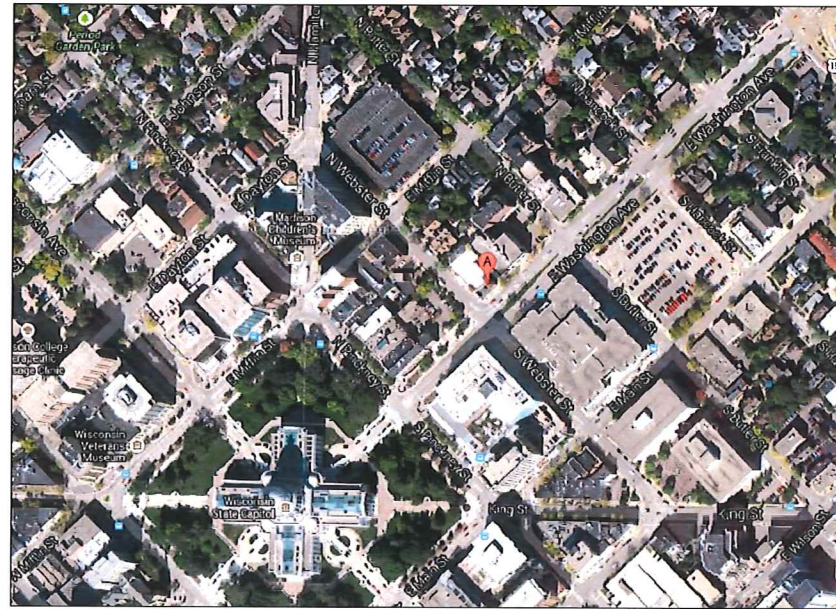


AC HOTEL
BY MARRIOTT
DOWNTOWN HOTEL



202 E. WASHINGTON AVE.
MADISON, WISCONSIN

PROJECT LOCATION:



PLAN COMMISSION
SUBMITTAL
SEPTEMBER 17, 2014

SHEET INDEX

T-1 COVER SHEET & PROJECT CONTACTS

EXHIBITS

- EC.01 AERIAL IMAGES
- EC.02 EXISTING CONDITIONS
- EC.03 REAR YARD AREA
- EC.04 AERIAL PARKING SCHEMATIC
- A1.01 SITE PLAN
- A1.02 ENLARGED SITE PLANS
- A1.03 15 N. WEBSTER STUDY

CIVIL DRAWINGS

- SHEET 1 EXISTING SITE SURVEY
- C 101 GRADING AND EROSION CONTROL PLAN
- C 102 UTILITY PLAN

LANDSCAPE DRAWING

- L1.01 LANDSCAPE PLAN

LIGHTING DRAWINGS

- E1.01 PHOTOMETRIC STUDY SITE PLAN
- E1.02 PHOTOMETRIC STUDY ELEVATIONS
- E1.03 PHOTOMETRIC STUDY ELEVATIONS
- E1.04 LIGHT FIXTURE SPECIFICATIONS

ARCHITECTURAL

- A0.01 GARAGE LEVEL 2 PLAN
- A0.02 GARAGE LEVEL 1 PLAN
- A2.01 FIRST FLOOR PLAN
- A2.02 SECOND FLOOR PLAN
- A2.03 THIRD THRU FIFTH FLOOR PLANS
- A2.04 SIXTH THRU EIGHTH FLOOR PLANS
- A2.05 NINTH FLOOR PLAN
- A2.06 TENTH FLOOR PLAN
- A2.07 ROOF PLAN
- A5.01 ENLARGED GUEST ROOM PLANS
- A5.02 ENLARGED GUEST ROOM PLANS
- A6.01 SOUTH EXTERIOR ELEVATION
- A6.02 NORTH EXTERIOR ELEVATIONS
- A6.03 EAST EXTERIOR ELEVATION ELEVATION
- A6.04 WEST EXTERIOR ELEVATION
- R1.01 MASSING MODEL RENDERING
- R1.02 MASSING MODEL RENDERING
- R1.03 MASSING MODEL RENDERING
- R1.04 MASSING MODEL RENDERING
- R1.05 MASSING MODEL RENDERING
- R1.06 MASSING MODEL RENDERING
- R1.07 MASSING MODEL RENDERING
- EX.01 EXTERIOR SIGN DETAILS
- EX.02 EXTERIOR SIGN DETAILS
- EX.03 SHADOW STUDY (6 AND 10 STORY DESIGN)
- EX.04 FULLY DEVELOPED SITE CONTEXT IMAGES
- EX.05 EXTERIOR FINISHES



GARY BRINK & ASSOCIATES
ARCHITECTS
7780 ELMWOOD AVENUE
MIDDLETON, WI 53562
608-829-1750
608-829-3056 (FAX)

OWNER :
202 E. WASHINGTON LLC
C/O: NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200
MIDDLETON, WI 53562
PHONE: 608.836.6060
FAX: 608.836.6399
CONTACT: JEFF LENZ
EMAIL: JLenz@ncghotels.com

ARCHITECT :
GARY BRINK & ASSOCIATES, INC.
7780 ELMWOOD AVE, SUITE 204
MIDDLETON, WISCONSIN 53562
PHONE: 608-829-1750
FAX: 608-829-3056
PRIMARY CONTACT: JOSH WILCOX
EMAIL: josh.wilcox@garybrink.com

CIVIL ENGINEER :
QUAM ENGINEERING, LLC
4604 SIGGELKOW RD, SUITE A
MCFARLAND, WI 53558
PHONE: 920-284-2262
PRIMARY CONTACT: RYAN D. QUAM
EMAIL: rquam@quamengineering.com



DOWNTOWN AC BY MARRIOTT																	
Floor / Level	Guestroom Type													KEYS PER FLOOR	SQUARE FOOTAGE		
	TYPE 1 - AC MODIFIED KING	TYPE 3 - AC MODIFIED KING WIDE	TYPE 7 - AC MODIFIED KING WIDE	TYPE 2 - AC MODIFIED OO	TYPE 4 - AC MODIFIED OO-ALT1	TYPE 5 - AC MODIFIED OO-ALT2	TYPE 6 - AC MODIFIED OO-ALT3	TYPE 8 - AC MODIFIED SUITE	TYPE 9 - AC OO SUITE	TYPE 10 - AC KING SUITE	TYPE 11 - AC KING SUITE	TYPE 12 - AC APARTMENT	TYPE 13 - AC KING SUITE				
G2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	12503
G1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	12374
1st	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	11013
2nd	0	1	0	3	0	0	4	0	1	1	0	0	0	0	0	0	10
3rd	9	3	1	3	2	1	2	1	0	0	0	0	0	0	0	0	22
4th	9	3	1	3	2	1	2	1	0	0	0	0	0	0	0	0	22
5th	9	3	1	3	2	1	2	1	0	0	0	0	0	0	0	0	22
6th	9	3	1	3	2	1	2	1	0	0	0	0	0	0	0	0	22
7th	9	3	1	3	2	1	2	1	0	0	0	0	0	0	0	0	22
8th	9	3	1	3	2	1	2	1	0	0	0	0	0	0	0	0	22
9th	10	3	1	0	1	1	0	0	0	0	0	1	0	0	0	0	17
10th	5	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	6
Total	69	22	7	27	13	7	10	6	1	1	1	1	1	1	1	1	165
Percentag	59.4%			34.5%				6.1%									
Total Units														165	PARKING SPOTS: 38 INTERNAL VALET		

PROJECT:
AC BY MARRIOTT - DOWNTOWN MADISON
202 E. WASHINGTON AVE.
MADISON, WISCONSIN

OWNER:
202 E. WASHINGTON LLC
C/O: NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200 - MIDDLETON, WISCONSIN

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PROJECT: 201410
DRAWN BY: AR
DATE:
SCALE: AS NOTED



LOOKING NORTH EAST



LOOKING WEST



LOOKING SOUTH EAST



LOOKING NORTH EAST



GARY BRINK & ASSOCIATES
ARCHITECTS
7780 ELMWOOD AVENUE
MIDDLETON, WI 53562
608-829-1750
608-829-3056 (FAX)

PROJECT: AC BY MARRIOTT - DOWNTOWN MADISON

202 E. WASHINGTON AVE
MADISON, WISCONSIN
OWNER: 202 E. WASHINGTON LLC
C/O: NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200 - MIDDLETON, WISCONSIN

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PROJECT: 201410
DRAWN BY: CONDITIONS
DATE:
SCALE: AS NOTED

AERIAL
IMAGES
EXISTING

EC.01



38 N. WEBSTER AVE.



E. WASHINGTON AVE AT FRANKLIN



INTERSECTION OF WEBSTER AND E. WASHINGTON AVE (LOOKING N. EAST)



202 E. WASHINGTON AVE.



201 E. WASHINGTON AVE



36 SOUTH PINKNEY STREET



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MIDDLETON, WI 53562
608-829-1750
608-829-3056 (FAX)

PROJECT: AC BY MARRIOTT - DOWNTOWN MADISON
202 E. WASHINGTON AVE
MADISON, WISCONSIN

OWNER: 202 E. WASHINGTON LLC
C/O: NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200 - MIDDLETON, WISCONSIN

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PROJECT: 201410

DRAWN BY:

DATE:

SCALE: AS NOTED

ADJACENT
BUILDING
CONTEXT

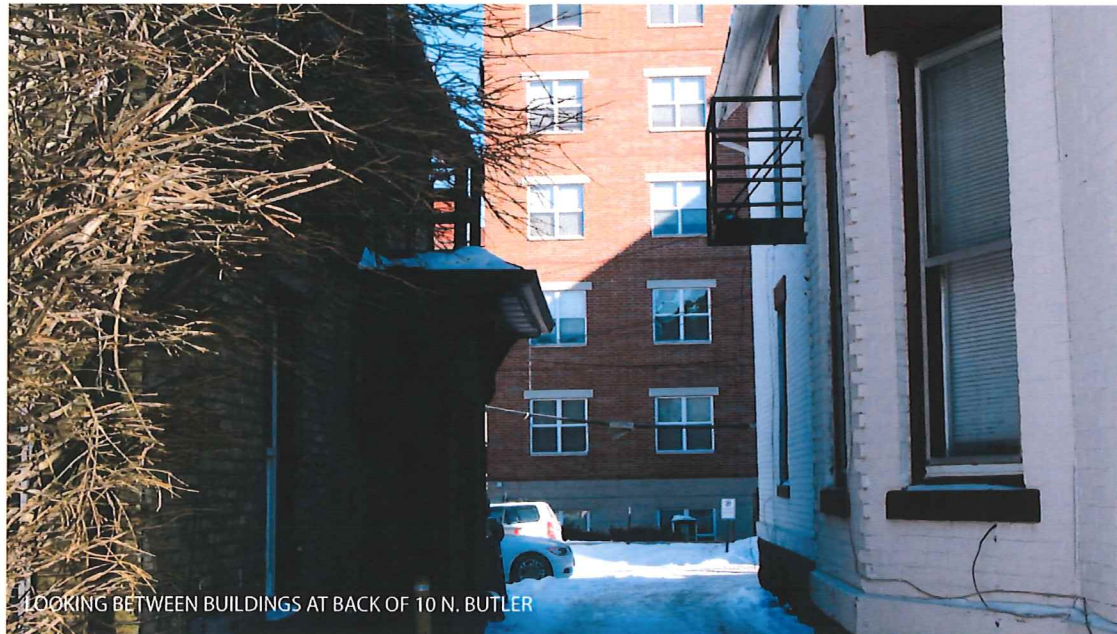
EC.02



LOOKING AT THE BACK OF 250 E. WASHINGTON AVE



LOOKING FROM ABOVE AT REAR YARD AREA



LOOKING BETWEEN BUILDINGS AT BACK OF 10 N. BUTLER



LOOKING AT THE LAMP HOUSE



LOOKING FROM ABOVE AT REAR YARD



LOOKING AT THE LAMP HOUSE



GARY BRINK & ASSOCIATES
ARCHITECTS
7780 ELMWOOD AVENUE
MIDDLETON, WI 53562
608-829-1750
608-829-3056 (FAX)

