



City of Madison Planning Division  
215 Martin Luther King Jr. Blvd. | Room LL.100 | P.O. Box 2985 | Madison, WI 53701-2985

Madison Landmarks Commission  
**APPLICATION**

37630

**1. LOCATION**

Project Address: 710 E MIFFLIN ST & 124 N LIVINGSTON ST Aldermanic District: 2

**2. PROJECT**

Date Submitted: 03/30/2015

Project Title / Description: VERITAS VILLAGE

This is an application for: (check all that apply)

- Alteration / Addition to a Designated Madison Landmark
- Alteration / Addition to a building adjacent to a Designated Madison Landmark
- Alteration / Addition to a building in a Local Historic District (specify):
  - Mansion Hill
  - University Heights
  - Third Lake Ridge
  - Marquette Bungalows
  - First Settlement
- New Construction in a Local Historic District (specify):
  - Mansion Hill
  - University Heights
  - Third Lake Ridge
  - Marquette Bungalows
  - First Settlement
- Demolition
- Variance from the Landmarks Ordinance
- Referral from Common Council, Plan Commission, or other referral
- Other (specify): NEW CONSTRUCTION ADJACENT TO A DESIGNATED MADISON LANDMARK

**3. APPLICANT**

Applicant's Name: VERITAS VILLAGE, LLC Company: VERITAS VILLAGE, LLC

Address: P.O. BOX 602237 City/State: MADISON, WI Zip: 53703

Telephone: (608) - 826 -4000 E-mail: TERRENCE@TWALENTERPRISES.COM

Property Owner (if not applicant): \_\_\_\_\_

Address: \_\_\_\_\_ City/State: \_\_\_\_\_ Zip: \_\_\_\_\_

Property Owner's Signature: Terrence R. Wall, President of its Manager Date: 3/4/2015

**GENERAL SUBMITTAL REQUIREMENTS**

Twelve (12) collated paper copies and electronic (.pdf) files of the following: (Note the filing deadline is 4:30 PM on the filing day)

- Application
- Brief narrative description of the project
- Scaled plan set reduced to 11" x 17" or smaller pages. Please include:
  - Site plan showing all property lines and structures
  - Building elevations, plans and other drawings as needed to illustrate the project
  - Photos of existing house/building
  - Contextual information (such as photos) of surrounding properties
- Any other information that may be helpful in communicating the details of the project and how it complies with the Landmarks Ordinance, including the impacts on existing structures on the site or on nearby properties.

**Questions?** Please contact the  
Historic Preservation Planner:  
Amy Scanlon  
Phone: 608.266.6552  
Email: ascanlon@cityofmadison.com

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.



**JOSEPH LEE + ASSOCIATES, LLC**

2418 Crossroads Drive, Suite 2300

Madison, Wisconsin 53718

608.241.9500

## Letter of Intent Veritas Village Land Use Application

Veritas Village is a multi-family residential development, to be located at the intersection of East Livingston Street and Mifflin Street on the city's near east side at 710 East Mifflin Street. The proposed project consists of a new four (4) story multi-family building containing 189 dwelling units in total. The four stories of residential space are above a single level of parking that extends out from the footprint of the building above to allow for the desired parking ratio of 1.0 spaces per dwelling unit (the achieved parking ratio of the project is 1.02 stalls/unit). The project provides a total of 192 vehicle parking spaces (all covered) and a total of 214 bicycle parking spaces are also provided. The area of the site is approximately 97,865 SF, or 2.247 acres. The existing site is currently occupied by the Reynolds Crane Company. The majority of the existing site is a paved lot used for the operations of the Reynolds Crane Company.

The newly developed site would be made up of a single building, associated drives and surface parking. The pedestrian experience was studied extensively in the development of this project. The massing is comprised of several street edge courtyards along Mifflin and Dayton Street that minimize the building mass's impact. By incorporating terraced landscape plantings at each of these courtyards the overall streetscape of the neighborhood is also significantly enhanced.

The building is 4 stories in height along each Mifflin, Dayton, and Livingston Street, but through a series of step backs at the 4<sup>th</sup> floor the project feels much more like a 3 story building. Along Livingston Street the building's height was reduced near the middle of the block by way of a lowered connection between the two "wings" to give the perception of two separate buildings. There is a common roof deck on the 3<sup>rd</sup> floor of the project that would provide stunning views back towards the capitol. A large interior communal courtyard with ample outdoor space, a pool, and sun deck also will bring a unique experience.

The building shall be concrete construction for the lower level parking garage with wood framed construction for the residential floors above. The exterior building materials will all be of high quality; consisting of cast stone veneer, composite fiber cement siding, vinyl windows and doors, as well as ample brick masonry.

The proposed project schedule has construction commencing in the summer of 2015 with completion in the fall of 2017. The construction the building will be slightly

staggered, and the completion of total project build-out shall depend on market conditions.

To date, the project team has met with the Tenney-Lapham Neighborhood Association, Alderperson Ledell Zellers, and City Planning staff numerous times as part of a collaborative effort to design a project that attempts to meet the needs and desires of the various stakeholders as well as the needs of the developer.

The project team currently consists of Veritas Village, LLC (developer), JLA Architects + Planners (architecture/design), Vierbicher Associates, Inc. (civil engineering), and The Bruce Company (landscape architecture).

Regards,

Joseph M. Lee, AIA  
JLA Architects + Planners

VERITAS VILLAGE  
MADISON , WISCONSIN



Landmarks Commission Submittal

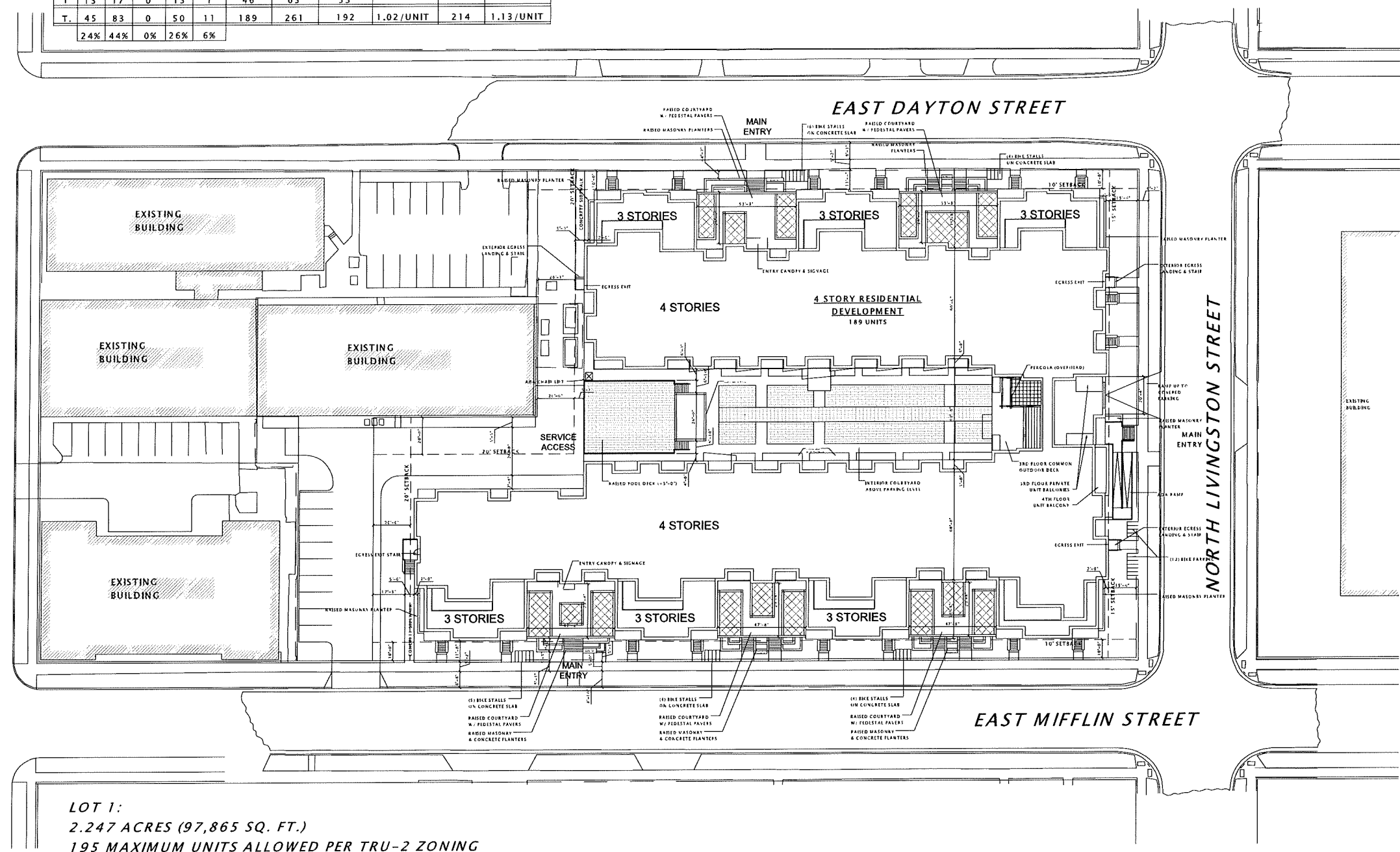
**JLA**  
architects

JLA PROJECT NUMBER: 14-1201

MARCH 30, 2015

ZONING DATA		LOT AREA: 2.247 ACRES (97,865 SQ. FT.)	
REQUIREMENT		DESIGN	
LOT AREA	500 SF/UNIT + 250 SF/BR > 2 = 189 UNITS (MAX)	189 UNITS (11-3BR UNITS)	
FRONT SETBACK	15 FEET	15 FEET	STOOPS, STAIRS, RAMP ENCROACH
SIDEYARD SETBACK	10 FEET	10 FEET (DAYTON) 10 FEET (MIFFLIN)	STOOPS, STAIRS, RAMP ENCROACH
REAR SETBACK	20 FEET	20 FEET	AT REFUSE ROOM ONLY - ALL OTHER AREAS 20'+
MAXIMUM HEIGHT	6 STORIES - 78 FEET	4 STORIES - 55 FEET	3 STORIES - 44 FEET ALONG DAYTON & MIFFLIN
LOT COVERAGE	80% (MAXIMUM) = 78,292 S.F.	77% = 75,597 S.F. 55% = 54,013 S.F.	FOOTPRINT OF PARKING LEVEL FOOTPRINT OF RESIDENTIAL LEVELS ABOVE PARKING
USABLE OPEN SPACE	140 SF/UNIT = 26,460 S.F. (MAX. 75% - BALCONIES)	75% = 19,845 S.F. 25% = 6,615 S.F.	COMMON ROOF DECKS & BALCONIES GROUND LEVEL (8,542 ACTUAL S.F.)

