

APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL

AGENDA ITEM # _____
Project # 04195

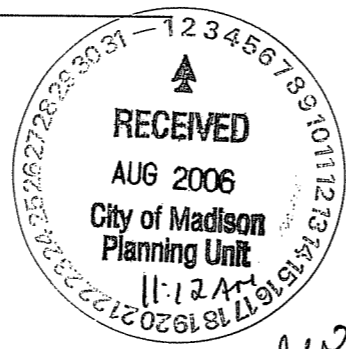
DATE SUBMITTED: <u>August 2, 2006</u>	Action Requested
UDC MEETING DATE: <u>August 9, 2006</u>	<input type="checkbox"/> Informational Presentation
	<input checked="" type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: Block 51-Capitol West (309 W. Washington Ave)

ALDERMANIC DISTRICT: 4

OWNER/DEVELOPER (Partners and/or Principals) <u>Block 51, LLC</u>	ARCHITECT/DESIGNER/OR AGENT: <u>Thomas Miller</u>
<u>C/O The Alexander Company</u>	<u>The Alexander Company</u>
<u>145 E Badger Rd Suite 200</u>	<u>145 E Badger Rd Suite 200</u>
<u>Madison, WI 53713</u>	<u>Madison, WI 53713</u>

CONTACT PERSON: Thomas Miller
Address: 145 E Badger Rd Suite 200
Madison, WI 53713
Phone: 608-258-5580
Fax: 608-258-5599
E-mail address: tcm@alexandercompany.com



- TYPE OF PROJECT:
(See Section A for:)
- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP) Alteration to Approved SIP
 - Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
 - Planned Residential Development (PRD)
 - New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
 - School, Public Building or Space (Fee may be required)
 - New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
 - Planned Commercial Site

(See Section B for:)
 New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)
 R.P.S.M. Parking Variance (Fee required)

(See Section D for:)
 Comprehensive Design Review* (Fee required)
 Street Graphics Variance* (Fee required)
 Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)
Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project. (Fee included in PUD SIP Alteration Application Fee)



Company

Mr. Alan Martin
City of Madison
Planning & Development
215 Martin Luther King Jr. Blvd
PO Box 2985
Madison, WI 53701-24985

August 2nd, 2006

Re: URBAN DESIGN SUBMITTAL
Capitol West SIP – Major Alteration
INITIAL or FINAL APPROVAL APPLICATION

Dear Mr. Martin:

The following is submitted together with plans; legal description, and zoning text for Urban Design Commission consideration of approval of the proposed Alteration to the SIP for the above noted development.

Project: Capitol West – Phase I: **Alteration to the SIP**
Block 51, bounded by West Washington Avenue, South Henry Street, West Main Street and Broom Street

Developer: The Alexander Company
145 East Badger Road, Suite 200
Madison, WI 53713
Office: (608) 258-5580
Fax: (608) 258-5599
Contact: Thomas Miller

Scope Modifications and Clarification from previous submittal (7/19/2006).

Please note that in addition to the general description of the modifications to the SIP outlined later in this letter, we have prepared the following outline of revisions/information in response to comments from our UDC appearance of July 26th, 2006:

A) Rendered Elevations

We will provide rendered, color elevations of the 309 Building for review by commission members at the meeting of August 9th.

B) HVAC/Envelope Energy and Cost Efficiency.

The system we are providing is 30% more cost effective in terms of upfront costs than the previous water source heat pump system, and is integrated with a building envelope that is currently estimated at 20% more energy efficient than the previous building design. So although the PTAC Units are roughly 8% less efficient than the Water Source Heat Pump system, the benefits offered by modifying the system are significant. We will provide a detailed analysis of the building envelope at the UDC meeting of August 9th.

C) Auto Parking Review:

We are providing the addition of 70 interior parking stalls, not in an effort to increase the parking ratios for Phase 1 of the development, but to alleviate the cost of providing parking in later phases, and to potentially alleviate the burden on existing parking in the neighborhood from existing uses; i.e. Network 222, and the Baskerville Condominiums.

D) Bicycle Parking Review:

We have revised our plans to include additional visitor bike parking, originally our plans included 8 stalls located adjacent to the retail at 309; we are now including 24 visitor stalls at a variety of locations convenient to visitors to help encourage biking to Capitol West.

E) Green Efforts including Mews/Green Roof Review

- Donated Goods and Public Sale reused over 42 tons of material left on-site.
- Recycling and Reuse Plan: 94.8% of all material demolished has been recycled.
- Extensive brownfield remediation and abatement efforts
- Green Roof at the Courtyard, at the Roof of the 309 Annex and Rain Catchment. Please note that the cost of providing the seed for the lawn atop the parking at the future location of Phase 2 costs less than the labor to relocate trays to a future roof if they were planted in this location in place of the lawn. It is important to note that a waterproof membrane is required in this location regardless of whether it is planted or not. Additionally, the soil proposed to be used at this location will be recycled on site, and the vegetation will be composted when no longer required at this location.
- Transportation Demand Management Plan to be implemented through the Condominium Associations to the benefit of residents, neighbors and all that live work and recreate in downtown.
- Commitment to improve Madison Metro Bus Stop Facilities.

F) Landscaping/Wall Treatment

We have revised our landscape and site improvement plan to include climbing vines at and ornamental trees for vertical greenery at the location where the unit entry stairs were located at the Henry Street Elevation. We feel it is important to note that the removal of the stairs at this location allows 6.5' more landscapable area between the sidewalk and the building that would be lost if the landings are added back to accommodate the stairs at this area.

G) Exterior Envelope Samples and Details

At the meeting of August 8th we will provide samples and details of the following materials and systems for review by commissioners:

- Square Profile Corrugated Metal Panel
- Round Profile Corrugated Metal Panel
- Smooth Metal Panel
- Stainless Steel Cable Railing
- Ground Face CMU
- Light Gray pre-cast concrete
- Detail of window opening at corrugated metal panel.
- Clear anodized window system.
- Insulated Low-e glazing sample
- Architectural louvers for screening HVAC and laundry exhaust.

The following is general description of the proposed alteration from the approved SIP/GDP for Capitol West:

The Redevelopment of Block 51, known as Capitol West is being revised to modify the following components: 309 West Washington Avenue, The New Parking Ramp, and associated Site Work. The remainder of the project is unchanged at this time.

- 1) 309 West Washington is modified by the addition of one story to the main tower portion of the building (increasing the number of stories from 10 to 11); note that there will not be an added floor to the annex area. This addition of one story adds 10 units and brings the unit total for this component to from 116 dwelling units (as identified in the Minor Alteration to the SIP) to 126 dwelling units; this is an increase from 163 dwelling units in Phase I to 173 dwelling units (we will be paying additional payment to the Affordable Housing Trust Fund for the future provision of an IZ Unit by the City). The height of the roof above the added floor is below the Capitol View Preservation Limit.
- 2) In addition to the added floor, the mechanical system for the 309 building has been revised so as to eliminate the requirement for a cooling tower and enclosure on the roof of the building. This revision helps maintain an overall height for the 309 building that is very close to the originally proposed building height.
- 3) The Exterior skin of 309 West Washington has been modified to maximize energy efficiency, and cost-effective composition. The materials and palette remain the same as in the original proposal. The stairs have been removed from the Henry Street second floor units in the Annex, as they are no longer townhouse units with exterior entries.
- 4) The Parking Ramp is being modified to add one additional layer of parking beneath the existing two proposed layers. This additional level adds 70 parking stalls for an increase in the total number of stalls at this ramp from 146 to 216 parking stalls.
- 5) In addition to modifying the above structures this application also modifies some of the associated site improvements. The details of the proposed modified materials and assemblies are all shown on the submitted site planning documents and include the following:
 - Replacement of the stainless steel cable vine climbing system at the south wall of the Grand Stair with climbing vines.
 - Elimination of the overhead cable trellis at the Mews, please note that the vertical column trellis will remain at the Capitol Court Townhomes.
 - Elimination of the Phase 1 water feature at the east entry to the Mews
 - Elimination of the Townhome entry stairs along Henry Street Elevation of Annex.
 - Addition of 16 bicycle visitor parking stalls on site.

Project Schedule and Management

Assuming recording the Phase I SIP immediately, in a manner that allows us to move forward with several of the components of the development while revising 309 West Washington and the Associated Parking Ramp, construction of the Broom Street Lofts should begin in September of 2006. This will likely be followed by the Main Street Townhomes, and then finally, once approved as proposed herein, 309 West Washington and the associated parking would commence

this fall. These components will then be followed by Phase II and Phase III once SIP approvals are obtained for each of those phases.

In closing, I would like to add that although we would greatly enjoy a Final approval on the 9th we have applied for Final or Initial Approval so that we move forward in the process on schedule.

Thank you for your time in reviewing this proposal.

Regards,

A handwritten signature in black ink, appearing to read 'T. Miller', with a long, sweeping underline.

THE ALEXANDER COMPANY, Inc.
Thomas Miller
Development Project Manager

Cc: Natalie Bock
File

Attachments



Company

July 12, 2006

Mr. Brad Murphy
City of Madison
Planning & Development
215 Martin Luther King Jr. Blvd
PO Box 2985
Madison, WI 53701-24985

Re: Letter of Intent, Capitol West (Phase I), Alteration to the SIP

Dear Mr. Murphy:

The following is submitted together with plans; land-use application and zoning text for City Staff, Plan Commission, and City Council consideration of approval of the proposed Alteration to the SIP for the development.

Project: Capitol West – Phase I: **Alteration to the SIP**
Block 51, bounded by West Washington Avenue, South Henry Street, West Main Street and Broom Street

Developer: The Alexander Company
145 East Badger Road, Suite 200
Madison, WI 53713
Office: (608) 258-5580
Fax: (608) 258-5599
Contact: Thomas Miller

Alteration Description:

The Redevelopment of Block 51, known as Capitol West is being revised to modify the following components: 309 West Washington Avenue, The New Parking Ramp, and associated Site Work. The remainder of the project is unchanged at this time.

- 1) 309 West Washington is modified by the addition of one story to the main tower portion of the building (increasing the number of stories from 10 to 11); note that there will not be an added floor to the annex area. This addition of one story adds 10 units and brings the unit total for this component to from 116 dwelling units to 126; this is an increase from 163 dwelling units in Phase I to 173 dwelling units. The height of the roof above the added floor is below the Capitol View Preservation Limit.
- 2) In addition to the added floor, the mechanical system for the 309 building has been revised so as to eliminate the requirement for a cooling tower and enclosure on the roof of the building. This revision helps maintain an overall height for the 309 building that is very close to the originally proposed building height.
- 3) The Exterior skin of 309 West Washington has been modified to maximize energy efficiency, and cost-effective composition. The materials and palette remain the same as in the original proposal.

- 4) The Parking Ramp is being modified to add one additional layer of parking beneath the existing two proposed layers. This additional level adds 70 parking stalls for an increase in the total number of stalls at this ramp from 146 to 216 parking stalls.
- 5) In addition to modifying the above structures this application also modifies some of the associated site improvements. The details of the proposed modified materials and assemblies are all shown on the submitted site planning documents.

Fire Access

An approved fire access plan has been submitted as part of the approved GDP and the SIP for this development. This plan meets the criteria outlined in the Fire Apparatus & Access and Fire Hydrant Worksheet. The specifics of this approved plan will not be modified as part of this alteration.

Project Schedule and Management

Assuming recording the Phase I SIP immediately, in a manner that allows us to move forward with several of the components of the development while revising 309 West Washington and the Associated Parking Ramp, construction of the Broom Street Lofts should begin in September of 2006. This will likely be followed by the Main Street Townhomes, and then finally, once approved as modified herein, 309 West Washington and the associated parking would commence this fall. These components will then be followed by Phase II and Phase III once SIP approvals are obtained for each of those phases.

Social Economic Impact

The Capitol West development will provide a positive impact for downtown Madison both socially and economically. The mixed-use plan, by developing housing units and supporting retail uses in our city's center promotes smart growth by placing density where sufficient city services currently exist. By creating a range of housing choices within walkable distance from a variety of supporting retail services and workplaces, we are promoting healthy development.


The Capitol West development provides a significant component of affordable housing. Our current plan for Phase I calls for creation of affordable housing as set forth in the previously submitted and approved Inclusionary Zoning Dwelling Unit Plan. Affordable Housing will be targeted to residents making 80% of the Area Median Income or less.

Also, it is important to note that the design and construction of the buildings within the development will promote opportunities for healthy living and green building systems. The design of the master plan maximizes residents' access to sunlight and natural ventilation. The inclusion of a Recycling and Re-use Plan has and will continue to maximize the amount of material re-used and minimize the amount of waste generated by this development. The submitted and approved Transportation Demand Management Plan insures the exploration of expanding transportation options and creating a streetscape that better serves a range of users -- pedestrians, bicyclists, transit riders, and automobiles. And, the potential for rain catchment and other green building systems will reduce the amount of runoff and demand for water supply resulting from this development. This along with the remediation of hazardous materials currently existing on the site and the utilization of environmentally sensitive building materials creates a social benefit for the residents, the neighbors and the City, and exemplifies a commitment to responsible and environmentally sound development.

Based on the analysis above we feel the proposed development meets the spirit and intent of the PUD zoning ordinances when reviewed with respect to the criteria for approval set fourth in Section 28.07(6)(f) of the zoning code:

1. Criteria & Intensity of Land Use: The proposed PUD has been designed specifically with the existing neighborhood uses in mind. More intense uses have been located along streets and avenues that can support higher density development, while less intense uses are planned where the existing finer grain, less massive historic residential uses are adjacent to the proposed development, i.e. Broom Street & Main Street. Great lengths have been taken to design an aesthetically pleasing urban environment with a mix of uses designed to promote a sustainable urban community without adversely affecting municipal services. As noted above a transportation demand management plan and traffic impact analysis have been completed as part of the PUD and will help provide solutions to any traffic and parking demand concerns.
2. Economic Impact: We feel the proposed development will provide a positive impact on the economics of the city without adversely affecting the provision of municipal services. The projected increase in value of the property upon completion is in excess of \$100 million.
3. Presentation & Maintenance of Open Space: This development includes a block wide approach to providing functional urban open space of the highest quality. The efforts to create seating areas, walkways, water features, plazas, roof gardens, terraces, additional bike lanes, and bike parking areas will provide a more attractive network of useable open space than currently exists on site. Plantings existing in the transit corridor along the western edge of the block have reached their peak effectiveness in relation to their original single purpose: screening. The loss of branches due to age and overcrowding of a single species is producing diminishing returns. A broader look at the entire block allows us to provide plantings & open space that will more effectively address a variety of needs and uses both for wildlife and residents. In addition, this development will provide plantings that take into account rain interception, air filtration, shade and cooling, as well as more appropriate habitat and nutrition for wildlife than what currently exists on the site.
4. Implementation of Schedule: the schedule provides for phasing that promotes expedient construction of each phase of the development and limits any adverse effect on the community should the development terminate at the end of any given phase.

Thank you for your time in reviewing this proposal.


THE ALEXANDER COMPANY, Inc.
Thomas Miller
Development Project Manager

Cc: Natalie Bock
File

PROPOSED ZONING TEXT: PUD – SIP
 CAPITOL WEST – PHASE I
 BLOCK 51 MADISON, WI
 SIP ALTERATION – July 12th 2006

Legal Description: The lands subject to this planned unit development shall include those described in Exhibit A attached hereto.

A. *Statement of Purpose:* This Zoning District is established to allow for the construction of approximately 400 dwelling units, up to 20,000 gsf of retail, up to 105,000 gsf of commercial office (of which 82,520 is existing) and approximately 942 parking spaces (of which 707 are existing). This development will be phased as identified below. Each of the components is described in detail in the original Letter of Intent. Please note that this SIP application is submitted to finalize the zoning text for each Phase of the development identified below. Also note that this Specific Implementation Plan contemplates the ongoing maintenance of two existing structures (345 W. Washington Ave and the existing Parking Ramp with a new address of 80 Washington Place) as their current uses.

• **Components included in this SIP:**

Phase I (173 Residential Units, up to 12,000 sf of Retail, Parking and Ex'g Office)

- 309 W. Washington Avenue - Residential & Retail: 126 Units – 195,772 GSF
 (Up to 12,000 GSF of Retail in 309 West Washington)
- Courtyard Townhomes: Residential 10 Units – 17,500 GSF
- Washington Rowhouses: Residential: 5 Units – 9300 GSF
- Below Grade Parking Structure: 216 Stalls – 90,000 GSF
- Main Street Condominiums: Residential: 9 Units – 16,200 GSF
- Broom Street Condominiums: Residential: 23 Units – 27,250 GSF
- 345 W. Washington Avenue: Existing Office – 82,520 GSF
- 345 W. Washington Avenue: Existing Parking – 190 Stalls
- Main Street Parking Ramp: Existing 517 Stalls
- Site Improvements and Landscaping
 - Washington Row
 - Capitol Mews from South Henry to Washington Row
 - Selected Streetscapes per City of Madison Documents and Developer Agreement

Parking Tally

Surface Parking Washington Place	19 Auto Stalls
27 Washington Place Ramp	216 Auto Stalls
80 Washington Place Ramp (Ex'g)	517 Auto Stalls (existing)
345 West Washington	190 Auto Stalls (existing)
Total	872 Auto Stalls*

*Of the total, 23 stalls are accessible and 8% are Small Car Stalls

Bike Parking Tally (Note: there are options for residents to install additional stalls)

309 West Washington	107 Bike Stalls
309 Retail	8 Bike Stalls - Surface
Capitol Court	20 Bike Stalls
Main Street Townhomes	10 Bike Stalls
Broom Street Lofts	23 Bike Stalls
Total (min. available to city standard)	168 Bike Stalls

• Components to be included in future SIPs

Phase II

306 West Main Street – Residential and Retail Mixed Use Building
Additional Site Improvements and Landscaping

Phase III

333 West Washington Avenue – Residential with structured parking
345 West Washington Avenue Expansion – Up to 105,000 GSF Total
Additional Site Improvements and Landscaping
Capitol Mews from Washington Row to Broom Street
Pedestrian Bridge across Washington Place

B. *Permitted Uses:*

1. Those uses that are stated in all Residential, C-2 and C-4 Commercial & O-2 Office Zoning Districts (as modified herein and by the submitted architectural and site plans).
2. Uses accessory to permitted uses as listed above
3. Maintenance of existing buildings for current uses is permitted by this SIP
4. Maintenance of existing buildings on lots designated for future uses is permitted by this SIP.

C. *Lot Area:* Refer to the CSM and the submitted architectural plans for Lot Areas for each specific component.

D. *Floor Area Ratio:*

1. Floor area ratios will comply with the submitted and recorded architectural plans for each component.
2. Maximum building height shall be limited by the Capitol View Preservation Limit as defined in Chapter 28.04(14)(b) of the Madison General Ordinances. The maximum number of stories shall be defined as shown on the submitted architectural plans for each component.

E. *Yard Area Requirements:* Yard areas will be provided as shown on the submitted site plan and landscape plan.

F. *Landscaping:* Site Landscaping will be provided as shown on the submitted site and landscape plans.

G. *Accessory Off-Street Parking & Lodging:* Accessory off street parking will be provided as described above and as shown on the site plan and architectural drawings of each component.

H. *Lighting:* Site Lighting will be provided as shown on the attached lighting plan.

I. *Signage:* Signage will be allowed as per Chapter 31 of the Madison General Ordinances, as it relates to the C2 Zoning District as approved by the Urban Design Commission and /or its Designee (Secretary), and as outlined in the future administrative amendments to existing SIPs for each phase of the proposed development as tenants are identified.

J. **Family Definition:** The family definition of this PUD-GDP shall coincide with the definition given in chapter 28.03(2) of the Madison General Ordinances for the R-6 Zoning District.

K. **Alterations and Revisions:** No alteration or revision to this planned unit development shall be permitted unless approved by the City Plan Commission, however the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Plan Commission.

Note: Modifications from the GDP and this SIP will be addressed in future SIP applications for each Phase.

L. **Additional Urban Design Commission Conditions:**

- Light colored roofing material shall be used at the Broom Street Lofts including the parapets.
- Architectural Grilles shall be provided to screen the PTAC HAVC Units at the Broom Street Lofts
- HVAC Compressors and/or Condensers for the Main Street Townhomes shall be located within the units or within the Parking Ramp where possible.
- All rooftop mechanicals shall be screened in a manner acceptable to the Urban Design Commission

M. **13' Broom Street Transportation Setback:** The owner of the Broom Street Lofts lot shall be financially responsible for the removal of site improvements within the 13' setback area at such time as the City of Madison acquires and improves the setback area.

N. **13' Broom Street Transportation Setback – Balcony Encroachments:** Balconies at units 202, 302, 402, 203, 303, 403, 205, 305 and 405 of the Broom Street Lofts at 15 South Broom Street have been approved by Plan Commission and City Council with a 4' infringement into the 13' Transportation Setback. The applicant acknowledges that an application for privilege in the public right-of-way will be filed for the balconies that have been approved at such time as the City of Madison acquires and improves the setback area. At that time the balconies will be subject to the standard Privilege in Right-of-Way application process and standard Encroachment Agreement or standard Real Estate Lease Agreement.

O. **Terrace Improvements:** Street Trees and Lighting in the terrace shall be addressed in a Developer's Agreement for each Phase of the project. The Developer's Agreement shall be executed prior to recording the SIP for each phase. Any additional improvements on the public right of way shall be identified in an encroachment agreement with the City Rea Estate Division.

P. **Sanitary Storm:** All sanitary storm lines in the public right-of-way shall be built/installed per City of Madison plans and standards.

Q. **Passenger Loading Areas:** The approval of his facility does not include the approval of Passenger Loading Areas in the street right-of-way. Any loading areas shown on the plans will require additional City approval after the SIP is recorded.

R. *Residential Parking Permits*: No residential parking permits will be issued for 306 West Main Street, 309 and 333 West Washington Avenue Market Rate Residents. All IZ residents will be eligible for Residential Parking Permits. This restriction shall be noted for the condominium documents for each listed project.

Exhibit A
Capitol West Legal Description

LEGAL DESCRIPTION BLOCK 51

A parcel of land located in the SE $\frac{1}{4}$, NW $\frac{1}{4}$, and NE $\frac{1}{4}$ of the NE $\frac{1}{4}$, all in Section 23, T7N, R9E, City of Madison, Dane County, Wisconsin being part of Block 51, Pritchette Plat of the City of Madison and all of Certified Survey Map No. 11143 more particularly described as follows:

Commencing at the most southeasterly corner of said Block 51, said point being mark by a drilled hole in the concrete and located at the intersection of the right of way line of South Broom Street and West Main Street; thence N 44° 21' 20" W, 74.01 feet to the point of beginning.

Thence continue N 44° 21' 20" W, 257.09 feet; thence N 45° 34' 18" E, 594.97 feet; thence S 44° 27' 25" E, 331.29 feet; thence S 45° 35' 20" W, 559.94 feet; thence N 42° 19' 41" W, 74.06 feet; thence S 45° 35' 39" W, 38.25 feet to the point of beginning. This parcel contains 4.5 acres.



Madison Environmental Group, Inc.
25 North Pinckney St., Suite 310
P.O. Box 1607
Madison, WI 53703
608.280.0800 phone
608.280.8108 fax

Preliminary Transportation Demand Management Plan Capitol West

October, 2004

Introduction

Alexander Company's Capitol West project is a proposed mixed-use development in downtown Madison, Wisconsin, a few blocks from the state capitol and the State Street shopping district. The property encompasses an entire city block bordered by West Washington Avenue, and South Henry, West Main and South Broom Streets. Capitol West will be a vibrant downtown community that emphasizes healthy lifestyles. The first phase of construction is scheduled to begin in Spring 2005, with occupancy beginning in Summer 2006. Capitol West will consist of 400 condominium and townhouse units and 18,000 square feet of retail space.

The Madison area, and particularly the city center, is accessible by multi-modal transportation, including Metro Transit's extensive network of bus routes, over 100 miles of bicycle paths, and pedestrian-friendly streets. Madison was named one of the country's 12 best walking cities by Prevention Magazine. Downtown residents also have access to Community Car, a member-based carsharing organization that provides hybrid-electric and high gas-mileage vehicles as an alternative to owning a car or second car.

Alexander Company hired Schreiber/Anderson Associates in Fall 2004 to conduct a Traffic Impact Study to evaluate the impact of the development on the local transportation system. The study predicts traffic growth on the streets surrounding the Capitol West development through the year 2010, and recommends channelizing local streets and adding pedestrian islands and crosswalks to facilitate traffic and pedestrian flow. **The Transportation Demand Management strategies detailed here will help further mitigate future traffic congestion predicted by the Traffic Impact Study.**

The proposed Capitol West development will maintain an existing 500-stall parking ramp and an office building with a 192-stall parking ramp. Alexander Company is considering two options for additional parking construction. Option 1 would construct 229 stalls of underground parking and 25 spaces of surface parking for a total of 254 additional parking spaces (total 946 parking spaces). Option 2 would provide 400 parking spaces for neighborhood use by constructing another 280 spaces of underground parking for a total count of 1216 spaces. Under Option 1 (the preferred alternative at this time), Capitol West will provide 1.3 stalls per market unit and 1.0 stall per inclusionary zoning unit, and 3.5 stalls per 1,000 s.f. of newly created commercial/retail space, as identified in the project inclusionary zoning and PUD applications. Under Option 2, each residential unit would receive 1.0 parking stall per market unit and inclusionary zoning unit alike, as residents will be able to use the shared stalls during nights and weekends. This Preliminary Transportation Demand Management Plan provides strategies and incentives to enable Capitol West's demand for parking to fit within the limits of construction.

Downtown Madison condominium owners fall into two main demographic groups: young professionals without children and "empty nesters" whose children have left home. For many, moving downtown represents a lifestyle change that often includes an element of "downsizing." This lifestyle change provides an opportunity to encourage the use of multi-modal transportation among people who may have previously relied heavily on automobile transportation.

Alexander Company hired Madison Environmental Group to develop this Preliminary Transportation Demand Management Plan to minimize the impact of the automobile on the Capitol West site and surrounding neighborhood. This plan provides a toolkit of strategies to help Capitol West residents, retail tenants, and existing office users meet their transportation needs in a way that meets Alexander Company's goal of easing traffic congestion and preserving the character of the downtown neighborhood, while also providing cost savings and health benefits to Capitol West occupants. These measures will also produce environmental benefits by improving air quality, reducing fossil fuel energy use, and decreasing greenhouse gas emissions.

All recommendations presented in this plan are preliminary until after the market research is conducted (Phase III) and the costs and feasibility of implementing proposed strategies are assessed.

The Preliminary Transportation Demand Management Plan is organized into five phases:

- Phase I. Site Design Review (December 2004 – January 2005)
- Phase II. Pre-Occupancy Promotion (January – February 2005)
- Phase III. Research and Communication (March – July 2005)
- Phase IV. Transportation Demand Management Program Development (Fall 2005)
- Phase V. Program Implementation and Evaluation (Summer 2006 –)

PHASE I – SITE DESIGN REVIEW

The Capitol West site plan and architecture will be guided by the integration of natural light, air and ventilation, creating an atmosphere of circulation and activity. The use of features such as terraces, roof gardens and fold away living room walls will link the outdoors with the interior living spaces. Common areas are urban parks with linkages between neighborhood shopping and homes. The plan incorporates recommendations identified in the Bassett Neighborhood Master Plan, including strengthening bicycle and pedestrian linkages, increasing access to multi-modal travel, and improving streetscapes. The first phase of the Preliminary Transportation Demand Management Plan is to review the design of the site with two aims:

- Encourage a "traveler friendly" site design that shows visible support of alternative transportation
- Encourage efficient use of existing and proposed parking spaces and make recommendations for ways to reduce parking needs where possible

A. Traveler Friendly Site Design

The physical structure of the site and facilities can create an atmosphere that encourages the use of alternative transportation. Recommendations for Capitol West include the following:

Connectivity. The Capitol West design includes the construction of a new street, Washington Row, through the middle of the site, connecting West Washington Ave. to West Main St. from North to South. The plan also adds pedestrian access through the site from East to West.

Alexander Company's plan includes additional amenities to make the site accessible to pedestrians, such as crosswalks, drop-off areas and pedestrian islands (see attached site plan). Madison Environmental Group will review the design to assess wheelchair accessibility.

Accessibility and visibility of transit stops. Currently, there are three Metro Transit bus stops adjacent to the Capitol West development. Alexander Company, in partnership with the City, intends to upgrade the two bus shelters on West Washington Ave. and enhance the bus stop on South Broom St. Additional signage may be added to further increase the visibility of the bus stops.

Bicycle facilities. Capitol West will provide covered, secure and lighted bicycle parking for residents and on-site employees, as well as dispersed outside bicycle racks for visitors, to demonstrate visible encouragement of bicycle transportation. Madison Environmental Group also recommends that employees at the Capitol West retail stores have access to shower facilities; a proposed on-site fitness center may offer this amenity.

Enhanced pedestrian walkways. The Capitol West design includes an emphasis on landscaping. We will review the details of walkway design at Capitol West, recommending that walkways are well-lit, separated from parking and roads by landscaping, include marked crosswalks where necessary, and incorporate welcoming features such as benches and signs. In addition, Madison Environmental Group recommends assessing the feasibility of continuously graded sidewalks around the periphery of the site to give priority to pedestrian traffic (i.e. car entrances are designed as driveways rather than as streets). We also recommend the construction of a sidewalk (instead of a bicycle lane) on Washington Row. Further review of the parking ramp design will occur to ensure bicycle and pedestrian accessibility.

Streetscapes. The Capitol West site design will be reviewed to assess whether the appearance of the development is attractive and welcoming to pedestrians. For example, the glass fronted retail storefronts on the corner of Henry St. and W. Washington Ave., and the landscaped entrances to the residential buildings along Henry St., are features that encourage pedestrian traffic.

Signage. We recommend signage around the site indicating bus stops, passenger loading, yield to pedestrians, bicycle parking, pedestrian paths, and special parking spots (e.g. compact car or Community Car parking). The signage will conform to Capitol West's clean, modern architectural design.

On-site transportation information and transit pass purchase. We recommend the placement of a kiosk or vending cart in a central location that offers bus pass sales, transportation information and maps. This kiosk may be incorporated into an existing retail operation, such as an on-site fitness center or convenience store. Alexander Company may offer an incentive for a retail tenant to host the transportation kiosk. There is also the possibility of co-marketing with the neighboring Network222 office building to jointly offer this service.

B. Potential Parking Options

To reduce pressure on parking spaces at Capitol West, we recommend the following measures be considered. These recommendations are presented as a toolkit of options, to be finalized after market research is conducted and costs are assessed.

Shared flex-parking. Capitol West may develop a shared flex-parking program, whereby certain stalls are designated for day and evening users to share. Capitol West residents and employees in neighboring buildings would receive parking passes allowing them to park in any of these unreserved stalls during specific hours. For example, a Network222 employee may have daytime pass (8:00am – 5:00pm) while a Capitol West resident may have an evening pass (6:00pm – 7:00am). Capitol West may assist residents in leasing their parking spaces during the daytime hours.

Compact parking stalls. Standard parking stalls are 9 feet by 19 feet, while compact stalls are 8 feet by 16 feet, producing a space savings of 43 square feet per compact stall built. For example, if warranted by the market research, Alexander Company could provide 16 extra stalls by replacing 50 standard stalls with 66 compact stalls. Residents who choose the small stalls may receive discounts on the purchase of parking or other benefits such as a prime parking location. This incentive would reward residents who own smaller, fuel-efficient and hybrid-electric cars. Madison is the best-selling Midwest market per capita for the Toyota Prius Hybrid, so it is likely that several Capitol West residents will be hybrid owners.

No Parking Option. Alexander Company could offer discounted condominium sales prices to occupants who choose not to take a parking space. Sales prices could be reduced by the market value of the parking stall, \$10,000-\$15,000.

Parking cash-out. To reduce employers' parking demand, Capitol West may request that retail tenants consider offering parking cash-out to their employees. With parking cash-out, employees may choose among a parking space, the cash value of the parking space, or an equivalent value in transit passes.

Community Car. By promoting Community Car or another short-term car sharing program to residents, Alexander Company may reduce parking demand because some residents will use Community Car as an alternative to owning a car or second car. According to the Community Car New Member Survey, 11% of Community Car members sold their car upon joining, and an additional 4% plan to sell their car. Community Car also enables 64% of members to avoid the purchase of a new or used car.

PHASE II – PRE-OCCUPANCY PROMOTION

We will begin to promote Capitol West's suggested transportation amenities to potential buyers in early 2005 as part of the package of benefits of downtown living. Pre-occupancy promotion will include general transportation information (specific program offerings will be determined during Phase IV). This early promotion will include information about the Madison Smart Commute Initiative, a financial incentive that qualifies homebuyers for higher mortgages if they purchase a home near Metro bus routes.

A. Transportation Options Web Page

We plan to add a Transportation Options page to the existing Capitol West website to inform potential buyers and tenants of the transportation benefits of choosing Capitol West. The site will highlight Capitol West's traveler-friendly site design and present an overview of transportation options in the Madison area, including:

- Bicycle and pedestrian routes
- Metro Transit
- Regional bus service

- Rideshare and vanpool programs
- Park & Ride
- Community Car

The web page will also highlight potential Transportation Program offerings (detailed below in Phase IV Program Offerings).

B. Transportation Options Display for Capitol West Sales Center

The Capitol West Sales Center is scheduled to open in December 2004 for potential buyers to learn about more about Capitol West including available unit finishes, application of green development principles and community amenities. The Sales Center will include a display highlighting Madison area transportation options, Capitol West's travel-friendly site design, and the potential Transportation Program offerings (detailed below). Display media may include a computer with a live Internet connection to the Transportation Options page of the Capitol West website.

PHASE III – RESEARCH AND COMMUNICATION

After reviewing the Capitol West site design and conducting preliminary promotion of transportation amenities, we will launch an information gathering phase. Research conducted in Phase III will allow us to finalize program offerings before implementing the Transportation Program at occupancy.

A. Market Research Survey

We will add questions to Alexander Company's existing on-line survey that investigate potential Capitol West buyers' preferences for transportation options and incentives. In addition, we will survey future Capitol West occupant (residential buyers and retail tenants) when they reserve their unit. The survey will test the proposed Transportation Program offerings by investigating respondents' likelihood to use and willingness to pay for amenities such as:

- Bicycle facilities
- Metro Transit passes
- Compact car parking spaces
- Shared flex-parking
- On-site carpooling match-up service
- Emergency ride home vouchers
- Community Car trial memberships / on-site Community Car

B. Coordination with Neighboring Developments

We plan on hosting discussions with neighboring residential and business developments (such as the state office building at 345 West Washington Ave., the Meriter retirement facilities on Block 50, and the Network222 office building) about transportation demand management efforts. For example, the state office building at 345 W. Washington Ave. promotes rideshare and vanpooling, encourages flextime, and offers employees the option of purchasing Metro Transit passes with pre-tax dollars. Capitol West may be able to co-market with neighbors to promote alternative transportation. Opportunities include: offering shared shower facilities for employee bike commuters, providing a centrally located transportation kiosk (selling bus passes

and providing transportation options information), and offering a carpooling match-up service for employees and residents. In Phase III we will further explore these opportunities.

C. Potential Focus Group

The results of the market survey will assist us in assessing if an informal focus group is necessary to investigate further the motivations and preferences of future Capitol West residents. Madison Environmental Group may facilitate the focus group, which could explore the following topics:

- Reasons for choosing to live downtown
- Expected lifestyle changes upon moving downtown
- Transportation behavior and how that will change upon moving downtown
- Reactions to proposed Transportation Program offerings (such as bicycle accessories, transit passes, compact parking stalls, shared flex parking, no parking option, etc.)
- How transportation fits into household budget and willingness to pay for transportation amenities
- Other topics that arise from the on-line survey (not limited to transportation issues)

D. Feasibly Analysis

The final stage of the research and communication will include a financial feasibility analysis of the priority program toolkit options as determined by the market research. This analysis may incorporate collaboration amongst neighboring developments and will detail the willingness to pay scenarios resulting from the market research.

PHASE IV – TRANSPORTATION DEMAND MANAGEMENT PROGRAM DEVELOPMENT

The information gathered in Phase III will enable us to finalize the offerings of the Capitol West Transportation Demand Management Program (hereafter Transportation Program) and develop marketing materials to prepare for program implementation at occupancy in Summer 2006.

A. Potential Program Offerings

Results of the resident survey, financial feasibility analysis and possible focus group will determine which transportation amenities are most desired and useful for the Capitol West community. We will finalize the list of proposed program offerings to choose specific incentives and services to include in the Capitol West Transportation Program.

The survey, discussions with neighbors and potential focus group results will also demonstrate occupants' and neighbors' willingness to pay for the proposed program offerings. We will review costs with Alexander Company and develop a strategy to implement the Transportation Program. Costs could be covered in the condominium sales prices, condominium association fees, third party fees, or a combination of all three. These potential offerings would be initiated by the Alexander Company, Inc. during the time it controls the condominium association. (See Phase V section B below for more detail on implementation)

The toolkit of potential transportation options to offer includes the following:

Bicycle Accessories and Services. Capitol West could encourage occupants to use bicycles for commuting and non-work transportation by offering a gift certificate for bike accessories and services from local bike shops.

Bicycle Sharing Program. Capitol West could offer a “green bike” program to offer jointly owned bicycles that residents may sign up to borrow for short term use. The bicycles would be outfitted with baskets and lights for the convenience and safety of users. If there is an on-site fitness center, it could house the bicycle lock keys and sign-up sheet.

Metro Transit Passes. Bus passes could be provided to Capitol West occupants. These could either be monthly “all you can ride” passes or packets of tickets for a discrete number of trips.

Carpool Match-Up Service. An on-site carpool match-up service could be as simple as posting a dry erase board in the parking garage where occupants write if they “need a ride” or can “give a ride.” Another option to consider, if focus group and surveys demonstrate an interest, would be an interactive carpool matching service on the Transportation Options web page.

Emergency Ride Home Vouchers. An emergency ride home service could provide three taxi rides per year for occupants who use alternative transportation. Occupants would need to commit to using alternative transportation at a specified level in order to qualify.

“Commuter Club.” Capitol West could run a fun incentive program similar to an airline frequent flyer club, where occupants receive points for using alternative transportation. When one accumulates enough points, they can be traded for coupons to downtown restaurants, theatre tickets, Capitol West fitness center use, etc.

Community Car. Capitol West could investigate hosting a Community Car on-site and/or provide trial memberships to occupants. Trial membership includes 5 free hours and 50 free miles to try Community Car within a 60-day trial period.

B. Transportation Options Brochure

We will create a brochure that summarizes the transportation amenities, promotions and incentives offered at Capitol West. This brochure will be distributed to all residents and retail tenants at occupancy, with supplemental information also available at the transportation kiosk, the Transportation Options Fair and other special events (see Phase V for details):

- Transportation Options Map
- Metro Transit Ride Guide and Map
- Metro bikes on buses information
- Bicycle riders guide, from the Bicycle Federation
- Bicycle safety guide, from the Bicycle Federation
- Rideshare Etc. and Vanpool information
- Community Car information

C. Transportation Options Web Page

In Phase II, we recommended adding a simple web page to the Capitol West promotional website. In Phase IV, we plan to prepare for occupancy by creating a more thorough Capitol

West Transportation Options web page. The web page will highlight the transportation amenities, promotions and incentives offered at Capitol West, and include Internet links to local resources for alternative transportation. If time and funding allows, we may also add interactive capabilities to the webpage, such as a carpooling match-up system and a "stuff exchange" network where neighbors can swap tools and books, find babysitters and other shared services.

The web page may also include a list and map of shops and services within walking distance from Capitol West, such as grocery stores, dry cleaners, tailors, movie theatres, etc. We will use lists that have been compiled by Downtown Madison Inc. as a starting point.

PHASE V – PROGRAM IMPLEMENTATION AND EVALUATION

Capitol West occupancy is scheduled to commence in Summer 2006. At this stage everything will be in place to start implementing the Transportation Program. Implementation may include special events as well as ongoing promotion and administration of the program offerings. The developer, Alexander Company, plans to implement the Transportation Program for approximately one year or until control of the condominium association is transferred. At that point, the developer will provide the condominium association with an orientation of the program and education on how to continue the program.

A. Transportation Orientation

We recommend that Capitol West hold a Transportation Options Orientation upon reaching approximately 75% occupancy. The orientation would be held at a central location on-site. Alternative transportation providers and related services would be invited to host displays and share information. The orientation may also include outings such as a group walk to breakfast, an organized bicycle ride in the afternoon and a bus field trip to a movie in the evening.

At occupancy, new residents will also be presented a welcome package including the Capitol West Transportation Options brochure and information specific to the program offerings.

B. Transportation Consultant

While the Capitol West condominium association is controlled by the developer, it may retain the services of Madison Environmental Group to coordinate the Transportation Program. Upon transfer of control of the condominium association, these services may be continued if warranted by the association. Alternatively, the condominium association could designate an in-house Transportation Coordinator to reduce the costs of these services.

The Transportation Consultant could provide ongoing management of the Transportation Program incentives and promotions. Duties may include coordinating the distribution of Metro bus passes, providing instructions for signing up for Community Car, and maintaining a carpool match-up system (such as a dry erase board in the parking garage). The Transportation Consultant could also act as the on-site coordinator for special events such as the Car-Free Challenge and Bike to Work Week.

C. Annual Events

Capitol West residents will be provided with information regarding participation as a team in the annual Car-Free Challenge (September) and Bike to Work Week (May). The kick-off events for

these programs may include informational displays on alternative transportation to remind Capitol West occupants of transportation options in the Madison area.

Capitol West residents will also be provided information regarding a potential new program -- an annual Walking Week, with activities such as a community walk to the UW Arboretum, and a scavenger hunt to update the list of stores and services within walking distance.

D. Environmental Action Teams (EnAct)

Madison Environmental Group may facilitate EnAct teams at Capitol West. EnAct is a neighbor-to-neighbor sustainable living program that provides households resources and action ideas to conserve resources, save money and live healthier lifestyles. EnAct covers six topic areas: solid waste, transportation, energy, water conservation, water quality and food choices. The program also builds community by encouraging neighbors to get to know each other and work together.

The Capitol West EnAct program could emphasize transportation actions. The EnAct Participant Guide offers eight pages of specific action ideas related to taking the bus, bicycling and walking, carpooling, using Community Car, driving and maintaining cars, and vacations and long-distance travel. EnAct produces measurable results by implementing surveys before and after the program. Annually, the average EnAct household reduces approximately 1,300 vehicle miles, eliminates about 2,000 pounds of greenhouse gas emissions (from driving and household energy use), and saves approximately \$290 on driving costs, utility bills and other expenses.

E. Transportation Program Evaluation

Prior to the transfer of control of the condominium association, we plan to evaluate the Capitol West Transportation Program by conducting follow-up surveys of residents, calculating reductions in vehicle miles traveled and resulting reductions in greenhouse gas and air pollution emissions, and documenting program impacts and expenditures.



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Reuse & Recycling Notes for Press Release

November 1, 2005

Project: The Alexander Company's Capitol West Deconstruction Reuse and Recycling

Results

Following are some results from the reuse and recycling efforts at Capitol West. To date, nearly 400 people representing various non profits, organizations and individual buyers have come to the site of the future Capitol West project to make a difference together. Furniture, building materials, fixtures and office supplies have been bought, donated and rescued from the landfill, at an estimated:

- 42 tons of furniture and building materials (not including ceiling tile)
- 116 trunk, van, and truck loads combined hauled to homes and offices
- 11,100 cubic feet of materials
- 1 semi truck of ceiling tiles

Examples: Items Rescued from the Landfill		
Qty	Lbs	Reused Item
330+	11,000	Chairs
180+	900	ADA Bars
130+	25,000	Cabinets
130+	6,500	Tables
85+	6,900	Doors
70+	390	Shelves
60+	10,000	Desks
55+	4,405	Beds
50+	225	Bulletin Boards
50+	5,400	Filing Cabinets
40+	690	Mirrors

Sale Events

Madison Environmental Group held sales on September 30, October 7, October 14 and October 21, in which about half of those attending found items they needed.

Two deconstruction days were also held on October 26 and October 28, for over 45 non profits and individuals to deconstruct items such as doors, cabinets, ceiling tile, carpet and signage.

Donations

The following groups received donations from The Alexander Company, Inc. thus far:

- Belmont Nursing and Rehabilitation Center
- Bethel Horizons Nature Center
- Habitat for Humanity of Dane County ReStore
- Madison Metropolitan School District: Wright Middle School
- River Food Pantry
- Sharing Resources Worldwide
- St. Dennis Parish
- Wheelchair Recycling Program

Purchases

In addition to the nearly 400 individuals, more than 25 groups came through to buy items at discounted prices, including:

- Cornucopia, Inc.
- Dane County Department of Emergency Management
- Ecumenical Housing Corporation
- Eco Friendly Flooring
- Family Works
- Gathering Waters Conservancy
- Great Wolf Resorts
- Greig Club
- Hosteling International: Madison Hostel
- House of Hope
- Housing Initiatives, Inc.
- Kavanaugh Restaurant Supply
- Madison Children's Museum
- Madison Community Co-op: Lothlorian Housing Co-op
- Madison Central Montessori School
- Maple Valley
- Organic Valley
- Pleasant Ridge Waldorf School
- Point of Grace Community Church
- Salvation Army
- St. John's School
- Three Squares
- University of Wisconsin, Department of Entomology
- Village Cohousing
- Watertown Moose Lodge
- Women Against Lung Cancer
- WI Coalition for Advocacy
- Youth Initiative High School

Stories

Sharing Resources Worldwide is an organization that sends used medical equipment from the United States to clinics in developing countries. The Alexander Company donated many items of value from Capitol West to Sharing Resources Worldwide, including bags of cubical curtains, operating lights, doors, overbed tables, and bedside tables. Sharing Resources Worldwide plans to send two sets of operating room lights and twenty doors to Honduras to help build a clinic. *For more information, contact: Mary Dowling, (608) 445-8503.*

River Food Pantry is an organization that helps feed those in need throughout Madison and took away multiple truckloads of materials and furniture. The organization recently rented a large warehouse on Madison's north side to serve the community's hungry. The Alexander Company donated many items, including doors, cabinets, tables and chairs. The River Food Pantry plans to use these items to build out and create their new space in the rented warehouse. *For more information, contact: Andy Czerkay, (608) 268-6342.*

The Youth Initiative High and Pleasant Ridge Waldorf Schools in Viroqua, Wisconsin purchased two trailer loads of furniture and two trailer loads of stainless steel countertops. Students will benefit from the furniture replacing aged furniture in their schools and the countertops being reused to create a science lab. Dawn Hundt has been a fiery leader in directing us to other organizations including attempting to send a semi load of furniture to Waveland, MS in the hurricane relief zone. *For more information, contact: Dawn Hundt, (608) 452-3485.*

Jacqueline Gill, a Capitol West neighbor, was able to furnish her new apartment on S. Henry with free items from the sale. *For more information, contact: Jacqueline Gill, (206) 794-2880.*

Watertown Moose Lodge was one of many to benefit from the deconstruction sale. They are planning on using the over 540 ceiling tiles they collected to replace old smoke filled tiles in their existing space. *For more information, contact: Carla and Tim Witte, (920) 261-6458.*



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May 2006 Green Activities Summary

July 2006

Project: Capitol West, The Alexander Company

Project Manager: Kevin White, Madison Environmental Group, Inc.

Recycling Management Oversight

The final recycling rate of 94.86% has been calculated for the deconstruction phase, which reached completion the second week of May. Thank you to The Alexander Company and J.H. Findorff and Son for their commitment to reuse and recycling, and to Champion Environmental Services for their hard work implementing a recycling program with impressive results.

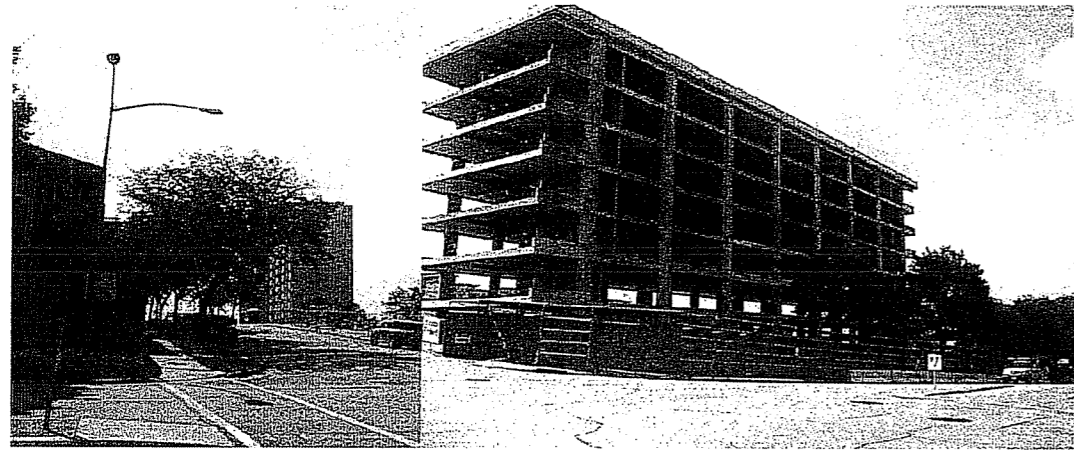
Recycling Rate

The final recycling for the deconstruction phase was 24,482.08 tons, which represents 94.86% of the material generated during deconstruction. The reuse phase of fall 2005 diverted over 66 tons of material from the landfill, bringing the total tonnage diverted during reuse and recycling to over 24,500 tons of material.

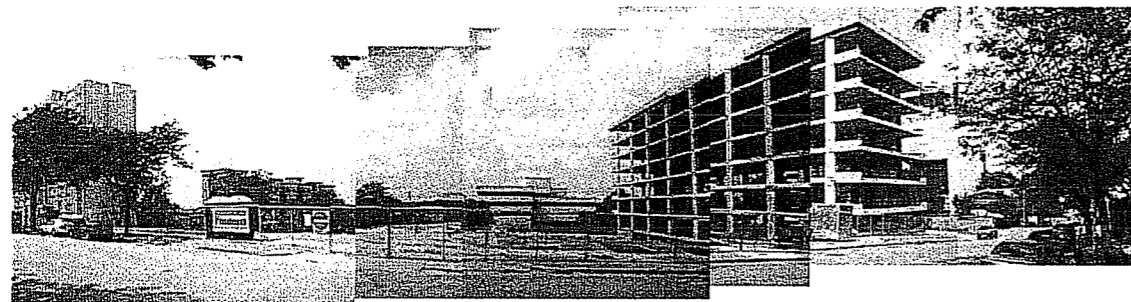
May Recycling Summary		
Material	Tons	Total Tons to Date
Metal	98.40	1,590.82
Concrete/Brick/Block	2,104.97	22,886.98
Wood Doors	0.00	4.29
Trash	0.00	1,326.28
Recycling Total	2,203.37	24,482.08
Recycling Rate	100.00%	94.86%

Project: Capitol West, The Alexander Company, Inc.

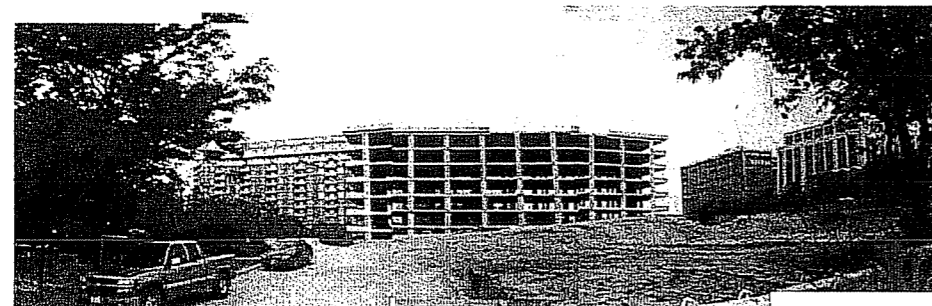
Project Manager: Kevin White, Madison Environmental Group, Inc.



View from West Washington Avenue: July 19, 2006



View from Henry Street: July 19, 2006



View from Main Street: July 19, 2006



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Recycling and Reuse Plan

August 2005

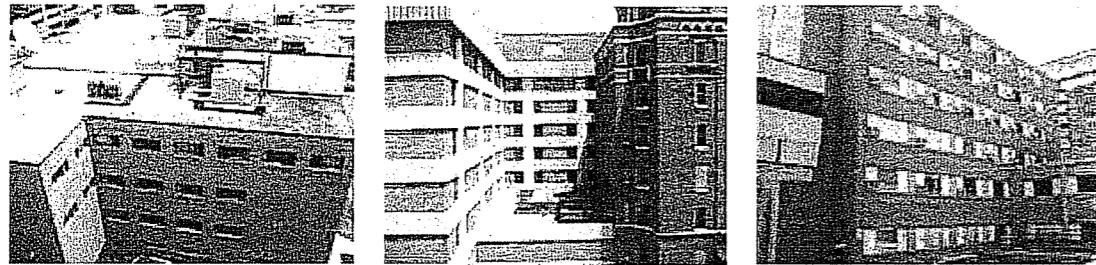
Project: Capitol West Reuse and Recycling, The Alexander Company

Location: 30 S. Henry, 309 W. Washington, and 329 W. Washington, Madison, WI

Project Managers: Rebecca Thorman and Kevin White, Madison Environmental Group, Inc.

Background and Purpose

This plan addresses recycling and reuse throughout the pre-demolition, demolition and construction phases of the Capitol West Phase I project. Alexander Company and Madison Environmental Group conducted multiple site visits to three properties located on the site of the future Capitol West development to develop this plan, a detailed inventory, and corresponding photographs.



These three buildings, located at 30 S. Henry, 309 W. Washington and 329 W. Washington are unoccupied commercial spaces that will be deconstructed to make room for the Capitol West development.

The three properties, 30 S. Henry, 309 W. Washington and 329 W. Washington total approximately 300,000 sq. ft. The Meriter Hospital, 309 W. Washington, is seven stories consisting of both newer and older sections. Annex I, 329 W. Washington, is a six story plus one basement level office space. Annex II, 30 S. Henry, is three stories plus one basement level used for office space.

The following pages contain three sections: Materials Required to Be Recycled (Fluorescents, Incandescent Bulbs, Thermostats, Coolants and Refrigerants, Computer Equipment, Metal, Masonry, Clean Concrete and Asphalt), Materials Suitable for Recycling (Ceiling Tile, Carpet, and Wood), and Materials Suitable for Reuse (Building Materials, Fixtures, Furniture, Equipment and Appliances, Miscellaneous, and Decorative Stone). Each section details a list of materials we identified as potentially suitable for reuse and/or recycling. Reusable items are described in the

The following definitions are used in this plan:

- **Demolition** refers to the destruction of existing buildings to make way for new construction.
- **Deconstruction** refers to the systematic dismantling of buildings to salvage building materials, fixtures, furniture and more for recycling and reuse.
- **Recycling** refers to the collection, separation, and processing of materials from waste.
- **Reuse** refers to the repairing, refurbishing, washing, or recovering worn or used materials.

detailed inventory and corresponding photographs (listed below), which are available at:

http://www.madisonenvironmental.com/projectdetail_capitolwest.html

Written Inventories

- 30 S. Henry (6 pages)
- 329 W. Washington (4 pages)
- 309 W. Washington (8 pages)

Photographic Inventories

- 30 S. Henry (13 pages)
- 329 W. Washington (6 pages)
- 309 W. Washington (25 pages)

Materials Required to Be Recycled

The following items are required to be recycled by the demolition contractor for this project.

Fluorescent and Incandescent Bulbs. There are over 350 fluorescents (containing mercury) and many incandescent bulbs (containing lead) located throughout the three buildings. If reuse opportunities are not available, the hazardous materials in this category must be disposed of properly as required by law. A complete list of local recyclers is on the Internet at <http://www.co.dane.wi.us/danedept/pubworks/recycle/lights.asp>. Note, however, that many of these are retailers and it is recommended that for this quantity, a processor be contracted with, including *PKK Lighting*, *BJ Electric Supply* or *Midwest Lamp Recyclers*.

Thermostats Containing Mercury. There are over 75 thermostats in the three buildings. Mercury is a hazardous waste, but the Universal Waste Rules allow them to be recycled without going through hazardous waste permitting processes. Several HVAC wholesalers will accept these thermostats for recycling as shown on the list at <http://www.countyofdane.com/danedept/pubworks/recycle/thermostat.asp>, or they can be taken to the *Dane County Clean Sweep* facility.

Coolants and Refrigerants. If appliances and equipment cannot be reused, it is required by law to properly dispose of the hazardous materials. Also, state law prohibits the landfilling of appliances. Cooling equipment in refrigerators (if they are not removed as a whole unit) contain refrigerant (Freon), which must be disposed of properly which requires training and licensing. There are three Dane County recyclers of appliances (<http://www.co.dane.wi.us/pubworks/recyc/applianc.htm>), of which two can process those with refrigerants. Information on other firms that handle refrigerants can be obtained from *Lance Green at the Department of Natural Resources (DNR)* at (608) 264-6049.

The following materials are banned from landfills in the state of Wisconsin:

- Grass
- Recyclables
- Appliances
- Computers
- Leaves
- Fluorescent Bulbs
- Cardboard or Boxes
- 55 Gallon Barrels/Drums
- Fluorescent Fixtures
- Hazardous/Infectious Materials or their containers
- Brush
- Batteries
- Paint
- Oil

Computer Equipment. Computer monitors contain lead and computer processing units (CPUs) contain lead, mercury, and other hazardous materials. A local vendor, *Cascade Asset Management*, can recycle computer equipment and monitors for a charge of \$0.35/lb at the time of this report.

Metal. Some of the largest metal components include ductwork, radiators, and mechanical equipment. We can assume that there are large quantities of metal in reinforcing and framing members throughout the structures, but this type of metal is generally more difficult to extract. Madison Environmental Group can help contractor assess feasibility and coordinate metal recycling activities. Metal dumpsters can be hauled to a metal salvage company such as *All Metals Recycling, LLC* for processing. At the time of this plan, market price for scrap metal was \$40/ton.

Masonry and Clean Concrete. All three buildings are masonry and concrete construction. Uncontaminated concrete and masonry is recyclable and can be hauled to *Wingra Stone* for crushing and processing into concrete screening. Reusing masonry and uncontaminated concrete as fill is not considered recycling for the purpose of this project.

Cardboard, Papers, Cans, and Bottles. Although limited amounts of cardboard, paper, plastic bottles, and glass appear in the three buildings, these materials should be appropriately recycled. We recommend collecting clean flattened corrugated cardboard and white or mixed office paper in separate covered containers onsite. The *Peltz Group / Recycle America* can haul and recycle cardboard and paper. We recommend collecting aluminum, glass, and plastic cans and bottles in clear plastic bags in containers onsite (offices and break rooms), then setting bags out at curbside for the *City of Madison* to recycle.

Materials Suitable for Recycling

The following materials are not required to be recycled, but demolition contractors that recycle these materials for this project will be given extra consideration.

Ceiling Tile. If a reuse opportunity is not found for ceiling tile, it can be recycled by *Armstrong Ceiling Tile*. Tiles must be stacked 4 to 5 feet high and shrink wrapped for pick-up by Armstrong. Pick-up is free of charge, and usually takes 7-10 days. One full truck load of ceiling tile usually consists of 22 "skids".