PROJECT: AC BY MARRIOTT - DOWNTOWN MADISON
202 E. WASHINGTON AVE.
MADISON, WISCONSIN

OWNER: 202 E. WASHINGTON LLC
C/O: NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200 - MIDDLETON, WISCONSIN

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PROJECT: 201410
DRAWN BY: CONDITIONS
DATE:
SCALE: AS NOTED

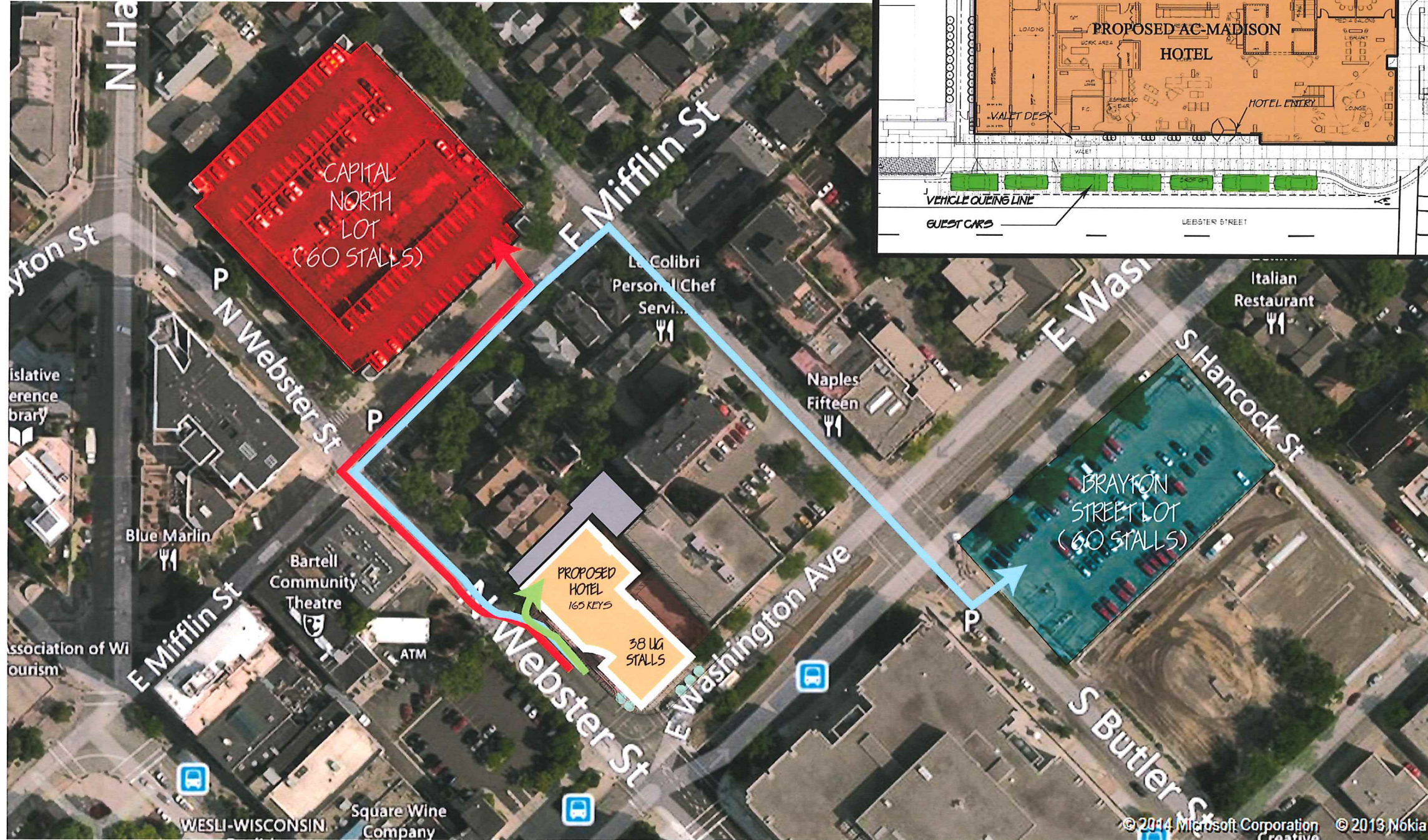
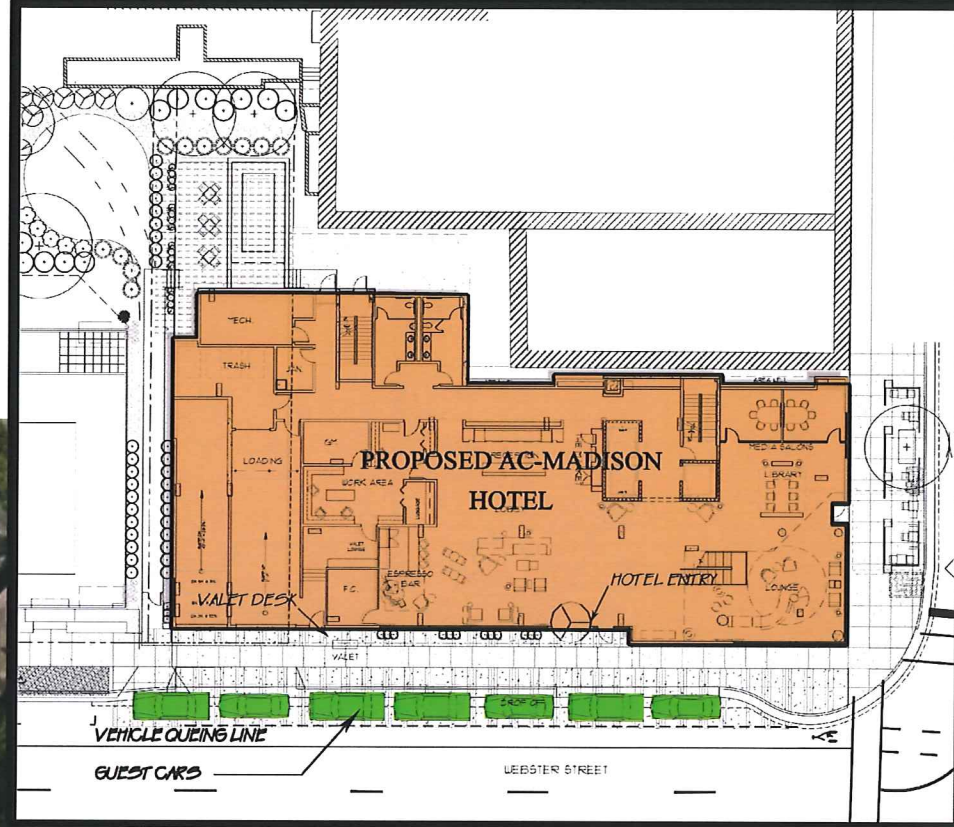
REAR YARD
AREA

EC.03



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ARCHITECTS
7780 ELMWOOD AVENUE
MIDDLETON, WI 53562
608-829-1750
608-829-3056 (FAX)

PRELIMINARY VALET SCHEME



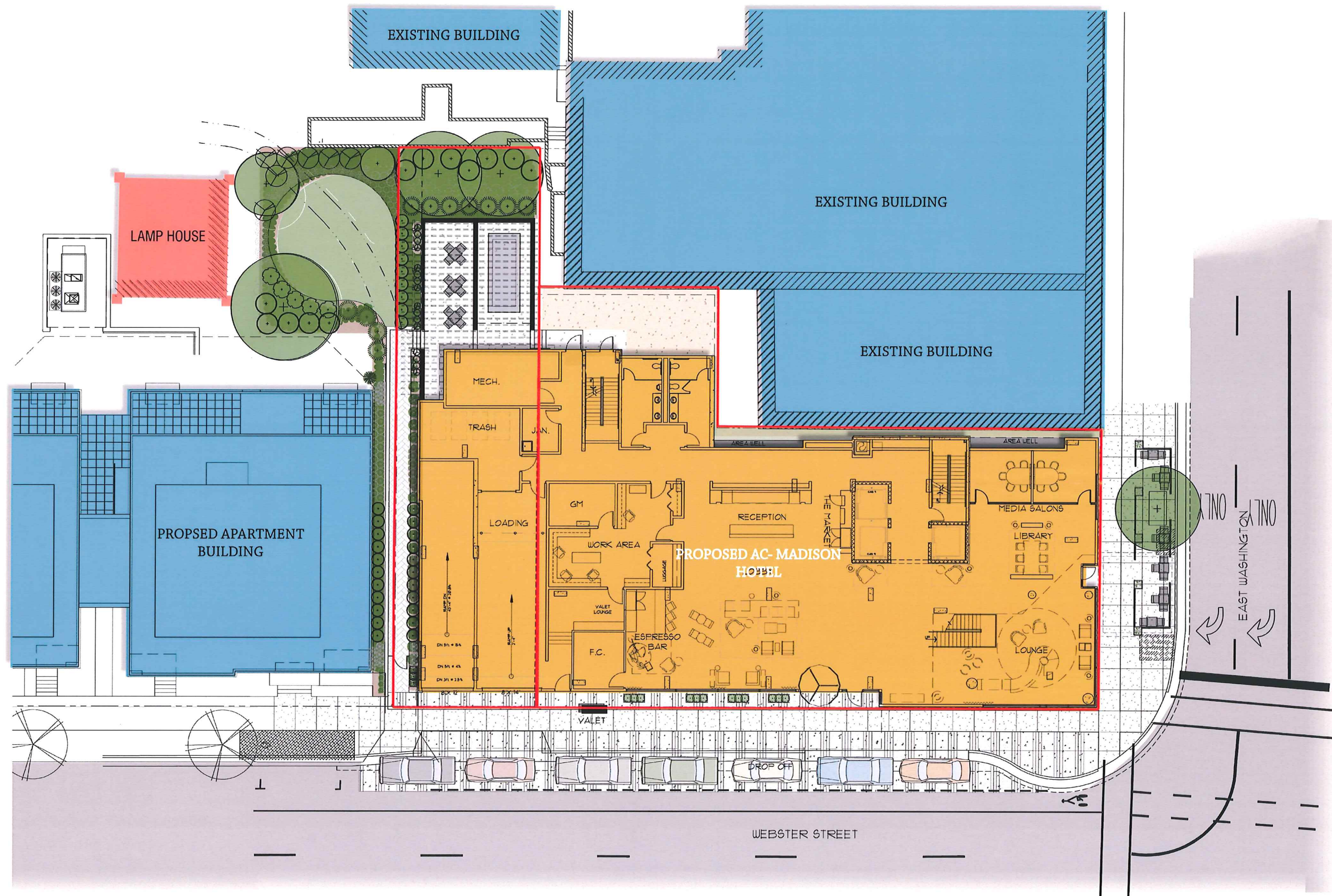
100 Feet

PROJECT: AC BY MARRIOTT - DOWNTOWN MADISON
202 E. WASHINGTON AVE
MADISON, WISCONSIN
OWNER: 202 E. WASHINGTON LLC
C/O: NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200 - MIDDLETON, WISCONSIN

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PROJECT: 201410
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DATE:
SCALE: AS NOTED



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ARCHITECTS
7780 ELMWOOD AVENUE
MIDDLETON, WI 53562
608-829-1750
608-829-3056 (FAX)



PROJECT:
AC BY MARRIOTT - DOWNTOWN MADISON

202 E. WASHINGTON AVE.
MADISON, WISCONSIN

OWNER:

202 E. WASHINGTON LLC

C/O: NORTH CENTRAL GROUP
1800 ASPEN COMMONS, SUITE 200 - MIDDLETON, WISCONSIN

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PROJECT: 201410

DRAWN BY: AR

DATE:

SCALE: AS NOTED

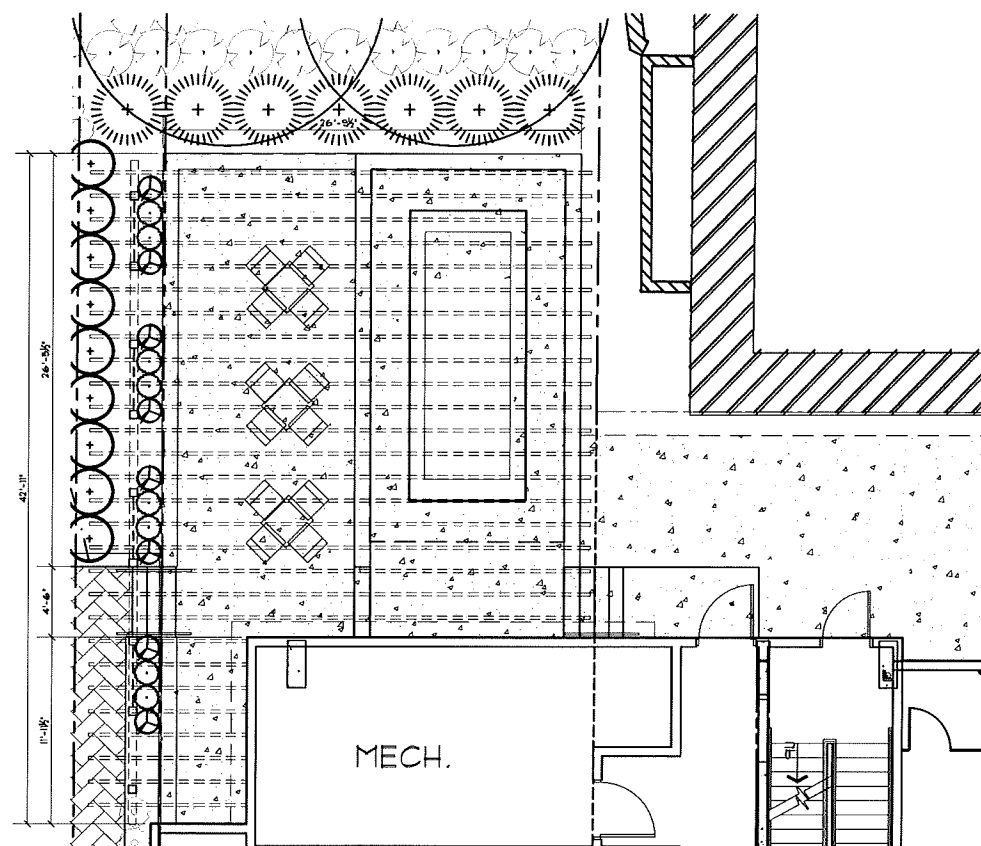
 **SITE PLAN**
SCALE: 1" = 6'-0"