WORKING - UNITS ADDED BACK											
FL	UNITS						PARKING				
	ST	1BR	1BR+	2BR	3BR	TOTAL	BR'S	VEHICLE	RATIO	BIKE	RATIO
4	10	20	0	7	5	42	59	37			
3	10	24	0	13	2	49	66	53			
2	12	22	0	15	3	52	73	53			
1	13	17	0	15	1	46	63	53			
T.	45	83	0	50	11	189	261	192	1.02/UNIT	214	1.13/UNIT
	24%	44%	0%	26%	6%						



LOT 1:  
2.247 ACRES (97,865 SQ. FT.)  
195 MAXIMUM UNITS ALLOWED PER TRU-2 ZONING

16 SITE PLAN DRAWING  
1" = 30'-0"

**JLA**  
JOSEPH LEE & ASSOCIATES  
2410 CROSSROADS DRIVE, SUITE 200  
MADISON, WISCONSIN 53713  
608.241.5500

JLA PROJECT NUMBER: 14-1201

VERITAS VILLAGE, LLC

CUP Submittal

VERITAS VILLAGE

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE MARCH 30, 2015

**REVISION SCHEDULE**

Mark	Description	Date

SHEET TITLE

ARCHITECTURAL SITE PLAN - OVERALL

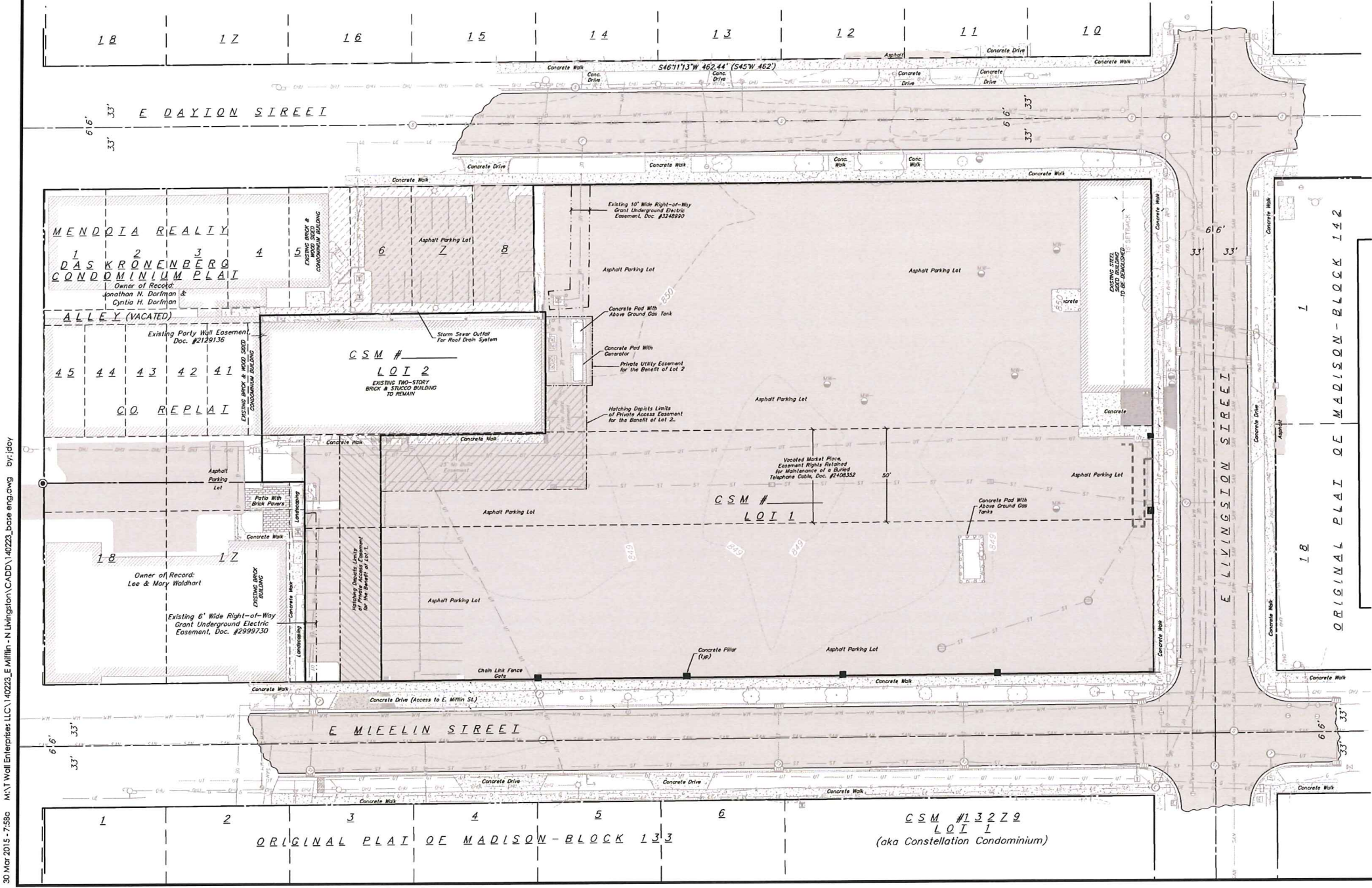
SHEET NUMBER

ASP-100

© 2013 Vierbicher Associates, Inc.

Hatching depicts limits of easement parcel:  
Pedestrian/vehicle access easement for the purpose of maintenance & repair operations, for surface water runoff, for light & air or along the common boundary of Reynolds parcel & easement parcel. Doc. #2129137; Amended by Doc. #2239049

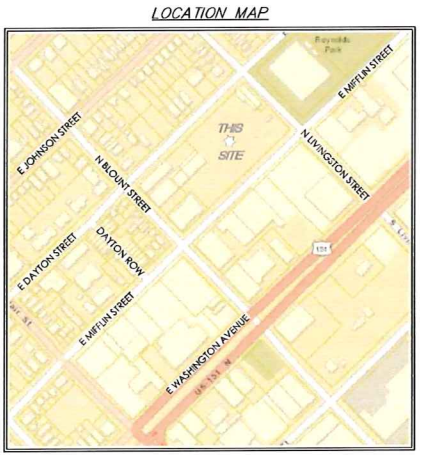
Hatching depicts limits of access easement area:  
Doc. #2129137; Amended by Doc. #2239049. Amendment affects this area.



- ### TOPOGRAPHIC SYMBOL LEGEND
- EXISTING BOLLARD
  - EXISTING MAILBOX
  - EXISTING MONITORING WELL
  - EXISTING SIGN
  - ⊙ EXISTING CURB INLET
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  - ⊙ EXISTING GAS VALVE
  - ⊙ EXISTING AIR CONDITIONING PEDESTAL
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- ### TOPOGRAPHIC LINWORK LEGEND
- EXISTING UNDERGROUND TELEPHONE
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  - EXISTING GAS LINE
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  - EXISTING SANITARY SEWER LINE
  - EXISTING STORM SEWER LINE
  - EXISTING WATER MAIN
  - EXISTING PARCEL LINE
  - EXISTING UTILITY EASEMENT



Existing Conditions Plan

E Mifflin  
City of Madison  
Dane County, Wisconsin

REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN

DATE 02/18/2015

DRAFTER CGUY

CHECKED JOOY

PROJECT NO. 140223

SHEET 1 OF 3

DWG. NO. C-1.0

30 Mar 2015 - 7:58a M:\T Wall Enterprises LC\140223 E Mifflin - N Livingston\CADD\140223\_base\_eng.dwg by: jdo

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30 Mar 2015 - 7:56c M:\T Wall Enterprises LLC\140223\_E Mifflin - N Livingston\CADD\140223\_base\_eng.dwg by: jdy

**TOPOGRAPHIC LINEWORK LEGEND**

- 01 --- 01 --- EXISTING UNDERGROUND TELEPHONE
- 02 --- 02 --- EXISTING CHAIN LINK FENCE
- 03 --- 03 --- EXISTING WOOD FENCE
- 04 --- 04 --- EXISTING GAS LINE
- 05 --- 05 --- EXISTING UNDERGROUND ELECTRIC LINE
- 06 --- 06 --- EXISTING OVERHEAD GENERAL UTILITIES
- 07 --- 07 --- EXISTING SANITARY SEWER LINE
- 08 --- 08 --- EXISTING STORM SEWER LINE
- 09 --- 09 --- EXISTING WATER MAIN
- 10 --- 10 --- EXISTING PARCEL LINE
- 11 --- 11 --- EXISTING UTILITY EASEMENT

Hatching depicts limits of easement parcel:  
Pedestrian/vehicle access easement for the purpose of maintenance & repair operations; for surface water runoff; for light & air or along the common boundary of Reynolds parcel & easement parcel. Doc. #2129137; Amended by Doc. #2239049

