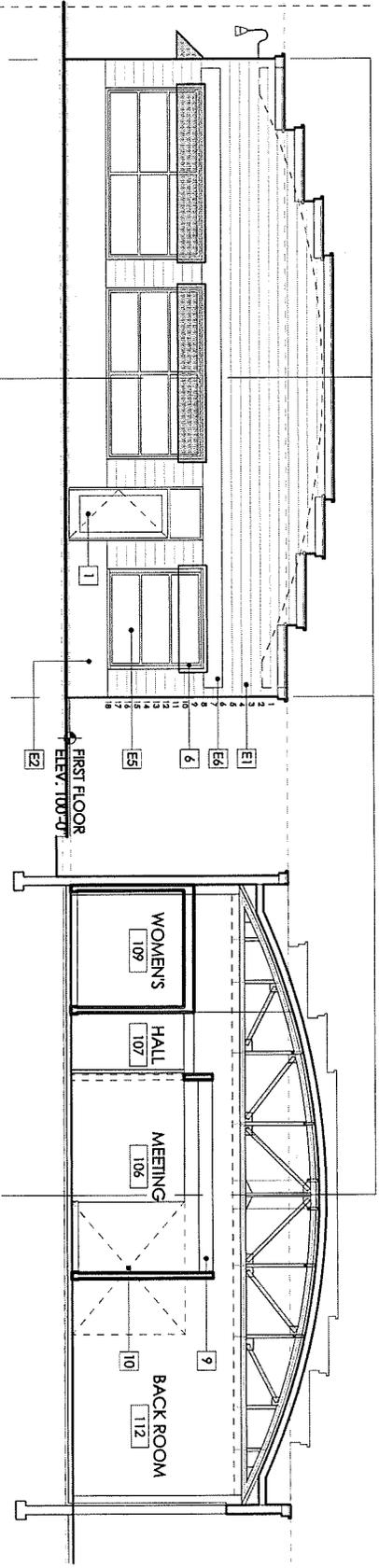
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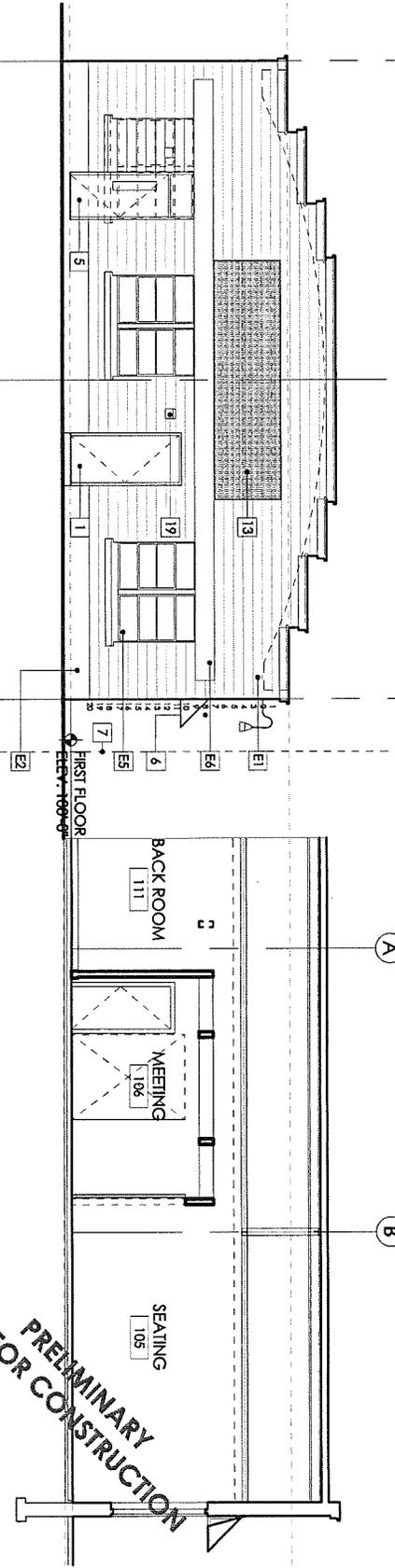