SITE PLAN

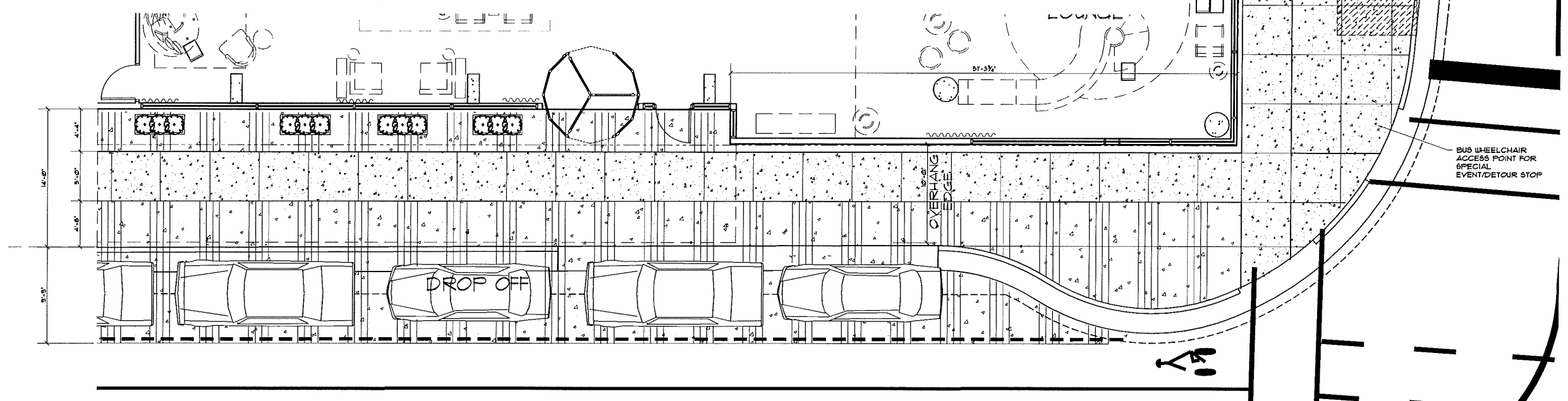
A1.01



GARY BRINK & ASSOCIATES
ARCHITECTS
7780 ELMWOOD AVENUE
MIDDLETON, WI 53562
608-829-1750
608-829-3056 (FAX)



  ENLARGED GENERATOR ENCLOSURE
SCALE: 3/16" = 1'-0"



  ENLARGED SITE PLAN
SCALE: 3/16" = 1'-0"

EAST WASHINGTON

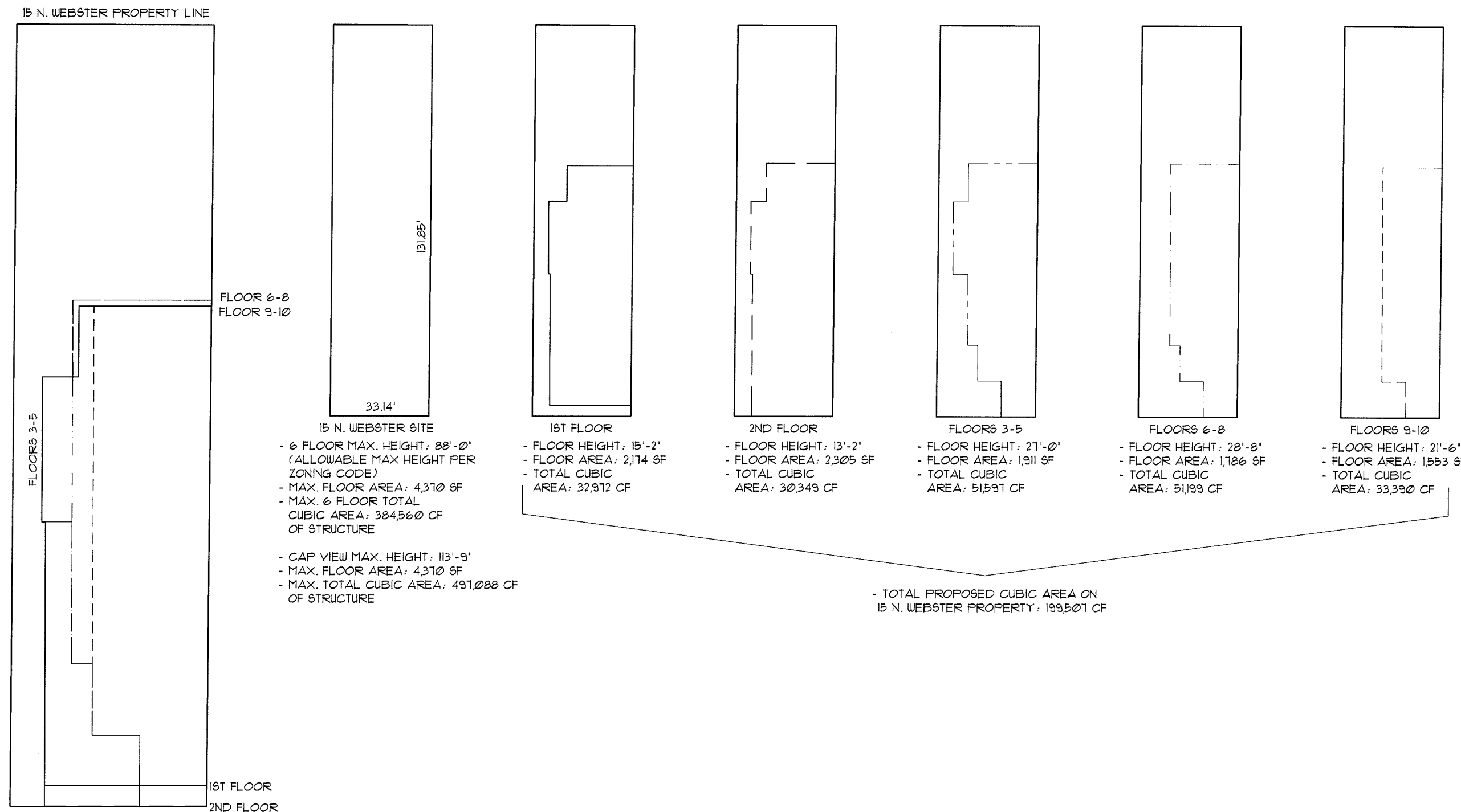
PROJECT: AC BY MARRIOTT - DOWNTOWN MADISON
202 E. WASHINGTON AVE.
MADISON, WISCONSIN

OWNER: 202 E. WASHINGTON LLC
C/O NORTH CENTRAL GROUP
1680 ASPEN COMMONS, SUITE 200 - MIDDLETON, WISCONSIN

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PROJECT: 201410
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DATE:
SCALE: AS NOTED



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ARCHITECTS
7780 ELMWOOD AVENUE
MIDDLETON, WI 53562
608-829-1750
608-829-3056 (FAX)



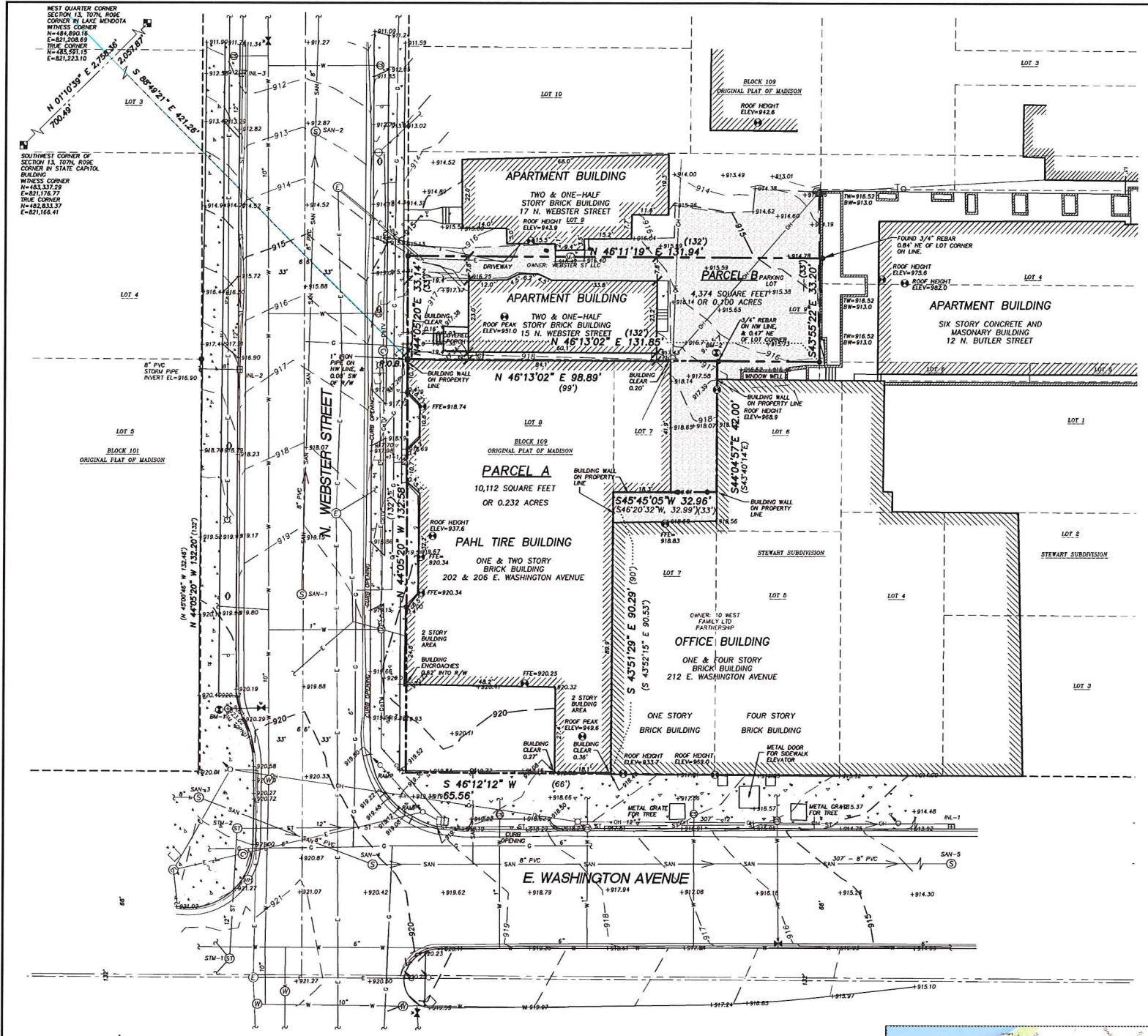
PROJECT: AC BY MARRIOTT - DOWNTOWN MADISON

202 E. WASHINGTON AVE.
MADISON, WISCONSIN
OWNER: 202 E. WASHINGTON LLC
C/O: NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200 - MIDDLETON, WISCONSIN

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PROJECT: 201410
DRAWN BY: AR
DATE:
SCALE: AS NOTED

File: I:\2012\125453NCG\DWG\125453NCG-ALTA.dwg Layout: ALTA Plotset: Dwg_09_2013 - 10:00am



TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND UTILITIES BEFORE YOU DIG IN MADISON

CALL DIGGERS HOTLINE
1-800-248-8511 TOLL FREE
MADISON CITY ENGINEERING DEPARTMENT
181 HORIZON DRIVE, SUITE 101
MADISON, WI 53703
PHONE: (608)448-5000

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING THE LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES BEFORE ANY EXCAVATION BEGINS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN NECESSARY PERMITS AND TO MAINTAIN NECESSARY RECORDS.

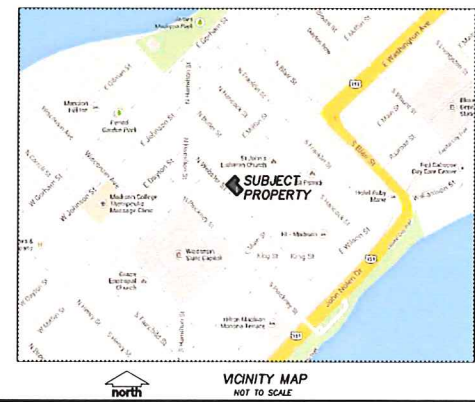
BENCHMARKS				
BENCH MARK	ELEVATION	DESCRIPTION		
BM-1	923.04	TOP NUT ON HYDRANT AT THE NW CORNER OF E. WASHINGTON AVE. & N. WEBSTER ST.		
BM-2	916.65	TOP OF 3/4" REBAR AT NW LOT CORNER.		

