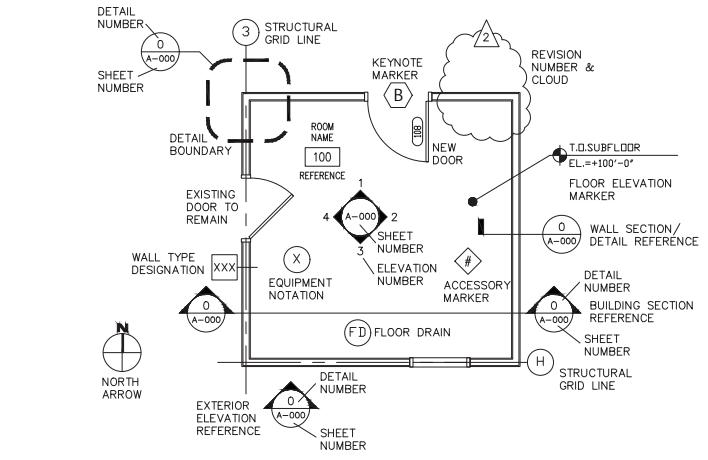


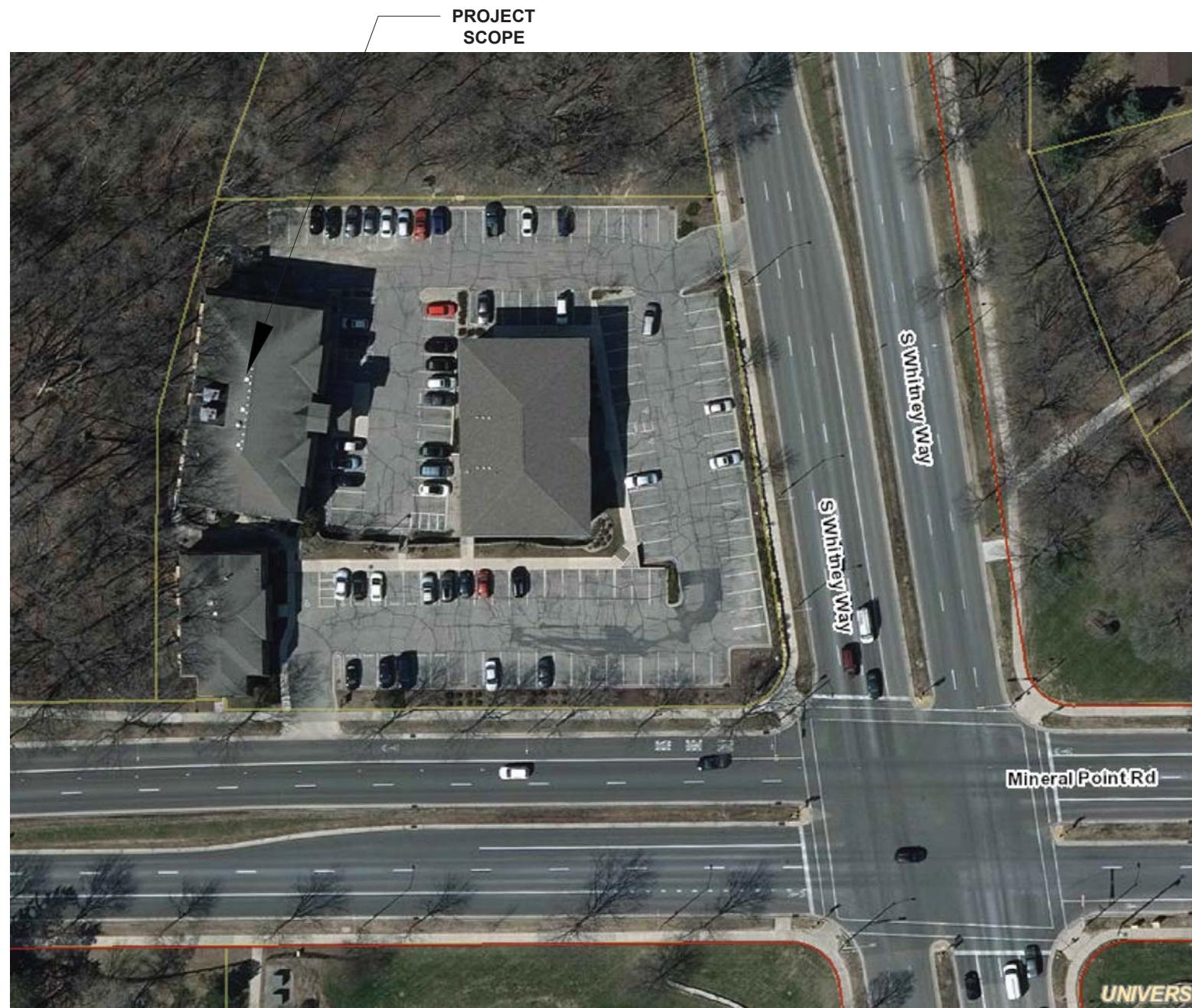
## GENERAL CONSTRUCTION NOTES

1. WORK SHALL BE IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND COMPLY WITH ALL GOVERNING LAWS, CODES, ORDINANCES, RULES AND REGULATIONS OF THE STATE AND GENERAL JURISDICTION.
2. THE DRAWINGS ARE NOT TO BE SCALED FOR INFORMATION CONCERNING EXISTING CONDITIONS, VERIFY IN FIELD.
3. VERIFY DIMENSIONS AND EXISTING CONDITIONS. IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
4. USE MEANS NECESSARY TO PREVENT DUST FROM BECOMING A NUISANCE TO THE PUBLIC, NEIGHBORS, AND OTHER WORK BEING PERFORMED ON OR NEAR THE SITE.
5. MAINTAIN ACCESS TO ADJACENT AREAS OF THE BUILDING AT ALL TIMES.
6. VERIFY AND COORDINATE DIMENSIONS OF FIXTURES AND EQUIPMENT, INCLUDING ITEMS SUPPLIED AND/OR INSTALLED BY OTHERS, PRIOR TO PERFORMING WORK.
7. ALL PENETRATIONS IN WALL REQUIRING PROTECTED OPENINGS SHALL BE FIRE-STOPPED USING UL TESTED OR EQUIVALENT TESTING AGENT MATERIALS AND METHODS.
8. DIMENSIONS FOR NEW INTERIOR STUD WALLS ARE DIMENSIONED FROM FACE OF STUD TO FACE OF STUD OR FROM FACE OF STUD TO EXISTING FINISH FACE (U.N.O.).
9. ALL NEW PARTITIONS TO BE 3-5/8" METAL STUDS WITH 5/8" GWB EACH SIDE OR MOISTURE RESISTANT GWB IN BATHROOMS.
10. PROVIDE CONCEALED WOOD/STEEL BLOCKING FOR WALL SUPPORTED ITEMS.
11. CONTRACTOR SHALL PATCH EXISTING FLOOR/WALL/CEILING PENETRATIONS TO MAINTAIN WALL RATINGS.
12. PATCH FLOORS/WALLS WHERE EXISTING WALLS AND/OR PARTITIONS HAVE BEEN REMOVED.
13. ALL ELECTRICAL WORK, LIGHTING & LIGHTING PLAN TO BE COORDINATED BY ELECTRICAL CONTRACTOR.
14. REFER TO ROOM FINISH SCHEDULE FOR MATERIALS, COLOR SELECTIONS, NEW CEILING LOCATIONS & HEIGHTS.
15. REFER TO DOOR SCHEDULE FOR DOOR & FRAME TYPES.
16. CENTER FLOORING TRANSITIONS UNDER DOOR IN CLOSED POSITION (U.N.O.).
17. REFER TO DOOR SCHEDULE FOR DOOR & FRAME TYPES.
18. CENTER FLOORING TRANSITIONS UNDER DOOR IN CLOSED POSITION (U.N.O.).
19. ALL NEW SINGLE SWING DOORS TO BE 3'-0" WIDE, DOUBLE DOOR TO HAVE A CLEAR OPENING OF 32" FOR AT LEAST ONE ACTIVE LEAF (ANSI 404.2.1) AND FEATURE ADA APPROVED HARDWARE.
20. ALL NEW DOORS TO BE FLUSH WOOD DOOR WITH HOLLOW METAL FRAMES (U.N.O.) SIZE & FINISH PER DOOR SCHEDULE.
21. ALL NEW DOOR HARDWARE TO BE COORDINATED WITH OWNER. ALL PUBLIC ACCESS DOORS ALONG THE ACCESSIBLE ROUTE TO HAVE 32" CLEAR OPENING AND ADA HARDWARE.
22. SEE TYPICAL DOOR JAMB DETAIL FOR DOORS JUSTIFIED HINGE SIDE TO ADJACENT WALL.
23. SEE SECTIONS FOR EXTERIOR WALL TYPES.

