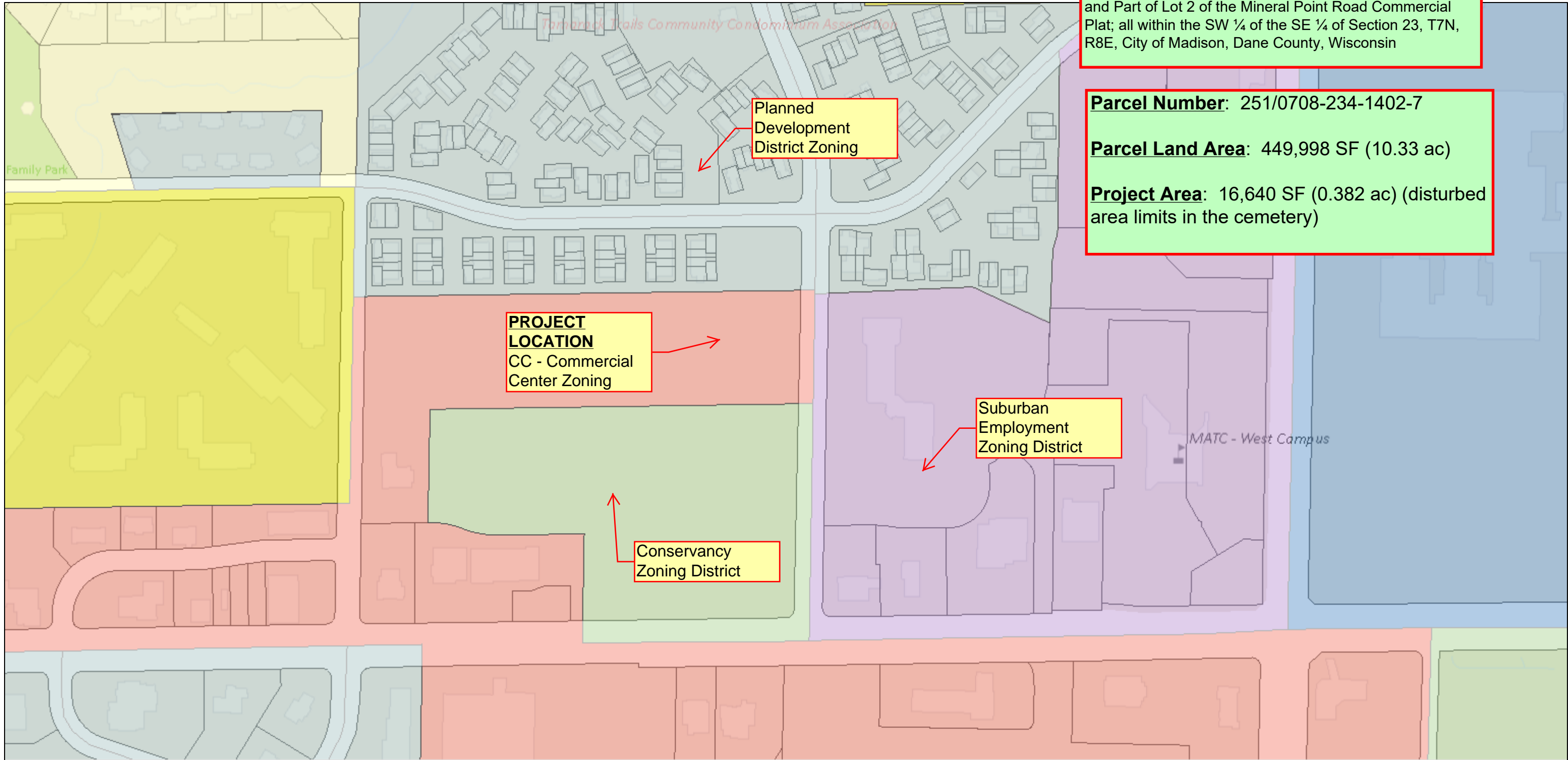


ArcGIS Web Map

Legal Description:
 Part of Section `G' of the Sunset Memory Gardens Plat;
 and Part of Lot 2 of the Mineral Point Road Commercial
 Plat; all within the SW ¼ of the SE ¼ of Section 23, T7N,
 R8E, City of Madison, Dane County, Wisconsin

Parcel Number: 251/0708-234-1402-7
Parcel Land Area: 449,998 SF (10.33 ac)
Project Area: 16,640 SF (0.382 ac) (disturbed
 area limits in the cemetery)



PROJECT LOCATION
 CC - Commercial
 Center Zoning

Planned
 Development
 District Zoning

Suburban
 Employment
 Zoning District

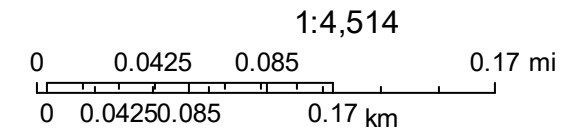
Conservancy
 Zoning District

MATC - West Campus

3 / 15 / 2018

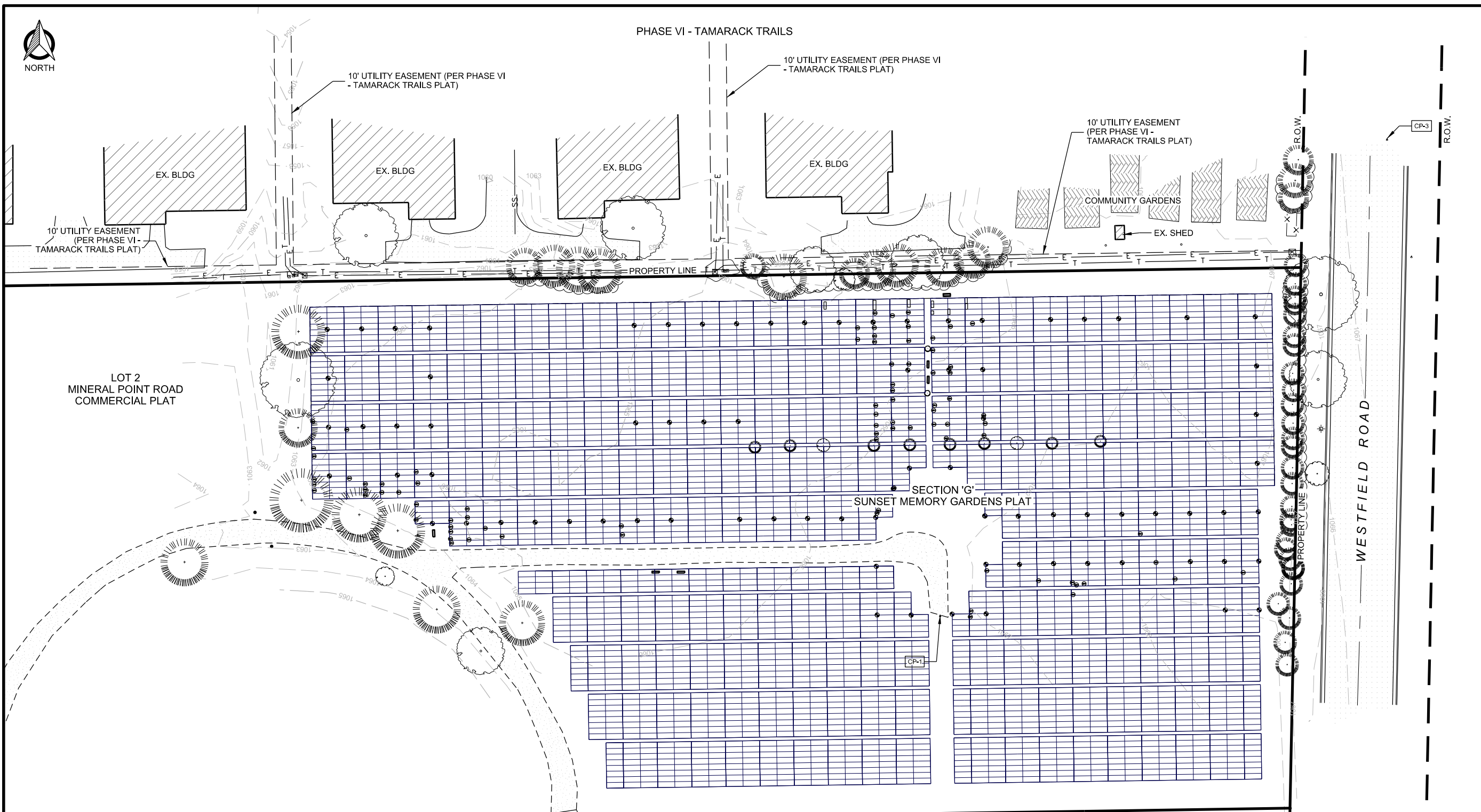
3 : 26 : 06 PM

Urban Design Districts	AP	DR-1	MXC	SEC	TE	TR-R	UMX
Local Historic Districts	CC	DR1	NMX	SR-C1	TR-C1	TR-U1	UOR
Zoning Districts	CC-T	DR2	PD	SR-C2	TR-C2	TR-U2	Parcels
<all other values>	CI	EC	PMHP	SR-C3	TR-C3	TR-V1	
<Null>	CN	IG	PR	SR-V1	TR-C4	TR-V2	
A	DC	IL	SE	SR-V2	TR-P	TSS	