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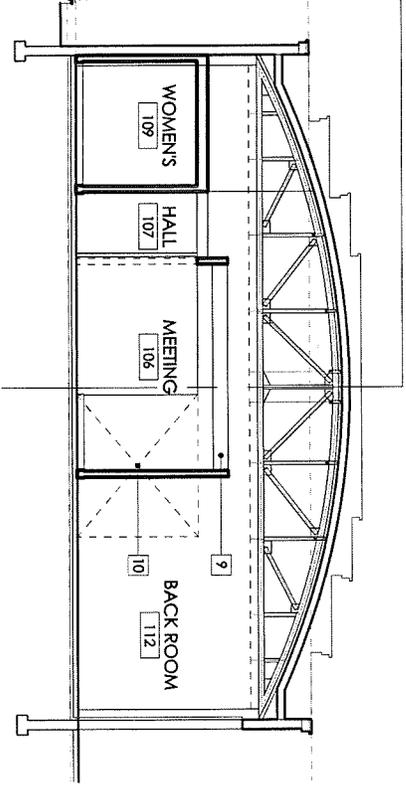
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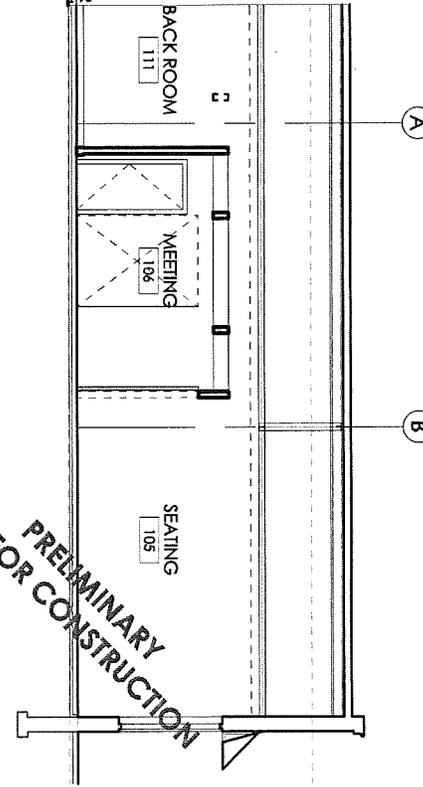
**1 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**2 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