## ARCHITECTURAL SYMBOLS LEGEND



## PROJECT LOCATION CITY / AREA MAP



## SITE PLAN LAND USE SUMMARY

STIE AREA: LOT 1	51,213 SF, 1.176 ACRES	OPEN SPACE	13,661 SF
BUILDING FOOTPRINT:	15,690 SF	REQUIRED = 10,880 SF	
BUILDING SF:			
LOWER LEVEL	15,690 SF		
FIRST FLOOR	15,323 SF		
SECOND FLOOR	15,323 SF		
THIRD FLOOR	15,323 SF		
TOTAL SF	61,659 SF		
LOT COVERAGE:			
LOT SF	51,213		
LESS BUILDING	-15,690 SF		
LESS PAVED AREA	-20,945 SF		
71.5% IMPERVIOUS			

## PROJECT INFORMATION

WHITNEY POINT APARTMENTS  
5402 MINERAL POINT RD.  
MADISON, WI 53705

## CODE SUMMARY

BUILDING OCCUPANCY- R2 RESIDENTIAL  
CONSTRUCTION TYPE VB & 1A PARKING LEVEL  
EXISTING SPRINKLER - NFPA 13

APPLICABLE CODE-  
2015 INTERNATIONAL BUILDING CODE

SCOPE OF WORK: LOWER LEVEL PARKING  
FIRST FLOOR UNITS  
SECOND FLOOR UNITS  
THIRD FLOOR UNITS

## PROJECT SQUARE FOOTAGE SCOPE:

LOWER LEVEL PARKING SF = 15,690 SF  
FIRST FLOOR SF = 15,323 SF  
SECOND FLOOR SF = 15,323 SF  
THIRD FLOOR SF = 15,323 SF  
TOTAL BUILDING SF = 61,659 SF

LOT SQUARE FOOTAGE = 51,213 SF

NEW MECHANICAL, PLUMBING, ELECTRICAL,  
ELEVATOR, FIRE ALARMS & SYSTEMS TO BE  
DESIGN BUILD

## OCCUPANCY SUMMARY

UNIT TYPE	QUANTITY PER FLOOR
1 BEDROOM UNITS	1ST FLR 2ND FLR 3RD FLR
2 BEDROOM UNITS	6 7 7
STUDIO UNITS	1 1 1

TOTAL UNITS (48) UNITS TOTAL

1 BEDROOM - 25 UNITS  
2 BEDROOM - 20 UNITS  
STUDIO UNITS - 3

## CONTACT INFORMATION

### GENERAL CONTRACTOR:

TRI-NORTH BUILDERS  
2525 RESEARCH PARK DRIVE  
FITCHBURG, WI 53711

## SHEET INDEX

T-100	TITLE SHEET
TOPO	EXISTING SURVEY PLAN
C-1.0	DEMOLITION PLAN
C-2.0	LAYOUT PLAN
C-3.0	GRADING PLAN
C-4.0	EROSION CONTROL PLAN
C-5.0	UTILITY PLAN
C-6.0	FIRE ACCESS PLAN
L-100	LANDSCAPE PLAN
A-100	LOWER LEVEL PARKING GARAGE
A-101	FIRST LEVEL FLOOR PLAN
A-102	SECOND & THIRD LEVEL FLOOR PLANS
A-103	UNIT FLOOR PLANS- TYPICALS
A-104	WALL TYPES & DETAILS
A-104.1	WALL TYPES & DETAILS
A-105	EXTERIOR ELEVATIONS
A-105a	EXTERIOR RENDERING- ENLARGED
A-106	NOT USED
A-107	ROOF PLAN
A-108	EXTERIOR RENDERING
A-109	EXISTING EXTERIOR BUILDING IMAGES



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T-100



CHECKED: ACG  
DRAWN: JHB  
DATE: 2/6/19  
PROJECT NO. 18.141

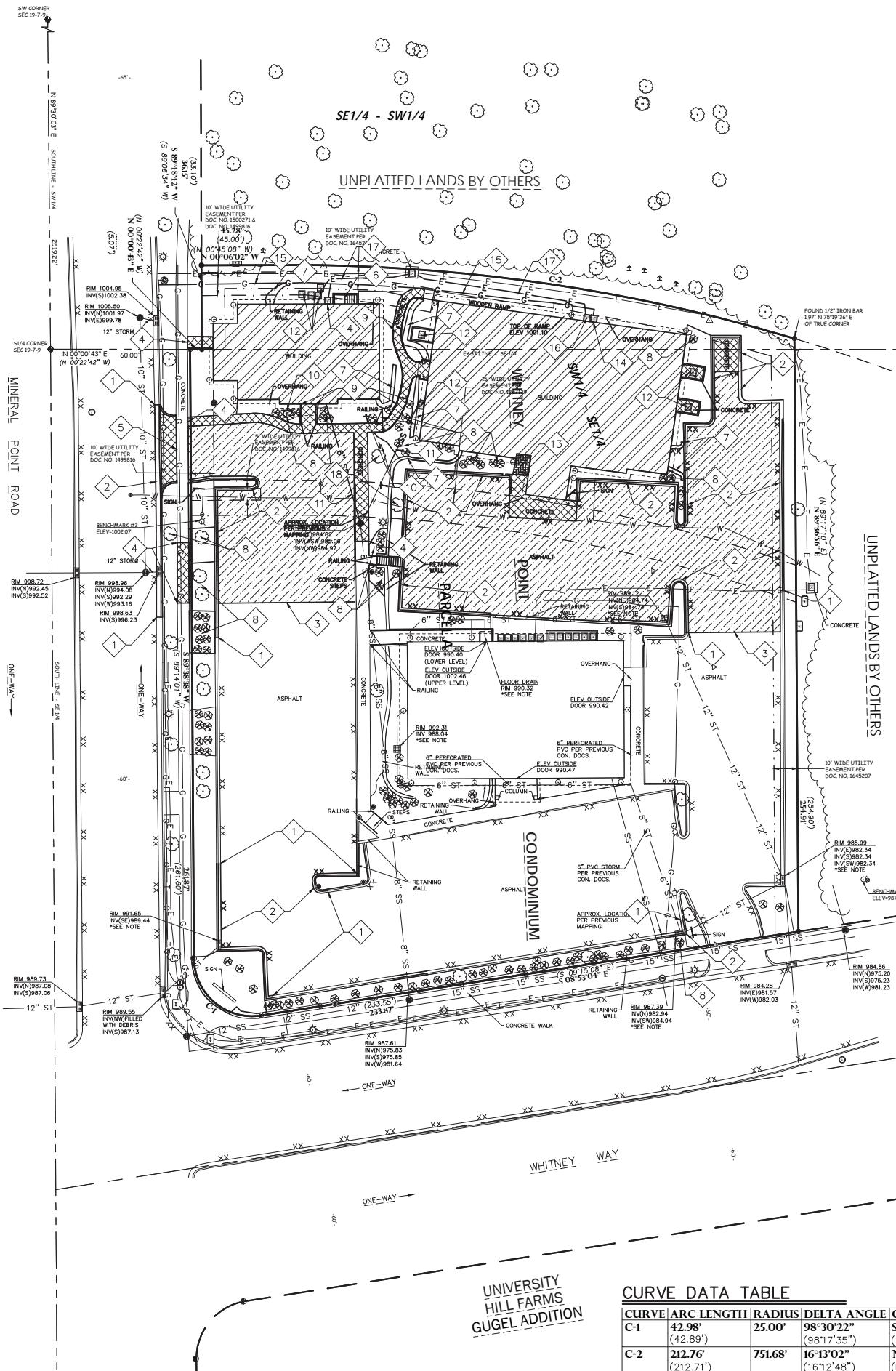
## DEMOLITION PLAN

TRI-NORTH BUILDERS  
WHITNEY POINT APARTMENTS  
CITY OF MADISON  
DALE COUNTY, WISCONSIN

Civil Engineering  
Land Surveying  
Landscape Architecture

5709 Windy Drive, Suite D  
Stevens Point, WI 54482  
715.344.9999 (Ph) 715.344.9922 (Fx)

TOP  
Point of Beginning



## GENERAL NOTES:

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
2. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER EXCEPT FOR THOSE ITEMS NOTED TO BE SALVAGED, WHICH SHOULD BE TURNED OVER TO THE OWNER.
3. INSTALL AND MAINTAIN ALL REQUIRED EROSION CONTROL MEASURES FOR PERIMETER PROTECTION PRIOR TO THE START OF DEMOLITION/CONSTRUCTION, IN ACCORDANCE WITH THE LOCAL AND STATE GOVERNING AUTHORITIES.
4. ALL BIDDERS SHALL VISIT THE SITE AND REVIEW EXISTING CONDITIONS PRIOR TO SUBMITTING A BID.
5. COORDINATE WITH THE OWNER AND LOCAL UTILITY COMPANIES TO LOCATE ANY EXISTING UTILITIES ON SITE PRIOR TO THE START OF WORK.
6. ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
7. STRIP TOPSOIL WITHIN THE PROJECT LIMITS IN ACCORDANCE WITH THE PROJECT MANUAL SPECIFICATIONS.
8. IF STRIPPED TOPSOIL IS STOCKPILED ON SITE, SILT FENCE SHALL BE INSTALLED AROUND THE BASE OF THE STOCKPILE TO PREVENT SEDIMENT TRANSPORT.
9. PRIOR TO PERFORMING WORK WITHIN PUBLIC RIGHT OF WAYS, NOTIFY AND COORDINATE WORK WITH THE LOCAL MUNICIPALITY.
10. MAINTAIN TRAFFIC CIRCULATION TO ALL RETAIL AND COMMERCIAL BUILDINGS SHOWN ON THIS DOCUMENT. COORDINATE ALL WORK WITH SAID BUSINESSES.