SANITARY SEWER MANHOLES				
STRUCT. ID	RIM ELEVATION	INVERT ELEVATION	PIPE SIZE	PIPE TYPE
SAN-1	919.55	NW 909.17	8"	PVC
SAN-2	912.96	SE 902.17	8"	PVC
SAN-3	920.94	SW 907.40	8"	PVC
SAN-4	920.18	NE 907.45	8"	PVC
SAN-5	908.36	SW 906.58	8"	PVC
SAN-6	908.36	NE 897.23	8"	PVC
SAN-7	908.36	NE 897.20	8"	PVC

STORM SEWER MANHOLES				
STRUCT. ID	RIM ELEVATION	INVERT ELEVATION	PIPE SIZE	PIPE TYPE
STM-1	921.39	NW	12"	RCP
STM-2	920.96	SE 917.51	12"	RCP
		NE 917.36	12"	RCP

* = UNABLE TO ACCESS MANHOLE

STORM SEWER INLETS				
INLET ID	RIM ELEVATION	INVERT ELEVATION	PIPE SIZE	PIPE TYPE
INL-1	909.68	NE 904.95	12"	VP
INL-2	916.41	SW 904.97	12"	VP
INL-3	911.66	SW 912.11	8"	PVC
		NW 911.97	12"	RCP
		SE 907.32	12"	RCP
		NW 907.21	12"	RCP



- LEGEND**
- GOVERNMENT CORNER
 - ✕ CHISELED 'X' FOUND
 - 1" IRON PIPE FOUND
 - 3/4" IRON PIPE FOUND
 - BENCHMARK
 - ⊙ FINISHED FLOOR & HEIGHT LOCATION
 - ⊙ SIGN
 - ⊙ SANITARY MANHOLE
 - ⊙ WATER MANHOLE
 - ⊙ HYDRANT
 - ⊙ WATER VALVE
 - ⊙ CURB STOP/SERVICE VALVE
 - ⊙ STORM MANHOLE
 - ⊙ CURB INLET
 - ⊙ GAS REGULATOR/METER
 - ⊙ MANHOLE
 - ⊙ ELECTRIC MANHOLE
 - ⊙ POWER POLE
 - ⊙ LIGHT POLE
 - ⊙ TRAFFIC SIGNAL
 - ⊙ VAULT
 - ⊙ DECIDUOUS TREE
- PARCEL BOUNDARY
 - PROPERTY LINE
 - CENTERLINE
 - RIGHT-OF-WAY LINE
 - X-X- FENCE LINE
 - EDGE OF PAVEMENT
 - CONCRETE CURB & GUTTER
 - EDGE OF GRAVEL
 - SANITARY SEWER
 - WATER LINE
 - STORM SEWER
 - NATURAL GAS
 - OVERHEAD UTILITIES
 - UNDERGROUND ELECTRIC
 - UNDERGROUND CABLE
 - BUILDING
 - INDEX CONTOUR
 - INTERMEDIATE CONTOUR
 - BITUMINOUS PAVEMENT
 - CONCRETE PAVEMENT
 - GRAVEL OR ROCK
 - PARKING METER
 - DISCONTINUED MAPPED PIPE LINE
 - () RECORDED INFORMATION

- NOTES**
- FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON APRIL 22 AND JULY 11, 2013.
 - BEARINGS FOR THIS SURVEY AND MAP ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), DANE COUNTY, THE SOUTHEAST LINE OF BLOCK 109, BEARS N 46°12'12" E.
 - ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A BRASS CAP IN CONCRETE MONUMENT MARKING THE MEANDER CORNER FOR THE SOUTHWEST CORNER OF SECTION 13, T7N, R9E, ELEVATION = 918.45
 - CONTOUR INTERVAL IS ONE FOOT.
 - SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES. LOCATE DIGGER'S HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGER'S HOTLINE TICKET NO. 2013160131, 20134804715 AND 20134808716.
 - BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED FOR EXACT LOCATION OF UNDERGROUND UTILITIES. CONTACT DIGGER'S HOTLINE AT 1.800.242.8511.
 - THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. JSD PROFESSIONAL SERVICES, INC. DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.
 - THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.

- NOTES CORRESPONDING TO TABLE A REQUIREMENTS:**
- ITEM 3** THE SUBJECT PROPERTY LIES WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FEMA COMMUNITY PANEL NO. 55025C04090, REVISED JANUARY 02, 2009.
- ITEM 6(a)** THE CURRENT ZONING CLASSIFICATION IS 'DOWNTOWN CORE' (DC) PER THE DANE COUNTY WEBSITE, ACCESS DANE.
- ITEM 6(b)** THE CURRENT BUILDING SETBACK REQUIREMENTS, HEIGHT AND FLOOR SPACE AREA RESTRICTIONS PER CITY OF MADISON ZONING CODE ORDINANCE FOR 'DOWNTOWN CORE' ARE AS FOLLOWS:
 MINIMUM FRONT YARD SETBACK = ZERO (0) FEET.
 MAXIMUM FRONT YARD SETBACK = FIVE (5) FEET FOR BUILDINGS FACING CAPITOL SQUARE.
 SIDE YARD SETBACK = ZERO (0) FEET FOR THE FIRST TWO (2) STORIES OF ONE SIDE OF ALL BUILDINGS.
 REAR YARD SETBACK = ZERO (0) FEET.
 MINIMUM HEIGHT = TWO (2) STORIES.
 MAXIMUM HEIGHT = EIGHT (8) STORIES. TWO (2) ADDITIONAL STORIES ABOVE THE MAXIMUM BUILDING HEIGHT MAY BE ALLOWED IF APPROVED AS A CONDITIONAL USE UNDER SECTION 28.183 PROVIDED THAT HEIGHT IS THE ONLY BULK REQUIREMENT SOUGHT TO BE MODIFIED AND THE CONDITIONAL USE STANDARDS FOR ADDITIONAL HEIGHT ARE MET.
- ITEM 9** PARKING SPACES: 3 REGULAR PARKING SPACES.
- ITEM 16** NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THE SUBJECT PROPERTY.
- ITEM 17** NO KNOWN PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES PER CITY OF MADISON ENGINEERING DEPARTMENT. NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS. RECENT IS DEFINED AS WITHIN THE LAST THREE (3) MONTHS.
- ITEM 18** NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

LEGAL DESCRIPTION (AS FURNISHED)
 (PER FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO.: NCS-582725A-MAD, COMMITMENT DATE: September 8, 2013 AT 7:30 A.M.)

PARCEL A:
 ALL OF LOT EIGHT (8) AND THE NORTHWEST 42 FEET OF THE SOUTHWEST 1/2 OF LOT SEVEN (7), BLOCK ONE HUNDRED AND NINE (109), ORIGINAL PLAT OF MADISON, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.
 PARCEL NO'S: 251/0709-133-3102-4 AND 251/0709-133-3101-6
 PROPERTY ADDRESSES: 202 & 206 EAST WASHINGTON AVENUE, MADISON, WI

PARCEL B:
 SOUTHEASTERLY ONE-HALF OF LOT NINE (9), BLOCK ONE HUNDRED AND NINE (109), ORIGINAL PLAT OF MADISON, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.
 PARCEL NO.: 251/0709-133-3118-1
 PROPERTY ADDRESSES: 15. N. WEBSTER STREET, MADISON, WI

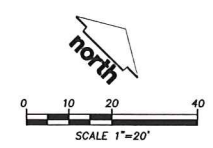
SURVEYOR'S CERTIFICATE

TO: 1) 202 E. WASHINGTON, LLC
 2) JSL INVESTMENTS, LLC
 3) FIRST AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b)(1), 7(b)(2), 7(c), 8, 9, 10(a), 11(a), 11(b), 12, 13, 14, 15, 16, 17, 18, AND 21 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JULY 11, 2013.

HANS P. JUSTESON, S-2363
 REGISTERED LAND SURVEYOR

DATE _____



DRAFT

PREPARED FOR
 THE ALEXANDER COMPANY
 145 E. BADGER ROAD
 MADISON, WI 53713

ALTA/ACSM LAND TITLE SURVEY

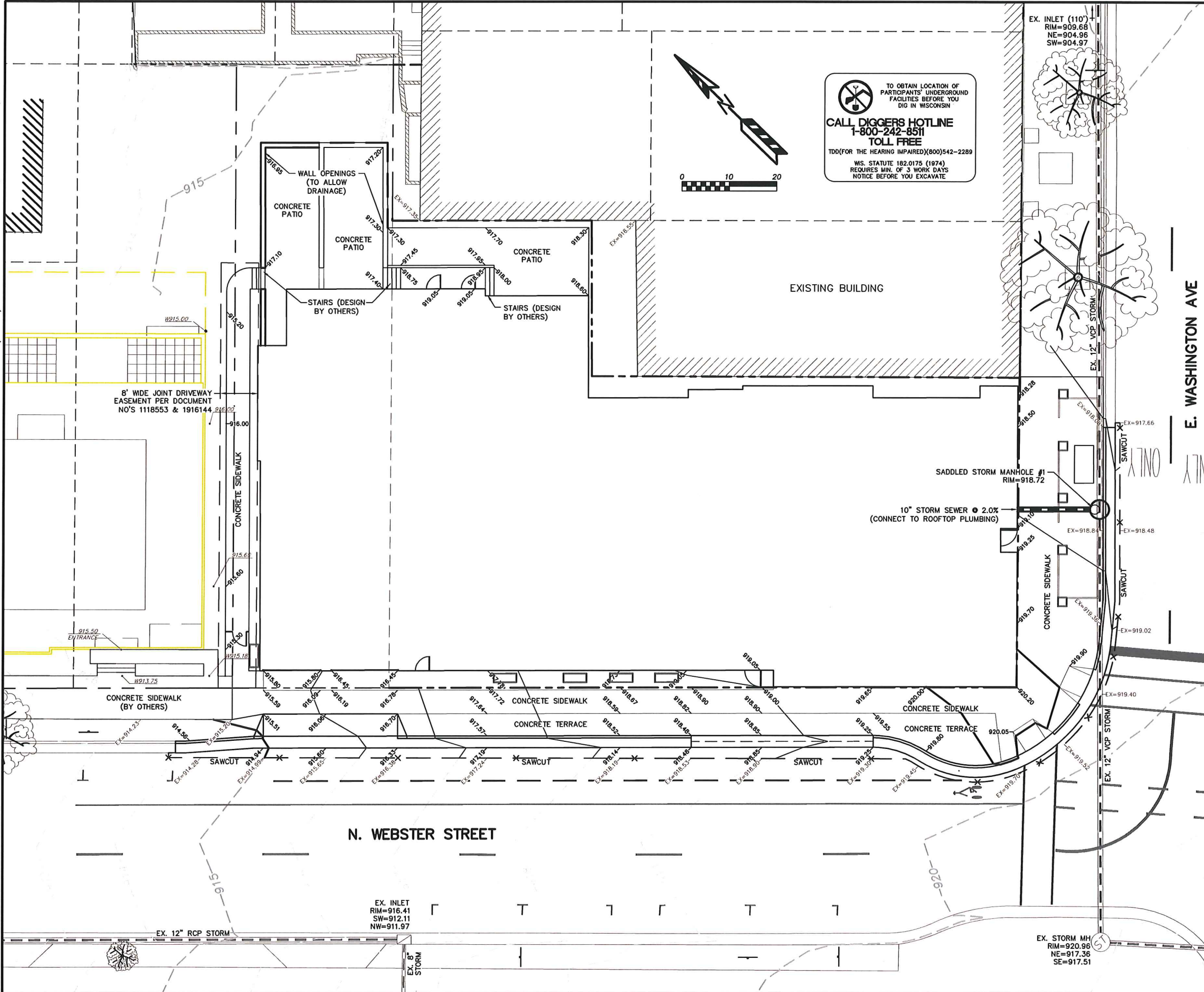
ALL OF LOT 8 AND PART OF LOT 7,
 BLOCK 109, ORIGINAL PLAT OF MADISON,
 CITY OF MADISON, DANE COUNTY, WISCONSIN

JSD Professional Services, Inc.
 Engineers • Surveyors • Planners

181 HORIZON DRIVE, SUITE 101
 MADISON, WI 53703
 PHONE: (608)448-5000

DATE	BY	DESCRIPTION
07-15-2013	PRK	DRAWN BY
07-16-2013	JK	CHECKED BY
07-16-2013	HPJ	APPROVED BY
09-16-13	TJB	Change Title Commitment Date
09-05-13	TJB	Remove one item reference

PROJECT NO.: 12-5453
 FILE NO.: C-352
 SURVEYED BY: JDS
 F.B. NO./PG.: 259/74
 SHEET NO.: 1 OF 1



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CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
 TDD(FOR THE HEARING IMPAIRED)(800)542-2289
 WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

EROSION NOTES:
 THE EXISTING PAVEMENT WILL SERVE AS THE STONE TACKING PAD DURING CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.

EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

INLET PROTECTION SHALL BE INSTALLED IN ALL STORM INLETS AS SOON AS THE INLET IS SET. INLET PROTECTION SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL PLACEMENT OF THE SURFACE COURSE OF ASPHALT. THE FILTER SHALL BE REMOVED AFTER THE FINAL LAYER OF ASPHALT IS PLACED.

ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED AS NEEDED.

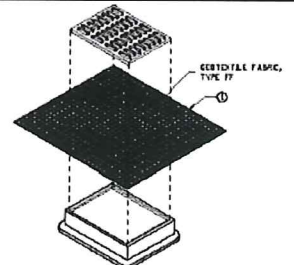
TIME SCHEDULE:

NOVEMBER 18, 2014	INSTALL EROSION CONTROL DEVICES.
NOVEMBER 18, 2014 - DECEMBER 17, 2014	REMOVE EXISTING BUILDING AND PARKING LOT.
MAY 1, 2015 - AUGUST 31, 2016	CONSTRUCT BUILDING, SIDEWALK, UTILITIES AND RESTORE DISTURBED AREAS.

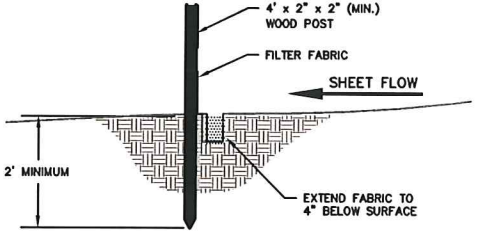
RESTORATION NOTES:
 ALL PERVIOUS DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEED AND MULCH. ALL PERVIOUS DISTURBED AREAS SHALL RECEIVE FERTILIZER EXCEPT NATIVE PLANTING AREAS. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. NET DETENTION HATING MIXTURES SHALL BE USED FOR THE BOTTOM OF THE DETENTION POND. SEED MIXTURE 40 SHALL BE USED ON ALL OTHER DISTURBED AREAS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.
 SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE. FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 6%; POTASH, NOT LESS THAN 8%.

OWNER:
 NORTH CENTRAL GROUP
 1600 ASPEN COMMONS #200
 MIDDLETON, WI 53562

ENGINEER:
 QUAM ENGINEERING, LLC
 ATTN: RYAN QUAM
 4604 SIGGELKOW ROAD, SUITE A
 MCFARLAND, WI 53558



TYPE B INLET PROTECTION DETAIL



SILT FENCE CONSTRUCTION (SHEET FLOW)

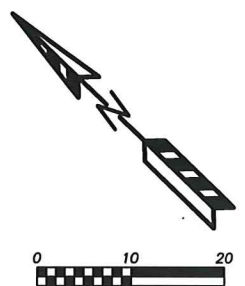
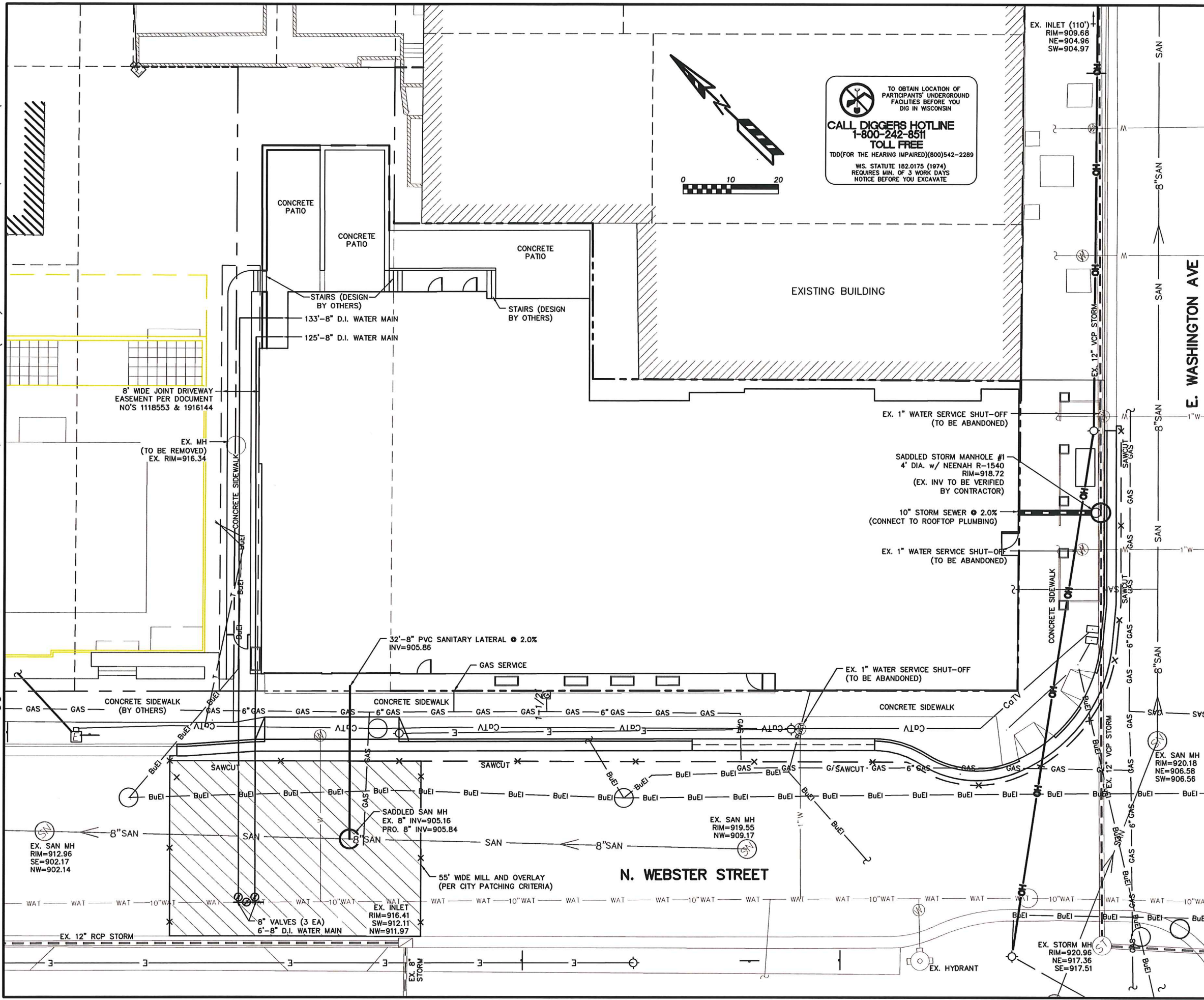
LEGEND:

894	- EXISTING MINOR CONTOUR.
--- 895 ---	- EXISTING MAJOR CONTOUR.
— 894 —	- PROPOSED MAJOR CONTOUR.
— 895 —	- PROPOSED MAJOR CONTOUR.
-EX=896.00	- EXISTING SPOT ELEVATION
-896.00	- PROPOSED SPOT ELEVATION
[Symbol]	- INSTALL WDOT TYPE B INLET PROTECTION.

AC BY MARRIOTT - DOWNTOWN MADISON
202 E. WASHINGTON AVE.
 GRADING AND EROSION CONTROL PLAN
 DATED: SEPTEMBER 10, 2014

C-101

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
www.quamengineering.com
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE 1-800-242-8511 TOLL FREE
 TDD (FOR THE HEARING IMPAIRED) (800) 542-2289
 WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

GENERAL NOTES:

ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A PRE-APPROVED CONTRACTOR AUTHORIZED TO WORK IN THE RIGHT-OF-WAY.

THE CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER WHICH ABUTS THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

THE CONTRACTOR SHALL OBTAIN A STREET EXCAVATION PERMIT FOR THE INSTALLATION OF UTILITIES REQUIRED TO SERVE THIS PROJECT. THE CONTRACTOR SHALL PAY THE PERMIT FEE, INSPECTION FEE, AND STREET DEGRADATION FEE AND SHALL COMPLY WITH ALL CONDITIONS OF THE PERMIT.

ANY DAMAGE TO THE PAVEMENT ON EAST WASHINGTON AVENUE AND NORTH WEBSTER STREET ADJACENT TO THE DEVELOPMENT WHICH IS DAMAGED BY THE CONSTRUCTION, SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.

CONTRACTOR SHALL FIELD VERIFY EXISTING SANITARY CONNECTION AND STORM SEWER CONNECTION INVERTS PRIOR TO BUILDING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO ENGINEER.

PRIOR TO FINAL APPROVAL OF DEMOLITION PERMIT, CONTRACTOR SHALL OBTAIN A PERMIT TO PLUG EACH EXISTING SANITARY SEWER LATERAL THAT SERVES A BUILDING THAT IS PROPOSED FOR DEMOLITION. CONTRACTOR SHALL COMPLETE SEWER LATERAL PLUGGING APPLICATION AND PAY APPLICABLE PERMIT FEE.

UTILITY NOTES:

ALL WATER AND SEWER CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE CITY OF MADISON AND WISCONSIN DSPS STANDARDS.

THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.

ALL WATER MAIN SHALL BE BURIED TO A DEPTH OF 6.5 FEET. THE DEPTH IS DEFINED AS THE DISTANCE BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF WATER MAIN OR SERVICE.

PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER MAIN AND PROVIDE 6" MINIMUM VERTICAL SEPARATION WHERE WATER MAIN CROSSES OVER SEWER.

ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.

ALL UNDERGROUND EXTERIOR WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORDANCE WITH 182.0715(2r) OF STATE STATUTES.

THE PROPOSED ELECTRIC, TELEPHONE AND GAS UTILITY LOCATIONS ARE NOT SHOWN. ACTUAL LOCATIONS AND DESIGN SHALL BE COMPLETED BY OTHERS.

CONTRACTOR SHALL CONTACT MADISON WATER UTILITY TO REMOVE WATER METER AND PRIOR TO ABANDONING EXISTING WATER SERVICE AND INSTALLING 8" TAPPING VALVES AND PAY CITY INSPECTION FEE.

AC BY MARRIOTT - DOWNTOWN MADISON
202 E. WASHINGTON AVE.

UTILITY PLAN
 DATED: SEPTEMBER 10, 2014

C-102

QUAM ENGINEERING, LLC

Residential and Commercial Site Design Consultants

www.quamengineering.com

4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752



GARY BRINK & ASSOCIATES
ARCHITECTS
7780 ELMWOOD AVENUE
MIDDLETON, WI 53562
608-829-1750
608-829-3056 (FAX)