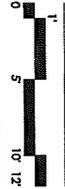


**3 SECTION LOOKING WEST**  
SCALE: 1/8" = 1'-0"



**4 SECTION LOOKING SOUTH**  
SCALE: 1/8" = 1'-0"

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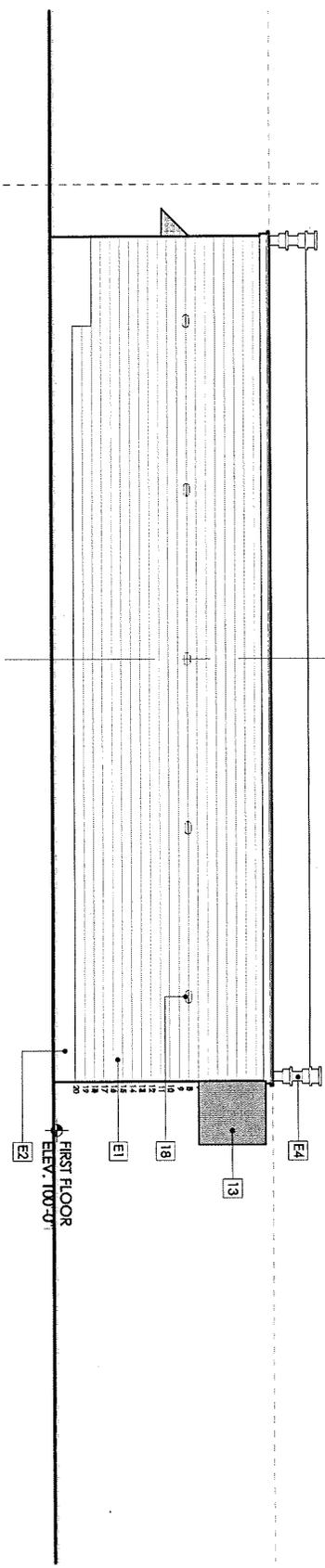
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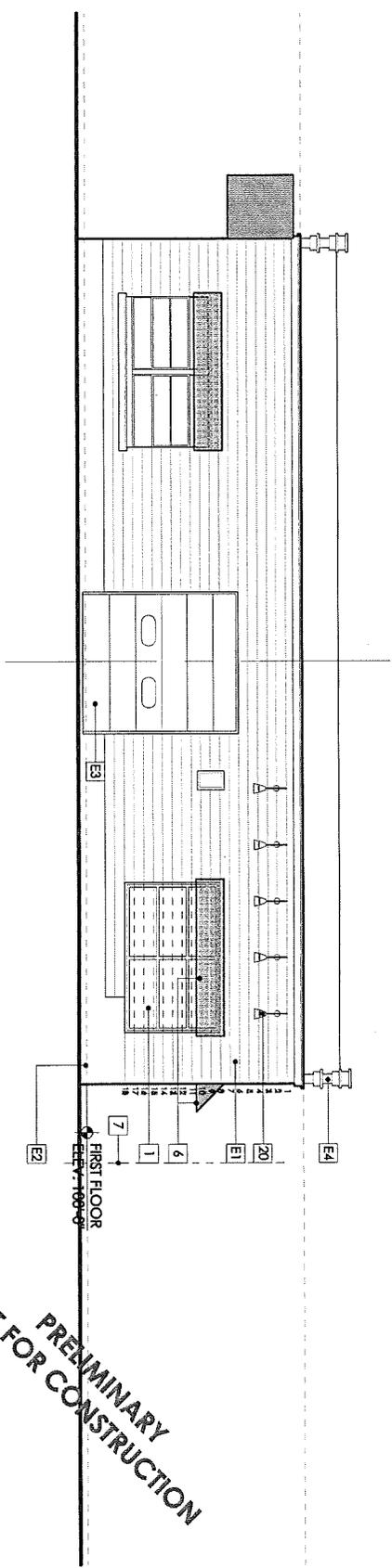
# 1 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



# 2 NORTH ELEVATION

SCALE: 1/8" = 1'-0"



**PRELIMINARY  
NOT FOR CONSTRUCTION**



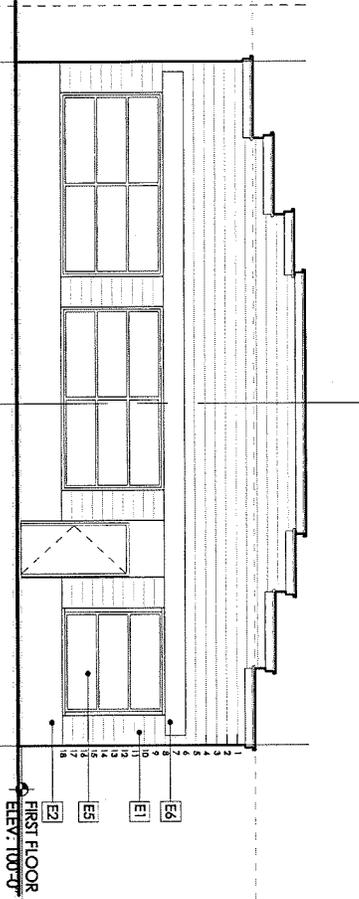
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# 4.2

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**1 WEST ELEVATION - exist.**