## KEYNOTES:

- 1 SAWCUT EXISTING CONCRETE CURB & GUTTER
- 2 REMOVE EXISTING CONCRETE CURB & GUTTER
- 3 SAWCUT EXISTING BITUMINOUS PAVEMENT
- 4 SAWCUT EXISTING CONCRETE WALK
- 5 SAWCUT EXISTING CONCRETE DRIVE APRON
- 6 REMOVE EXISTING CONCRETE STEPS
- 7 REMOVE EXISTING RETAINING WALL
- 8 REMOVE EXISTING SHRUB/LANDSCAPING
- 9 REMOVE EXISTING RAILING
- 10 REMOVE EXISTING SIGN
- 11 REMOVE EXISTING SANITARY SEWER
- 12 REMOVE EXISTING A/C UNIT
- 13 REMOVE EXISTING PAVING BLOCKS
- 14 REMOVE EXISTING GAS METER (COORDINATE WITH GAS COMPANY)
- 15 REMOVE EXISTING GAS LINE (COORDINATE WITH GAS COMPANY)
- 16 REMOVE EXISTING ELECTRICAL PANEL (COORDINATE WITH ELECTRIC COMPANY)
- 17 REMOVE EXISTING ELECTRICAL LINE (COORDINATE WITH ELECTRIC COMPANY)
- 18 CLEAR AND GRUB EXISTING TREE

## DEMOLITION HATCH PATTERNS:

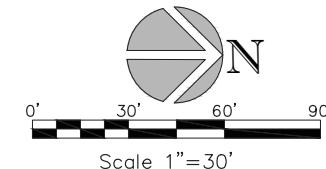
BITUMINOUS REMOVAL



BUILDING REMOVAL



CONCRETE REMOVAL



Scale 1"=30'

C1.0

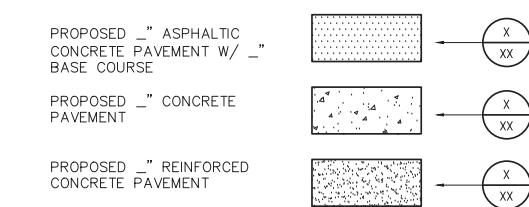
## **GENERAL NOTES:**

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
2. GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
3. ALL REQUIRED EROSION CONTROL MEASURES ARE TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH LOCAL MUNICIPAL AND DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
4. SEE SHEET \_\_\_\_ FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
5. ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
6. VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
7. ALL BIDDERS SHALL VISIT THE SITE AND REVIEW EXISTING CONDITIONS PRIOR TO SUBMITTING A BID.
8. PRIOR TO THE START OF WORK VERIFY WITH THE LOCAL AUTHORITIES THAT ALL REQUIRED PERMITS HAVE BEEN ACQUIRED.
9. COORDINATE CONSTRUCTION IN THE RIGHT OF WAY WITH THE LOCAL AUTHORITIES.
10. PROVIDE PROPER BARRICADES, SIGNS AND TRAFFIC CONTROL TO MAINTAIN THRU TRAFFIC ALONG ADJACENT STREETS IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS.
11. SIDEWALK JOINTS TO BE AS INDICATED OR AS APPROVED BY CONSTRUCTION MANAGER.
12. ALL SAWCUTS SHALL BE AT AN EXISTING JOINT IN THE CURB AND PAVEMENT.
13. ALL GENERAL LANDSCAPE AREAS SHALL BE SEEDED/FERTILIZED/CRIMP HAY MULCHED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

## **KEYNOTES:**

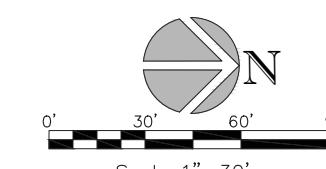
- ① THICKENED EDGE WALK
- ② 18" CONCRETE CURB & GUTTER
- ③ 18" CONCRETE CURB & GUTTER (REJECT)
- ④ 6" CURB TAPER SECTION
- ⑤ CONCRETE DRIVE APRON PER MADISON REQ'S
- ⑥ HANDI-CAP RAMP
- ⑦ PARKING LOT STRIPING
- ⑧ HANDICAP PARKING STALL 
- ⑨ HANDICAP PARKING SIGN 
- ⑩ 2'x6' BIKE STALL  
(VERIFY RACK STYLE WITH OWNER/ARCH)
- ⑪ CONCRETE TRANSFORMER PAD
- ⑫ CONCRETE CONDENSER PAD
- ⑬ 6' CHAIN LINK FENCE
- ⑭ 4' WIDE CHAIN LINK MAN-GATE
- ⑮ DUMPSTER ENCLOSURE  
(TO MATCH BUILDING SIDING, SEE ARCH PLANS)
- ⑯ STRIPED CROSSWALK

## **PAVEMENT HATCH PATTERNS:**



## **SITE PARKING RE-CAP**

OFF-STREET PARKING-PROPOSED  
74 TOTAL PARKING STALLS PROPOSED  
-3 HANDICAP STALLS  
71 STANDARD STALLS



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LA VOITURE BIAN

**TRI-NORTH BUILDERS**  
**WHITNEY POINT APARTMENTS**  
**CITY OF MADISON**  
**DAE COUNTY, WISCONSIN**

Civil Engineering  
Land Surveying  
Landscape Architecture  
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715.344.9999(Ph) 715.344.9922(Fax)

4.0m

888

### CURVE DATA TABLE

Curve	Arc Length	Radius	Delta Angle	Chord Bearing	Chord Length
C-1	42.98' (42.89')	25.00'	98°30'22" (98°17'35")	S 40°21'56" W (S 40°01'26" W)	37.88' (37.82')
C-2	212.76' (212.71')	751.68'	16°13'02" (16°12'48")	N 08°34'13" E (N 07°22'09" E)	212.05' (212.00')

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## **GENERAL NOTES:**

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
2. THE PROPOSED SITE PLAN FINISH FLOOR ELEVATION OF \_\_\_\_\_ EQUALS THE PROPOSED BUILDING ARCHITECTURAL FINISH FLOOR ELEVATION OF 100.00'.
3. GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
4. INSTALL AND MAINTAIN ALL REQUIRED EROSION CONTROL MEASURES IN ACCORDANCE WITH LOCAL AUTHORITIES AND THE DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
5. 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LAWN AREAS AND 12" SHALL BE PROVIDED IN ALL PLANTING BED AREAS.
6. SEE SHEET \_\_\_\_\_ FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
7. ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
8. COORDINATE ALL EARTHWORK ACTIVITIES WITH THE RESPECTIVE TRADES RESPONSIBLE FOR THE INSTALLATION OF GAS, CABLE, TELEPHONE AND ELECTRICAL (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE).
9. PROVIDE RIP RAP AT PROPOSED CULVERT ENDWALL STRUCTURES TO PREVENT WASHOUT AND EROSION.
10. RIP RAP SHALL HAVE WSDOT TYPE HR FILTER FABRIC PLACED BEHIND.
11. EXCESS TOPSOIL SHALL BE REMOVED FROM SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER. COORDINATE WITH OWNER FOR LOCATION OF STOCKPILE IF THE OWNER CHOOSES TO SALVAGE EXCESS TOPSOIL FOR FUTURE USE. SILT FENCE SHALL BE PLACED AROUND STOCKPILE.
12. THE ENGINEERED SOIL SHALL NOT BE PLACED IN THE BIORETENTION AREAS UNTIL THE SURROUNDING DRAINAGE AREA HAS BEEN FULLY STABILIZED. ALL CONSTRUCTION SITE SEDIMENT SHALL BE REMOVED FROM THE SUBGRADE OF THE BIORETENTION AREA PRIOR TO PLACEMENT OF THE ENGINEERED SOIL.
13. TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH SPS 382.21.
14. THE LOCAL MUNICIPALITY SHALL BE CONTACTED PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL HAVE HIS TRAFFIC CONTROL PLAN APPROVED PRIOR TO WORK COMMENCING. THE LOCAL MUNICIPALITY SHALL OPERATE ALL EXISTING WATER VALVES IF NEEDED.
15. GRADES AT BUILDING EDGE SHALL BE 6" BELOW FINISHED FLOOR ELEVATION EXCEPT AT DOOR WAY ENTRANCES OR UNLESS OTHERWISE NOTED.

**GRADING LEGEND:**

EXISTING CONTOUR	712
PROPOSED CONTOUR	712
PROPOSED SPOT ELEVATION	692.26
PROPOSED ENDWALL INVERT ELEVATION	INV=892.05
PROPOSED RIM ELEVATION	RIM=893.56
PROPOSED TOP OF CURB ELEVATION	TC=893.56
PROPOSED FLOW LINE ELEVATION	FL=893.56

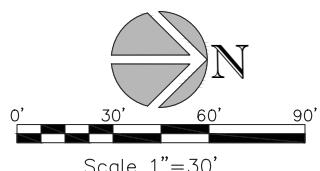
## PRELIMINARY GRADING PLAN

**WHITNEY POINT APARTMENTS  
CITY OF MADISON  
DAE COUNTY, WISCONSIN**

5709 Windy Drive, Suite D  
Stevens Point, WI 54482  
715.344.9999 (Ph) 715.344.9922 (Fx)

on  
beginning

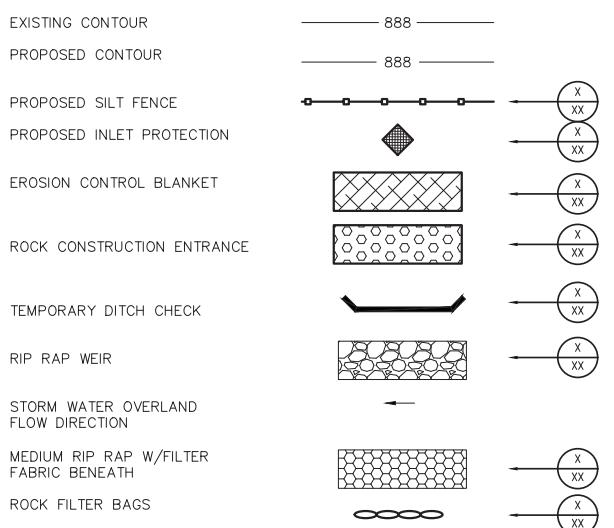
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CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
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**GENERAL NOTES:**