PHASE VI - TAMARACK TRAILS



CONSULTANT:
Edge
Consulting Engineers, Inc.
624 WATER STREET
PRAIRIE DU SAC, WI 53578
608.644.1449 VOICE
608.644.1549 FAX
www.edgeconsult.com

CLIENT:

EXISTING SITE PLAN
SUNSET MEMORY GARDENS DRIVEWAY FOR JBAM
210 SOUTH WESTFIELD ROAD
MADISON, WISCONSIN

SURVEY LEGEND:

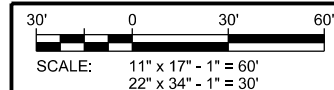
W	EX. WATER SERVICE		SIGNAGE
SS	EX. SANITARY SEWER		TRANSFORMER
ST	EX. STORM SEWER		PEDESTAL (ELEC./CABLE/TEL.)
G	EX. GAS		METER (PARKING)
E	EX. UNDERGROUND ELECTRIC		CURB INLET (INL)
OHE	EX. OVERHEAD ELECTRIC		CATCH BASIN (CB)
	EX. MAN HOLE		BENCHMARK
	HYDRANT		CONTROL POINT
	VALVE		SOIL BORING
	UTILITY POLE		IRON PIPE - FOUND
	LIGHT POLE		EXISTING CONTOUR
	CONCRETE		GRAVEL
	ASPHALT		GARDEN
	WASHED STONE		RIP-RAP

GENERAL SURVEY NOTES: (THIS SHEET)

- NO PROPERTY SURVEY WAS PERFORMED AS PART OF THIS PROJECT. ALL PROPERTY AND R.O.W. LINES SHOWN ARE BASED ON SUNSET MEMORY GARDENS PLAT, DATED: 08-11-1988.
- HORIZONTAL COORDINATES REFERENCED TO WISCONSIN COUNTY COORDINATE SYSTEM - DANE COUNTY.
- ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- CONTOUR INTERVAL IS ONE FOOT
- SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES AND BY LOCATING DIGGERS HOT LINE FIELD MARKINGS. (TICKET # 20184218820)
- PRIVATE UTILITIES SHOWN ARE BASED ON PRIOR PLANS AND ARE SCHEMATIC ONLY. NO FIELD VERIFICATION WAS COMPLETED. A PRIVATE UTILITY LOCATE SHALL BE PERFORMED PRIOR TO ANY EXCAVATION.
- BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF PUBLIC UTILITIES, CONTACT DIGGERS HOT LINE, AT 1.800.242.8511.
- THE ACCURACY OF THE CONTROL POINTS AND BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. EDGE CONSULTING ENGINEERS, INC. DOES NOT WARRANT THE ACCURACY OF THESE CONTROL POINTS AND BENCHMARKS. THE ENGINEER SHALL BE NOTIFIED OF ANY DEVIATIONS AND/OR DISCREPANCIES.

CONTROL POINTS

POINT ID	NORTHING	EASTING	ELEVATION	DESCRIPTION
CP-1	478497.43	787894.81	1066.63	SPIKE IN GRAVEL - CHECK INTO OTHER CONTROL POINTS BEFORE USING THIS
CP-2	478361.09	788128.46	1065.27	PK NAIL SET IN ASPHALT
CP-3	478776.59	788156.71	1067.56	PK NAIL SET IN ASPHALT



SHEET TITLE:

SUBMITTAL:		
INT.	DATE	DESCRIPTION:

DRAWN BY	NED
----------	-----

CHECKED BY	BJB
------------	-----

PLOT DATE	2/4/2019
-----------	----------

PROJECT NUMBER	19379
----------------	-------

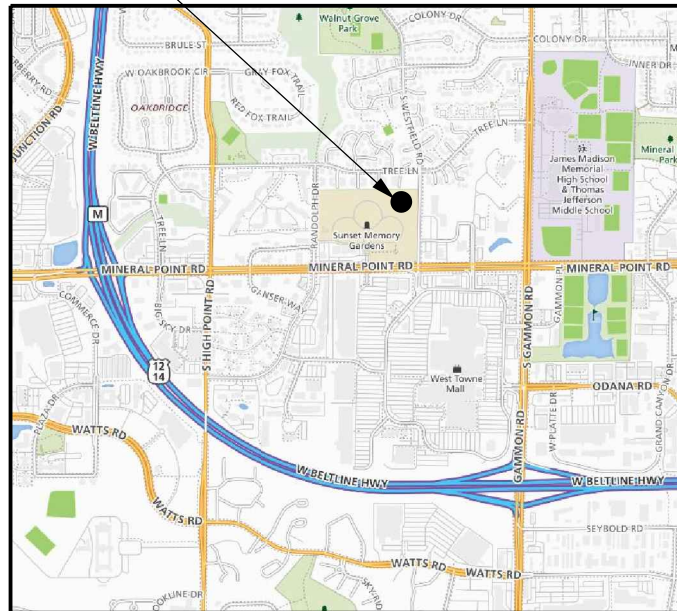
SET TYPE	CD
----------	----

SHEET NUMBER	V-101
--------------	--------------

R:\19379\19379\CAD\PLAN\19379-101.dgn



SITE LOCATION



SITE LOCATION MAP

SUNSET MEMORY GARDENS DRIVEWAY FOR JBAM 210 SOUTH WESTFIELD ROAD MADISON, WISCONSIN

PROJECT DIRECTORY:

ENGINEER:
EDGE CONSULTING ENGINEERS, INC.
624 WATER STREET
PRAIRIE DU SAC, WI 53578
CONTACT: BRIAN BEAULIEU
PHONE: (608) 644-1449

DEVELOPER:
JEWISH BURIAL ASSOCIATION OF MADISON
TEMPLE BETH EL
2702 ARBOR DRIVE
MADISON, WI 53711
CONTACT: JIM STEIN
PHONE: (608) 827-5216

PROPERTY OWNER:
STONEMOR
1500 HWY 310
MANITOWOC, WI 54220
CONTACT: TED DIRKMAN
PHONE: (920) 629-8736

PROJECT INFO:

SITE LOCATION:
210 SOUTH WESTFIELD ROAD
MADISON, WI 53717

LEGAL DESCRIPTION:
PART OF SECTION 'G' OF THE SUNSET
MEMORY GARDENS PLAT,
AND PART OF LOT 2 OF THE MINERAL POINT
ROAD COMMERCIAL PLAT,
ALL WITHIN THE SW 1/4 OF THE SE 1/4
SECTION 23, T.07N., R.08E.,
CITY OF MADISON,
DANE COUNTY
WISCONSIN

PARCEL NUMBER:
251 / 0708-234-1402-7

SHEET INDEX:

NO.:	PAGE TITLE
G-001	COVER SHEET
V-101	EXISTING SITE PLAN
C-100	PROJECT AREA OVERVIEW
C-101	OVERALL SITE & DRAINAGE PLAN
C-102	SITE & UTILITY PLAN
C-103	GRADING & EROSION CONTROL PLAN
C-501	SITE DETAILS
C-502	SITE DETAILS
L-101	LANDSCAPE PLAN

CONSULTANT:
Edge
Consulting Engineers, Inc.
624 WATER STREET
PRAIRIE DU SAC, WI 53578
608.644.1449 VOICE
608.644.1549 FAX
www.edgeconsult.com

CLIENT:

COVER SHEET
SUNSET MEMORY GARDENS DRIVEWAY FOR JBAM
210 SOUTH WESTFIELD ROAD
MADISON, WISCONSIN

SHEET TITLE:

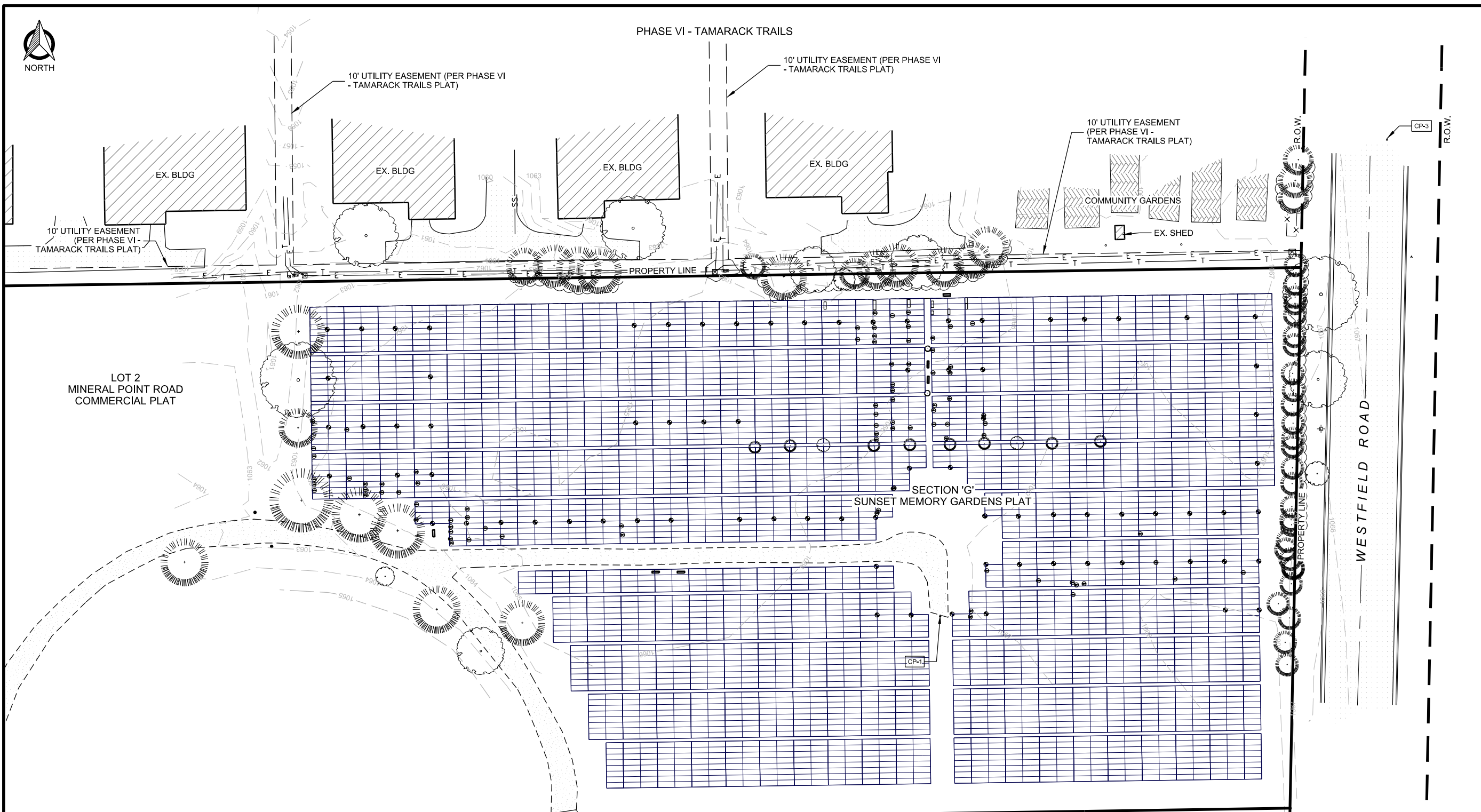
SUBMITTAL:		
INT.	DATE:	DESCRIPTION:

DRAWN BY	NED
CHECKED BY	BJB
PLOT DATE	2/4/2019
PROJECT NUMBER	19379
SET TYPE	CD
SHEET NUMBER	G-001

K:\193001\19379\CAD\PLT\G-001.dgn



PHASE VI - TAMARACK TRAILS



CONSULTANT:
Edge
Consulting Engineers, Inc.
624 WATER STREET
PRAIRIE DU SAC, WI 53578
608.644.1449 VOICE
608.644.1549 FAX
www.edgeconsult.com

CLIENT:

EXISTING SITE PLAN
SUNSET MEMORY GARDENS DRIVEWAY FOR JBAM
210 SOUTH WESTFIELD ROAD
MADISON, WISCONSIN

LOT 2
MINERAL POINT ROAD
COMMERCIAL PLAT

SURVEY LEGEND:

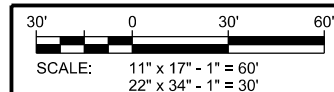
W	EX. WATER SERVICE		SIGNAGE
SS	EX. SANITARY SEWER		TRANSFORMER
ST	EX. STORM SEWER		PEDESTAL (ELEC./CABLE/TEL.)
G	EX. GAS		METER (PARKING)
E	EX. UNDERGROUND ELECTRIC		CURB INLET (INL)
OHE	EX. OVERHEAD ELECTRIC		CATCH BASIN (CB)
	EX. MAN HOLE		BENCHMARK
	HYDRANT		CONTROL POINT
	VALVE		SOIL BORING
	UTILITY POLE		IRON PIPE - FOUND
	LIGHT POLE		EXISTING CONTOUR
	CONCRETE		GRAVEL
	ASPHALT		GARDEN
	WASHED STONE		RIP-RAP

GENERAL SURVEY NOTES: (THIS SHEET)

- NO PROPERTY SURVEY WAS PERFORMED AS PART OF THIS PROJECT. ALL PROPERTY AND R.O.W. LINES SHOWN ARE BASED ON SUNSET MEMORY GARDENS PLAT, DATED: 08-11-1988.
- HORIZONTAL COORDINATES REFERENCED TO WISCONSIN COUNTY COORDINATE SYSTEM - DANE COUNTY.
- ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- CONTOUR INTERVAL IS ONE FOOT
- SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES AND BY LOCATING DIGGERS HOT LINE FIELD MARKINGS. (TICKET # 20184218820)
- PRIVATE UTILITIES SHOWN ARE BASED ON PRIOR PLANS AND ARE SCHEMATIC ONLY. NO FIELD VERIFICATION WAS COMPLETED. A PRIVATE UTILITY LOCATE SHALL BE PERFORMED PRIOR TO ANY EXCAVATION.
- BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF PUBLIC UTILITIES, CONTACT DIGGERS HOT LINE, AT 1.800.242.8511.
- THE ACCURACY OF THE CONTROL POINTS AND BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. EDGE CONSULTING ENGINEERS, INC. DOES NOT WARRANT THE ACCURACY OF THESE CONTROL POINTS AND BENCHMARKS. THE ENGINEER SHALL BE NOTIFIED OF ANY DEVIATIONS AND/OR DISCREPANCIES.

CONTROL POINTS

POINT ID	NORTHING	EASTING	ELEVATION	DESCRIPTION
CP-1	478497.43	787894.81	1066.63	SPIKE IN GRAVEL - CHECK INTO OTHER CONTROL POINTS BEFORE USING THIS
CP-2	478361.09	788128.46	1065.27	PK NAIL SET IN ASPHALT
CP-3	478776.59	788156.71	1067.56	PK NAIL SET IN ASPHALT



SHEET TITLE:

SUBMITTAL:		
INT.	DATE	DESCRIPTION:

DRAWN BY	NED
----------	-----

CHECKED BY	BJB
------------	-----

PLOT DATE	2/4/2019
-----------	----------

PROJECT NUMBER	19379
----------------	-------

SET TYPE	CD
----------	----

SHEET NUMBER	V-101
--------------	--------------

R:\19379\19379\CAD\PLAN\19379-101.dgn



RANDOLPH DRIVE

EXISTING TAMARACK TRAILS CONDO BUILDINGS

COMMUNITY GARDENS

PROPERTY LINE

NEW DRIVEWAY

NEW ENTRANCE ONTO WESTFIELD ROAD

NEW DETENTION BASIN

NEW CONNECTION WITH EXISTING GRAVEL LOOP

UNPLATTED AREA

SECTION D
SUNSET MEMORY GARDENS

SECTION G
SUNSET MEMORY GARDENS

SECTION D
SUNSET MEMORY GARDENS

CEMETERY
STAFF/STORAGE
BUILDINGS

SECTION F
SUNSET MEMORY GARDENS

SECTION E
SUNSET MEMORY
GARDENS

SECTION C
SUNSET MEMORY GARDENS

SECTION B
SUNSET MEMORY
GARDENS

OUTLOT 1

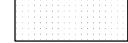



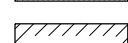
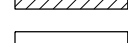
CAMBRIDGE COURT SHOPPING CENTER

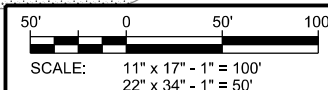
PIZZA
HUT

MOKA
COFFEE

SECTION A
SUNSET MEMORY GARDENS

COVERAGE LEGEND

-  = ASPHALT
-  = CONCRETE
-  = GRAVEL
-  = LANDSCAPING
-  = BUILDING
-  = GRASS (OPEN AREAS)



CONSULTANT:
Edge
 Consulting Engineers, Inc.
 624 WATER STREET
 PRAIRIE DU SAC, WI 53678
 608.644.1449 VOICE
 608.644.1549 FAX
 www.edgeconsult.com

CLIENT:

PROJECT AREA OVERVIEW
SUNSET MEMORY GARDENS DRIVEWAY FOR JBAM
210 SOUTH WESTFIELD ROAD
MADISON, WISCONSIN

SHEET TITLE:

SUBMITTAL:		
INT.	DATE:	DESCRIPTION:

DRAWN BY: NED

CHECKED BY: BJB

PLOT DATE: 2/4/2019

PROJECT NUMBER: 19379

SET TYPE: CD

SHEET NUMBER: **C-100**

© EDGE CONSULTING ENGINEERS, INC.

R:\19379\CAD\PIR\C-100.dgn



EXISTING TAMARACK TRAILS CONDO BUILDING

EXISTING TAMARACK TRAILS CONDO BUILDING

EXISTING TAMARACK TRAILS CONDO BUILDING

EXISTING TAMARACK TRAILS CONDO BUILDING

COMMUNITY GARDENS

NEW EVERGREEN LANDSCAPING (SEE SHEET L-101)

NEW 24" CURB AND GUTTER

NEW ASPHALT DRIVEWAY

NEW PIPE BOLLARD AND CHAIN GATE

SEE SHEET C-102 FOR INFORMATION REGARDING TREE IMPACTS

NEW DRIVEWAY ONTO WESTFIELD ROAD

NEW SEGMENT OF CONCRETE SIDEWALK

VALLEY GUTTER AT LOW POINT IN DRIVEWAY

SEE SHEET C-102 FOR INFORMATION REGARDING TREE IMPACTS

SEE SHEET C-102 FOR INFORMATION REGARDING TREE IMPACTS

PROPERTY LINE

RIP RAP AT NORTH END OF DETENTION BASIN

PROPOSED DETENTION BASIN

EXTENT OF JBAM'S BURIAL PLOTS (YELLOW AREA)

EXISTING GRAVEL DRIVE TO REMAIN

END NEW DRIVE LANE AT EXISTING GRAVEL DRIVE LOOP

EXISTING GRAVEL DRIVE LOOP TO REMAIN

SECTION G
SUNSET MEMORY GARDENS

WESTFIELD ROAD

R.O.W.