Carpet. If a reuse opportunity is unavailable for carpet, recycling it through programs such as *Aronson Recycling Company* may be an option. Samples of the carpet should be sent to Aronson to determine the recyclability of the material.

Wood. The demolition contractor will make efforts to collect dimensional, untreated lumber in containers onsite during deconstruction. We recommend that wood then be hauled and shredded by *Pellitteri Waste Systems*. Madison Environmental Group will attempt to find reuse markets for wood elements such as doors, desks, beds, and cabinetry. See Materials Suitable for Reuse, below.

Asphalt. Asphalt, which covers the parking lots, could also be recycled by *Hammersley Stone Co.*, who only accepts asphalt from their own jobs.

Materials Suitable for Reuse

The removal of reusable items will be coordinated by Madison Environmental Group. Demolition contractors will be responsible for items that are left in the building after Madison Environmental Group's reuse activities, which will include selling the items described below in bulk to interested organizations (such as nursing homes, teen centers, social service organizations, etc.), and individuals, followed by a two-day public on a Friday and Saturday, with an option to repeat the sale on following weekends. Madison Environmental Group will also contact mechanical, electrical, and plumbing contractors to facilitate the discovery of additional reuse markets for more difficult commercial materials (for example, contacting the mechanical contractor to remove and reuse air conditioning units).

Reusable items are described in the detailed inventories and corresponding photographs, which are available at for download at:

http://www.madisonenvironmental.com/projectdetail_capitolwest.html

These inventories detail many categories of materials which are defined below:

Building Materials. This category of materials includes building components such as doors, cabinets, countertops, and stair railings. For example, there are more than 700 solid core wood doors throughout the three buildings.

Fixtures. This category includes items that have reuse value, are attached to the building, and are not integral to the building structure. For example, there are more than 100 sinks and 100 light fixtures throughout the three buildings.

Furniture. This category refers to freestanding items that could be removed easily. The three buildings contain large quantities of furniture, including over 500 chairs, 100 desks, and 150 tables.

Equipment and Appliances. This category refers to freestanding equipment and appliances, of which many are used for medical or office purposes. Examples of office equipment include phones, monitors, televisions, and typewriters. Assorted medical equipment, such as dialysis machines, are still located on site.

Miscellaneous. This category includes removable, reusable items. Examples include bulletin boards, chalkboards, fire hoses, garbage cans, and exit signs. There are also reusable medical supplies such as unopened sterile solutions, tubing, etc.

Decorative Stone. 309 W. Washington Avenue has decorative exterior masonry features. Some brick and stone materials may be suitable for removal and reuse. Madison Environmental Group can assist the demolition contractor in contacting interested parties to assess interest in removing the decorative stone.

The Role of Habitat ReStore

Madison Environmental Group will partner with *Habitat for Humanity ReStore* (hereafter *ReStore*), an established market for building materials appropriate for residential reuse, in an effort to find homes for many of the building materials in the three buildings. ReStore will

deconstruct the materials, move and sell the items at their store. However, due to space limitations at their store, *ReStore* will also be able to sell some of the materials on the jobsite. With this plan, *ReStore*'s trained volunteers will also move other furniture and miscellaneous items, and place them in a central first floor location at Meriter Hospital for the public sale. They will also assist Madison Environmental Group to recruit volunteers to staff the sale.

Reuse and Recycling Documentation

Madison Environmental Group will coordinate the reuse and recycling efforts, documenting the estimated amounts of recycled and reused materials. We will also qualitatively document the process through photographs and interviews. The demolition contractor will be required to fill out a form to assist with our documentation efforts. We will request information regarding the quantities and description of materials reused or recycled, the recycler's processor's name and contact information, and/or the final destination of the material to be reused or recycled.

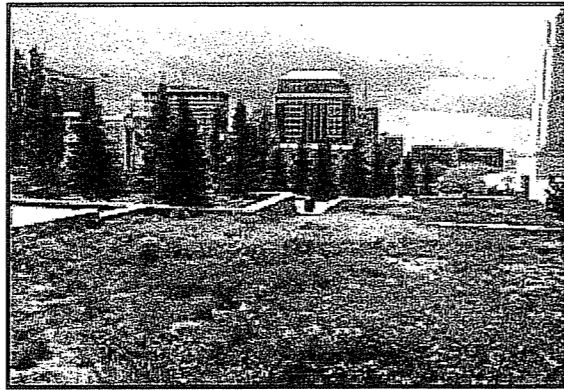
Questions

Rebecca Thorman at (608) 280-0800
or via email at rebecca.thorman@madisonenvironmental.com

Kevin White at (608) 280-0800
or via email at kevin.white@madisonenvironmental.com

Bringing the garden to a whole new level...

The Garden Roof® allows the design professional to transform virtually any flat or gently sloped roof into a landscaped environment. Designed as a lightweight, low profile system, the Garden Roof® assembly can be safely installed on roof and plaza decks not engineered to handle the heavy load requirements of a traditional green roof. And because the assembly incorporates Hydrotech's Monolithic Membrane 6125®, a proven roofing/waterproofing membrane, the building owner can be assured of a water-tight structure.

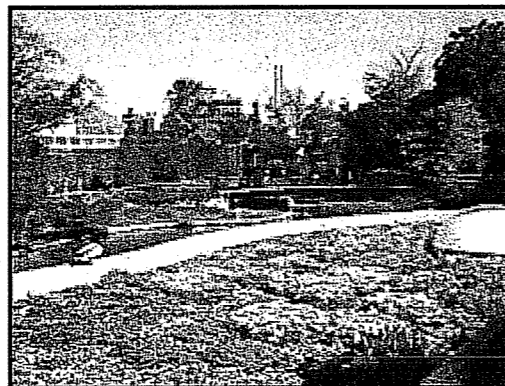


The Garden Roof® provides building owners and tenants with many ecological, technical and economic benefits. Some of the advantages of the Garden Roof® assembly include:

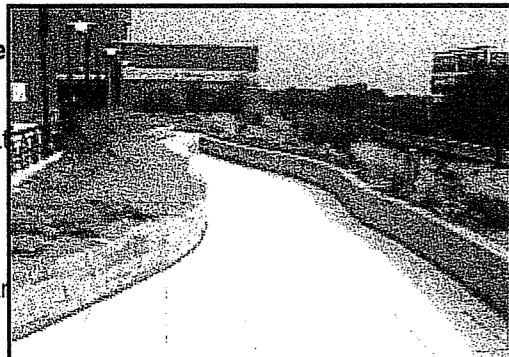
- Enhances building's appearance
- Adds space for tenant use and recreation
- One answer to the "Urban Heat Island" problem
- Stormwater management - retain 50%-90% of a typical rain fall on the roof
- Improves building's energy efficiency
- Processes airborne toxins and re-oxygenates the air
- Creates therapeutic and peaceful environments
- Total assembly warranted, from the deck up

Extensive or Intensive Garden Roof® assemblies...

The **Extensive Garden Roof®** is ideally suited for locations that will receive little or no maintenance, or where structural capabilities are a concern. Recommended plants include sedum, herbs, grasses and other vegetation that can withstand harsh growing conditions. The soil mixture, composed primarily of mineral materials mixed with organic medium, can be very shallow (as little as three inches). The entire system is very light, weighing little more than a traditional ballast roof, allowing for safe installation on almost any existing roof.



The **Intensive Garden Roof®** incorporates plants that require regular maintenance such as



watering, fertilizing and mowing. The variety of plants possible is numerous, including sod grass lawns, perennial and annual flowers, shrubs, and even small trees. When used in conjunction with Hydrotech's full line of hardscape elements, such as architecturally finished pavers and precast items, the system is ideal for roofs and plazas that will serve as pedestrian recreational areas.

For additional information on the Garden Roof® including our Garden Roof Planning Guide, please contact Hydrotech. Guideline specifications and details are available on this website.

[Top of Page](#)

American Hydrotech, Inc., 303 E. Ohio Street, Chicago, IL 60611, U.S.A.

Phone: 800-877-6125 Fax: 312-661-0731

[Contact Us](#)

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Capitol West

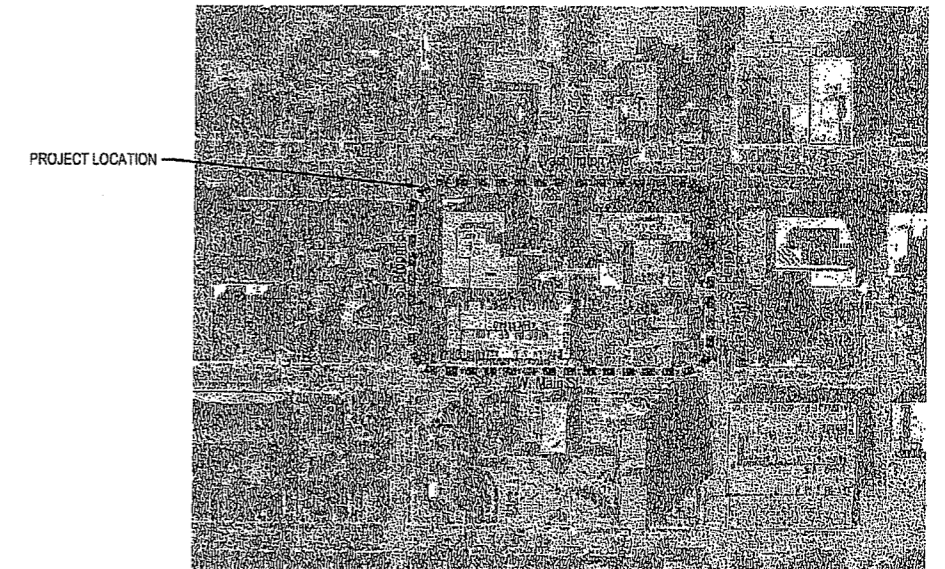
Phase 1

Block 51 - Madison, WI

Site Work & Utility Package

SIP Alteration

July 12, 2006



PROJECT LOCATION

CONTEXT MAP
NOT TO SCALE



Sheet List Table	
T1	COVER SHEET
C 001	OVERALL SITE DEVELOPMENT - BID PACKAGE DELINEATION
C 002	FIRE ACCESS PLAN
C 110	EXISTING CONDITIONS
C 111	EROSION CONTROL AND SITE ACCESS PLAN
C 112	SITE DEMOLITION AND PREPARATION PLAN
C 200	SITE GRADING - Overall
C 201	SITE GRADING - 309 West Washington Avenue - Arcade - North Stair
C 202	SITE GRADING - Capitol Court
C 203	SITE GRADING - Washington Place
C 204	SITE GRADING - 345 West Washington Avenue
C 205	SITE GRADING - Main St Town Homes - Henry St
C 206	SITE GRADING - Broom St Lofts
C 300	SITE LAYOUT - West
C 301	SITE LAYOUT - East - Henry St Enlargement
C 302	SITE LAYOUT - Washington Place
C 303	SITE LAYOUT - Arcade - North Stair
C 304	SITE LAYOUT - Main St
C 305	SITE LAYOUT - Broom St
C 400	SITE MATERIALS - West
C 401	SITE MATERIALS - East - Henry St Enlargement
C 402	SITE MATERIALS - Arcade - North stair
C 403	SITE MATERIALS - Main St
C 404	SITE MATERIALS - Broom St - Washington Place
C 500	SITE UTILITIES - 309 West Washington Avenue
C 501	SITE UTILITIES - Profiles
C 502	SITE UTILITIES - Profiles
C 600	SITE SIGNAGE
C 601	SITE LIGHTING - West
C 602	SITE LIGHTING - East
C 603	SITE LIGHTING - Light Cut Sheets

Sheet List Table	
C 700	SITE LANDSCAPE - 309 West Washington Avenue
C 701	SITE LANDSCAPE - Henry St - Main St
C 702	SITE LANDSCAPE - Washington Place
C 703	SITE LANDSCAPE - 345 West Washington Avenue
C 704	SITE LANDSCAPE - Main St
C 705	SITE LANDSCAPE - Broom St
C 800	SITE IRRIGATION
C 900	ELEVATIONS - Key Plan & South Parking Structure Facade
C 901	ELEVATIONS - 309 W Washington Ave
C 902	ELEVATIONS - Henry St - 309 Grand Stair - Mews Terminus
C 903	ELEVATIONS - 309 Grand Stair
C 904	ELEVATIONS - Main St Town Home Area Well Screens (Alternate Bid)
C 905	ELEVATIONS - Main St Town Home Area Well Screens (Alternate Bid)
C 906	ELEVATIONS - Capitol Court - Washington Place (Alternate Bid)
C 1000	SITE DETAILS
C 1001	SITE DETAILS
C 1002	SITE DETAILS
C 1003	SITE DETAILS

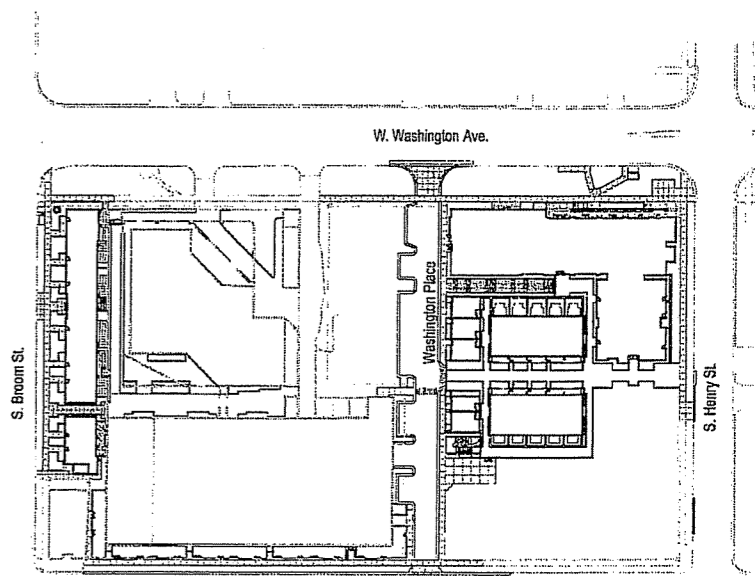
PREPARED FOR:

The Alexander Company, Inc.
145 East Badger Rd., Suite 200
Madison, Wisconsin 53713
P 608.258.5580
F 608.258.5599

PREPARED BY:

JJR

JJR, LLC
625 Williamson Street
Madison, Wisconsin 53703
P 608.251.1177
F 608.251.6147



SITE MAP
NOT TO SCALE



NORTH ARROW LEGEND



TRUE NORTH



PROJECT NORTH

PROJECT NORTH - SITE ROTATED
-45° CLOCKWISE. W. WASHINGTON
AVE. ORIENTED WEST - EAST

**CAPITOL WEST
PHASE 1
BLOCK 51 - MADISON, WI**

Owner:
**THE ALEXANDER
COMPANY, INC.**

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planning urban design
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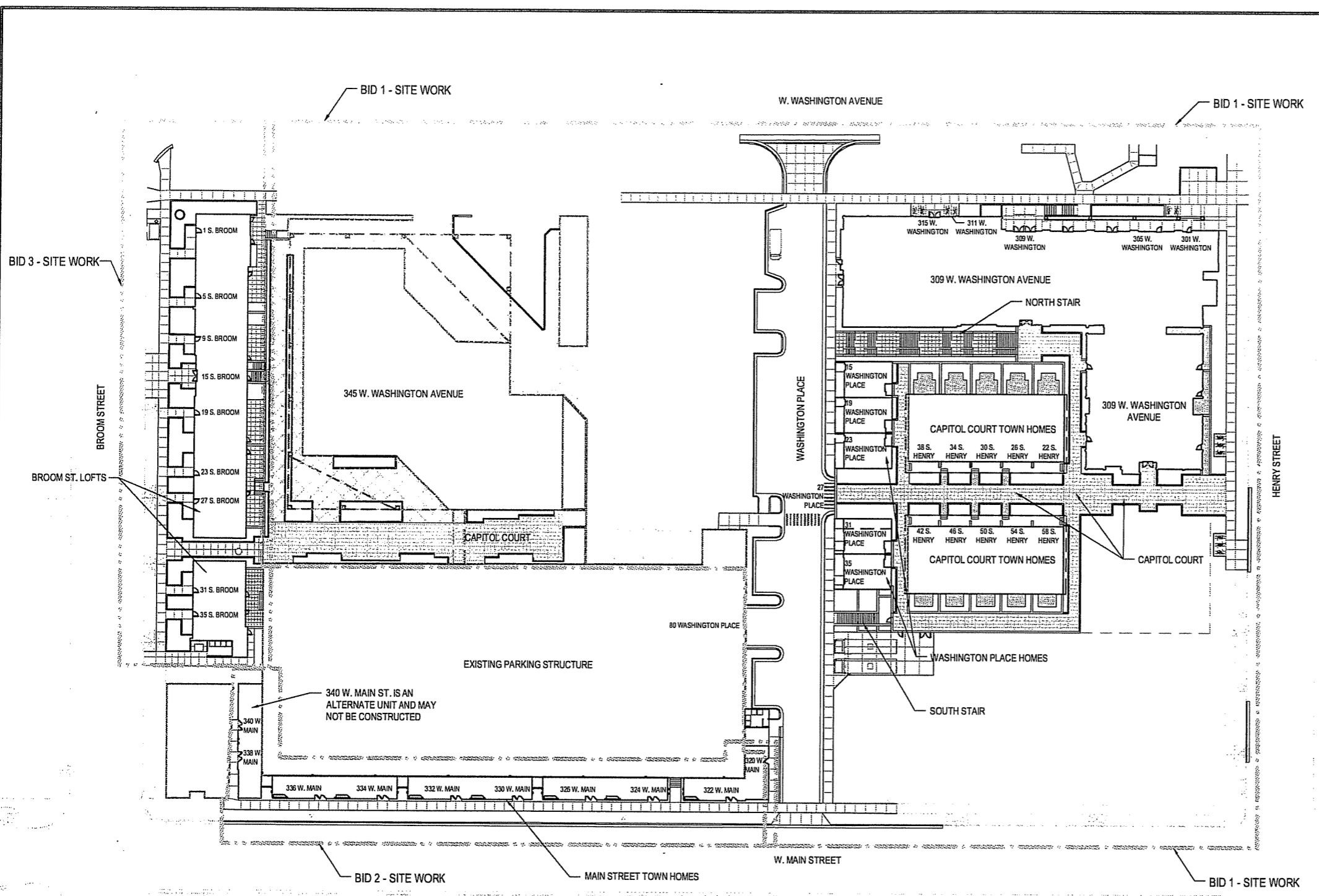
LEGEND:
--- = BID 1 - LIMIT OF WORK
--- = BID 2 - LIMIT OF WORK
--- = BID 3 - LIMIT OF WORK

- NOTE:**
1. PROJECT SITE DIVIDED INTO 3 SEPARATE BID CONTRACTS AS DELINEATED BY OUTLINES ON PLAN.
 2. EACH CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF WORK ADJACENT TO OTHER BID AREAS AND ASSOCIATED CONTRACTORS.
 3. SOME WORK MAY CROSS BID AREA LINES SUCH AS UTILITY, PAVEMENT POURS, GRADING, ETC. THESE AREAS ARE CALLED OUT ON PLANS WHERE DETECTED.
 4. APPROVAL OF SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY. ALL RIGHT-OF-WAY IMPROVEMENTS SUBJECT TO APPROVAL BY CITY OF MADISON REAL ESTATE, ENGINEERING, AND ZONING AND FINAL CITY/DEVELOPER AGREEMENT.
 5. FINAL RIGHT-OF-WAY IMPROVEMENTS SHALL BE DESIGNED AND DOCUMENTED IN A CITY ENGINEERING CONSTRUCTION SET. RIGHT-OF-WAY IMPROVEMENTS SHOWN IN THIS SET ARE FOR INFORMATIONAL PURPOSES ONLY, UNLESS OTHERWISE NOTED.

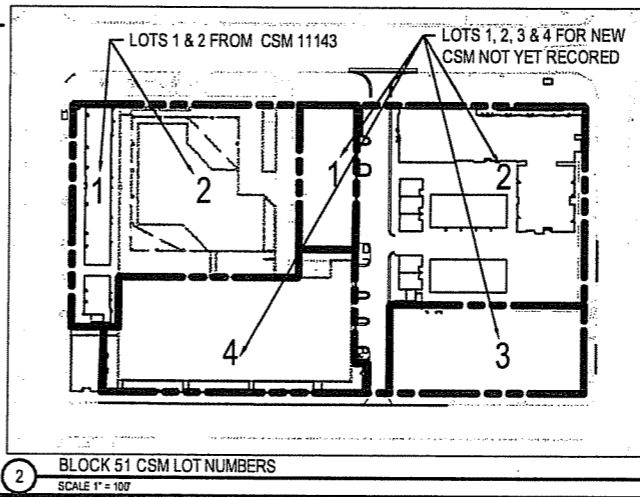
ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
SOB DD REVIEW & ESTIMATE SET		01/04/2006
MAIN ST. UTIL. TO CITY		02/07/2006
CITY REVIEW SET		02/22/2006
100% CLIENT/COM. REVIEW SET		03/22/2006
FINAL DOCS. COP/SP SUBMITTAL		06/14/2006
SP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN



1 OVERALL SITE DEVELOPMENT PLAN
SCALE 1" = 30'



2 BLOCK 51 CSM LOT NUMBERS
SCALE 1" = 100'

PARKING LOT PLAN SITE INFORMATION BLOCK

Site Address: 309 West Washington - Mixed Residential
301, 305, 311, 315 West Washington - Retail
345 West Washington - Existing Commercial Office and Parking
1, 5, 9, 15, 19, 23, 27, 31, 35 - South Broom Street - Residential
27 Washington Place - New Parking Ramp
80 Washington Place - Existing Parking Ramp
15, 19, 23, 31, 35 - Washington Place - Residential
326, 322, 324, 328, 330, 332, 334, 336, 338, 340 - West Main Street - Residential
32, 36, 38, 34, 38 - South Henry St. (Capitol Court North) - Residential
42, 46, 50, 54, 58 - South Henry St. (Capitol Court South) - Residential

Site Areaage (total, 4.46 Acres total site area)

Number of building stories (above grade) - 3-11 Stories (Phase 1)
Building Height - Phase 1 up to Roof elevation of 115' - 5' 10" city datum at building 309 W. Washington Ave. (lowest point on site is 117' - 10' 10")

DLUR type of construction (new structure or addition) - Various Construction Types (I, II and VI)
Total square footage of building - See Architectural plans for area of each component

Use of acreage - Mixed Use
Gross square feet of site - Approximately 80,000 sq ft currently, (expandable to approx. 105,000 sq ft - Phase 2)
Gross square feet of retail area - Approximately 20,000 sq ft (10,000 - 18,000 in Phase 1)

Number of employees in operation - 0
Number of employees in construction - 0
Capacity of restaurant/office or assembly - 0

Number of bicycle stations - Surface 8 scale
276 Total scale
181 for 309 W. Washington Ave. at 309 W. Washington Ave. (87 to City of Madison standards, 116 as upgrade option for residents)
20 for South Henry St. (Capitol Court) & Washington Place Homes at 309 W. Washington Ave.
33 for Broom Street Lofts at 345 W. Washington (20 to City of Madison standards, 10 as upgrade option for residents)
20 for Main St. Town Homes at 80 Washington Place (10 to City of Madison standards, 10 as upgrade option for residents)

Number of parking stalls (total)

Surface	110 stalls
Interior	Stalls in Phase 1
	345 West Washington 190 stalls
	80 Washington Place 517 stalls (150 retained for use by Merlot)
	27 Washington Place 216 stalls
Small car stalls	84 (8.0% of total)
Accessible	23 stalls distributed throughout above
Total	942 stalls

Number of trees (new, 5, plus trees in street terraces, existing and those to be replanted (per conversation with city forester))

* Note: Some stalls being provided as part of Phase 1 will be used for later Phases

DRAWING TITLE
**OVERALL SITE
DEVELOPMENT - BID
PACKAGE DELINEATION**

SCALE AS INDICATED

SCALE 1" = 30'

PROJECT NUMBER
24589.000

DRAWING NUMBER
C 001

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**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR landscape architecture
planning
civil engineering
interior design
JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com

FIRE CODE VARIANCES

- CODE ISSUE: 62.0500 (2)(a)(2)**
- Broom Street Lofts in excess of 30' from the aerial apparatus fire access lane.
- Equivalency: Fire Protection at Broom Street Lofts to NFPA-13
- CODE ISSUE: 62.0500 (3)(d)**
- Henry Street and Main Street: Aerial apparatus lane less than 26'.
- Equivalency: Provide 20' fire access lane and fire protection to NFPA-13 at Main Street Townhomes, 309 West Washington, and S. Henry St. (Capitol Court) Townhomes
- CODE ISSUE: 62.0500 (3)(a),(b)**
- S. Henry St. (Capitol Court) / 309 West Washington: Overhead obstruction at future bridge.
- Equivalency: Fire protection to NFPA-13 at S. Henry St. (Capitol Court) Townhomes

*See letter dated June 05, 2006 from Thomas Miller, Alexander Co. to John Lippitt, Madison Fire Department.

LEGEND

- = EXISTING FIRELANE
- = PROPOSED FIRELANE
- = FIRE HOSE LAY
- = FIRE HYDRANT
- = ON STREET PARKING

NOTE:

- PROPOSED WASHINGTON PLACE FIRELANE USES THE SIDEWALK BEHIND THE MOUNTABLE CURB.
- EXISTING FIRE LANES ARE DRAWN AS SIGNED. THE PLAN DOES NOT EVALUATE WHETHER THESE AREAS MEET THE REQUIREMENTS OF THE CITY OF MADISON ORDINANCE.
- LENGTH OF FIRE HOSES DRAWN DO NOT EXCEED 500 LINEAR FEET.

ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL	12/01/2005	
50% DD REVIEW & ESTIMATE SET	01/04/2006	
MAIN ST. UTIL. TO CITY	02/07/2006	
CITY REVIEW SET	02/22/2006	
100% CLIENT/CITY REVIEW SET	03/22/2006	
FINAL DOCS. CIP/SP SUBMITTAL	05/14/2006	
FINAL DOCS. CIP/SP AMENDMENT	06/21/2006	
SP ALTERATION	07/12/2006	

SEALS AND SIGNATURES

KEY PLAN

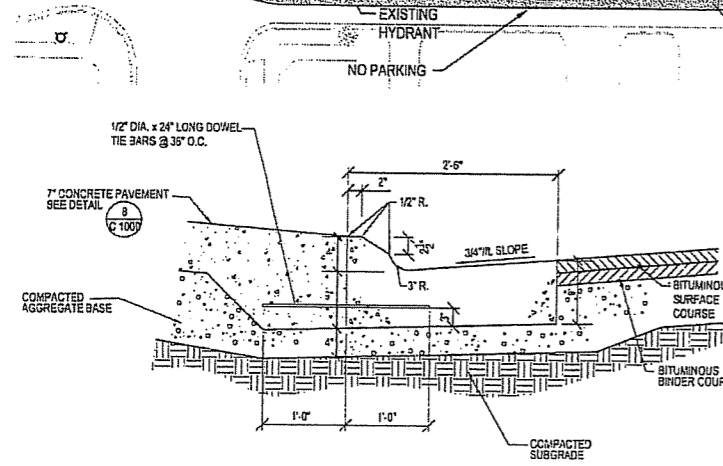
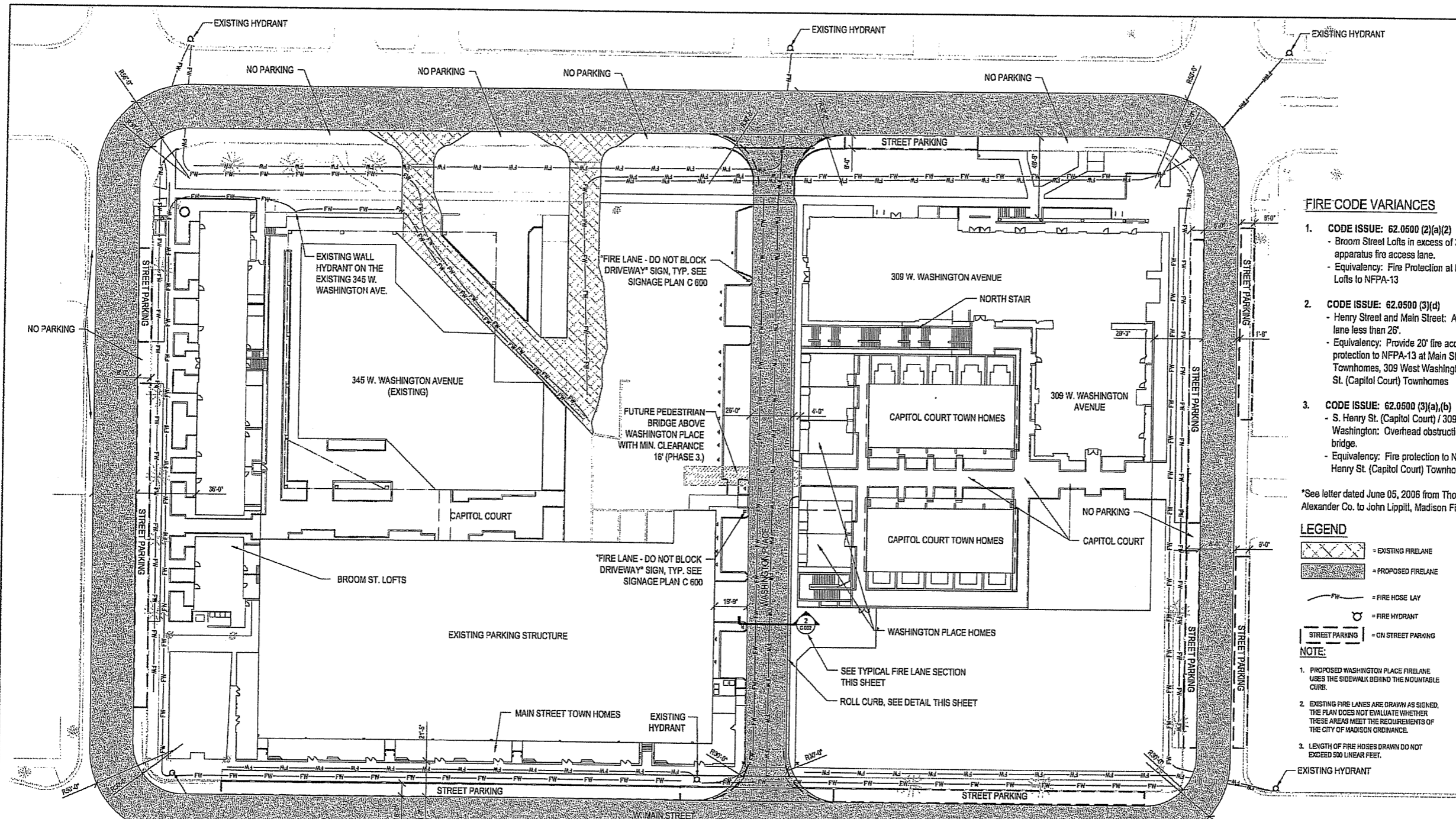


DRAWING TITLE
FIRE ACCESS PLAN

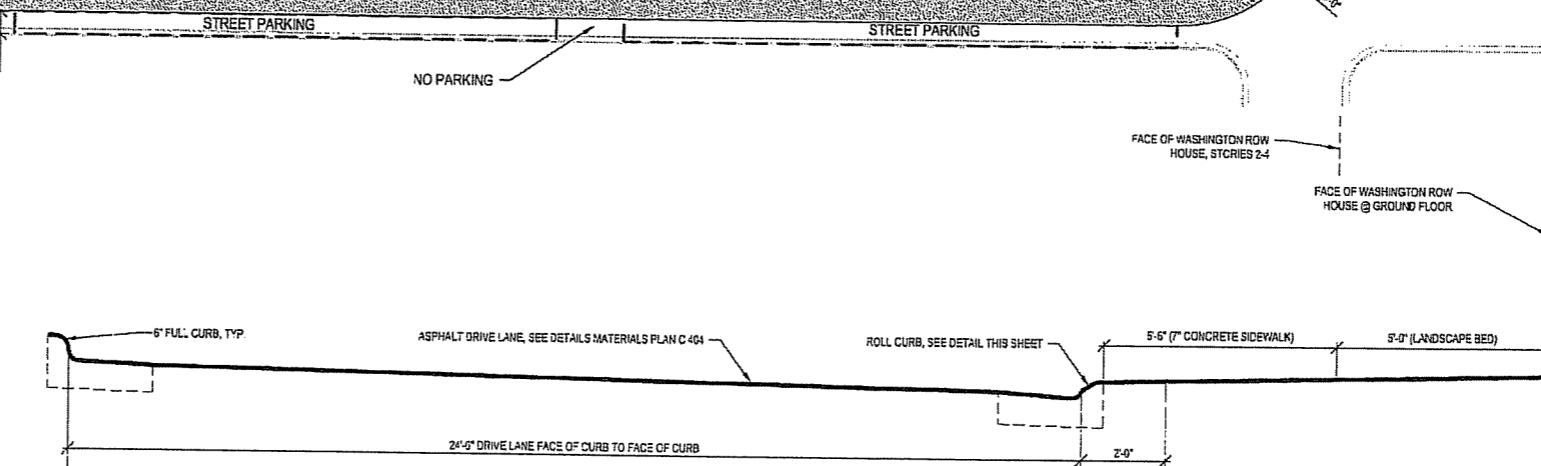
SCALE: 1" = 30'

PROJECT NUMBER: 24589.000

DRAWING NUMBER: **C 002**



1 4" ROLL CURB AND GUTTER - CITY OF MADISON TYPE 'A' STANDARD ROLL CURB
SCALE: 1" = 1'-0"



2 FIRELANE SECTION
SCALE: 1" = 2'-0"

FILE: P:\V\24589\24589_C002.dwg DATE: 06/21/06 11:20:10 AM

**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
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JJR landscape architecture
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environmental science
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608.251.6147 F
www.jjr-us.com

- NOTES:**
1. TOPOGRAPHIC AND UTILITY SURVEY WAS PERFORMED BY WILLIAMSON SURVEY IN JULY 2004.
 2. THIS SURVEY IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. ENGINEER DOES NOT GUARANTEE ACCURACY, QUALITY OR COMPLETENESS OF INFORMATION PROVIDED. FIELD VERIFY ALL CONDITIONS.
 3. ELEVATIONS FOR THIS SURVEY AND MAP ARE BASED ON CITY OF MADISON VERTICAL DATUM OF 1988 (MADVER).
 4. HORIZONTAL COORDINATE SYSTEM IS STATE PLANE NAD 27.
 5. CONTOUR INTERVAL IS ONE FOOT.
 6. SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SUPERFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS, REFERENCING UTILITY RECORDS AND MAPS, AND INSPECTING AS-BUILT DRAWINGS OF EXISTING ON-SITE BUILDINGS.
 7. CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE AND APPROPRIATE UTILITY COMPANIES TO FIELD VERIFY UTILITIES PRIOR TO ANY CONSTRUCTION.

ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
50% DD REVIEW & ESTIMATE SET		01/04/2006
MAIN ST. UTIL. TO CITY		02/07/2006
CITY REVIEW SET		02/22/2006
100% CLIENT/CONT. REVIEW SET		03/22/2006
FINAL DOCS. 027/SP SUBMITTAL		05/14/2006
SIP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN



PROJECT NORTH

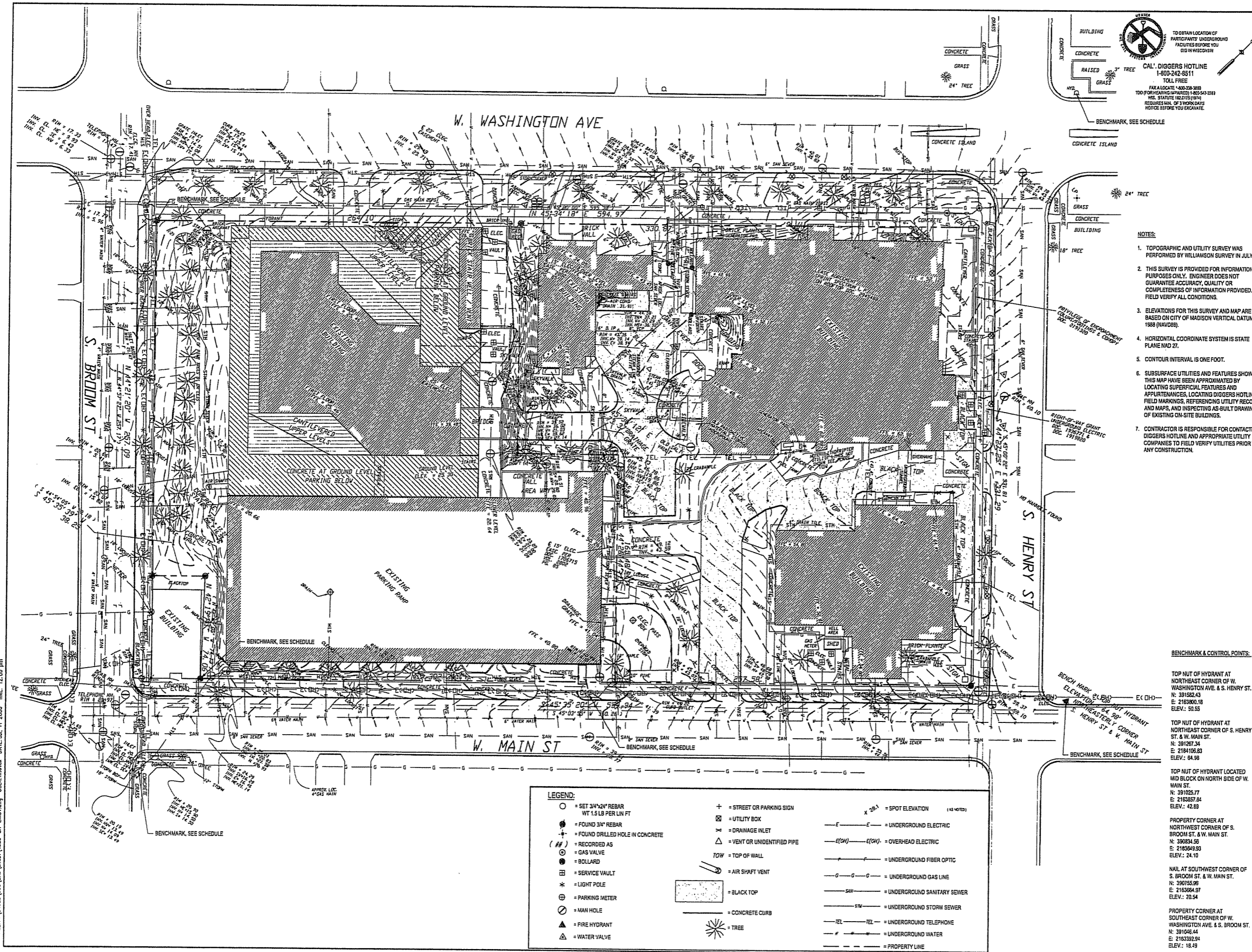
DRAWING TITLE
EXISTING CONDITIONS

SCALE IN FEET
0 15' 30' 50'
SCALE 1" = 30'

SCALE 24589.000

PROJECT NUMBER
C 110

DRAWING NUMBER



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**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
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100% CLIENT/CONT. REVIEW SET		03/22/2006
FINAL DOCS. QSP/SIP SUBMITTAL		06/14/2006
SIP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN  PROJECT NORTH

DRAWING TITLE
**EROSION CONTROL AND
SITE ACCESS PLAN**

SCALE
0 15' 30' 60'
SCALE IN FEET
SCALE 1" = 30'

PROJECT NUMBER
24589.000

DRAWING NUMBER
C 111

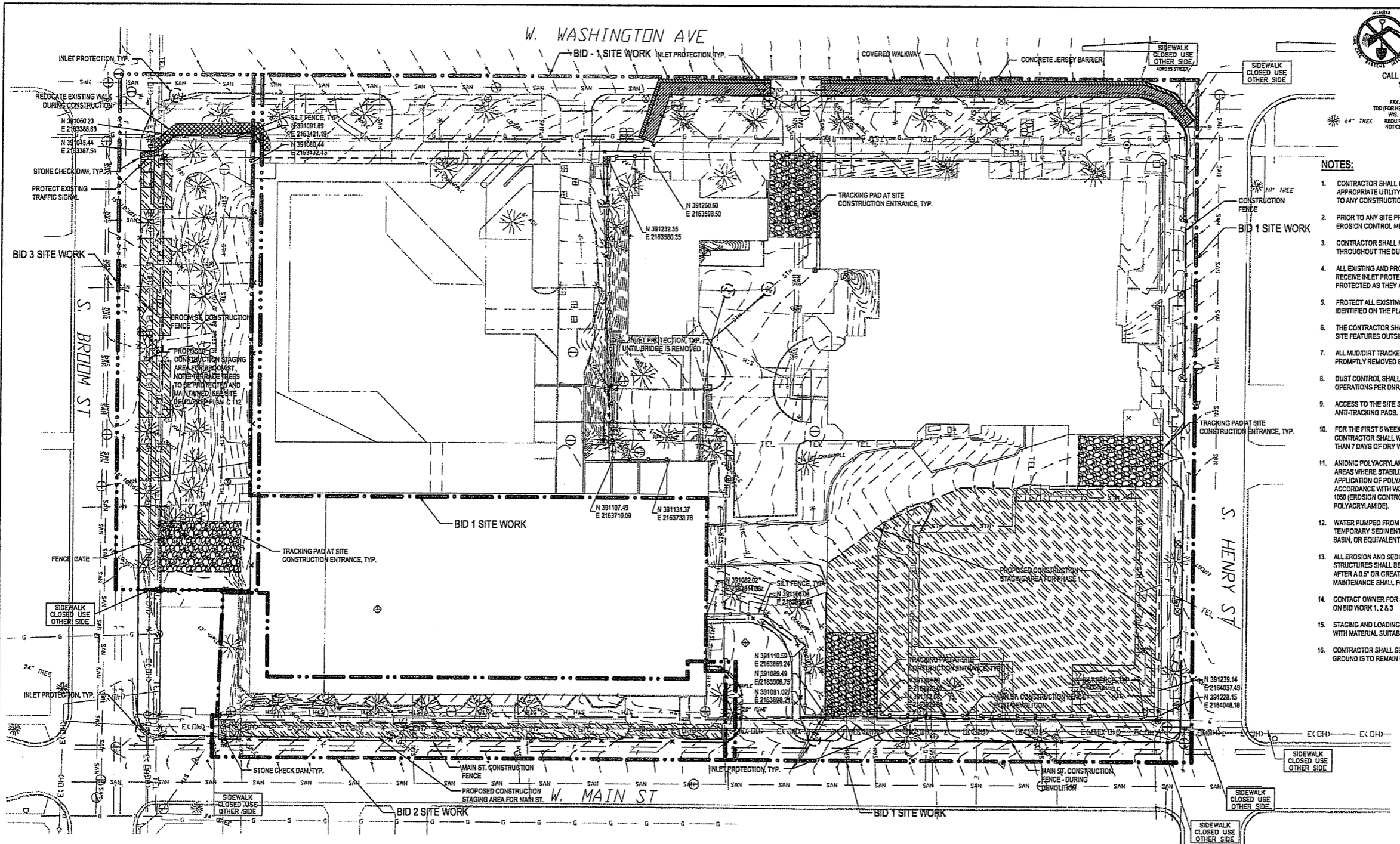


TO OBTAIN LOCATION OF PARTICIPATING UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
FAX A LOCATE 1-800-258-3889
TDD (FOR HEARING IMPAIRED) 1-800-943-2218
WIS. STATUTE 182.015 (1871)
REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

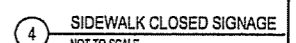
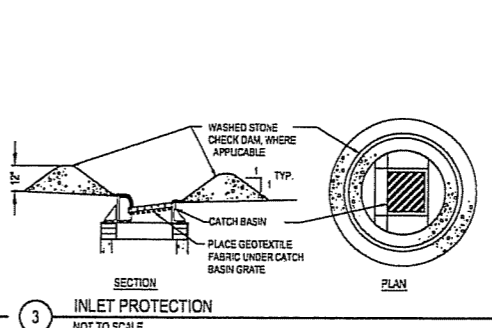
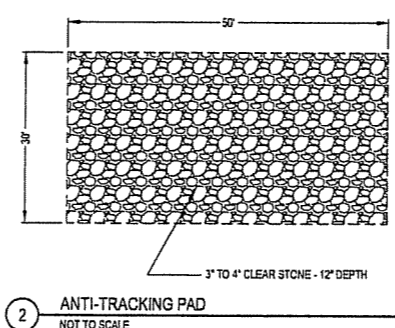
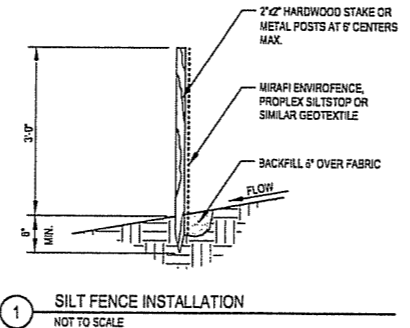
- NOTES:**
- CONTRACTOR SHALL CONTACT DIGGERS HOTLINE AND APPROPRIATE UTILITY COMPANIES TO FIELD VERIFY UTILITIES PRIOR TO ANY CONSTRUCTION.
 - PRIOR TO ANY SITE PREPARATION OR CONSTRUCTION ACTIVITY ALL EROSION CONTROL MEASURES SHALL BE INSTALLED.
 - CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITY.
 - ALL EXISTING AND PROPOSED INLETS AND CATCHBASINS SHALL RECEIVE INLET PROTECTION. PROPOSED INLETS SHALL BE PROTECTED AS THEY ARE INSTALLED.
 - PROTECT ALL EXISTING FEATURES FROM DAMAGE UNLESS IDENTIFIED ON THE PLANS TO BE REMOVED.
 - THE CONTRACTOR SHALL NOT CONDUCT ANY WORK OR DISTURB SITE FEATURES OUTSIDE THE LIMITS OF WORK.
 - ALL MUDDIRT TRACKED ONTO ADJACENT ROADWAYS SHALL BE PROMPTLY REMOVED BY CONTRACTOR.
 - DUST CONTROL SHALL BE MAINTAINED DURING CONSTRUCTION OPERATIONS PER DNR TECHNICAL STANDARDS.
 - ACCESS TO THE SITE SHALL OCCUR ONLY AT LOCATIONS OF ANTI-TRACKING PADS.
 - FOR THE FIRST 6 WEEKS AFTER INITIAL STABILIZATION, CONTRACTOR SHALL WATER PLANTED MATERIAL WHENEVER MORE THAN 7 DAYS OF DRY WEATHER ELAPSES OR AS NECESSARY.
 - ANIONIC POLYACRYLAMIDE SHALL BE APPLIED TO ALL DISTURBED AREAS WHERE STABILIZATION OR EROSION IS PROBLEMATIC. APPLICATION OF POLYACRYLAMIDE SHALL BE PERFORMED IN ACCORDANCE WITH WORK CONSERVATION PRACTICE STANDARD 1650 (EROSION CONTROL, LAND APPLICATION OF ANIONIC POLYACRYLAMIDE).
 - WATER PUMPED FROM THE SITE SHALL BE TREATED BY USING A TEMPORARY SEDIMENTATION BASIN, PORTABLE DEWATERING BASIN, OR EQUIVALENT AS APPROVED BY THE CITY OF MADISON.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES AND STRUCTURES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER A 0.5" OR GREATER RAINFALL EVENT. ALL NECESSARY MAINTENANCE SHALL FOLLOW WITHIN 24 HOURS OF INSPECTION.
 - CONTACT OWNER FOR CONTACT INFORMATION FOR CONTRACTORS ON BID WORK 1, 2 & 3.
 - STAGING AND LOADING AREAS SHALL BE TEMPORARILY STABILIZED WITH MATERIAL SUITABLE FOR LARGE TRUCK OPERATION.
 - CONTRACTOR SHALL SEED AND MULCH CONSTRUCTION AREA IF GROUND IS TO REMAIN UNDISTURBED FOR MORE THAN 7 DAYS.

- TRUCK ROUTE:**
- ALL TRUCKS SHALL ACCESS THE SITE TRAVELING EAST ON WEST WASHINGTON AVENUE.
 - ALL TRUCKS SHALL EXIT THE SITE TRAVELING WEST ON WEST WASHINGTON AVENUE VIA THE TRAFFIC LIGHT ON BROOM STREET.

**SIDEWALK
CLOSED USE
OTHER SIDE**



- EXISTING CONDITIONS LEGEND:**
- = SET 3/4"x24" REBAR WT 1.5 LB PER LIN FT
 - = FOUND 3/4" REBAR
 - ⊕ = FOUND DRILLED HOLE IN CONCRETE
 - (##) = RECORDED AS
 - ⊙ = GAS VALVE
 - ⊙ = BOLLARD
 - ⊕ = SERVICE VAULT
 - * = LIGHT POLE
 - ⊙ = PARKING METER
 - ⊙ = MAN HOLE
 - ▲ = FIRE HYDRANT
 - △ = WATER VALVE
 - + = STREET OR PARKING SIGN
 - ⊕ = UTILITY BOX
 - ⊕ = DRAINAGE INLET
 - △ = VENT OR UNIDENTIFIED PIPE
 - TOW = TOP OF WALL
 - ⊕ = AIR SHAFT VENT
- PROPOSED LEGEND:**
- = CONCRETE CURB
 - ⊙ = EXISTING TREE
 - ⊙ = SPOT ELEVATION (AS NOTED)
 - E — E — = UNDERGROUND ELECTRIC
 - E(OH) — = OVERHEAD ELECTRIC
 - G — G — = UNDERGROUND FIBER OPTIC
 - G — G — = UNDERGROUND GAS LINE
 - SAN — = UNDERGROUND SANITARY SEWER
 - STM — = UNDERGROUND STORM SEWER
 - T — T — = UNDERGROUND TELEPHONE
 - W — W — = UNDERGROUND WATER
 - = BID 1 - LIMIT OF WORK
 - = BID 2 - LIMIT OF WORK
 - = BID 3 - LIMIT OF WORK
 - = SILT FENCE
 - ▨ = TRACKING PAD
 - ▨ = RELOCATED WALK DURING CONSTRUCTION
 - ▨ = CONSTRUCTION STAGING
 - ▨ = COVERED SIDEWALK
 - ▨ = CONCRETE JERSEY BARRIER
 - ⊕ = INLET PROTECTION
 - ⊕ = STONE CHECK DAM
 - = CONSTRUCTION FENCE



FILE: P:\24589\WORK\CD\sheet\C111-EROS.dwg USER: mrvotk DATE: Jul 11 2006 TIME: 12:00 pm

**CAPITOL WEST
PHASE 1
BLOCK 51 - MADISON, WI**

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR
landscape architecture
urban design
civil engineering
environmental science
JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com

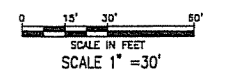
ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
SDR DD REVIEW & ESTIMATE SET		01/04/2006
MAIN ST. UTIL. TO CITY		02/07/2006
CITY REVIEW SET		02/22/2006
100% CLIENT/CONT. REVIEW SET		03/22/2006
FINAL DOCS. GPP/SP SUBMITTAL		06/14/2006
SIP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN



DRAWING TITLE
**SITE DEMOLITION AND
PREPARATION PLAN**



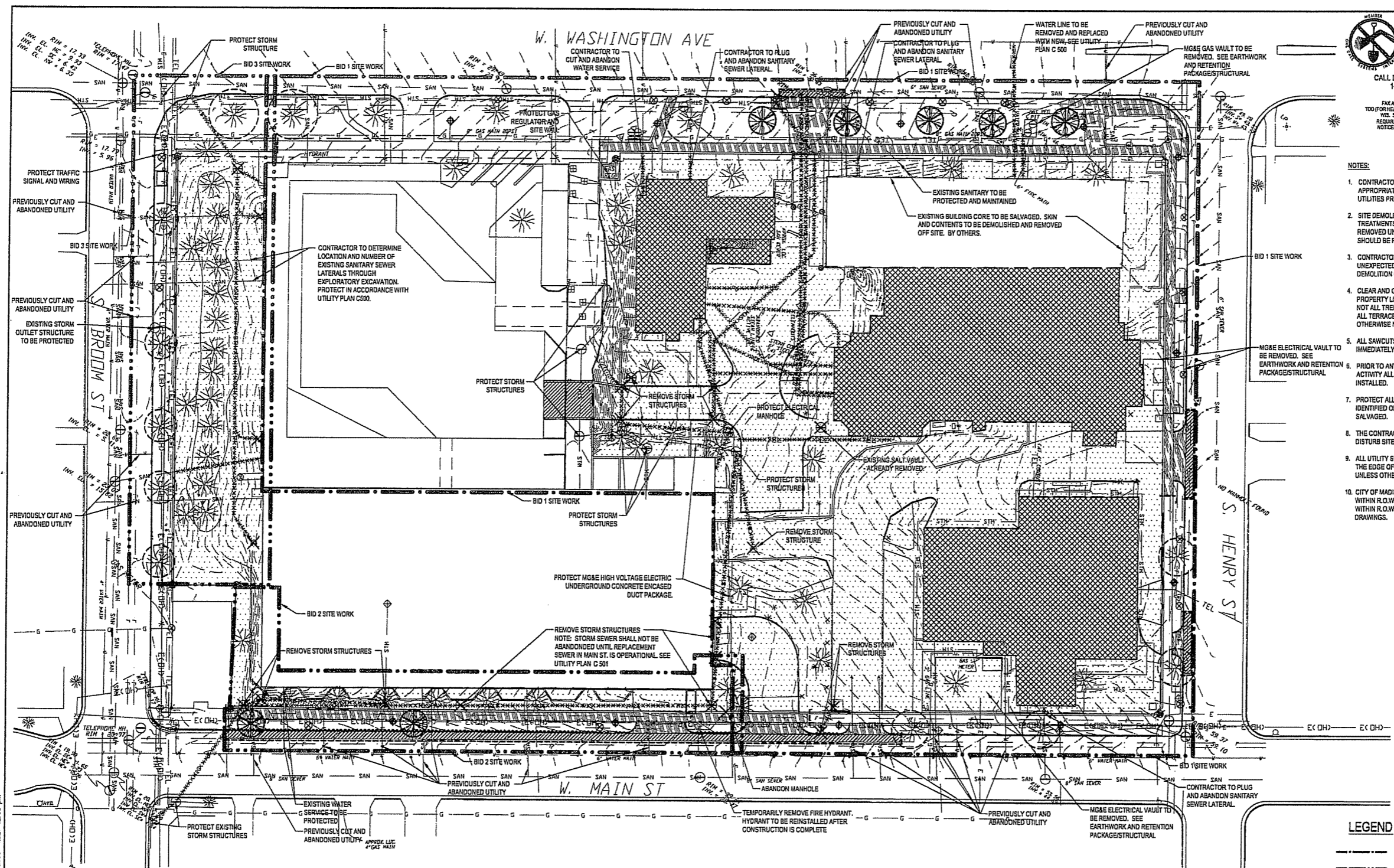
SCALE 24589.000

PROJECT NUMBER
C 112
DRAWING NUMBER

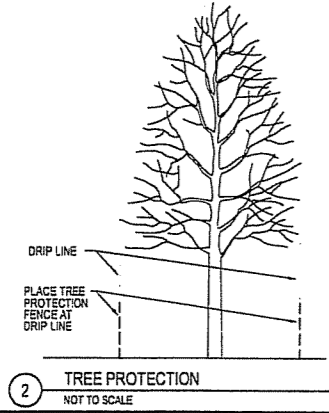
TO OBTAIN LOCATION OF PARTICIPATING UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-5511
TOLL FREE
FAX LOCATE 1-800-238-3830
100 (FOR HEARING IMPAIRED) 1-800-542-2283
WIS. STATUTE 182.1515 (10M)
REQUIRES USE OF 3 WORKDAYS NOTICE BEFORE YOU EXCAVATE.

- NOTES:**
- CONTRACTOR SHALL CONTACT DIGGERS HOTLINE AND APPROPRIATE UTILITY COMPANIES TO FIELD VERIFY UTILITIES PRIOR TO ANY CONSTRUCTION.
 - SITE DEMOLITION:** ALL SITE WALLS, CURBS, SURFACE TREATMENTS, VEGETATION AND UTILITIES SHALL BE REMOVED UNLESS OTHERWISE NOTED. CONTRACTOR SHOULD BE FAMILIAR WITH SITE PRIOR TO BIDDING.
 - CONTRACTOR TO NOTIFY ENGINEER UPON DISCOVERY OF UNEXPECTED UNDERGROUND UTILITIES PRIOR TO DEMOLITION OF THAT UTILITY.
 - CLEAR AND GRUB ALL TREES AND SHRUBS WITHIN PROPERTY LINE UNLESS INDICATED TO BE PROTECTED. NOT ALL TREES AND SHRUBS ARE SHOWN ON THE PLAN. ALL TERRACE TREES TO BE PROTECTED UNLESS OTHERWISE NOTED.
 - ALL SAWCUTS SHALL BE CUT AT NEAREST JOINT IMMEDIATELY BEYOND LIMIT OF WORK.
 - PRIOR TO ANY SITE PREPARATION OR CONSTRUCTION ACTIVITY ALL EROSION CONTROL MEASURES SHALL BE INSTALLED.
 - PROTECT ALL EXISTING FEATURES FROM DAMAGE UNLESS IDENTIFIED ON THE PLANS TO BE REMOVED AND NOT SALVAGED.
 - THE CONTRACTOR SHALL NOT CONDUCT ANY WORK OR DISTURB SITE FEATURES OUTSIDE THE LIMITS OF WORK.
 - ALL UTILITY SERVICES ABANDONED SHALL BE REMOVED TO THE EDGE OF PUBLIC RIGHT-OF-WAY AND PLUGGED, UNLESS OTHERWISE NOTED.
 - CITY OF MADISON ENGINEERING TO DESIGN ALL WORK WITHIN R.O.W. CONTRACTOR SHALL VERIFY ALL REMOVALS WITHIN R.O.W. WITH CITY OF MADISON ENGINEERING DRAWINGS.