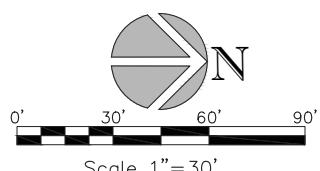
1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
2. NOTIFY THE LOCAL MUNICIPALITY AT LEAST 2 WORKING DAYS PRIOR TO THE START OF SOIL DISTURBING ACTIVITIES.
3. INSTALL ALL TEMPORARY EROSION CONTROL ELEMENTS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
4. ALL ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE AS TO MINIMIZE THE AMOUNT OF BARE SOIL EXPOSED AT ANY ONE TIME. MAINTAIN EXISTING VEGETATION AS LONG AS POSSIBLE.
5. CRUSHED ROCK DRIVES FOR SEDIMENT TRACKING UTILIZING 3" CRUSHED ROCK SHALL BE MAINTAINED AT ALL CONSTRUCTION ENTRANCES TO THE SITE. THE ROCK DRIVE SHALL BE A MINIMUM OF 12" THICK AND BE A MINIMUM OF 50 FEET IN LENGTH BY THE WIDTH OF THE DRIVEWAY.
6. OFF SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OFF SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES, INCLUDING SOIL TRACKED BY CONSTRUCTION TRAFFIC, SHALL AT A MINIMUM BE CLEANED BY THE END OF EACH WORK DAY. EXCESSIVE AMOUNTS OF SEDIMENT OR OTHER DEBRIS TRACKED ONTO ADJACENT STREETS SHALL BE CLEANED IMMEDIATELY. FINE SEDIMENT ACCUMULATIONS SHALL BE CLEANED FROM ADJACENT STREETS BY THE USE OF MECHANICAL OR MANUAL SWEEPING OPERATIONS ONCE A WEEK AT A MINIMUM AND BEFORE IMMINENT RAIN EVENTS.
7. DISTURBED GROUND OUTSIDE OF THE EVERYDAY CONSTRUCTION AREAS, INCLUDING SOIL STOCKPILES, THAT IS LEFT INACTIVE FOR MORE THAN 7 DAYS SHALL BE TEMPORARILY STABILIZED BY SEEDING/MULCHING OR OTHER APPROVED METHODS.
8. WASTE MATERIAL THAT IS GENERATED ON THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO RUN INTO RECEIVING WATERS.
9. EROSION CONTROL DEVICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE END OF EACH WORK DAY.
10. INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE A WEEK AND AFTER ANY RAINFALL OF 0.5" OR MORE. MAKE NEEDED REPAIRS AND DOCUMENT ALL ACTIVITIES AS PER THE REQUIREMENTS OF THE NOTICE OF INTENT SUBMITTED BY THE PROJECT CIVIL ENGINEER.
11. ALL TEMPORARY EROSION CONTROL ELEMENTS SHALL REMAIN IN PLACE UNTIL A SUFFICIENT GROWTH OF VEGETATION IS ESTABLISHED AND THEN BE REMOVED AS PART OF THE BASE BID.
12. IF SEDIMENT LADED WATER NEEDS TO BE REMOVED FROM THE SITE, FILTER BAGS OR SCREENING SHALL BE USED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061 TO PREVENT SEDIMENT DISCHARGE TO THE MAXIMUM EXTENT PRACTICABLE.
13. PROVIDE RIP RAP AT PROPOSED CULVERT ENDWALL STRUCTURES TO PREVENT WASHOUT AND EROSION.
14. RIP RAP SHALL HAVE WISDOT TYPE HR FILTER FABRIC PLACED BENEATH.
15. IF BARE SOIL IS EXPOSED DURING THE WINTER MONTHS, STABILIZATION BY MULCHING OR ANIONIC POLYACRYLAMIDE SHALL OCCUR PRIOR TO SNOW OR FROZEN GROUND.
16. SILT FENCE SHALL BE INSTALLED AROUND THE TOPSOIL STOCKPILE.
17. SILT FENCE SHALL BE INSTALLED AROUND THE BIORETENTION AREA IMMEDIATELY FOLLOWING INSTALLATION OF THE ENGINEERED SOIL TO PROTECT IT FROM SILT CONTAMINATION.
18. THE ENGINEERED SOIL SHALL NOT BE PLACED IN THE BIORETENTION AREAS UNTIL THE SURROUNDING DRAINAGE AREA HAS BEEN FULLY STABILIZED. ALL CONSTRUCTION SITE SEDIMENT SHALL BE REMOVED FROM THE SUBGRADE OF THE BIORETENTION AREA PRIOR TO PLACEMENT OF THE ENGINEERED SOIL.
19. THE CONTRACTOR SHALL PERFORM INSPECTIONS AND MONITORING OF EROSION CONTROL PRACTICES IN ACCORDANCE WITH THE WI DNR "CONSTRUCTION SITE INSPECTION REPORT" FORM 3400-187. THIS FORM CAN BE FOUND IN THE CONSTRUCTION SPECIFICATIONS.

### **EROSION CONTROL LEGEND:**



# **EROSION CONTROL SEQUENCING**

1. INSTALL PERIMETER EROSION CONTROL
2. EXCAVATE A TEMPORARY SEDIMENT TRAP AT THE PROPOSED BIO-RETENTION AREA IN ACCORDANCE WITH DNR TECHNICAL STANDARD 1063
  - 2.1. SEDIMENT TRAP BOTTOM BASIN ELEVATION SHALL BE \_\_\_\_\_
  - 2.2. INSTALL STONE OUTLET/OVERFLOW WEIR PER GRADING PLAN DETAIL \_\_\_\_\_
  - 2.3. EXCAVATE SWALES NORTH AND EAST FROM THE BASIN TO DIRECT AND MAXIMIZE STORMWATER RUNOFF TO THIS BASIN DURING CONSTRUCTION
3. BEGIN DEMOLITION
4. BEGIN ROUGH GRADING AND UTILITY INSTALLATION
5. DURING GRADING ACTIVITIES EXISTING GRASS AND VEGETATION, TO BE REMOVED, SHALL REMAIN IN PLACE FOR AS LONG AS POSSIBLE, TO AVOID SEDIMENT TRANSPORT.
6. TEMPORARY STABILIZATION ACTIVITY SHALL COMMENCE WHEN LAND DISTURBING CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
7. FINAL STABILIZATION ACTIVITY SHALL COMMENCE WHEN LAND DISTURBING ACTIVITIES CEASE AND FINAL GRADE HAS BEEN REACHED ON ANY PORTION OF THE SITE.
8. PER GENERAL NOTE #20, THE SEDIMENT TRAP SHALL BE RECONSTRUCTED INTO THE PROPOSED BIO-RETENTION AREA AFTER THE SURROUNDING AREA HAS BEEN FULLY STABILIZED.
  - 8.1. ANY CONSTRUCTION SITE SEDIMENT BUILD UP SHALL BE REMOVED FROM THE PROPOSED BIO-RETENTION BASIN BEFORE EXCAVATION TO THE FINAL DEPTH AND INSTALLATION OF THE ENGINEERED SOIL
9. IF DISTURBED AREAS MUST BE LEFT OVER WINTER, AN ANIONIC POLYACRYLAMIDE SHALL BE APPLIED TO ALL DISTURBED AREAS PRIOR TO GROUND FREEZE. SEE SPECIFICATIONS FOR DETAILS.



100

4.0

Civil Engineering  
Land Surveying  
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5709 Windy Drive, Suite D  
Stevens Point, WI 54482

## EROSION CONTROL PLAN

**TRI-NORTH BUILDERS**  
**WHITNEY POINT APARTMENTS**  
**CITY OF MADISON**  
**DANE COUNTY, WISCONSIN**

### CURVE DATA TABLE

Curve	Arc Length	Radius	Delta Angle	Chord Bearing	Chord Length
C-1	42.98' (42.89')	25.00'	98°30'22" (98°17'35")	S 40°21'56" W (S 40°01'26" W)	37.88' (37.82')
C-2	212.76' (212.71')	751.68'	16°13'02" (16°12'48")	N 08°34'13" E (N 07°22'09" E)	212.05' (212.00')

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TRI-NORTH BUILDERS  
WHITNEY POINT APARTMENTS  
CITY OF MADISON  
DANE COUNTY, WISCONSINCivil Engineering  
Land Surveying  
Landscape Architecture  
5709 Windy Drive, Suite D  
Stevens Point, WI 54482  
715.344.9999(Ph) 715.344.9922(Fax)