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- EXISTING TELEPHONE PEDESTAL

- PROPOSED ASPHALT
- EXISTING ASPHALT

**PROPOSED GRADING LEGEND**

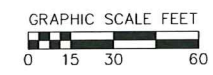
- 2.92% --- PROPOSED ADA ACCESSIBLE ROUTE
- ○ --- SILT FENCE OR SILT SOCK
- 849.54 --- PROPOSED SLOPE ARROWS
- 849.56 --- PROPOSED SPOT ELEVATIONS
- EXISTING SPOT ELEVATIONS
- TYPE D INLET PROTECTION

**ABBREVIATIONS**

C	TOP OF GROUND
C	TOP OF CURB
W	TOP OF WALK
P	EDGE OF PAVEMENT
TW	TOP OF WALL
BW	BOTTOM OF WALL



BEARINGS ARE BASED UPON THE WISCONSIN COUNTY COORDINATE SYSTEM (DANE COUNTY, THE NORTHWESTERLY RIGHT-OF-WAY LINE OF E MIFFLIN STREET MEASURED AS BEARING S46°04'54"W



**GENERAL NOTES:**

1. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
2. ALL ABANDONED DRIVEWAYS ADJACENT TO THE SITE SHALL BE REPLACED WITH CURB AND THE TERRACE SHALL BE RESTORED WITH GRASS.
3. CONTRACTOR SHALL OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, WORK IN RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
4. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
5. CONTRACTOR TO RELOCATE EXISTING UNDERGROUND TELEPHONE LINE.

**vierbicher**  
planners | engineers | advisors

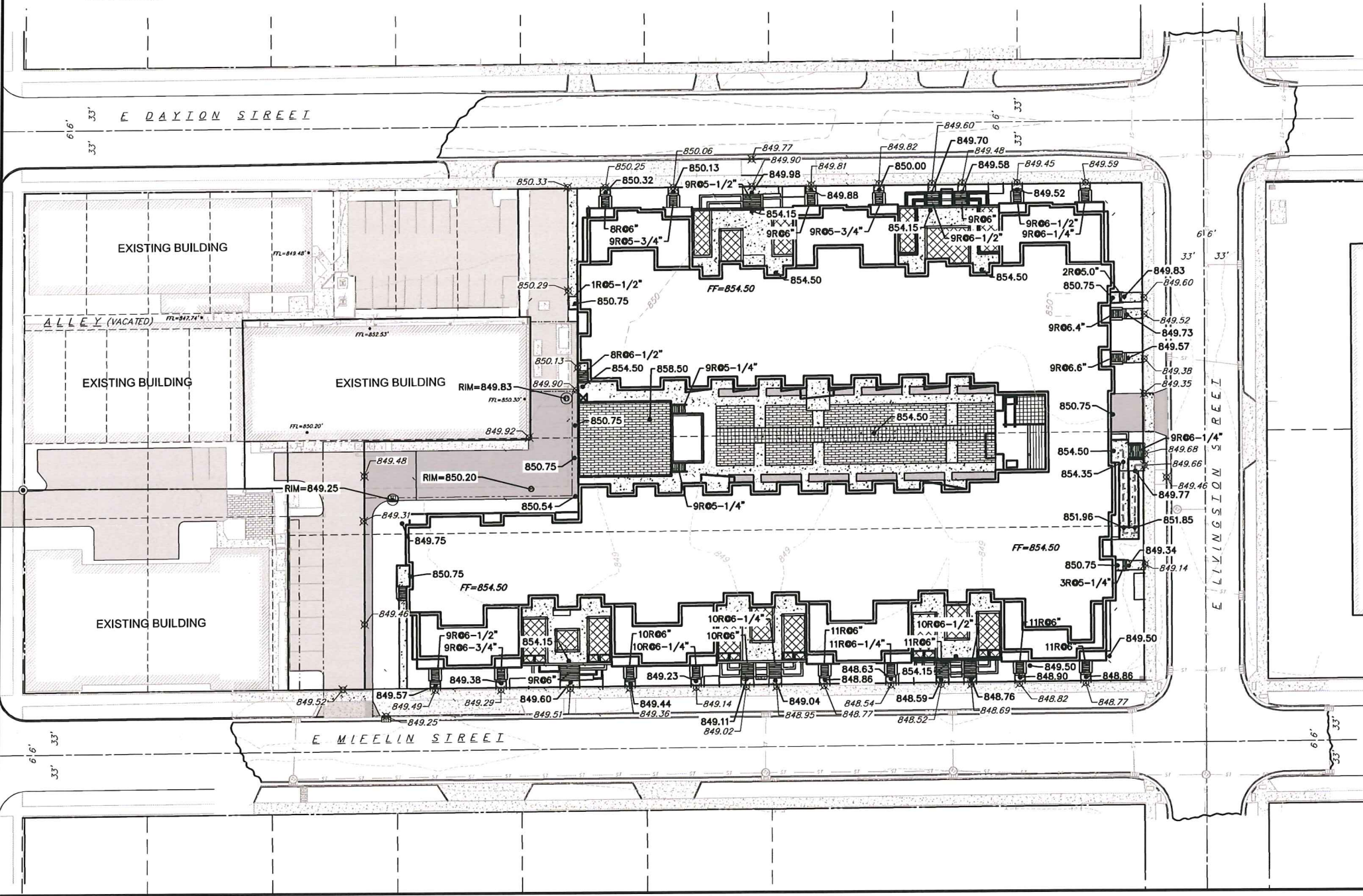
REEDSBLURG - MADISON - PRAIRIE DU CHIEN  
999 Fouquier Drive, Suite 201, Madison, Wisconsin 53717  
Phone: (608) 261-2222 Fax: (608) 261-2222

**Grading Plan**  
E Mifflin  
City of Madison  
Dane County, Wisconsin

REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN

DATE: 3/30/2015  
DRAFTER: CGUY  
CHECKED: JDOY  
PROJECT NO.: 140223  
SHEET: 2 OF 3  
DWG. NO.: C-2.0



© 2013 Vierbicher Associates, Inc.

30 Mar 2015 - 7:55c MAT Wall Enterprises LLC \140223\_E Mifflin - N Livingston\CADD\140223\_base\_eng.dwg by: jdy

**TOPOGRAPHIC LINEWORK LEGEND**

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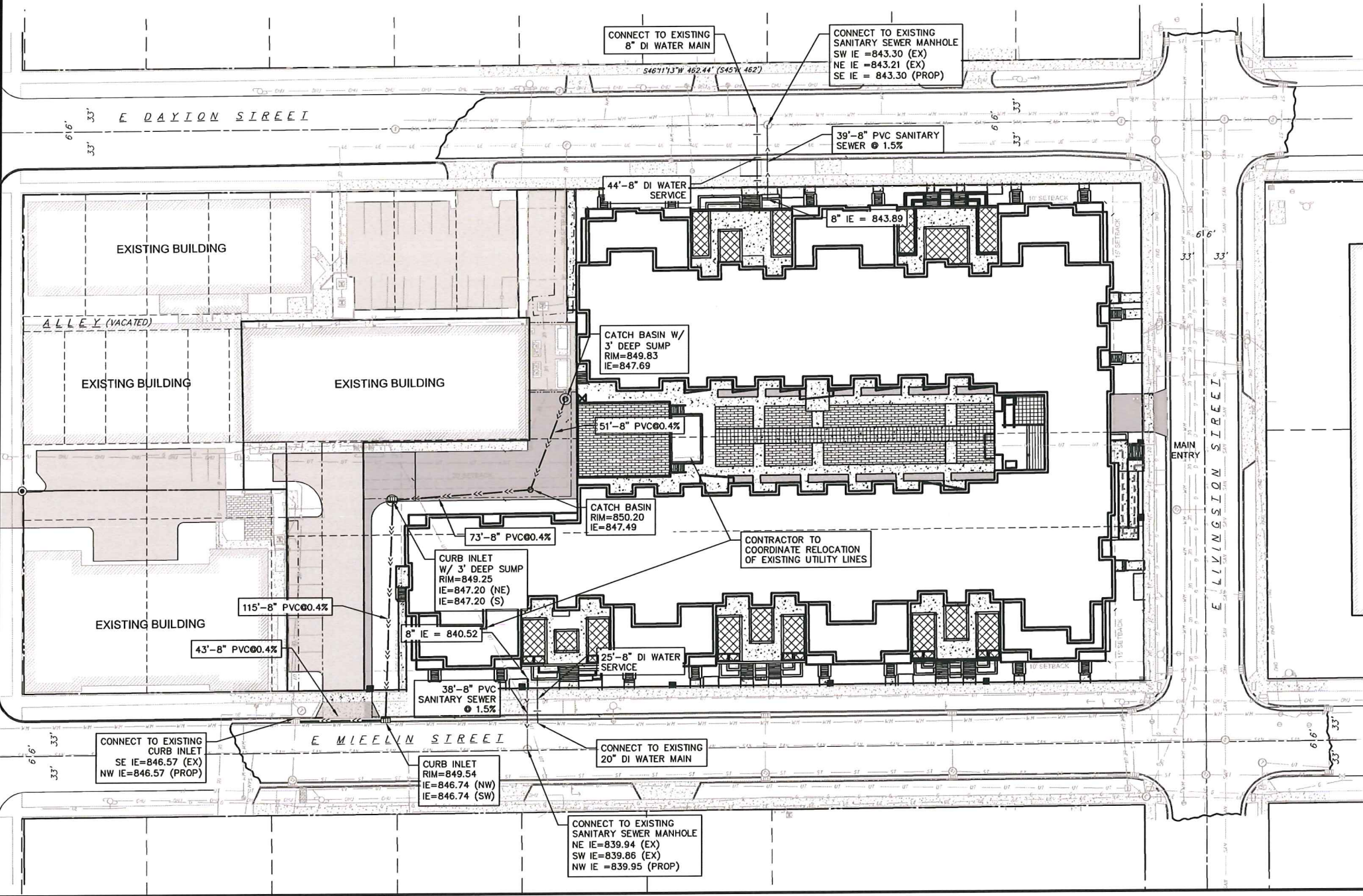
CALL DIGGER'S HOTLINE  
1-800-242-8511  
TOLL FREE  
TELEFAX 1-800-338-3860  
TDC (FOR HEARING IMPAIRED)  
1-800-942-2289  
WIS. STATUTE 182.0125 (1879)  
REQUIRES MINIMUM OF 3 WORKING DAYS  
NOTICE BEFORE YOU EXCAVATE.