PROJECT:
AC BY MARRIOTT - DOWNTOWN MADISON
202 E. WASHINGTON AVE.
MADISON, WISCONSIN

OWNER:
202 E. WASHINGTON LLC
C/O NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200 - MIDDLETON, WISCONSIN

PROJECT: 201410
DRAWN BY: ARM
DATE: 09/09/2014
SCALE: AS NOTED

LANDSCAPE PLAN
L1.01

Key	Botanical Name	Common Name	Quantity	Size	Spec	Comments	Mature Size
Deciduous Trees							
GT	<i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Imperial'	Imperial Honeylocust	1	3" Cal.	B&B	Single, straight leader; match specimens; branching shall start at 5'-0" min.	30-35' H x 10-15" sp
OV	<i>Ostrya virginiana</i>	Muskego	2	2.5" Cal.	B&B	Single, straight leader; match specimens; branching shall start at 5'-0" min.	50' H x 35" sp
Ornamental Trees							
AA	<i>Amelanchier alnifolia</i>	Downy Serviceberry	1	6" H.	B&B	Multistem, min. 3 leaders; well-developed crown no overlapping leaders	15-25' H x 10-12" sp
CA	<i>Cornus alternifolia</i>	Pagoda Dogwood	1	6" H.	B&B	Multistem, min. 3 leaders; well-developed crown no overlapping leaders	5-20' H x 6-15" sp
Evergreen Shrubs							
Bg	<i>Buxus x Green Gem</i>	Green Gem Boxwood	18	5 gal.	Cort.	Space 3'-0" o.c.	2-4' H x 2-4" sp
Tm	<i>Taxus media</i> 'Turbinata'	Turbinata Yew	11	5 gal.	Cort.	Space 4'-0" o.c.	3-5' H x 3-5" sp
To	<i>Thuja occidentalis</i> 'Smaragd'	Emerald Arborvitae	1	5 gal.	Cort.	Space as indicated on plans	7-15' H x 3-4" sp
Deciduous Shrubs & Vines							
Ar	<i>Arctostaphylos uva-ursi</i>	Dutchman's Pipe	8	3 gal.	Cort.	Space as indicated on plans	20-30' H x 2-3" sp
Am	<i>Amorpha munitica</i> 'Morton'	Hoop's Beech/Black Chokeberry	31	3 gal.	Cort.	Space 3'-0" o.c. Clip into a hedge over time.	2-3' H x 2-3" sp
Cm	<i>Clematis maximowicziana</i>	Sweet Autumn Clematis	8	3 gal.	Cort.	Space as indicated on plans	1-30' H x 3" sp
DI	<i>Dianella ionica</i>	Dwarf Bushhoneysuckle	5	3 gal.	Cort.	Space 4'-0" o.c.	1-8' H x 4-5" sp
Po	<i>Physocarpus opulifolius</i> 'Serrid'	Summerline Ninebark	7	5 gal.	Cort.	Space 5'-0" o.c.	5-6' H x 5-6" sp
Vd	<i>Viburnum dentatum</i> 'Chisdom'	Blue Muffs Viburnum	5	5 gal.	Cort.	Space 5'-0" o.c.	5-7' H x 5-7" sp
Vt	<i>Viburnum trilobum</i> 'Baily Compact'	Baily Compact Viburnum	7	5 gal.	Cort.	Space 5'-0" o.c.	5-6' H x 5-6" sp
Perennials/Grasses/Groundcovers							
av	<i>Achimillea vulgaris</i>	Lady's Mantle	14	1 gal.	Cort.	Space 18" o.c.	5-15" H x 1-1.5" sp
ca	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	14	1 gal.	Cort.	Space 24" o.c.	4-6' H x 2-3" sp
cr	<i>Cimicifuga racemosa</i> 'Pink Spike'	Pink Spike Snakeroot	8	2 gal.	Cort.	Space 24" o.c.	2-5' H x 2-2.5" sp
gc	<i>Geranium x cantabrigiense</i> 'Karmia'	Karmia Geranium	6	1 gal.	Cort.	Space 18" o.c.	8-12" H x 18-24" sp
hk	<i>Hosta 'Krosse Regal'</i>	Krossa Regal Hosta	35	1 gal.	Cort.	Space 24" o.c.	2-3' H x 2-3" sp
hr	<i>Hosta 'Royal Standard'</i>	Royal Standard Hosta	16	1 gal.	Cort.	Space 36" o.c.	11-2' H x 3-5" sp
pv	<i>Panicum virgatum</i> 'Northwind'	Northwind Switch Grass	6	3 gal.	Cort.	Space 36" o.c.	4-6' H x 2-3" sp
pvs	<i>Panicum virgatum</i> 'Shenandoah'	Shenandoah Switch Grass	32	3 gal.	Cort.	Space 24" o.c.	3-5' H x 2-3" sp
ss	<i>Schizachyrium scoparium</i> 'The Blues'	The Blues Little Bluestem	360	1 qt.	Cort.	Space 18" o.c.	1.5-2.5' H x 1.5-2" sp

City of Madison, WI Landscape Worksheet
13-Aug-14

Developed Lots	SF	Minimum Open Space Required (SF)	Landscape Points Subtotal
Total Developed Area	14,488	2,897	241
			Landscape Points Required
			241

General Site, Foundation, Screening

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	2		70
Ornamental Tree	15	2		30
Evergreen Tree	15			0
Shrub, deciduous	3	15		45
Shrub, evergreen	4	18		72
Ornamental Grass/Perennial	2	33		66
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4			0
Foundation Plantings Total				283

TOTAL LANDSCAPE POINTS 283

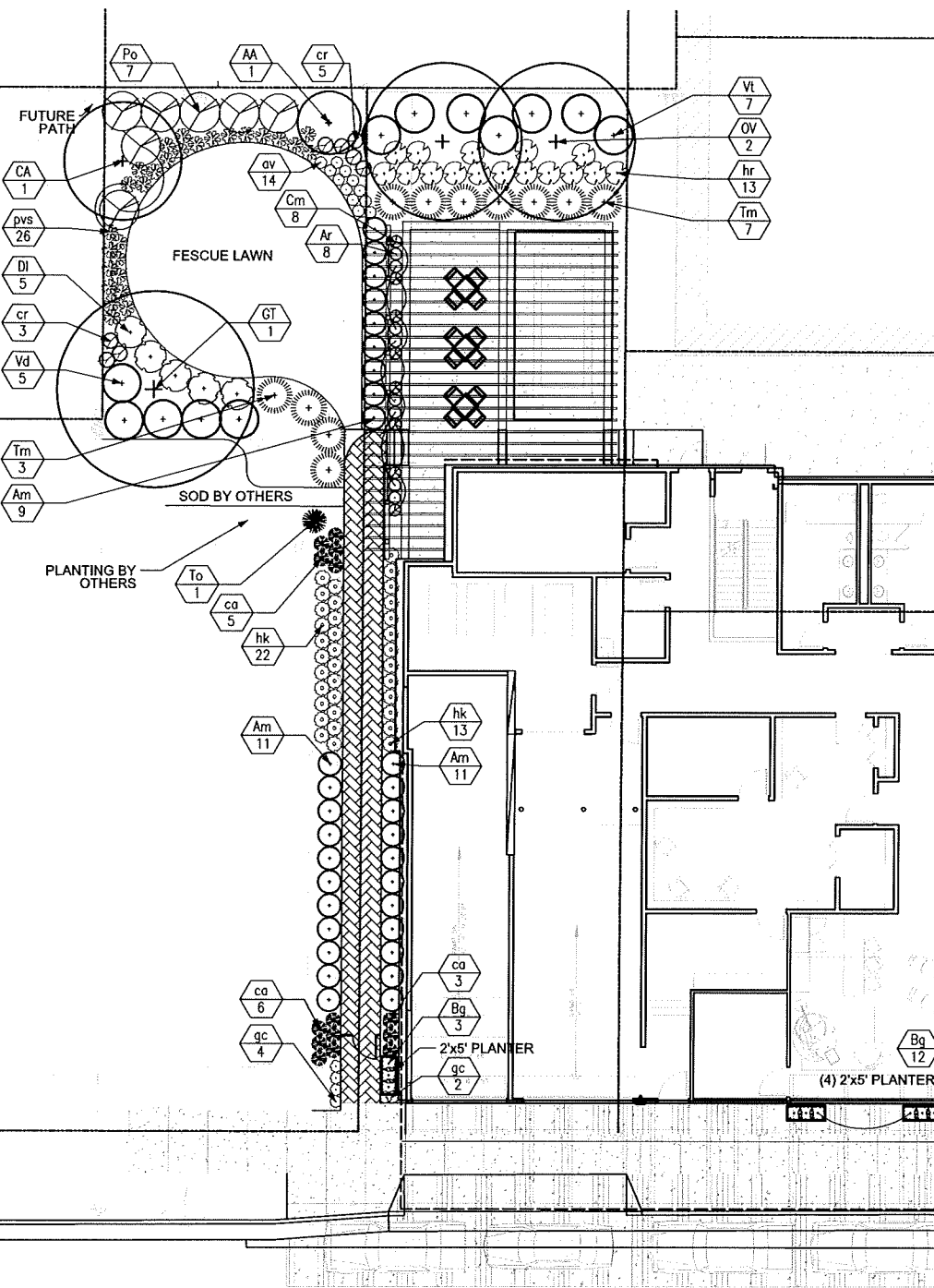
- NOTE:
- All plant beds shall have shredded hardwood bark mulch unless otherwise noted.
 - All plantings shall be irrigated.
 - Contractor shall contact City Forestry (266-4816) 7 days prior to planting street trees.
 - Protect all pavements, curbs, utilities and other improvements during planting.
 - Stone maintenance area shall use mill finish aluminum edging and 3" of 1-2" diameter washed stone on top of geotextile fabric.
 - Contractor shall verify that a minimum of 18" of topsoil has been spread in plant bed areas at grade. Contractor shall mix 3" of compost soil amendment into the top 8" of plant bed areas.
 - Green roof shall use 8" depth of green roof-specific growing medium.
 - Potted plantings shall utilize manufactured container soil.
 - All plant beds at-grade shall be treated with pre-emergent herbicide after planting and prior to mulching.
 - All plants shall be warranted for 12 months following substantial completion.
 - All plantings and seedings shall be in healthy condition at the end of their warranty period as determined by owner's representative.

THE LOCATION OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

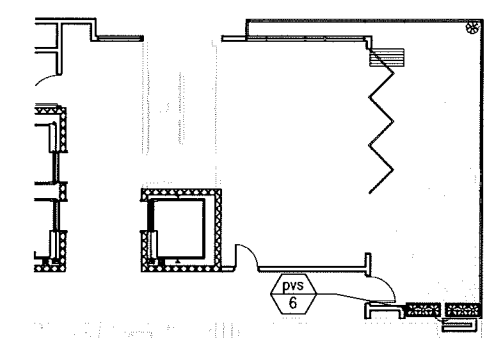


FAX A LOCATE 1-800-338-3860
TDD (FOR HEARING IMPAIRED) 1-800-542-2289
WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
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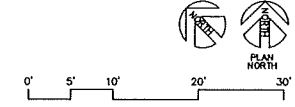
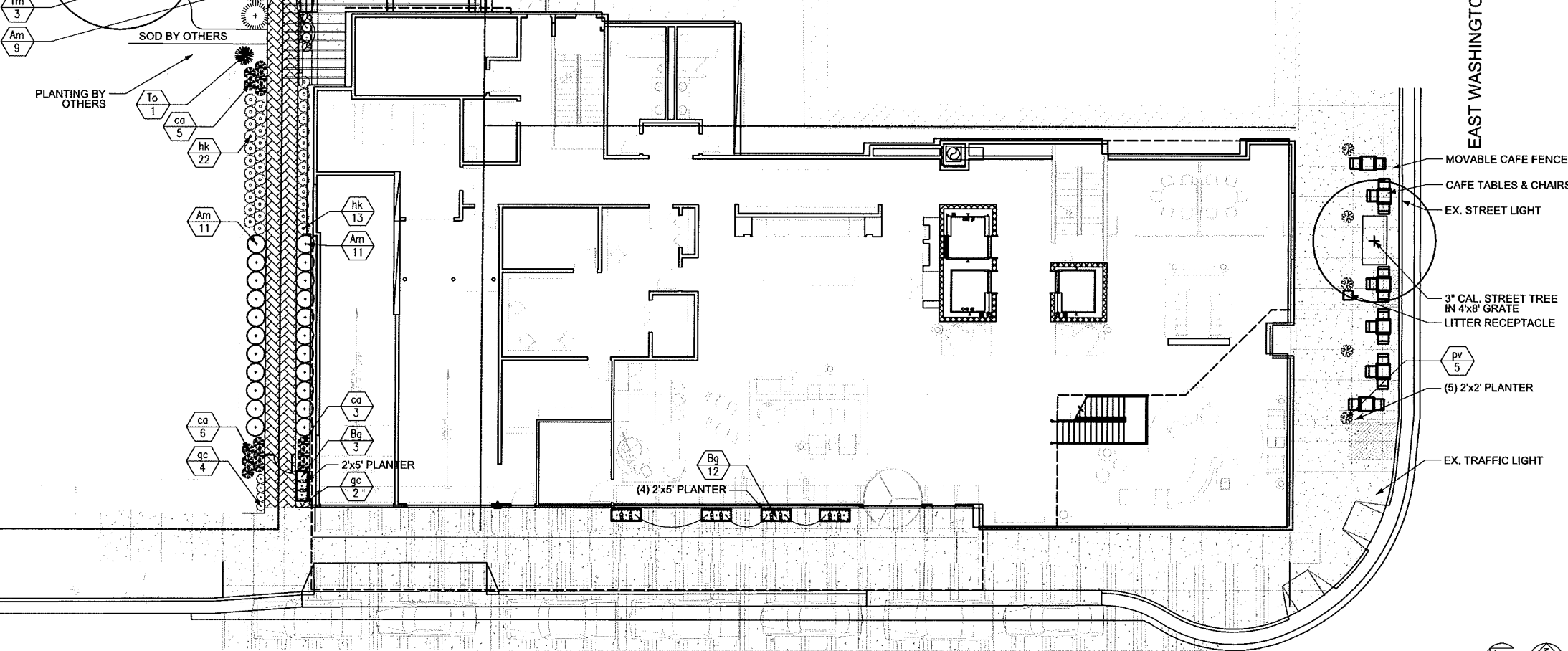
2 SECOND FLOOR LANDSCAPE PLAN
1" = 10'-0"