## GENERAL NOTES:

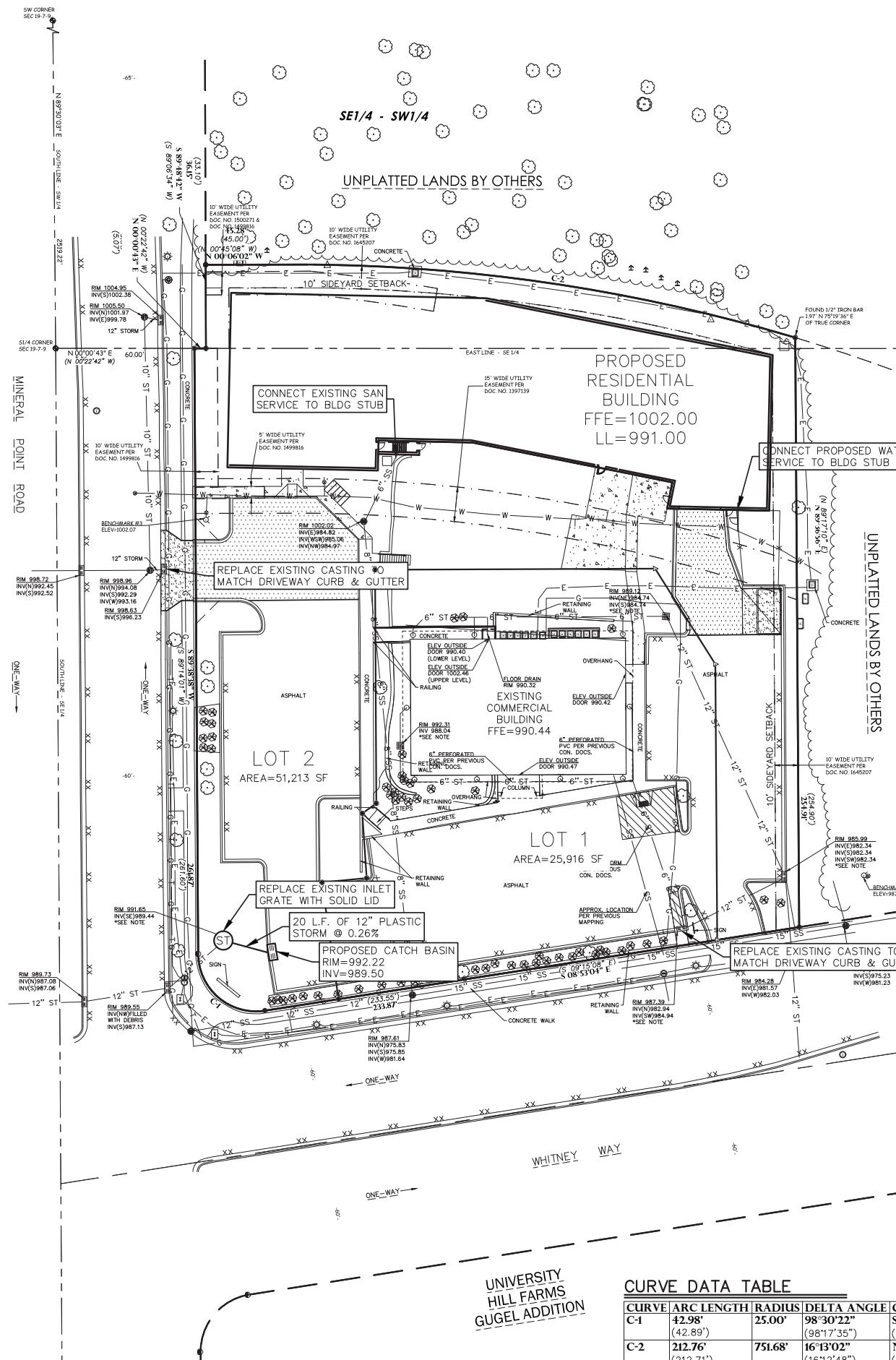
1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
2. GRADE, LINE, AND LEVEL SHALL BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
3. ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR.
4. VERIFY EXACT SANITARY SEWER/WATER LATERAL CONNECTION LOCATIONS AND SIZES WITH THE BUILDING MECHANICAL/PLUMBING PLANS.
5. COORDINATE ALL UTILITY WORK WITH THE RESPECTIVE TRADES RESPONSIBLE FOR THE INSTALLATION OF GAS, CABLE, TELEPHONE AND ELECTRICAL (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE).
6. COORDINATE ALL WORK WITHIN THE PUBLIC RIGHT OF WAY WITH THE LOCAL MUNICIPALITY.
7. TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH SPS 382.21.
8. THE PROPOSED WATER MAIN/LATERAL SHALL HAVE A MINIMUM COVER OF 7'-6" FROM TOP OF PIPE TO PROPOSED FINISHED GRADES. SEE SHEET \_\_\_\_\_ FOR PROPOSED GRADES.
9. THE MUNICIPALITY SHALL BE CONTACTED PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY AND PRIOR TO CONNECTING SANITARY SEWER AND WATER LATERALS TO THE PUBLIC MAINS. THE CONTRACTOR SHALL HAVE A TRAFFIC CONTROL PLAN APPROVED PRIOR TO WORK COMMENCING. THE MUNICIPALITY SHALL OPERATE EXISTING WATER VALVES, IF NEEDED.
10. CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, INSTALLATION AND PERMITTING OF THE WELL.
11. FIELD VERIFY INVERT ELEVATION OF THE SANITARY SEWER AND WATER PUBLIC MAIN AT THE LOCATION OF THE SERVICE LATERAL CONNECTIONS, PRIOR TO CONNECTING THE LATERALS TO THE PUBLIC MAIN.
12. PROVIDE RIP RAP AT PROPOSED CULVERT ENDWALL STRUCTURES TO PREVENT WASHOUT AND EROSION.
13. RIP RAP SHALL HAVE WisDOT TYPE HR FILTER FABRIC PLACED BEHIND.

## UTILITY LEGEND:

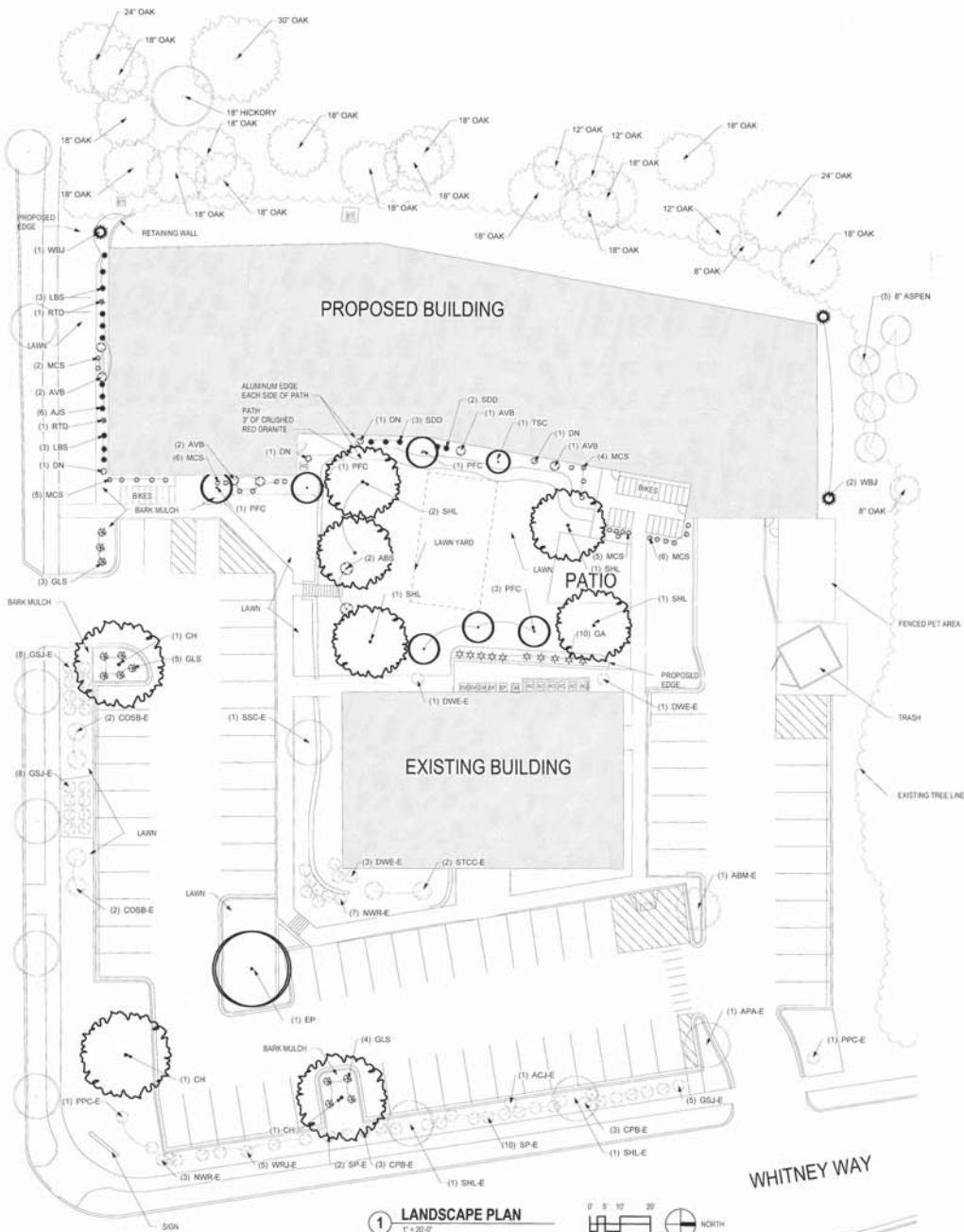
PROPOSED STORM SEWER

PROPOSED STORM SEWER MANHOLE

PROPOSED CURB BOX INLET







## PLANT LIST

KEY	SIZE	QUANTITY	COMMON NAME	BOTANICAL NAME	ROOT
ANONY TREES					
H	2 1/2' 3	2	COMMON HACKBERRY	CELTIS OCCIDENTALIS	BB
P	2 1/2' 1		EXCLAMATION PLANETREE	PLATANUS	BB
HL	2 1/2' 5		SKYLINE HONEYLOCUST	GLEDTIA TRICANTHOS	BB
ECUDICIOUS SHRUBS					
BS	4'	2	A B SERVICEBERRY	AMELANCHIER GRANDIFLORA 'A B'	BB
VB	36"	6	ARROWWOOD VIBURNUM	VIBURNUM DENTATUM	POT
N	24"	4	DIABLO NINEBARK	PHYSOCARPUS	POT
LS	18"	12	GRO LOW SUMAC	RHUS AROMATICA	POT
CS	18"	28	MAGIC CARPET SPIREA	SPIREA JAPONICA 'MAGIC CARPET'	POT
TD	24"	2	BAILEY'S RED DOGWOOD	CORNUS	POT
EVERGREEN SHRUBS					
A	3'	10	GLOBE ARBORVITAE	THUJA OCCIDENTALIS WOODWARD'	BB
BJ	5"	3	WICHITA BLUE JUNIPER	THUJA	BB
ORNAMENTAL TREES					
TC	2"	6	PRairie FIRE CRAB	MALUS PRAIRIE FIRE'	BB
SC	2"	1	TINA SARGENT CRAB	TINA MALUS SARGENTII 'TINA'	BB
PERENNIALS					
IS	1 G	6	AUTUMN JOY SEDUM		CON
LS	1 G	6	LITTLE BLUESTEM GRASS		CON
OD	1 G	5	STELLA DE ORO DAY LILY		CON