BEARINGS ARE BASED UPON THE  
WISCONSIN COUNTY COORDINATE  
SYSTEM, DANE COUNTY, THE  
NORTHEASTERLY RIGHT-OF-WAY  
LINE OF E MIFFLIN STREET  
MEASURED AS BEARING  
S46°04'54"W

**UTILITY NOTES**

1. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES (MANHOLE RIMS, WATER VALVES, AND CURB STOPS).
3. FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
4. STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
5. PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
6. PRIVATE SANITARY SEWER LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
7. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(8)(k).
8. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b.).
9. NO PERSON MAY ENGAGE IN WORK AT PLUMBING IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
10. ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
11. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE AND EXACT LOCATION OF PROPOSED SANITARY AND WATER LATERALS.
12. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
13. PROPOSED UTILITY SERVICE LINES AS SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
15. EXISTING WATER AND SANITARY LATERALS MUST BE PROPERLY ABANDONED PER CITY REQUIREMENTS.
16. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
17. THE DEVELOPER SHALL INSTALL THE 3M<sup>™</sup> ELECTRONIC MARKER SYSTEM (EMS) 4" EXTENDED RANGE 5" BALL MARKERS-WASTEWATER (MODEL #1404-XR) FOR EACH SANITARY AND STORM SEWER LATERALS. THE CITY SHALL SUPPLY ALL THE REQUIRED MARKERS TO THE DEVELOPER OR ITS CONTRACTOR (GENERALLY REQUIRES 2 PER LATERAL) AND THE CONTRACTOR SHALL INSTALL THEM PER THE MANUFACTURER'S REQUIREMENTS OR AS DIRECTED BY THE CITY ENGINEER.
18. PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY THE MADISON WATER UTILITY TO REMOVE THE WATER METERS.
19. EXISTING WELLS SHALL BE ABANDONED PER CITY AND STATE REGULATIONS.
20. SANITARY SEWER TO HAVE UTILITY TRENCH SEALS TO PROTECT FROM GROUNDWATER.



Utility Plan  
E Mifflin  
City of Madison  
Dane County, Wisconsin

REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN

DATE 3/30/2015

DRAFTER CGUY

CHECKED JDOY

PROJECT NO. 140223

SHEET 3 OF 3

DWG. NO. C-3.0



Plant Material List

Broadleaf Deciduous

Table with 5 columns: Quantity, Code Name, Common Name, Scientific Name, Planting Size. Lists plants like Chanticleer Callery Pear, Autumn Brill Serviceberry, and Regal Prince English Oak.

Conifer Evergreen

Table with 5 columns: Quantity, Code Name, Common Name, Scientific Name, Planting Size. Lists plants like Black Hills Spruce, Emerald Arborvitae, and Mops Mugo Pine.

Perennial

Table with 5 columns: Quantity, Code Name, Common Name, Scientific Name, Planting Size. Lists plants like Prairie Dropseed, Lime Zinger Sedum, and Summer Beauty Allium.

Shrub

Table with 5 columns: Quantity, Code Name, Common Name, Scientific Name, Planting Size. Lists plants like Northern Burgundy Arwd Viburnum and Pink Diamond Hydrangea.

LANDSCAPE WORKSHEET

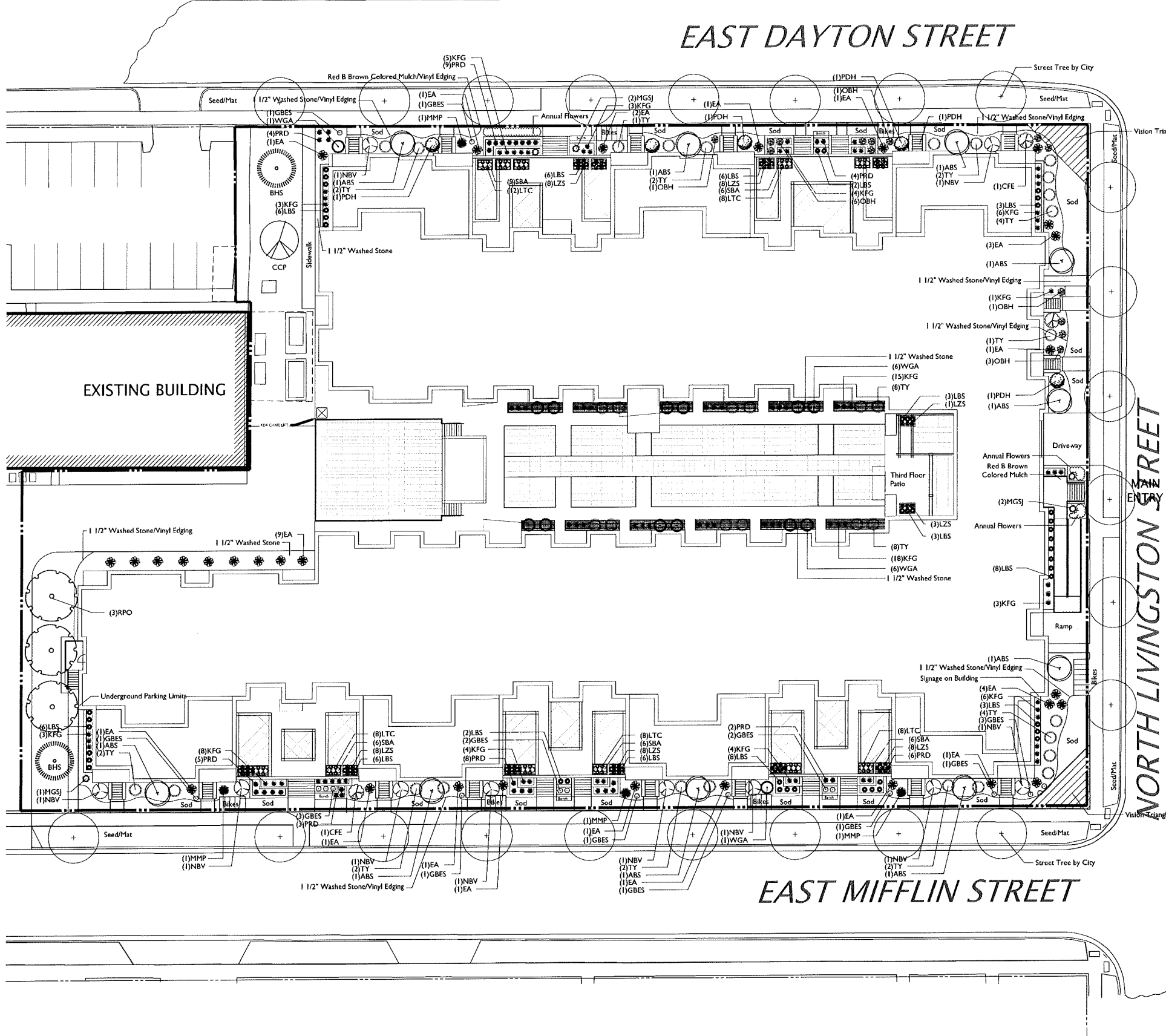
Zoning district is TRU-2. Total square footage of developed area 30,346 SF. Total square footage of first 5 acres of developed area + 300 square feet = 101 Landscape Units.

NUMBER OF LANDSCAPE POINTS REQUIRED. 101 Landscape Units x 5 landscape points for first 5 acres = 505 points. 0 Landscape Units x 1 landscape point for additional 0 acres = 0 points. TOTAL LANDSCAPE POINTS REQUIRED = 505 points.

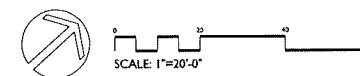
Table with 5 columns: PLANT TYPE or ELEMENT, Point Value, Qty., NEW Points Achieved, EXISTING Points Achieved. Totals NEW 1,634, EXISTING +, TOTAL POINTS PROVIDED = 1,634.

GENERAL NOTES

- A) Areas labeled "Red B Colored Wood Mulch" to receive a mixture of recycled wood mulch, colored brown, spread to a 3" depth over pre-emergent herbicide.
B) Individual trees and shrub groupings found along perimeter of property as well as those found within lawn areas to receive wood mulch rings (and wood mulch beds) consisting of a mixture of recycled wood mulch, colored brown, spread to a minimum 3" depth (3' wide beds for shrub groupings).
C) "Vinyl Edging" to be Valley View Black Diamond Vinyl Edging or equivalent.
D) Areas labeled "washed stone" to receive 1-1/2" washed stone spread to a 3" depth over fabric weed barrier.
E) "Seed" areas shall be finish-graded and seeded at a rate of 4 lbs. per 1,000 sq. ft.
F) Seed shall consist of the following mixture: 10% Palmer IV Perennial Ryegrass, 20% Dragon Kentucky Bluegrass, 20% Diva Kentucky Bluegrass, 20% Foxy II Creeping Red Fescue, 15% Vail II Perennial Ryegrass, 15% Ginney Kentucky Bluegrass.
G) Areas labeled "Seed/Mat" shall be seeded with the above-noted premium lawn seed mixture and overlaid with Class 1 erosion control matting that is 100% biodegradable then pegged into the soil with biodegradable staples.
H) Areas labeled "Sod" shall receive only No. 1 grade nursery-grown bluegrass sod.
I) Plant beds adjacent to building foundation to be mulched with 1-1/2" diameter washed stone mulch spread to a 3" depth over fabric weed barrier.
J) Existing street trees shall be protected. Contractor shall install tree protection fencing in the area between the curb and sidewalk and extend it at least 5 feet from both sides of the tree along the length of the terrace.
K) Contractor shall contact City Forestry (608)266-4816 at least one week prior to installing street trees to schedule inspecting the nursery stock and reviewing landscaping specifications with the landscaper.