- LEGEND**
- BID 1 - LIMIT OF WORK
 - BID 2 - LIMIT OF WORK
 - BID 3 - LIMIT OF WORK
 - SAWCUT
 - CURB AND GUTTER REMOVAL
 - STRUCTURE DEMOLITION
 - FOUNDATION REMOVAL
 - ASPHALT PAVEMENT REMOVAL
 - SITE DEMOLITION: SEE NOTES
 - CONCRETE REMOVAL
 - UTILITY LINE AND STRUCTURE REMOVAL OR ABANDONMENT (BURIED & OVERHEAD)
 - SALVAGE AND REMOVE LIGHT-POWER POLES AND FOOTINGS. RETURN TO CITY OF MADISON.
 - SIGNS TO BE SALVAGED AND REMOVED, RETURN TO CITY OF MADISON
 - TREE TO BE REMOVED
 - TREES TO BE PROTECTED



1 SITE DEMOLITION AND PREPARATION PLAN
SCALE 1" = 30'



2 TREE PROTECTION
NOT TO SCALE

FILE P: \41650\3000\CD\Sheet\458B-SI-DEM.dwg USER: mmw DATE: Jul 11 2006 TIME: 12:00 pm

CAPITOL WEST PHASE 1

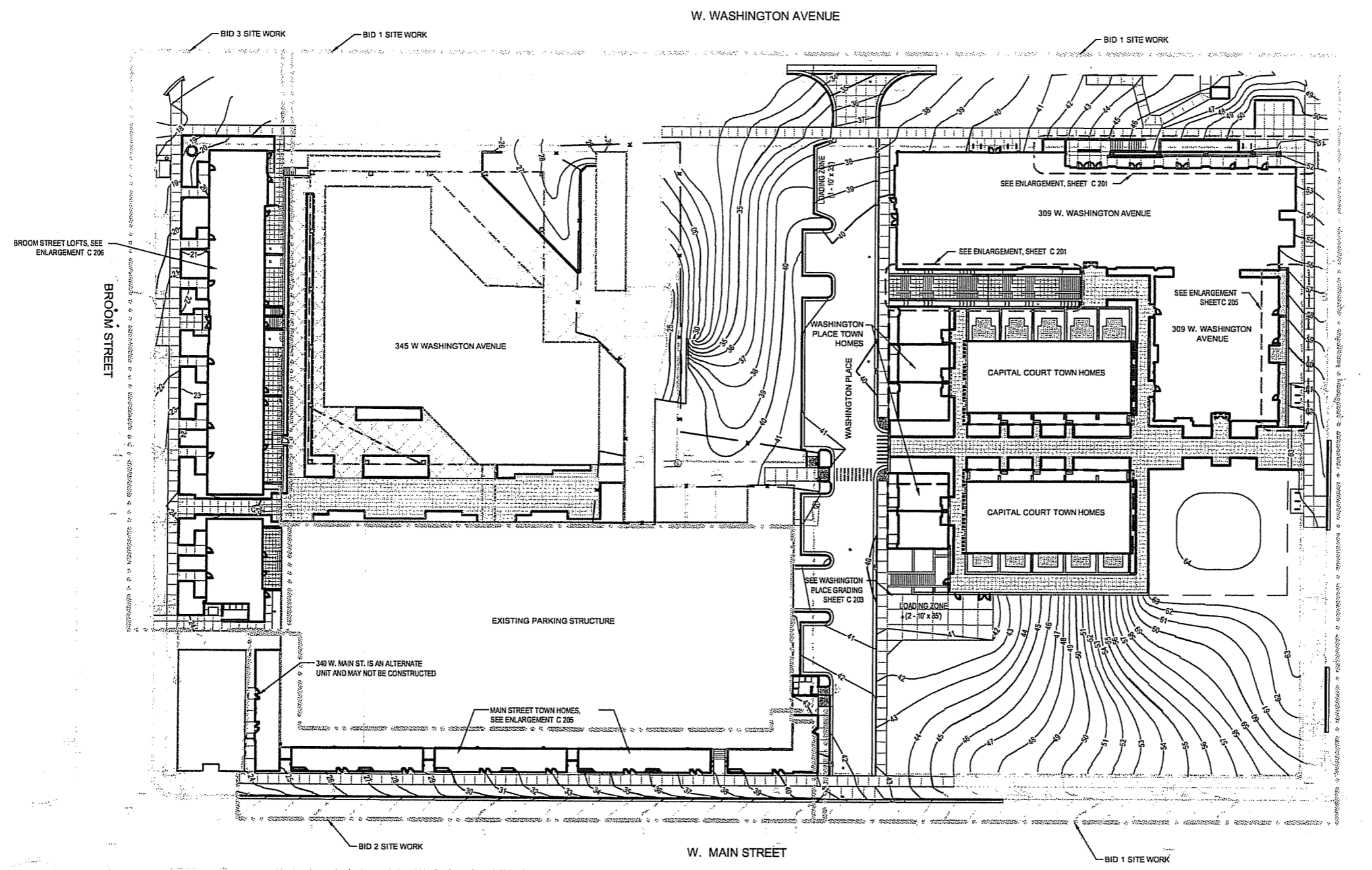
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR landscape architecture
planning urban design civil engineering environmental science
JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com

ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
SOX DO REVIEW & ESTIMATE SET		01/04/2006
MAIN ST. UTIL. TO CITY		02/07/2006
CITY REVIEW SET		02/22/2006
100% CLIENT/COMM. REVIEW SET		03/22/2006
FINAL DOCS. COP/SP SUBMITTAL		06/14/2006
SP ALTERATION		07/12/2006

SEALS AND SIGNATURES

















NOTES

1. APPROVAL OF SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY.

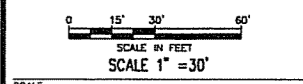


TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE 1-800-242-8511 TOLL FREE
FAX A LOCATE 1-800-336-3860
TDD (FOR HEARING IMPAIRED) 1-800-542-2289
WIS. STATUTE 182.315 (10/04)
REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

LEGEND

-  BID 1 - LIMIT OF WORK
-  BID 2 - LIMIT OF WORK
-  BID 3 - LIMIT OF WORK
-  PROPOSED MAJOR CONTOUR
-  PROPOSED MINOR CONTOUR
-  EXISTING MAJOR CONTOUR
-  EXISTING MINOR CONTOUR
-  PR. WATER VALVE
-  FIRE HYDRANT
-  PR. MANHOLE
-  PR. STORM INLET/CATCH BASIN
-  PR. PLANTER DRAIN (PD)
-  PR. FLOOR DRAIN (FD)
-  PR. CLEAN OUT/DROP CLEAN OUT
- PR. TRENCH DRAIN
- PROPERTY LINE

DRAWING TITLE
SITE GRADING - Overall



SCALE 24589.000

PROJECT NUMBER

DRAWING NUMBER
C 200

**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR Landscape Architecture
planning
urban design
civil engineering
environmental science
JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com

ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL	12/01/2005	
SOS DD REVIEW & ESTIMATE SET	01/04/2006	
MAIN ST. UTIL. TO CITY	02/07/2006	
CITY REVIEW SET	02/22/2006	
100% CLIENT/CONTR. REVIEW SET	03/22/2006	
FINAL DOCS. CON/SP SUBMITTAL	06/14/2006	
SP ALTERATION	07/12/2006	

SEALS AND SIGNATURES

KEY PLAN



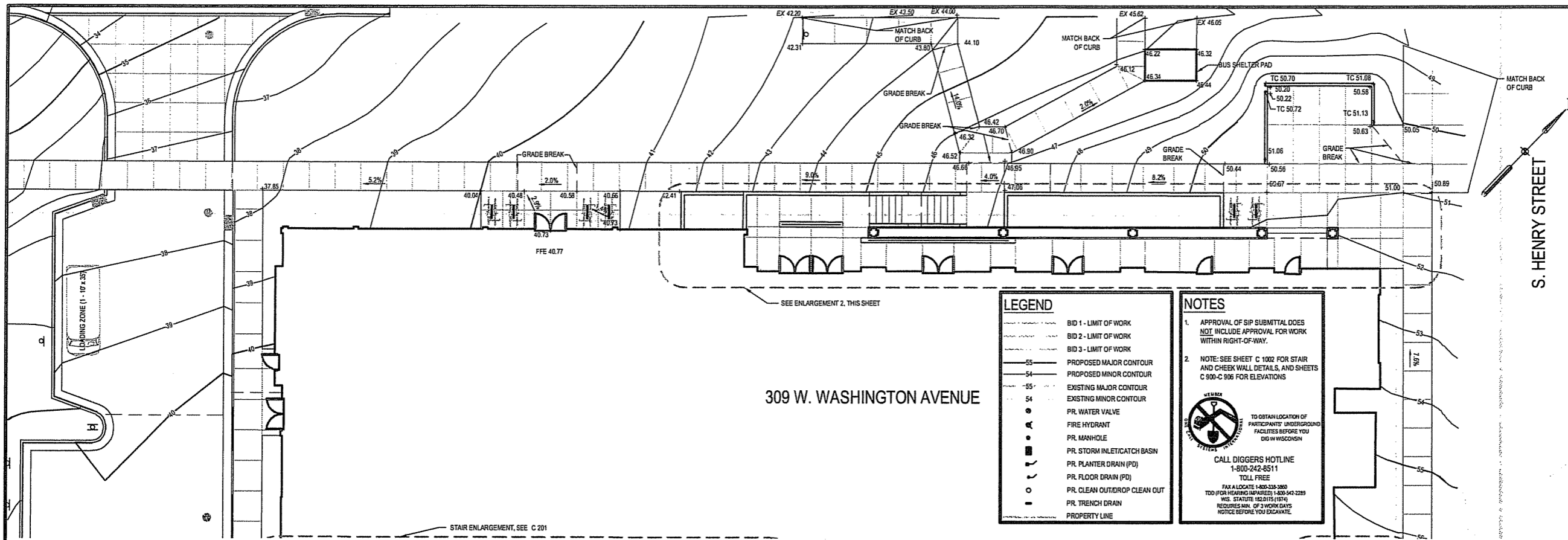
DRAWING TITLE
**SITE GRADING - 309 West
Washington Avenue - Arcade -
North Stair**

SCALE AS INDICATED
SCALE 24589.000

PROJECT NUMBER

C 201

DRAWING NUMBER



LEGEND

- BID 1 - LIMIT OF WORK
- BID 2 - LIMIT OF WORK
- BID 3 - LIMIT OF WORK
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PR. WATER VALVE
- FIRE HYDRANT
- PR. MANHOLE
- PR. STORM INLET/CATCH BASIN
- PR. PLANTER DRAIN (PD)
- PR. FLOOR DRAIN (FD)
- PR. CLEAN OUT/DROP CLEAN OUT
- PR. TRENCH DRAIN
- PROPERTY LINE

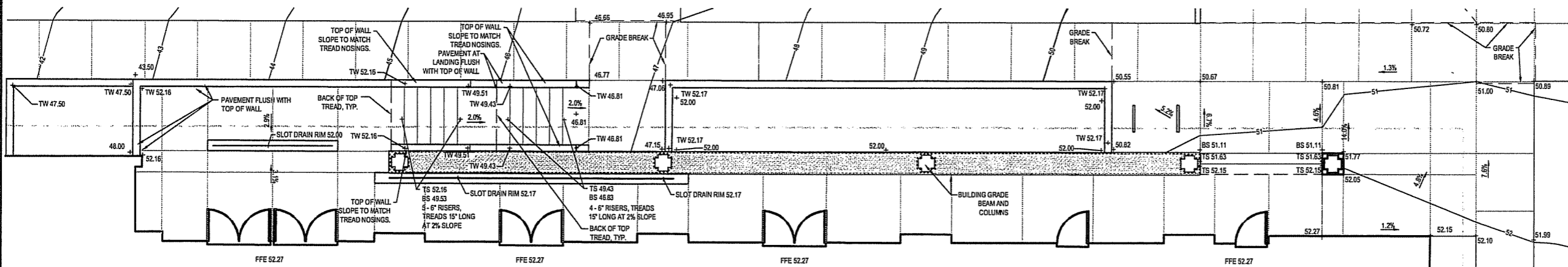
NOTES

- APPROVAL OF SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY.
- NOTE: SEE SHEET C 1002 FOR STAIR AND CHEEK WALL DETAILS, AND SHEETS C 900-C 906 FOR ELEVATIONS.

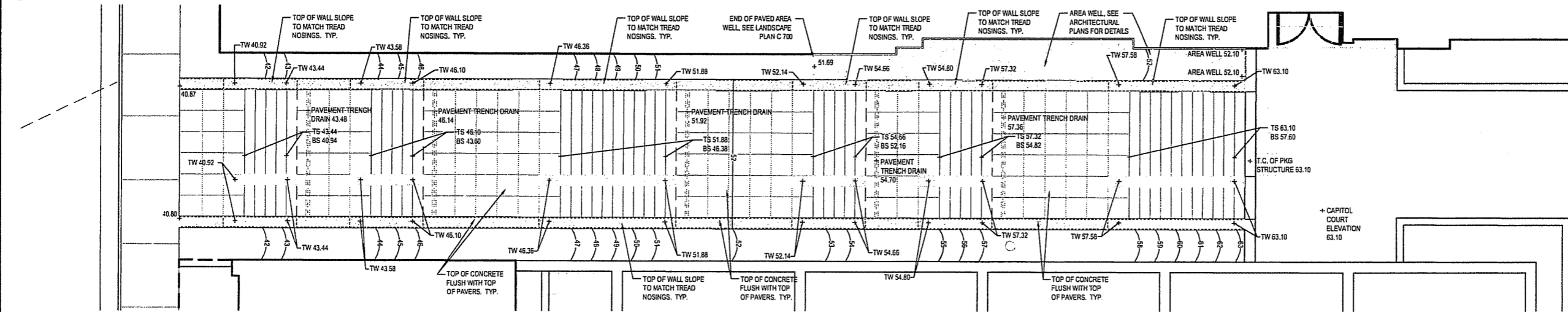
TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
FAX ALLOCATE 1-800-338-3860
TDD (FOR HEARING IMPAIRED) 1-800-343-2293
WIS. STATUTE 18.2015 (1974)
REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

309 W. WASHINGTON AVENUE

1 309 W. WASHINGTON AVE. SITE GRADING
SCALE 1" = 10'



2 309 W. WASHINGTON AVE. - ARCADE ENLARGEMENT
SCALE 1" = 5'



3 NORTH STAIR - ENLARGEMENT
SCALE 1" = 5'

FILE: P:\PROJECTS\2005\CAD\sheet\1359-309-2005.dwg USER: mrvaca DATE: Aug. 01 2006 TIME: 04:46 pm

**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR landscape architecture
grading
urban design
civil engineering
environmental science
JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com

ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
50% DD REVIEW & ESTIMATE SET		01/04/2006
MAIN ST. UTIL. TO CITY		02/07/2006
CITY REVIEW SET		02/22/2006
100% CLIENT/CONT. REVIEW SET		03/22/2006
FINAL DOCS. GUP/SIP SUBMITTAL		06/14/2006
SIP ALTERATION		07/12/2006

SEALS AND SIGNATURES

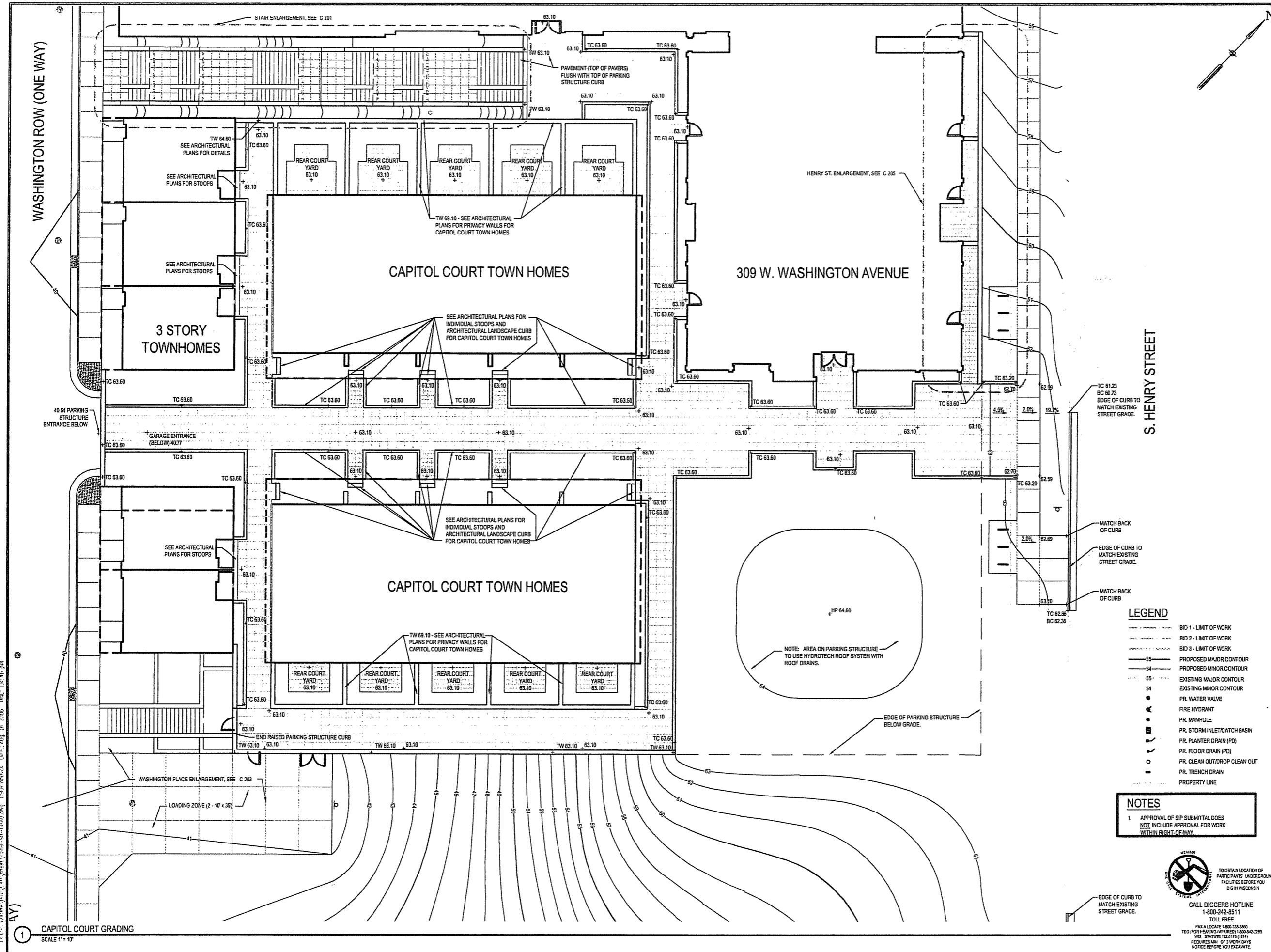
KEY PLAN 

DRAWING TITLE
**SITE GRADING - Capitol
Court**

SCALE
0 5' 10' 20'
SCALE IN FEET
SCALE 1" = 10'

PROJECT NUMBER
24589.000

DRAWING NUMBER
C 202



P:\C-1\24589\000\Drawings\Sheet\Site\Site\Grading.dwg 1:50 PAPER: 11/14/06 TIME: 10:46:46 pm
 1

CAPITOL COURT GRADING
SCALE 1" = 10'


 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
 CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE
 FAX A LOCATE 1-800-338-3860
 TOD (FOR HEAVY IMPACTS) 1-800-542-2299
 WIS STATUTE 92.0175 (9/74)
 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

**CAPITOL WEST
PHASE 1
BLOCK 51 - MADISON, WI**

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR landscape architecture
planning urban design civil engineering environmental science
JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com

ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
50% DD REVIEW & ESTIMATE SET		01/04/2006
MAIN ST. UTIL. TO CITY		02/07/2006
CITY REVIEW SET		02/22/2006
100% CLIENT/CONT. REVIEW SET		03/22/2006
FINAL DOCS. GPP/SP SUBMITTAL		06/14/2006
SP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN  PROJECT NORTH

DRAWING TITLE
**SITE GRADING - Washington
Place**

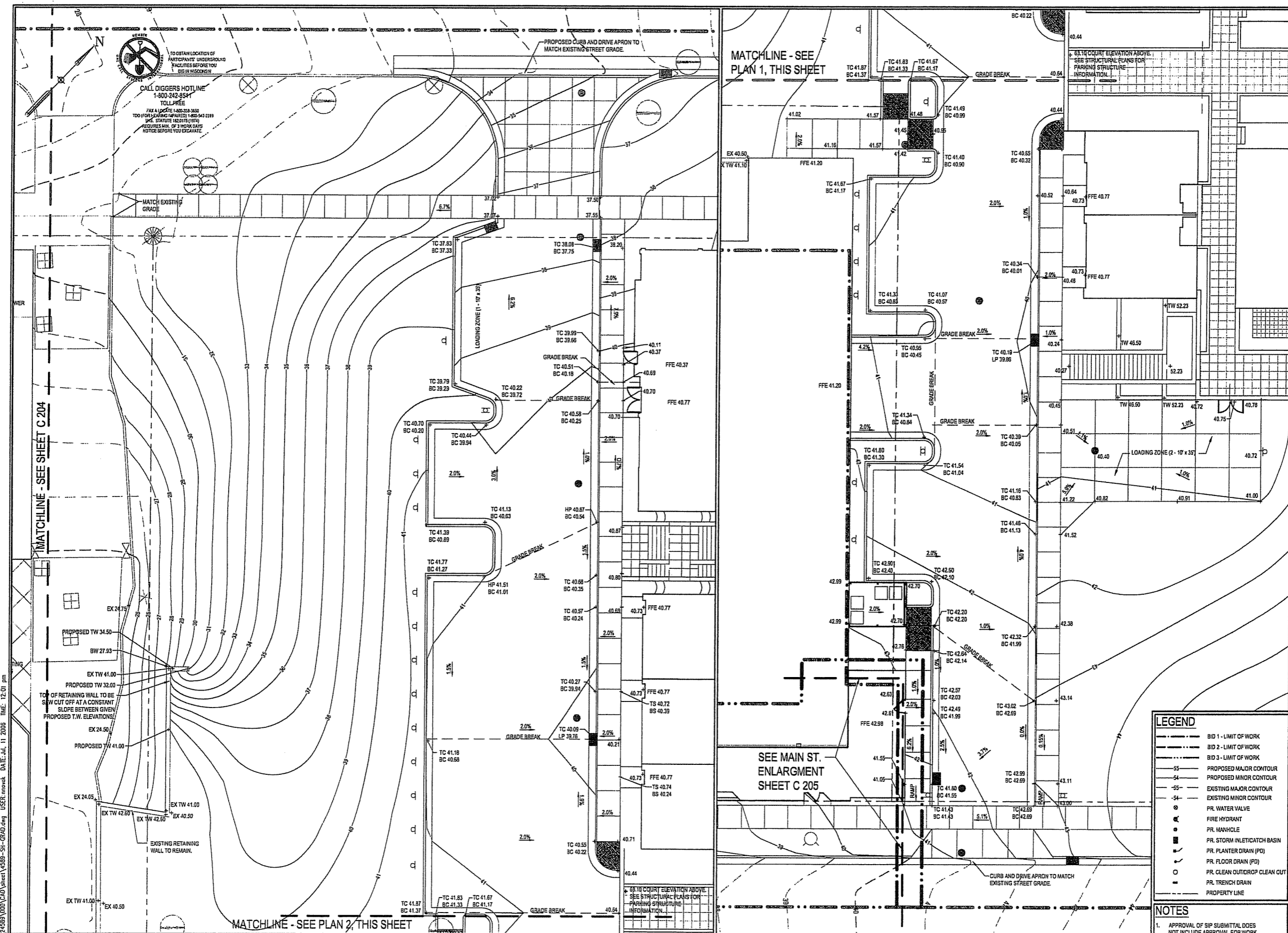
SCALE 1" = 10'

SCALE 24589.000

PROJECT NUMBER

C 203

DRAWING NUMBER



LEGEND

- BID 1 - LIMIT OF WORK
- BID 2 - LIMIT OF WORK
- BID 3 - LIMIT OF WORK
- - - - - PROPOSED MAJOR CONTOUR
- - - - - PROPOSED MINOR CONTOUR
- - - - - EXISTING MAJOR CONTOUR
- - - - - EXISTING MINOR CONTOUR
- PR. WATER VALVE
- PR. FIRE HYDRANT
- PR. MANHOLE
- PR. STORM INLET/CATCH BASIN
- PR. PLANTER DRAIN (PD)
- PR. FLOOR DRAIN (FD)
- PR. CLEAN OUT/DROP CLEAN CUT
- PR. TRENCH DRAIN
- PROPERTY LINE

NOTES

- APPROVAL OF SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY.

FILE: P:\4589\000\CAD\sheet\4589-SH-CRAD.dwg USER: mnovak DATE: Jul, 11 2006 TIME: 12:01 pm

1 WASHINGTON PLACE SITE GRADING - NORTH
SCALE 1" = 10'

2 WASHINGTON PLACE SITE GRADING - SOUTH
SCALE 1" = 10'

**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR landscape architecture
planning
urban design
civil engineering
environmental science
JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com

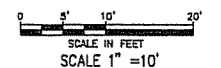
ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL	12	01/2006
S&M DO REVIEW & ESTIMATE SET	01	04/2006
MAIN ST. UTIL. TO CITY	02	07/2006
CITY REVIEW SET	02	22/2006
100% CLIENT/CONT. REVIEW SET	03	22/2006
FINAL DOCS. GRP/SIP SUBMITTAL	05	11/2006
SIP ALTERATION	07	12/2006

SEALS AND SIGNATURES

KEY PLAN



DRAWING TITLE
**SITE GRADING - 345 West
Washington Avenue**

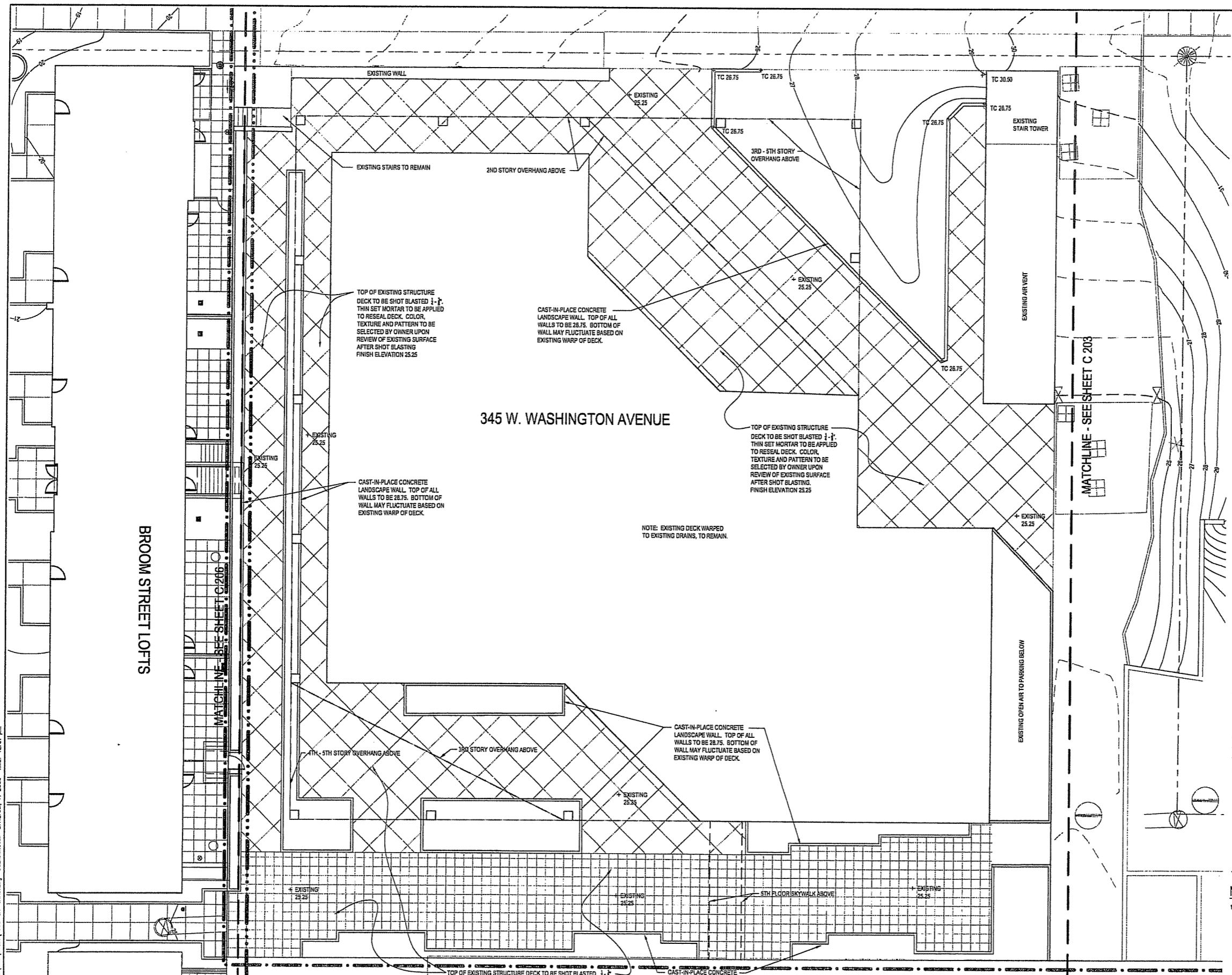


SCALE 24589.000

PROJECT NUMBER

C 204

DRAWING NUMBER



345 W. WASHINGTON AVENUE

BROOM STREET LOFTS

EXISTING PARKING RAMP

TOP OF EXISTING STRUCTURE DECK TO BE SHOT BLASTED 1-1/2". THIN SET MORTAR TO BE APPLIED TO RESEAL DECK. COLOR, TEXTURE AND PATTERN TO BE SELECTED BY OWNER UPON REVIEW OF EXISTING SURFACE AFTER SHOT BLASTING. FINISH ELEVATION 25.25

CAST-IN-PLACE CONCRETE LANDSCAPE WALL. TOP OF ALL WALLS TO BE 28.75. BOTTOM OF WALL MAY FLUCTUATE BASED ON EXISTING WARP OF DECK.

CAST-IN-PLACE CONCRETE LANDSCAPE WALL. TOP OF ALL WALLS TO BE 28.75. BOTTOM OF WALL MAY FLUCTUATE BASED ON EXISTING WARP OF DECK.

TOP OF EXISTING STRUCTURE DECK TO BE SHOT BLASTED 1-1/2". THIN SET MORTAR TO BE APPLIED TO RESEAL DECK. COLOR, TEXTURE AND PATTERN TO BE SELECTED BY OWNER UPON REVIEW OF EXISTING SURFACE AFTER SHOT BLASTING. FINISH ELEVATION 25.25

NOTE: EXISTING DECK WARPED TO EXISTING DRAINS, TO REMAIN.

CAST-IN-PLACE CONCRETE LANDSCAPE WALL. TOP OF ALL WALLS TO BE 28.75. BOTTOM OF WALL MAY FLUCTUATE BASED ON EXISTING WARP OF DECK.

TOP OF EXISTING STRUCTURE DECK TO BE SHOT BLASTED 1-1/2". THIN SET MORTAR TO BE APPLIED TO RESEAL DECK. COLOR, TEXTURE AND PATTERN TO BE SELECTED BY OWNER UPON REVIEW OF EXISTING SURFACE AFTER SHOT BLASTING. FINISH ELEVATION 25.25

CAST-IN-PLACE CONCRETE LANDSCAPE WALL. TOP OF ALL WALLS TO BE 28.75. BOTTOM OF WALL MAY FLUCTUATE BASED ON EXISTING WARP OF DECK.

LEGEND

- BID 1 - LIMIT OF WORK
- BID 2 - LIMIT OF WORK
- BID 3 - LIMIT OF WORK
- 55--- PROPOSED MAJOR CONTOUR
- 54--- PROPOSED MINOR CONTOUR
- 55--- EXISTING MAJOR CONTOUR
- 54--- EXISTING MINOR CONTOUR
- PR WATER VALVE
- PR FIRE HYDRANT
- PR MANHOLE
- PR STORM INLET/CATCH BASIN
- PR PLANTER DRAIN (PD)
- PR FLOOR DRAIN (FD)
- PR CLEAN OUT/DROP CLEAN OUT
- PR TRENCH DRAIN
- PROPERTY LINE

NOTES

1. APPROVAL OF SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY.



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
*ASK A LOCATOR 1-800-338-2868
TDD (FOR HEARING IMPAIRED) 1-800-542-2228
WIS. STATUTE 18.315 (174)
REQUIRES 90% OF 1 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

FILE: P:\24589\300\CAD\sheet\4589-SIP-CRAD.dwg USER: rmoak DATE: Jul, 11 2006 TIME: 12:01 pm

345 W. WASHINGTON AVE. GRADING
SCALE 1" = 10'

**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR landscape architecture
planning urban design civil engineering environmental science
JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com

ISSUED FOR	REV	DATE
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SOX DD REVIEW & ESTIMATE SET	01/04/2006	
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CITY REVIEW SET	02/22/2006	
100% CLIENT/CONT. REVIEW SET	03/22/2006	
FINAL DOCS. COP/SP SUBMITTAL	05/14/2006	
SP ALTERATION	07/12/2006	

SEALS AND SIGNATURES

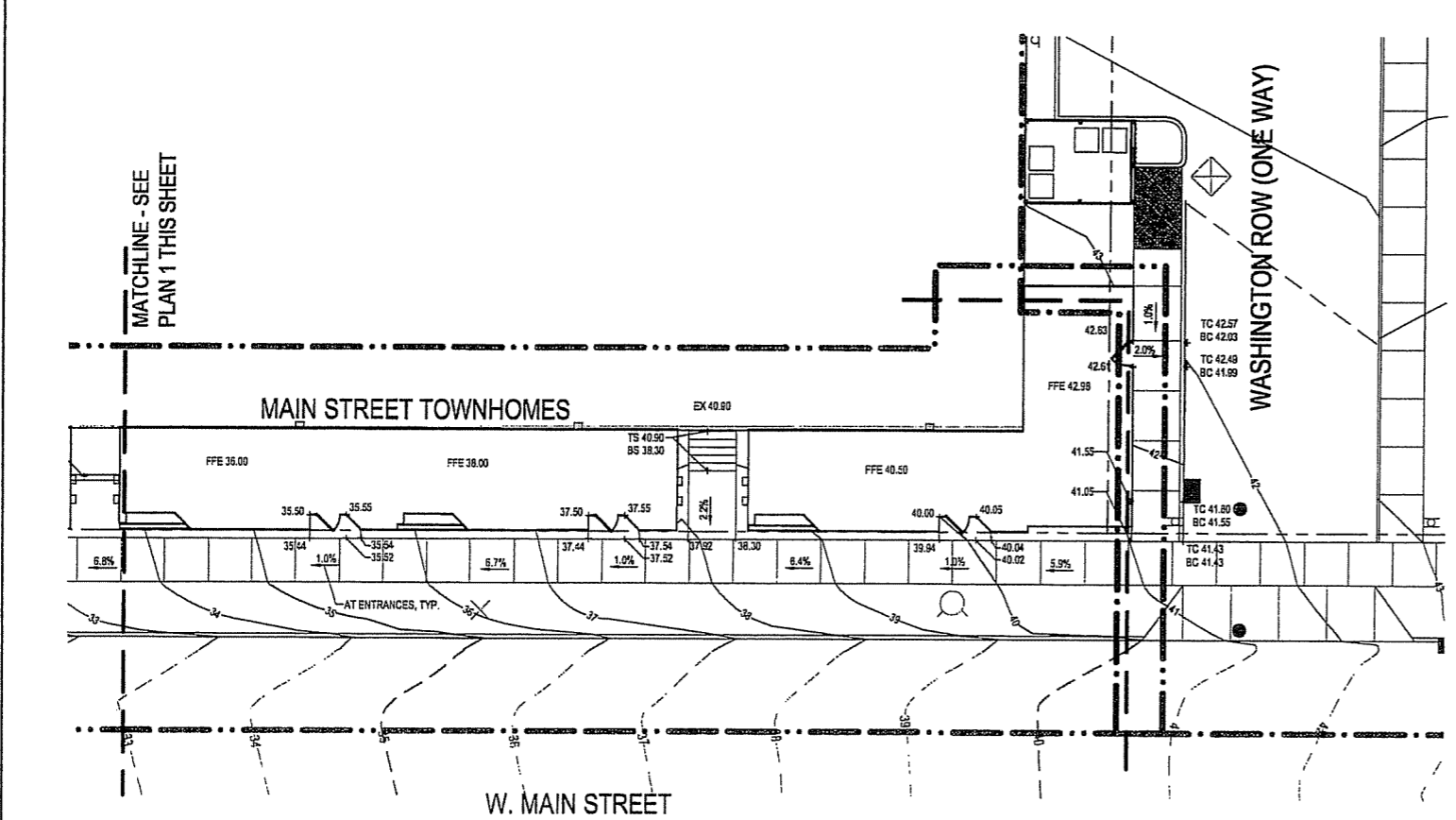
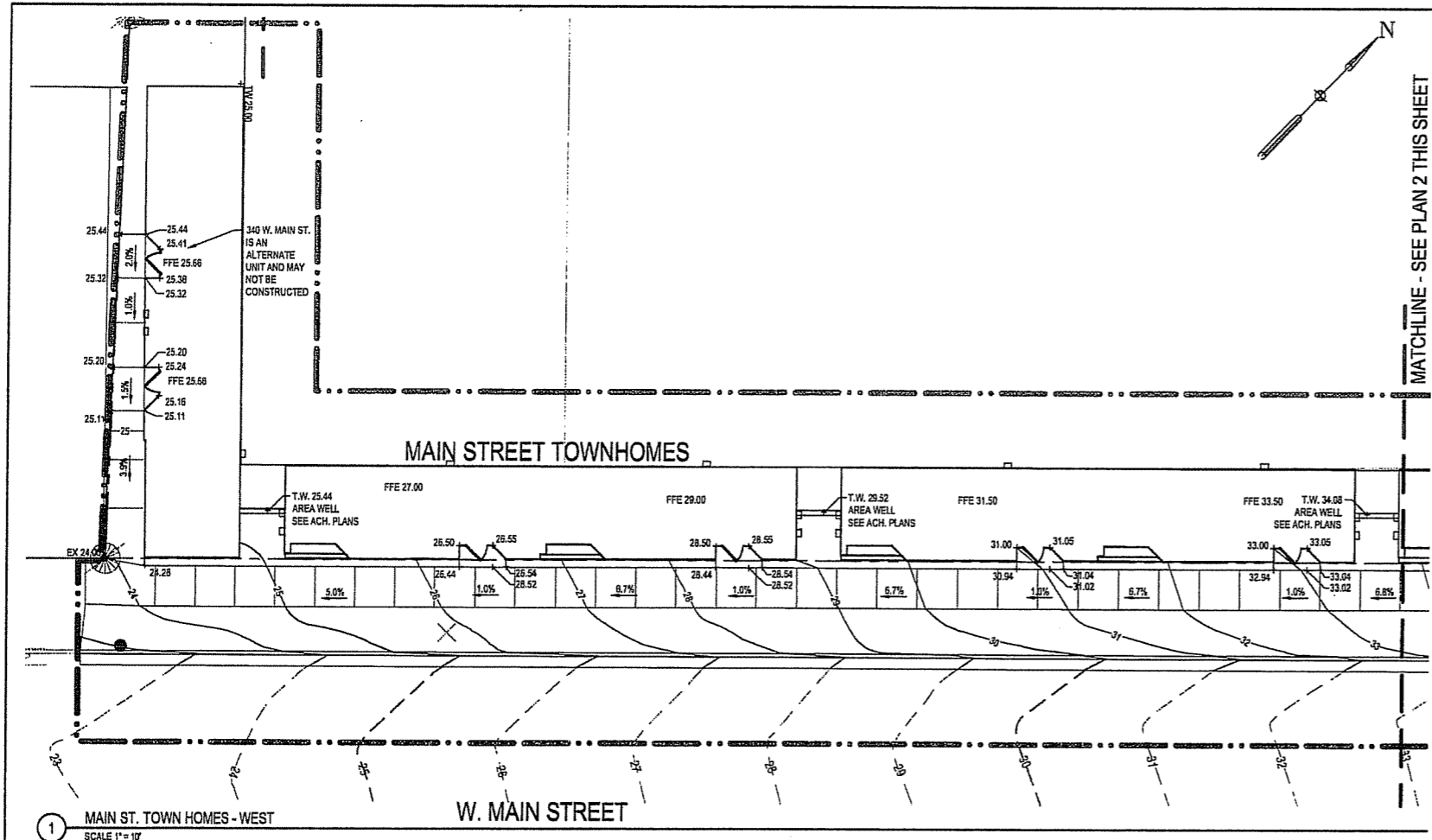
KEY PLAN  PROJECT NORTH

DRAWING TITLE
**SITE GRADING - Main St
Town Homes - Henry St**

SCALE AS INDICATED
SCALE 24589.000
PROJECT NUMBER

C 205

DRAWING NUMBER




LEGEND

- BID 1 - LIMIT OF WORK
- BID 2 - LIMIT OF WORK
- BID 3 - LIMIT OF WORK
- - - PROPOSED MAJOR CONTOUR
- - - PROPOSED MINOR CONTOUR
- - - EXISTING MAJOR CONTOUR
- - - EXISTING MINOR CONTOUR
- PR. WATER VALVE
- PR. FIRE HYDRANT
- PR. MANHOLE
- PR. STORM INLET/CATCH BASIN
- PR. PLANTER DRAIN (PD)
- PR. FLOOR DRAIN (FD)
- PR. CLEAN OUT/DROP CLEAN OUT
- PR. TRENCH DRAIN
- PROPERTY LINE

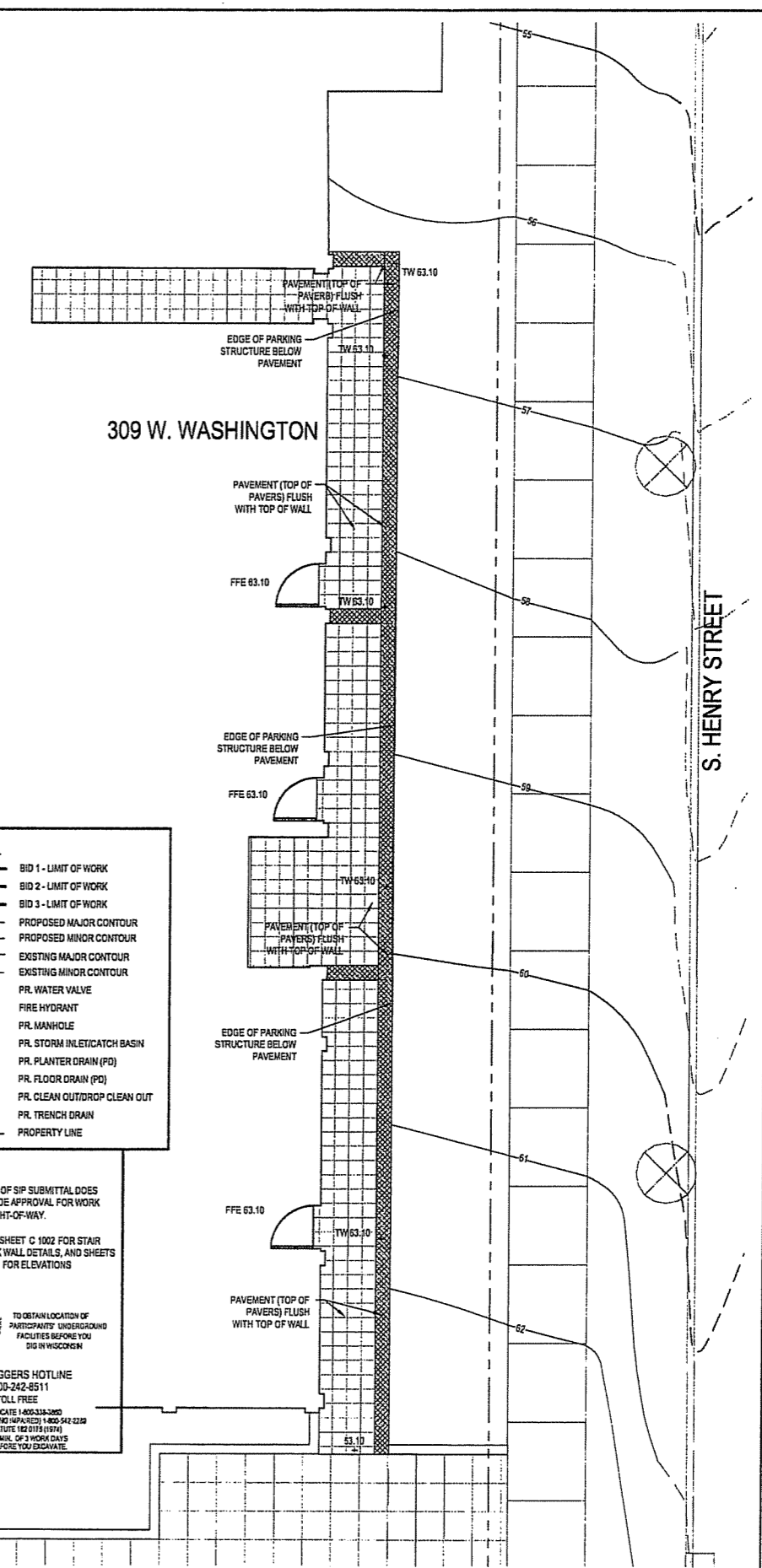
NOTES

- APPROVAL OF SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY.
- NOTE-SEE SHEET C 1002 FOR STAIR AND CHIEF WALL DETAILS, AND SHEETS C 500-C 506 FOR ELEVATIONS

 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

FAX A LOCATE 1-800-333-2869
TOLL FREE (FOR RESIDENTS) 1-800-542-2289
WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU DIG/DATE



FILE P:\24589\CAD\Sheet\4589-SH-Grd.dwg USER: mowak DATE: Jul 11 2006 TIME: 12:02 pm


**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR landscape architecture
planning urban design
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environmental science
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MADISON, WISCONSIN 53703
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608.251.6147 F
www.jjr-us.com

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100% CLIENT/CONT. REVIEW SET		03/22/2006
FINAL DOCS. G&P/SIP SUBMITTAL		06/14/2006
SIP ALTERATION		07/12/2006

SEALS AND SIGNATURES

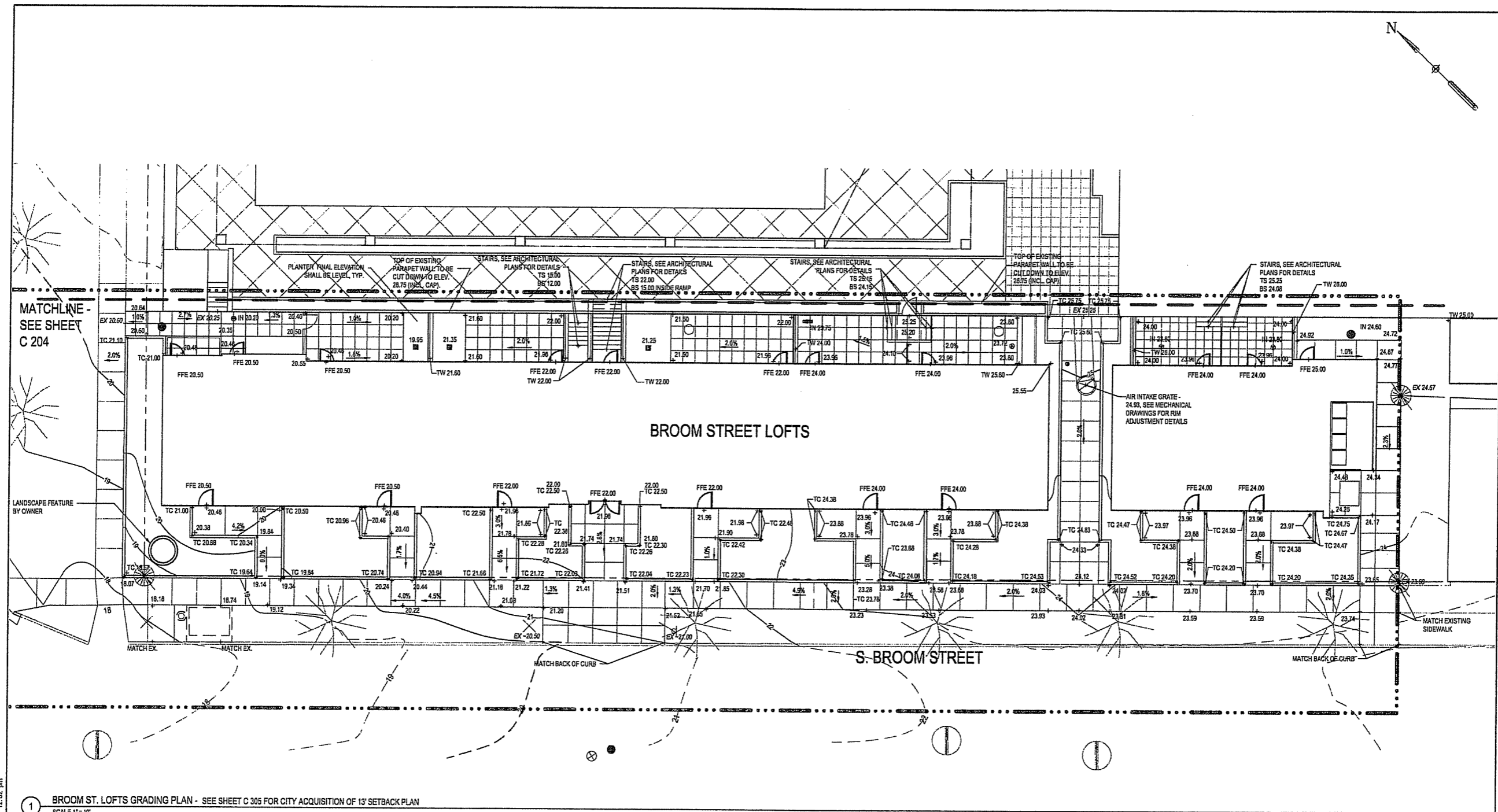
KEY PLAN 

DRAWING TITLE
**SITE GRADING - Broom St
Lofts**

SCALE
24589.000

















PROJECT NUMBER
C 206

DRAWING NUMBER



1 BROOM ST. LOFTS GRADING PLAN - SEE SHEET C 305 FOR CITY ACQUISITION OF 13' SETBACK PLAN
SCALE 1" = 10'

LEGEND

-  BID 1 - LIMIT OF WORK
-  BID 2 - LIMIT OF WORK
-  BID 3 - LIMIT OF WORK
-  PROPOSED MAJOR CONTOUR
-  PROPOSED MINOR CONTOUR
-  EXISTING MAJOR CONTOUR
-  EXISTING MINOR CONTOUR
-  PR. WATER VALVE
-  FIRE HYDRANT
-  PR. MANHOLE
-  PR. STORM INLET/CATCH BASIN
-  PR. PLANTER DRAIN (PD)
-  PR. FLOOR DRAIN (FD)
-  PR. CLEAN OUT/DROP CLEAN OUT
-  PR. TRENCH DRAIN
-  PROPERTY LINE

NOTES

1. APPROVAL OF SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY.


TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
PAK A LOCATE 1-800-228-3400
TOD (FOR HEARING IMPAIRED) 1-800-547-2299
WIS. STATUTE 18.07(1) (194)
REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

FILE P:\24589\000\CAD\sheet\4589-SH-CR00.dwg USER: mmwsk DATE: Jul, 11 2006 TIME: 12:02 pm

**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR Landscape Architecture
Planning
Urban Design
Civil Engineering
Environmental Science

JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com

ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL	12/01/2005	
SOX DO REVIEW & ESTIMATE SET	01/04/2006	
MAIN ST. UTIL. TO CITY	02/07/2006	
CITY REVIEW SET	02/22/2006	
100% CLIENT/CONT. REVIEW SET	03/22/2006	
FINAL DOCS. CIV/SP SUBMITTAL	06/14/2006	
SIP ALTERATION	07/12/2006	

SEALS AND SIGNATURES

LEGEND

- BID 1 - LIMIT OF WORK
- BID 2 - LIMIT OF WORK
- BID 3 - LIMIT OF WORK
- PROPERTY LINE
- CURB AND GUTTER
- GUARDRAIL OR HANDRAIL
- STAIRS
- PROPOSED CURB INLET/MANHOLE
- PROPOSED STORM INLET
- SLOT DRAIN
- PLANTER CURB OR WALL
- SIGN

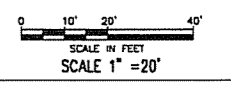
NOTES

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2. SEE EXISTING CONDITIONS SHEET C 110, FOR BENCHMARKS AND CONTROL POINTS.
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KEY PLAN



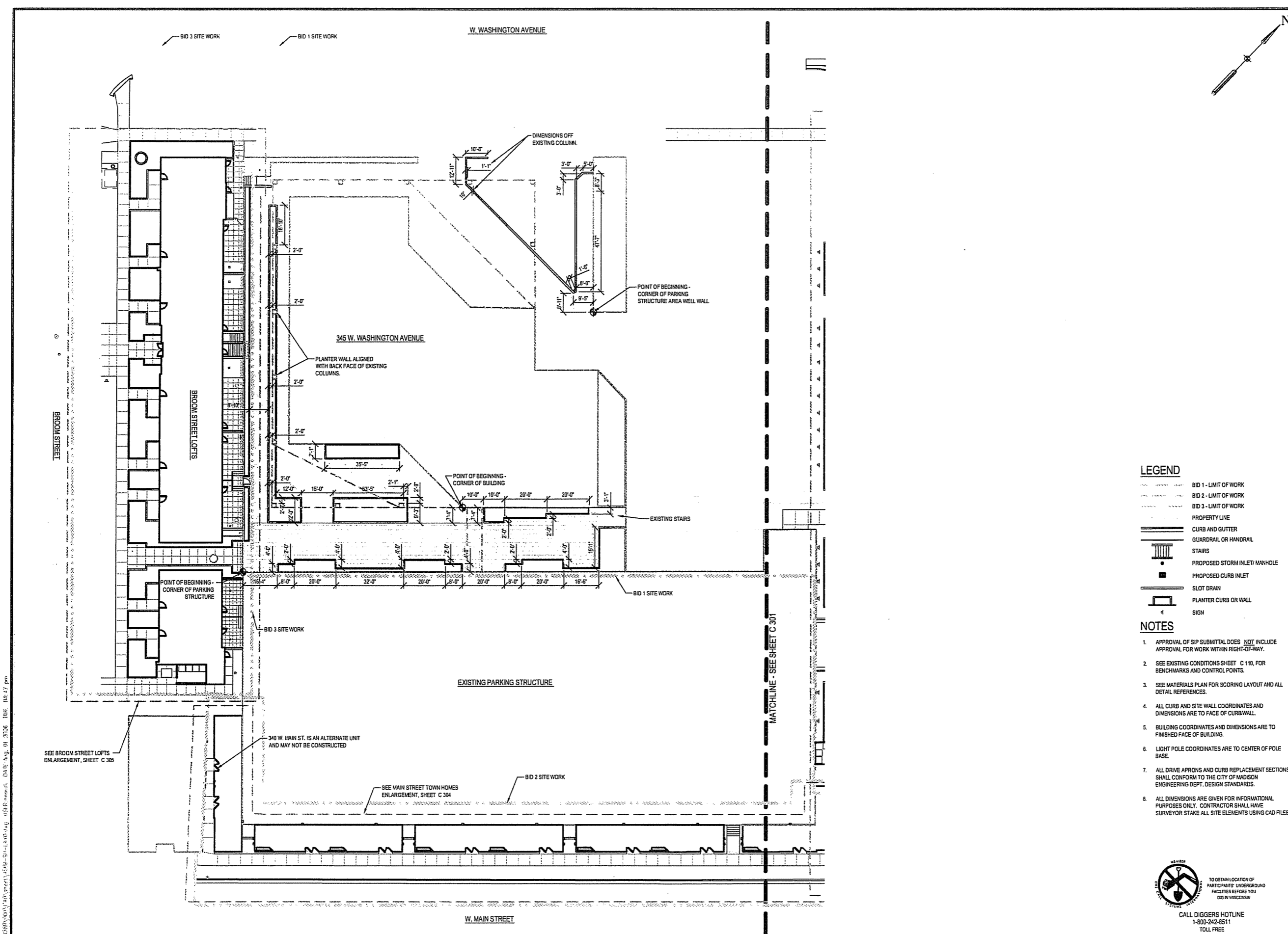
DRAWING TITLE
SITE LAYOUT - West



SCALE 1" = 20'
SCALE 24589.000

PROJECT NUMBER
C 300

DRAWING NUMBER



1 SITE LAYOUT - WEST
SCALE 1" = 20'

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

FAX A LOCATE 1-800-338-3869
TDD (FOR HEARING IMPAIRED) 1-800-542-2289
WIS. STATUTE § 30.975 (1979)
REQUIRES 90 DAYS NOTICE BEFORE YOU EXCAVATE.