10

Lawn areas to receive a minimum of 4" of topsoil, starter fertilizer, and #1 locally grown bluegrass sod. Foundation planting beds to be mulched with shredded hardwood bark spread to a depth of 3". Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch spread to a depth of 3". Designated planting beds to be separated from lawn areas with 5" black vinyl bed edging. Edging will be unacceptable for maintenance after installation and acceptance.

#### EXISTING PLANT LIST

## LANDSCAPE WORKSHEET

### Whitney Point

5 +	20,945 SF 249 points
6 +	146 points
7 +	315 points
8 +	0 points
9 +	0 points
10 +	139 points
11 +	175 points
12 +	0 points
13 +	0 points
14 +	111 points
15 +	188 points
16 +	114 points
17 +	96 points
18 +	0 points
19 +	89 points

Lot Frontage Landscape Required

(Section 28.142(5) Development Frontage Landscaping)

"One (1) over-story deciduous tree and five (5) shrubs shall be planted for each thirty (30) linear feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) over-story deciduous tree."

Mean Pwt/Whitebry	560 U
Over story trees required	560/200 = 18.8
Shrubs required	(560/37) x 5 = 38.6
Over story trees supplied	19 trees
Ornamentals/Evergreen trees supplied	93 shrubs
	14 trees
	10 trees

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The logo for Tri-North, featuring a stylized 'T' and 'N' above the word 'Tri-North'.

RENT  
WHITNEY POINT APARTMENTS  
8. WHITNEY WAY  
DALLAS, TX 75205

## LANDSCAPE PLAN

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## PROPERTY LINE

## PROPERTY LINE SETBACK 10'-0"

## BUILDING CODE NOTES

TO REDUCE THE FIRE ACCESS LANE REQUIREMENTS

1. CORRIDORS WILL HAVE SMOKE DETECTION
2. SHIPS LADDERS TO THE ROOF WITH ROOF HATCHES WILL BE PROVIDED AT THE TOP OF BOTH STAIRS
3. BUILDING WILL BE SPRINKLED WITH NFPA 13.

LOWER LEVEL PARKING GARAGE FLOOR PLAN

1 SCALE: 1/8" = 1'-0"

Technical drawing showing a steel slide bolt assembly. The main drawing shows a front view with dimensions: 6'-0" overall width, 5'-1 3/4" top of bolt, 3'-4" top of bolt, 1 1/4" top of bolt, 4'-2 1/2" height, 1" top of bolt, 4'-2 1/2" height, 1" top of bolt, 4'-2 1/2" height, and 4'-2 1/2" height. A callout L-133 shows a side view of the bolt. A cross-sectional view at the bottom shows the bolt's internal structure with dimensions 1 1/4", 1 1/4", 1 1/4", 1 1/4", and 1 1/4".

Architectural drawing showing a vertical wall section with the following details:

- Width:** 9'-9" OUT TO OUT OF SIDING
- Height:** 8'-0" (from ground to top of siding)
- Material:** 1X6 CEDAR CAP
- Trim:** 1X6 CORNER BOARD
- Base:** (2) 2X4 TREATED TOP PLATE
- Vertical Support:** 2X4 TREATED VERTICAL SUPPORT @ 2'-2" O.C.
- Base:** 1X6 ROUGH SAWN 1&2 CEDAR SIDING W/ 5 1/16" EXPOSURE (FIELD APPLIED)
- Base:** 6" CONC. SLAB #4/1927 0.5" OVER 4" GRAN. FILL OVER COMPACTED FILL
- Base:** 1'-6" AUGURED CONC. FOOTING
- Notes:** ALL EXPOSED CEDAR TO BE PAINTED. TEST AND OWNER APPROVED.
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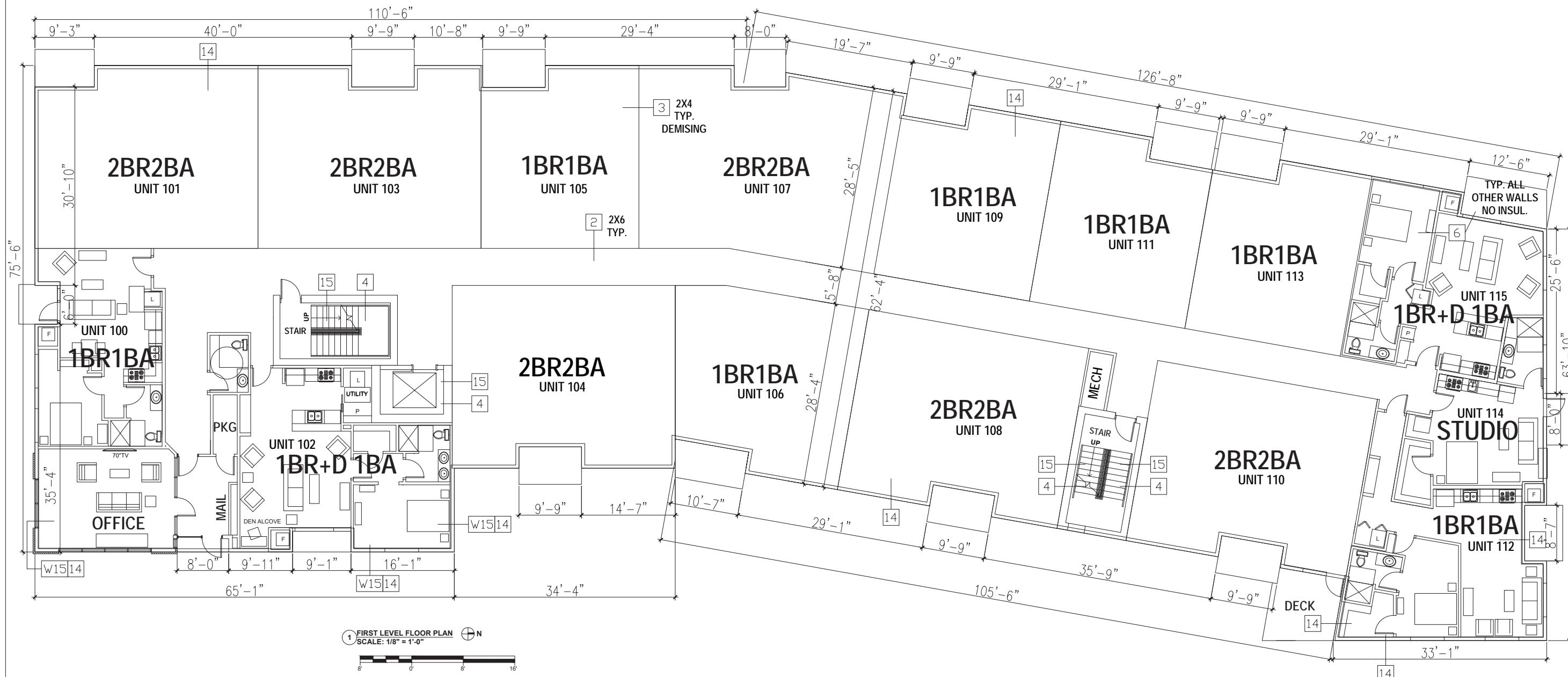
PROJECT:  
WHITNEY POINT APARTMENTS  
5402 S. WHITNEY WAY  
MADISON, WI 53705

## TITLE: LOWER LEVEL PARKING GARAGE FLOOR PLAN

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PROJECT NO: 18001-025	DATE: 02/05/2019