TRU-2 ZONING



the bruce company LANDSCAPE ARCHITECTS LANDSCAPE CONTRACTORS 2830 PARMENTER STREET MADISON, WI 53705-0330 TEL: (608) 836-7011 FAX: (608) 831-6266

VERITAS APARTMENTS NORTH LIVINGSTON STREET MADISON, WISCONSIN

Checked By: SS Drawn By: DRAFT 2-10-15

Revised: 3/27/15 RS Revised: Revised: Revised: Revised: Revised: Revised: Revised:

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VERITAS VILLAGE, LLC

CUP Submittal

VERITAS VILLAGE

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: MARCH 30, 2015

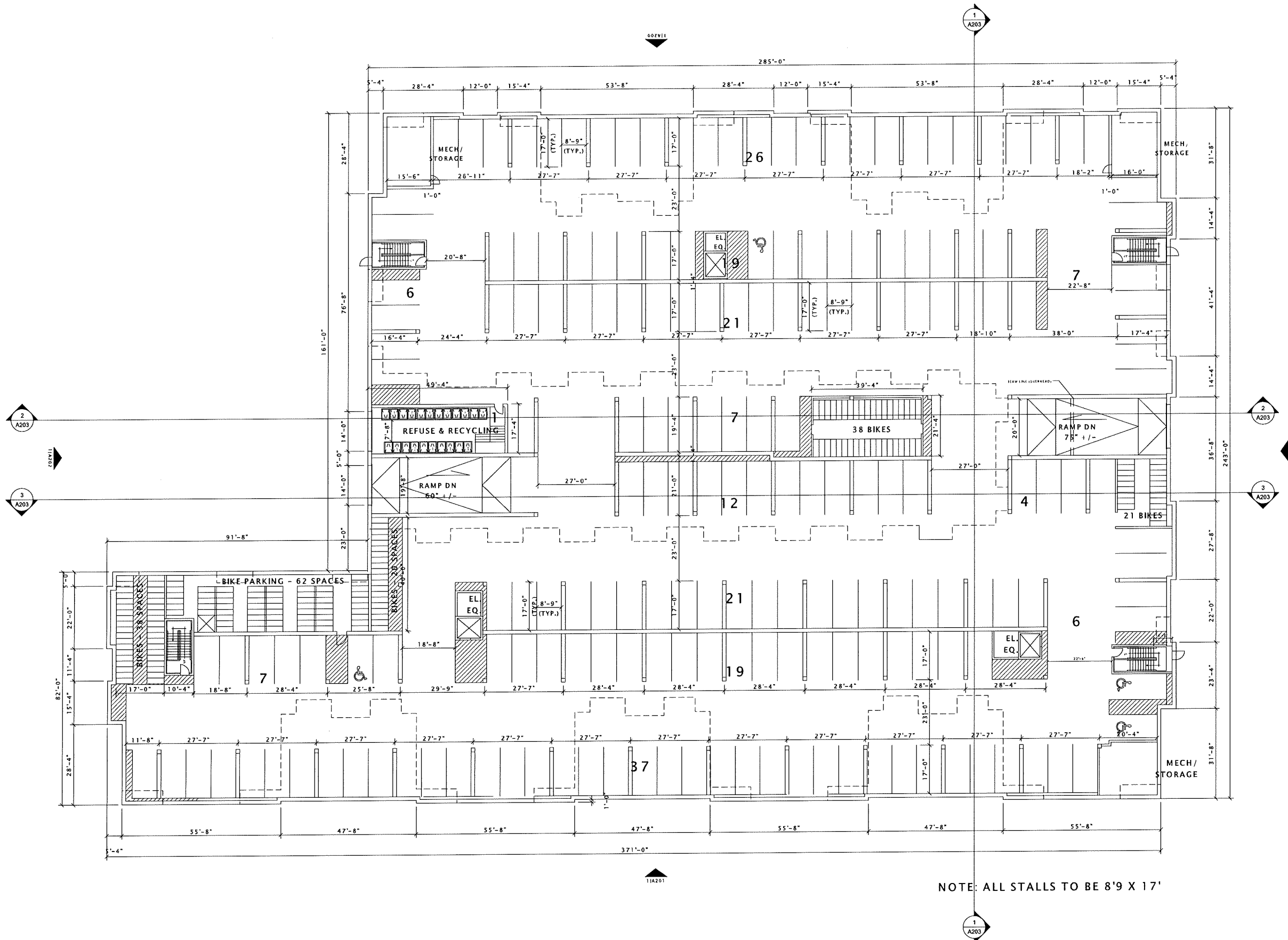
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

LOWER LEVEL PLAN

SHEET NUMBER

A100



1 LOWER LEVEL PLAN  
1/16" = 1'-0"

NOTE: ALL STALLS TO BE 8'9 X 17'

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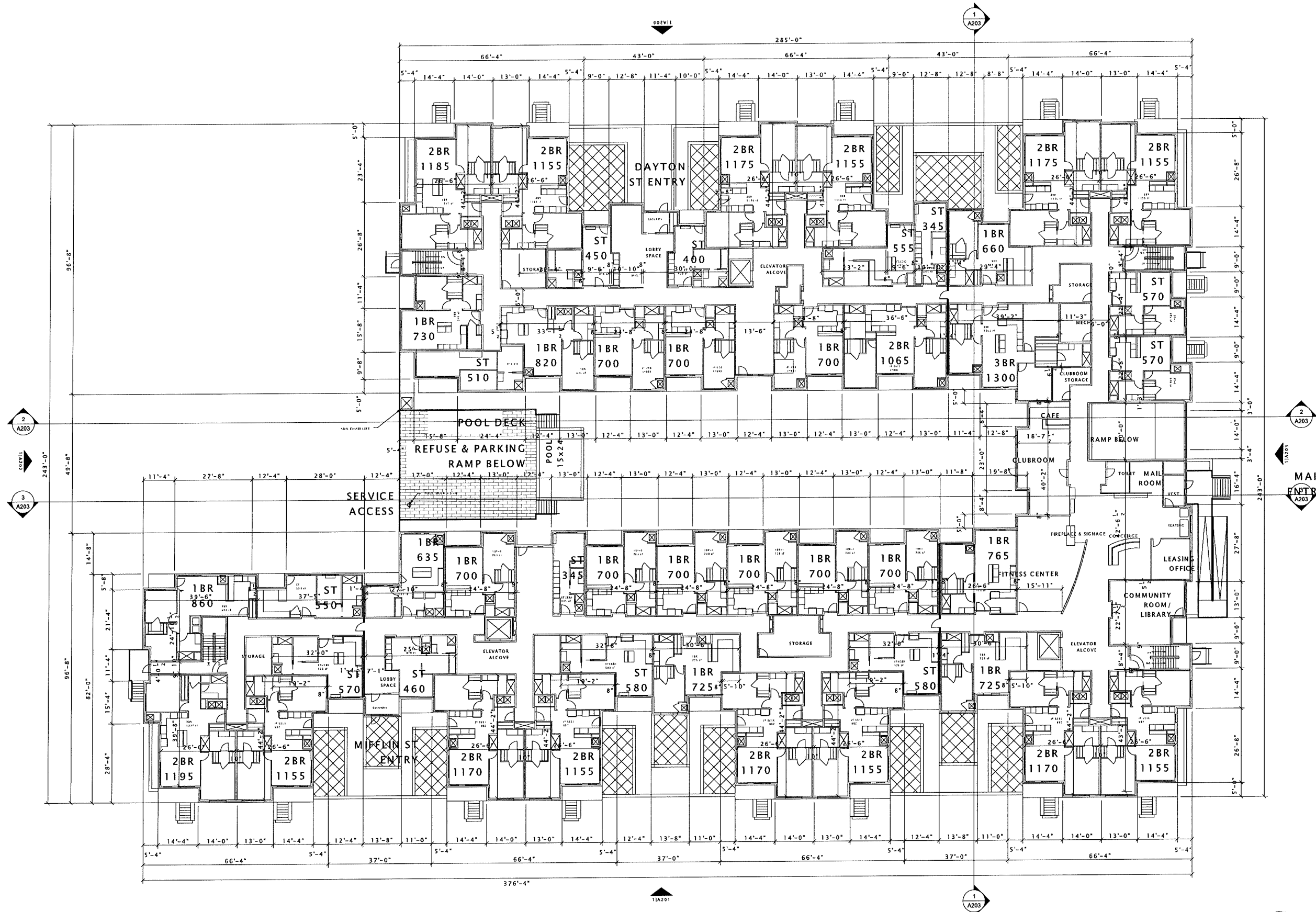
Mark	Description	Date

SHEET TITLE

FIRST FLOOR PLAN

SHEET NUMBER

A101



1 1st FLOOR PLAN  
1/16" = 1'-0"