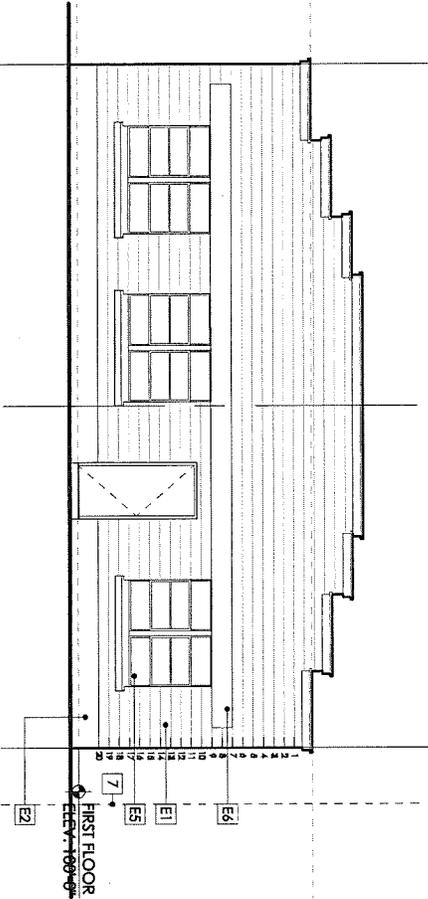
SCALE 1/8" = 1'-0"



FIRST FLOOR  
ELEV. 100'-0"

**2 EAST ELEVATION - exist.**

SCALE 1/8" = 1'-0"



FIRST FLOOR  
ELEV. 100'-0"

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NEW LOCATION FOR:  
**BARRIQUES**

961 SOUTH PARK ST.  
967 SOUTH PARK ST.  
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**4.3**

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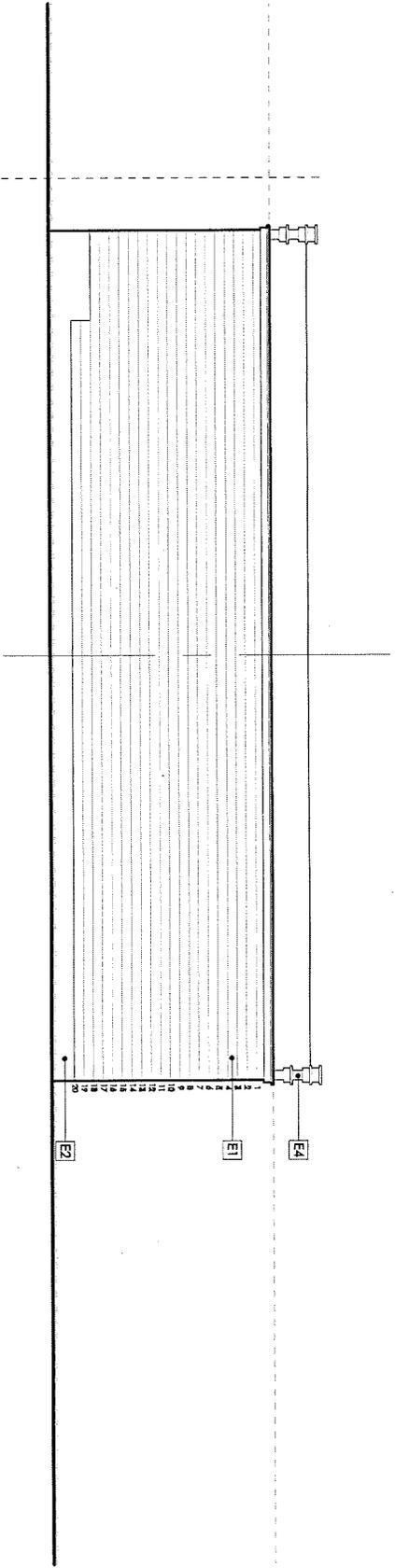
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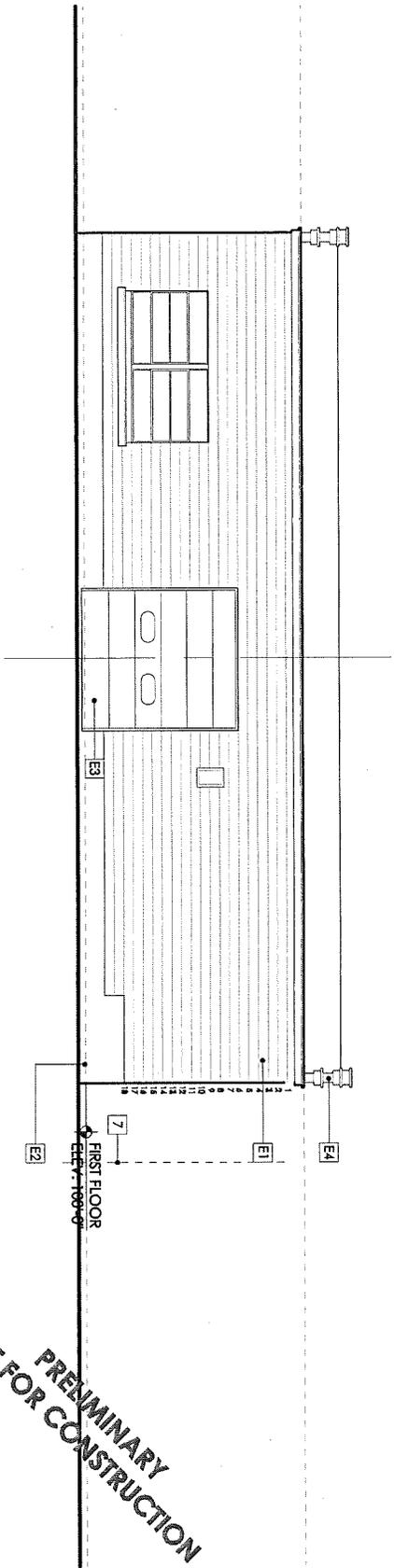
# 1 SOUTH ELEVATION - exist.