CONSULTANT:



Edge
Consulting Engineers, Inc.
624 WATER STREET
PRAIRIE DU SAC, WI 53578
608.644.1449 VOICE
608.644.1549 FAX
www.edgeconsult.com

CLIENT:

OVERALL SITE & DRAINAGE PLAN
SUNSET MEMORY GARDENS DRIVEWAY FOR JBAM
210 SOUTH WESTFIELD ROAD
MADISON, WISCONSIN

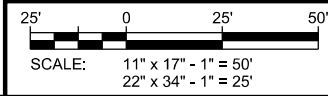
SHEET TITLE:

SUBMITTAL:		
INT.	DATE	DESCRIPTION:

DRAWN BY	NED
CHECKED BY	BJB
PLOT DATE	2/4/2019
PROJECT NUMBER	19379
SET TYPE	CD
SHEET NUMBER	C-101

ZONING SUMMARY		DEVELOPMENT SUMMARY	
ZONING DISTRICT:	CC (COMMERCIAL CENTER)	TOTAL LOT AREA:	449,998 SF
SETBACKS:	N/A - NO STRUCTURES PROPOSED	TOTAL PROJECT AREA*:	16,640 SF
MAX LOT COVERAGE:	85%	CURRENT IMPERVIOUS AREA**:	0 SF
LAND USE:	CEMETERY (CONDITIONAL USE PER ZONING CODE TABLE 28D-2)	NEW IMPERVIOUS AREA**:	8,100 SF
ZONING REQUIREMENTS PER SECTION 28.068 CITY ZONING CODE.		*PROJECT AREA DEFINED AS LIMITS OF GROUND DISTURBANCE WITHIN THE CEMETERY.	
		**WITHIN PROJECT AREA ONLY.	

NO EXTERIOR LIGHTING IS PROPOSED TO BE INSTALLED WITH THIS PROJECT



R:\193001\19379\CAD\PLANS\C-101.dgn



EXISTING TAMARACK TRAILS CONDO BUILDING

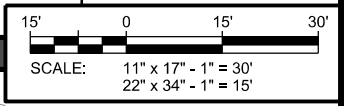
TRIM OVERHANGING BRANCHES OF THESE TREES TO PROVIDE 12' OF VERTICAL CLEAR SPACE ABOVE NEW PAVEMENT AND GRASS SWALE

COMMUNITY GARDENS

S. WESTFIELD ROAD

RIGHT-OF-WAY

MATCH LINE 'A'



CONSULTANT:
Edge
Consulting Engineers, Inc.
624 WATER STREET
PRAIRIE DU SAC, WI 53578
608.644.1449 VOICE
608.644.1549 FAX
www.edgeconsult.com

CLIENT:

REMOVE TREES

EXISTING BENCH AND CONCRETE PAD TO BE RELOCATED DURING CONSTRUCTION

SECTION G
SUNSET MEMORY GARDENS

EXTENT OF JBAM BURIAL PLOTS (YELLOW AREA)

REMOVE TREE
TRIM OVERHANGING BRANCHES OF THIS TREE TO PROVIDE 12' OF VERTICAL CLEAR SPACE ABOVE NEW PAVEMENT AND GRASS SWALE

PROTECT EXISTING ELECTRIC TRANSFORMER

PROVIDE PIPE BOLLARD & CHAIN GATE

TAPER CURB HEAD

END NEW SIDEWALK AT NORTH PROPERTY LINE

REMOVE TREE IN TERRACE

10'-6"

26'-0" BOTTOM WIDTH

29'-0" TOTAL CURB CUT

1'-0"

5'-0"

CUT EXISTING CURB HEAD IN PLACE TO PROVIDE DRIVEWAY OPENING

END NEW SIDEWALK AT SOUTH END OF DRIVEWAY CURB CUT



26 LF - 8" PVC PIPE @ 1.15%
IE= 1060.70 (ALL 4 PIPES)

(3) 25 LF - 4" PVC PIPES @ 1.8%

TAPER CURB HEAD

PROTECT EXISTING UTILITY PEDESTALS AND ELECTRIC TRANSFORMER

SEE SHEET L-101 FOR LANDSCAPING INFORMATION ALONG NORTH PROPERTY LINE

SEE DRIVEWAY SECTION 1 FOR INFORMATION ON THE DRIVEWAY, CURB, AND GRASS SWALE

TRIM OVERHANGING BRANCHES OF THESE TREES TO PROVIDE 12' OF VERTICAL CLEAR SPACE ABOVE NEW PAVEMENT

PROTECT EXISTING UTILITY PEDESTALS AND ELECTRIC TRANSFORMER

REMOVE TREE

MATCH LINE 'A'

R 15.0'

R 25.0'

48" WIDE CONCRETE VALLEY GUTTER

(3) 4" IE= 1061.15

8" IE= 1061.00

PROTECT TREE

EXTENT OF JBAM BURIAL PLOTS (YELLOW AREA)

PROTECT TREE

PROTECT TREE

SECTION G
SUNSET MEMORY GARDENS

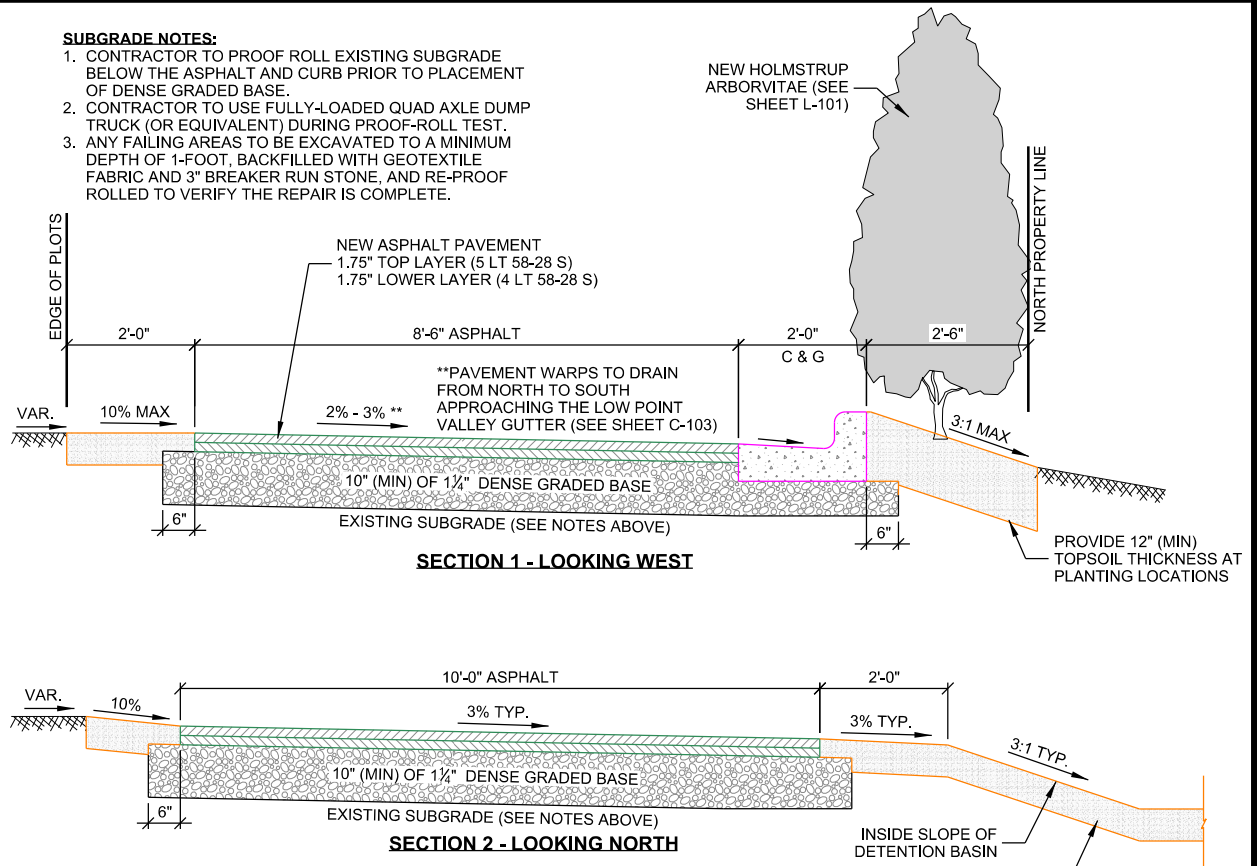
R 10.0'

R 10.0'

EXISTING GRAVEL DRIVE LOOP TO REMAIN

SUBGRADE NOTES:

1. CONTRACTOR TO PROOF ROLL EXISTING SUBGRADE BELOW THE ASPHALT AND CURB PRIOR TO PLACEMENT OF DENSE GRADED BASE.
2. CONTRACTOR TO USE FULLY-LOADED QUAD AXLE DUMP TRUCK (OR EQUIVALENT) DURING PROOF-ROLL TEST.
3. ANY FAILING AREAS TO BE EXCAVATED TO A MINIMUM DEPTH OF 1-FOOT, BACKFILLED WITH GEOTEXTILE FABRIC AND 3" BREAKER RUN STONE, AND RE-PROOF ROLLED TO VERIFY THE REPAIR IS COMPLETE.