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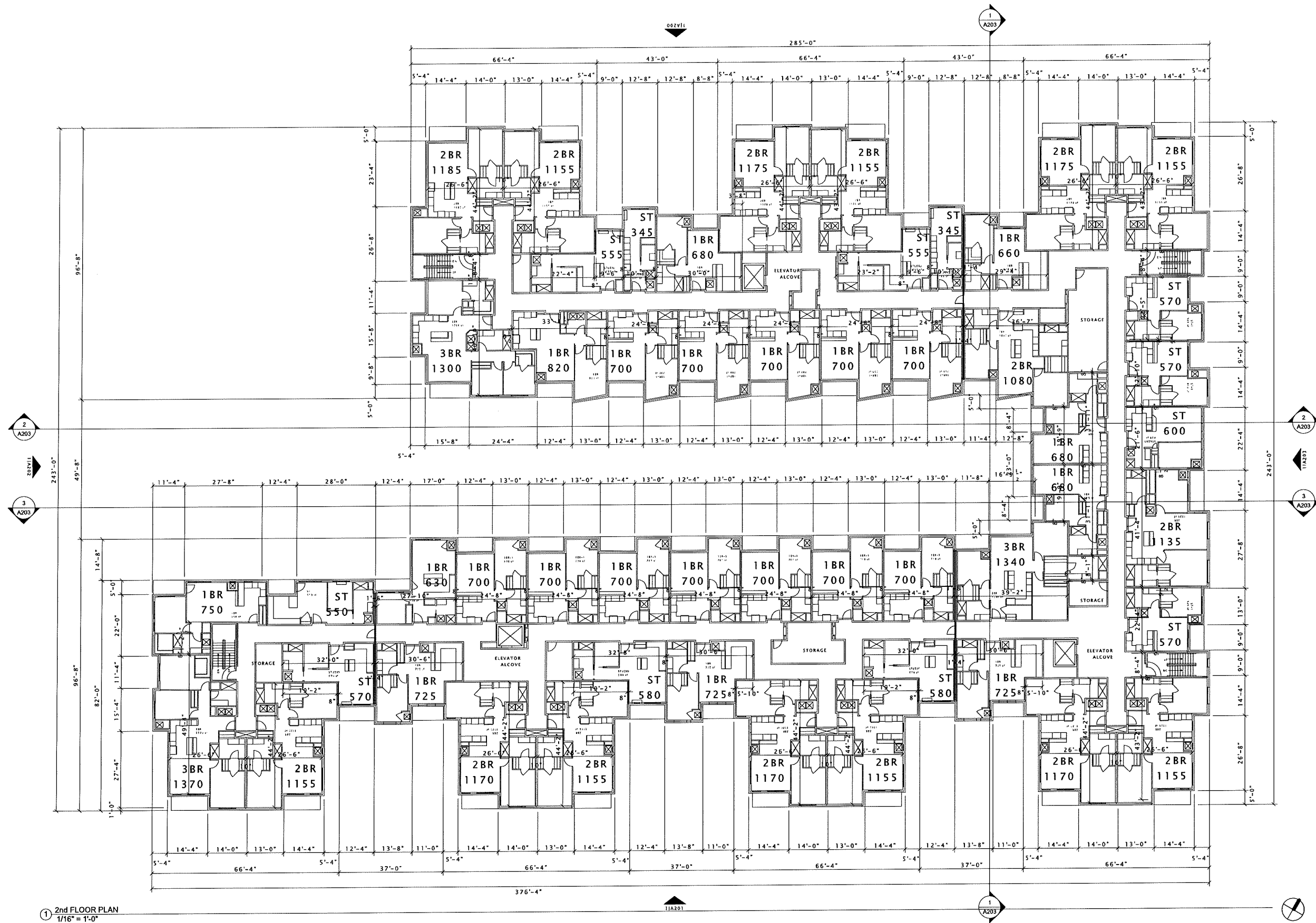
Mark	Description	Date

SHEET TITLE

SECOND FLOOR PLAN

SHEET NUMBER

A102



1 2nd FLOOR PLAN  
1/16" = 1'-0"

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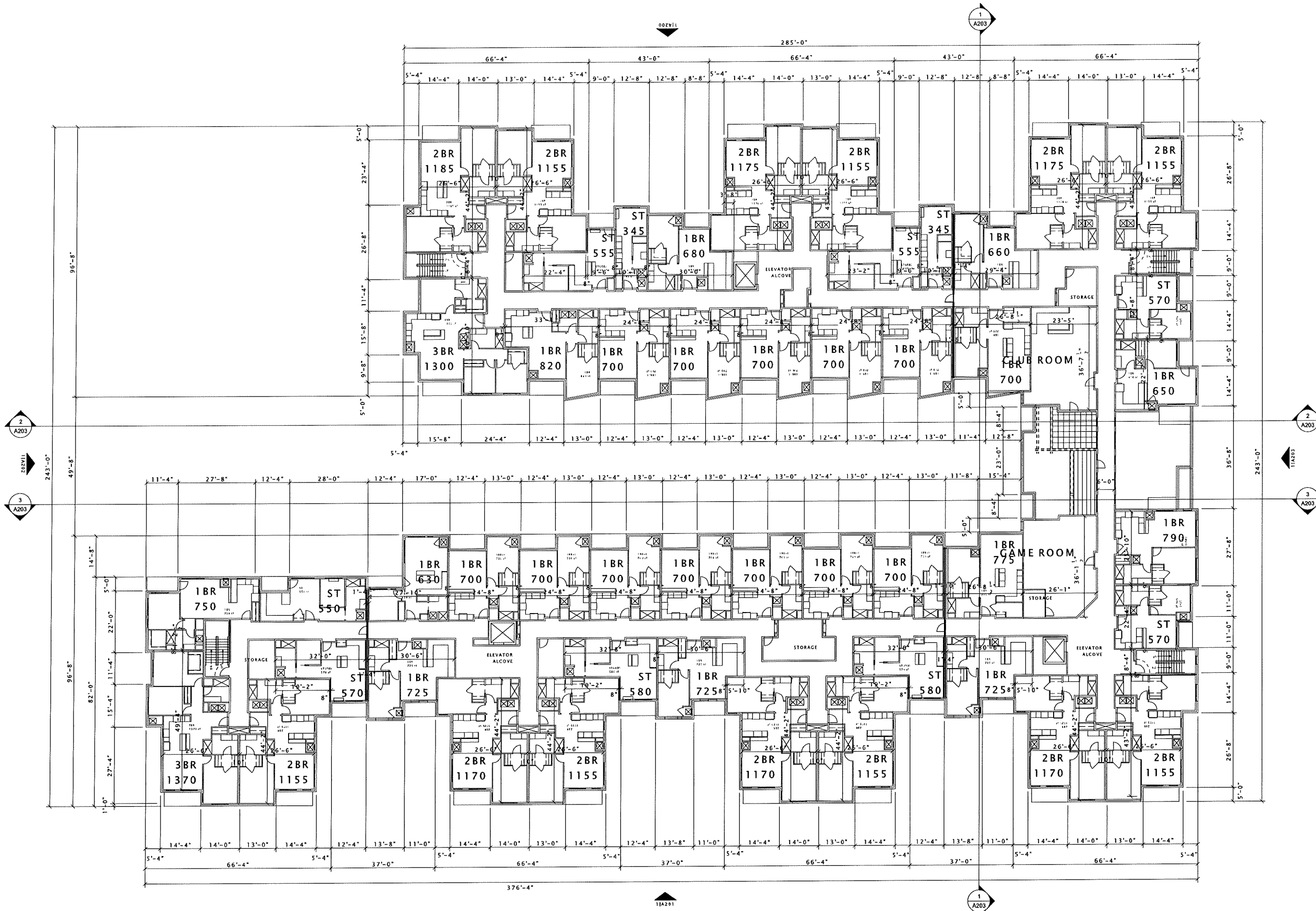
Mark	Description	Date

SHEET TITLE

**THIRD FLOOR PLAN**

SHEET NUMBER

**A103**



16-3rd FLOOR PLAN  
1/16" = 1'-0"