SCALE: 1/8" = 1'-0"



# 2 NORTH ELEVATION - exist.

SCALE: 1/8" = 1'-0"



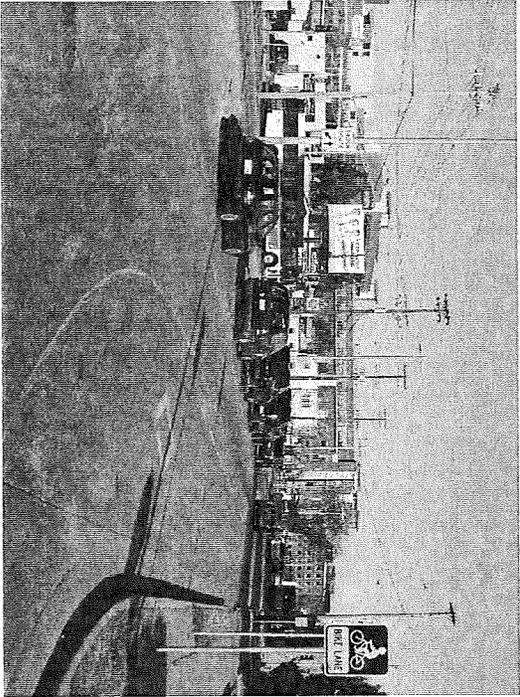
**PRELIMINARY  
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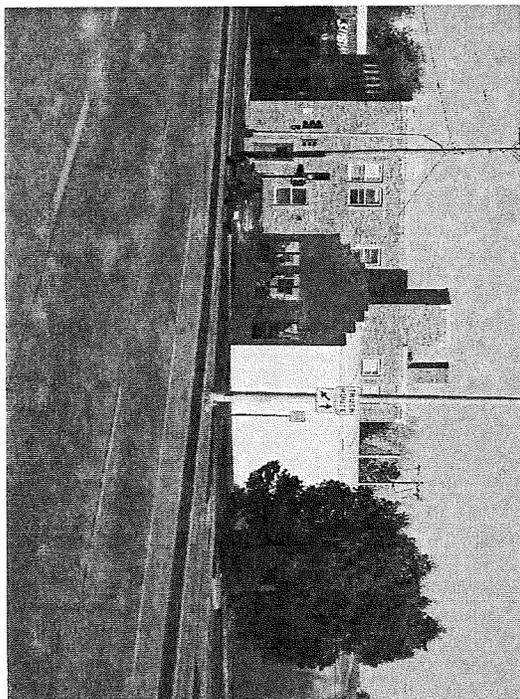
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# 4.4