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## **BUILDING CODE NOTES**

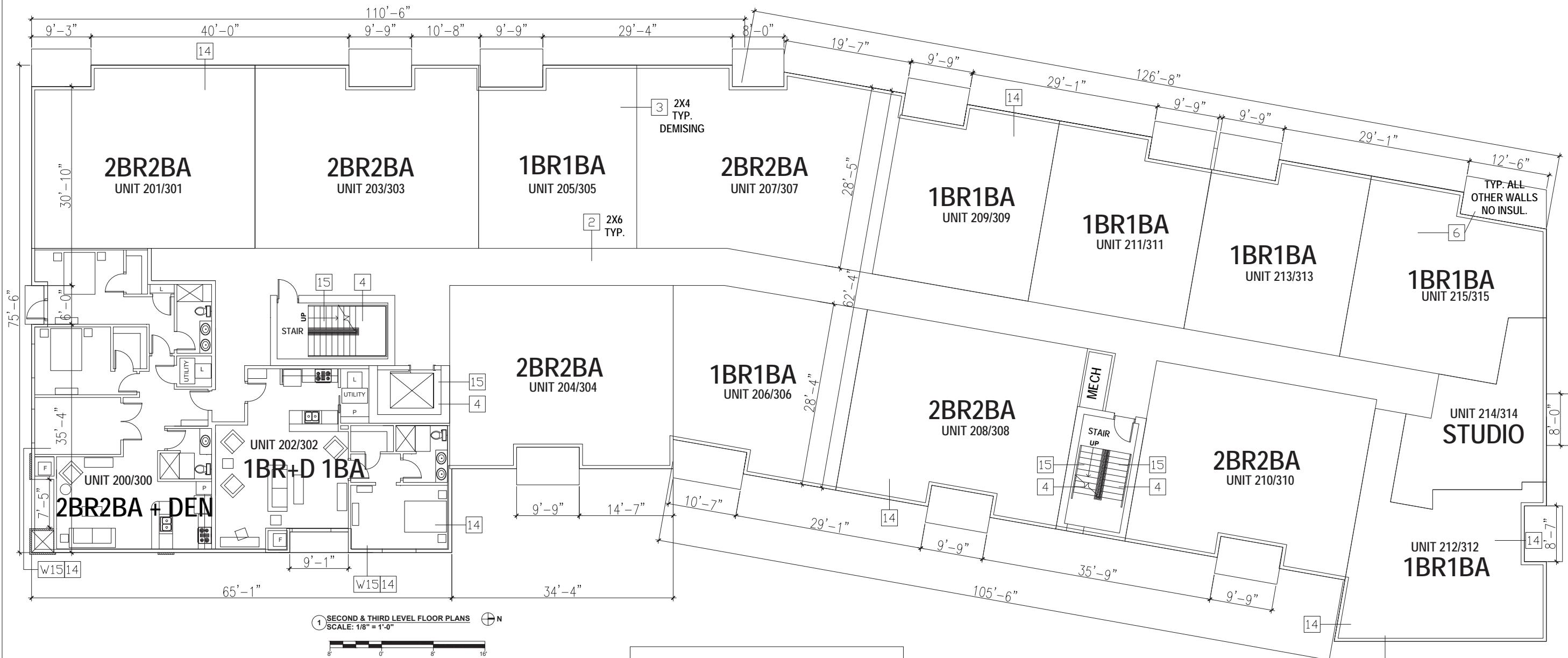
## TO REDUCE THE FIRE ACCESS LANE REQUIREMENTS

1. CORRIDORS WILL HAVE SMOKE DETECTION
2. SHIPS LADDERS TO THE ROOF WITH ROOF HATCH WILL BE PROVIDED AT THE TOP OF BOTH STAIRS
3. BUILDING WILL BE SPRINKLED WITH NFPA 13.

JECT:  
ITNEY POINT APARTMENTS  
02 S. WHITNEY WAY  
DISON, WI 53705

LE:  
FIRST LEVEL  
FLOOR PLAN

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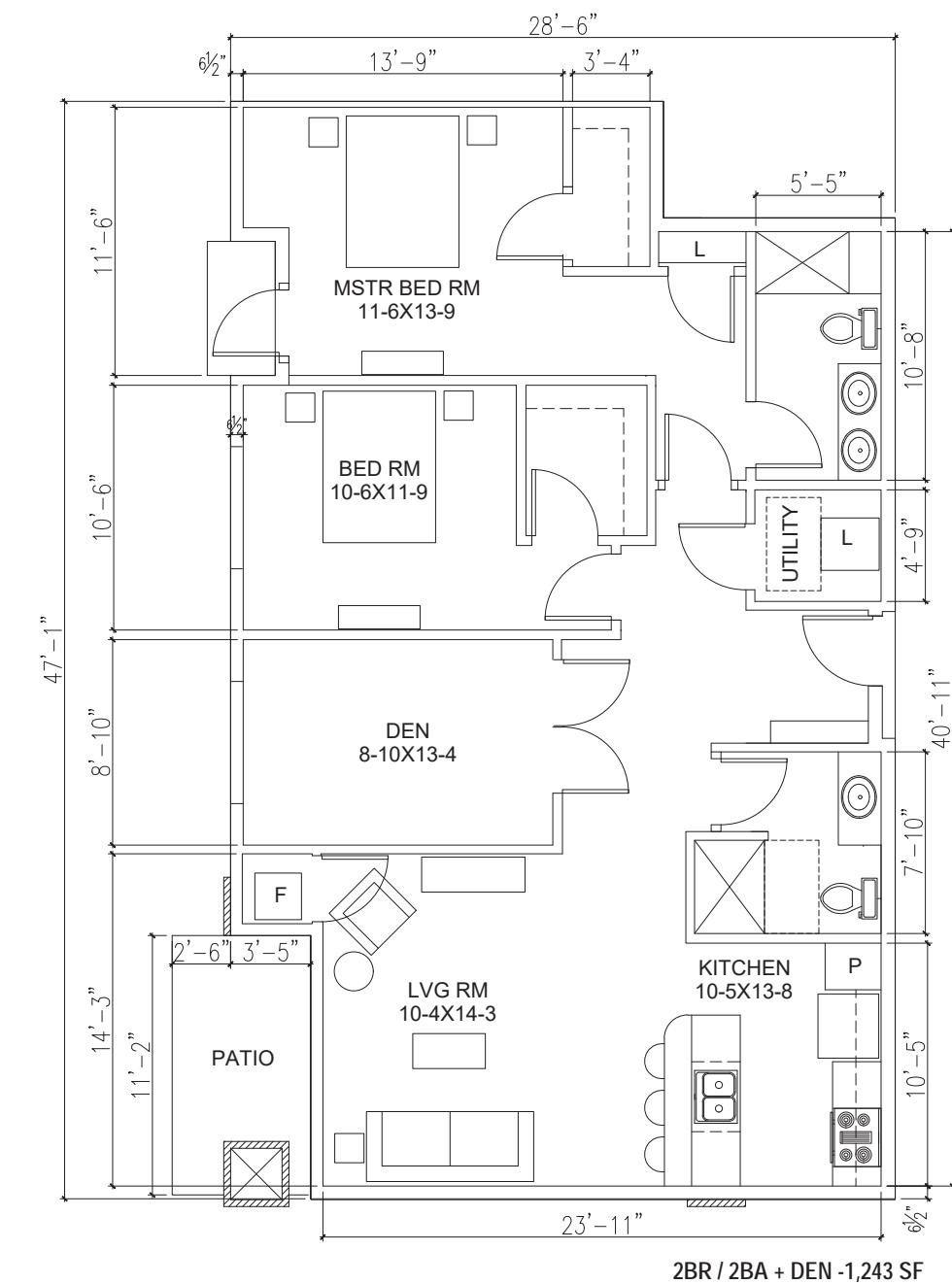
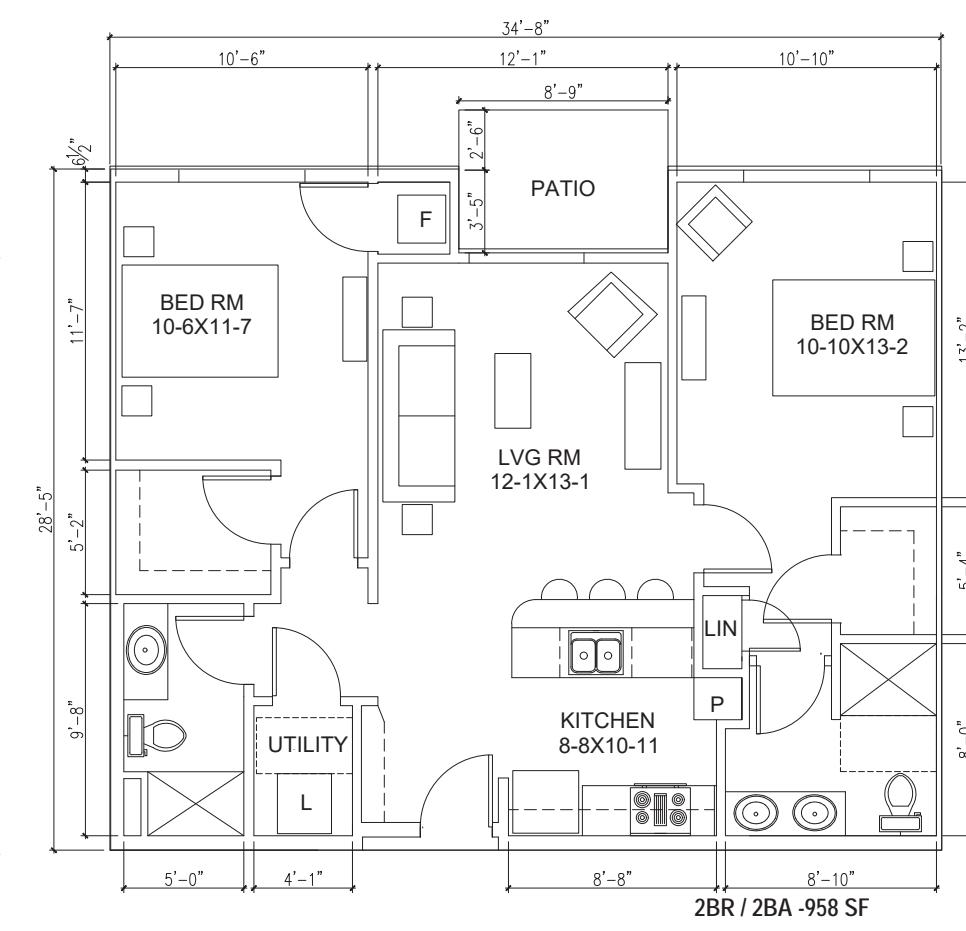
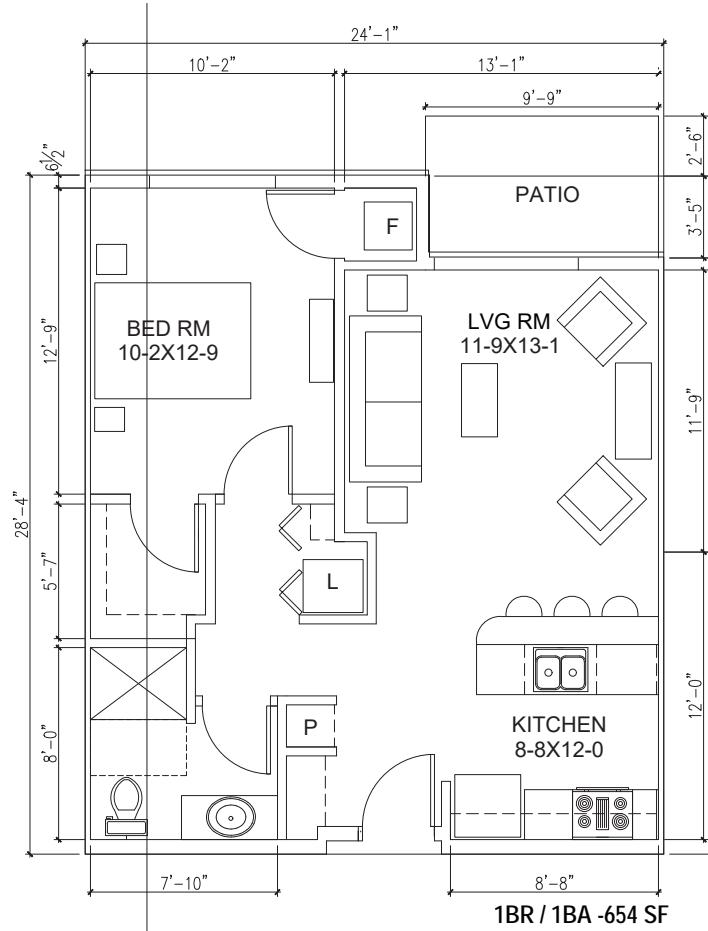
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3. BUILDING WILL BE SPRINKLED WITH NFPA 13.