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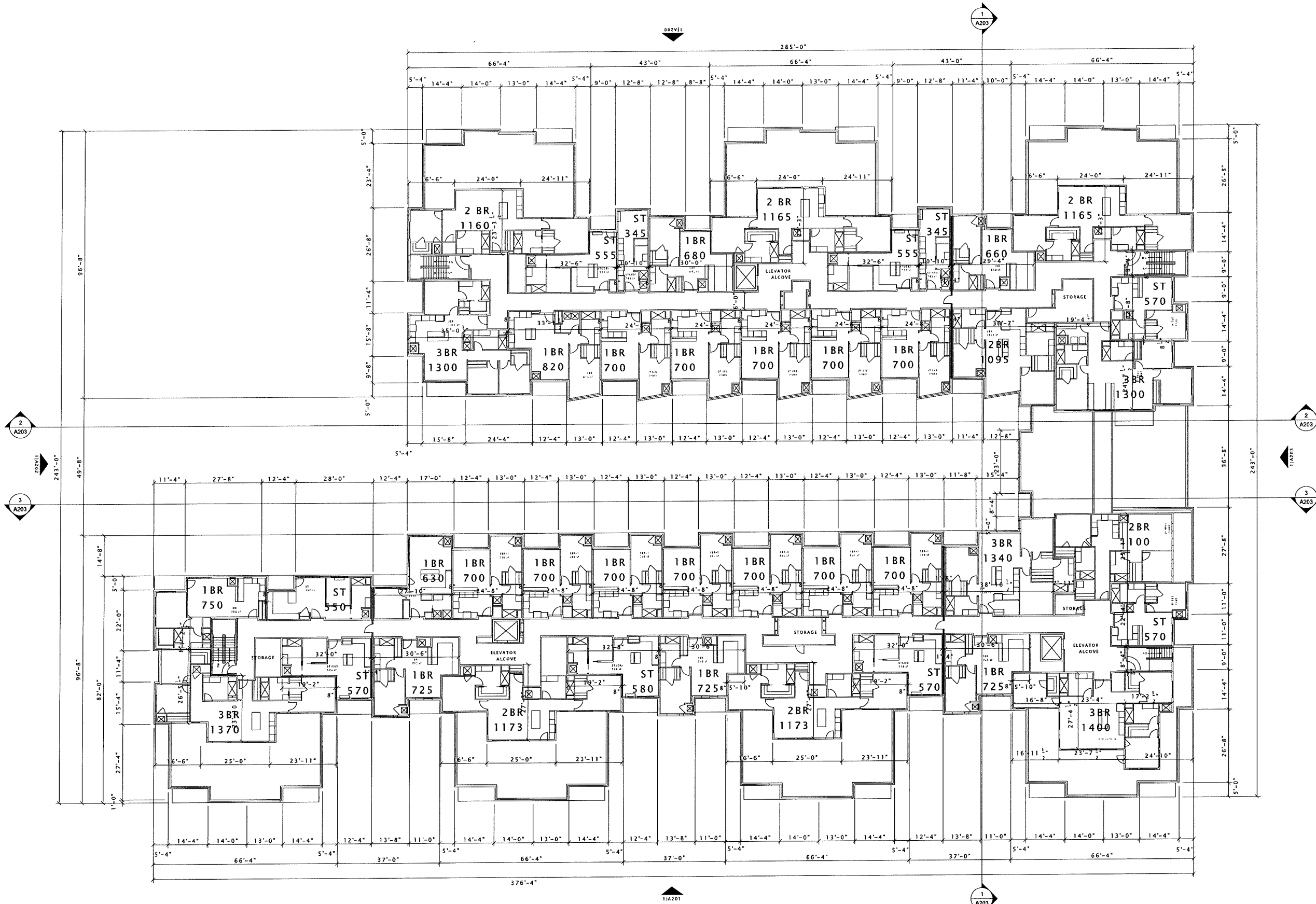
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

FOURTH FLOOR PLAN

SHEET NUMBER

A104



① 4th FLOOR PLAN  
1/16" = 1'-0"

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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

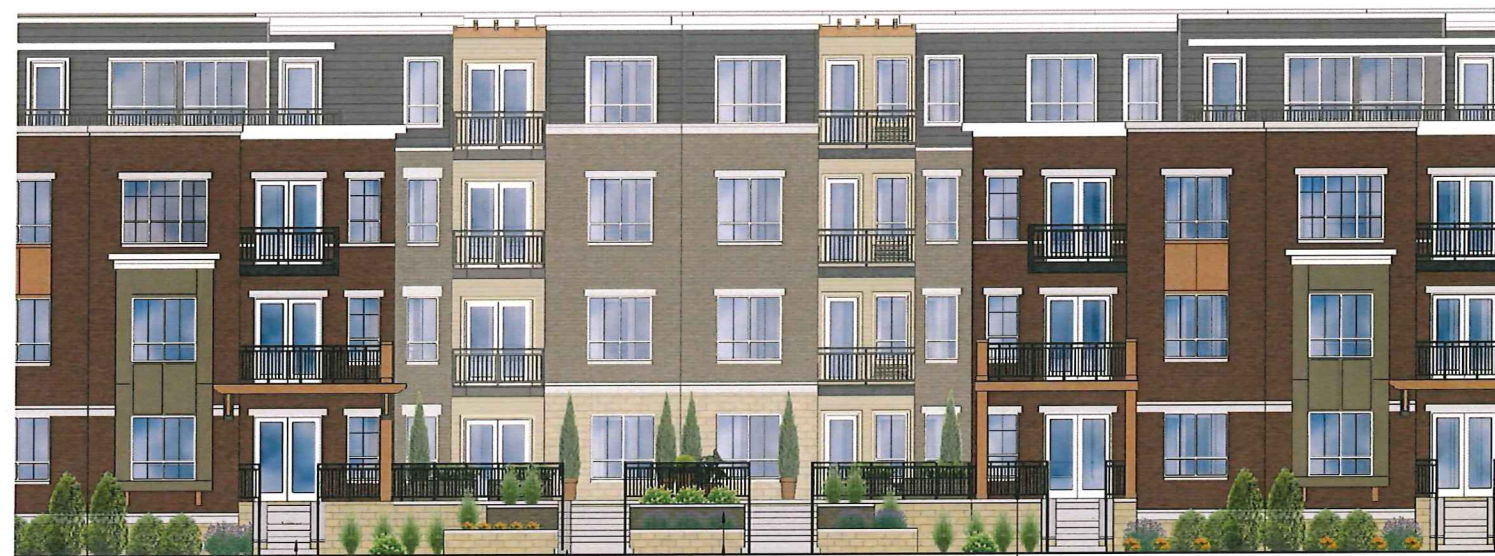
A200



① Dayton Street Elevation  
1/16" = 1'-0"



② Dayton Street Entry Enlarged Elevation  
1/8" = 1'-0"



③ Dayton Street Courtyard Enlarged Elevation  
1/8" = 1'-0"

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**REVISION SCHEDULE**

Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A201



① Mifflin Street Elevation  
1/16" = 1'-0"



② Mifflin Street Entry Enlarged Elevation  
1/8" = 1'-0"



③ Mifflin Street Courtyard Enlarged Elevation  
1/8" = 1'-0"



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CUP Submittal

## VERITAS VILLAGE

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SHEET TITLE

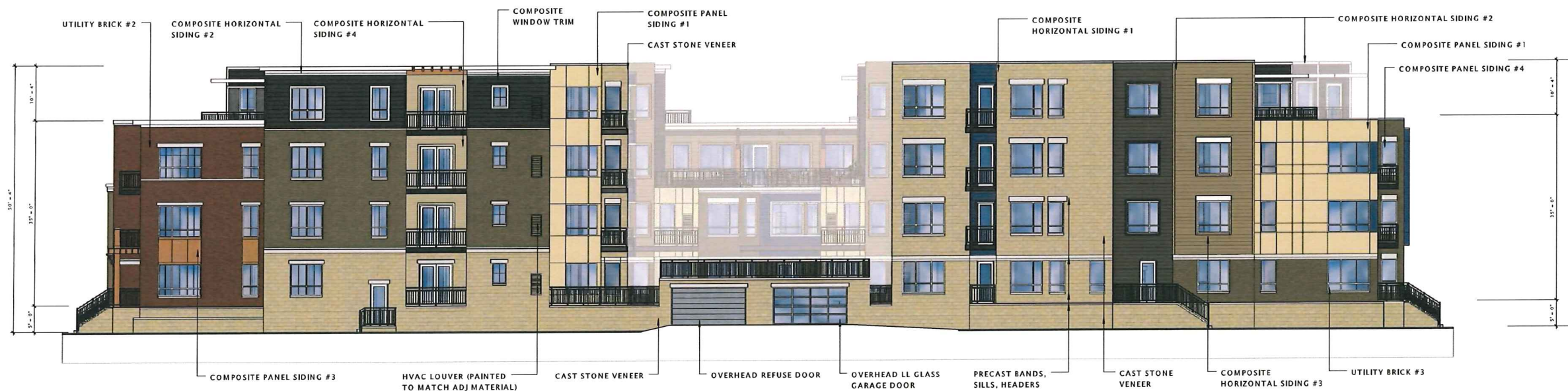
EXTERIOR ELEVATIONS

SHEET NUMBER

A202



② Livingston Street Elevation  
3/32" = 1'-0"



① West Elevation  
3/32" = 1'-0"