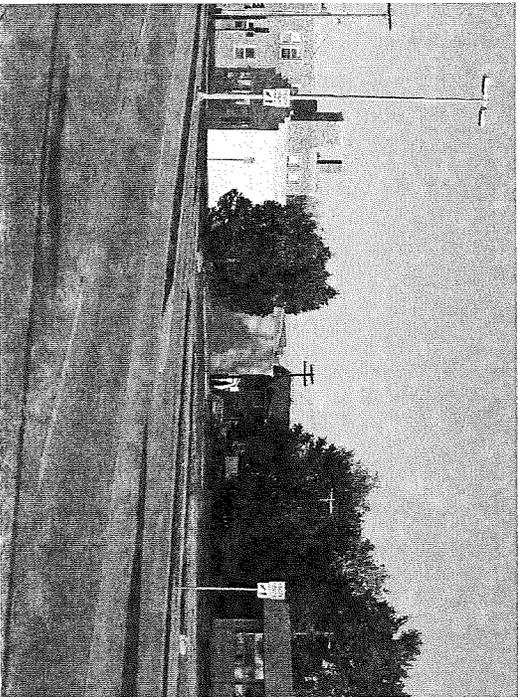
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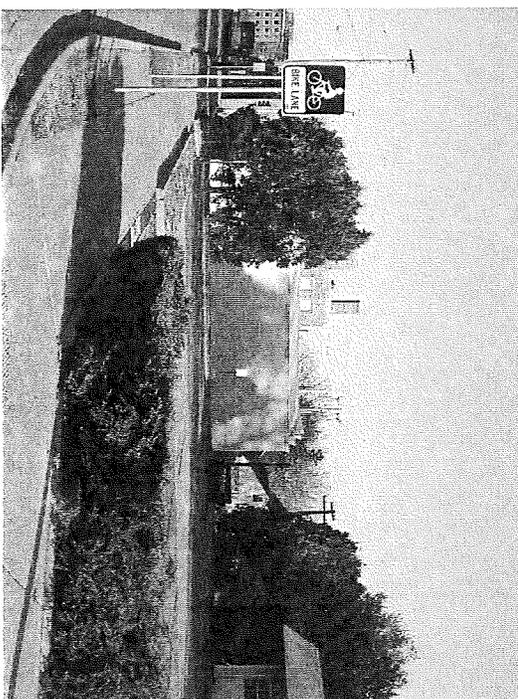
VIEW FROM PARK STREET LOOKING NORTH



VIEW FROM PARK STREET LOOKING NORTHEAST



VIEW FROM PARK STREET LOOKING NORTHEAST



VIEW FROM PARK STREET LOOKING NORTH



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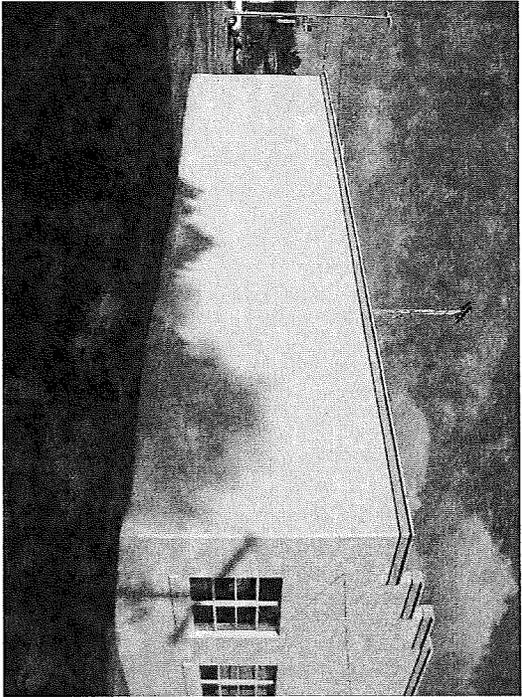
NEW LOCATION FOR:  
**BARBQUES**  
 961 SOUTH PARK ST.  
 967 SOUTH PARK ST.  
 MADISON, WI 53715