3 NINTH FLOOR LANDSCAPE PLAN
1" = 10'-0"



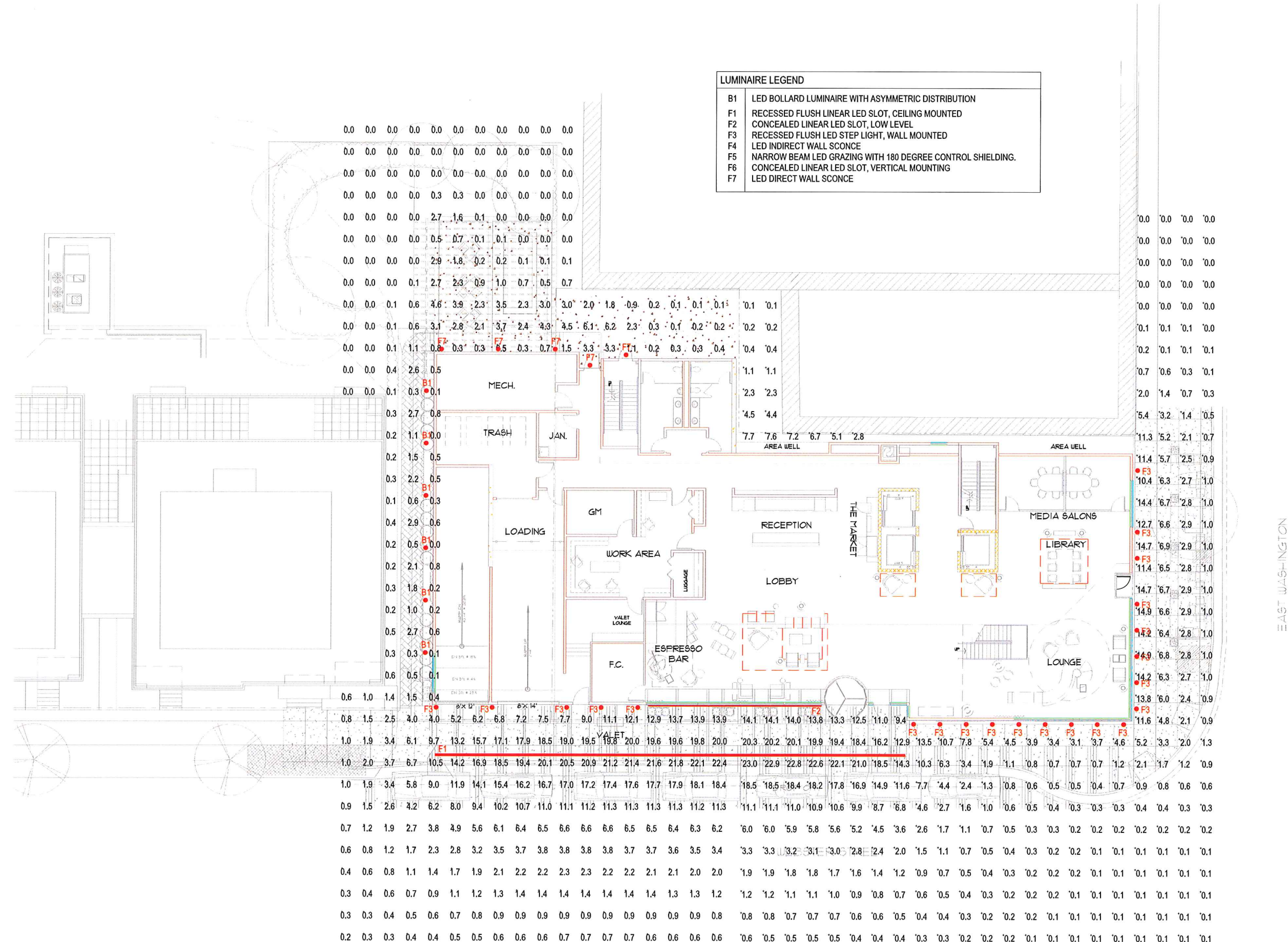
1 FIRST FLOOR LANDSCAPE PLAN
1" = 10'-0"





GARY BRINK & ASSOCIATES
ARCHITECTS
7780 ELMWOOD AVENUE
MIDDLETON, WI 53562
608-829-1750
608-829-1056 (FAX)

LUMINAIRE LEGEND	
B1	LED BOLLARD LUMINAIRE WITH ASYMMETRIC DISTRIBUTION
F1	RECESSED FLUSH LINEAR LED SLOT, CEILING MOUNTED
F2	CONCEALED LINEAR LED SLOT, LOW LEVEL
F3	RECESSED FLUSH LED STEP LIGHT, WALL MOUNTED
F4	LED INDIRECT WALL SCONCE
F5	NARROW BEAM LED GRAZING WITH 180 DEGREE CONTROL SHIELDING.
F6	CONCEALED LINEAR LED SLOT, VERTICAL MOUNTING
F7	LED DIRECT WALL SCONCE



EAST WASHINGTON

PROJECT: AC BY MARRIOTT - DOWNTOWN MADISON
202 E. WASHINGTON AVE.
MADISON, WISCONSIN

OWNER: 202 E. WASHINGTON LLC
C/O NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200 - MIDDLETON, WISCONSIN

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PROJECT: 201410
DRAWN BY:
DATE:
SCALE: AS NOTED



PHOTOMETRIC
STUDY
SITE PLAN
E1.01

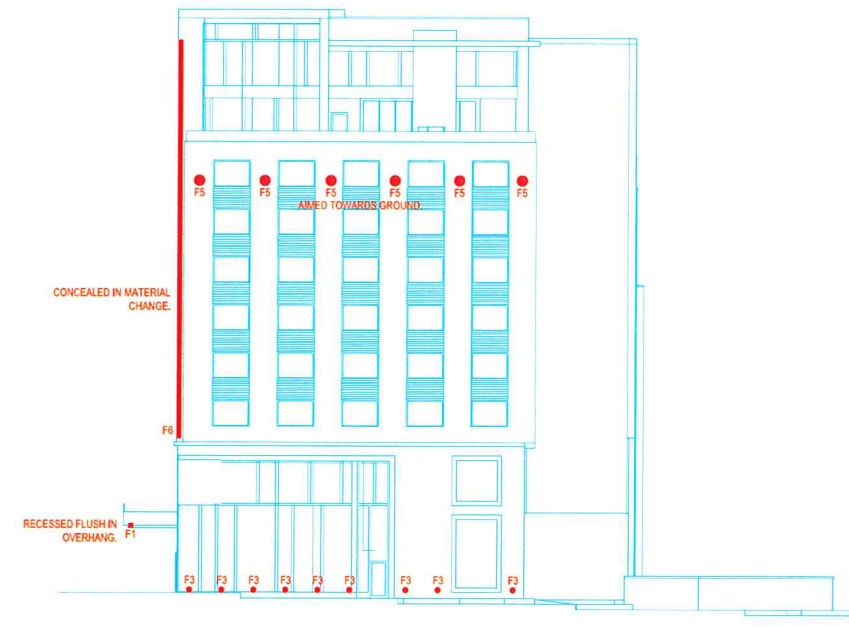


GARY BRINK & ASSOCIATES
ARCHITECTS
7780 ELMWOOD AVENUE
MIDDLETON, WI 53562
608-829-1750
608-829-3056 (FAX)

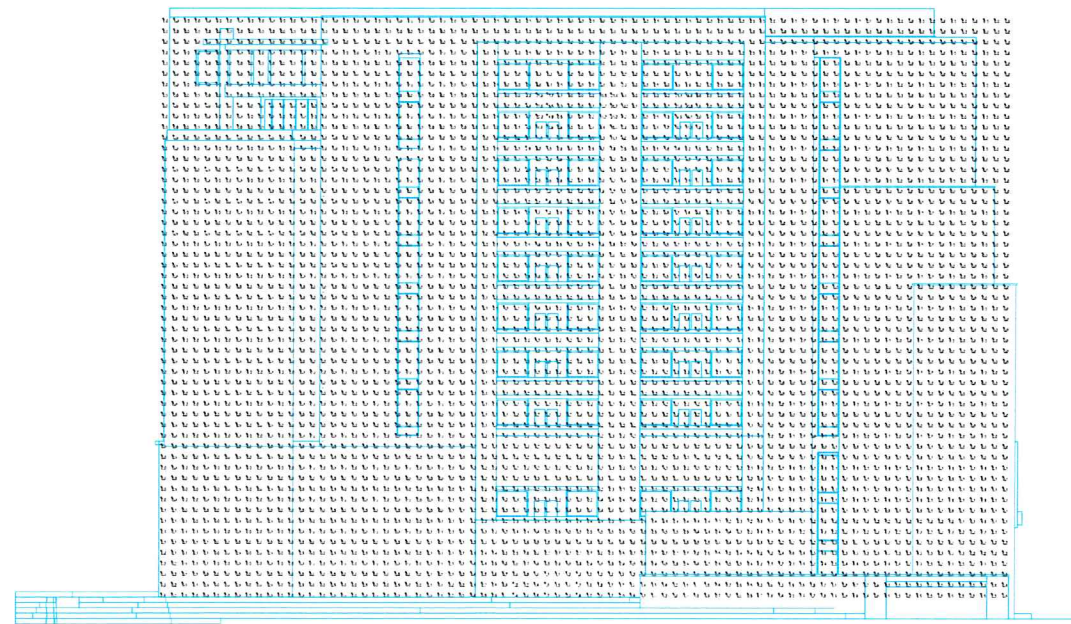
LUMINAIRE LEGEND	
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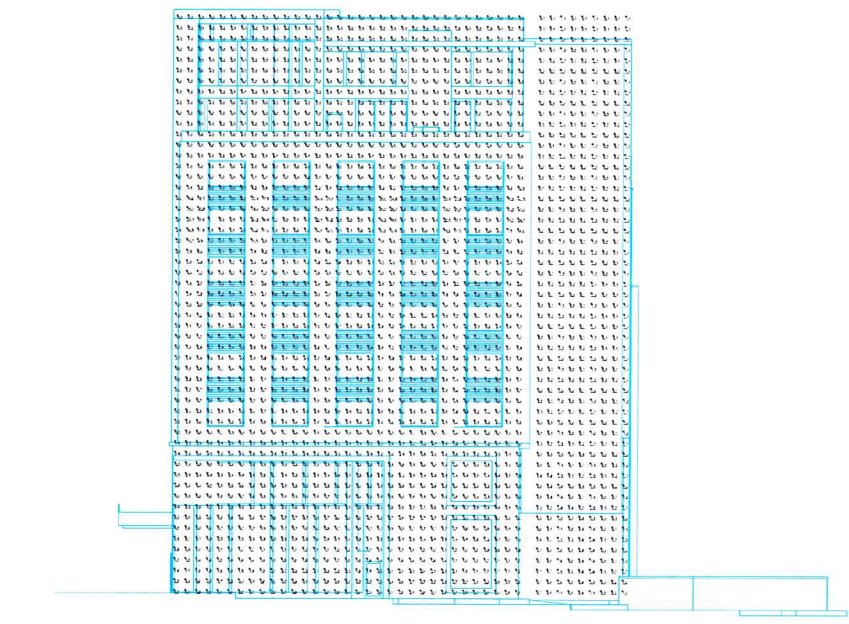
NORTHEAST ELEVATION



SOUTHEAST ELEVATION



NORTHEAST ELEVATION



SOUTHEAST ELEVATION

PROJECT: AC BY MARRIOTT - DOWNTOWN MADISON
202 E. WASHINGTON AVE.
MADISON, WISCONSIN

OWNER: 202 E. WASHINGTON LLC
C/O: NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200 - MIDDLETON, WISCONSIN

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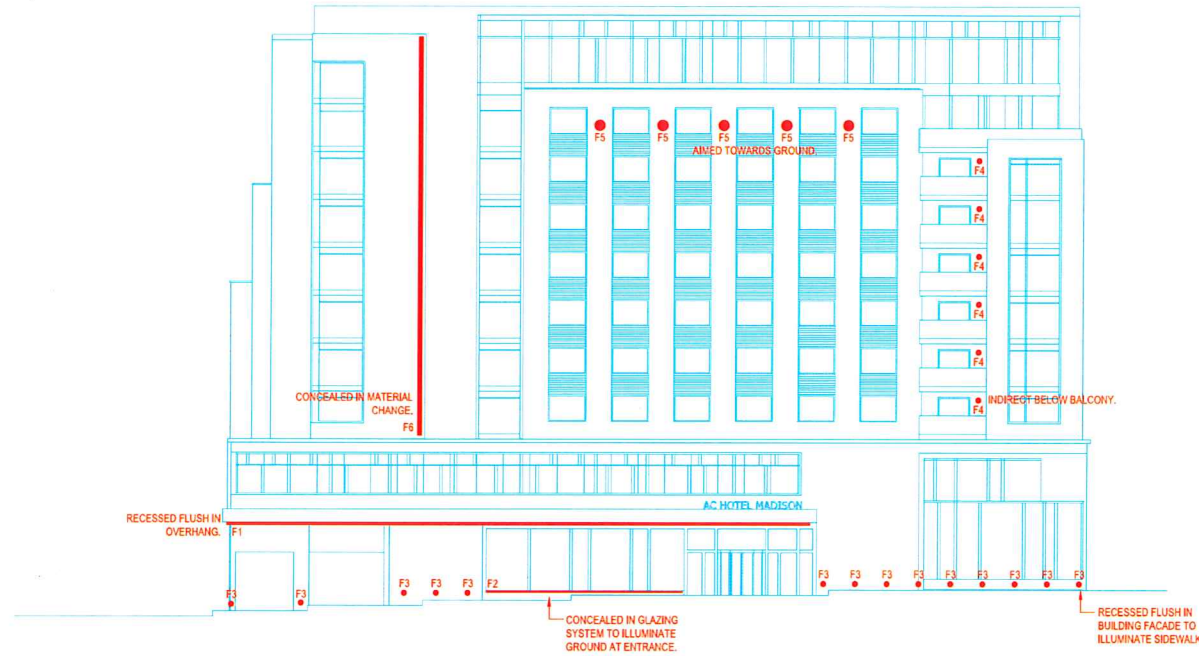
PROJECT: 201410
DRAWN BY:
DATE:
SCALE: NONE