A DRIVEWAY TYPICAL SECTIONS
SCALE: NTS

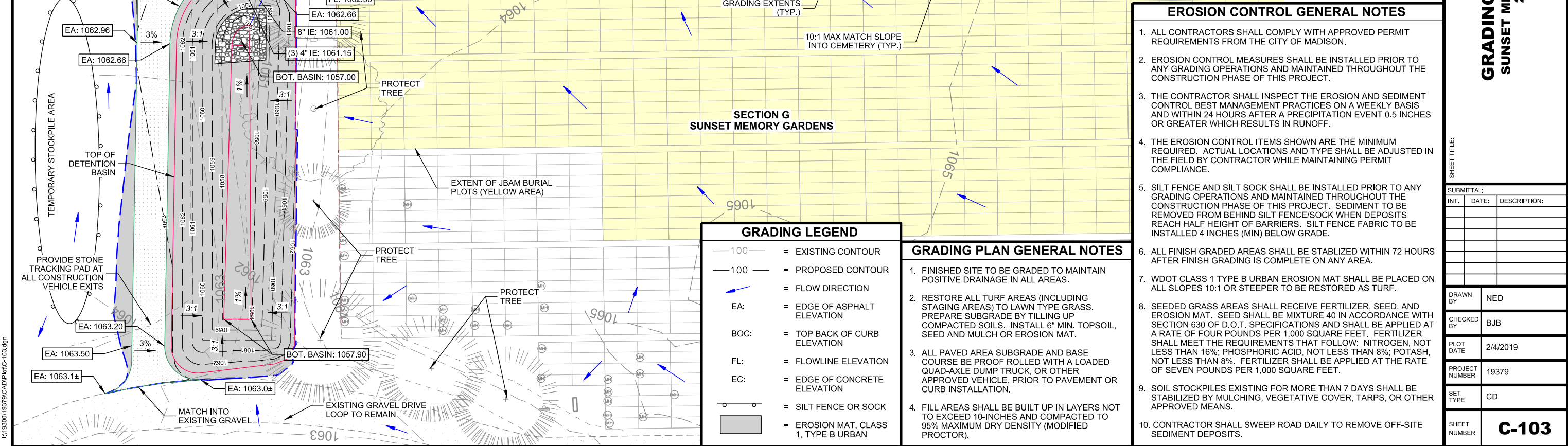
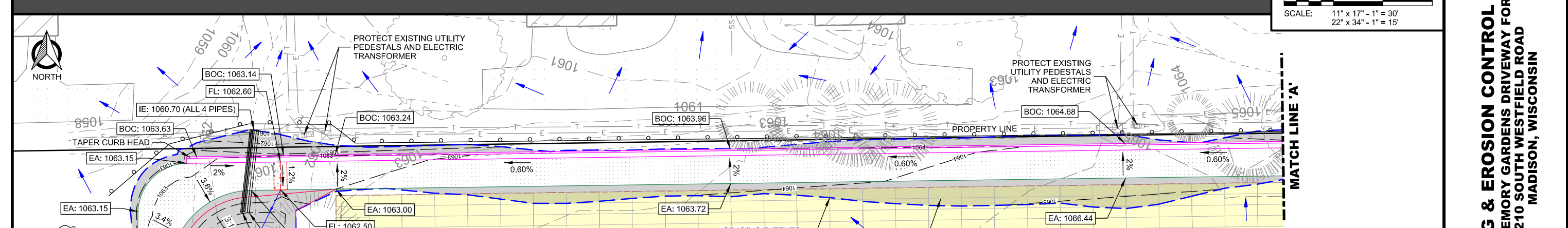
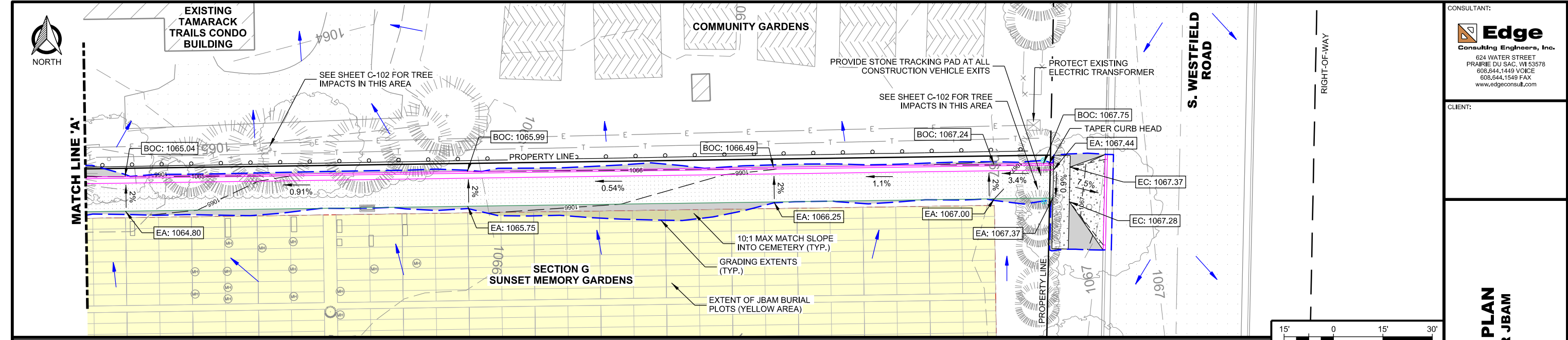
SITE & UTILITY PLAN
SUNSET MEMORY GARDENS DRIVEWAY FOR JBAM
210 SOUTH WESTFIELD ROAD
MADISON, WISCONSIN

SHEET TITLE:

SUBMITTAL:		
INT.	DATE:	DESCRIPTION:

DRAWN BY	NED
CHECKED BY	BJB
PLOT DATE	2/4/2019
PROJECT NUMBER	19379
SET TYPE	CD
SHEET NUMBER	C-102

K:\19379\CAD\PLANS\C-102.dgn



GRADING LEGEND

	= EXISTING CONTOUR
	= PROPOSED CONTOUR
	= FLOW DIRECTION
	= EDGE OF ASPHALT ELEVATION
	= TOP BACK OF CURB ELEVATION
	= FLOWLINE ELEVATION
	= EDGE OF CONCRETE ELEVATION
	= SILT FENCE OR SOCK
	= EROSION MAT, CLASS 1, TYPE B URBAN

- GRADING PLAN GENERAL NOTES**
1. FINISHED SITE TO BE GRADED TO MAINTAIN POSITIVE DRAINAGE IN ALL AREAS.
 2. RESTORE ALL TURF AREAS (INCLUDING STAGING AREAS) TO LAWN TYPE GRASS. PREPARE SUBGRADE BY TILLING UP COMPACTED SOILS. INSTALL 6" MIN. TOPSOIL, SEED AND MULCH OR EROSION MAT.
 3. ALL PAVED AREA SUBGRADE AND BASE COURSE BE PROOF ROLLED WITH A LOADED QUAD-AXLE DUMP TRUCK, OR OTHER APPROVED VEHICLE, PRIOR TO PAVEMENT OR CURB INSTALLATION.
 4. FILL AREAS SHALL BE BUILT UP IN LAYERS NOT TO EXCEED 10-INCHES AND COMPACTED TO 95% MAXIMUM DRY DENSITY (MODIFIED PROCTOR).

- EROSION CONTROL GENERAL NOTES**
1. ALL CONTRACTORS SHALL COMPLY WITH APPROVED PERMIT REQUIREMENTS FROM THE CITY OF MADISON.
 2. ANY GRADING OPERATIONS SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS AND MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE OF THIS PROJECT.
 3. THE CONTRACTOR SHALL INSPECT THE EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES ON A WEEKLY BASIS AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT 0.5 INCHES OR GREATER WHICH RESULTS IN RUNOFF.
 4. THE EROSION CONTROL ITEMS SHOWN ARE THE MINIMUM REQUIRED. ACTUAL LOCATIONS AND TYPE SHALL BE ADJUSTED IN THE FIELD BY CONTRACTOR WHILE MAINTAINING PERMIT COMPLIANCE.
 5. SILT FENCE AND SILT SOCK SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS AND MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE OF THIS PROJECT. SEDIMENT TO BE REMOVED FROM BEHIND SILT FENCE/SOCK WHEN DEPOSITS REACH HALF HEIGHT OF BARRIERS. SILT FENCE FABRIC TO BE INSTALLED 4 INCHES (MIN) BELOW GRADE.
 6. ALL FINISH GRADED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINISH GRADING IS COMPLETE ON ANY AREA.
 7. WDOT CLASS 1 TYPE B URBAN EROSION MAT SHALL BE PLACED ON ALL SLOPES 10:1 OR STEEPER TO BE RESTORED AS TURF.
 8. SEEDING GRASS AREAS SHALL RECEIVE FERTILIZER, SEED, AND EROSION MAT. SEED SHALL BE MIXTURE 40 IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS AND SHALL BE APPLIED AT A RATE OF FOUR POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%. FERTILIZER SHALL BE APPLIED AT THE RATE OF SEVEN POUNDS PER 1,000 SQUARE FEET.
 9. SOIL STOCKPILES EXISTING FOR MORE THAN 7 DAYS SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER APPROVED MEANS.
 10. CONTRACTOR SHALL SWEEP ROAD DAILY TO REMOVE OFF-SITE SEDIMENT DEPOSITS.