**CAPITOL WEST
PHASE 1
BLOCK 51 - MADISON, WI**

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR
landscape architecture
urban design
civil engineering
environmental science
JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com

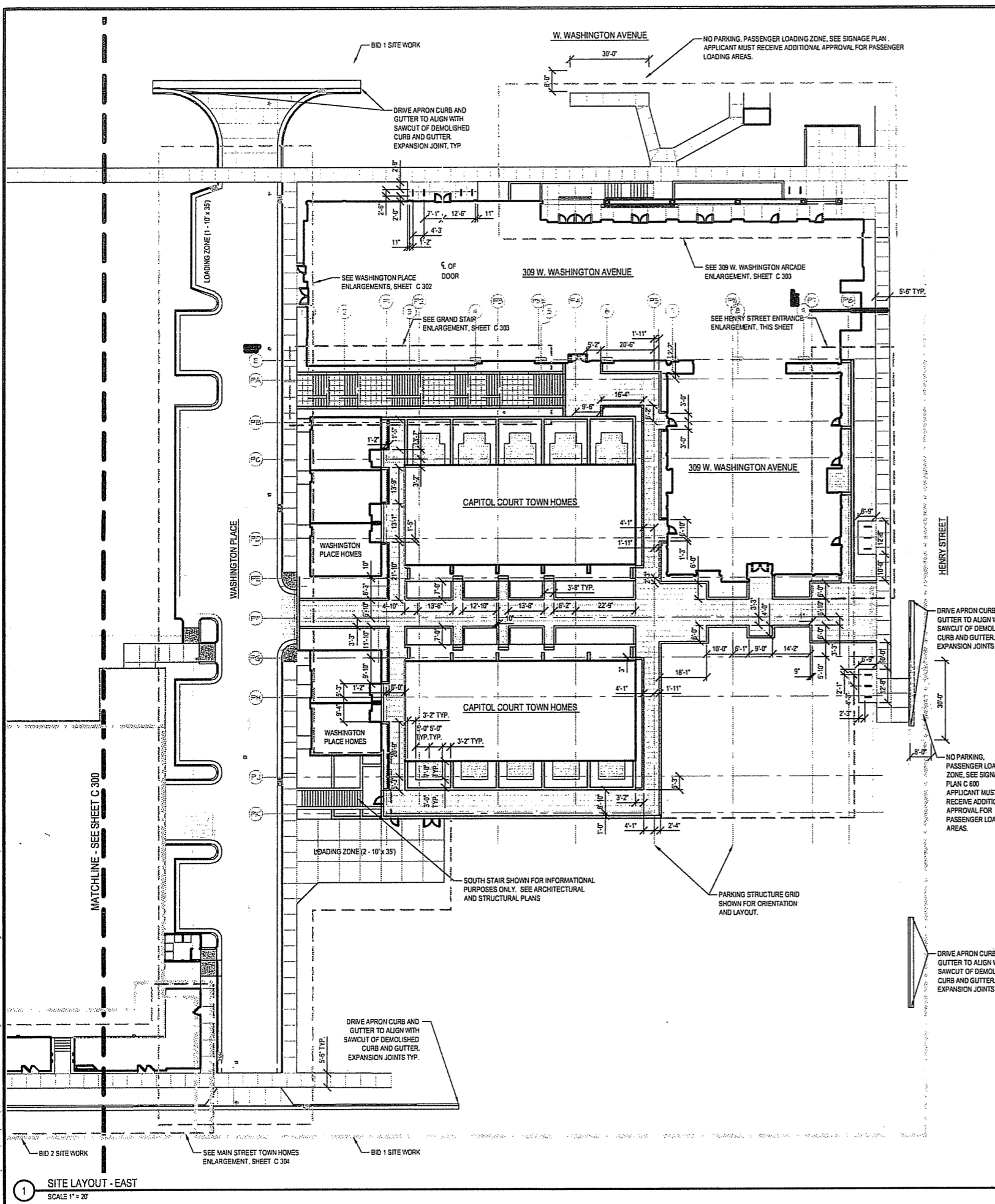
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CITY REVIEW SET	02/22/2006	
100% CLIENT/CONT. REVIEW SET	02/22/2006	
FINAL DOCS. GSP/SP SUBMITTAL	06/14/2006	
SP ALTERATION	07/12/2006	

SEALS AND SIGNATURES

KEY PLAN

DRAWING TITLE
**SITE LAYOUT - East - Henry
St Enlargement**

SCALE AS INDICATED
SCALE **24589.000**
PROJECT NUMBER
C 301
DRAWING NUMBER

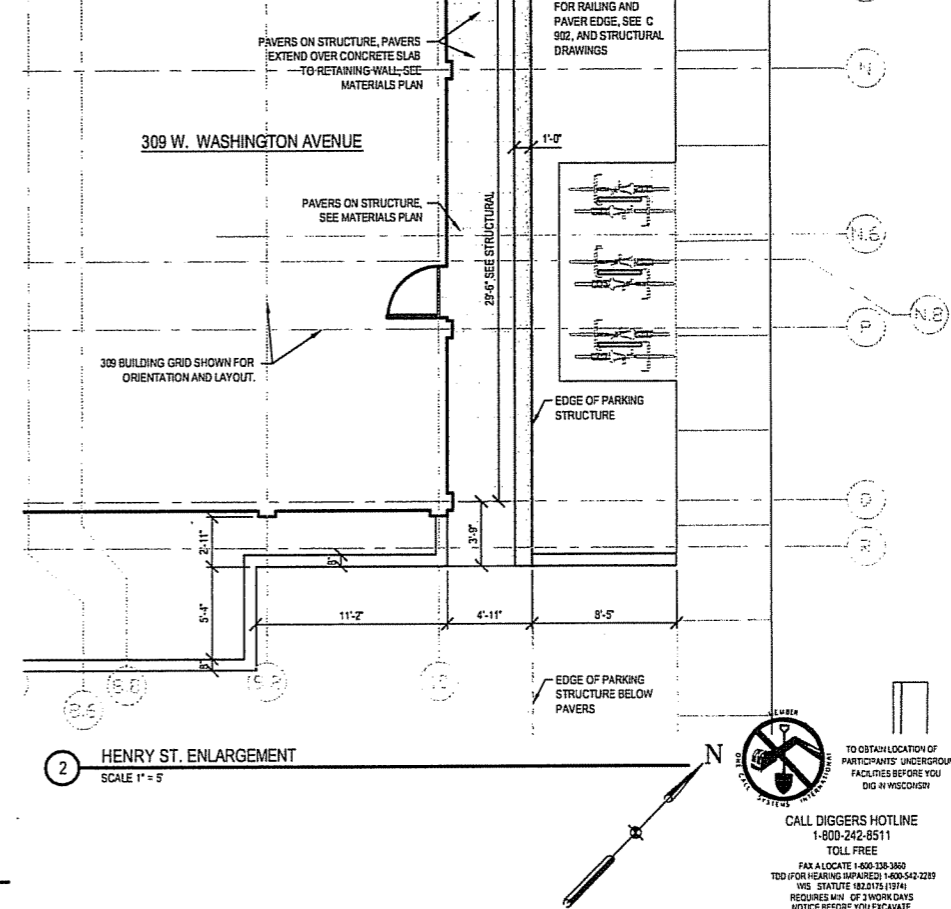


LEGEND

- BID 1 - LIMIT OF WORK
- BID 2 - LIMIT OF WORK
- BID 3 - LIMIT OF WORK
- PROPERTY LINE
- CURB AND GUTTER
- GUARDRAIL OR HANDRAIL
- STAIRS
- PROPOSED STORM INLET MANHOLE
- PROPOSED CURB INLET
- SLOT DRAIN
- PLANTER CURB OR WALL
- SIGN

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- SEE STAIR DETAILS SHEET C 1002 AND ELEVATIONS SHEETS C 200 - C 206 FOR STAIR, WALL AND HANDRAIL ELEVATIONS.



**1 SITE LAYOUT - EAST
SCALE 1" = 20'**

**2 HENRY ST. ENLARGEMENT
SCALE 1" = 5'**

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
**CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE**
FAX A LOCATE 1-800-338-3860
TDD (FOR HEARING IMPAIRED) 1-800-542-2265
WIS. STATUTE 98.23(2) (SM)
REQUIRES MIN. OF 3 WORKDAYS
NOTICE BEFORE YOU EXCAVATE

**CAPITOL WEST
PHASE 1**
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FINAL DOCS. GDP/SP SUBMITTAL	06/14/2006	
SP ALTERATION	07/12/2006	

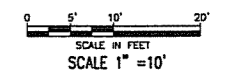
SEALS AND SIGNATURES

KEY PLAN



PROJECT NORTH

DRAWING TITLE
**SITE LAYOUT - Washington
Place**

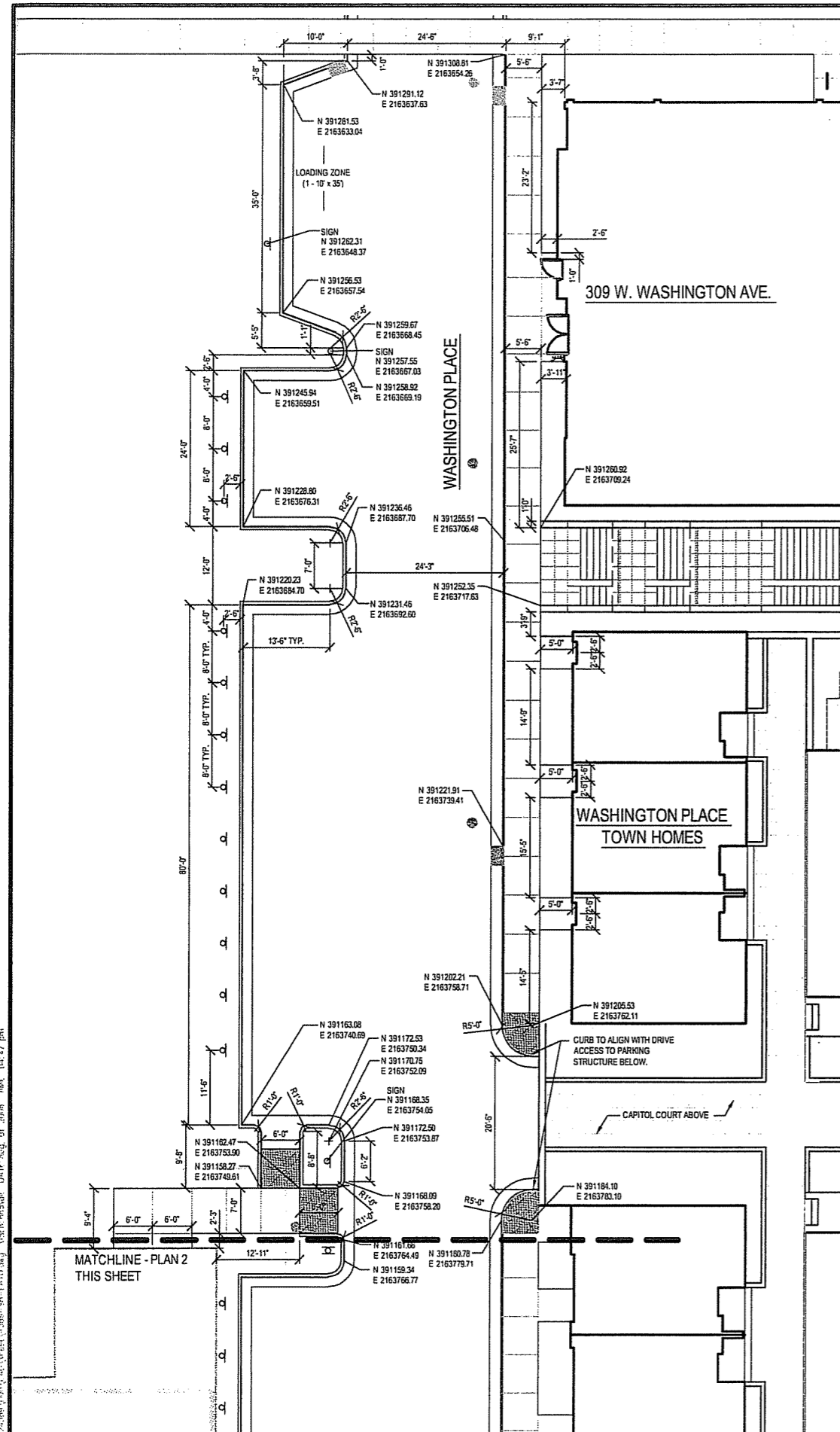


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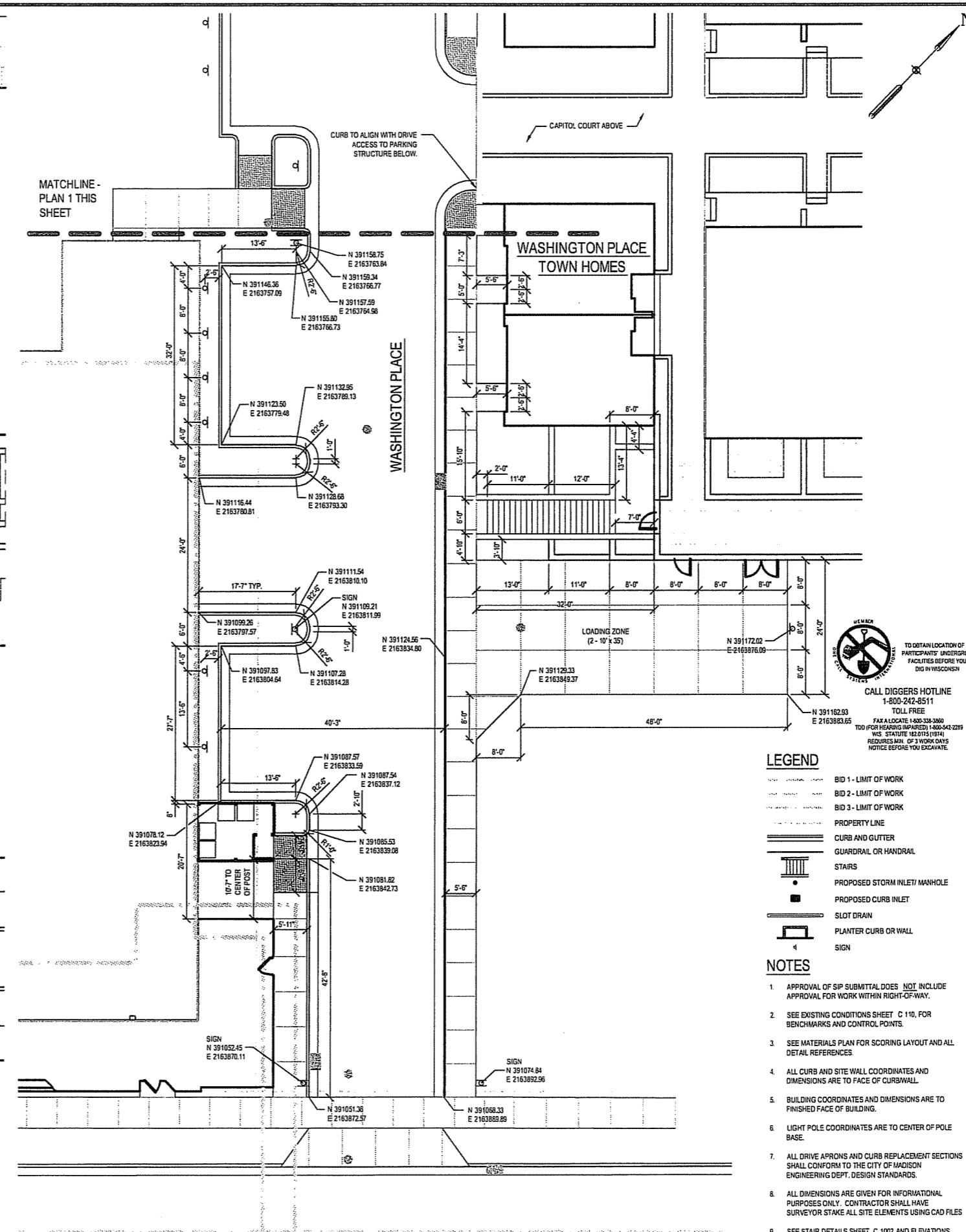
PROJECT NUMBER

C 302

DRAWING NUMBER















1 WASHINGTON PLACE LAYOUT - NORTH
SCALE 1" = 10'



2 WASHINGTON PLACE LAYOUT - SOUTH
SCALE 1" = 10'

LEGEND

-  BID 1 - LIMIT OF WORK
-  BID 2 - LIMIT OF WORK
-  BID 3 - LIMIT OF WORK
-  PROPERTY LINE
-  CURB AND GUTTER
-  GUARDRAIL OR HANDRAIL
-  STAIRS
-  PROPOSED STORM INLET MANHOLE
-  PROPOSED CURB INLET
-  SLOT DRAW
-  PLANTER CURB OR WALL
-  SIGN

NOTES

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9. SEE STAIR DETAILS SHEET C 1002 AND ELEVATIONS SHEETS C 900 - C 906 FOR STAIR, WALL AND HANDRAIL ELEVATIONS.

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NOTES

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LEGEND

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- SIGN

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 CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE
 FAX A LOCATE 1-800-338-3860
 TDD (FOR HEARING IMPAIRED) 1-800-342-2259
 WIS. STATUTE 182.015 (1974)
 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

CAPITOL WEST PHASE 1

BLOCK 51 - MADISON, WI

Owner:
THE ALEXANDER COMPANY, INC.

JJR landscape architecture
 planning urban design civil engineering environmental science
 JJR, LLC
 625 WILLIAMSON STREET,
 MADISON, WISCONSIN 53703
 608.251.1177 T
 608.251.6147 F
 www.jjr-us.com

ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL	12/01/2005	
50% DD REVIEW & ESTIMATE SET	01/04/2006	
MAIN ST. UTIL. TO CITY	02/07/2006	
CITY REVIEW SET	02/22/2006	
100% CLIENT/CONT. REVIEW SET	03/22/2006	
FINAL DOCS. COP/SP SUBMITTAL	06/14/2006	
SIP ALTERATION	07/12/2006	

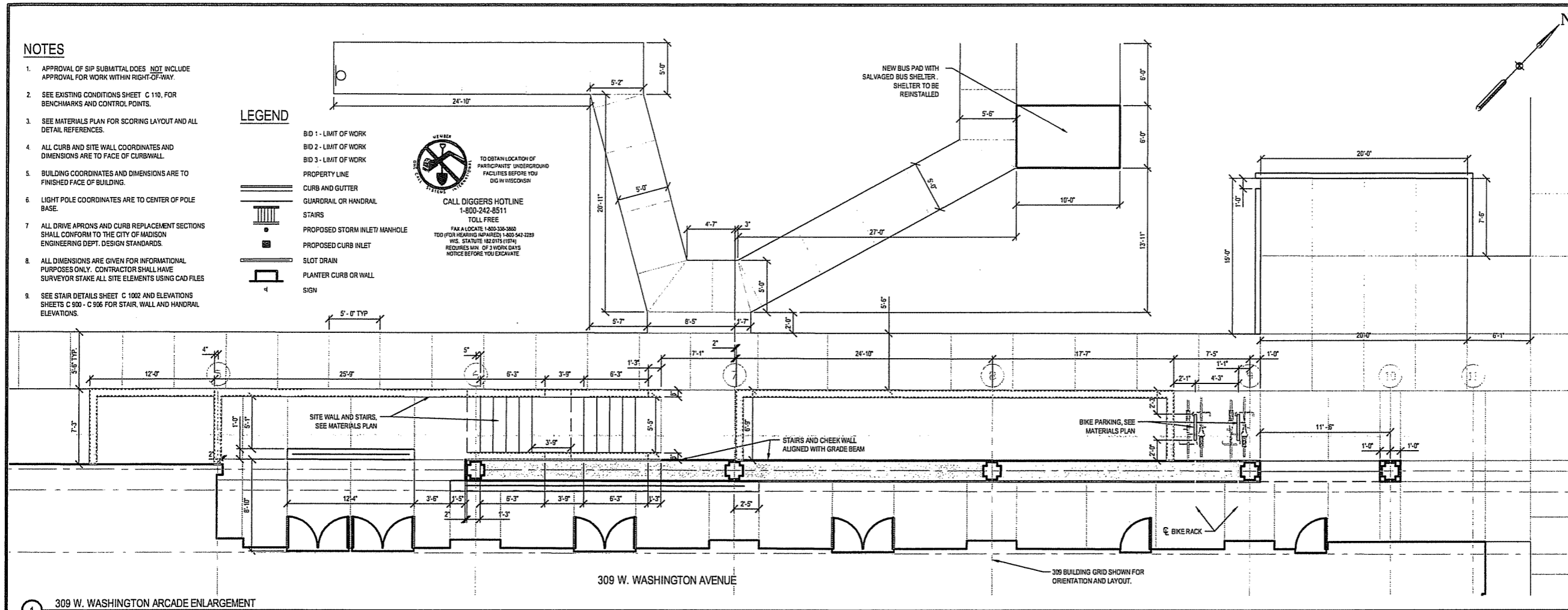
SEALS AND SIGNATURES

KEY PLAN
 PROJECT NORTH

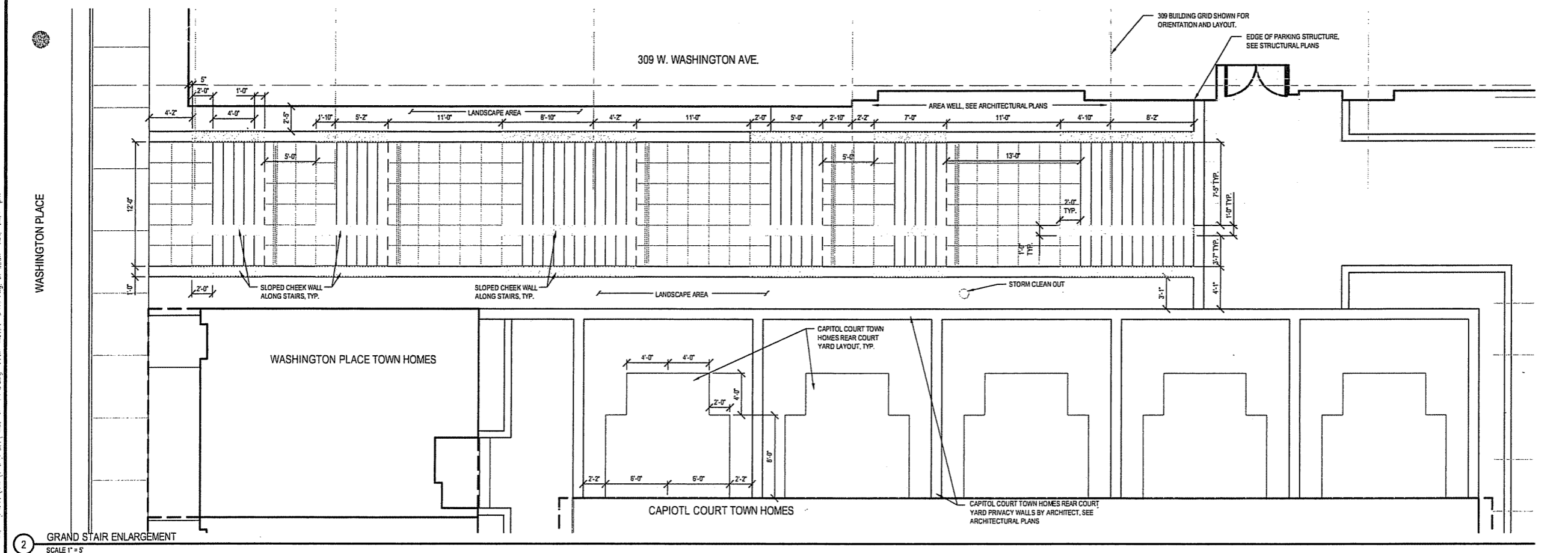
DRAWING TITLE
SITE LAYOUT - Arcade - North Stair

SCALE IN FEET
 0 2.5' 5' 10'
 SCALE 1" = 5'

SCALE 24589.000
 PROJECT NUMBER
C 303
 DRAWING NUMBER



1 309 W. WASHINGTON ARCADE ENLARGEMENT
 SCALE 1" = 5'



2 GRAND STAIR ENLARGEMENT
 SCALE 1" = 5'

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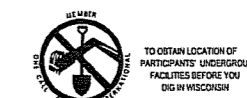
**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
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COMPANY, INC.**

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landscape architecture
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SIP ALTERATION		07/12/2006

SEALS AND SIGNATURES



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1-800-242-6511
TOLL FREE
FAX A LOCATE 1-800-338-3869
TDD (FOR HEARING IMPAIRED) 1-800-543-2289
WIS. STATUTE 182.015 (1974)
REQUIRES MIN. OF 1 WORK DAY'S
NOTICE BEFORE YOU EXCAVATE.

LEGEND

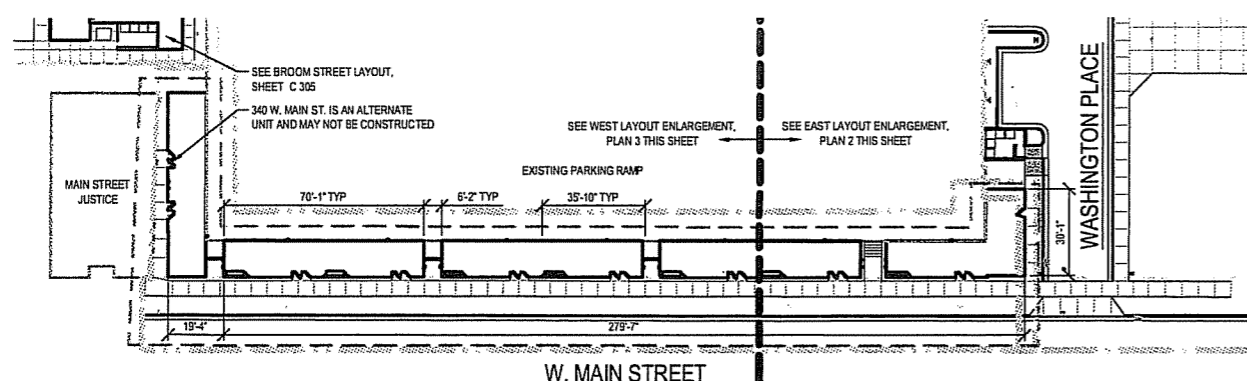
- BID 1 - LIMIT OF WORK
- BID 2 - LIMIT OF WORK
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- PROPERTY LINE
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- SIGN

NOTES

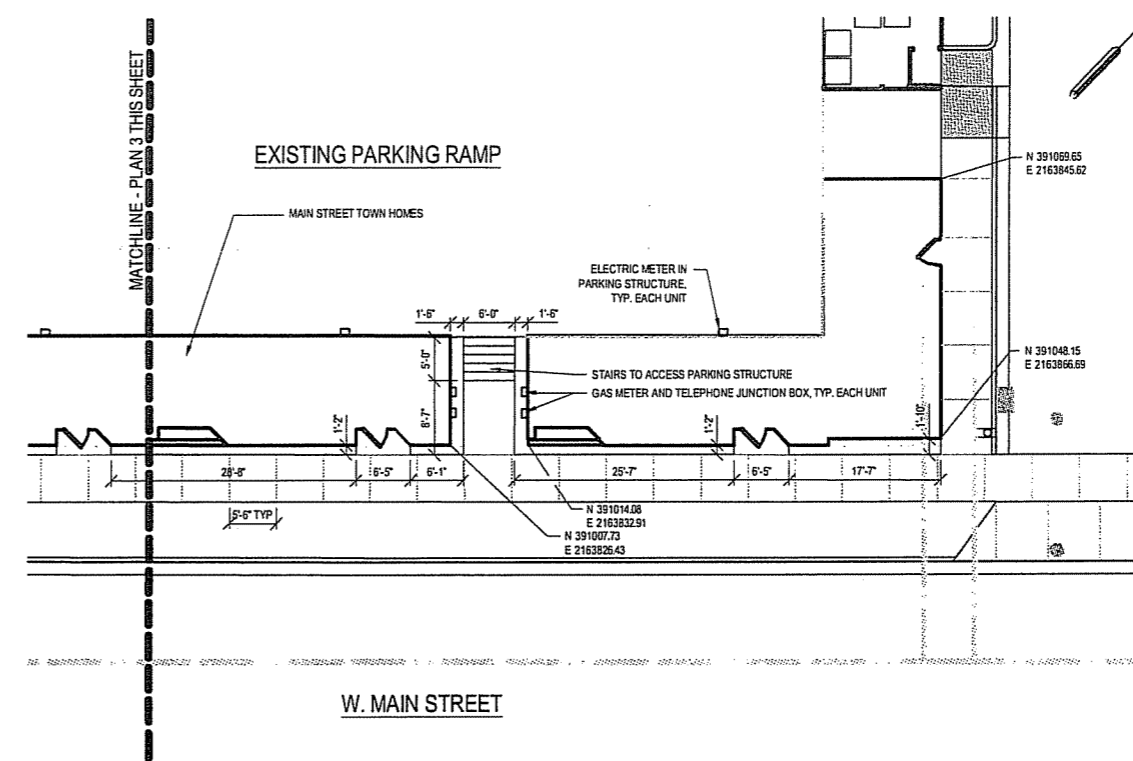
1. APPROVAL OF SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY.
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DRAWING TITLE
SITE LAYOUT - Main St

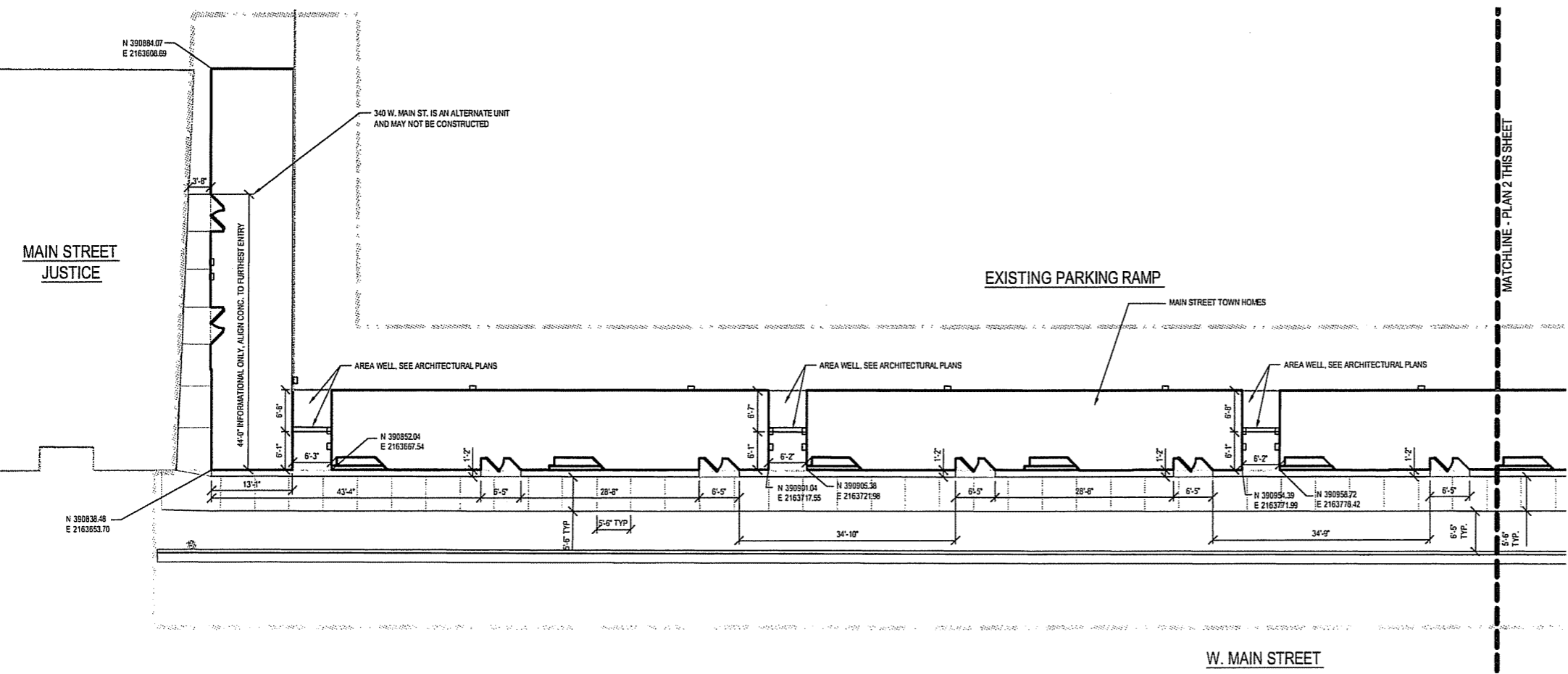
SCALE AS INDICATED
SCALE 24589.000
PROJECT NUMBER
C 304
DRAWING NUMBER



1 MAIN ST. TOWN HOMES OVERALL LAYOUT PLAN
SCALE 1" = 30'



2 MAIN ST. TOWN HOMES LAYOUT ENLARGEMENT - EAST
SCALE 1" = 10'



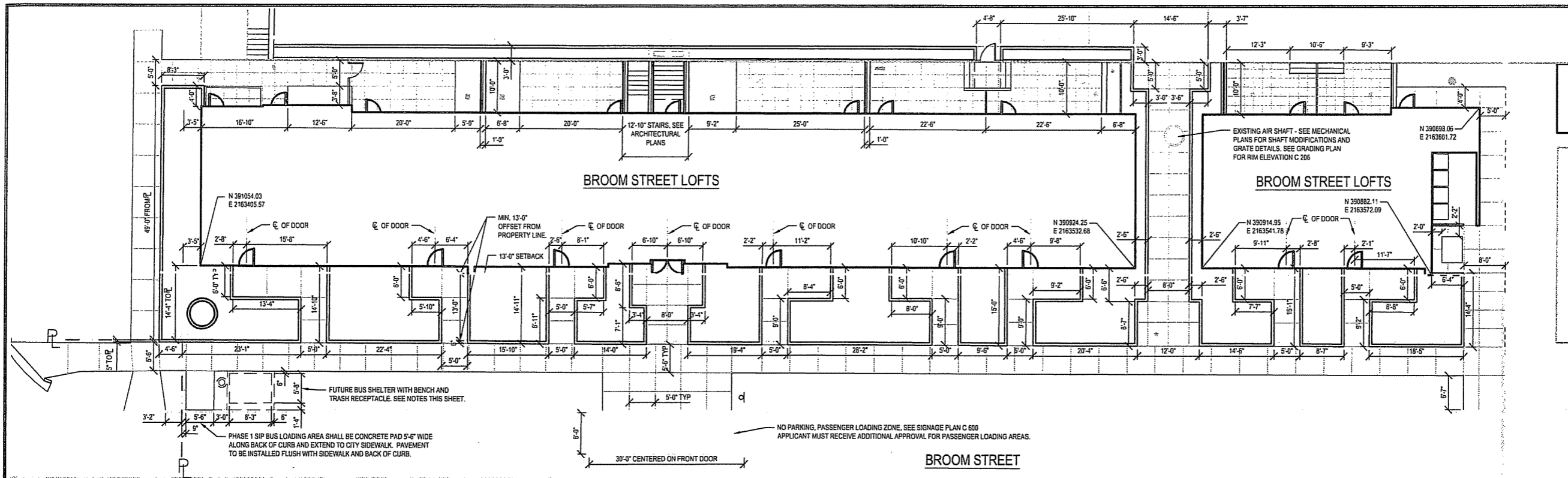
3 MAIN ST. TOWN HOMES LAYOUT ENLARGEMENT - WEST
SCALE 1" = 10'

FILE: P:\PROJECTS\CAPITOL WEST\PHASE 1\DWG\DWG_C304_SIP_LAYOUT_MAIN_ST.dwg USER: jrb Date: Aug 01 2006 10:47 am

**CAPITOL WEST
PHASE 1
BLOCK 51 - MADISON, WI**

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR LANDSCAPE ARCHITECTURE
PLANNING
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
ENVIRONMENTAL SCIENCE
JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 F
608.251.6147 F
www.jjr-us.com



1 BROOM STREET LOFTS LAYOUT ENLARGEMENT
SCALE 1" = 10'

LEGEND

- BID 1 - LIMIT OF WORK
- BID 2 - LIMIT OF WORK
- BID 3 - LIMIT OF WORK
- PROPERTY LINE
- CURB AND GUTTER
- GUARDRAIL OR HANDRAIL

- STAIRS
- PROPOSED STORM INLET MANHOLE
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9. BUS SHELTER WITH BENCH AND TRASH RECEPTACLE SHALL BE INSTALLED PRIOR TO SIP SUBMITTAL GENERATING GREATER THAN 50 PASSENGERS PER DAY.
10. SHELTER TO BE TAFCO TYPE DDS1 INSTALLED PER MANUFACTURER'S SPECIFICATIONS COMPLYING WITH MADISON METRO SPECIFICATIONS. INSTALL SHELTER WITH ACCESS FACING SIDEWALK.
11. TRASH RECEPTACLE TO BE LANDSCAPE FORMS SCARBOROUGH LITTER RECEPTACLE - 25" W X 33" H - TOP-OPENING - VERTICAL BAR DETAIL WITH LOCK - 30 GALLON - SURFACE MOUNT

N

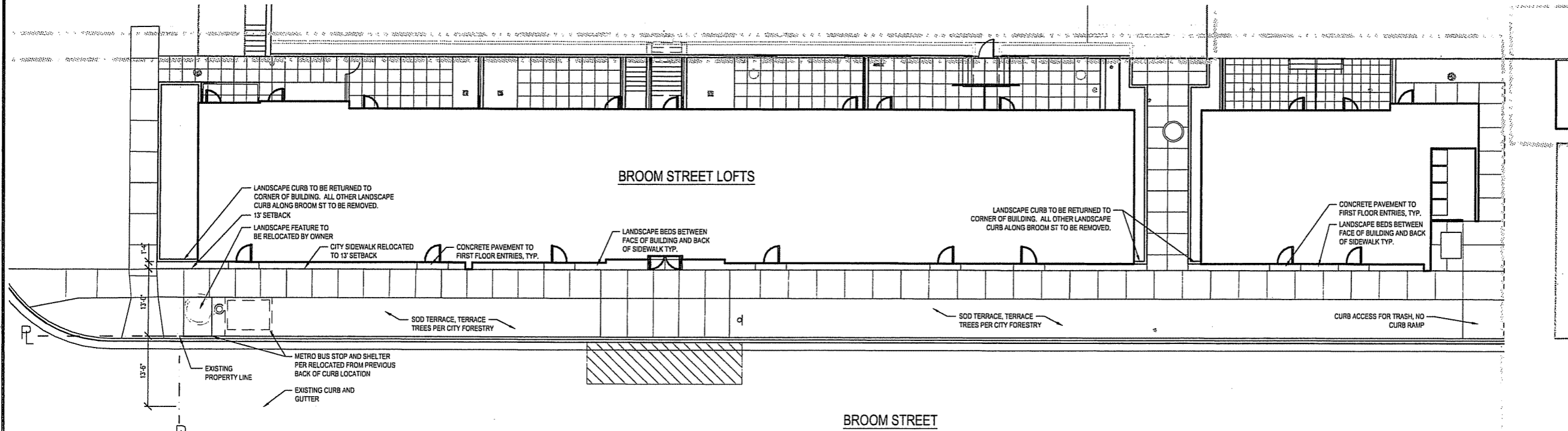
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FAX A LOCATE 1-800-338-3866
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WIS. STATUTE 182.2175 (1914)
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SP ALTERATION		07/12/2006

SEALS AND SIGNATURES



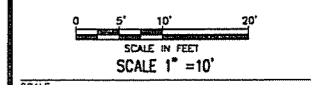
2 BROOM STREET LOFTS LAYOUT ENLARGEMENT - 13' SETBACK ACQUISITIONED BY CITY (SCENARIO)
SCALE 1" = 10'

NOTE: THIS PLAN SHOWS THE POTENTIAL IMPACT OF CITY ACQUISITION OF THE 13' SETBACK. THIS SCENARIO MOVES THE BACK OF SIDEWALK TO THE 13' SETBACK LINE. ACTUAL DESIGN AND LAYOUT OF THIS AREA WILL BE COMPLETED BY CITY TRAFFIC ENGINEERING AND CITY ENGINEERING SHOULD THIS ACQUISITION OCCUR.

KEY PLAN

PROJECT NORTH

DRAWING TITLE
SITE LAYOUT - Broom St

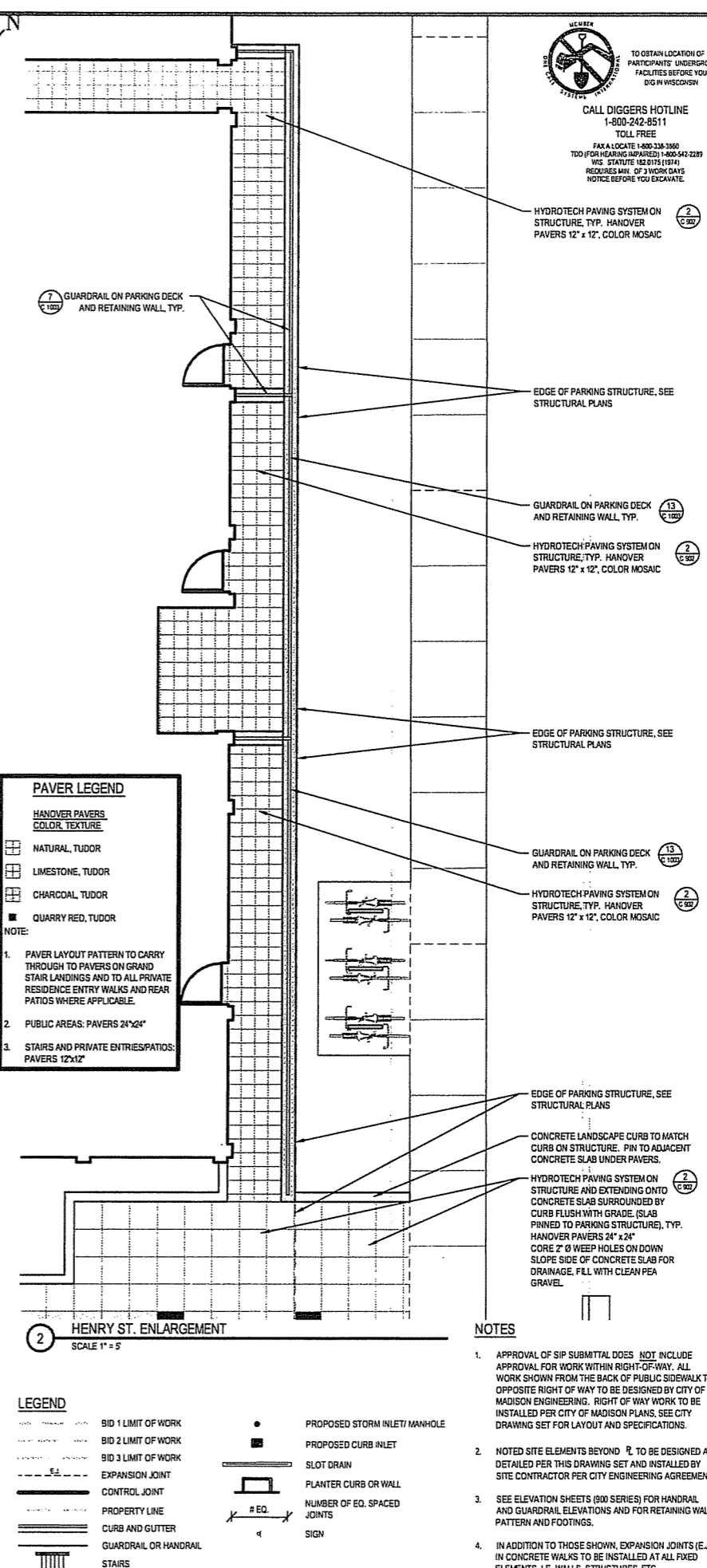
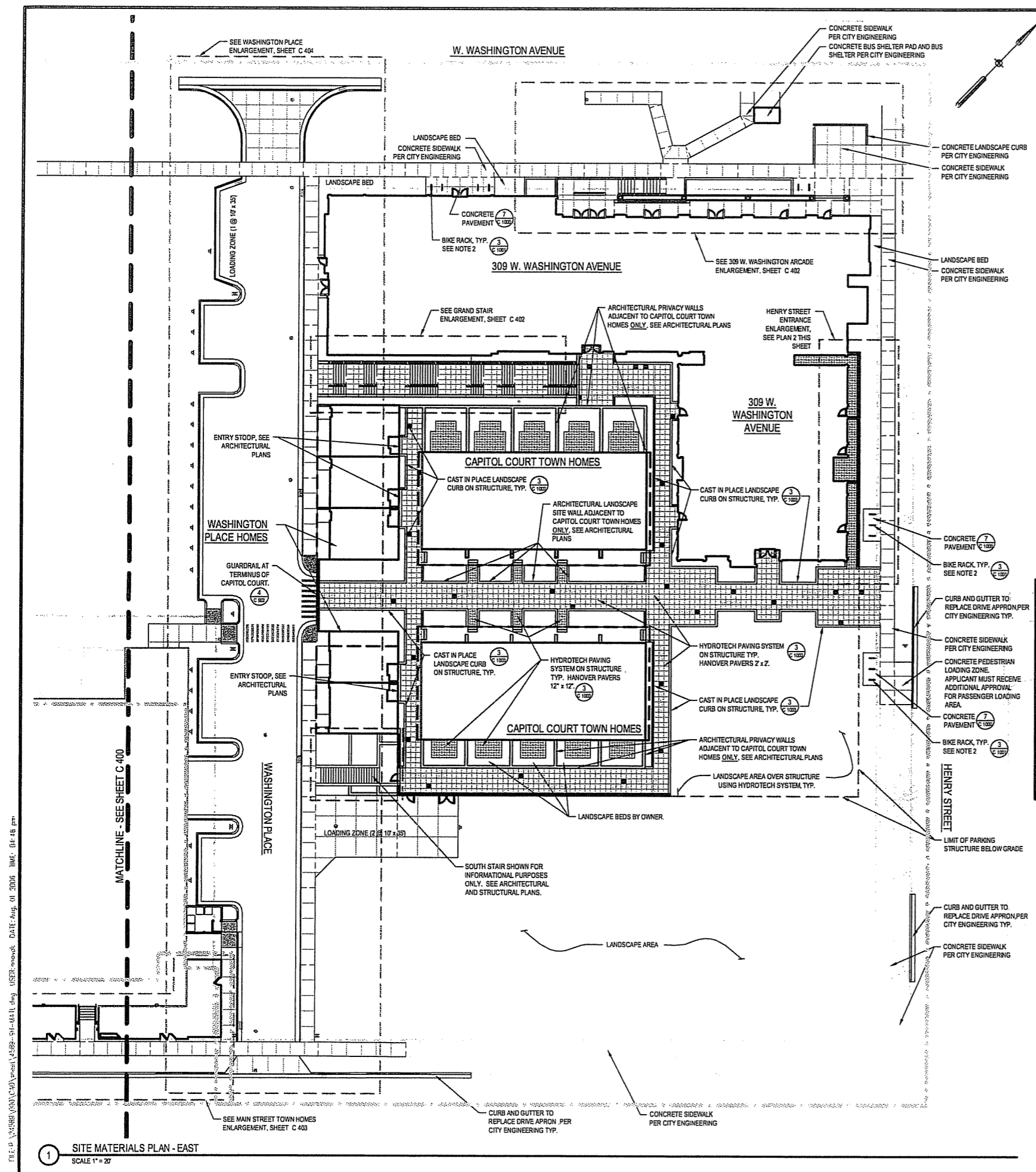


SCALE 24589.000

PROJECT NUMBER
C 305

DRAWING NUMBER

P:\Projects\Capitol West\Phase 1\Drawings\Site\Broom St\Broom St Lofts\Broom St Lofts - 13' Setback Acquisition.dwg
 User: jmm
 Date: 08/01/2006 10:48 AM
 Plot: 08/01/2006 10:48 AM



CAPITOL WEST PHASE 1
BLOCK 51 - MADISON, WI

Owner:
THE ALEXANDER COMPANY, INC.

JJR CONSULTING ARCHITECTURE
PLANNING
URBAN DESIGN
CIVIL ENGINEERING
ENVIRONMENTAL SCIENCE

JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com

ISSUED FOR	REV DATE
FOOTING & FOUNDATION SUBMITTAL	12/01/2005
SIP DO REVIEW & ESTIMATE SET	01/04/2006
MAIN ST. UTIL. TO CITY	02/07/2006
CITY REVIEW SET	02/22/2006
100% CLIENT/CONTR. REVIEW SET	03/22/2006
FINAL DOCS. GIP/SP SUBMITTAL	06/14/2006
SP ALTERATION	07/12/2006

SEALS AND SIGNATURES

KEY PLAN

PROJECT NORTH

DRAWING TITLE
SITE MATERIALS - East - Henry St Enlargement

SCALE IN FEET
SCALE 1" = 20'

SCALE 24589.000

PROJECT NUMBER
C 401

DRAWING NUMBER

FILE: P:\24589\000\C401\enlargement\4-24-06\51-10-11.dwg USER: mack DATE: Aug 01 2006 TIME: 04:48 pm
 1 SITE MATERIALS PLAN - EAST SCALE 1" = 20'

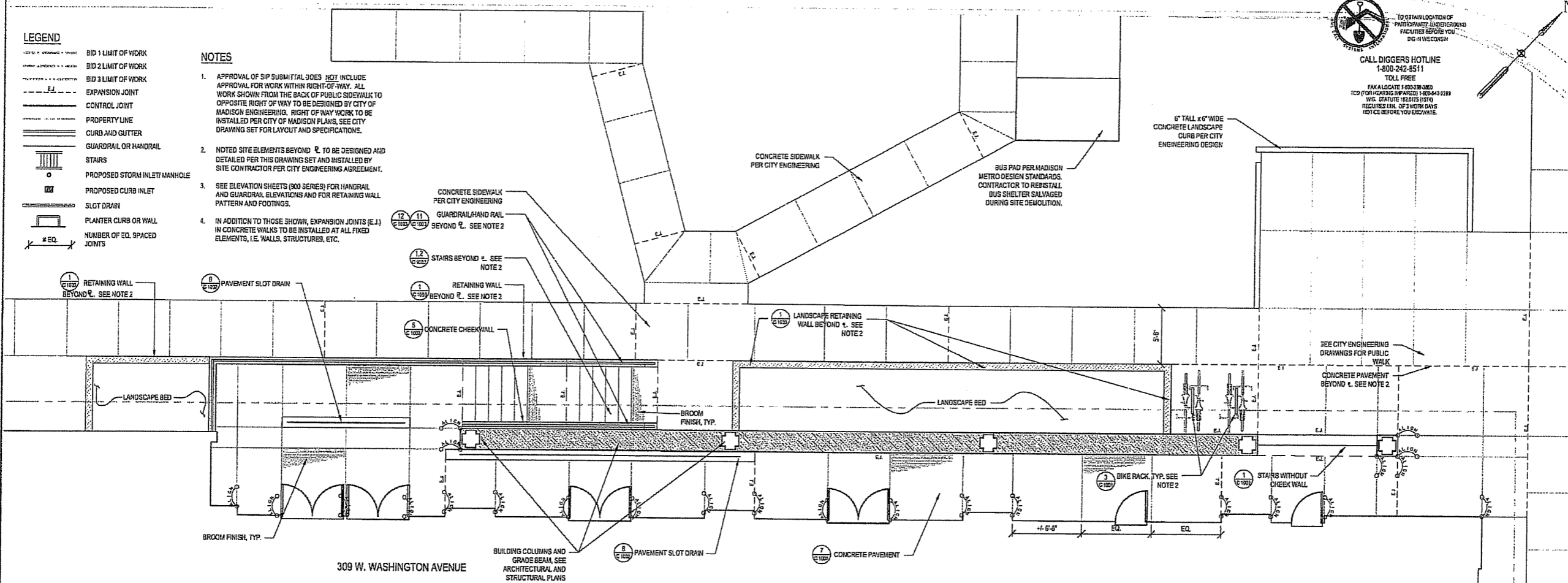
**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR Landscape Architecture
Planning
Site Design
Civil Engineering
Professional Service
JJR, LLC
825 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
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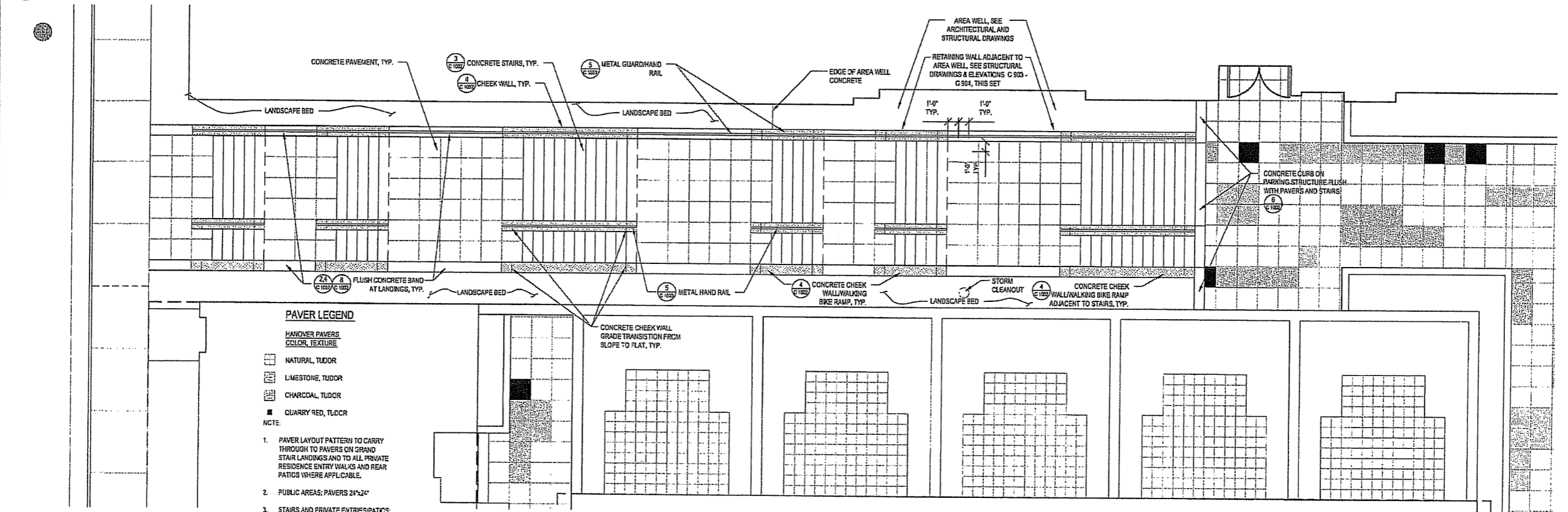
- LEGEND**
- BID 1 LIMIT OF WORK
 - BID 2 LIMIT OF WORK
 - BID 3 LIMIT OF WORK
 - EXPANSION JOINT
 - CONTROL JOINT
 - PROPERTY LINE
 - CURB AND GUTTER
 - GUARDRAIL OR HANDRAIL
 - STAIRS
 - PROPOSED STORM INLET/MANHOLE
 - PROPOSED CURB INLET
 - SLOT DRAIN
 - PLANTER CURB OR WALL
 - NUMBER OF EQ. SPACED JOINTS

- NOTES**
- APPROVAL FOR SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY. ALL WORK SHOWN FROM THE BACK OF PUBLIC SIDEWALK TO OPPOSITE RIGHT OF WAY TO BE DESIGNED BY CITY OF MADISON ENGINEERING. RIGHT OF WAY WORK TO BE INSTALLED PER CITY OF MADISON PLANS, SEE CITY DRAWING SET FOR LAYOUT AND SPECIFICATIONS.
 - NOTED SITE ELEMENTS BEYOND ℓ TO BE DESIGNED AND DETAILED PER THIS DRAWING SET AND INSTALLED BY SITE CONTRACTOR PER CITY ENGINEERING AGREEMENT.
 - SEE ELEVATION SHEETS (300 SERIES) FOR HANDRAIL AND GUARDRAIL ELEVATIONS AND FOR RETAINING WALL PATTERN AND FOOTINGS.
 - IN ADDITION TO THOSE SHOWN, EXPANSION JOINTS (E.J.) IN CONCRETE WALKS TO BE INSTALLED AT ALL FIXED ELEMENTS, I.E. WALLS, STRUCTURES, ETC.



ISSUED FOR	REV	DATE
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CITY REVIEW SET		02/22/2006
100% CLIENT/CONT. REVIEW SET		03/22/2006
FINAL DOCS. GDP/SIP SUBMITTAL		06/14/2006
SIP ALTERATION		07/12/2006

1 309 W. WASHINGTON ARCADE ENLARGEMENT
SCALE 1" = 5'



- PAVER LEGEND**
- HANDOVER PAVERS
COLOR, TEXTURE**
- NATURAL, TUDOR
 - LIMESTONE, TUDOR
 - CHARCOAL, TUDOR
 - QUARRY RED, TUDOR
- NOTE:**
- PAVER LAYOUT PATTERN TO CARRY THROUGH TO PAVERS ON GRAND STAIR LANDINGS AND TO ALL PRIVATE RESIDENCE ENTRY WALKS AND REAR PATIOS WHERE APPLICABLE.
 - PUBLIC AREAS: PAVERS 24"x24"
 - STAIRS AND PRIVATE ENTRES/PATIOS: PAVERS 12"x12"

2 GRAND STAIR ENLARGEMENT
SCALE 1" = 5'

SEALS AND SIGNATURES

KEY PLAN
PROJECT NORTH

DRAWING TITLE
**SITE MATERIALS - Arcade -
North Stair**

SCALE 24589.000
PROJECT NUMBER
C 402
DRAWING NUMBER

FILE: P:\Yard\309W\309W\309W.dwg USER: jmm Date: 11/20/05 10:47:39 AM

**CAPITOL WEST
PHASE 1
BLOCK 51 - MADISON, WI**

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JJR landscape architecture
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100% CLIENT/COM. REVIEW SET		03/22/2006
FINAL DOCS. GIP/SP SUBMITTAL		06/14/2006
SP ALTERATION		07/12/2006

SEALS AND SIGNATURES

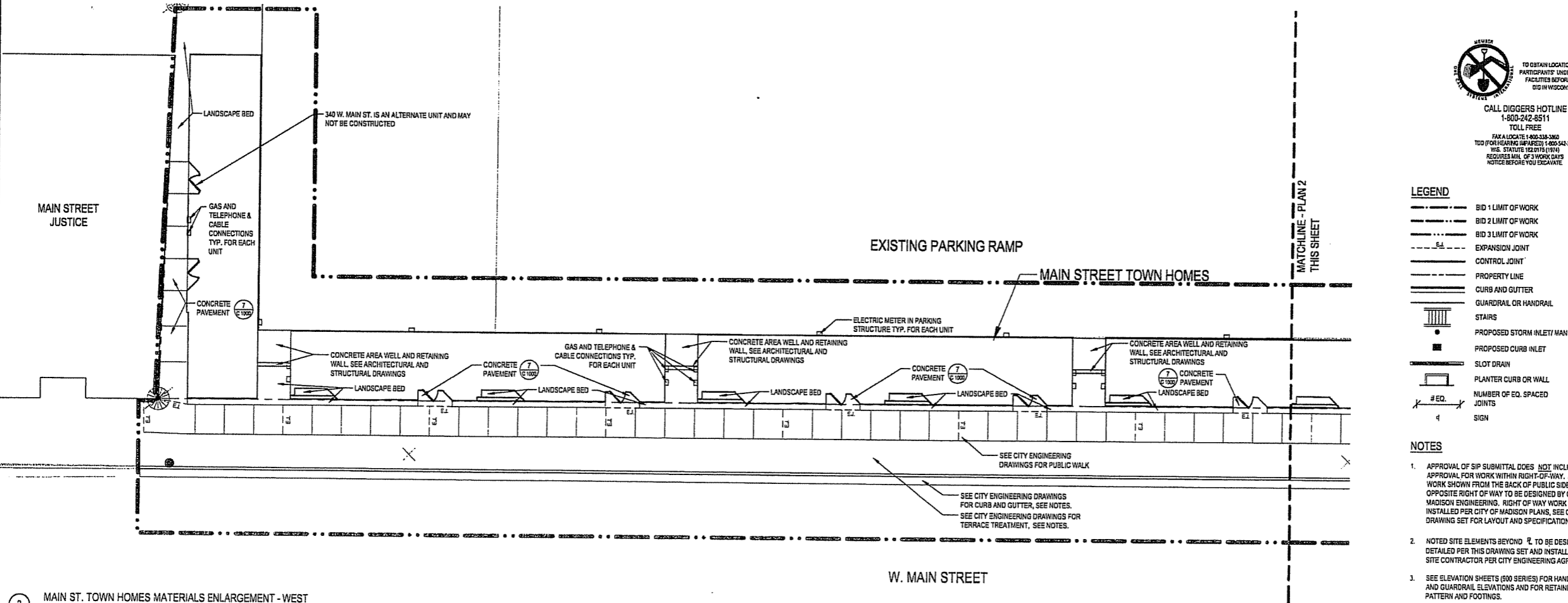
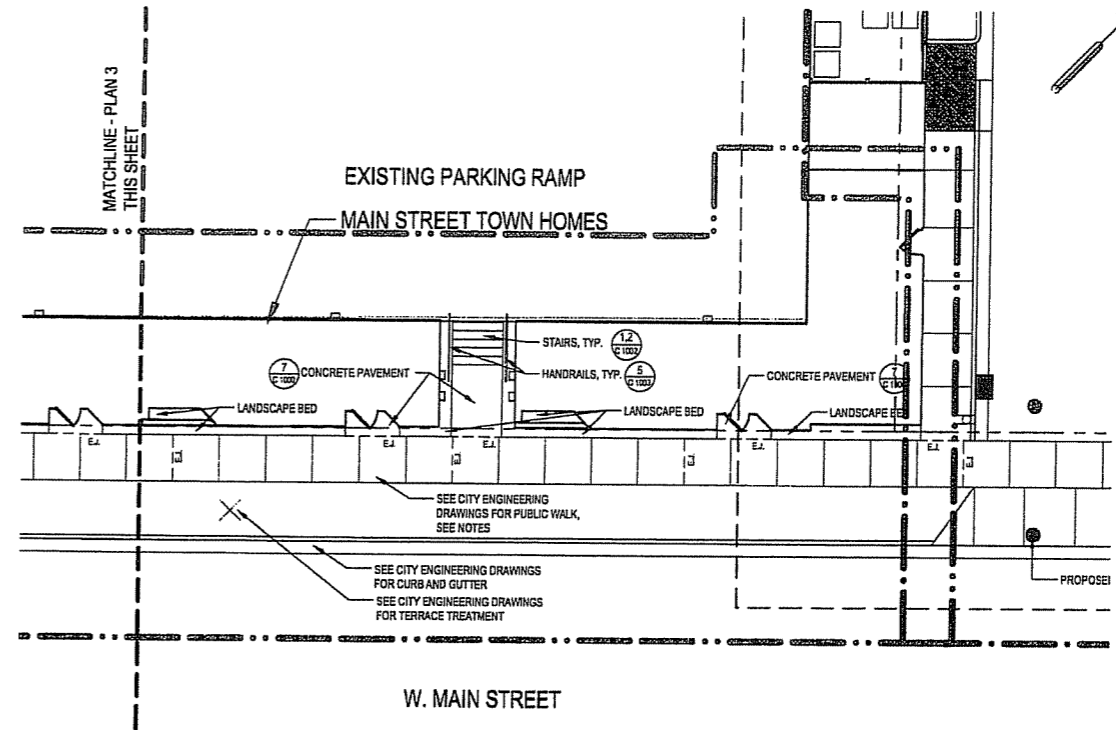
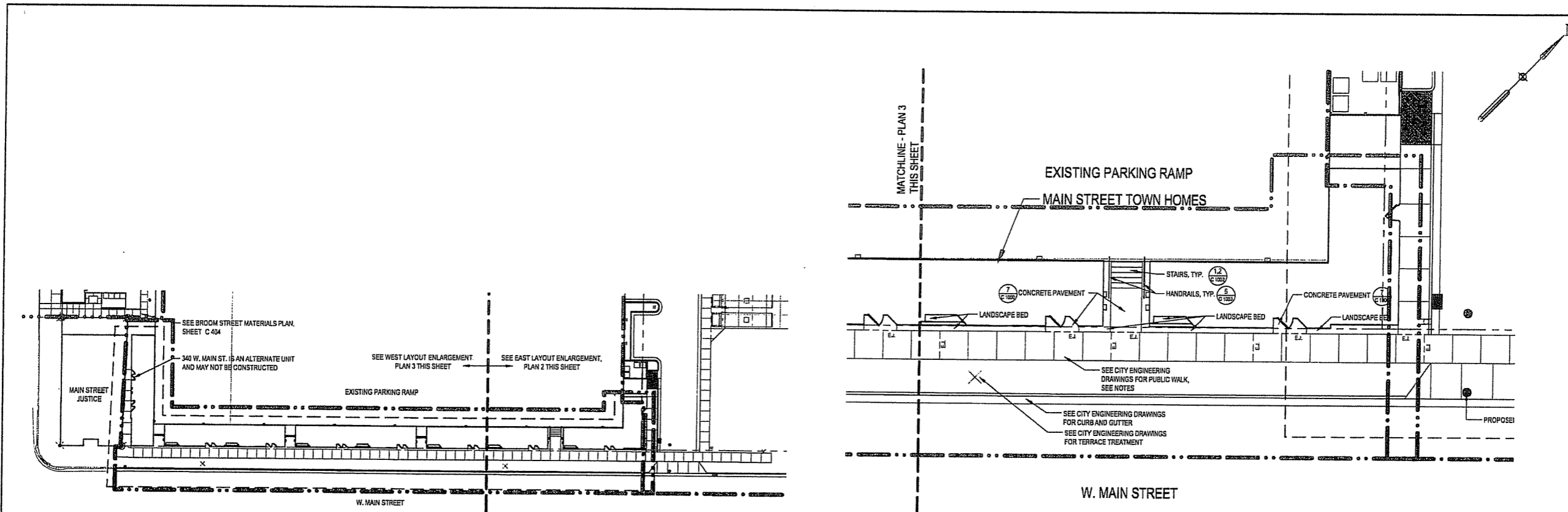


DRAWING TITLE
SITE MATERIALS - Main St

SCALE AS INDICATED
SCALE 24589.000

PROJECT NUMBER
C 403

DRAWING NUMBER



- LEGEND**
- BID 1 LIMIT OF WORK
 - BID 2 LIMIT OF WORK
 - BID 3 LIMIT OF WORK
 - E-A- EXPANSION JOINT
 - CONTROL JOINT
 - PROPERTY LINE
 - CURB AND GUTTER
 - GUARDRAIL OR HANDRAIL
 - STAIRS
 - PROPOSED STORM INLET MANHOLE
 - PROPOSED CURB INLET
 - SLOTTED DRAIN
 - PLANTER CURB OR WALL
 - # EQ. SPACED JOINTS
 - SIGN
- NOTES**
- APPROVAL OF SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY. ALL WORK SHOWN FROM THE BACK OF PUBLIC SIDEWALK TO OPPOSITE RIGHT OF WAY TO BE DESIGNED BY CITY OF MADISON ENGINEERING. RIGHT OF WAY WORK TO BE INSTALLED PER CITY OF MADISON PLANS, SEE CITY DRAWING SET FOR LAYOUT AND SPECIFICATIONS.
 - NOTED SITE ELEMENTS BEYOND "L" TO BE DESIGNED AND DETAILED PER THIS DRAWING SET AND INSTALLED BY SITE CONTRACTOR PER CITY ENGINEERING AGREEMENT.
 - SEE ELEVATION SHEETS (800 SERIES) FOR HANDRAIL AND GUARDRAIL ELEVATIONS AND FOR RETAINING WALL PATTERN AND FOOTINGS.
 - IN ADDITION TO THOSE SHOWN, EXPANSION JOINTS (E.J.) IN CONCRETE WALKS TO BE INSTALLED AT ALL FIXED ELEMENTS, I.E. WALLS, STRUCTURES, ETC.