PHOTOMETRIC
STUDY
ELEVATIONS
E1.02

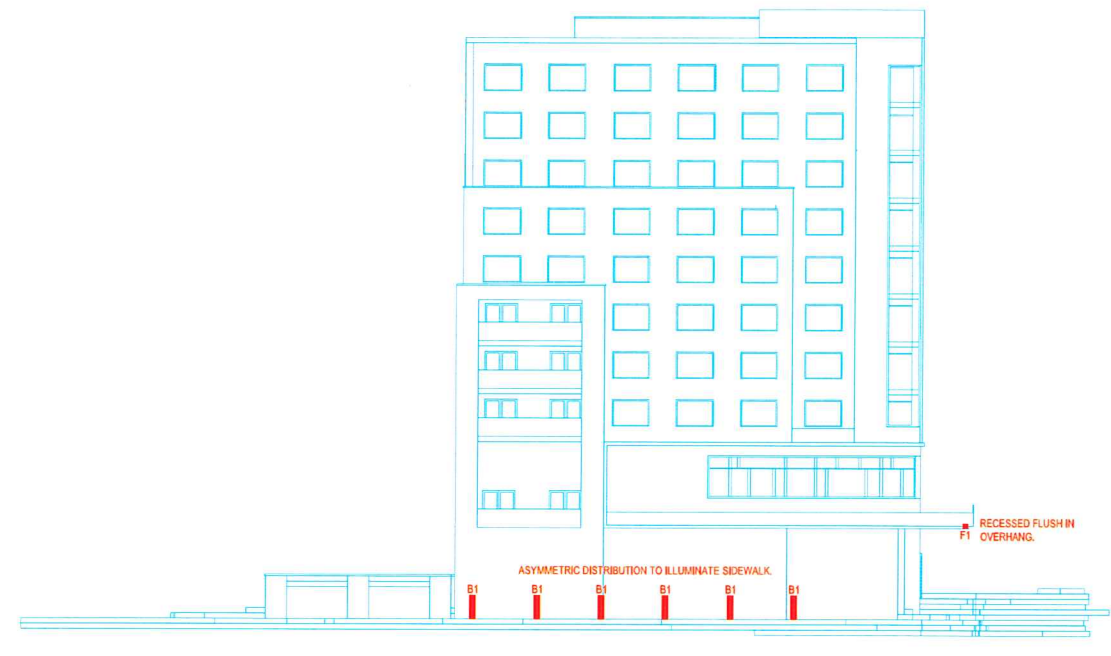


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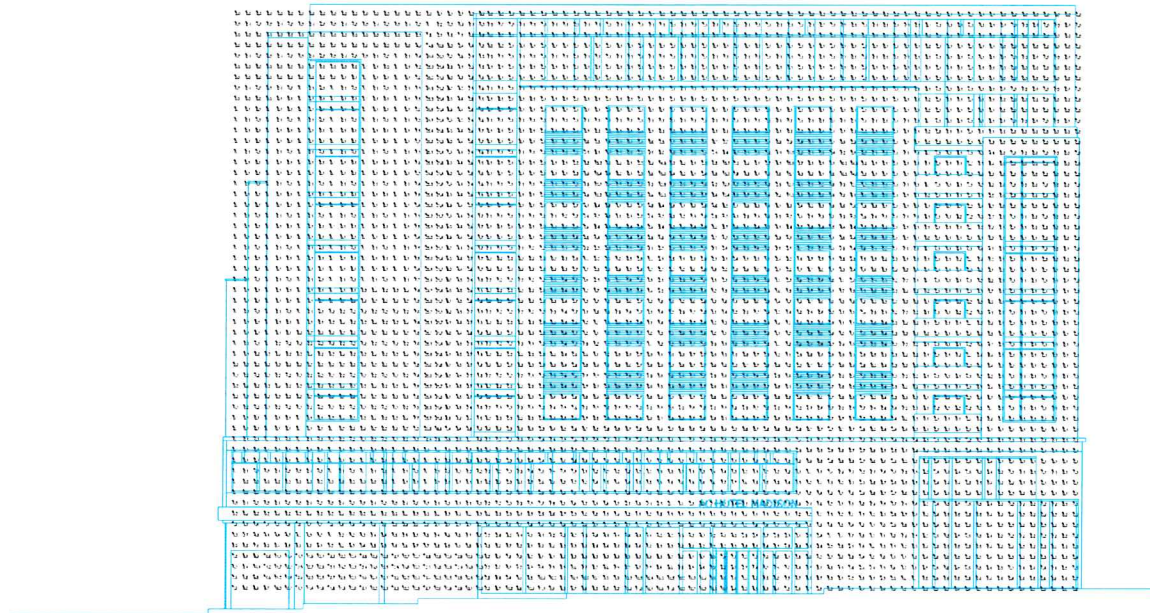
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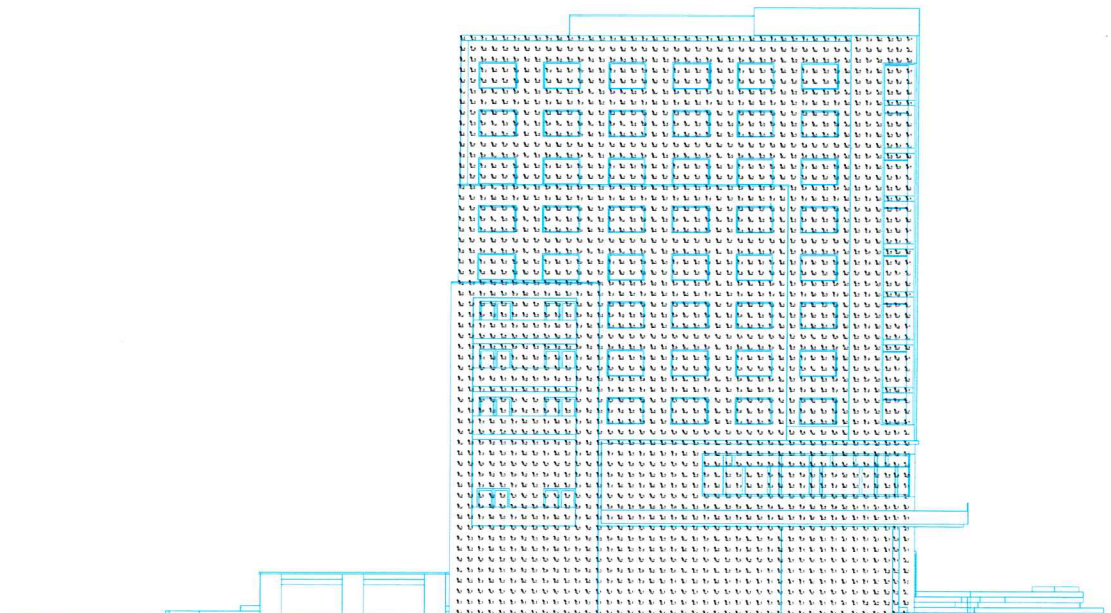
SOUTHWEST ELEVATION



NORTHWEST ELEVATION



SOUTHWEST ELEVATION



NORTHWEST ELEVATION

PROJECT: AC BY MARRIOTT - DOWNTOWN MADISON
202 E. WASHINGTON AVE.
MADISON, WISCONSIN

OWNER: 202 E. WASHINGTON LLC
CIO: NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200 - MIDDLETON, WISCONSIN

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PROJECT: 201410
DRAWN BY:
DATE:
SCALE: NONE

PHOTOMETRIC
STUDY
ELEVATIONS
E1.03



GARY BRINK & ASSOCIATES
ARCHITECTS
7780 ELMWOOD AVENUE
MIDDLETON, WI 53562
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608-829-3056 (FAX)

TYPE B1

Technical specifications and product details for Type B1 lighting fixtures, including beam spread diagrams and performance tables.

Model	Length	Beam Spread	Power	Temp. Range
100	1.0m	15°	10W	-20°C to 40°C
150	1.5m	15°	15W	-20°C to 40°C
200	2.0m	15°	20W	-20°C to 40°C

TYPE F1

Technical specifications and product details for Type F1 lighting fixtures, including beam spread diagrams and performance tables.

Model	Length	Beam Spread	Power	Temp. Range
100	1.0m	15°	10W	-20°C to 40°C
150	1.5m	15°	15W	-20°C to 40°C
200	2.0m	15°	20W	-20°C to 40°C

TYPE F2

Technical specifications and product details for Type F2 lighting fixtures, including beam spread diagrams and performance tables.

Model	Length	Beam Spread	Power	Temp. Range
100	1.0m	15°	10W	-20°C to 40°C
150	1.5m	15°	15W	-20°C to 40°C
200	2.0m	15°	20W	-20°C to 40°C

TYPE F3

Technical specifications and product details for Type F3 lighting fixtures, including beam spread diagrams and performance tables.

Model	Length	Beam Spread	Power	Temp. Range
100	1.0m	15°	10W	-20°C to 40°C
150	1.5m	15°	15W	-20°C to 40°C
200	2.0m	15°	20W	-20°C to 40°C

TYPE F4

Technical specifications and product details for Type F4 lighting fixtures, including beam spread diagrams and performance tables.

Model	Length	Beam Spread	Power	Temp. Range
100	1.0m	15°	10W	-20°C to 40°C
150	1.5m	15°	15W	-20°C to 40°C
200	2.0m	15°	20W	-20°C to 40°C

TYPE F5

Technical specifications and product details for Type F5 lighting fixtures, including beam spread diagrams and performance tables.

Model	Length	Beam Spread	Power	Temp. Range
100	1.0m	15°	10W	-20°C to 40°C
150	1.5m	15°	15W	-20°C to 40°C
200	2.0m	15°	20W	-20°C to 40°C

TYPE F6

SPECIFICATION SHEET

Client: _____
Region: _____
Order #: _____
Type: _____

PHYSICAL AND DIMENSIONS

- Material: Anodized Aluminum Housing
- Finish: Clear or Black Anodized
- Dimensions: 1.0m, 1.5m, 2.0m lengths
- Weight: 0.5kg per meter

Performance

- Beam Spread: 15°
- Power: 10W, 15W, 20W
- Temp. Range: -20°C to 40°C

Optical

- Light Output: 1000lm (10W), 1500lm (15W), 2000lm (20W)
- Color Temperature: 3000K, 4000K, 5000K

TYPE F6

SPECIFICATION SHEET

HOW TO ORDER

Model	Length	Beam Spread	Power	Temp. Range
100	1.0m	15°	10W	-20°C to 40°C
150	1.5m	15°	15W	-20°C to 40°C
200	2.0m	15°	20W	-20°C to 40°C

Mounting Options: SAM, UMF, UML, UML1, UML2, UML3, UML4, UML5, UML6, UML7, UML8, UML9, UML10, UML11, UML12, UML13, UML14, UML15, UML16, UML17, UML18, UML19, UML20, UML21, UML22, UML23, UML24, UML25, UML26, UML27, UML28, UML29, UML30, UML31, UML32, UML33, UML34, UML35, UML36, UML37, UML38, UML39, UML40, UML41, UML42, UML43, UML44, UML45, UML46, UML47, UML48, UML49, UML50, UML51, UML52, UML53, UML54, UML55, UML56, UML57, UML58, UML59, UML60, UML61, UML62, UML63, UML64, UML65, UML66, UML67, UML68, UML69, UML70, UML71, UML72, UML73, UML74, UML75, UML76, UML77, UML78, UML79, UML80, UML81, UML82, UML83, UML84, UML85, UML86, UML87, UML88, UML89, UML90, UML91, UML92, UML93, UML94, UML95, UML96, UML97, UML98, UML99, UML100.

TYPE F7

SPECIFICATION SHEET

SLIM26

LED Info:

Model	Length	Beam Spread	Power	Temp. Range
100	1.0m	15°	10W	-20°C to 40°C
150	1.5m	15°	15W	-20°C to 40°C
200	2.0m	15°	20W	-20°C to 40°C

Technical Specifications:

- UL Listing: ETL, cUL, CE, RoHS, REACH
- IP Rating: IP65
- Beam Spread: 15°
- Power: 10W, 15W, 20W
- Temp. Range: -20°C to 40°C

PROJECT:
AC BY MARRIOTT - DOWNTOWN MADISON
202 E. WASHINGTON AVE.
MADISON, WISCONSIN
OWNER:
202 E. WASHINGTON LLC
400 NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200 - MIDDLETON, WISCONSIN

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PROJECT: 201410
DRAWN BY:
DATE:
SCALE: A6 NOTED

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E1.04