CONSULTANT:
Edge
 Consulting Engineers, Inc.
 624 WATER STREET
 PRAIRIE DU SAC, WI 53678
 608.544.1449 VOICE
 608.544.1549 FAX
 www.edgeconsult.com

CLIENT:

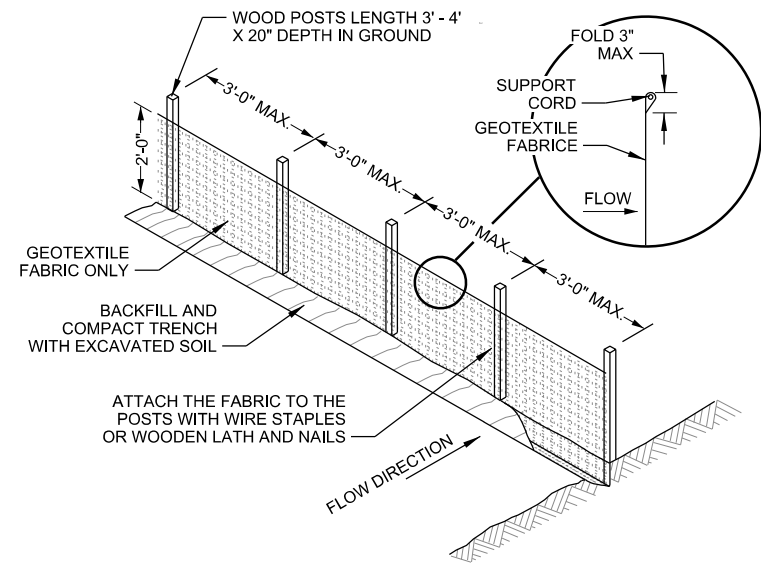
GRADING & EROSION CONTROL PLAN
SUNSET MEMORY GARDENS DRIVEWAY FOR JBAM
210 SOUTH WESTFIELD ROAD
MADISON, WISCONSIN

SHEET TITLE:

SUBMITTAL:

INT.	DATE:	DESCRIPTION:

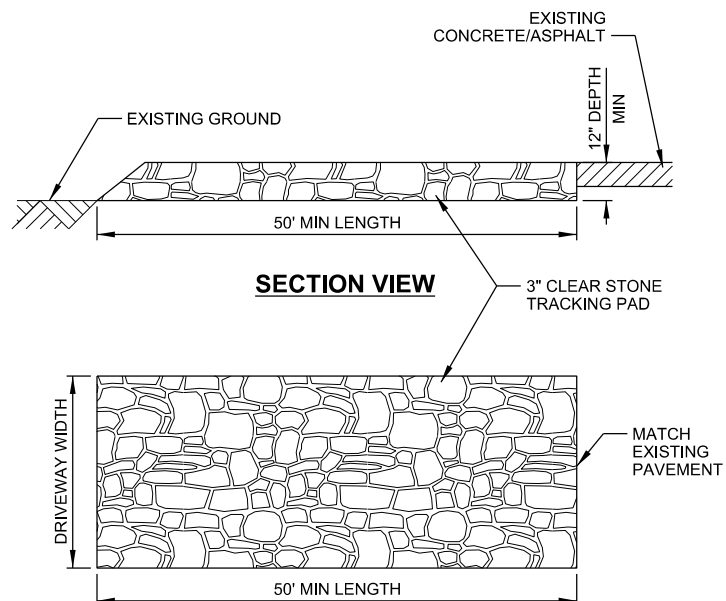
DRAWN BY	NED
CHECKED BY	BJB
PLOT DATE	2/4/2019
PROJECT NUMBER	19379
SET TYPE	CD
SHEET NUMBER	C-103



NOTES

- TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POSTS SHALL BE A MINIMUM SIZE OF 1" X 1" OF HICKORY OR OAK.
- 8'-0" POST SPACING ALLOWED IF WOVEN GEOTEXTILE FABRIC IS USED.
- ADDITIONAL POST DEPTH OR TIE BACKS MAYBE REQUIRED IN UNSTABLE SOILS.

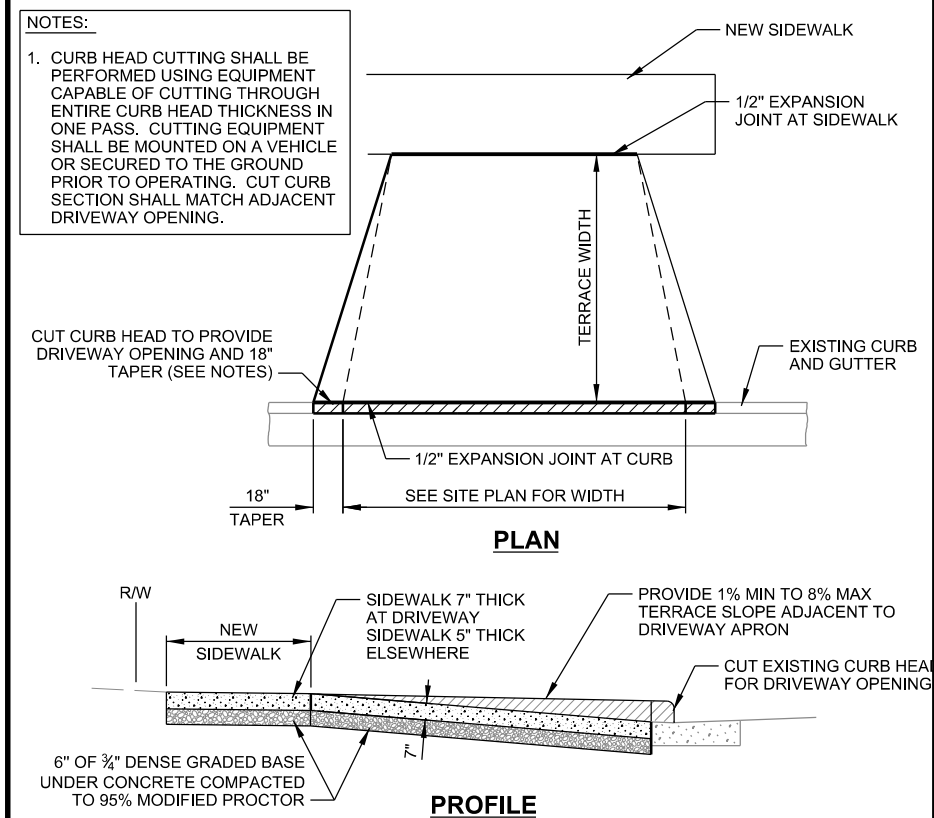
A SILT FENCE DETAIL
SCALE: NTS



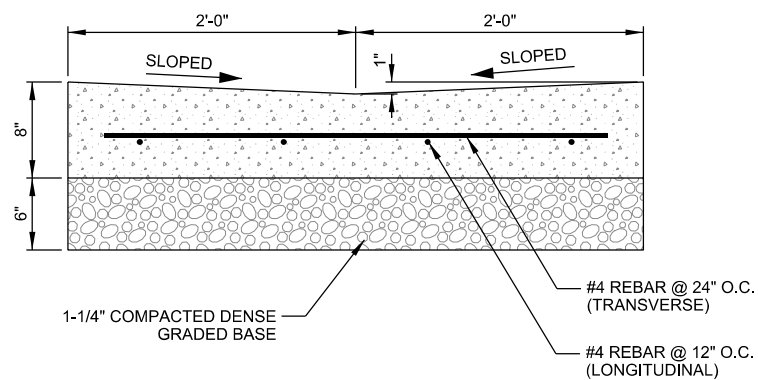
NOTES

- TRACKING PAD WILL BE UNDERLAIN WITH A GEOTEXTILE FABRIC IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1057

B STONE TRACKING PAD
SCALE: NTS



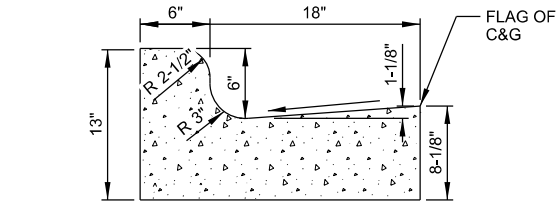
C CONCRETE DRIVEWAY APRON DETAIL
SCALE: NTS



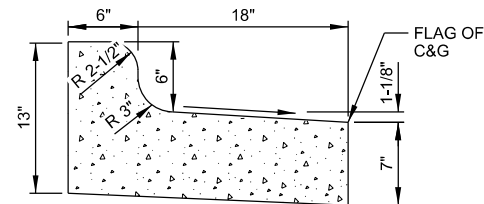
NOTES:

- LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 10' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.
- HAND TOOL ALL JOINTS.
- MEDIUM BROOM FINISH.
- 3" MINIMUM COVER ON ALL REBAR