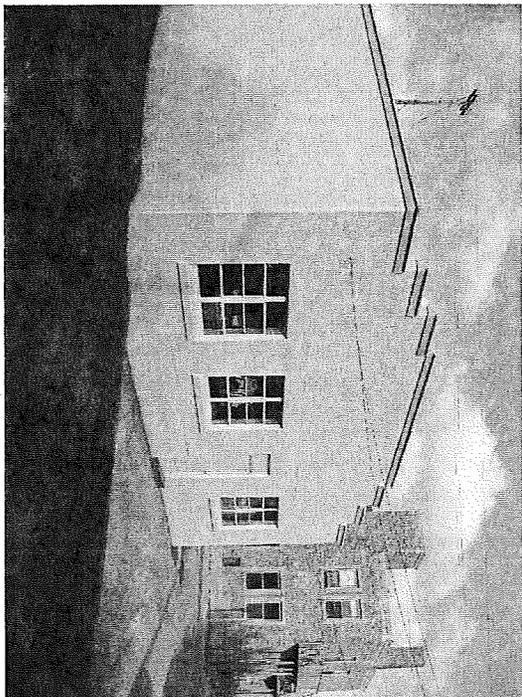
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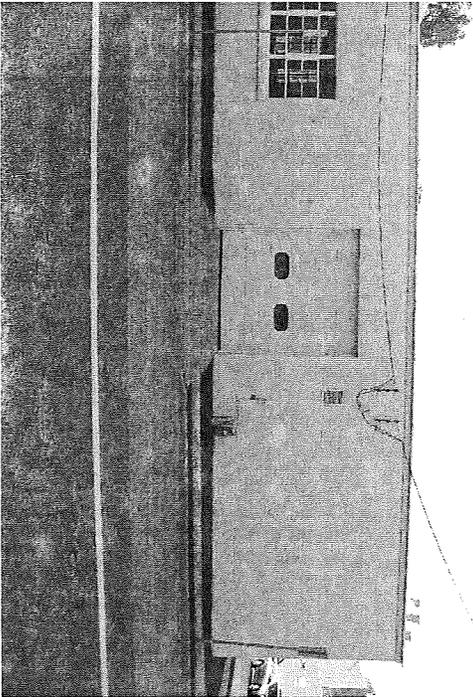
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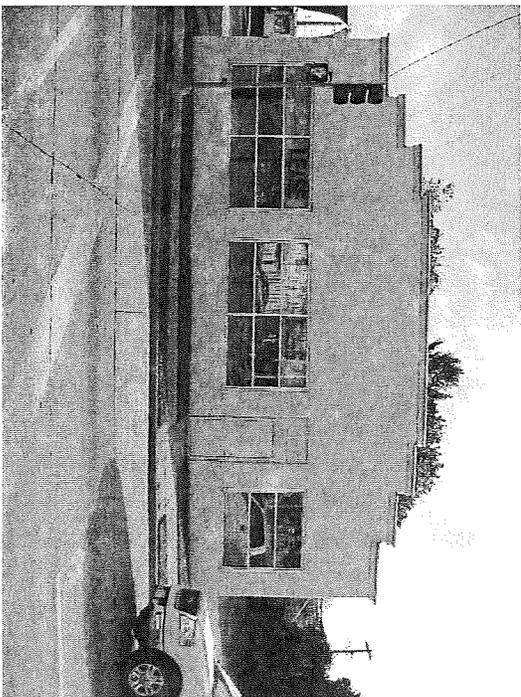
VIEW FROM 967 SOUTH PARK STREET LOOKING NORTHWEST



VIEW FROM 967 SOUTH PARK STREET LOOKING NORTH



VIEW FROM PARR STREET LOOKING SOUTH



VIEW FROM PARR STREET LOOKING EAST



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NEW LOCATION FOR:  
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