FILE: P:\4589\000\CAD\plans\4589-SH-MAIN.dwg USER: rmmvuk DA: 06/11/2006 TIME: 12:04 pm

**CAPITOL WEST
PHASE 1
BLOCK 51 - MADISON, WI**

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR landscape architecture
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urban design
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environmental science
JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com

ISSUED FOR	REV DATE
FOOTING & FOUNDATION SUBMITTAL	12/01/2005
50% DD REVIEW & ESTIMATE SET	01/04/2006
MAIN ST. UTIL. TO CITY	02/07/2006
CITY REVIEW SET	02/22/2006
100% CLIENT/CITY REVIEW SET	03/22/2006
FINAL DOCS. COP/SP SUBMITTAL	05/14/2006
SP ALTERATION	07/12/2006

SEALS AND SIGNATURES

KEY PLAN



DRAWING TITLE
**SITE MATERIALS - Broom St
- Washington Place**

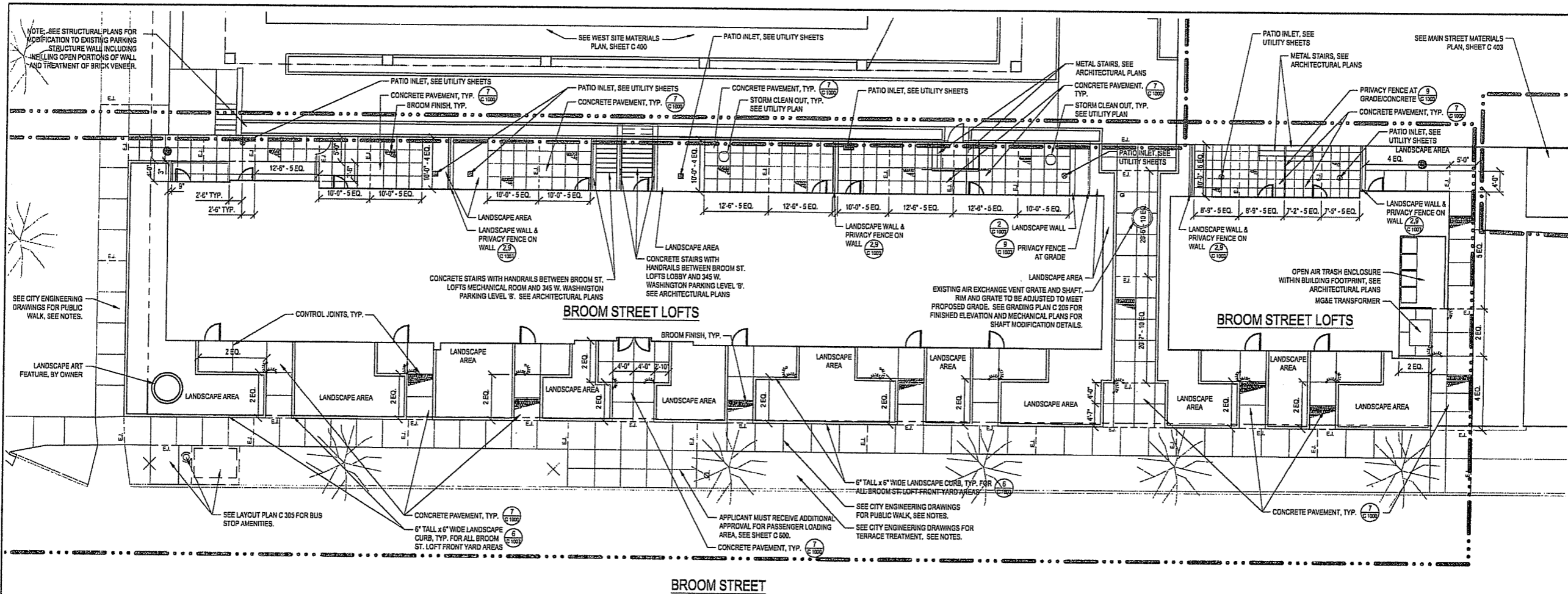
SCALE AS INDICATED

SCALE 24589.000

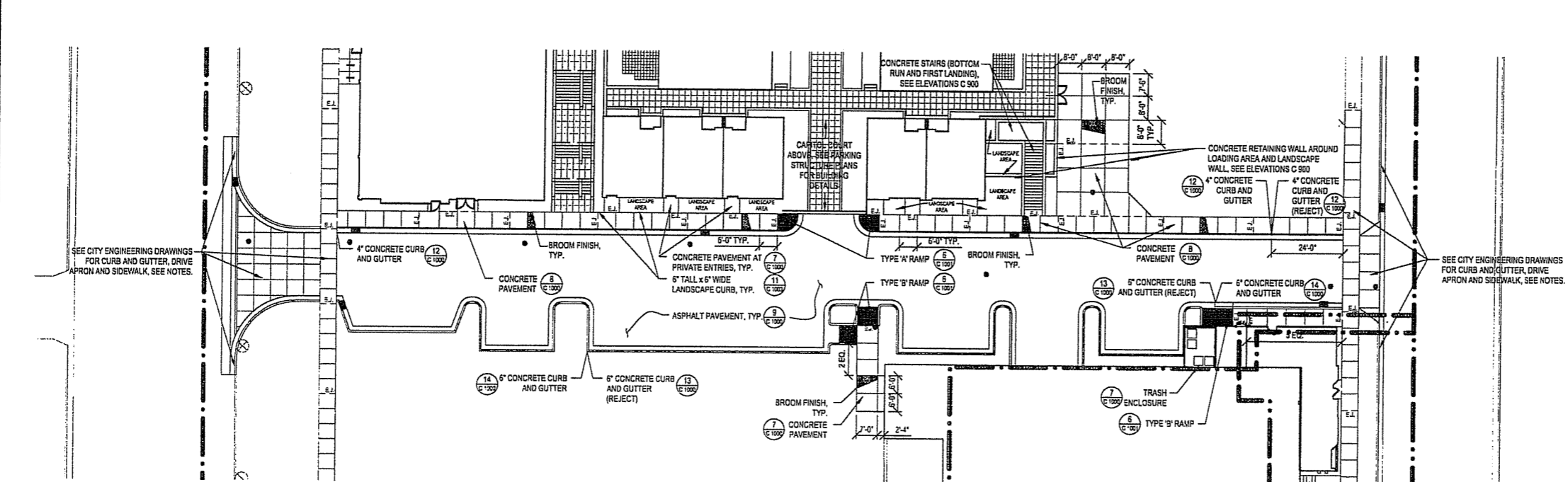
PROJECT NUMBER

C 404

DRAWING NUMBER



1 BROOM STREET LOFTS MATERIALS ENLARGEMENT
SCALE 1" = 10'



2 WASHINGTON PLACE MATERIALS ENLARGEMENT
SCALE 1" = 20'

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
FAX A LOCATE 1-800-228-3800
TDD (FOR HEARING IMPAIRED) 1-800-542-2243
WIS. STATUTE 12.01(1)(14)
REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

LEGEND

- BID 1 LIMIT OF WORK
- BID 2 LIMIT OF WORK
- BID 3 LIMIT OF WORK
- EXPANSION JOINT
- CONTROL JOINT
- PROPERTY LINE
- CURB AND GUTTER
- GUARDRAIL OR HANDRAIL
- STAIRS
- PROPOSED STORM INLET MANHOLE
- PROPOSED CURB INLET
- SLOT DRAIN
- PLANTER CURB OR WALL
- # EQ. NUMBER OF EQ. SPACED JOINTS
- △ SIGN

NOTES

1. APPROVAL OF SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY. ALL WORK SHOWN FROM THE BACK OF PUBLIC SIDEWALK TO OPPOSITE RIGHT OF WAY TO BE DESIGNED BY CITY OF MADISON ENGINEERING. RIGHT OF WAY WORK TO BE INSTALLED PER CITY OF MADISON PLANS. SEE CITY DRAWING SET FOR LAYOUT AND SPECIFICATIONS.
2. NOTED SITE ELEMENTS BEYOND P. TO BE DESIGNED AND DETAILED PER THIS DRAWING SET AND INSTALLED BY SITE CONTRACTOR PER CITY ENGINEERING AGREEMENT.
3. SEE ELEVATION SHEETS (800 SERIES) FOR HANDRAIL AND GUARDRAIL ELEVATIONS AND FOR RETAINING WALL PATTERN AND FOOTINGS.
4. IN ADDITION TO THOSE SHOWN, EXPANSION JOINTS (E.J.) IN CONCRETE WALKS TO BE INSTALLED AT ALL FIXED ELEMENTS, I.E. WALLS, STRUCTURES, ETC.

FILE: P:\24589\000\C404\sheet1\4589-SH-MAT.dwg USER: mrovek DATE: Jul 11 2006 TIME: 12:04 pm

**CAPITOL WEST
PHASE 1
BLOCK 51 - MADISON, WI**

Owner:
**THE ALEXANDER
COMPANY, INC.**

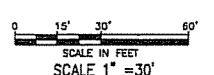
JJR landscape architecture
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625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 F
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FINAL DOCS. GOP/SP SUBMITTAL		06/14/2006
SIP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN

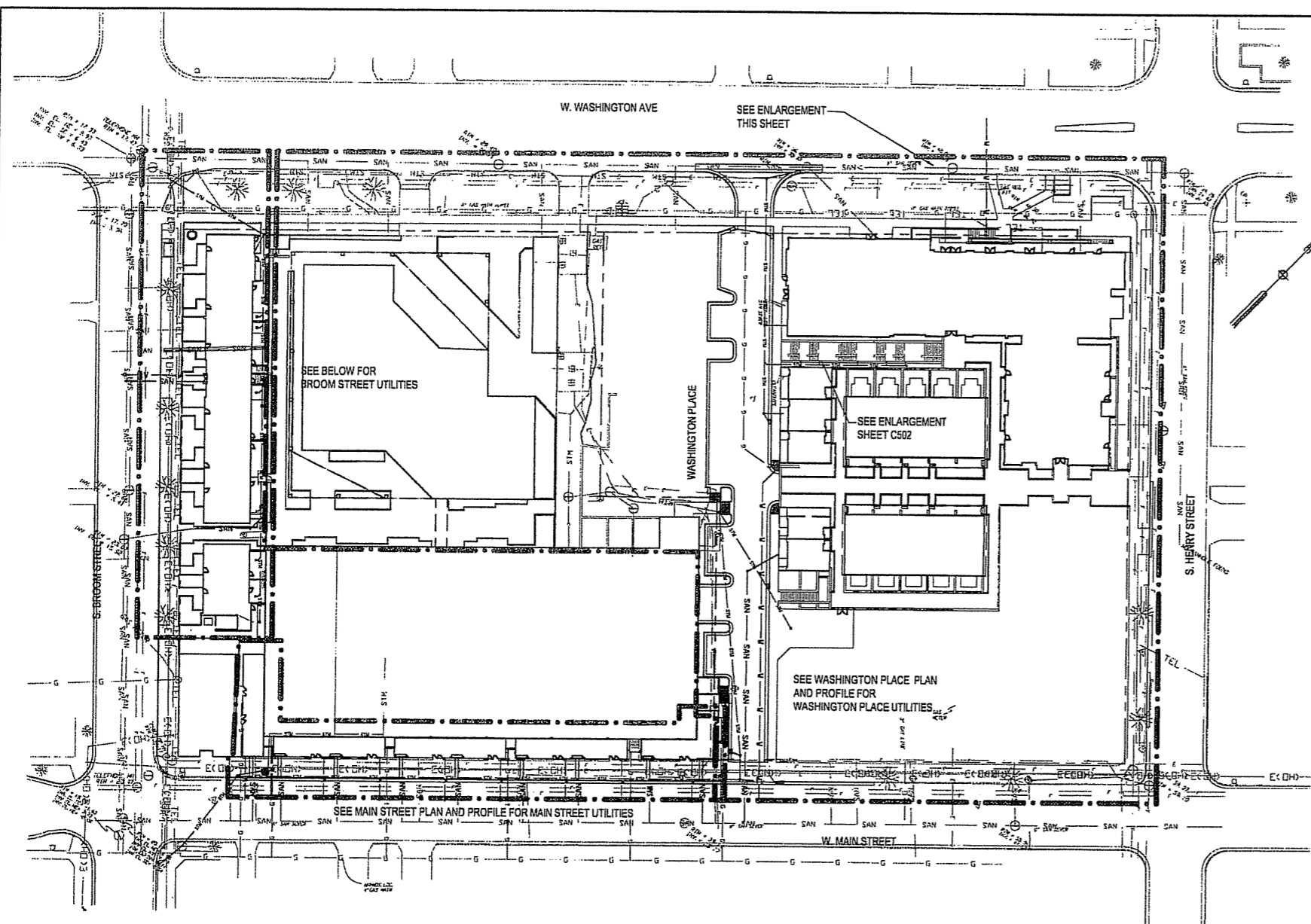
DRAWING TITLE
**SITE UTILITIES - 309 West
Washington Avenue**



SCALE: 24589.000

PROJECT NUMBER
C 500

DRAWING NUMBER



1 OVERALL UTILITY PLAN
SCALE: 1" = 40'0"

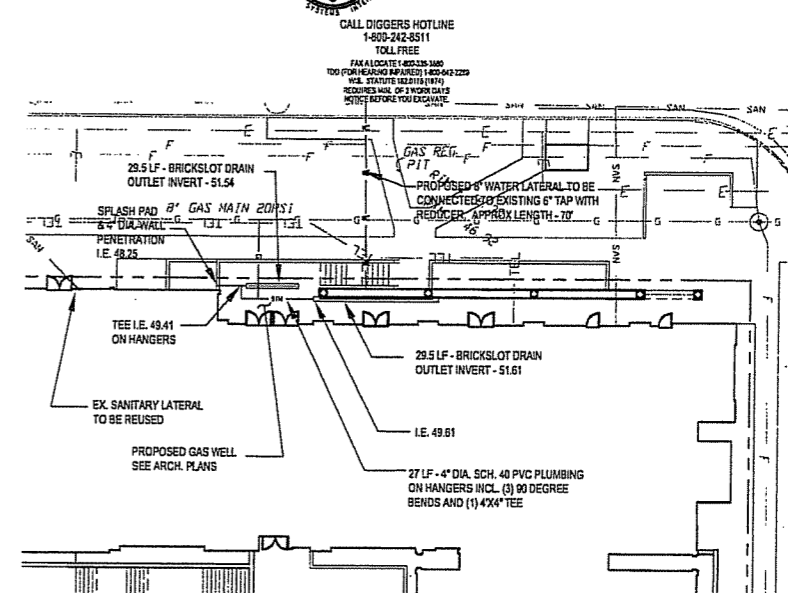
LEGEND

- SET 3" OF FIRM WT 6 LBS PER LIFT
- ⊕ FOUND BY REAR
- ⊕ FOUND BY FRONT
- ⊕ RECORDED AS
- ⊕ GAS VALVE
- ⊕ ISOLAND
- ⊕ SERVICE VALVE
- ⊕ LIGHT POLE
- ⊕ PARKING METER
- ⊕ MAN HOLE
- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ STREET OR PARKING SIGN
- ⊕ UTILITY BOX
- ⊕ UNMOUNTED VALVE
- ⊕ VENT OR UNVENTED PIPE
- ⊕ TOP OF HALL
- ⊕ AIR SHUTT VALVE
- ⊕ CONCRETE CURB
- ⊕ TREE

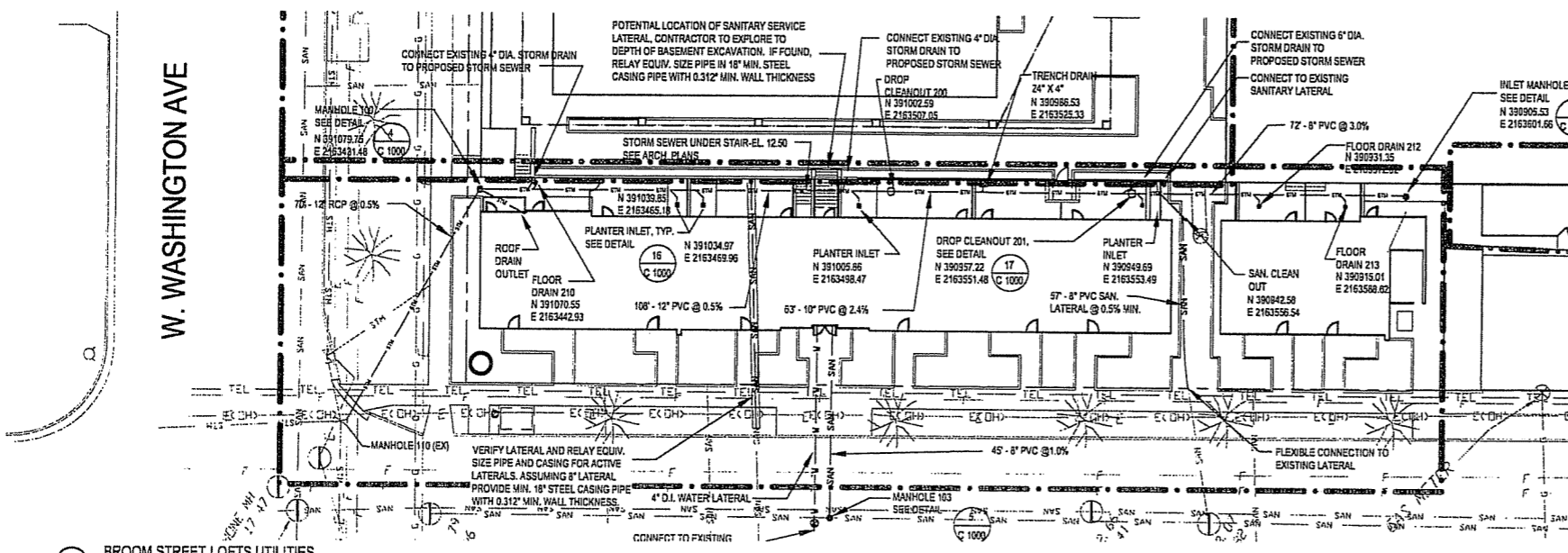
UTILITY NOTES:

- APPROVAL OF SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY.
- ALL UNDERGROUND UTILITIES SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARDS, EXCEPT WHERE NOTED.
- COORDINATE FINAL LATERAL SERVICE LOCATIONS WITH ARCHITECT.
- ALL MANHOLE RIMS, HYDRANTS, VALVES, AND SUPERFICIAL UTILITY APPURTENANCES SHALL BE ADJUSTED AS NECESSARY TO MATCH FINISHED GRADE.
- MAINTAIN A MINIMUM OF 6.5' (FEET) COVER OVER PROPOSED WATER MAIN.
- THE CONTRACTOR IS RESPONSIBLE TO CONTACT DIGGERS HOTLINE, MGE, AT&T, CHARTER COMMUNICATIONS, AND ALL OTHER PRIVATE UTILITIES TO DETERMINE CONSTRUCTION REQUIREMENTS AND EXISTING UTILITY LOCATIONS.
- THE CONTRACTOR SHALL COORDINATE WITH ELECTRICAL DESIGN/BUILD CONTRACTOR TO LOCATE PROPOSED UNDERGROUND ELECTRIC FACILITIES.
- ALL WORK FROM THE BACK OF SIDEWALK TO THE OPPOSITE PROPERTY LINE SHALL BE DESIGNED AND DOCUMENTED BY THE CITY OF MADISON ENGINEERING DEPARTMENT. INSTALL PER CITY OF MADISON PLANS. RIGHT OF WAY IMPROVEMENTS IN THIS SET ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY. APPROVAL OF SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY.

CALL DIGGERS HOTLINE
1-800-242-8311
TOLL FREE
FAX ALLOCATE 1-800-338-3800
100' (FOR HEARING IMPAIRED) 1-800-642-2229
MIS. STATEMENTS (800) 442-2229
REQUIRED MIN. OF 3 WORK DAYS
BEFORE YOU BEGIN WORK



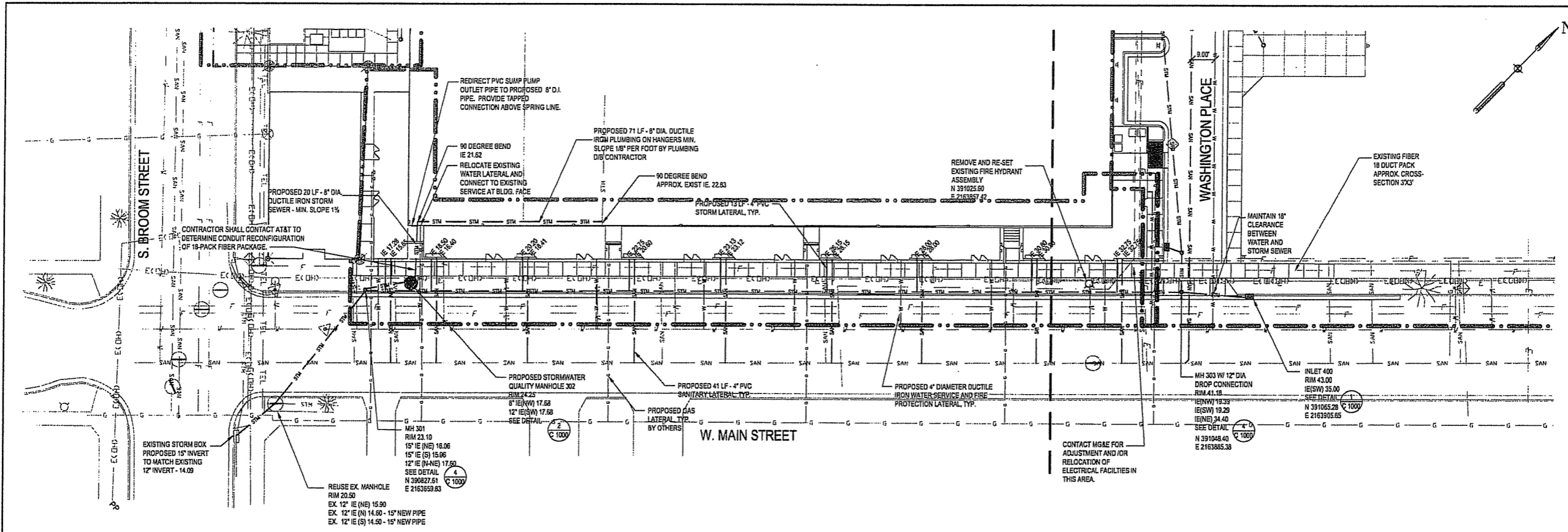
2 309 W. WASHINGTON UTILITY PLAN ENLARGEMENT
SCALE: 1" = 20'0"



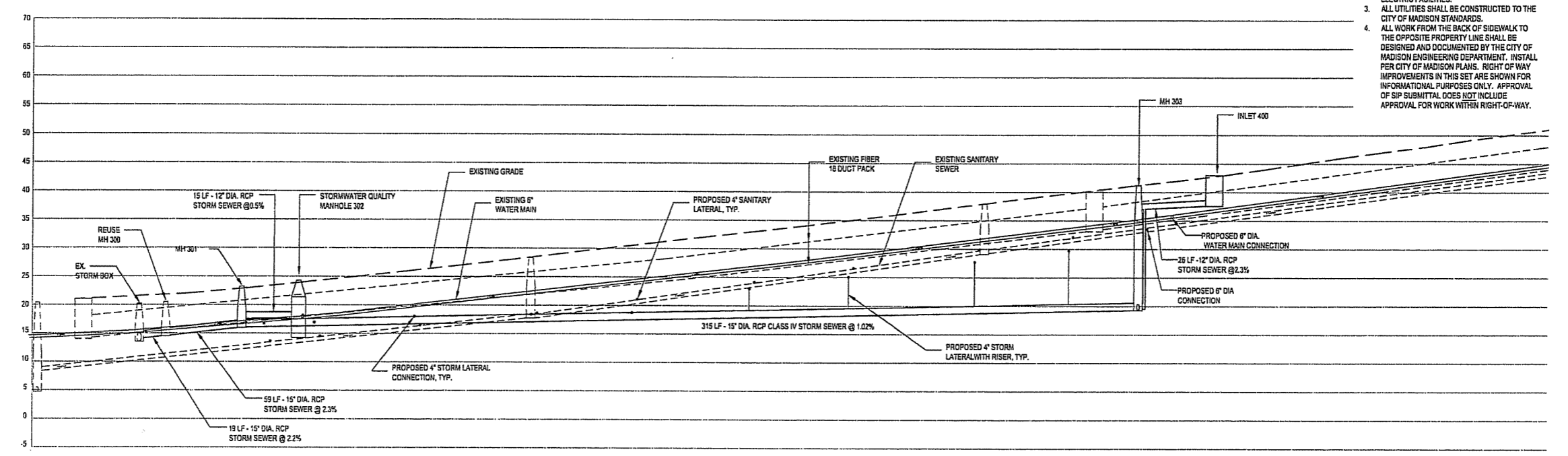
3 BROOM STREET LOFTS UTILITIES
SCALE: 1" = 20'0"

STRUCTURE TABLE			
STRUCTURE	LID TYPE	RIM ELEV.	INVERT ELEV.
MH 100	CLOSED	20.5	W (12) 12.00 SE (12) 12.10
MH 101	OPEN	24.6	NE (8) 21.16 NW (EX) (10) 5.70 SE (EX) (10) 5.80
MH 103	CLOSED	20.90	NE (8) 6.70 E (12) 11.65 NE (EX) (12) 14.51 SW (EX) (12) 14.06 NW (EX) (12) 11.20
MH 110 (EX)	EXISTING	RE-LEVEL	NW (12) 14.50 SE (10) 12.64 NW (10) 19.60 SE (8) 16.00
DCO 200	CLOSED	21.55	
DCO 201	CLOSED	23.85	
FD 210	OPEN	20.2	
TD 211	OPEN	23.9	
FD 212	OPEN	23.3	
FD 213	OPEN	23.8	

FILE: P:\24589\WOOD\CAD\sheet\4589-SH-UTIL.dwg USER: mawak DATE: Jul 11 2006 TIME: 12:05 pm



1 MAIN STREET PLAN
SCALE: 1" = 20'



2 MAIN STREET PROFILE
SCALE: HORIZONTAL 1" = 20'
VERTICAL 1" = 10'

**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
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50% DD REVIEW & ESTIMATE SET		01/04/2006
MAIN ST. UTIL. TO CITY		02/07/2006
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100% CLIENT/CONV. REVIEW SET		03/22/2006
FINAL DOCS. QIP/SP SUBMITTAL		06/14/2006
SIP ALTERATION		07/12/2006

- NOTES:
- COORDINATE ALL LATERAL ELEVATIONS WITH ARCHITECT AND AT&T FIBER LOCATIONS AND ELEVATIONS AND ALL OTHER UTILITIES.
 - ELECTRIC COMPANY STRUCTURES SHALL BE ADJUSTED BY CONTRACTOR WITHOUT DISTURBING UNDERGROUND FACILITIES. CONTRACTOR SHALL COORDINATE WITH ARCHITECT FOR CONSTRUCTION OVER ELECTRIC FACILITIES.
 - ALL UTILITIES SHALL BE CONSTRUCTED TO THE CITY OF MADISON STANDARDS.
 - ALL WORK FROM THE BACK OF SIDEWALK TO THE OPPOSITE PROPERTY LINE SHALL BE DESIGNED AND DOCUMENTED BY THE CITY OF MADISON ENGINEERING DEPARTMENT. INSTALL PER CITY OF MADISON PLANS. RIGHT OF WAY IMPROVEMENTS IN THIS SET ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY. APPROVAL OF SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY.

SEALS AND SIGNATURES

KEY PLAN

PROJECT NORTH

DRAWING TITLE
SITE UTILITIES - Profiles

SCALE
SCALE IN FEET
SCALE 1" = 20'

SCALE 24589.000

PROJECT NUMBER

C 501

DRAWING NUMBER

FILE P: \24589\00\CAD\Sheet\4589-SI-PROF.dwg USER: mmonok DATE: Jul, 11 2006 TIME: 12:05 pm

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PHASE 1
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100% CLIENT/CONTR. REVIEW SET	03/22/2006
FINAL DOCS. QWP/SP SUBMITTAL	06/14/2006
SP ALTERATION	07/12/2006

SEALS AND SIGNATURES

KEY PLAN

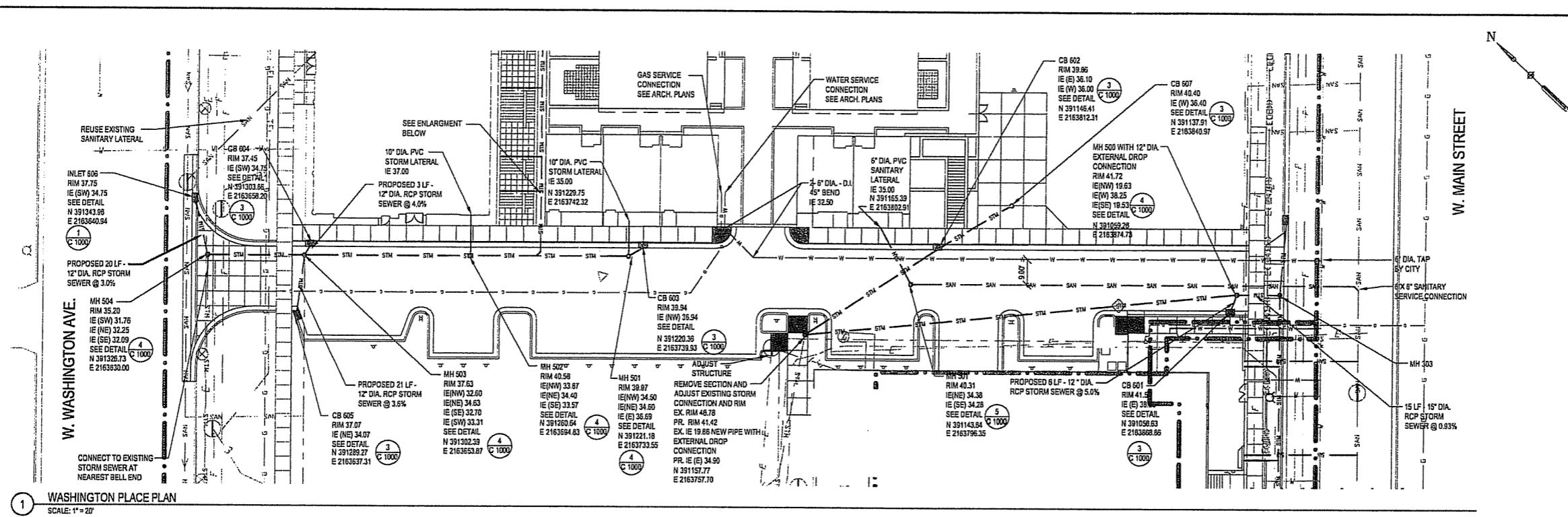
PROJECT NORTH

DRAWING TITLE
SITE UTILITIES - Profiles

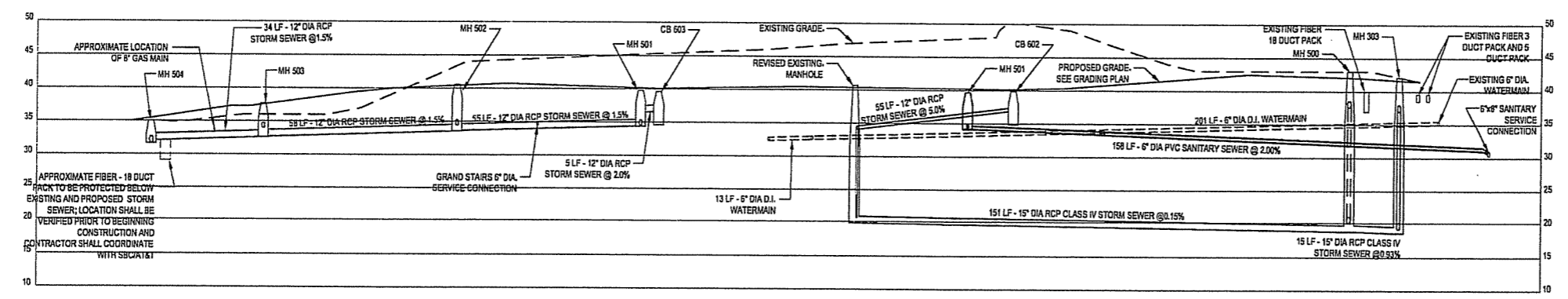
SCALE AS INDICATED
SCALE 24589.000
PROJECT NUMBER

C 502

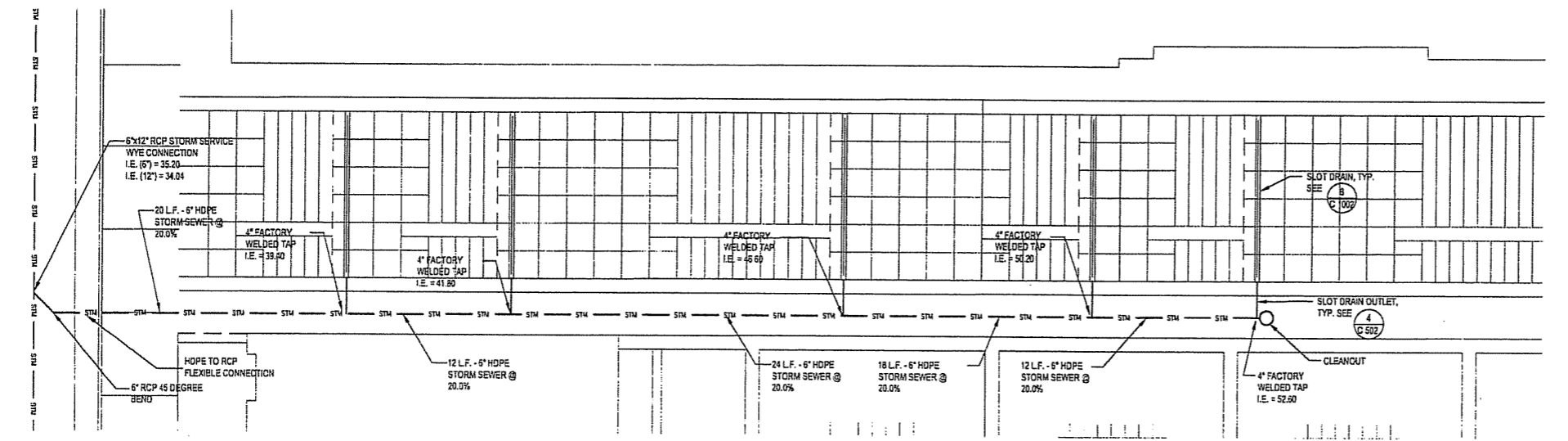
DRAWING NUMBER



1 WASHINGTON PLACE PLAN
SCALE: 1" = 20'

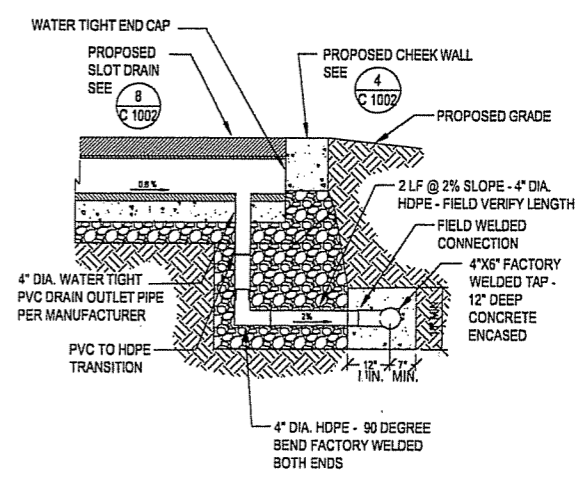


2 WASHINGTON PLACE PROFILE
SCALE: HORIZONTAL 1" = 20'
VERTICAL 1" = 10'



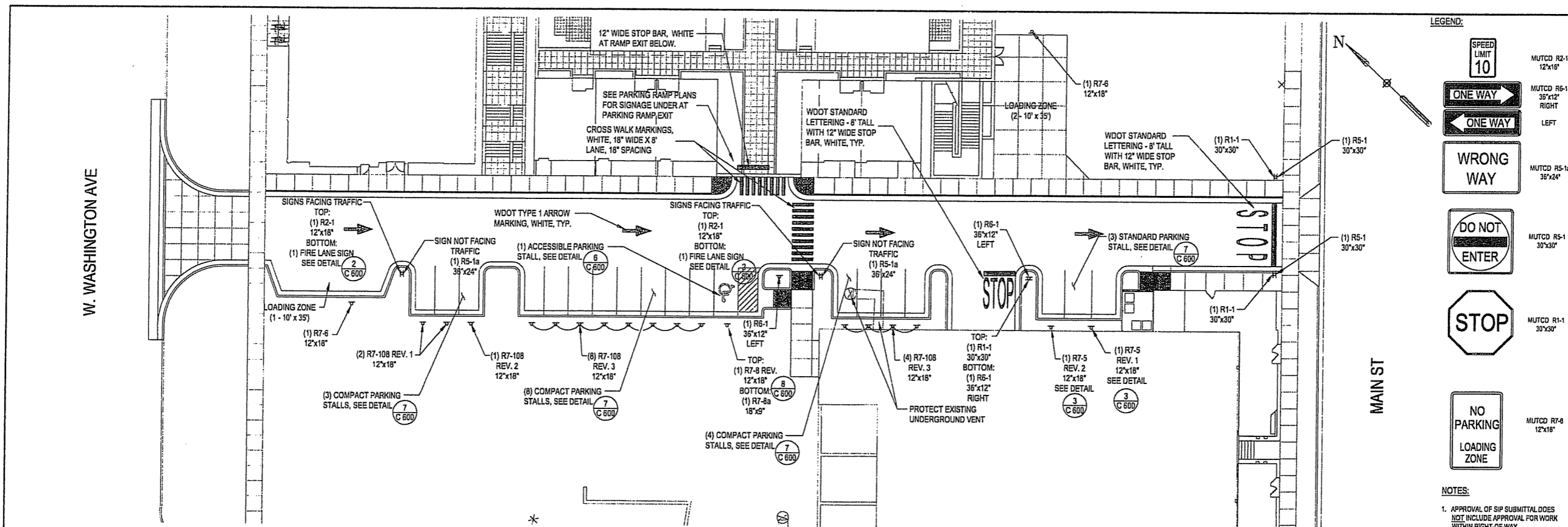
3 NORTH STAIR SEWER ENLARGEMENT
SCALE: 1" = 5'

- NOTES:**
- ALL HDPE PIPE FIELD WELDED JOINTS SHALL BE ENCASED IN CONCRETE. CONCRETE ENCASEMENT SHALL BE MINIMUM 4 INCHES OUTSIDE PIPE AND WELD IN ALL DIRECTIONS.
 - ALL WORK FROM THE BACK OF SIDEWALK TO THE OPPOSITE PROPERTY LINE SHALL BE DESIGNED AND DOCUMENTED BY THE CITY OF MADISON ENGINEERING DEPARTMENT. INSTALL PER CITY OF MADISON PLANS. RIGHT OF WAY IMPROVEMENTS IN THIS SET ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY. APPROVAL OF SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY.



4 SLOT DRAIN OUTLET SECTION
SCALE: 1" = 2'

FILE: P:\4589\000\CAD\sheet\4589-SH-PROF.dwg USER: mrvok DATE: Jul 11 2006 TIME: 03:26 pm



LEGEND:

- MUTCD R2-1 12'x18"
- MUTCD R5-1 35'x12" RIGHT
- LEFT
- MUTCD R5-1a 35'x24"
- MUTCD R5-1 30'x30"
- MUTCD R1-1 30'x30"
- MUTCD R7-8 12'x18"

CAPITOL WEST PHASE 1
 BLOCK 51 - MADISON, WI

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 www.jjr-us.com

- NOTES:**
- APPROVAL OF SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY.
 - ALL SIGNS SHALL BE MOUNTED PER SIGNAGE MOUNTING DETAIL.
 - ALL SIGNS AND PAVEMENT MARKINGS SHALL FOLLOW MUTCD STANDARDS FOR COLOR AND REFLECTIVITY.
 - ALL SIGNS SHALL BE PLACED OUTSIDE THE 24" (INCH) VEHICLE OVERHANG AT THE FRONT OF EACH PARKING STALL.
 - ALL PAVEMENT MARKING SHALL BE EPOXY AND MAINTAINED BY THE PROPERTY OWNER.
 - PAVEMENT MARKING AND SIGNAGE FOR PASSENGER LOADING ZONES SHALL BE DETAILED BY THE CITY. SEE CITY PLAN SET FOR DETAILS.
 - SEE SHEET C 001 FOR SITE INFORMATION BLOCK REGARDING TOTAL PARKING STALL COUNT AND PERCENTAGE OF SMALL CAR STALLS.

ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
50% DD REVIEW & ESTIMATE SET		01/04/2006
MAIN ST. UTIL. TO CITY		02/07/2006
CITY REVIEW SET		02/22/2006
100% CLIENT/CONF. REVIEW SET		03/22/2006
FINAL DOCS. GIP/SIP SUBMITTAL		05/14/2006
SIP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN

PROJECT NORTH

1 WASHINGTON PLACE SIGNAGE PLAN
 SCALE: 1" = 20'

2 FIRE LANE SIGN DETAIL
 NOT TO SCALE

15 MINUTE PARKING (12' x 18")
1 HOUR PARKING (12' x 18")

NOTES:

- SEE PLAN FOR LOCATIONS.
- SIGN SHALL BE REFLECTIVE WHITE WITH GREEN LETTERING PER MUTCD STANDARDS.

3 MUTCD R7-5 REVISIONS
 NOT TO SCALE

NO PARKING PASSENGER LOADING ZONE (12' x 18")

NOTES:

- SEE PLAN FOR LOCATIONS.

4 MUTCD R7-6 REVISIONS
 NOT TO SCALE

1 HOUR PARKING
COMPACT CAR

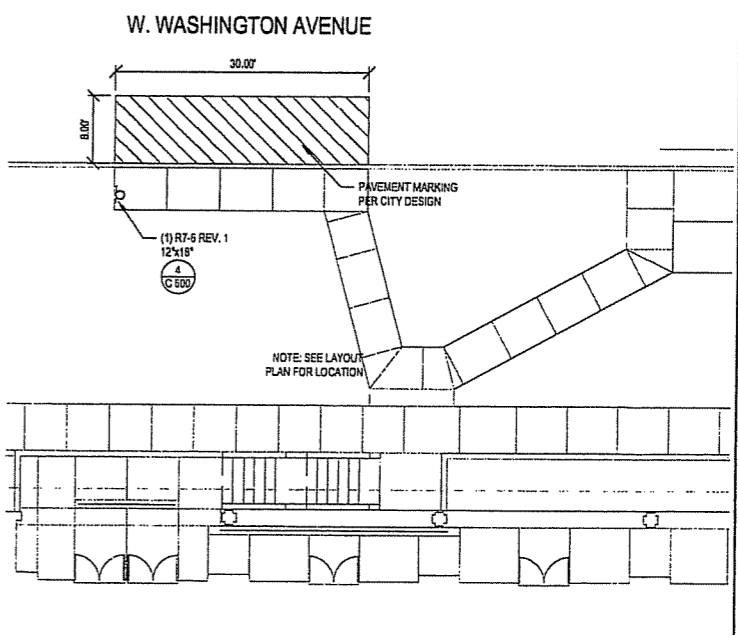
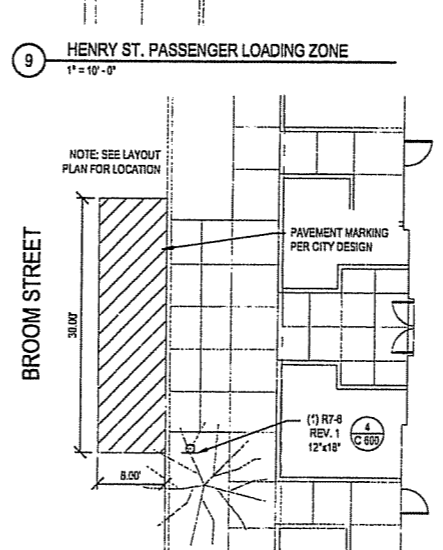
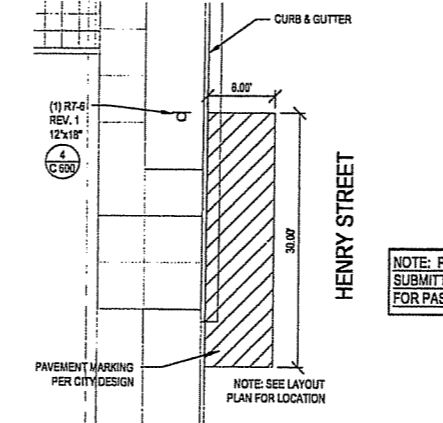
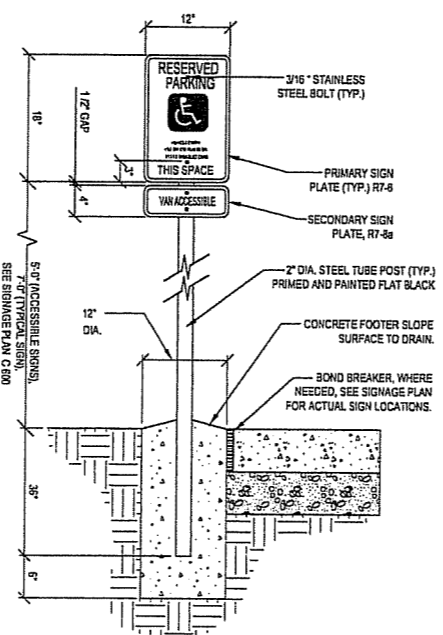
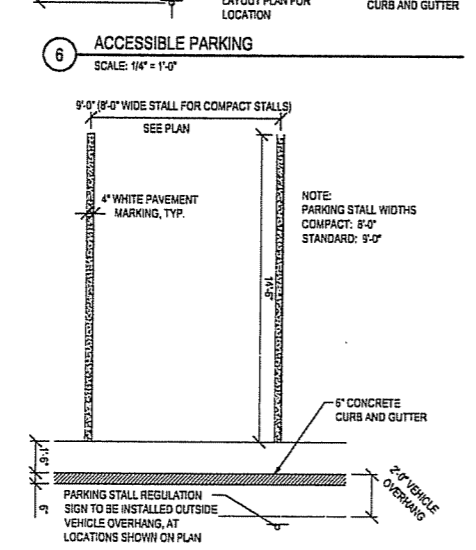
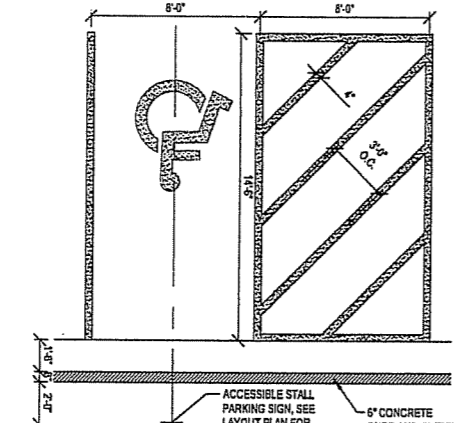
WRITTEN REVISIONS:

- REV1 - TOP "15 MINUTE PARKING" BOTTOM "COMPACT CAR ONLY"
- REV2 - TOP "1 HOUR PARKING" BOTTOM "COMPACT CAR ONLY"
- REV3 - TOP "1 HOUR PARKING" BOTTOM "COMPACT CAR ONLY"

NOTES:

- SEE PLAN FOR LOCATIONS
- SIGN SHALL BE REFLECTIVE WHITE WITH GREEN LETTERING PER MUTCD STANDARDS

5 MUTCD R7-108 REVISIONS
 NOT TO SCALE



DRAWING TITLE
SITE SIGNAGE

SCALE AS INDICATED

SCALE: 24589.000

PROJECT NUMBER
C 600

DRAWING NUMBER

FILE P: \p\589\000\CAD\Sheet\4589-SI-SIGN.dwg USER: mowak DATE: Jul 11 2006 TIME: 12:05 pm

**CAPITOL WEST
PHASE 1
BLOCK 51 - MADISON, WI**

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR landscape architecture
planting urban design
civil engineering environmental science
JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com

ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
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FINAL DOCS. GOP/SP SUBMITTAL		05/14/2006
SP ALTERATION		07/12/2006

SEALS AND SIGNATURES

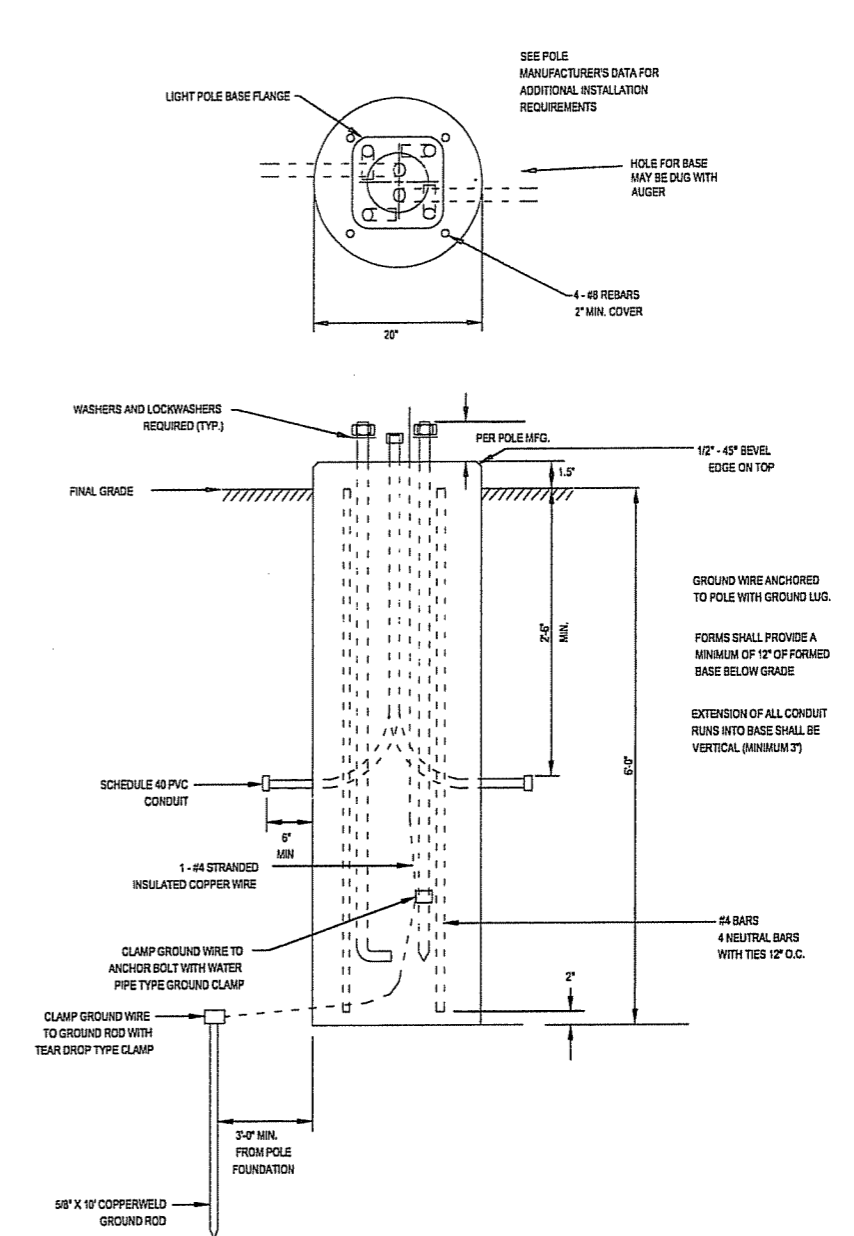
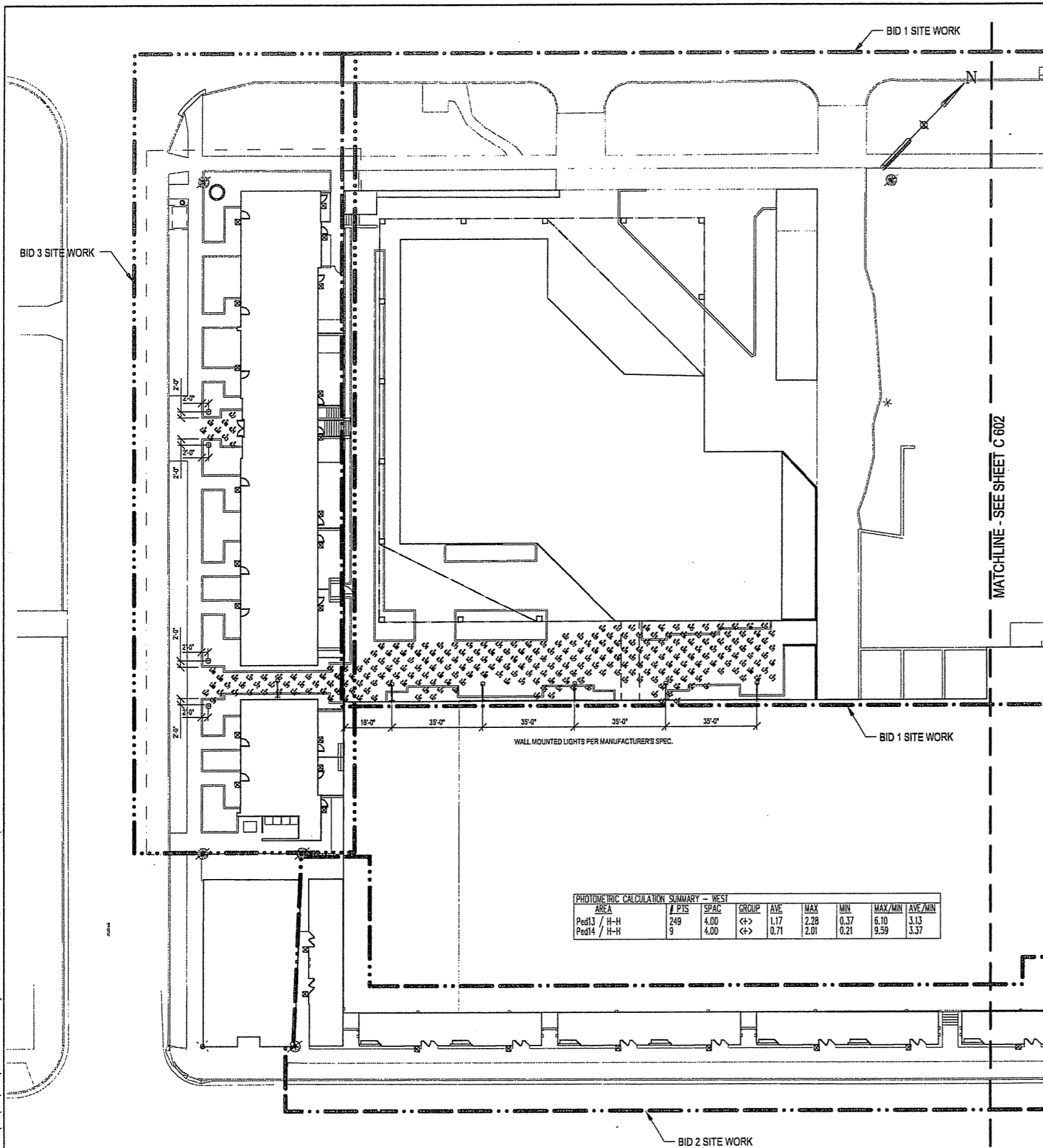
KEY PLAN
PROJECT NORTH

DRAWING TITLE
SITE LIGHTING - West

SCALE
24589.000

PROJECT NUMBER
C 601

DRAWING NUMBER



2 LIGHT BASE AT GRADE, TYP.
SCALE 1" = 1'

PHOTOMETRIC CALCULATION SUMMARY - WEST

AREA	# PTS	SPAC	GROUP	AVE	MAX	MIN	MAX/MIN	AVE/MIN
Ped13 / H-H	249	4.00	<->	1.17	2.28	0.37	6.10	3.13
Ped14 / H-H	9	4.00	<->	0.71	2.01	0.21	9.59	3.37

LIGHT FIXTURE LEGEND

- INDESSA 562 (w/ cold weather ballast)
- WET INDESSA 562 (w/ cold weather ballast)
- BOLLARD - BEACON PALM BEACH 8" FLAT TOP MOUNTED AT GRADE
- BOLLARD - BEACON PALM BEACH 8" FLAT TOP MOUNTED ON STRUCTURE
- ⊙ VISIO TYPE 535 POLE MOUNT AT GRADE
- ⊙ VISIO TYPE 535 POLE MOUNT ON STRUCTURE
- ⊙ VISIO TYPE 535 WALL MOUNT
- RITORNO SQUARE ASYMMETRICAL

LEGEND

- BID 1 LIMIT OF WORK
- - - BID 2 LIMIT OF WORK
- ⋯ BID 3 LIMIT OF WORK
- CURB AND GUTTER
- ⊎ STAIRS
- ⊎ PLANTER CURB OR WALL

NOTES

1. ALL STREET LIGHTS AND POLES ON W. WASHINGTON AVE., S. HENRY ST., W. MAIN ST. & S. BROOM ST. SHALL BE REPLACED WITH CITY OF MADISON STANDARD STREET AND PEDESTRIAN LIGHTING. ACTUAL LIGHTING LAYOUT AND DESIGN FOR STREET AND PEDESTRIAN LIGHTING TO BE DONE BY CITY ENGINEERING AND INSTALLED BY CONTRACTOR FOR THIS PROJECT.
2. ALL MOUNTING HEIGHTS ARE LISTED TO BOTTOM OF LUMINARIES.
3. ALL LIGHTS TO BE MOUNTED PER MANUFACTURER'S SPECIFICATIONS.