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**PROGRESS DOCUMENTS**

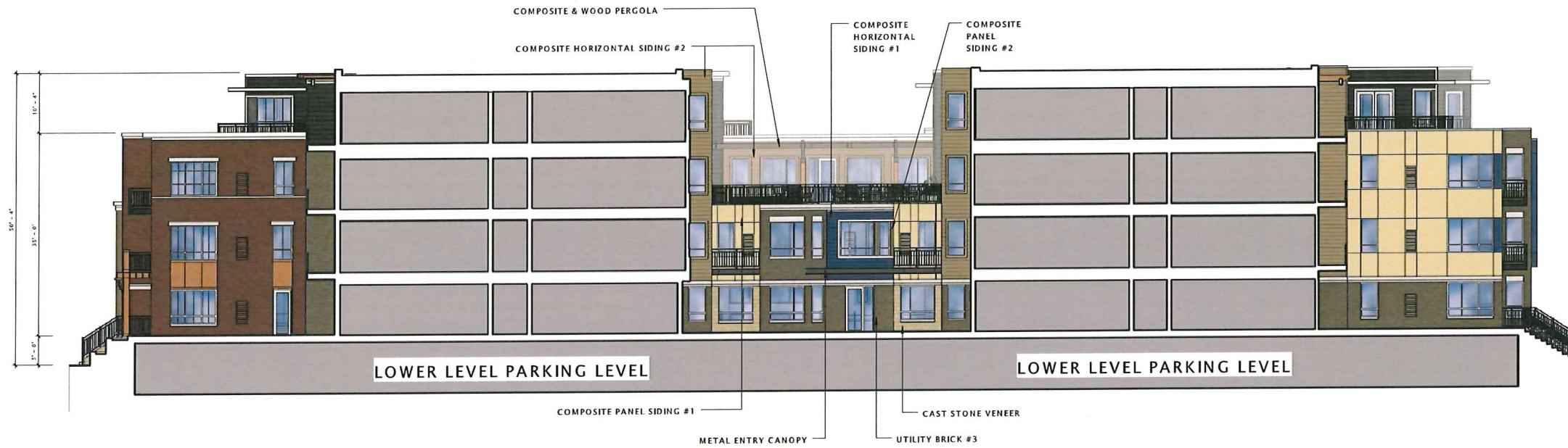
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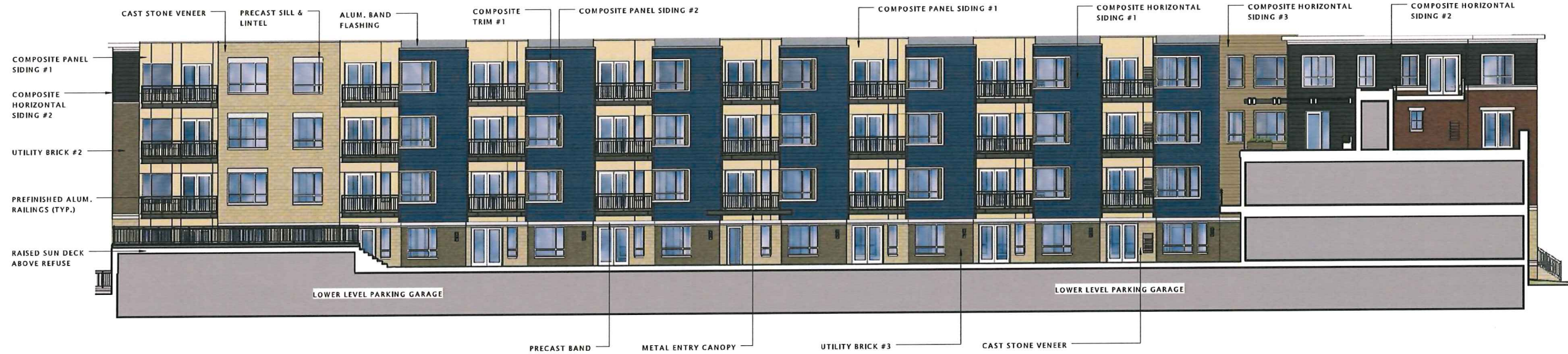
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE  
**EXTERIOR ELEVATIONS - COURTYARD**

SHEET NUMBER  
**A203**



① Interior Courtyard Elevation - West  
3/32" = 1'-0"



② Interior Courtyard Elevation - South  
3/32" = 1'-0"



③ Interior Courtyard Elevation - North  
1/16" = 1'-0"

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Mark	Description	Date

SHEET TITLE

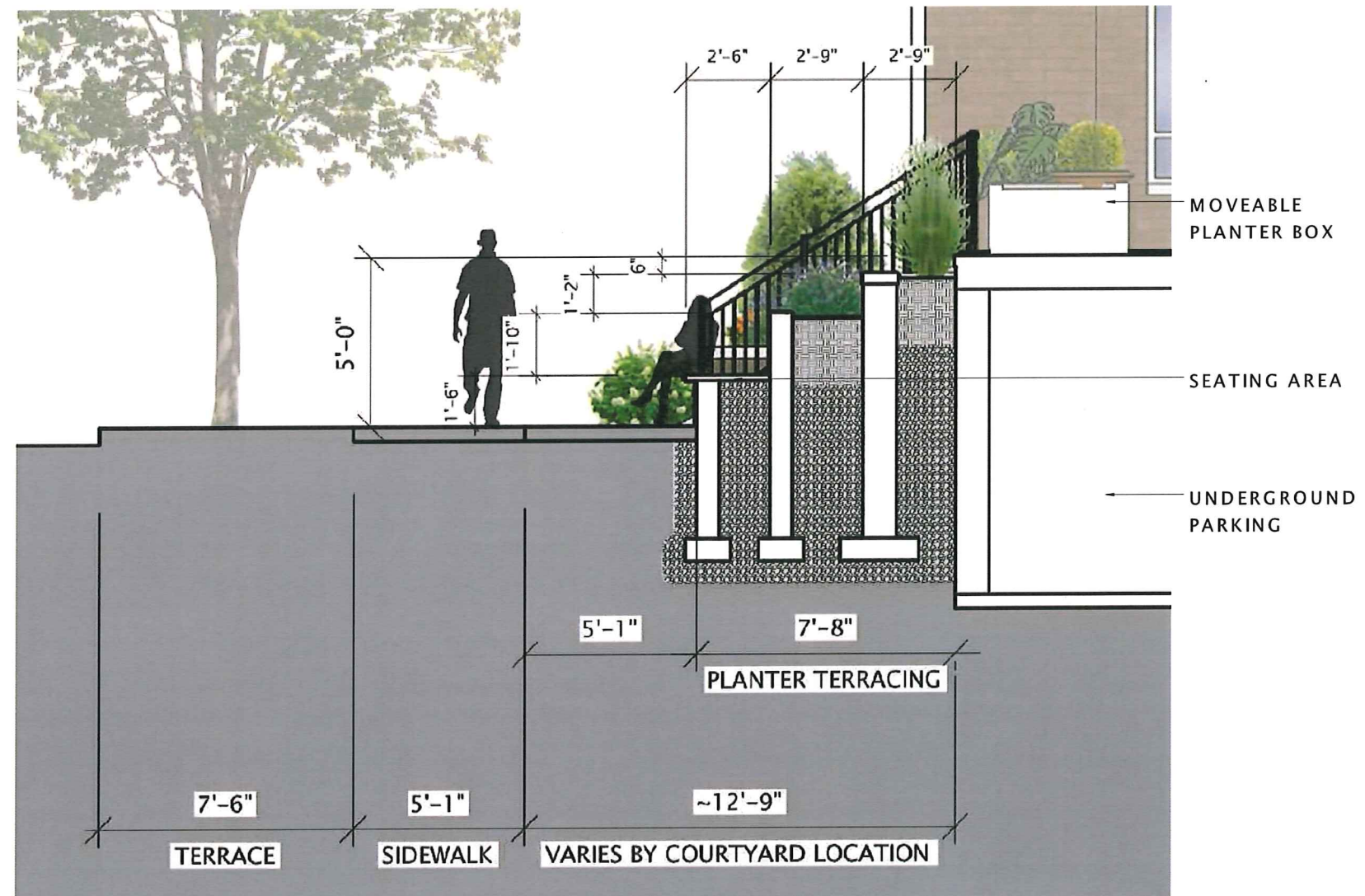
STREET EDGE SECTION

SHEET NUMBER

A305



11 Pedestrian Street Section  
1/8" = 1'-0"



12 Courtyard Planter Terrace Section  
1/2" = 1'-0"

VERITAS VILLAGE, LLC

Landmarks Commission Submittal

VERITAS VILLAGE

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SHEET TITLE

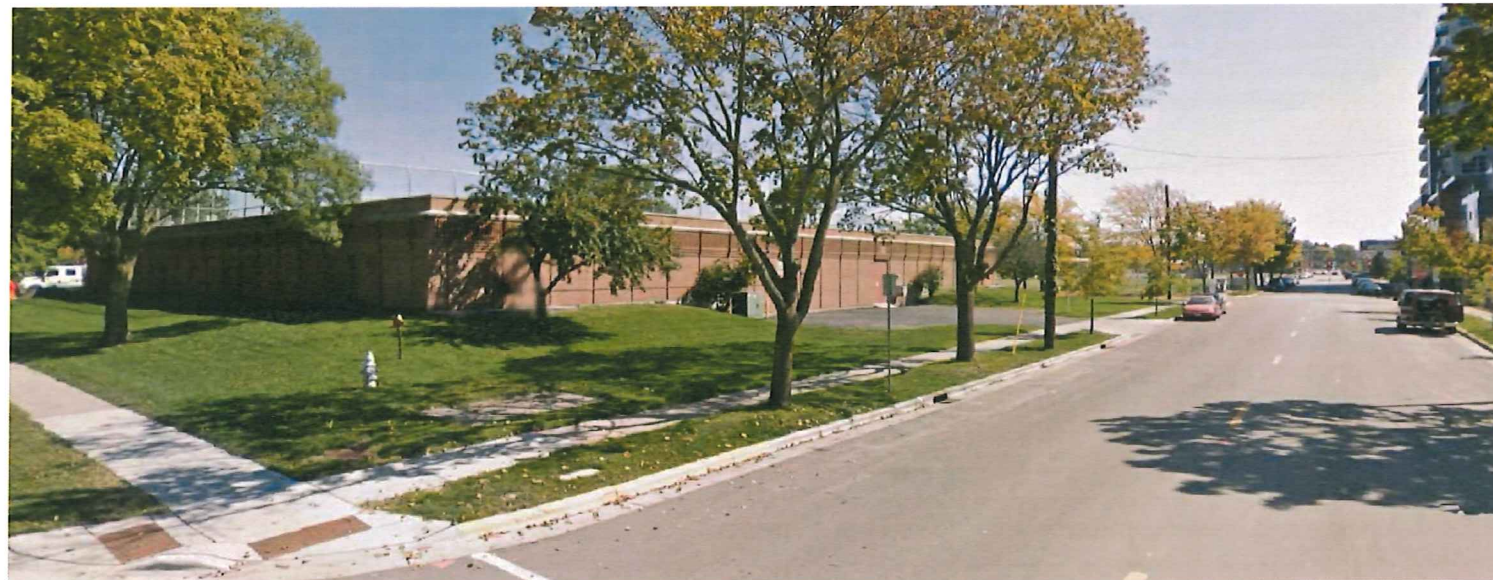
Existing / Contextual Information

SHEET NUMBER

R708



DAS KRONENBERG BUILDING - ADJACENT CITY LANDMARK



REYNOLDS PARK TENNIS COURTS AND WATER TREATMENT BUILDING ACROSS LIVINGSTON



ADJACENT BUILDING ON E MIFFLIN STREET