D CONCRETE VALLEY GUTTER DETAIL
SCALE: NTS



STANDARD 24" CONCRETE CURB & GUTTER

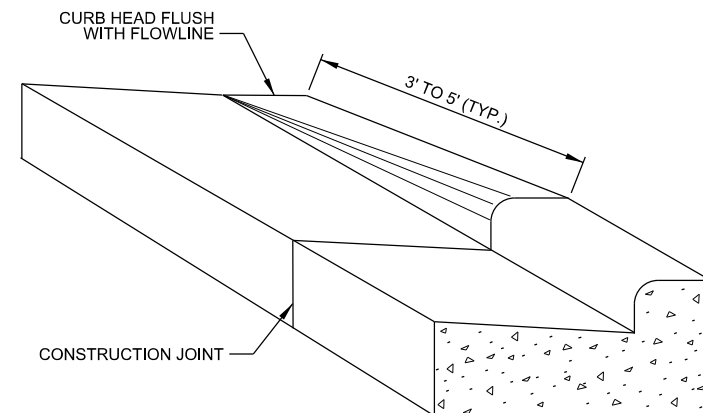


REJECT 24" CONCRETE CURB & GUTTER

GENERAL NOTES:

- LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.
- EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF 200' OF LESS, AND AT ANGLE POINTS, OR AS DIRECTLY BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.
- IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON 6" OF THOROUGHLY COMPACTED CRUSHED STONE.
- HAND TOOL ALL JOINTS.
- MEDIUM BROOM FINISH.

E TYP. 24" CURB & GUTTER DETAIL
SCALE: NTS



F CURB AND GUTTER TAPER DETAIL
SCALE: NTS

CONSULTANT:
Edge
Consulting Engineers, Inc.
624 WATER STREET
PRAIRIE DU SAC, WI 53578
608.644.1449 VOICE
608.644.1549 FAX
www.edgeconsult.com

CLIENT:

SITE DETAILS
SUNSET MEMORY GARDENS DRIVEWAY FOR JBAM
210 SOUTH WESTFIELD ROAD
MADISON, WISCONSIN

SHEET TITLE:

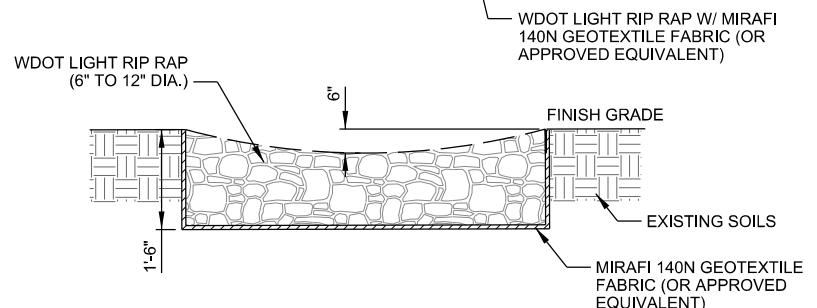
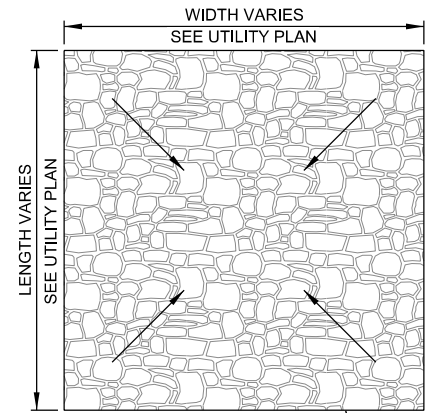
SUBMITTAL:		
INT.	DATE:	DESCRIPTION:

DRAWN BY	NED
CHECKED BY	BJB
PLOT DATE	2/4/2019
PROJECT NUMBER	19379
SET TYPE	CD
SHEET NUMBER	C-501

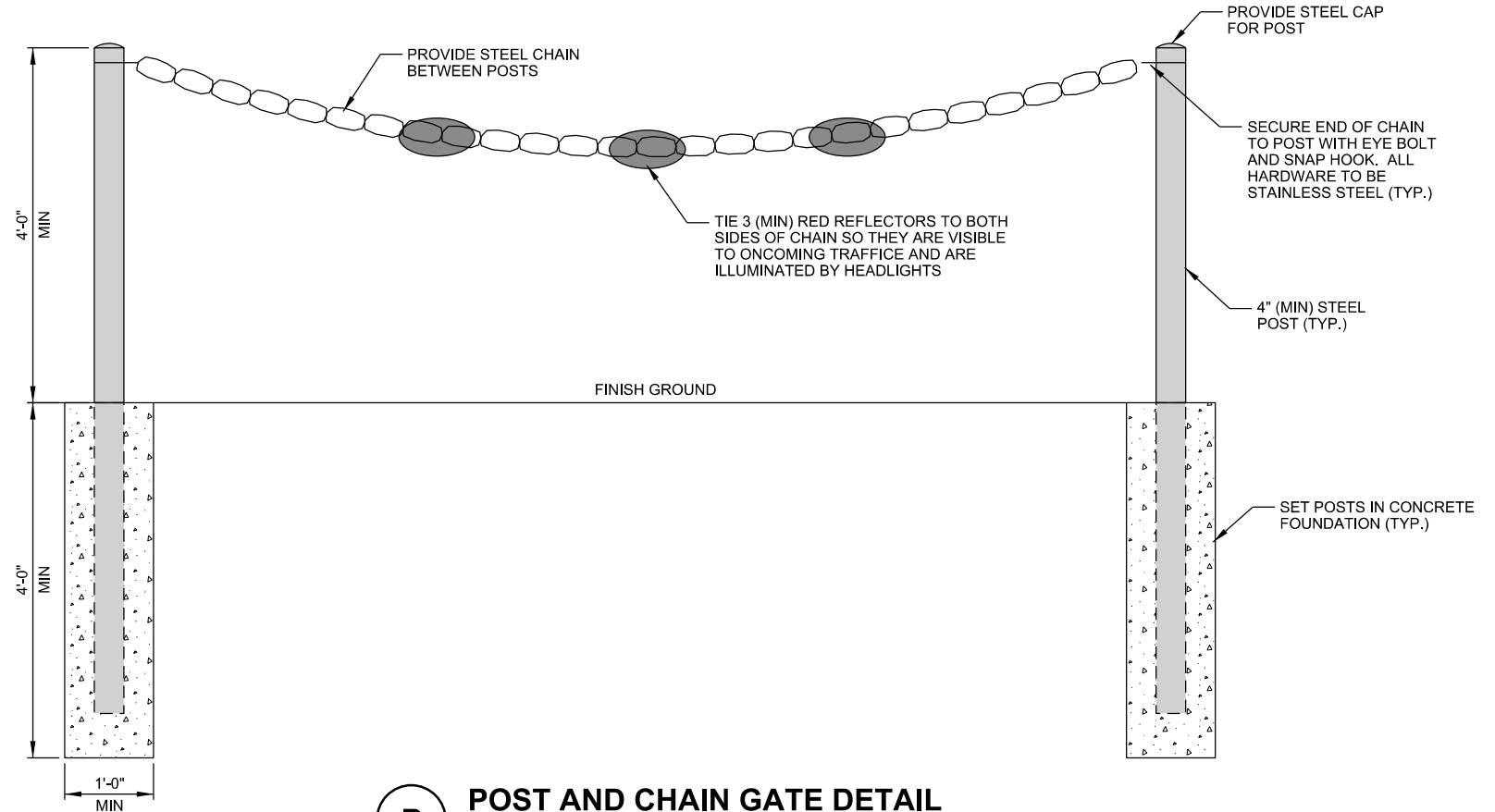
SHEET TITLE:

SUBMITTAL:		
INT.	DATE:	DESCRIPTION:

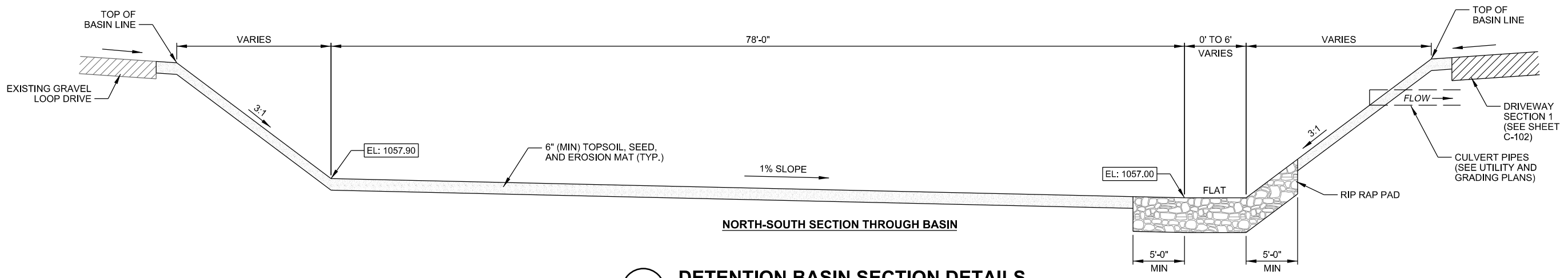
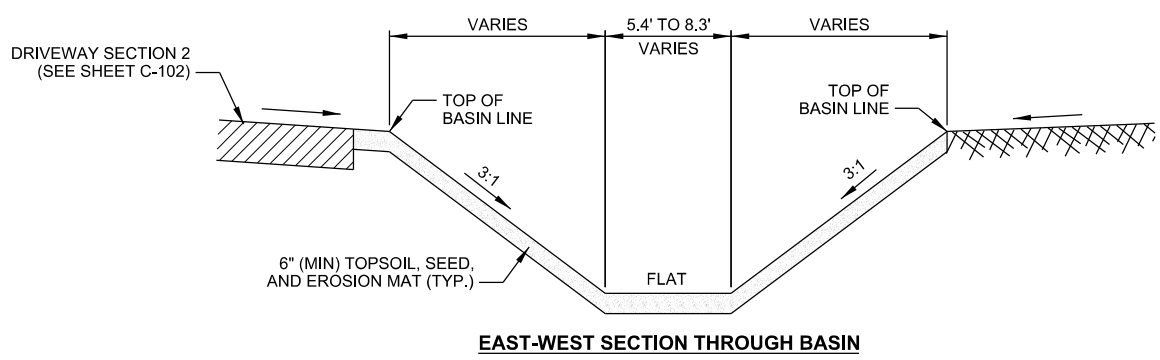
DRAWN BY	NED
CHECKED BY	BJB
PLOT DATE	2/4/2019
PROJECT NUMBER	19379
SET TYPE	CD
SHEET NUMBER	C-502