LUMINAIRE SCHEDULE

DESCRIPTION	LAMP	LUMENS	MOUNTING/BALLAST	CF	QTY
(1) '80L' PB	(1)	3200	BASE AG BASE DS	300	6
SELUX CORPORATE! (1) 'RIT' RIT-1-HITS (RITERND)	(1)	14000	BASE AG - 15' MOUNTING HEIGHT	380	6
VISIO LIGHTING (1) '535' 535-PC-SYM-AV-120VCF-Voltage	(1)	1200 CF	BASE AG - 12' MOUNTING HEIGHT BASE DS - 12' MOUNTING HEIGHT	850	5
INDESSA LIGHTING (1) '431' 431-2EFO26-WHT	(2)	1710	WALL MOUNT PER MANUFACTURER 9' MOUNTING HEIGHT	350	13
INDESSA LIGHTING (1) '562' 562-3CF026-WHT	(2)	1710	WALL MOUNT PER MANUFACTURER 9' MOUNTING HEIGHT	350	41
VISIO LIGHTING (1) '535' 535-PC-SYM-AV-120VCF-Voltage	(1)	1200 CF	WALL MOUNT PER MANUFACTURER 12' MOUNTING HEIGHT	350	6

FILE P: \24589\000\CAD\Sheet\5689-SI-LIGHTING.dwg USER: rmanek DATE: Jul 11 2006 TIME: 12:05 pm

1 SITE LIGHTING PHOTOMETRICS PLAN - WEST
SCALE 1" = 20'

**CAPITOL WEST
PHASE 1
BLOCK 51 - MADISON, WI**

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR
landscape architecture
planning
urban design
civil engineering
environmental science
JJR, LLC
825 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
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www.jjr-us.com

ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
SUB REVIEW & ESTIMATE SET		01/04/2006
MAIN ST. UTIL. TO CITY		02/07/2006
CITY REVIEW SET		02/22/2006
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FINAL DOCS. GSP/SP SUBMITTAL		06/14/2006
SP ALTERATION		07/12/2006

SEALS AND SIGNATURES

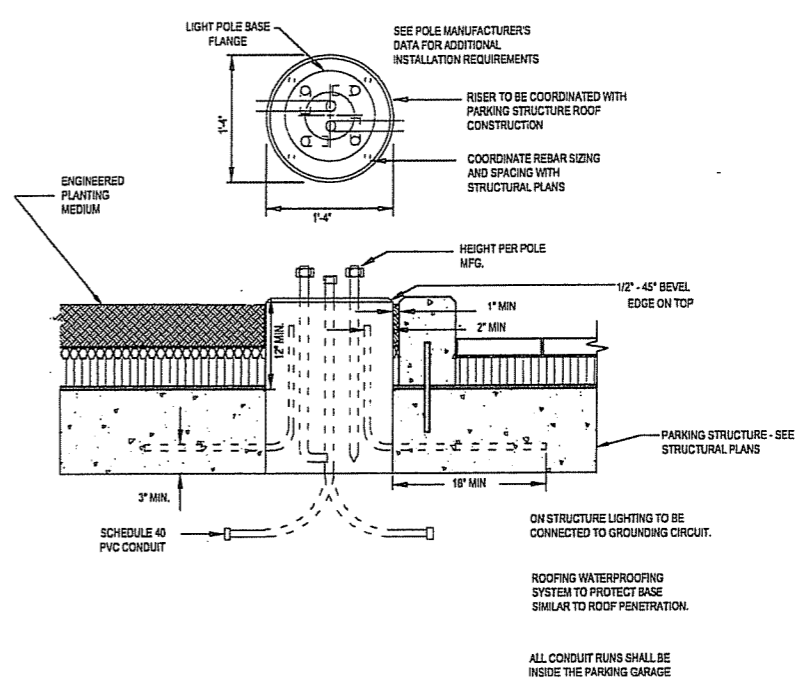
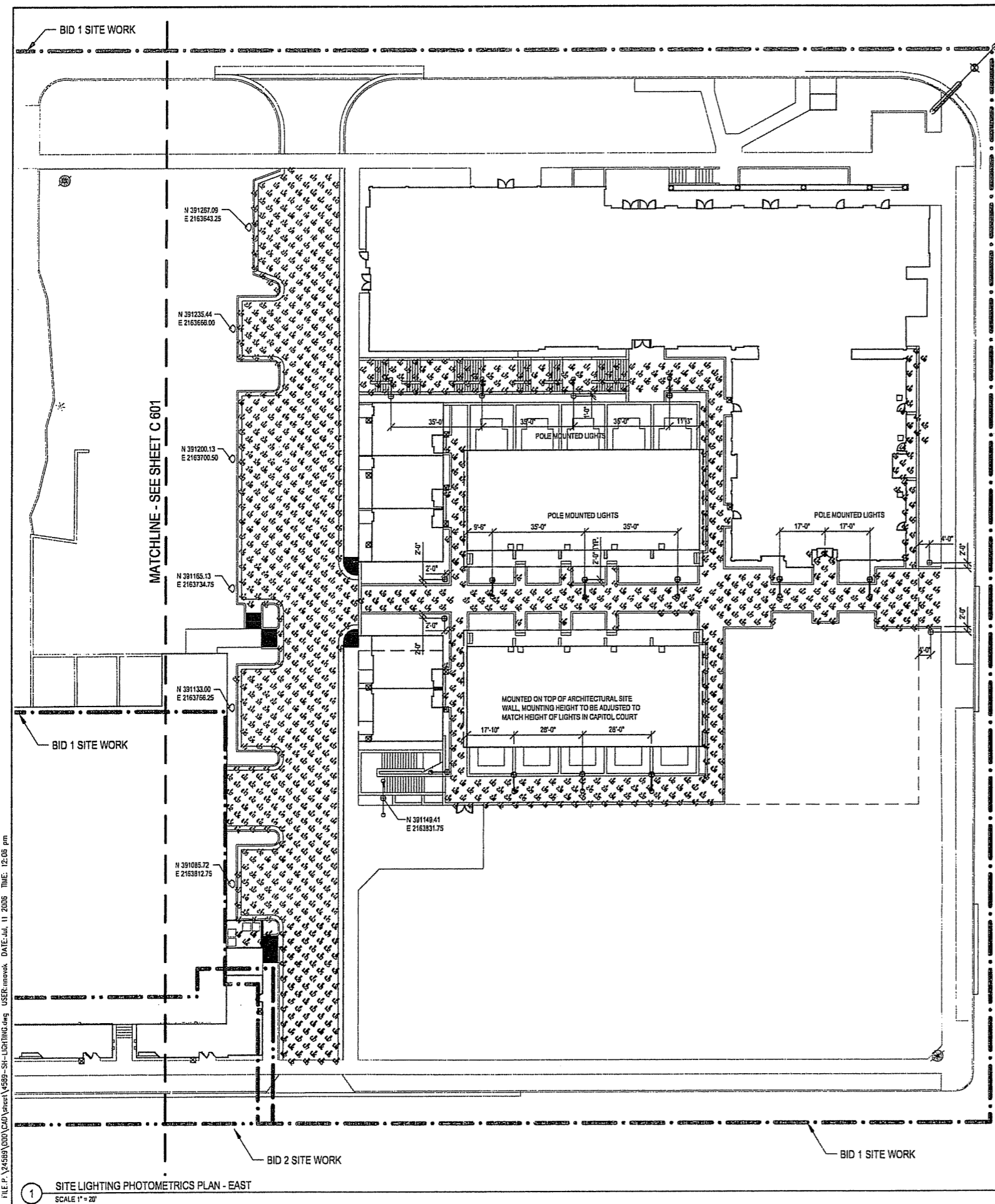
KEY PLAN 

DRAWING TITLE
SITE LIGHTING - East

SCALE
24589.000

PROJECT NUMBER
C 602

DRAWING NUMBER



2 POLE MOUNT ON PARKING STRUCTURE
SCALE 1" = 1'

PHOTOMETRIC CALCULATION SUMMARY - EAST

AREA	# PTS	SPAC	GROUP	AVE	MAX	MIN	MAX / MIN	AVE / MIN
PARKING AREA	640	4.00	<+>	1.22	3.56	0.32	11.07	3.81
ENTRY/EXIT DRIVE	76	4.00	<+>	0.20	1.06	0.02	65.52	12.33
FENCED DUMPSTER AREA	5	4.00	<+>	0.62	1.66	0.00	N/A	N/A
Ped1 / H-H	102	4.00	<+>	1.62	2.30	0.87	2.65	1.87
Ped2 / H-H	39	4.00	<+>	0.67	1.89	0.13	15.14	5.34
Ped3 / H-H	23	4.00	<+>	1.13	2.10	0.60	3.50	1.88
Ped4 / H-H	19	4.00	<+>	0.93	2.19	0.28	7.69	3.25
Ped5 / H-H	61	4.00	<+>	1.90	2.51	1.32	1.90	1.44
Ped6 / H-H	97	4.00	<+>	1.22	2.20	0.00	N/A	N/A
Ped7 / H-H	26	4.00	<+>	1.21	2.11	0.74	2.87	1.65
Ped8 / H-H	70	4.00	<+>	1.77	2.53	0.39	6.55	4.58
Ped9 / H-H	33	4.00	<+>	0.25	1.00	0.04	28.23	7.03
Ped10 / H-H	13	4.00	<+>	0.47	2.07	0.01	317.39	71.29
Ped11 / H-H	13	4.00	<+>	0.42	1.28	0.00	N/A	N/A
Ped12 / H-H	8	4.00	<+>	0.23	1.48	0.00	N/A	N/A

LIGHT FIXTURE LEGEND

- INDESSA 562 (w/ cold weather ballast)
- WET INDESSA 562 (w/ cold weather ballast)
- BOLLARD - BEACON PALM BEACH 8" FLAT TOP MOUNTED AT GRADE
- BOLLARD - BEACON PALM BEACH 8" FLAT TOP MOUNTED ON STRUCTURE
- VISIO TYPE 535 POLE MOUNT AT GRADE
- VISIO TYPE 535 POLE MOUNT ON STRUCTURE
- VISIO TYPE 535 WALL MOUNT
- RITORNO SQUARE ASYMMETRICAL

LEGEND

- BID 1 LIMIT OF WORK
- BID 2 LIMIT OF WORK
- BID 3 LIMIT OF WORK
- CURB AND GUTTER
- STAIRS
- PLANTER CURB OR WALL

NOTES

1. ALL STREET LIGHTS AND POLES ON W. WASHINGTON AVE., S. HENRY ST., W. MAIN ST. & S. BROOK ST. SHALL BE REPLACED WITH CITY OF MADISON STANDARD STREET AND PEDESTRIAN LIGHTING. ACTUAL LIGHTING LAYOUT AND DESIGN FOR STREET AND PEDESTRIAN LIGHTING TO BE DONE BY CITY ENGINEERING AND INSTALLED BY CONTRACTOR FOR THIS PROJECT.
2. ALL MOUNTING HEIGHTS ARE LISTED TO BOTTOM OF LUMINAIRES.
3. ALL LIGHTS TO BE MOUNTED PER MANUFACTURERS SPECIFICATIONS.

LUMINAIRE SCHEDULE

DESCRIPTION	LAMP	LUMENS	BASE	MOUNTING/BALLAST	LLF	QTY
(1) '300' FB	(1)	3200	BASE AG BASE OS		0.90	6
SELUX CORPORAIT (1) '481' REF-1-4475 (R10GRND)	(1)	9875/C/U	BASE AG - 15' MOUNTING HEIGHT		0.80	6
VISIO LIGHTING (1) '535' 535-PE-51H-AV-120VCT-Voltage	(1)	120V CF	BASE AG - 12' MOUNTING HEIGHT BASE OS - 12' MOUNTING HEIGHT		0.90	5
INDESSA LIGHTING (1) '431' 431-2E2326-WHT	(2)	1710	WALL MOUNT PER MANUFACTURER 9' MOUNTING HEIGHT		0.90	13
INDESSA LIGHTING (1) '562' 562-2E1226-WHT	(2)	1710	WALL MOUNT PER MANUFACTURER 9' MOUNTING HEIGHT		0.90	41
VISIO LIGHTING (1) '535' 535-PE-51H-AV-120VCT-Voltage	(1)	120V CF	WALL MOUNT PER MANUFACTURER 12' MOUNTING HEIGHT		0.90	6

FILE P:\24589\CAD\sheet\4399-SH-LIGHTING.dwg USER:mvavak DATE:Jul 11 2006 TIME: 12:05 pm

1 SITE LIGHTING PHOTOMETRICS PLAN - EAST
SCALE 1" = 20'

Project: _____
Type: _____
Approved: _____
Cat. # 5 / 35 / PE / SYM / LAMP / 1 / 10CF / 1 / 1 / 1 / 1

Constellation Collection 535 Series

Option: 22" dia top shade Available

Options: 11-120, 2-200, 4-240, 7-237

Rated IP 65 for ingress protection

HELLUX
 4110 HWY 19, SUITE 110, BARNOLA, FL 34423
 941.765.6594 Fax: 941.761.5535

Project: _____
Type: _____
Approved: _____
Cat. # 5 / 35 / PE / SYM / LAMP / 1 / 10CF / 1 / 1 / 1 / 1

Constellation Collection 535 Series

Option: 22" dia top shade Available

Options: 11-120, 2-200, 4-240, 7-237

Rated IP 65 for ingress protection

HELLUX
 4110 HWY 19, SUITE 110, BARNOLA, FL 34423
 941.765.6594 Fax: 941.761.5535

1 VISIO PEDESTRIAN LIGHT CUT SHEETS
 N.T.S.

WET LOCATION HALF CYLINDER

PROJECT: _____
 LOCATION: _____

FEATURES:

- Narrow, distinctive fixture is ideal for mounting on columns
- Fully enclosed and gasketed fixture
- Approved and listed for wet locations
- Electronic, multi-volt (120/277) ballast is standard (277 starting temperature)
- All parts are treated with a five-stage phosphate bonding process before being finished with a long-lasting powder coat finish
- Easy installation and replacement of lamps
- No visible fasteners
- Manufactured in the USA

ORDERING INFORMATION / OPTIONS EXAMPLE: 562-2CF013-SAL

4 3 1
 5 6 2

2CF126
 2CF26

SAL
 SAL

Indessa Lighting
 6117 EASY DRIVE | SPOKANE, WA | 99212 | (509) 954-0242
 (800) 674-9315

2 INDESSA ENTRY LIGHT CUT SHEET
 N.T.S.

BEACON PRODUCTS

8" PALM BEACH BOLLARD WITH CUSTOM FLAT TOP

BASE FOOTPRINT

Block 51 QTY: 10

CATALOG # 40-4742L-4744 AFPL-026-480-3

ALL CAST ALUMINUM PARTS ARE COPPER FREE ALLOY A356

HELLUX
 4110 HWY 19, SUITE 110, BARNOLA, FL 34423
 941.765.6594 Fax: 941.761.5535

3 BEACON BOLLARD CUT SHEET
 N.T.S.

Ritorno® Square Asymmetrical

Project: Capitol West - Block 51 Madison, WI - Alexander Co.
 Type: _____ Qty: _____

Series	Mounting	Lamp Type / Wattage	Finish	Voltage	Height	Options
RSA	Single W/U Mount	FP21 120/240	Black White RAL	120 240	210	MOL MOL No Lamp Supplied RED RED (Not Recommended)

SELUK Corp. 27004
 PO Box 3100, 3 Lumina Lane
 Highland, NY 12528-1000
 TEL: (845) 891-7723 FAX: (845) 891-4723
 E-MAIL: info@selux.com
 WWW: www.selux.com

4 RITORNO PARKING/DRIVE AISLE LIGHT CUT SHEETS
 N.T.S.

Ritorno® Square Asymmetrical

Catalog Number	Description	Base	Operating Position	Lamp Type	Lamp Color	Height	Weight	CFP	Life	CFP	Life	Price
R100	240W	ED17	Universal	Med. Base	Ceiled	N/A	4200	122	12000	122	12000	10000
R101	240W	ED17	Universal	Med. Base	Ceiled	N/A	4200	122	12000	122	12000	10000
R102	240W	ED17	Universal	Med. Base	Ceiled	N/A	4200	122	12000	122	12000	10000
R103	240W	ED17	Universal	Med. Base	Ceiled	N/A	4200	122	12000	122	12000	10000

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 PO Box 3100, 3 Lumina Lane
 Highland, NY 12528-1000
 TEL: (845) 891-7723 FAX: (845) 891-4723
 E-MAIL: info@selux.com
 WWW: www.selux.com

Ritorno® Square Asymmetrical

Mounting Information

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 PO Box 3100, 3 Lumina Lane
 Highland, NY 12528-1000
 TEL: (845) 891-7723 FAX: (845) 891-4723
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Ritorno® Square Asymmetrical

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CAPITOL WEST PHASE 1
 BLOCK 51 - MADISON, WI

Owner:
THE ALEXANDER COMPANY, INC.

JJR
 625 WILLIAMSON STREET,
 MADISON, WISCONSIN 53703
 608.251.1177 F
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50% DD REVIEW & ESTIMATE SET	01/04/2006	
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100% CLIENT/CONTR. REVIEW SET	03/22/2006	
FINAL DOCS. 50% SUBMITTAL	05/14/2006	
SP ALTERATION	07/12/2006	

SEALS AND SIGNATURES

KEY PLAN

DRAWING TITLE
SITE LIGHTING - Light Cut Sheets

SCALE
 SCALE IN FEET
 SCALE 1" = 20'

PROJECT NUMBER
24589.000

DRAWING NUMBER
C 603

CAPITOL WEST
PHASE 1
BLOCK 51 - MADISON, WI

Owner:
THE ALEXANDER
COMPANY, INC.

JJR
landscape architecture
planning
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civil engineering
environmental science
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625 WILLIAMSON STREET,
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ISSUED FOR	REV	DATE
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S&E DD REVIEW & ESTIMATE SET	01/04/2006	
MAIN ST. UTIL. TO CITY	02/07/2006	
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FINAL DOCS. COP/SP SUBMITTAL	06/14/2006	
SP ALTERATION	07/12/2006	

SEALS AND SIGNATURES

KEY PLAN

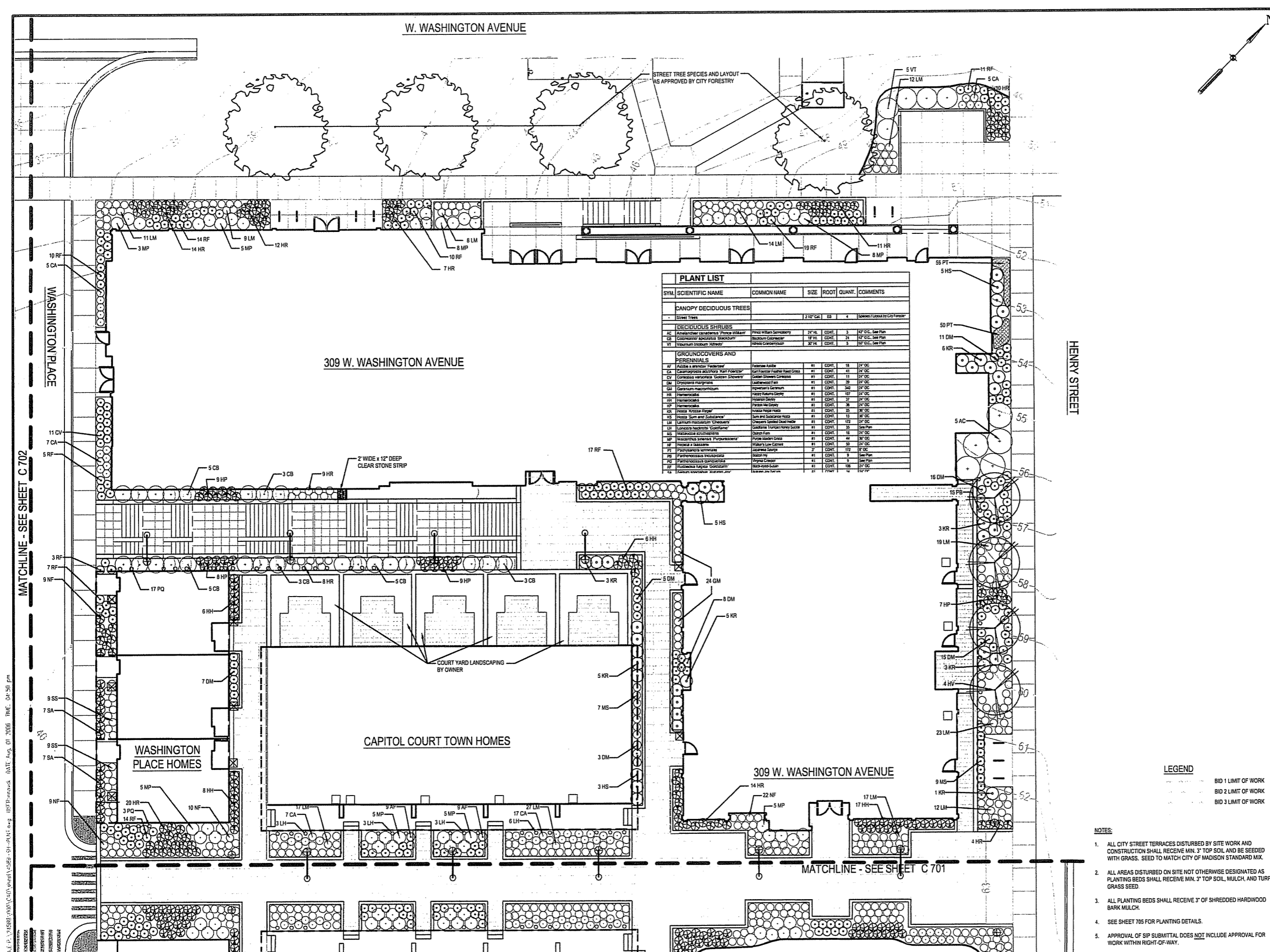


PROJECT NORTH

DRAWING TITLE
SITE LANDSCAPE - 309
West Washington Avenue

SCALE
24589.000

PROJECT NUMBER
C 700
DRAWING NUMBER



SYM	SCIENTIFIC NAME	COMMON NAME	SIZE	ROOT	QUANT.	COMMENTS
PLANT LIST						
CANOPY DECIDUOUS TREES						
-	Street Trees		2 1/2" Gal.	ES	4	Species 7 Layout by City Forestry
DECIDUOUS SHRUBS						
AC	<i>Amelanchier canadensis 'Prince of Wales'</i>	Prince of Wales Amelanchier	2 1/2"	CONT.	3	1/2" O.C. See Plan
CB	<i>Cornus alternifolia 'Soleaster'</i>	Raspum Cornus	1 1/2"	CONT.	24	1/2" O.C. See Plan
VT	<i>Viburnum tinctoria 'Albino'</i>	White Viburnum	3/4"	CONT.	3	1/2" O.C. See Plan
GROUNDCOVERS AND PERENNIALS						
AF	<i>Asplenium platyneuron</i>	Rock Fern	#1	CONT.	18	1/2" O.C.
CA	<i>Calamagrostis canadensis 'Karl Foerster'</i>	Karl Foerster Feather Reed Grass	#1	CONT.	11	1/2" O.C.
CV	<i>Coreopsis verticillata 'Golden Shower'</i>	Golden Shower Coreopsis	#1	CONT.	11	1/2" O.C.
DM	<i>Dryopteris marginalis</i>	Ladyfern	#1	CONT.	29	1/2" O.C.
GM	<i>Gaillardia x macrantha</i>	Butterfly Gaillardia	#1	CONT.	342	1/2" O.C.
HR	<i>Hemerocallis</i>	Day Lily	#1	CONT.	127	1/2" O.C.
HR	<i>Hemerocallis</i>	Day Lily	#1	CONT.	17	1/2" O.C.
HR	<i>Hemerocallis</i>	Day Lily	#1	CONT.	18	1/2" O.C.
HP	<i>Hemerocallis</i>	Day Lily	#1	CONT.	25	1/2" O.C.
HR	<i>Hemerocallis</i>	Day Lily	#1	CONT.	25	1/2" O.C.
HS	<i>Hosta 'Sum and Substance'</i>	Sum and Substance Hosta	#1	CONT.	13	1/2" O.C.
LM	<i>Lamium maculatum 'Chestnut'</i>	Chestnut Spotted Dead Nettle	#1	CONT.	172	1/2" O.C.
LM	<i>Lonicera xylosteum 'Goldfinger'</i>	Goldfinger Honey Suckle	#1	CONT.	39	See Plan
MS	<i>Mazus scaberrimum</i>	Quaker Fern	#1	CONT.	18	1/2" O.C.
MP	<i>Macropodus ternstroemii 'Purpureus'</i>	Purple Maiden Grass	#1	CONT.	14	1/2" O.C.
MP	<i>Macropodus ternstroemii 'Purpureus'</i>	Purple Maiden Grass	#1	CONT.	29	1/2" O.C.
PT	<i>Polypodium terriestri</i>	Virginia Rock Fern	#1	CONT.	172	1/2" O.C.
PT	<i>Polypodium terriestri</i>	Virginia Rock Fern	#1	CONT.	9	See Plan
PT	<i>Polypodium terriestri</i>	Virginia Rock Fern	#1	CONT.	9	See Plan
PT	<i>Polypodium terriestri</i>	Virginia Rock Fern	#1	CONT.	106	1/2" O.C.
PT	<i>Polypodium terriestri</i>	Virginia Rock Fern	#1	CONT.	14	1/2" O.C.

LEGEND

BID 1 LIMIT OF WORK

BID 2 LIMIT OF WORK

BID 3 LIMIT OF WORK

- NOTES:**
- ALL CITY STREET TERRACES DISTURBED BY SITE WORK AND CONSTRUCTION SHALL RECEIVE MIN. 3" TOP SOIL AND BE SEEDED WITH GRASS. SEED TO MATCH CITY OF MADISON STANDARD MIX.
 - ALL AREAS DISTURBED ON SITE NOT OTHERWISE DESIGNATED AS PLANTING BEDS SHALL RECEIVE MIN. 3" TOP SOIL, MULCH, AND TURF GRASS SEED.
 - ALL PLANTING BEDS SHALL RECEIVE 3" OF SHREDDED HARDWOOD BARK MULCH.
 - SEE SHEET 705 FOR PLANTING DETAILS.
 - APPROVAL OF SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY.

FILE: P:\24589\CAD\DWG\LANDSCAPE\LANDSCAPE.dwg DATE: Aug. 01. 2006 TIME: 04:50 pm

**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
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COMPANY, INC.**

JJR landscape architecture
planning
urban design
civil engineering
environmental science

JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com

ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL	12	12/01/2005
SOIL DO REVIEW & ESTIMATE SET	01	01/04/2006
MAIN ST. UTIL. TO CITY	02	02/07/2006
CITY REVIEW SET	03	03/22/2006
100% CLIENT/CONT. REVIEW SET	04	03/22/2006
FINAL DOCS. GDP/SP SUBMITTAL	06	06/14/2006
SP ALTERATION	07	07/12/2006

SEALS AND SIGNATURES

KEY PLAN

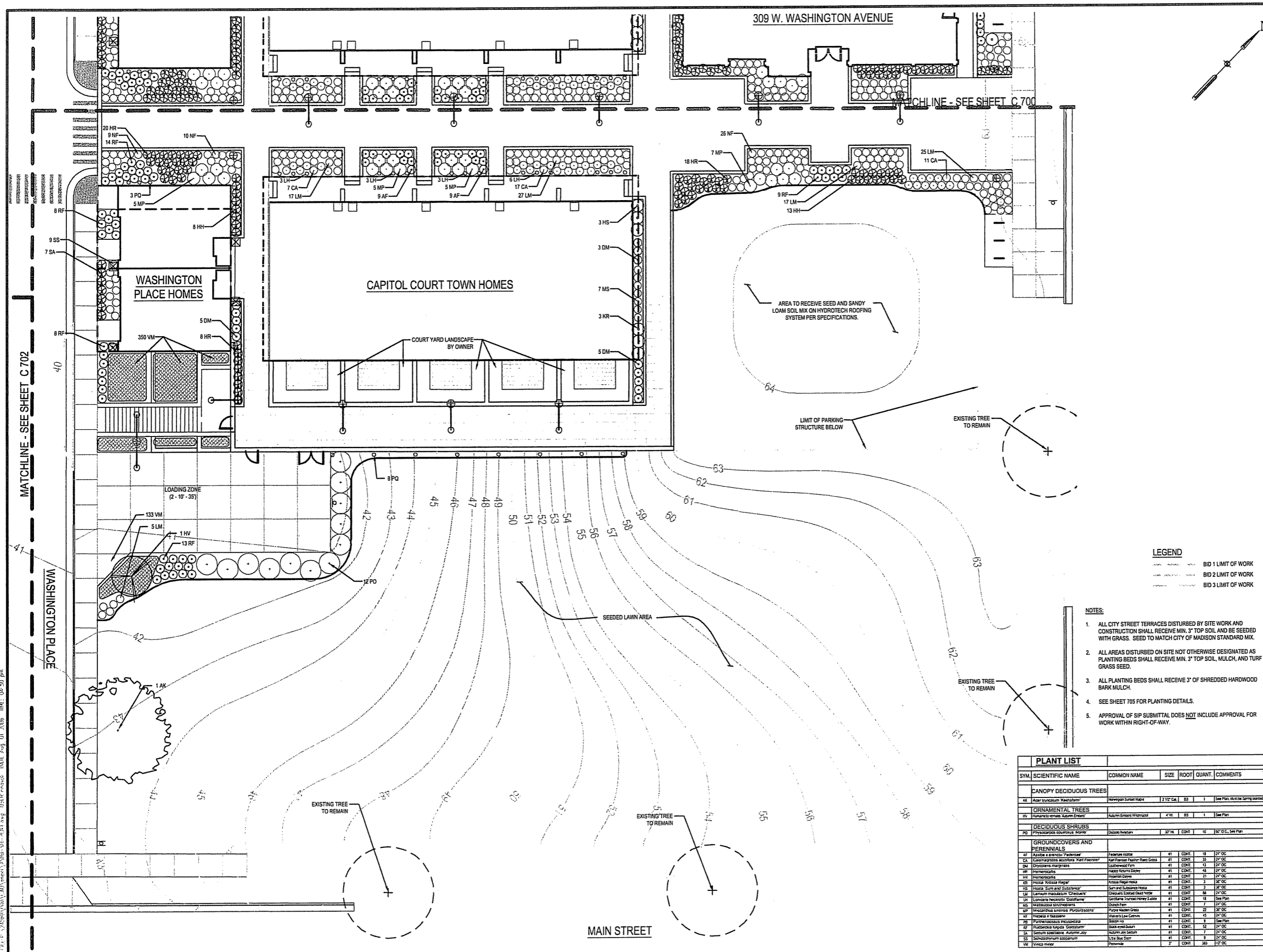
PROJECT NORTH

DRAWING TITLE
**SITE LANDSCAPE - Henry St
- Main St**

SCALE
0 5' 10' 20'
SCALE IN FEET
SCALE 1" = 10'

PROJECT NUMBER
24589.000

DRAWING NUMBER
C 701



LEGEND

--- BID 1 LIMIT OF WORK
--- BID 2 LIMIT OF WORK
--- BID 3 LIMIT OF WORK

- NOTES:**
- ALL CITY STREET TERRACES DISTURBED BY SITE WORK AND CONSTRUCTION SHALL RECEIVE MIN. 3" TOP SOIL AND BE SEEDED WITH GRASS. SEED TO MATCH CITY OF MADISON STANDARD MIX.
 - ALL AREAS DISTURBED ON SITE NOT OTHERWISE DESIGNATED AS PLANTING BEDS SHALL RECEIVE MIN. 3" TOP SOIL, MULCH, AND TURF GRASS SEED.
 - ALL PLANTING BEDS SHALL RECEIVE 3" OF SHREDDED HARDWOOD BARK MULCH.
 - SEE SHEET 705 FOR PLANTING DETAILS.
 - APPROVAL OF SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY.

SYM.	SCIENTIFIC NAME	COMMON NAME	SIZE	ROOT	QUANT.	COMMENTS
CANOPY DECIDUOUS TREES						
AK	Acer truncatum 'Redstart'	Redstart Norway Spruce Maple	2 1/2" Cal.	B3	1	See Plan, Must be Spring planted
ORNAMENTAL TREES						
AF	Amelanchier canadensis	Azulm Elm	4" H.C.	B3	1	See Plan
DECIDUOUS SHRUBS						
PO	Physocarpus opulifolius	Diablo Japanese	3" H.C.	COHT	16	16" O.C., See Plan
GROUNDCOVERS AND PERENNIALS						
AL	Alchemilla x 'Sibirica'	Alchemilla	#1	COHT	18	12" O.C.
CA	Campanula medium 'Karl Foerster'	Karl Foerster Bellflower	#1	COHT	33	12" O.C.
DM	Dryopteris marginalis	Ladyfern	#1	COHT	13	12" O.C.
HR	Hemerocallis	Daylily	#1	COHT	48	12" O.C.
HR	Hemerocallis	Daylily	#1	COHT	21	12" O.C.
HR	Hemerocallis	Daylily	#1	COHT	3	12" O.C.
HR	Hemerocallis	Daylily	#1	COHT	7	12" O.C.
HR	Hemerocallis	Daylily	#1	COHT	16	12" O.C.
HR	Hemerocallis	Daylily	#1	COHT	18	See Plan
HR	Hemerocallis	Daylily	#1	COHT	22	12" O.C.
HR	Hemerocallis	Daylily	#1	COHT	22	12" O.C.
HR	Hemerocallis	Daylily	#1	COHT	45	12" O.C.
HR	Hemerocallis	Daylily	#1	COHT	8	See Plan
HR	Hemerocallis	Daylily	#1	COHT	13	12" O.C.
HR	Hemerocallis	Daylily	#1	COHT	7	12" O.C.
HR	Hemerocallis	Daylily	#1	COHT	8	12" O.C.
HR	Hemerocallis	Daylily	#1	COHT	34	12" O.C.

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 User: P:\CAPITOL WEST\LANDSCAPE\LANDSCAPE.dwg, Date: Aug 01 2006, Time: 04:50 pm

**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

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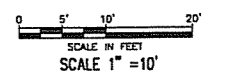
ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
50% DD REVIEW & ESTIMATE SET		01/04/2006
MAN ST. UTIL. TO CITY		02/07/2006
CITY REVIEW SET		02/22/2006
100% CLIENT/CONT. REVIEW SET		03/22/2006
FINAL DOCS. GOP/SP SUBMITTAL		06/14/2006
SP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN



DRAWING TITLE
**SITE LANDSCAPE -
Washington Place**

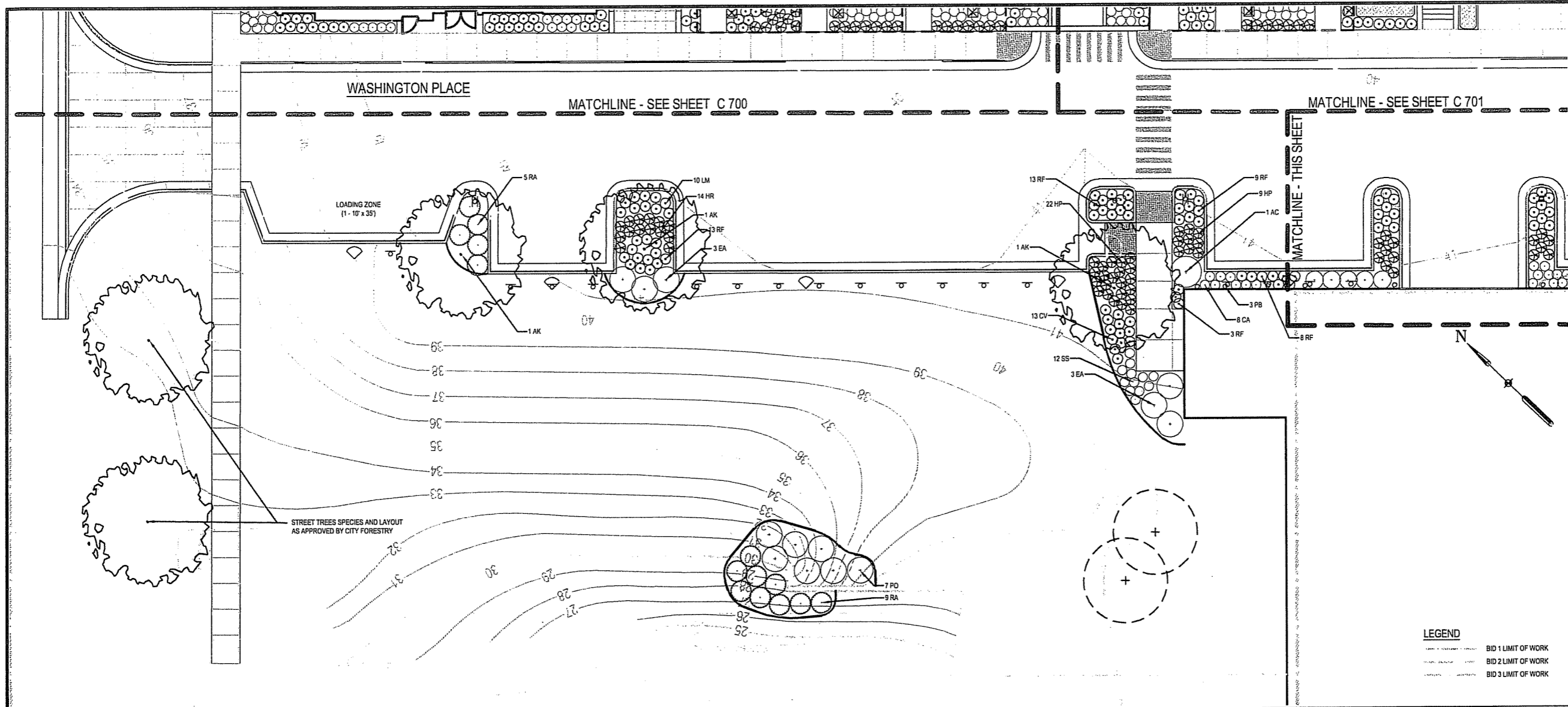


SCALE 24589.000

PROJECT NUMBER

C 702

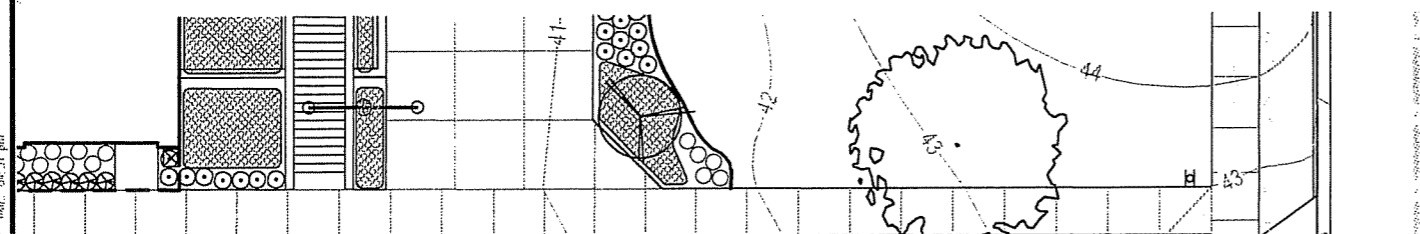
DRAWING NUMBER



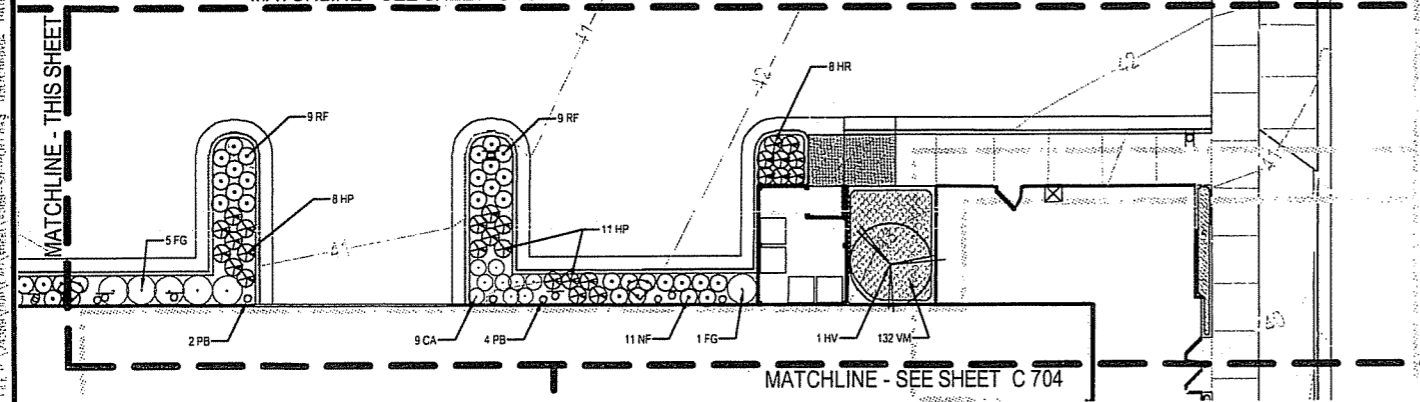
LEGEND

[Symbol]	BID 1 LIMIT OF WORK
[Symbol]	BID 2 LIMIT OF WORK
[Symbol]	BID 3 LIMIT OF WORK

MATCHLINE - SEE SHEET C 703



MATCHLINE - SEE SHEET C 701



SYM.	SCIENTIFIC NAME	COMMON NAME	SIZE	ROOT	QUANT.	COMMENTS
CANOPY DECIDUOUS TREES						
AK	Acer fraxinifolium 'Red-Striped'	Red-Striped Norway Spruce	2 1/2" Cal.	BB	3	See Plan. Must be Compost-Sorted Species Labeled by City Forestry
EA	Euonymus alatus 'Walden'	Walden Spindle Tree	2 1/2" Cal.	BB	2	See Plan. Must be Compost-Sorted Species Labeled by City Forestry
ORNAMENTAL TREES						
IR	Illicium verum 'Siam Esoter'	Siam Esoter	2 1/2" Cal.	BB	1	See Plan
DECIDUOUS SHRUBS						
AC	Amelanchier canadensis 'Prince of Wales'	Prince of Wales Spindle Tree	2 1/2" Cal.	BB	1	See Plan
EA	Euonymus alatus 'Walden'	Walden Spindle Tree	2 1/2" Cal.	BB	6	See Plan
FG	Forsythia gardenii 'Val Avery'	Val Avery Forsythia	2 1/2" Cal.	BB	8	See Plan
PD	Physocarpus opulifolius 'Monro'	Monro Physocarpus	2 1/2" Cal.	BB	7	See Plan
RA	Ribes sibiricum 'Gold-Lace'	Gold-Lace Ribes	2 1/2" Cal.	BB	9	See Plan
GROUNDCOVERS AND PERENNIALS						
CA	Calamagrostis canadensis 'Kent Forestry'	Kent Forestry Feather Grass	#1	CONT.	17	1 1/2" OC
CP	Comarostaphyly hirsuta 'Golden Showers'	Golden Showers Comarostaphyly	#1	CONT.	13	1 1/2" OC
HA	Hemerocallis	Happy Returns Daylily	#1	CONT.	44	1 1/2" OC
HP	Hemerocallis	Parsons Daylily	#1	CONT.	50	1 1/2" OC
LI	Lithospermum chinensis	Chinese Spotted Groundcover	#1	CONT.	19	1 1/2" OC
WB	Wibauxia	Wibauxia	#1	CONT.	11	1 1/2" OC
PB	Polygonum persicaria	Witch's Law Carpet	#1	CONT.	9	See Plan
RI	Rudbeckia hirta 'Goldstrum'	Goldstrum Black-eyed Susan	#1	CONT.	58	1 1/2" OC
SS	Schizanthus litoralis	Sea Blue Sun	#1	CONT.	11	1 1/2" OC
VM	Viola minor	Penwink	#1	CONT.	132	1 1/2" OC

NOTES:

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LANDSCAPE REQUIREMENT CHART

I. NUMBER OF TREES REQUIRED:
The number of trees required for a parking lot is based on the number of parking stalls. Using the Schedule for Required Trees on the reverse side of this worksheet, determine the number of trees required. (Example: 1 tree is required for 10 parking stalls.)
Landscape requirements for storage areas are determined by dividing the total square footage of the storage area by (300) square feet. This converts area to stalls. (Example: 10,000 square feet is equivalent to (33) stalls or (3) trees and (150) points.)

NUMBER OF PARKING STALLS	19
TOTAL SQUARE FOOTAGE OF THE STORAGE AREA	0
DIVIDED BY THREE HUNDRED (300) SQUARE FEET	0
NUMBER OF CANOPY SHADE TREES REQUIRED (2'-2 1/2" CALIPER)	2
Manufacturing / Industrial	0
(60% of requirement above)	0

II. NUMBER OF LANDSCAPE POINTS REQUIRED
The number of points required is also based on the number of parking stalls. Using the Point Schedule for Landscape Elements on the reverse side of this worksheet, determine the number of points required. (Example: 49.5 points are required for 10 stalls.). A point fraction of (.5) or less may be disregarded, while a fraction in excess of (.5) must be counted as one point. Thus: 49.5 points would be rounded down to 49.0 points required.
The number of points required for loading areas is (75) points for each loading berth.

NUMBER OF POINTS REQUIRED	93
Manufacturing / Industrial	0
(60% of requirement above)	0

TABULATION OF POINTS AND CREDITS
Indicate below the quantity and points for all pertinent landscape elements. Also, credit information for boundary screening and any existing elements to be retained.

ELEMENT	POINT VALUE	QUANTITY	POINTS ACHIEVED	CREDITS QUANT.	POINTS
Canopy Tree - 2'-2 1/2" **	35	2	70	0	0
Deciduous Shrub	2	25	50	0	0
Evergreen Shrub	3	0	0	0	0
Decorative wall or Fence (per 10 L.F.)	5	0	0	0	0
Earth Berm (per 10 L.F.)	5	0	0	0	0
Ave. Height 30"	2	0	0	0	0
Ave. Height 15"	2	0	0	0	0
Evergreen Trees	15	0	0	0	0
3-14 height min.	15	0	0	0	0
Canopy Tree or Small Tree	15	2	30	0	0
1 1/2" - 2" Cal (i.e., Crab, Hawthorn)	15	2	30	0	0
* Trees required in Part I above, are not to be included in the point count.					
TOTAL			150		0

**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

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ISSUED FOR	REV	DATE
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CITY REVIEW SET	02/22/2006	
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FINAL DOCS. COP/SP SUBMITTAL	06/14/2006	
SP ALTERATION	07/12/2006	

SEALS AND SIGNATURES

KEY PLAN



LEGEND

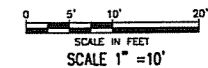
- BID 1 LIMIT OF WORK
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NOTES:

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SYM	SCIENTIFIC NAME	COMMON NAME	SIZE	ROOT	QUANT.	COMMENTS
GROUNDCOVERS AND PERENNIALS						
CA	<i>Calamagrostis canadensis</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1	CONT.	59	24" OC
CV	<i>Carex vesicaria</i>	Golden Sward's Carex	#1	CONT.	51	24" OC
DM	<i>Dryopteris marginalis</i>	Luzerne Wood Fern	#1	CONT.	51	24" OC
HR	<i>Hemerocallis</i>	Happy Returns Daylily	#1	CONT.	133	24" OC
HP	<i>Hemerocallis</i>	Hyperion Daylily	#1	CONT.	30	24" OC
MP	<i>Heptacapsa</i>	Prayer Me Daylily	#1	CONT.	111	24" OC
RF	<i>Hosta 'Kissin' Arrog'</i>	Kissin Hosta	#1	CONT.	25	24" OC
SS	<i>Hosta 'Sum and Substance'</i>	Sum and Substance Hosta	#1	CONT.	31	24" OC
LM	<i>Liriodendron tulipifera</i> 'Chryseum'	Chryseum Yellow Tree Liriodendron	#1	CONT.	250	24" OC
OP	<i>Opuntia</i>	Opuntia	#1	CONT.	30	24" OC
MP	<i>Maianthemum canadense</i>	Purple Maiden Grass	#1	CONT.	25	24" OC
PH	<i>Parthenocissus vitacea</i>	Boston Ivy	#1	CONT.	42	See Plan
SA	<i>Saxifraga hypnoides</i>	Rock-rose Saxifrage	#1	CONT.	133	24" OC
SA	<i>Saxifraga hypnoides</i>	Rock-rose Saxifrage	#1	CONT.	51	24" OC

DRAWING TITLE
**SITE LANDSCAPE - 345
West Washington Avenue**

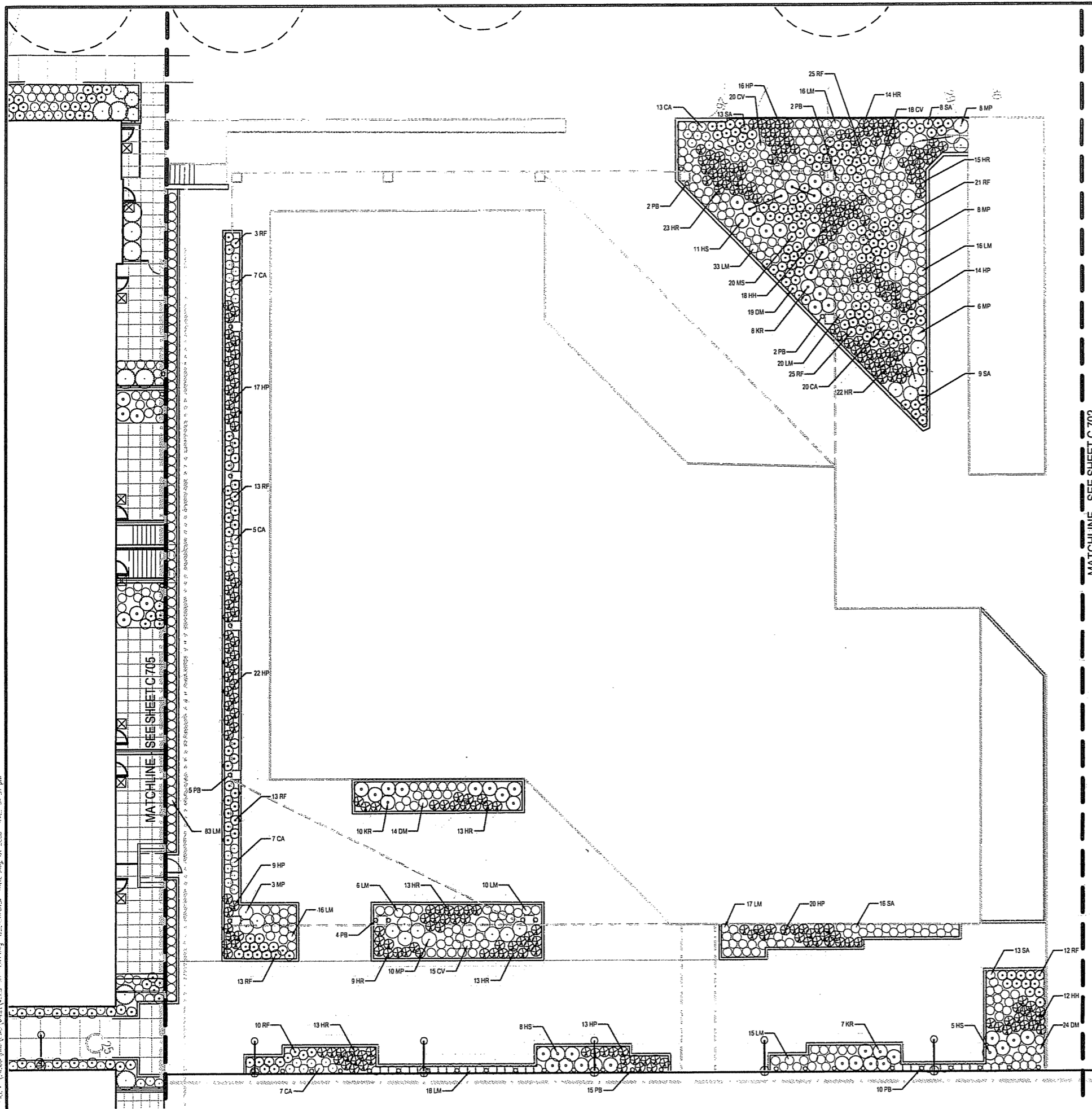


SCALE 24589.000

PROJECT NUMBER

C 703

DRAWING NUMBER



DATE: Aug. 01, 2006 TIME: 09:51 pm

**CAPITOL WEST
PHASE 1**

BLOCK 51 - MADISON, WI

Owner:
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COMPANY, INC.**

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Interior Architecture
Landscape Architecture
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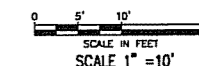
ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
50% DD REVIEW & ESTIMATE SET		01/04/2006
MAIN ST. UTIL. TO CITY		02/07/2006
CITY REVIEW SET		02/22/2006
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FINAL DOCS. GOP/SP SUBMITTAL		06/14/2006
SP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN



DRAWING TITLE
SITE LANDSCAPE - Main St

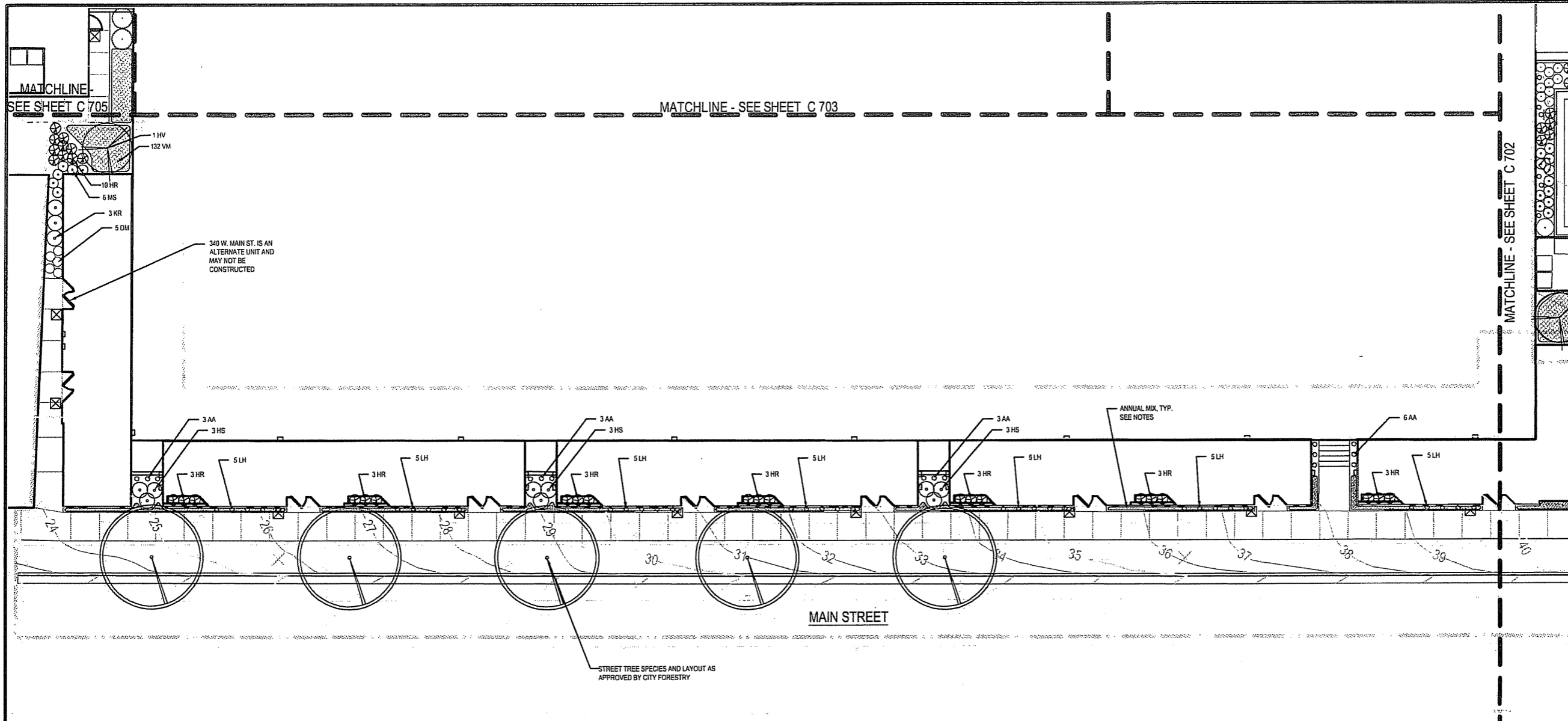


SCALE 24589.000

PROJECT NUMBER

C 704

DRAWING NUMBER



PLANT LIST						
SYM.	SCIENTIFIC NAME	COMMON NAME	SIZE	ROOT	QUANT.	COMMENTS
CANOPY DECIDUOUS TREES						
	Street Trees		2 1/2" Cal.	BB	5	Species / Layout by City Forester
ORNAMENTAL TREES						
HV	Hamamelis vernalis 'Autumn Embers'	Autumn Embers Witchhazel	4' Ht.	BB	1	See Plan
GROUNDCOVERS AND PERENNIALS						
AA	Actinidia arguta	Hardy Kiwi Vine	#1	CONT.	15	See Plan
DM	Dryopteris marginalis	Leatherwood Fern	#1	CONT.	5	24" OC
HR	Hemerocallis	Happy Returns Daylily	#1	CONT.	31	24" OC
KR	Hosta 'Krossa Regal'	Krossa Regal Hosta	#1	CONT.	3	36" OC
HS	Hosta 'Sum and Substance'	Sum and Substance Hosta	#1	CONT.	9	36" OC
LH	Lonicera heckrottii 'Goldflame'	Goldflame Trumpet Honey Suckle	#1	CONT.	35	See Plan
MS	Mattuccia struthiofolens	Ostrich Fern	#1	CONT.	6	24" OC
VM	Vinca minor	Periwinkle	3"	CONT.	132	12" OC

- NOTES:**
- ANNUAL MIX TO BE PLANTED AT 12" O.C. SPACING:
Begonia x semperflorens-cultorum (Begonia), flower colors = white and pink
Salvia splendens (Salvia / Scarlet Sage), flower color = scarlet, plant in back of bed
Senecio cineraria (Dusty Miller)
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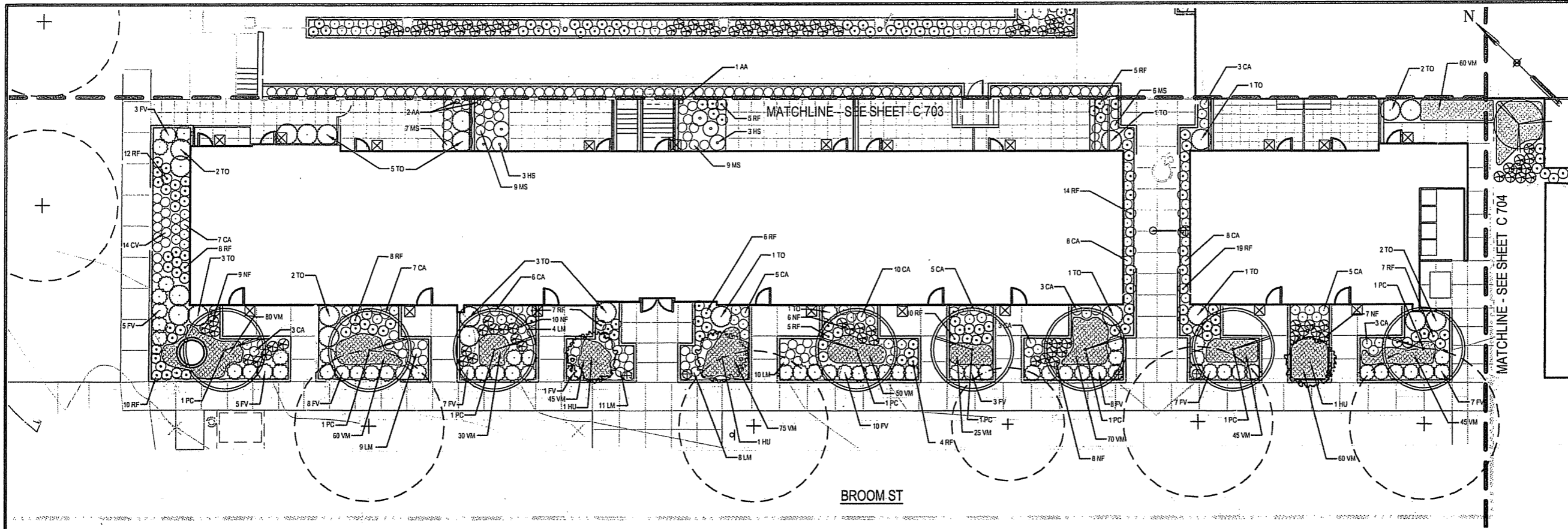
- LEGEND**
- BID 1 LIMIT OF WORK
 - BID 2 LIMIT OF WORK
 - BID 3 LIMIT OF WORK

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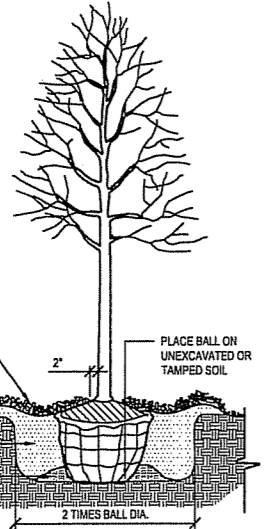
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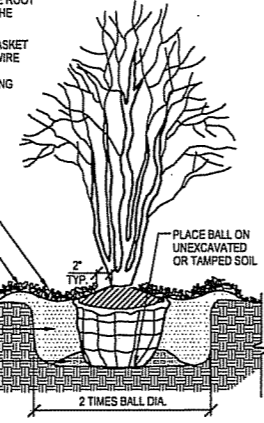
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- NOTES:
- PLANT EACH TREE SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
 - IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN INTO PLANTING HOLE EXPOSING TOP HALF OF BALL. REMOVE TWINE, ROPE, AND BURLAP FROM TOP HALF OF BALL.
 - DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK.