PROJECT:  
WHITNEY POINT APARTMENTS  
6402 S. WHITNEY WAY  
MADISON, WI 53705

## TITLE: SECOND & THIRD LEVEL FLOOR PLANS

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 WHITNEY POINT APARTMENTS  
 5402. S. WHITNEY WAY  
 MADISON, WI 53705

TITLE:  
 UNIT FLOOR PLANS  
 TYPICALS

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1 EAST EXTERIOR ELEVATION  
SCALE: 3/32"=1'-0"



2 NORTH EXTERIOR ELEVATION  
SCALE: 3/32"=1'-0"



3 SOUTH EXTERIOR ELEVATION  
SCALE: 3/32"=1'-0"



4 WEST EXTERIOR ELEVATION  
SCALE: 3/32"=1'-0"

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WHITNEY POINT APARTMENTS  
5402 S. WHITNEY WAY  
MADISON, WI 53705

TITLE:  
EXTERIOR ELEVATIONS

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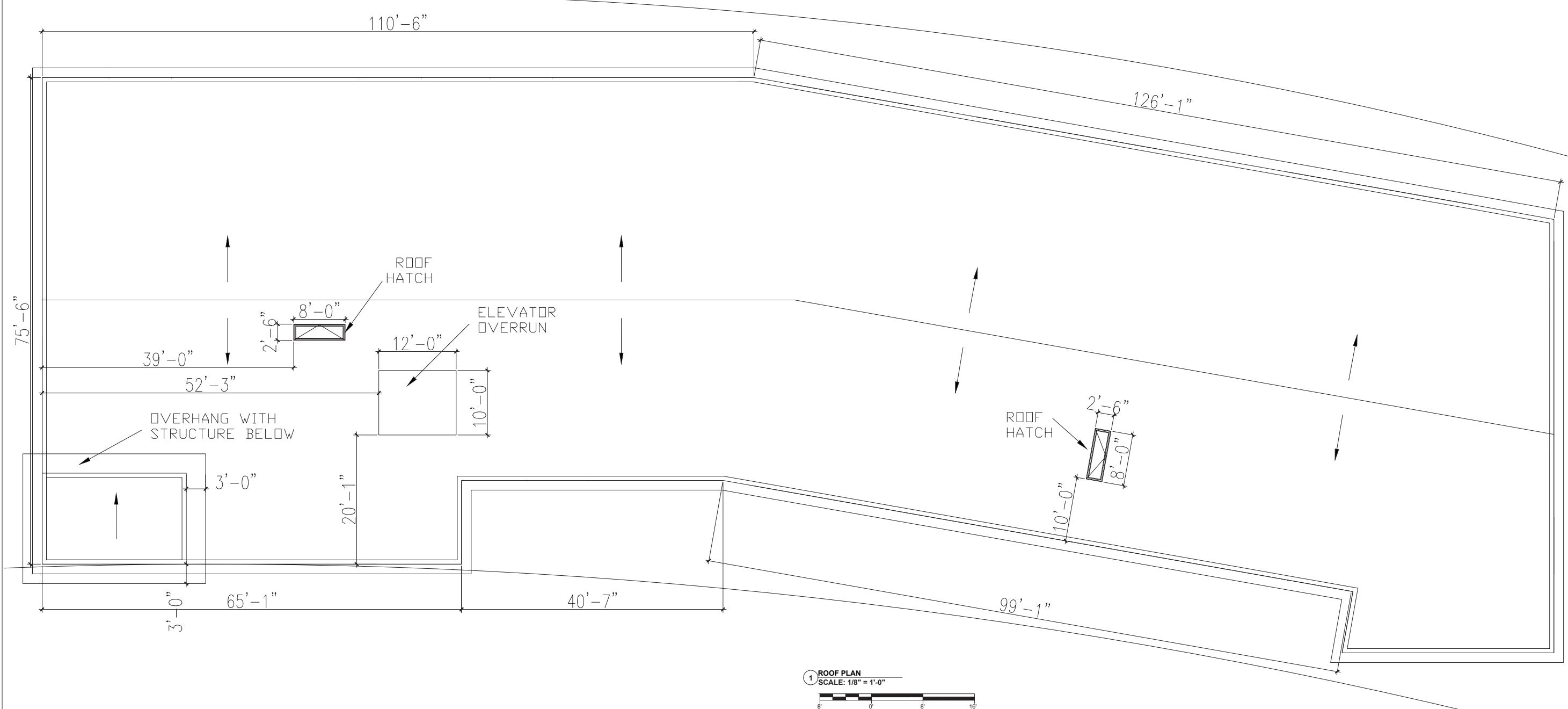


PROJECT:  
 WHITNEY POINT APARTMENTS  
 5402 S. WHITNEY WAY  
 MADISON, WI 53705

TITLE:  
 ENLARGED 3D  
 RENDERINGS

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### BUILDING CODE NOTES

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1. CORRIDORS WILL HAVE SMOKE DETECTION
2. SHIPS LADDERS TO THE ROOF WITH ROOF HATCH  
WILL BE PROVIDED AT THE TOP OF BOTH STAIRS
3. BUILDING WILL BE SPRINKLED WITH NFPA 13.

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 WHITNEY POINT APARTMENTS  
 5402 S. WHITNEY WAY  
 MADISON, WI 53705

TITLE:  
 ROOF PLAN

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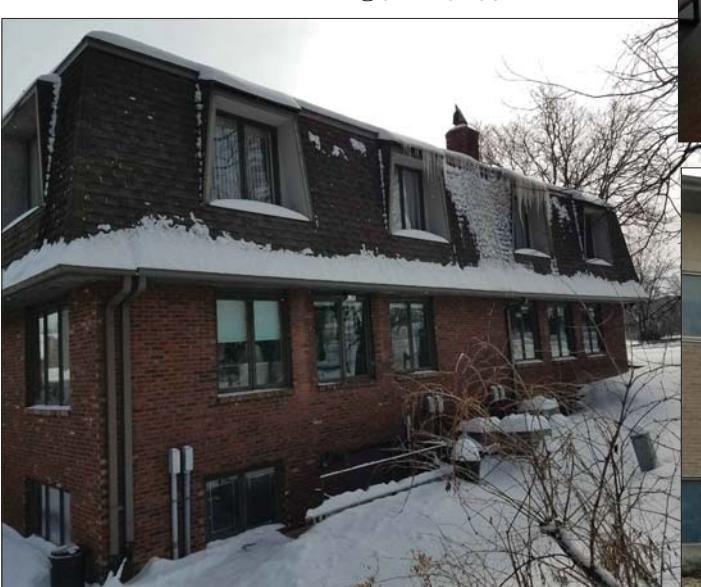
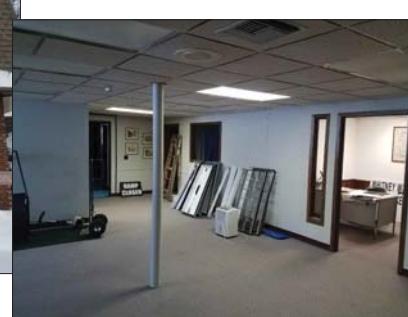
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TITLE:  
 EXTERIOR RENDERING

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MADISON, WI 53705

TITLE:  
EXISTING EXTERIOR  
BUILDING IMAGES

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ROAD CITY

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