A RIP RAP PAD DETAIL
 SCALE: NTS



B POST AND CHAIN GATE DETAIL
 SCALE: NTS



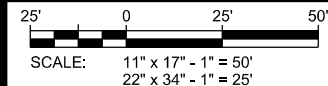
C DETENTION BASIN SECTION DETAILS
 SCALE: NTS

R:193001\19379\CAD\PLN\C-502.dgn

Sunset Memory Gardens Landscaping

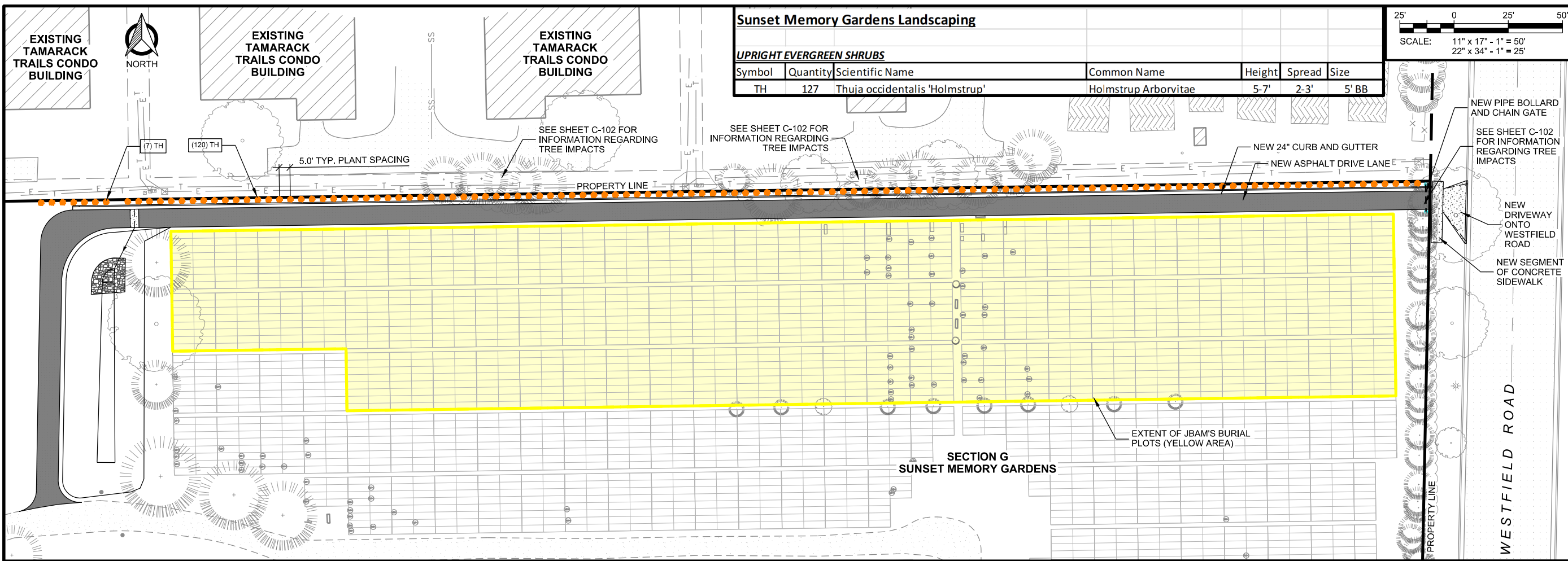
UPRIGHT EVERGREEN SHRUBS

Symbol	Quantity	Scientific Name	Common Name	Height	Spread	Size
TH	127	Thuja occidentalis 'Holmstrup'	Holmstrup Arborvitae	5-7'	2-3'	5' BB



CONSULTANT:
Edge
 Consulting Engineers, Inc.
 624 WATER STREET
 PRAIRIE DU SAC, WI 53578
 608.644.1449 VOICE
 608.644.1549 FAX
 www.edgeconsult.com

CLIENT:
**SUNSET MEMORY GARDENS DRIVEWAY FOR JBAM
 210 SOUTH WESTFIELD ROAD
 MADISON, WISCONSIN**



**CITY OF MADISON
 LANDSCAPE WORKSHEET**
 Section 28.142 Madison General Ordinance

Project Location / Address: Sunset Memory Gardens, 7302 Mineral Point Road, Madison, WI 53717
 Name of Project: Sunset Memory Gardens Driveway for JBAM
 Owner / Contact: Brian Beaulieu (Project Engineer)
 Contact Phone: 608-644-1449 Contact Email: bbeaulieu@edgeconsult.com

**** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. ****

Applicability
 The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution
 Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

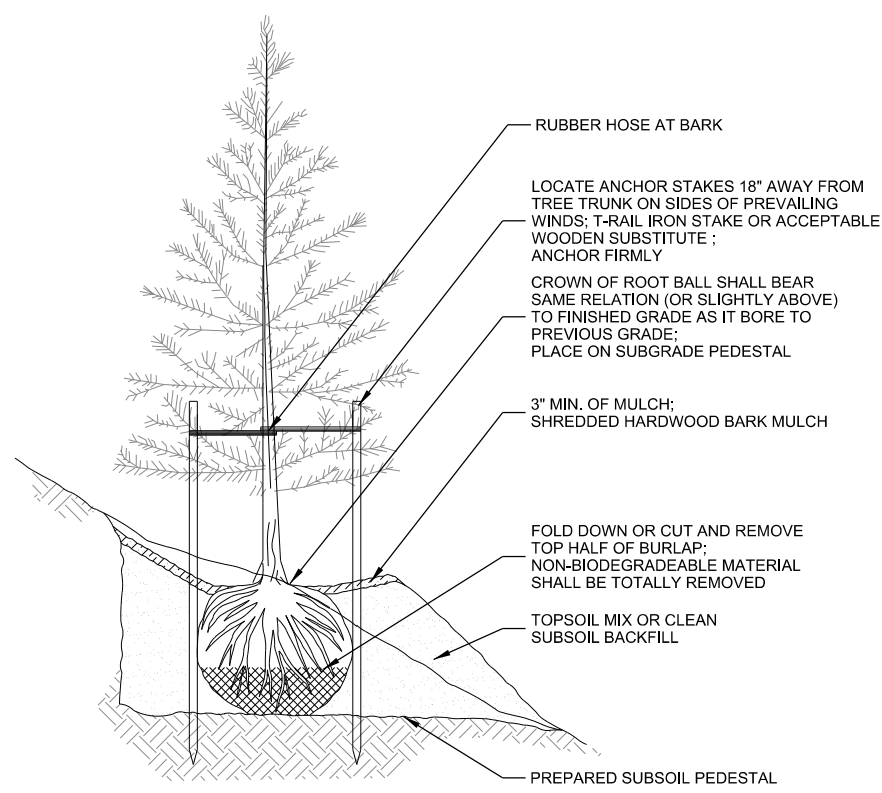
- (a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.
 Total square footage of developed area: 8,100 SF
 Total landscape points required: 135 points
- For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.
 Total square footage of developed area: _____
 Five (5) acres = 217,800 square feet
 First five (5) developed acres = 3,630 points
 Remainder of developed area: _____
 Total landscape points required: _____
- For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.
 Total square footage of developed area: _____
 Total landscape points required: _____

Tabulation of Points and Credits
 Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2 1/2 inch caliper measured diameter at breast height (dbh)	35				
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15				
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10			127	1,270
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3				
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4				
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2				
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.				
Existing significant specimen tree	Minimum size: 2 1/2 inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"				
Sub Totals						1,270

Total Number of Points Provided: 1,270

* As determined by ANSI, ANLA - American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.



A UPRIGHT EVERGREEN SHRUB PLANTING



SHEET TITLE:

SUBMITTAL:

INT.	DATE:	DESCRIPTION:

DRAWN BY:	NED
CHECKED BY:	BJB
PLOT DATE:	1/22/2019
PROJECT NUMBER:	19379
SET TYPE:	CD
SHEET NUMBER:	L-101