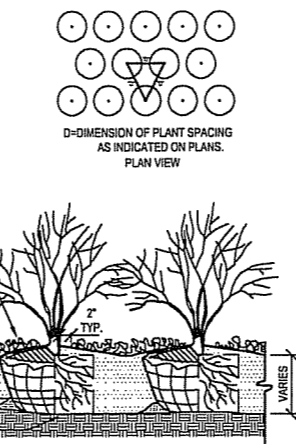


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 - DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK.
 - PRUNE PER DETAIL THIS SHEET.

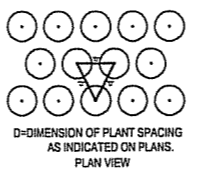


2 MULTI-STEM TREE PLANTING
NOT TO SCALE

- NOTES:
- PLANT EACH SHRUB SUCH THAT THE STEM FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
 - IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN INTO PLANTING HOLE EXPOSING TOP HALF OF BALL. REMOVE TWINE, ROPE, AND BURLAP FROM TOP HALF OF BALL.
 - DO NOT PLACE MULCH IN CONTACT WITH STEMS.



3 SHRUB PLANTING
NOT TO SCALE

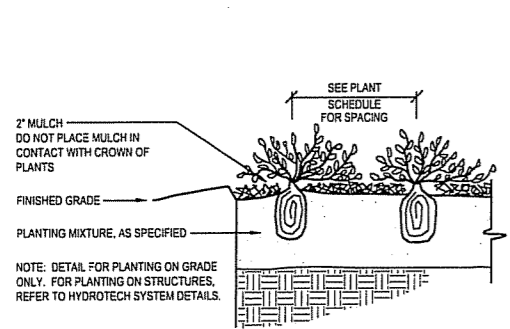


LEGEND

(Symbol)	BID 1 LIMIT OF WORK
(Symbol)	BID 2 LIMIT OF WORK
(Symbol)	BID 3 LIMIT OF WORK

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1 DECIDUOUS TREE PLANTING
NOT TO SCALE



4 PERENNIAL / GROUNDCOVER PLANTING, ON GRADE
NOT TO SCALE

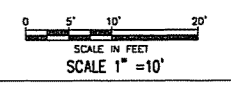
- REMOVE SUCKER SHOOTS AT BASE OF TREE.
- MAKE CLEAN CUTS CLOSE TO TRUNK ON OLD STUBS, IF PRESENT.
- REMOVE SUCKER SHOOTS ALONG TRUNK.
- REMOVE LOWER BRANCH WHERE AN OVERLYING BRANCH OCCUPIES ABOUT THE SAME AREA.
- REMOVE INJURED AND MISSHAPEN BRANCHES.
- REMOVE CROSS BRANCHES AND THOSE DEVELOPING INTO SECONDARY LEADERS.

5 PRUNING DETAIL
NOT TO SCALE

PLANT LIST						
SYM.	SCIENTIFIC NAME	COMMON NAME	SIZE	ROOT	QUANT.	COMMENTS
ORNAMENTAL TREES						
HU	<i>Hydrangea paniculata</i> 'Unique'	Unique Hydrangea on Standard	1"	BB	3	See Plan
PC	<i>Pyrus calleryana</i> 'Aristocrati'	Aristocrati Pear	1 1/2"	BB	8	See Plan
DECIDUOUS SHRUBS						
FV	<i>Forsythia viridissima</i> 'Bronxensis'	Dwarf Forsythia	24" HL	CONT.	65	42" O.C., See Plan
EVERGREEN SHRUBS						
TO	<i>Thuja occidentalis</i> 'Smaragd'	Smaragd Emerald Arborvitae	5" HL	CONT.	24	4" O.C., See Plan
GROUNDCOVERS AND PERENNIALS						
AA	<i>Actinidia arguta</i>	Hardy Kiwi Vine	#1	CONT.	3	See Plan
CA	<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1	CONT.	76	24" OC
CV	<i>Coreopsis verticillata</i> 'Golden Showers'	Golden Showers Coreopsis	#1	CONT.	14	24" OC
HS	<i>Hosta</i> 'Sum and Substance'	Sum and Substance Hosta	#1	CONT.	6	36" OC
LM	<i>Lamium maculatum</i> 'Chequers'	Chequers Spotted Dead Nettle	#1	CONT.	42	24" OC
MS	<i>Matteuccia struthiopteris</i>	Ostrich Fern	#1	CONT.	31	24" OC
NF	<i>Nepeta x faassenii</i>	Walker's Low Catmint	#1	CONT.	40	24" OC
RF	<i>Rudbeckia fulgida</i> 'Goldsturm'	Black-eyed-Susan	#1	CONT.	120	24" OC
VM	<i>Vinca minor</i>	Periwinkle	3"	CONT.	645	12" OC

KEY PLAN
PROJECT NORTH

DRAWING TITLE
SITE LANDSCAPE - Broom St

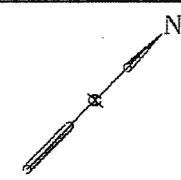


SCALE
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PROJECT NUMBER
C 705

DRAWING NUMBER

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**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR landscape architecture
interior design
civil engineering
environmental science
JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
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608.251.6147 F
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ISSUED FOR	REV	DATE
FOODING & FOUNDATION SUBMITTAL		12/01/2005
SDR DD REVIEW & ESTIMATE SET		01/04/2006
MAIN ST. UTIL. TO CITY		02/07/2006
CITY REVIEW SET		02/22/2006
100% CLIENT/CONT. REVIEW SET		03/22/2006
FINAL DOCS. EDP/SP SUBMITTAL		06/14/2006
SP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN

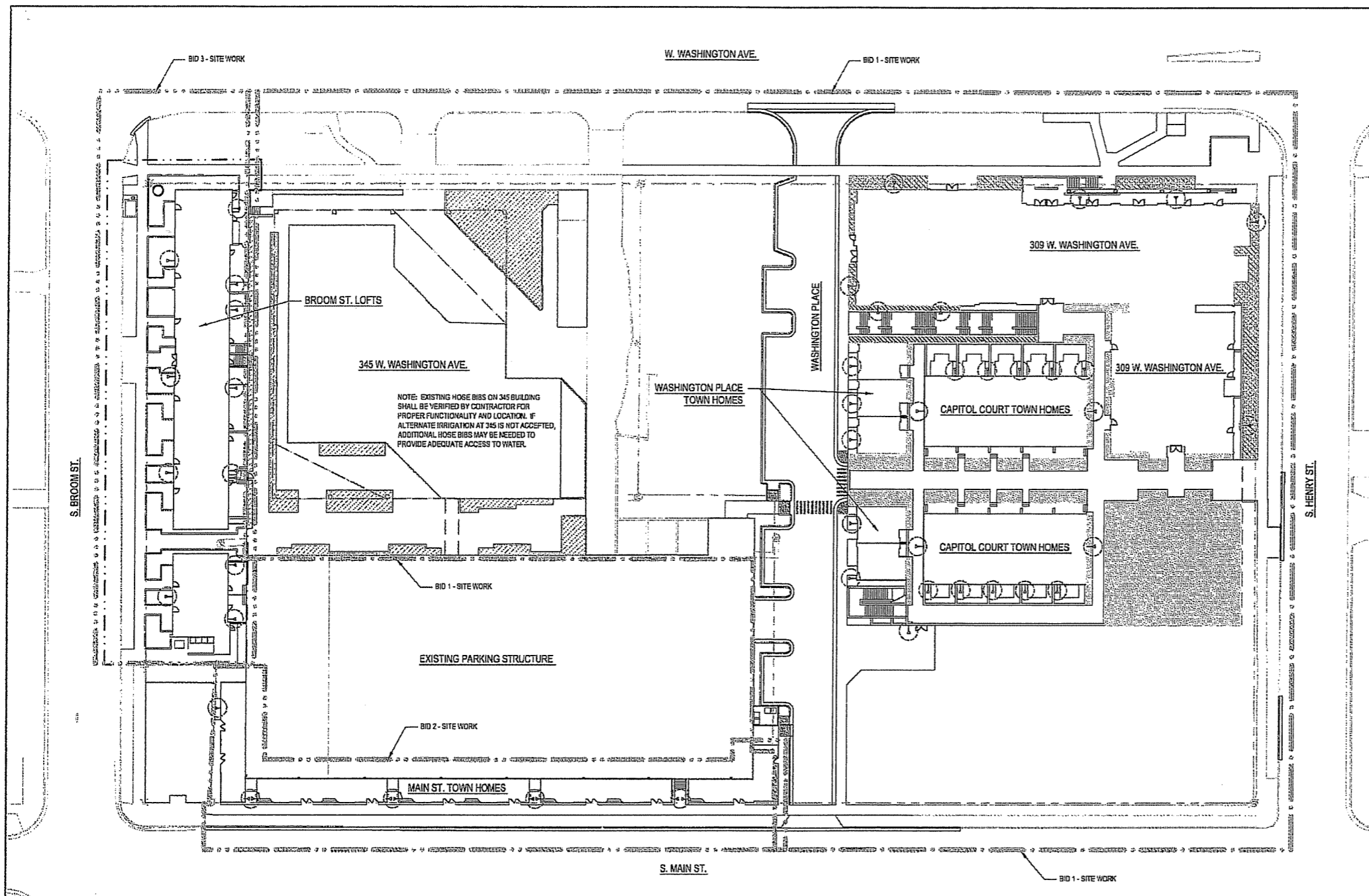


LEGEND

- BID 1 - LIMIT OF WORK
- BID 2 - LIMIT OF WORK
- BID 3 - LIMIT OF WORK
- IRRIGATION ON STRUCTURE
- IRRIGATION ON STRUCTURE - ALT BID
- IRRIGATION ON GRADE
- IRRIGATION ON GRADE - ALT BID
- HOSE BIB
- CURB AND GUTTER
- GUARDRAIL OR HANDRAIL
- STAIRS
- PROPOSED STORM INLET/ MANHOLE
- PROPOSED CURB INLET
- SLOT DRAIN
- PLANTER CURB OR WALL

NOTES

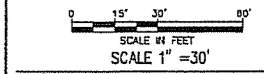
1. SEE SPECIFICATIONS FOR IRRIGATION REQUIREMENTS.
2. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL IRRIGATION DESIGNS
3. IRRIGATION DESIGN SHALL COORDINATE WITH STRUCTURAL PLANS AND M.E.P. PENETRATIONS THROUGH ALL BUILDING WALLS AND ROOF SLABS FOR ALL IRRIGATION AND HOSE BIBS.



NOTE: EXISTING HOSE BIBS ON 345 BUILDING SHALL BE VERIFIED BY CONTRACTOR FOR PROPER FUNCTIONALITY AND LOCATION. IF ALTERNATE IRRIGATION AT 345 IS NOT ACCEPTED, ADDITIONAL HOSE BIBS MAY BE NEEDED TO PROVIDE ADEQUATE ACCESS TO WATER.

1 IRRIGATION PLAN
SCALE 1"=30'

DRAWING TITLE
SITE IRRIGATION



SCALE 24589.000

PROJECT NUMBER
C 800

DRAWING NUMBER

FILE P: \4489\300\300\sheet\1\11.dwg DATE: Jul 11 2006 TIME: 12:07 PM USER: jroval

**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
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100% CLIENT/CONT. REVIEW SET	03	07/2005
FINAL DOCS. COP/SP SUBMITTAL	06	11/2005
SIP ALTERATION	07	12/2005

SEALS AND SIGNATURES

KEY PLAN

DRAWING TITLE
**ELEVATIONS - Key Plan &
South Parking Structure
Facade**

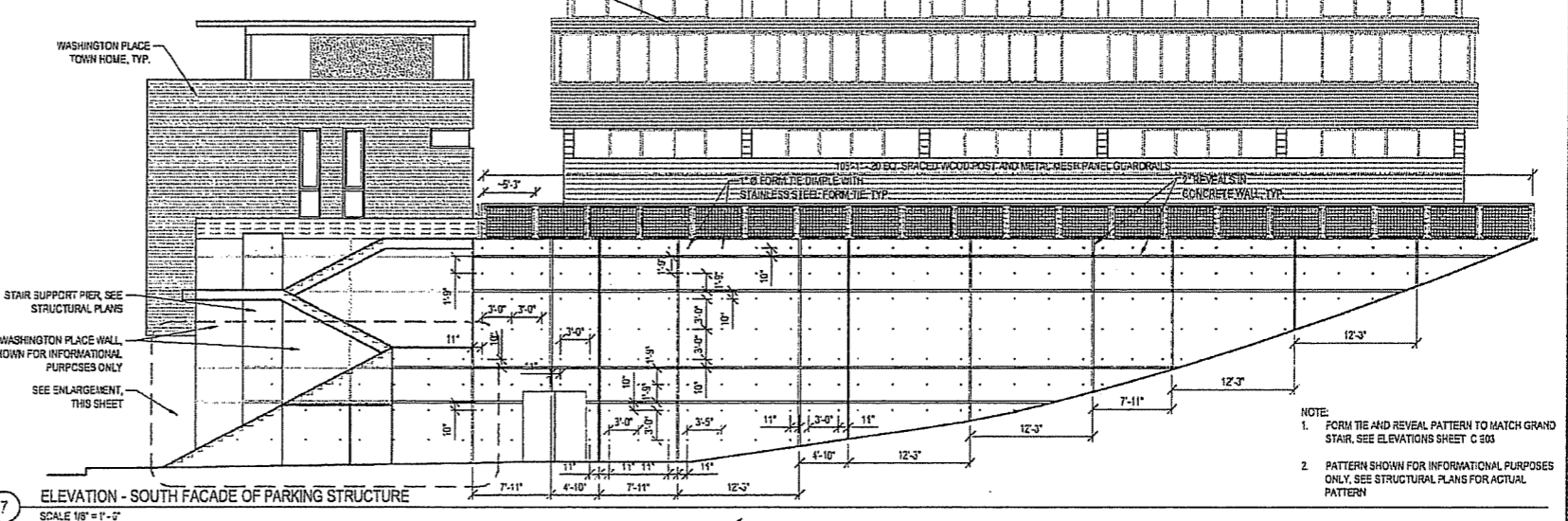
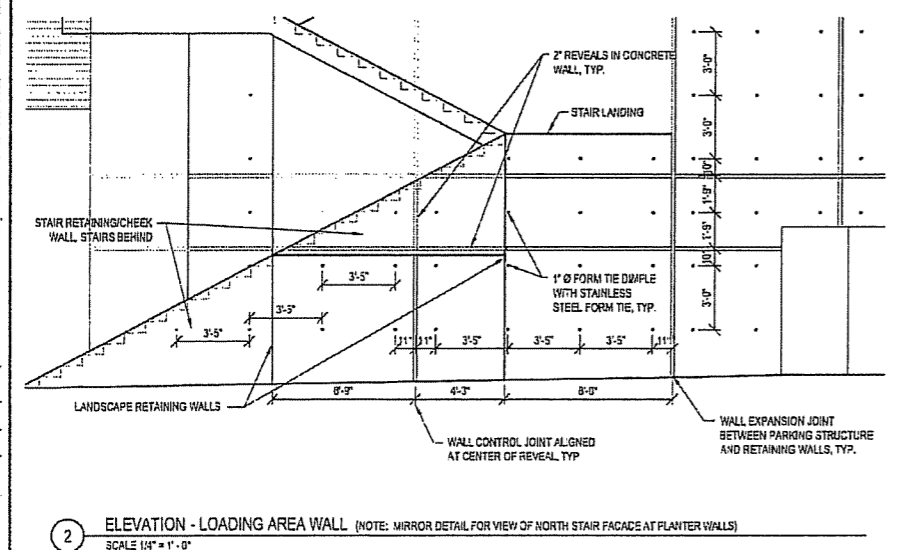
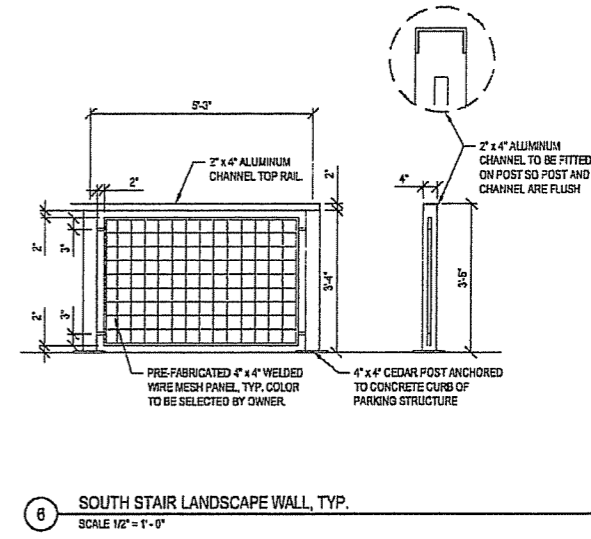
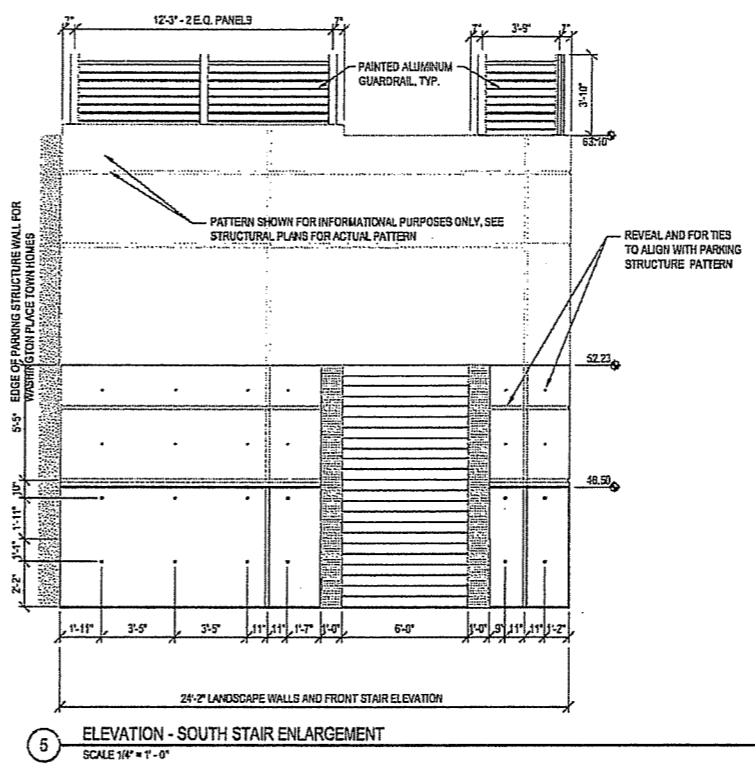
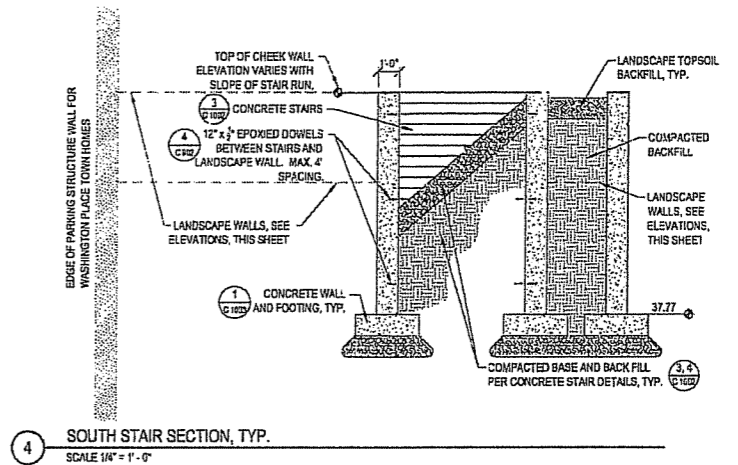
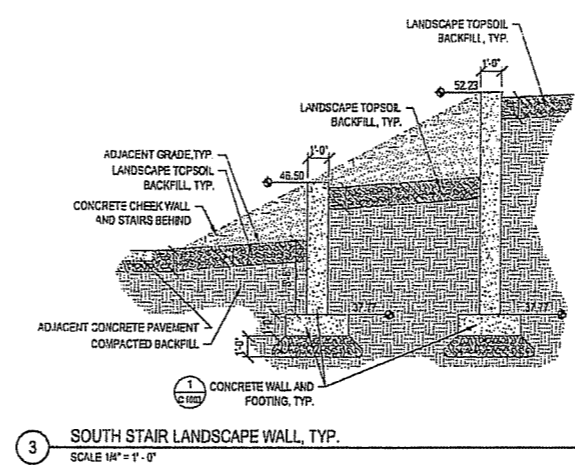
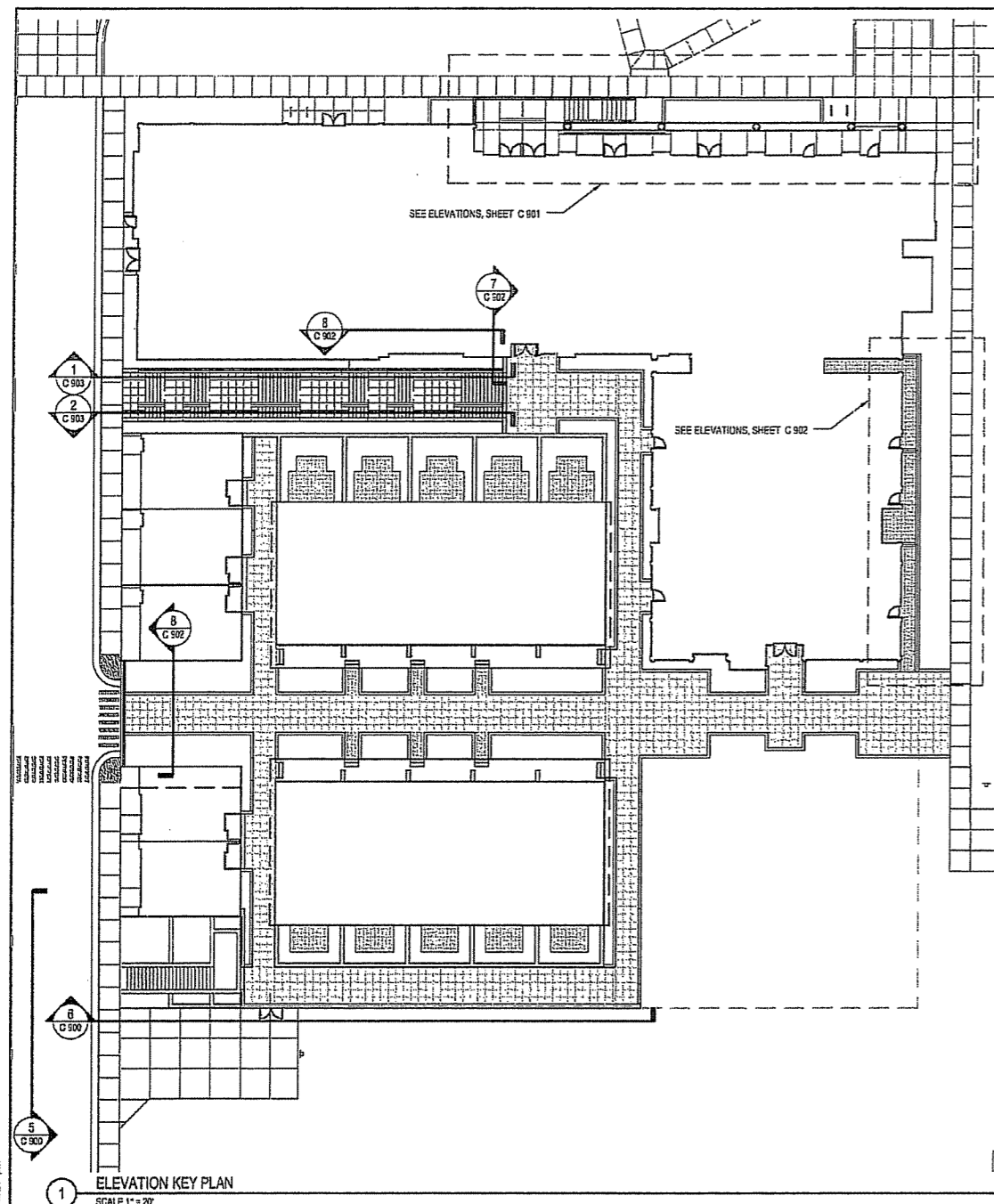
SCALE AS INDICATED

SCALE 24589.000

PROJECT NUMBER

C 900

DRAWING NUMBER



NOTE:
1. FORM TIE AND REVEAL PATTERN TO MATCH GRAND STAIR, SEE ELEVATIONS SHEET C 903
2. PATTERN SHOWN FOR INFORMATIONAL PURPOSES ONLY. SEE STRUCTURAL PLANS FOR ACTUAL PATTERN

FILE: P:\64589\300\CAD\Detail\900-31-Structural - 09a.dwg USER: jmcwck DATE: Jul 11, 2005 TIME: 10:27 AM

**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
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COMPANY, INC.**

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ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL	12/01/2005	
309 W REVIEW & ESTIMATE SET	01/04/2006	
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CITY REVIEW SET	02/22/2006	
100% CLIENT/CONTR. REVIEW SET	03/22/2006	
FINAL DOCS. ODP/SP SUBMITTAL	06/14/2006	
SP ALTERATION	07/12/2006	

SEALS AND SIGNATURES

KEY PLAN

DRAWING TITLE
**ELEVATIONS - 309 W
Washington Ave**

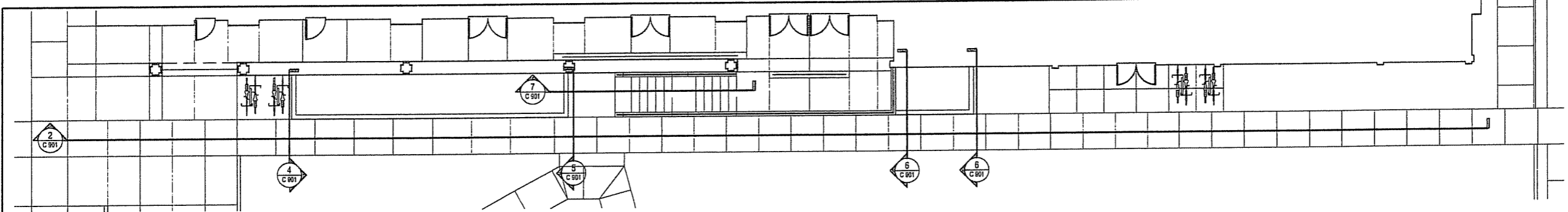
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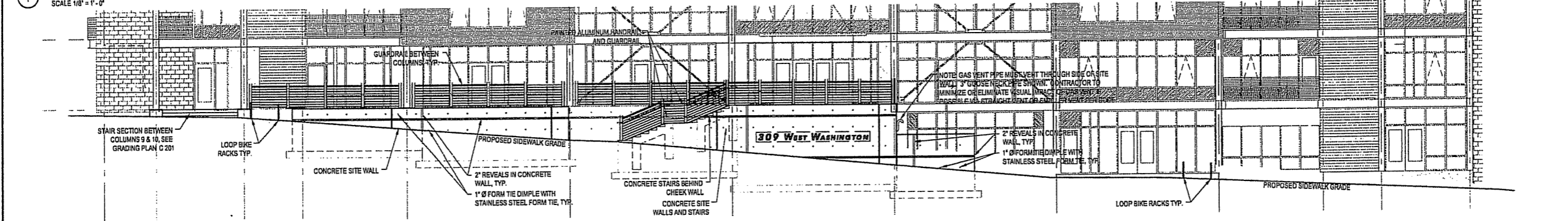
PROJECT NUMBER

C 901

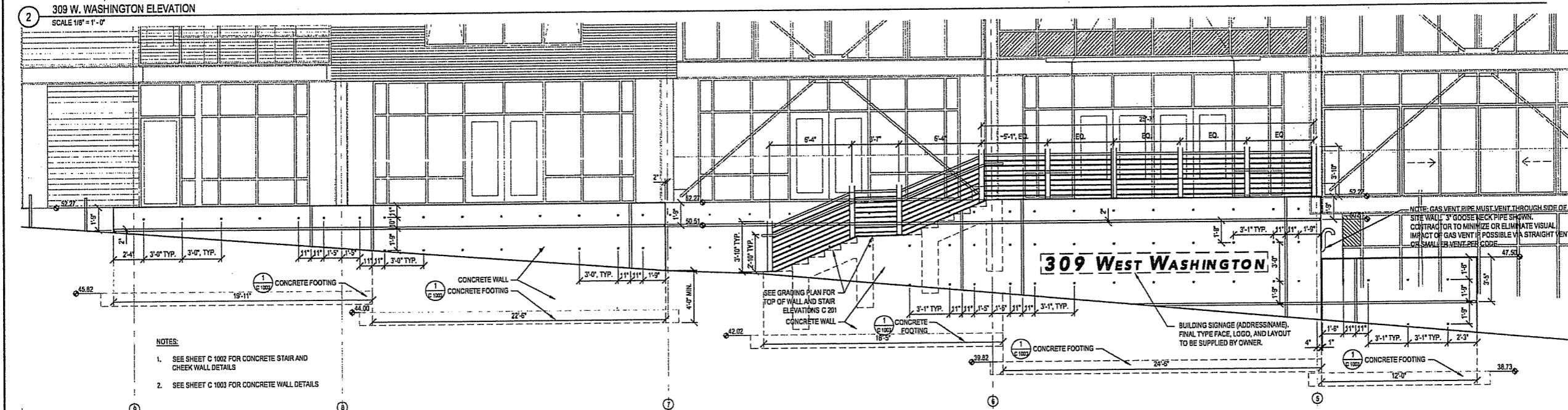
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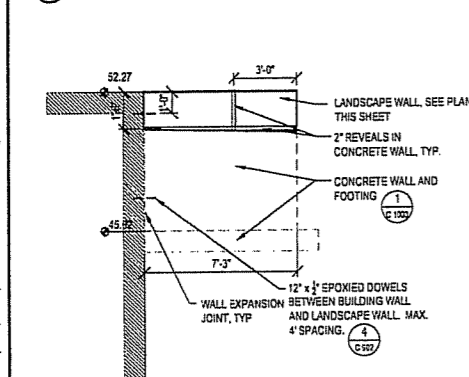
1 309 W. WASHINGTON - W. WASHINGTON PLAN
SCALE 1/8" = 1'-0"



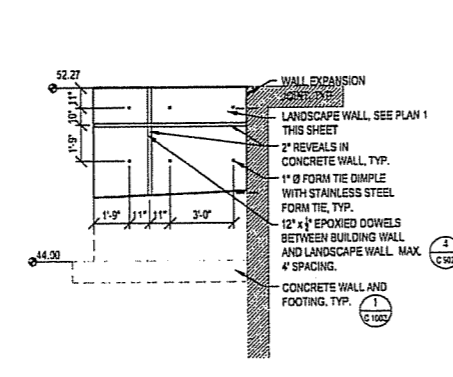
2 309 W. WASHINGTON ELEVATION
SCALE 1/8" = 1'-0"



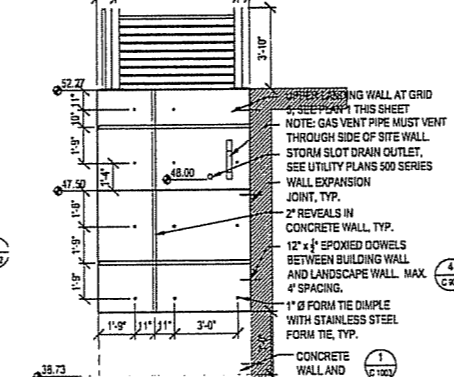
3 309 W. WASHINGTON ELEVATION - LANDSCAPE WALL, STAIRS AND FRONT ENTRY WALL WITH GUARDRAIL AND HANDRAIL
SCALE 1/4" = 1'-0"



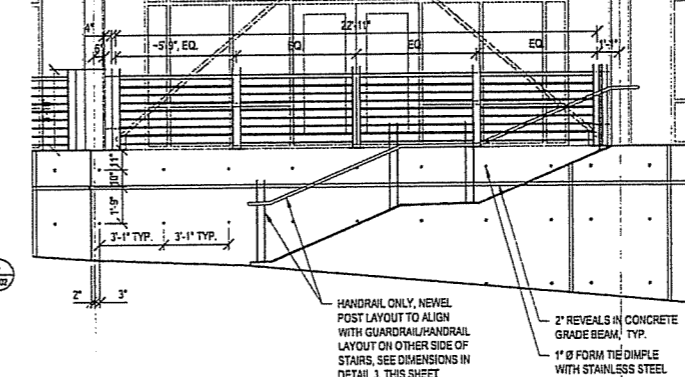
4 LANDSCAPE WALL SECTION
SCALE 1/4" = 1'-0"



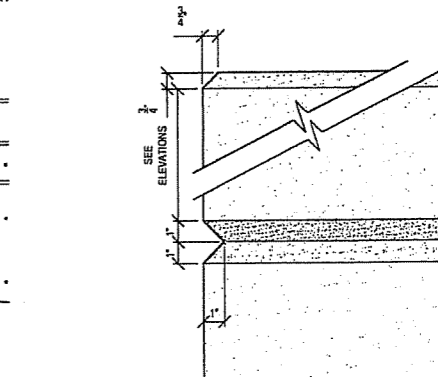
5 LANDSCAPE WALL SECTION
SCALE 1/4" = 1'-0"



6 LANDSCAPE WALL SECTION
SCALE 1/4" = 1'-0"



7 309 W. WASHINGTON ELEVATION - GUARDRAIL BETWEEN GRIDS 6 & 7
SCALE 1/4" = 1'-0"



8 LANDSCAPE WALL REVEAL, TYP.
SCALE 3/4" = 1'-0"

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**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR landscape architecture
planning
team design
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CITY REVIEW SET	02/22/2006	
100% CLIENT/CONT. REVIEW SET	03/22/2006	
FINAL DOCS. GIP/SP SUBMITTAL	06/14/2006	
SP ALTERATION	07/12/2006	

SEALS AND SIGNATURES

KEY PLAN

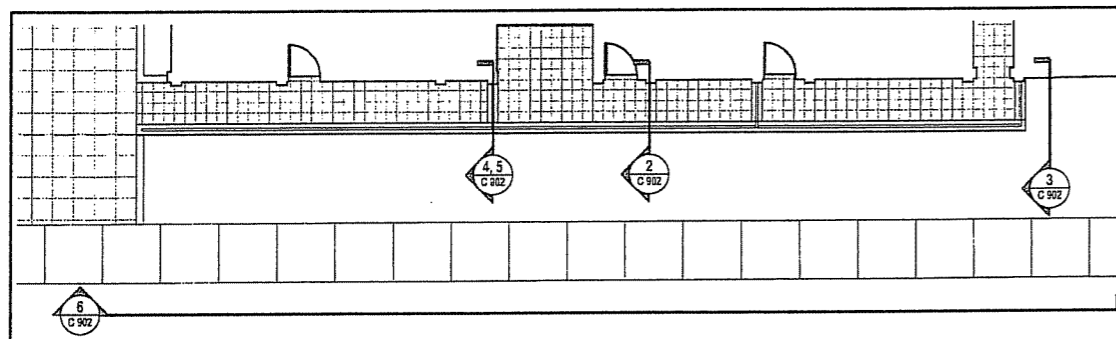
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**ELEVATIONS - Henry St - 309
Grand Stair - Mews Terminus**

SCALE AS INDICATED
24589.000

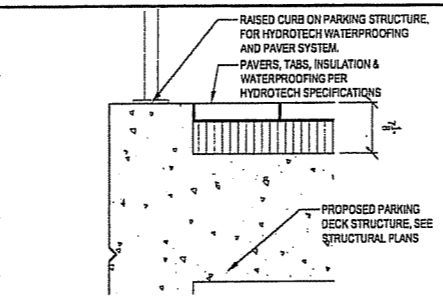
PROJECT NUMBER

C 902

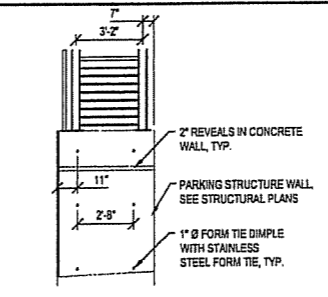
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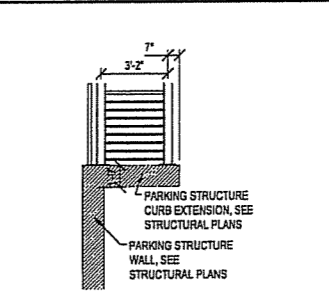
1 HENRY ST. RESIDENTIAL ENTRIES - PLAN
SCALE 1/8" = 1'-0"



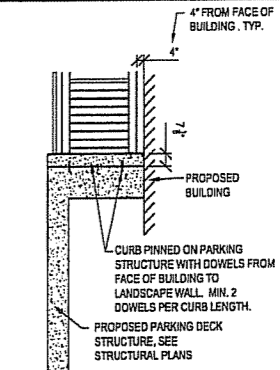
2 HYDROTECH SYSTEM AT PARKING STRUCTURE EDGE
SCALE 1" = 1'-0"



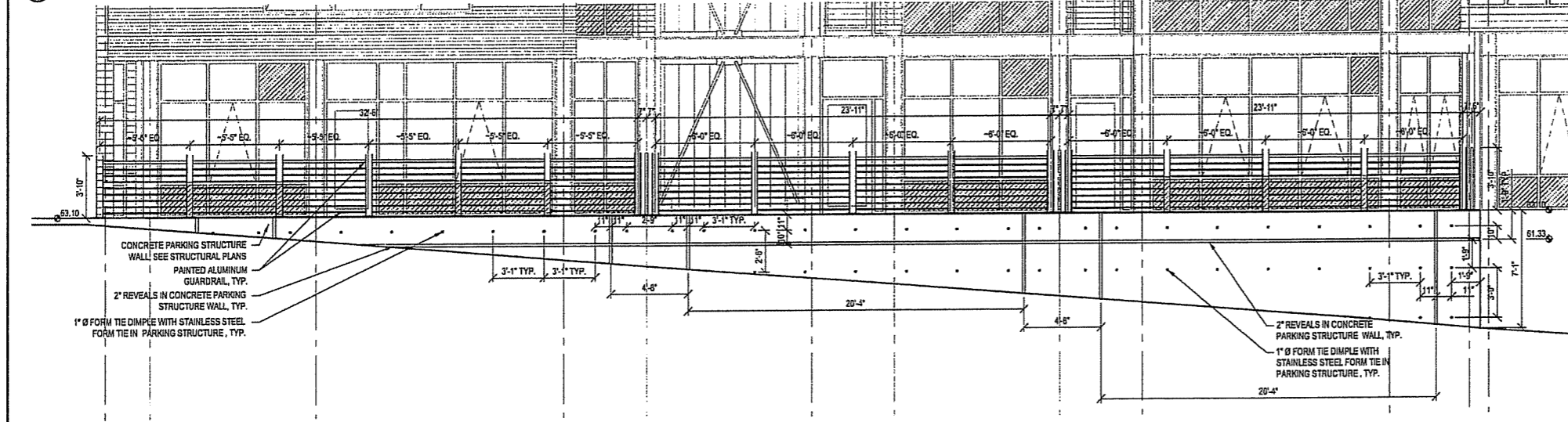
3 HENRY ST. ELEVATION - GUARDRAIL
SCALE 1/4" = 1'-0"



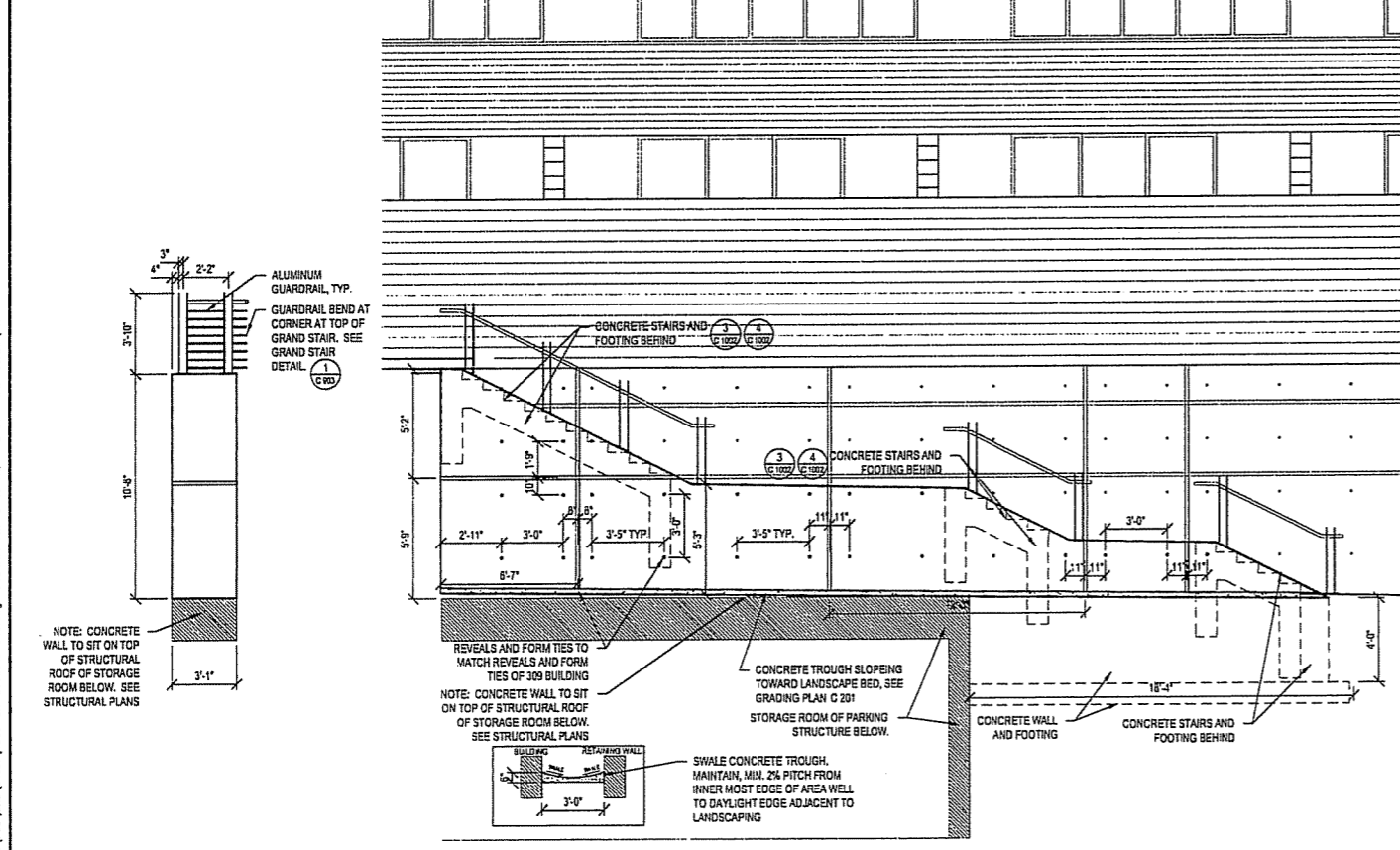
4 HENRY ST. ELEVATION - GUARDRAIL
SCALE 1/4" = 1'-0"



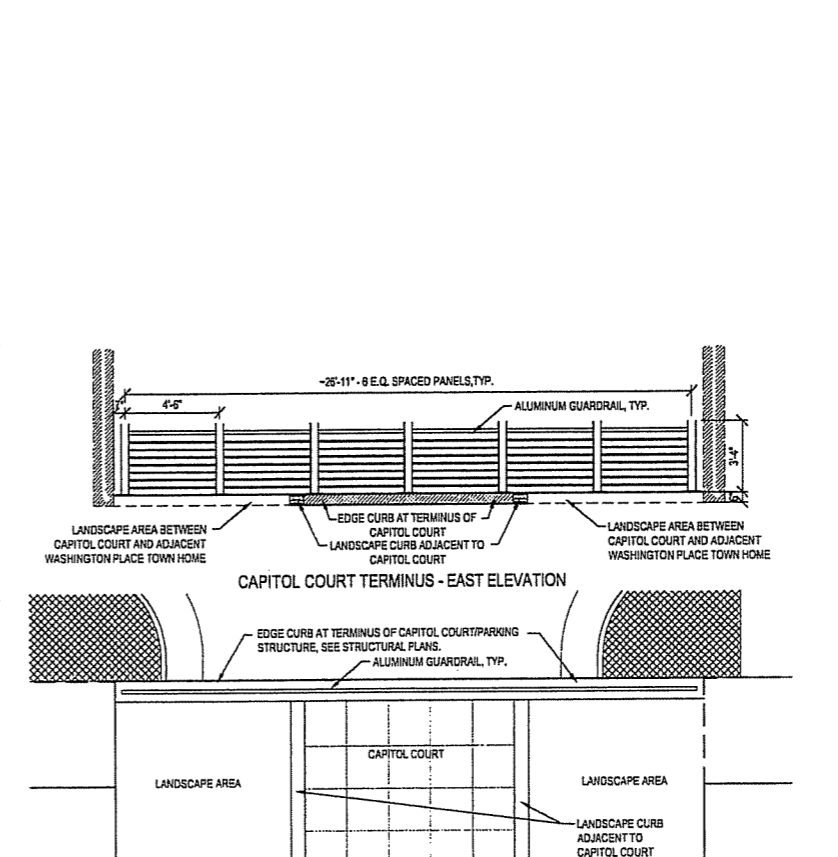
5 CURB ON PARKING STRUCTURE
SCALE 1" = 1'-0"



6 HENRY ST. ELEVATION - GUARDRAIL
SCALE 1/4" = 1'-0"

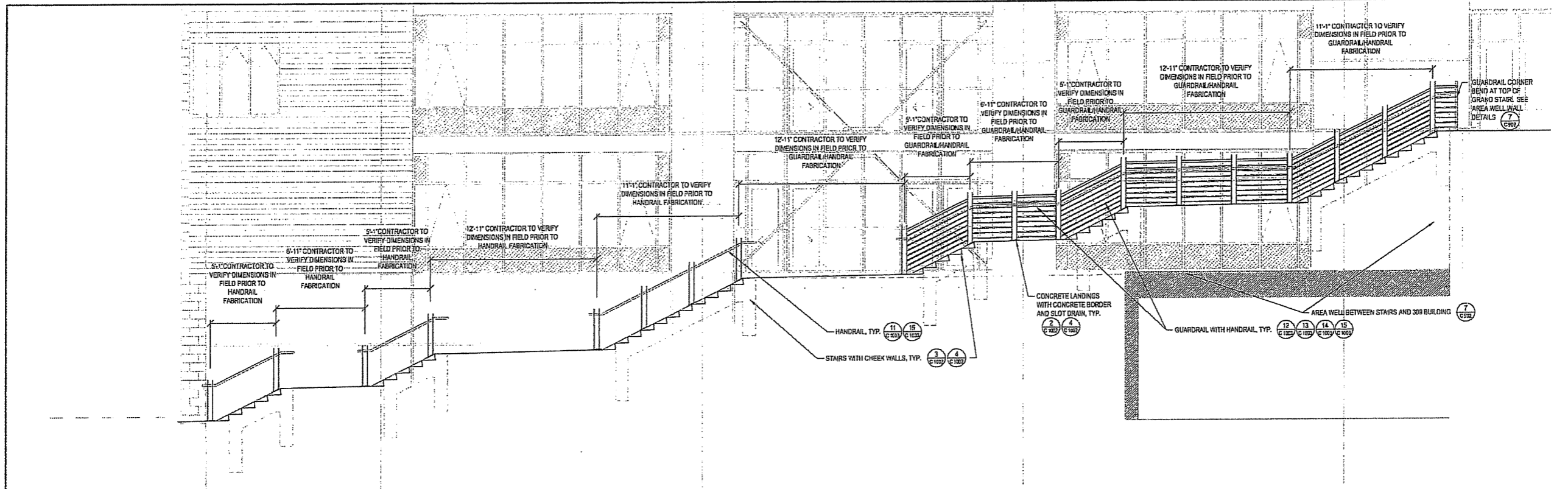


7 GRAND STAIR - AREA WELL WALL SOUTH ELEVATION
SCALE 1/4" = 1'-0"

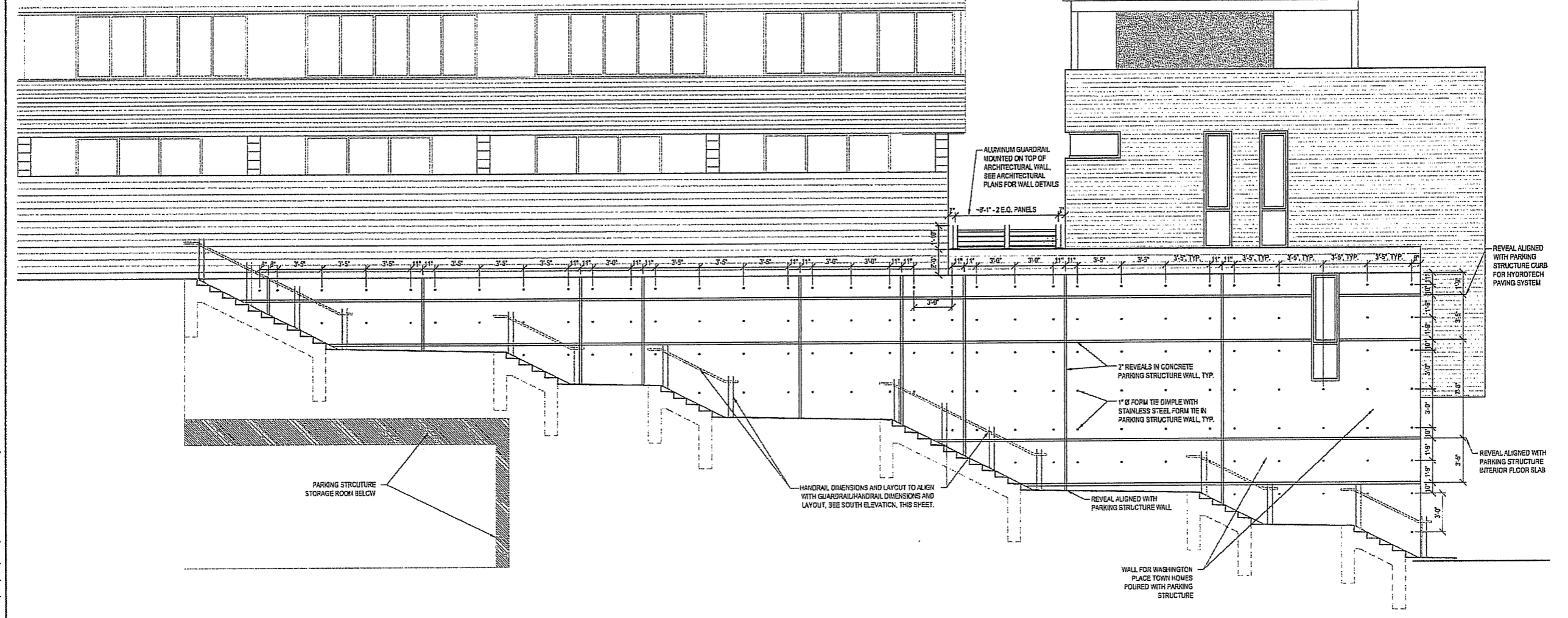


8 GUARDRAIL AT END OF CAPITOL COURT
SCALE 1/4" = 1'-0"

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1 GRAND STAIR - NORTH ELEVATION
SCALE 1/4" = 1'-0"



2 GRAND STAIR - SOUTH ELEVATION
SCALE 1/4" = 1'-0"

**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR Landscape Architecture
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ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
50% DD REVIEW & ESTIMATE SET		01/04/2006
MAIN ST. UTIL. TO CITY		02/07/2006
CITY REVIEW SET		03/23/2006
TASK CLIENT/CONF. REVIEW SET		03/23/2006
FINAL DOCS. GIP/SP SUBMITTAL		06/14/2006
SP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN

DRAWING TITLE
**ELEVATIONS - 309 Grand
Stair**

SCALE AS INDICATED
SCALE 24589.000

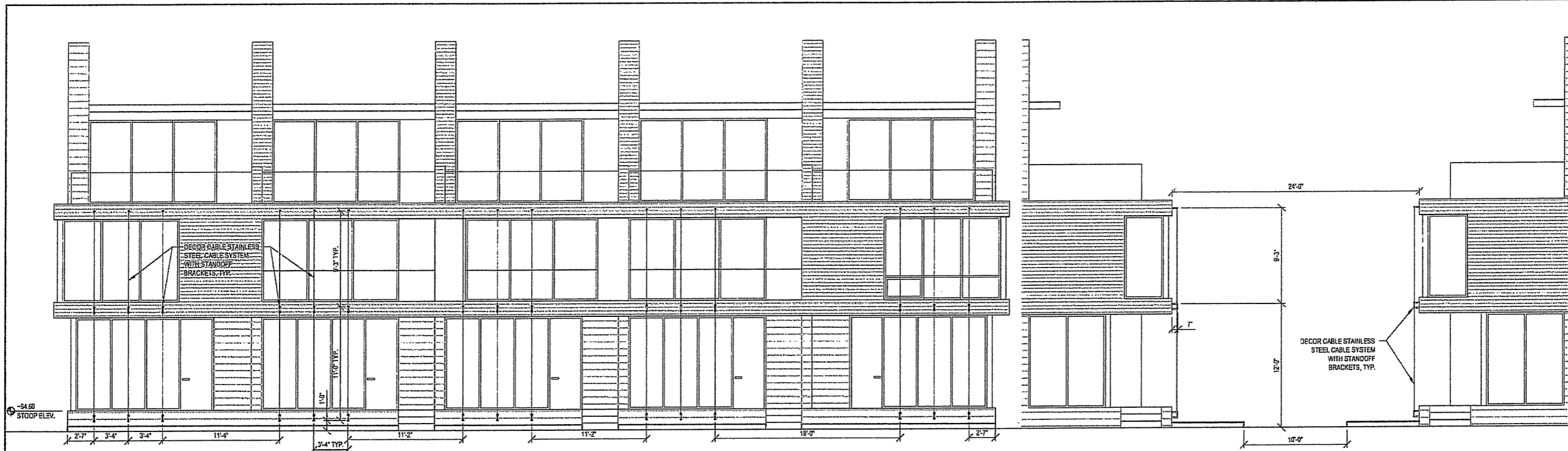
PROJECT NUMBER
C 903
DRAWING NUMBER

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**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

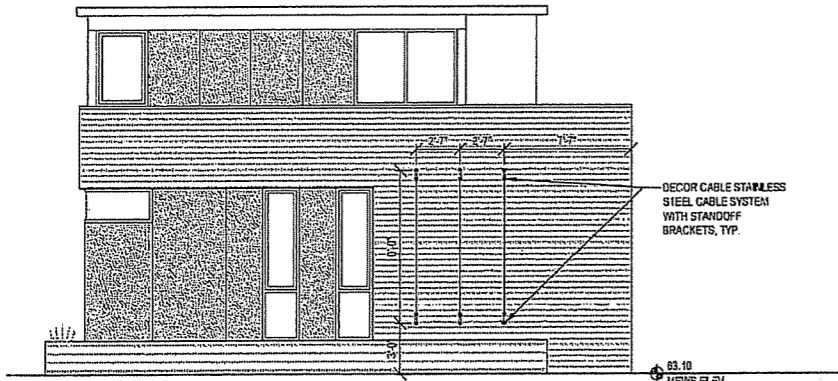
Owner:
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JJR, LLC
825 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
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1 CAPITOL COURT/MEWS CABLE ELEVATION - SOUTH (ALTERNATE BID)
SCALE 1" = 5'-0"

2 CAPITOL COURT/MEWS CABLE SECTION (ALTERNATE BID)
SCALE 1" = 5'-0"



3 WASHINGTON ROW HOME CABLE ELEVATION - SOUTH (ALTERNATE BID)
SCALE 1" = 5'-0"

4 INTENTIONALLY LEFT BLANK
SCALE 1" = 5'-0"

5 INTENTIONALLY LEFT BLANK
SCALE 1" = 5'-0"

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FINAL DOCS. GSP/SP SUBMITTAL	06/14/2006	
SP ALTERATION	07/12/2006	

SEALS AND SIGNATURES

KEY PLAN

DRAWING TITLE
**ELEVATIONS - Capitol Court -
Washington Place (Alternate
Bid)**

SCALE AS INDICATED
SCALE 24589.000

PROJECT NUMBER

C 906

DRAWING NUMBER

**NOTE: THIS SHEET PROVIDED
FOR INFORMATIONAL PURPOSES
ONLY. CABLE SYSTEM TO BE
DETAILED IN ARCHITECTURAL SET**

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100% CLIENT/CONF. REVIEW SET	03/22/2006	
FINAL DOCS. GOF/SP SUBMITTAL	06/14/2006	
SP ALTERATION	07/12/2006	

SEALS AND SIGNATURES

KEY PLAN

DRAWING TITLE
SITE DETAILS

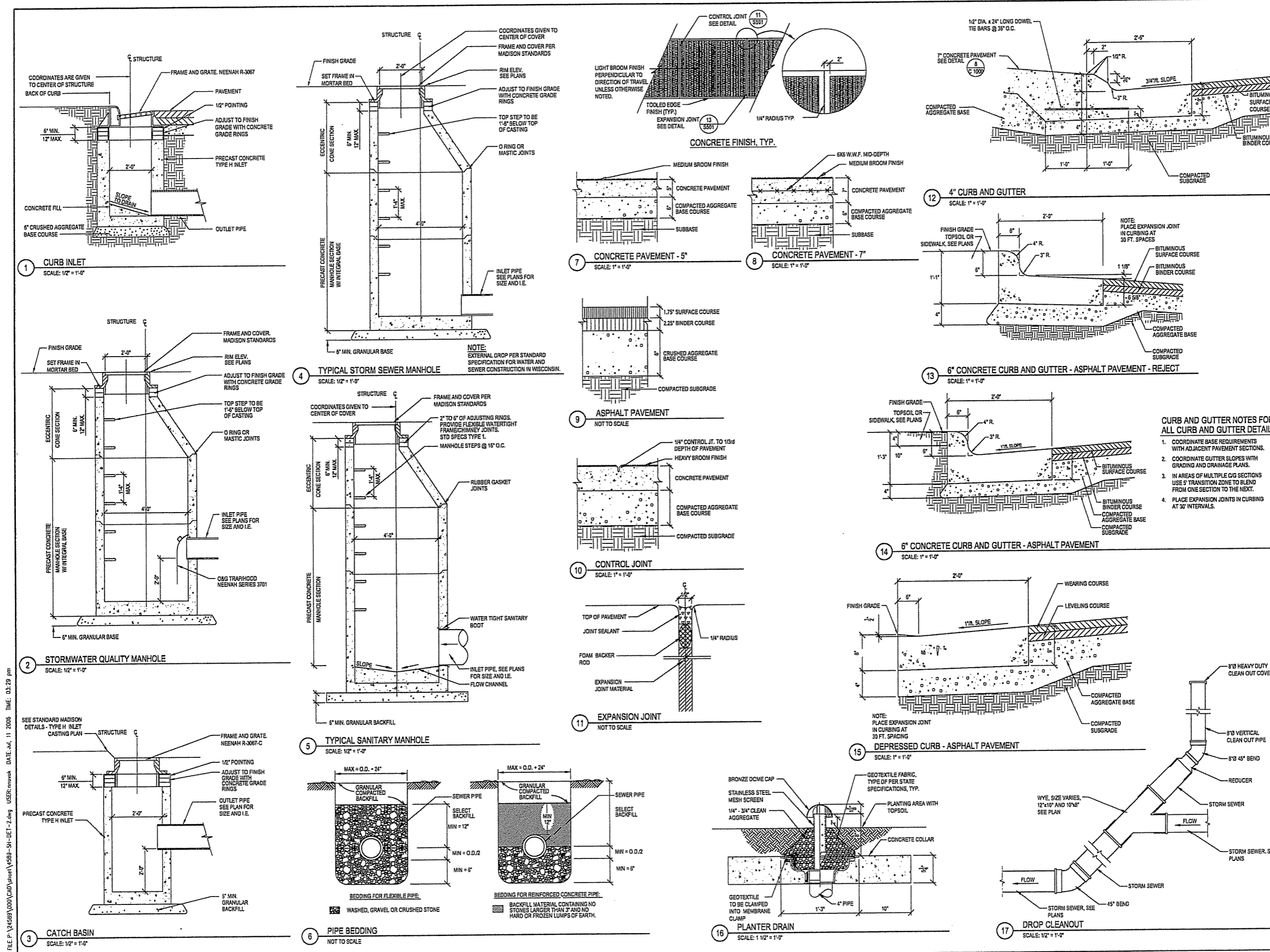
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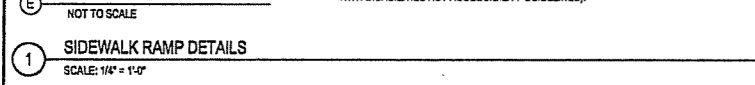
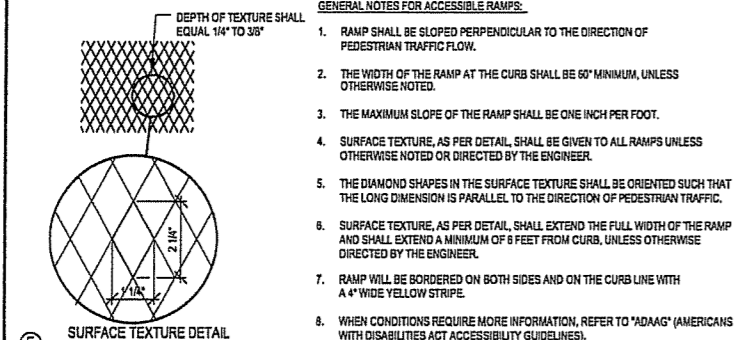
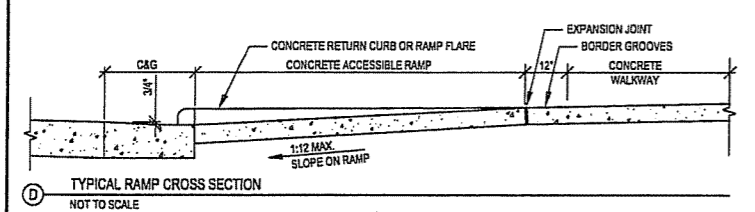
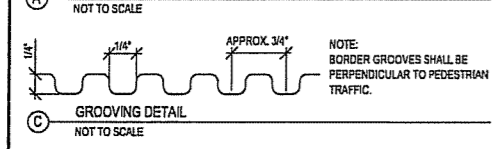
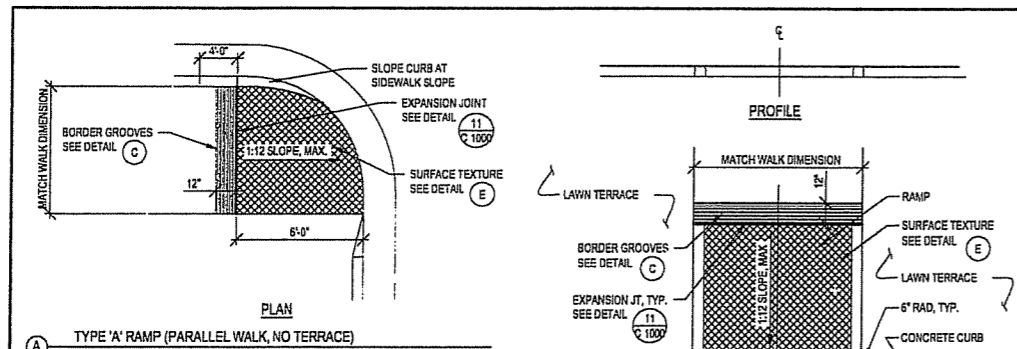
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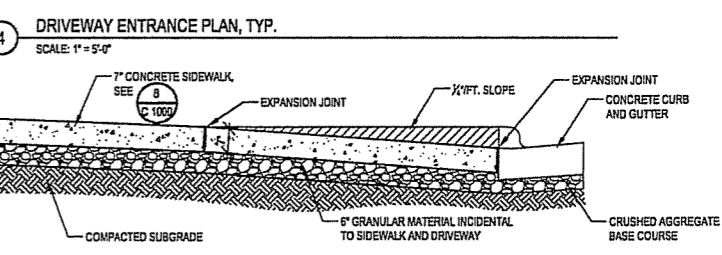
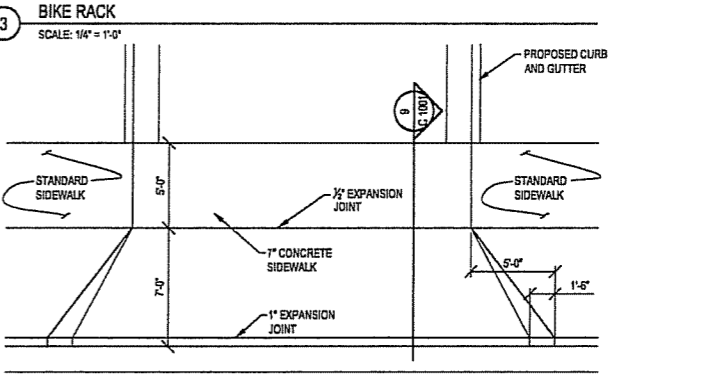
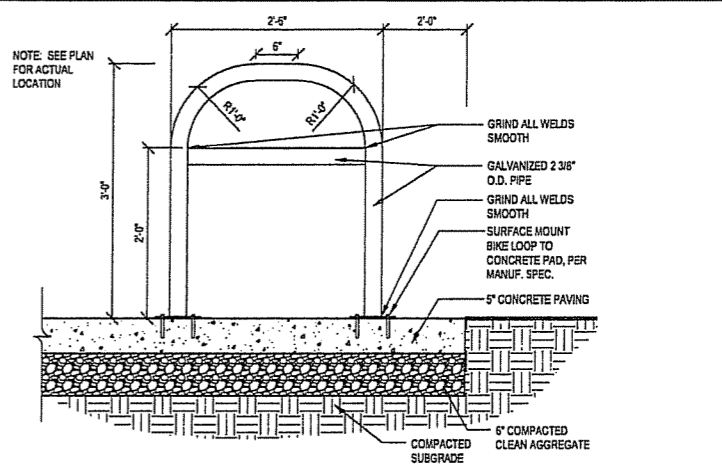
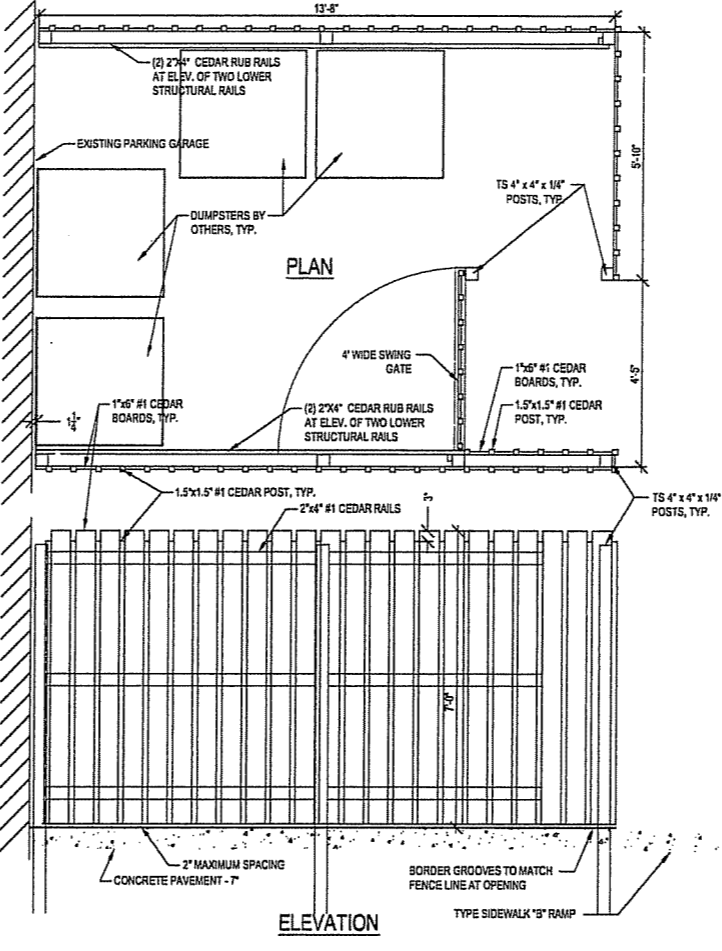
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- GENERAL NOTES FOR ACCESSIBLE RAMPS:**
1. RAMP SHALL BE SLOPED PERPENDICULAR TO THE DIRECTION OF PEDESTRIAN TRAFFIC FLOW.
 2. THE WIDTH OF THE RAMP AT THE CURB SHALL BE 60" MINIMUM, UNLESS OTHERWISE NOTED.
 3. THE MAXIMUM SLOPE OF THE RAMP SHALL BE ONE INCH PER FOOT.
 4. SURFACE TEXTURE, AS PER DETAIL, SHALL BE GIVEN TO ALL RAMPS UNLESS OTHERWISE NOTED OR DIRECTED BY THE ENGINEER.
 5. THE DIAMOND SHAPES IN THE SURFACE TEXTURE SHALL BE ORIENTED SUCH THAT THE LONG DIMENSION IS PARALLEL TO THE DIRECTION OF PEDESTRIAN TRAFFIC.
 6. SURFACE TEXTURE, AS PER DETAIL, SHALL EXTEND THE FULL WIDTH OF THE RAMP AND SHALL EXTEND A MINIMUM OF 8 FEET FROM CURB, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
 7. RAMP WILL BE BORDERED ON BOTH SIDES AND ON THE CURB LINE WITH A 4" WIDE YELLOW STRIPE.
 8. WHEN CONDITIONS REQUIRE MORE INFORMATION, REFER TO "ADAAG" (AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES).

TRASH ENCLOSURE NOTES:

1. CONTRACTOR RESPONSIBLE FOR SPACING AND SIZING OF POSTS AND RAILS PER MANUFACTURER'S RECOMMENDATION.
2. CONTRACTOR RESPONSIBLE SHALL PROVIDE MATCHING SLIDING GATE, NECESSARY SUPPORTS, AND LOCKABLE LATCHES FOR 4" WIDE FENCE OPENING AT ENCLOSURE ENTRANCE
3. POSTS SHALL BE EMBEDDED IN CONCRETE AT DEPTH PER MANUFACTURER'S RECOMMENDATION



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SEALS AND SIGNATURES

KEY PLAN

DRAWING TITLE
SITE DETAILS

SCALE
AS SHOWN

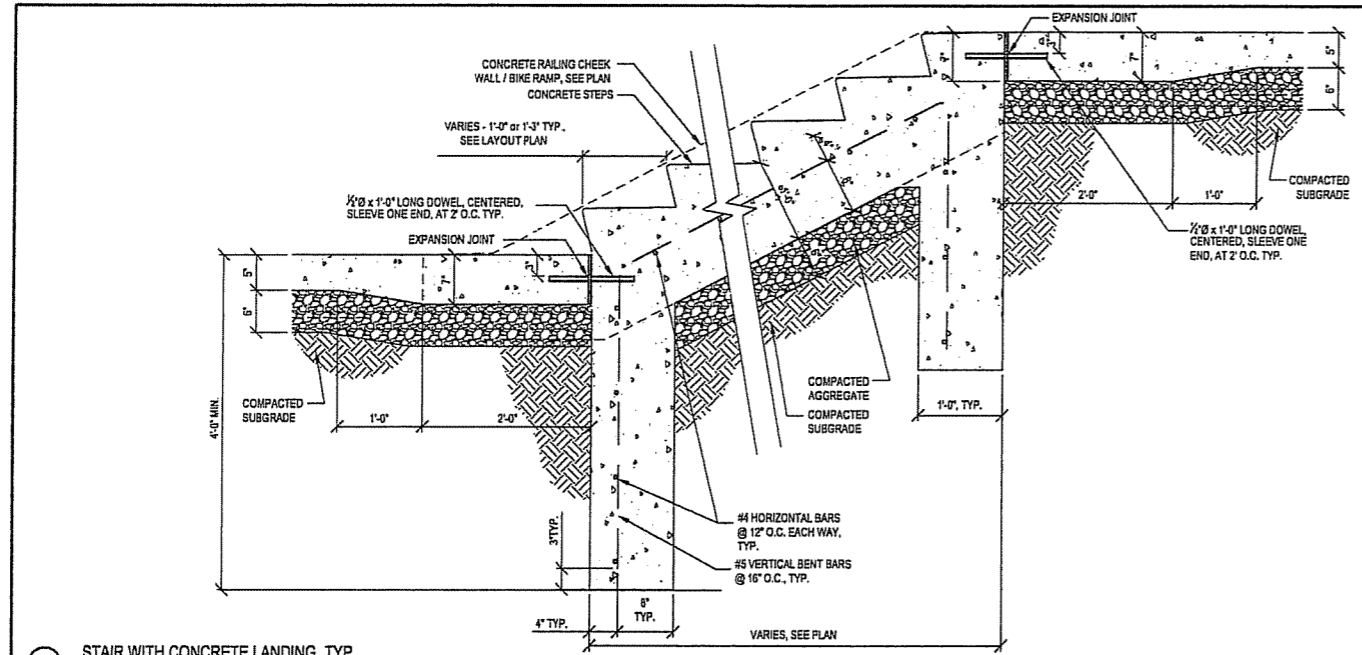
PROJECT NUMBER
24589.000

DRAWING NUMBER
C 1001

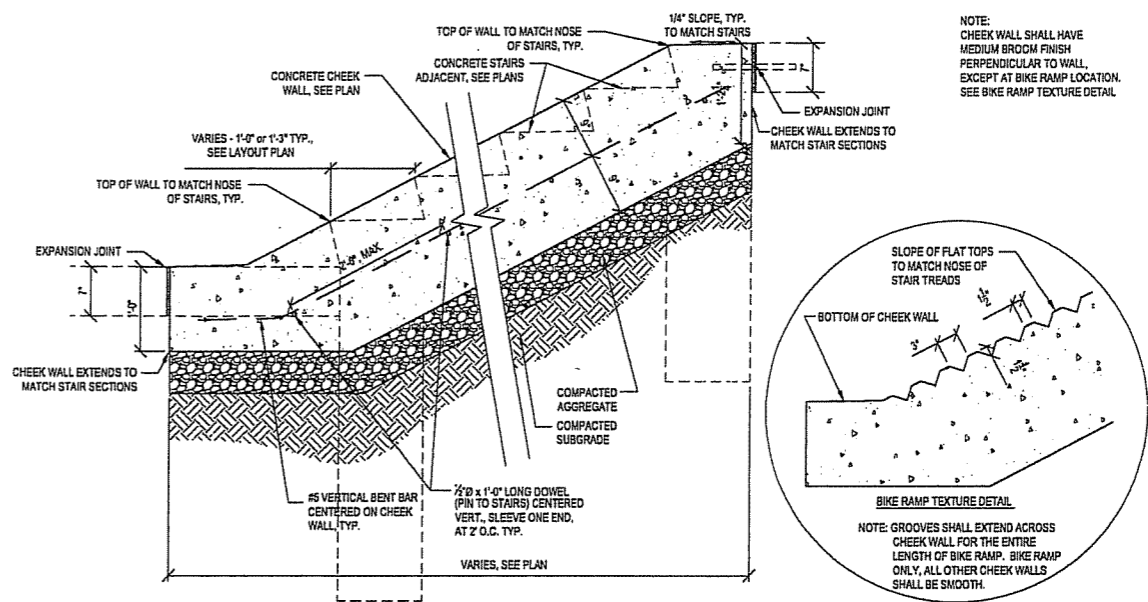
**CAPITOL WEST
PHASE 1
BLOCK 51 - MADISON, WI**

Owner:
**THE ALEXANDER
COMPANY, INC.**

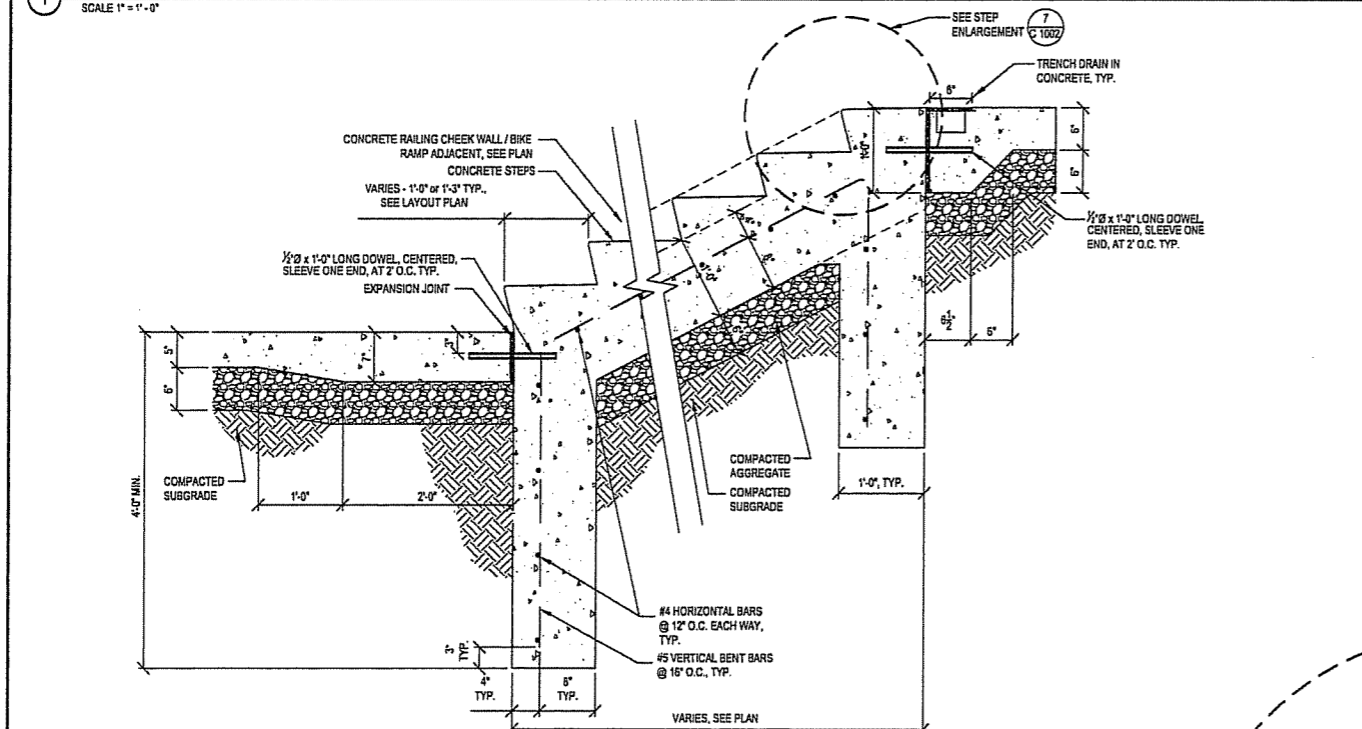
JJR landscape architecture
urban design
civil engineering
environmental science
JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com



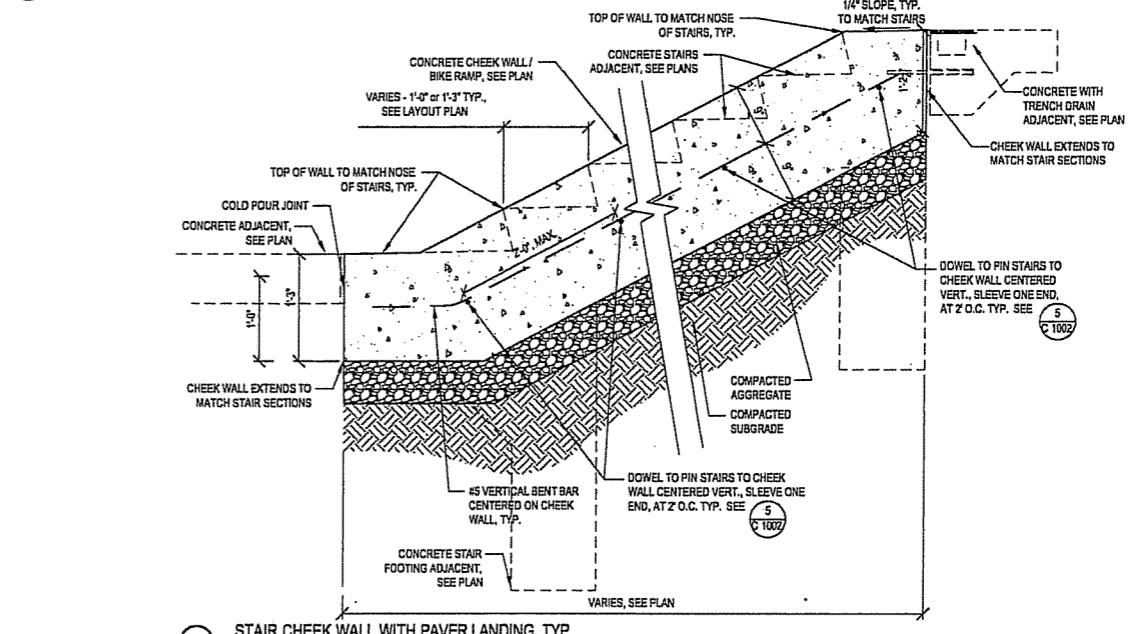
1 STAIR WITH CONCRETE LANDING, TYP.
SCALE 1" = 1'-0"



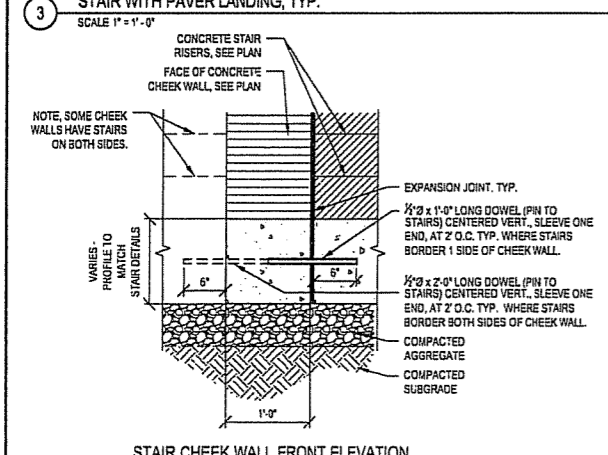
2 STAIR CHEEK WALL WITH CONCRETE LANDING, TYP.
SCALE 1" = 1'-0"



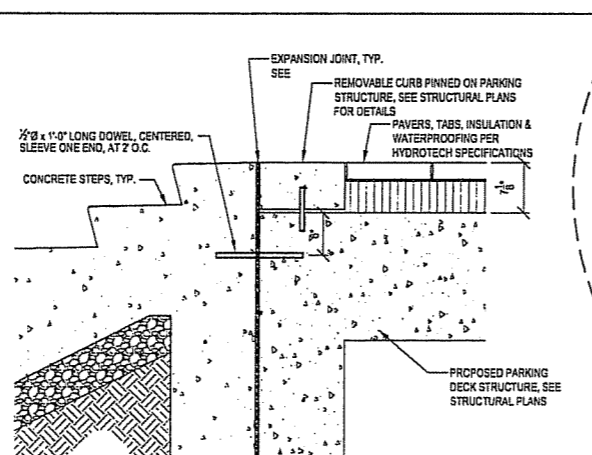
3 STAIR WITH PAVER LANDING, TYP.
SCALE 1" = 1'-0"



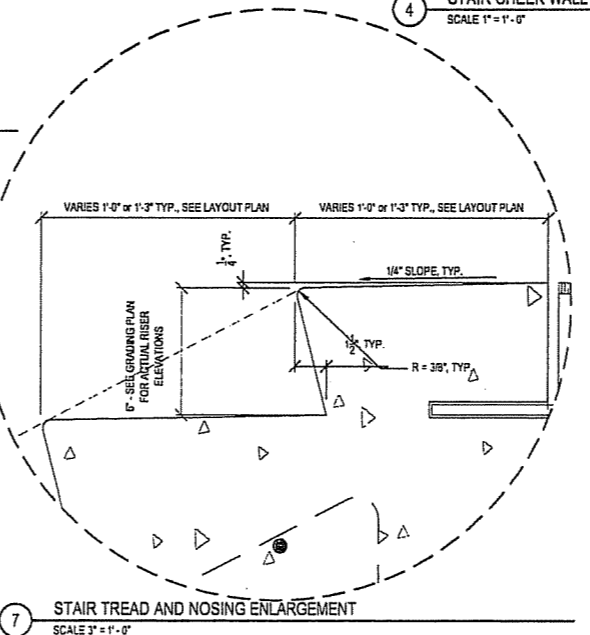
4 STAIR CHEEK WALL WITH PAVER LANDING, TYP.
SCALE 1" = 1'-0"



5 CHEEK WALL CROSS SECTION
SCALE 1" = 1'-0"



6 STAIR ADJACENT TO DECK OR SLAB WITH HYDROTECH SYSTEM, TYP.
SCALE 1" = 1'-0"



7 STAIR TREAD AND NOSING ENLARGEMENT
SCALE 3" = 1'-0"

ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
50% DD REVIEW & ESTIMATE SET		01/04/2006
MAIN ST. UTIL. TO CITY		02/07/2006
CITY REVIEW SET		02/22/2006
100% CLIENT/CONT. REVIEW SET		03/22/2006
FINAL DOCS. QIP/SP SUBMITTAL		06/14/2006
SP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN

DRAWING TITLE
SITE DETAILS

SCALE AS INDICATED
SCALE 24589.000

PROJECT NUMBER
C 1002

DRAWING NUMBER

FILE P:\4589\000\CAD\sheet\4589-SH-DET.dwg USER:cmowak DATE: Jul 11 2005 TIME: 03:29 pm

DIMENSION IV-MADISON

Architecture, Engineering and Interior Design

313 West Beltline Hwy., Suite 161 Madison, WI 53713 Phone (608) 229-4444

CAPITOL WEST

309 West Washington, Madison, WI

LIST OF DRAWINGS

GENERAL

G0.1 COVER SHEET

ARCHITECTURAL

A0.1 FIRST SUB-BASEMENT FLOOR PLAN

A1.0 GROUND FLOOR PLAN

A1.1 FIRST FLOOR PLAN

A1.2 SECOND FLOOR PLAN

A1.3 THIRD FLOOR PLAN

A1.4 FOURTH FLOOR PLAN

A1.5 FIFTH FLOOR PLAN

A1.6 SIXTH FLOOR PLAN

A1.7 SEVENTH FLOOR PLAN

A1.8 EIGHTH FLOOR PLAN

A1.9 NINTH FLOOR PLAN

A1.10 TENTH FLOOR PLAN

A1.11 ELEVENTH FLOOR PLAN

A1.12 ROOF PLAN

A2.0 NORTH EXTERIOR ELEVATION

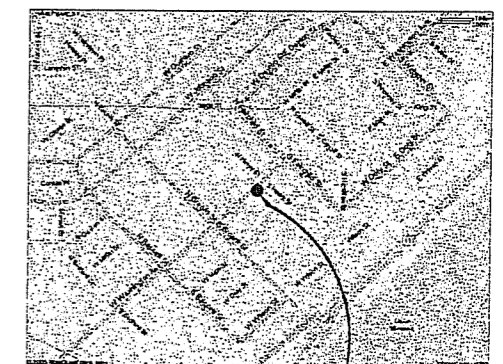
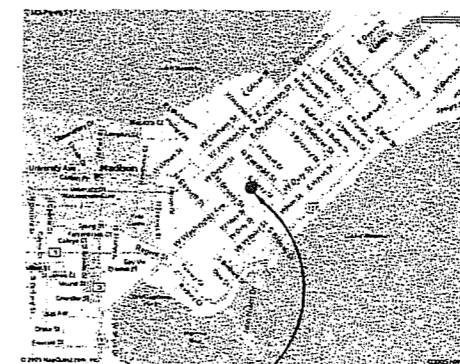
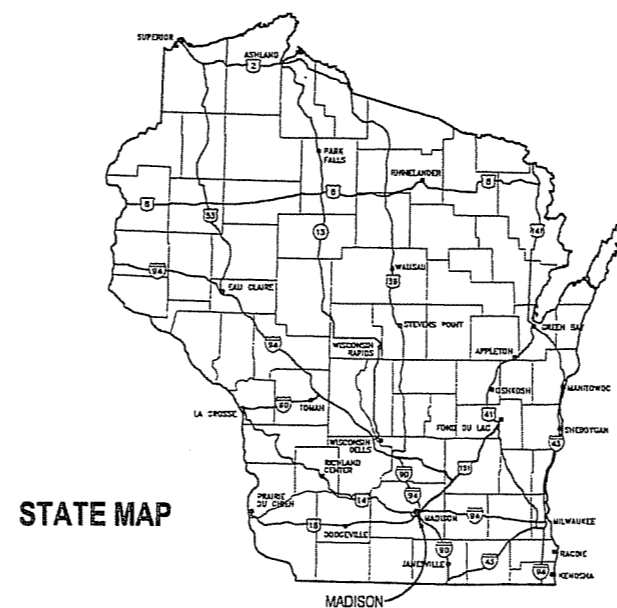
A2.1 EAST EXTERIOR ELEVATION

A2.2 SOUTH EXTERIOR ELEVATION

A2.3 WEST EXTERIOR ELEVATION

IZ UNITS	
UNIT	
	102
	106
	202
	206
	208
	209
	304
	305
	306
	308
	406
	408
	411
	506
	508
	511
	606
	608
	706

TOTAL NUMBER OF UNITS = 126
RETAIL AREA = 10,148
STORAGE AREA = 10,526
GROSS BUILDING AREA = 195,772



UDC
SUBMITTAL

PROJECT #: 05091
JULY 19, 2006

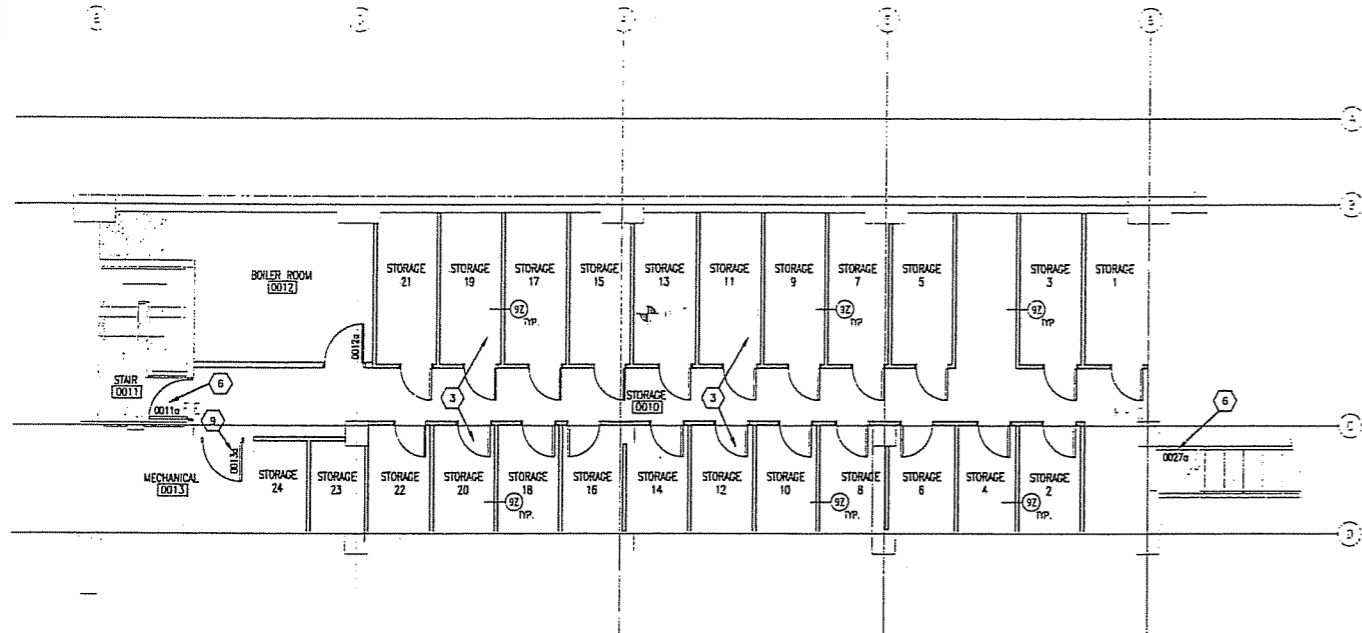
G0.1

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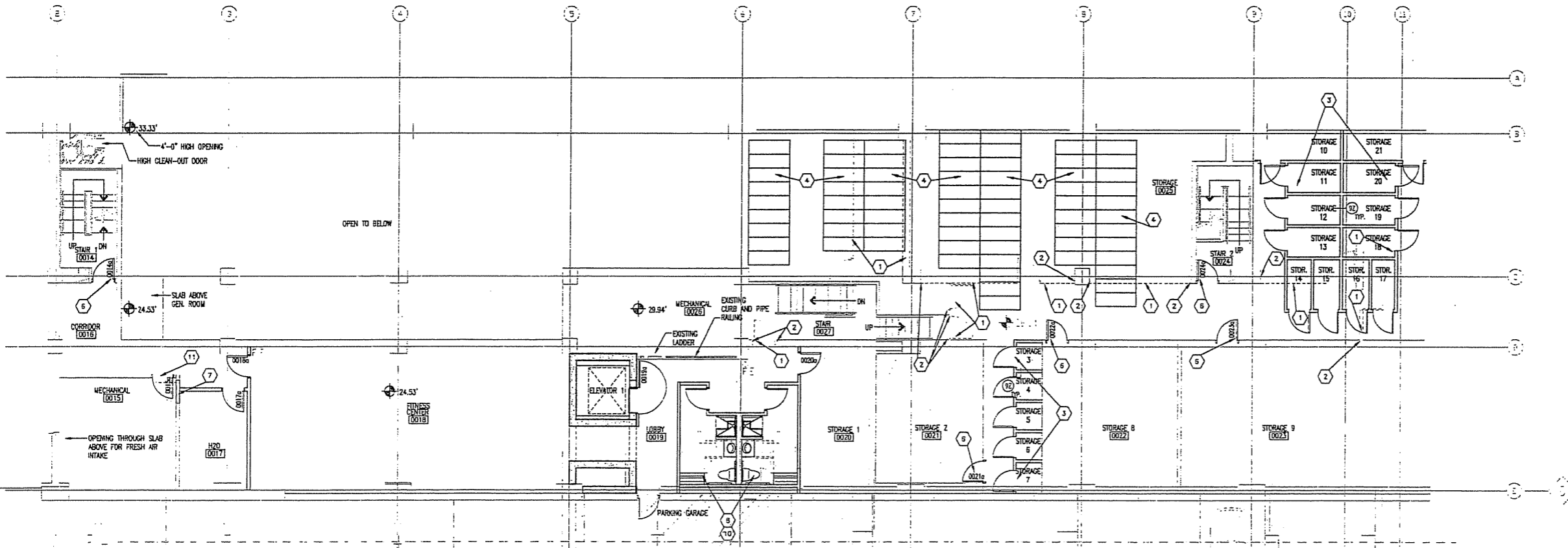
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Madison, WI



1 PARTIAL PLAN-BOILER RM. (ELEV. 16'-8 1/2")
1/8" = 1'-0"

KEY NOTES:

- 1 DEMOLISH EXISTING WALLS AND DOORS AT DASHED REPAIR CEILING FINISHES TO MATCH EXISTING
- 2 REPAIR FINISHES TO MATCH EXISTING
- 3 STORAGE UNITS, SEE DOOR SCHEDULE FOR TYPICAL STORAGE UNIT DOOR 0176. WALLS PER WALL TYPE 9Z.
- 4 PROVIDE BIKE RACKS PER SPECIFICATIONS. BIKE RACKS AND CLEARANCES SHALL BE PER CITY OF MADISON REGULATIONS. 2'-0" x 5'-0" BIKE PARKING STALL W/5 FT. WIDE AISLES.
- 5 NEW 2-HR. RATED WALLS - FULL HEIGHT.
- 6 REMOVE EXISTING DOOR, FRAME AND HARDWARE. PROVIDE NEW DOOR, FRAME AND HARDWARE PER DOOR SCHEDULE.
- 7 REMOVE EXISTING DOOR & FRAME - IN-FILL WITH NEW WALL TYPE 9D, 2-HR. RATED.
- 8 TOILET ROOMS - CONSTRUCTION N.I.C. MEP ROUGH IN ONLY.
- 9 REMOVE EXISTING DOOR, FRAME AND HARDWARE. PROVIDE NEW DOOR, FRAME AND HARDWARE PER DOOR SCHEDULE. AND INSTALL DOOR SWING INWARD.
- 10 SAWCUT AND REMOVE TOPPING AT SHOWER TO ALLOW FOR DRAINAGE.
- 11 PROVIDE NEW FRAMED OPENING FOR DOOR.
- ◇ FOR REFERENCE TO EXISTING BUILDING PLANS ONLY.



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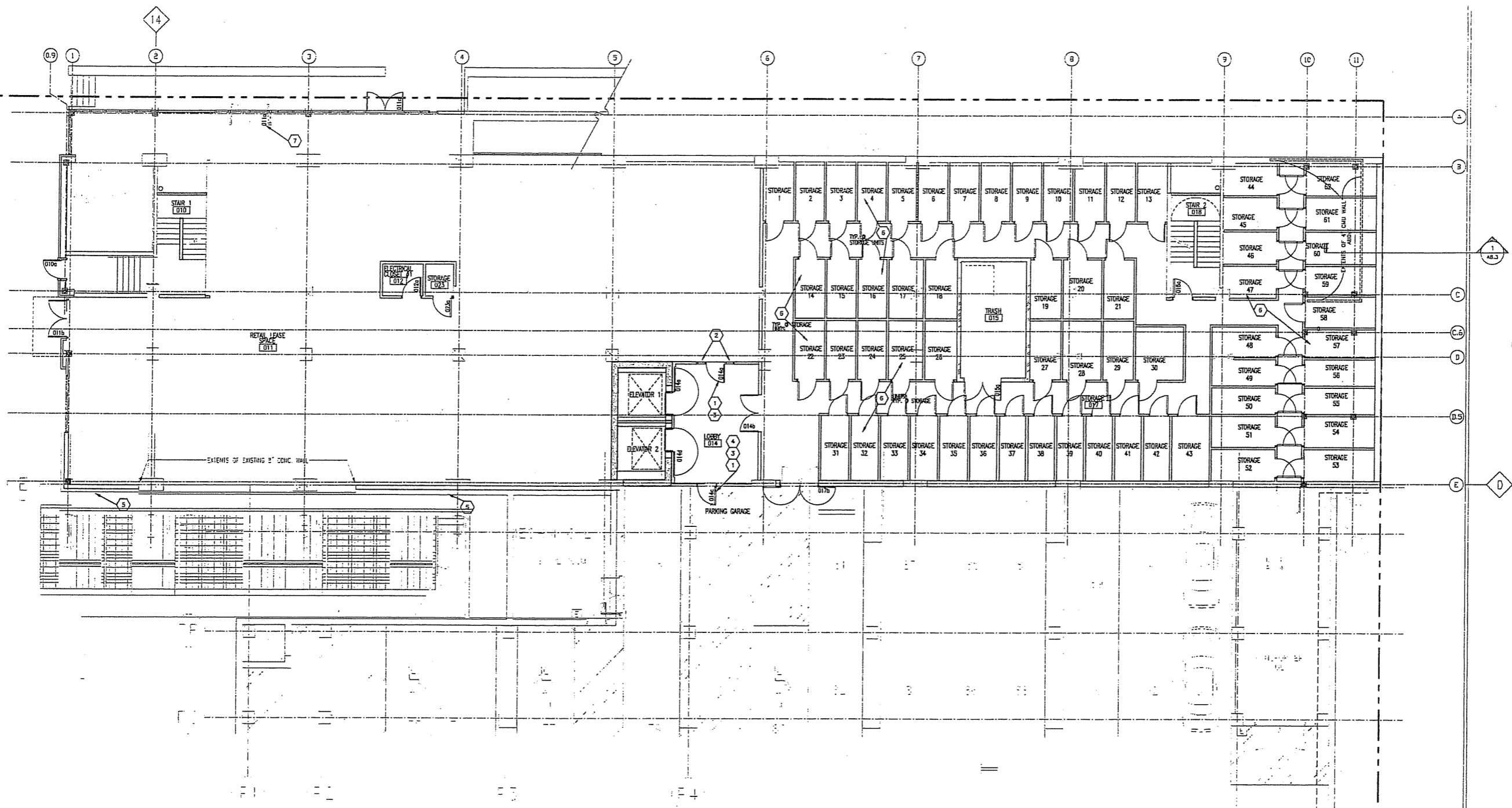
FIRST SUB-BASEMENT
FLOOR PLAN

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1 FLOOR LEVEL 00 (ELEV. +40'-9")
1/8" = 1'-0"

KEY NOTES:

- 1 PROVIDE DOOR WITH 100 SQUARE INCHES OF GLAZING
- 2 PROVIDE 18" WIDE, FULL HEIGHT SIDELIGHTS WITH FIRE RATED GLAZING, NOT WIRE GLASS
- 3 PROVIDE CARD READER AT DOOR
- 4 ALTERNATE: PROVIDE AUTOMATIC DOOR OPERATOR
- 5 NEW 4" THICK CAST-IN-SITE PRECAST CONCRETE COVER CONTIGUOUS TO LINE 4. TOP OF CONCRETE COVER AT ELEV. 52.27'. ALL CONNECTION DETAILS BY PRECAST SUPPLIER.
- 6 STORAGE UNITS, SEE DOOR SCHEDULE FOR TYPICAL STORAGE UNIT DOOR 0176. WALLS PER WALL TYPE 3B.
- 7 ALTERNATE NO. 2C: PROVIDE STOREFRONT FRAMING AS SHOWN WITH INSET DOOR PER DOOR SCHEDULE. PROVIDE INSET EXTERIOR STOOP
- ◇ FOR REFERENCE TO EXISTING BUILDING PLANS ONLY.

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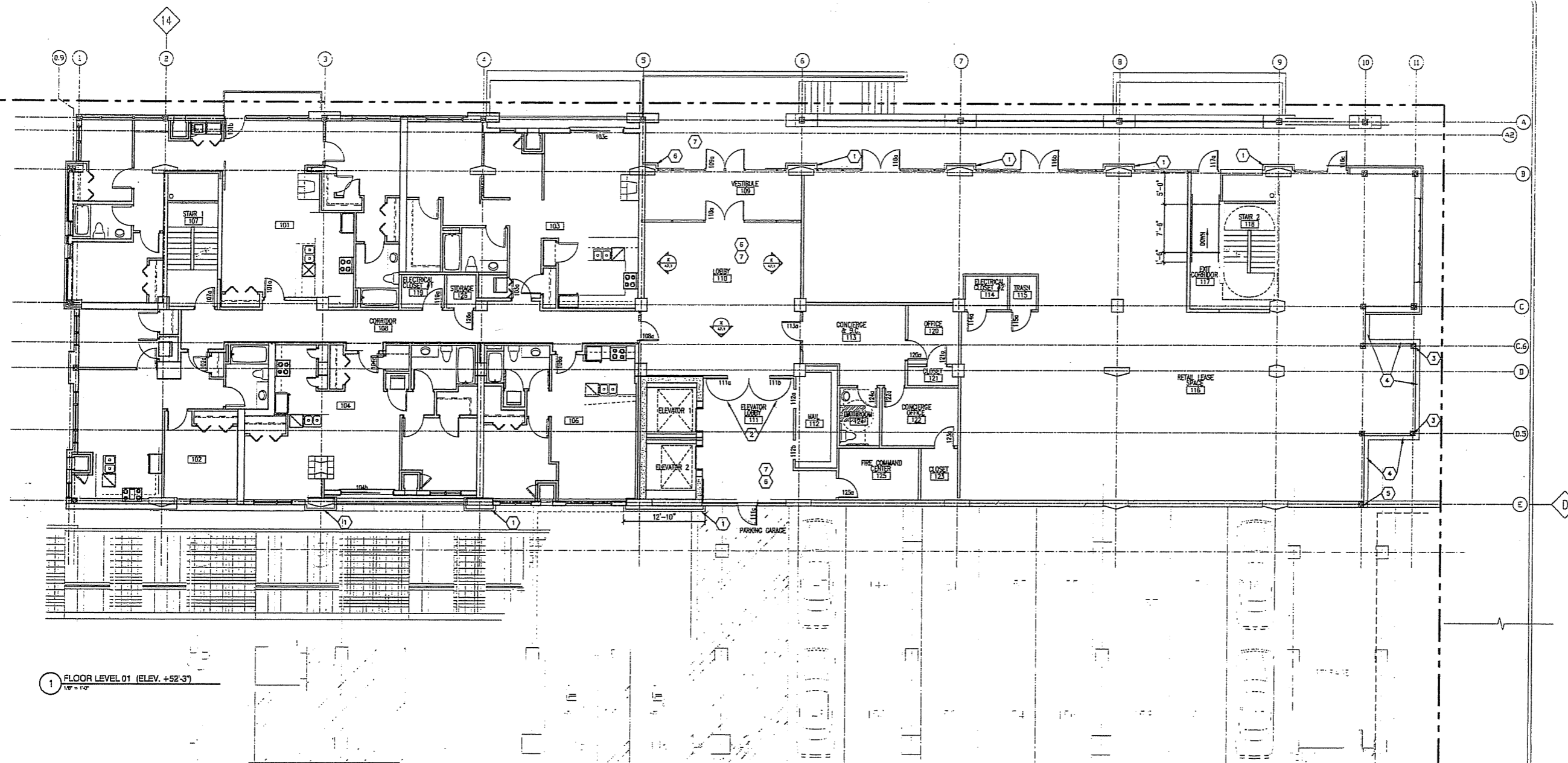
GROUND FLOOR PLAN

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1 FLOOR LEVEL 01 (ELEV. +52'-3")
1/8" = 1'-0"

- KEY NOTES:**
- ① 4" THICK CAST-IN-SITE PRE-CAST CONCRETE CONNECTION DETAILS BY PRE-CAST SUPPLIER.
 - ② RATED DOORS ON HOLD OPENERS AT ELEVATORS. FLUR OUT WALL FOR FLUSH, IN-SET CONDITION
 - ③ COLUMNS 11(C.6 & D.5): 8" CONCRETE WALL PROVIDES 2-HR. FIRE PROTECTION ON TWO SIDES. 4 LAYERS OF 5/8" TH. DRYWALL ON THE OTHER TWO SIDES, SM. TO DETAIL 2/AB.1.
 - ④ NEW POURED IN PLACE 8" CONCRETE WALL TO ELEV. 63.10' SEE STRUCTURAL PLANS
 - ⑤ COLUMN 10-E: 8" CONCRETE WALL PROVIDES 2-HR. FIRE PROTECTION ON ONE SIDE. 4 LAYERS OF 5/8" TH. DRYWALL ON THE OTHER THREE SIDES, SM. TO DETAIL 2/AB.1.
 - ⑥ PROVIDE CARD READER AT DOOR
 - ⑦ ALTERNATE: PROVIDE AUTOMATIC DOOR OPERATOR
 - ◇ FOR REFERENCE TO EXISTING BUILDING PLANS ONLY

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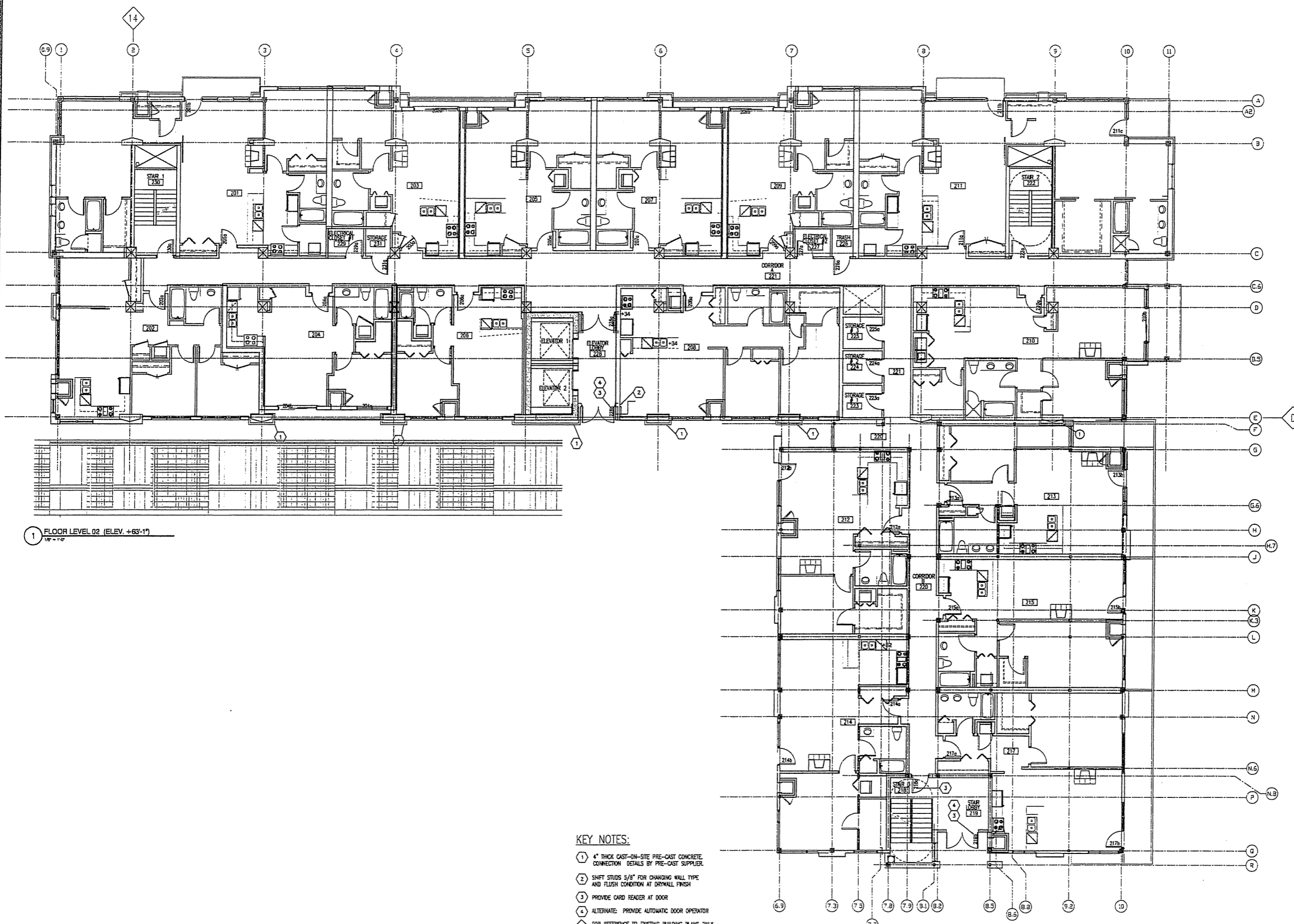
FIRST FLOOR PLAN

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1 FLOOR LEVEL 02 (ELEV. +63'-1")
1/8" = 1'-0"

KEY NOTES:

- ① 4" THICK CAST-ON-SITE PRE-CAST CONCRETE CONNECTION DETAILS BY PRE-CAST SUPPLIER.
- ② SHIFT STUDS 5/8" FOR CHANGING WALL TYPE AND FLUSH CONDITION AT DRYWALL FINISH
- ③ PROVIDE CARD READER AT DOOR
- ④ ALTERNATE: PROVIDE AUTOMATIC DOOR OPERATOR
- ◇ FOR REFERENCE TO EXISTING BUILDING PLANS ONLY.

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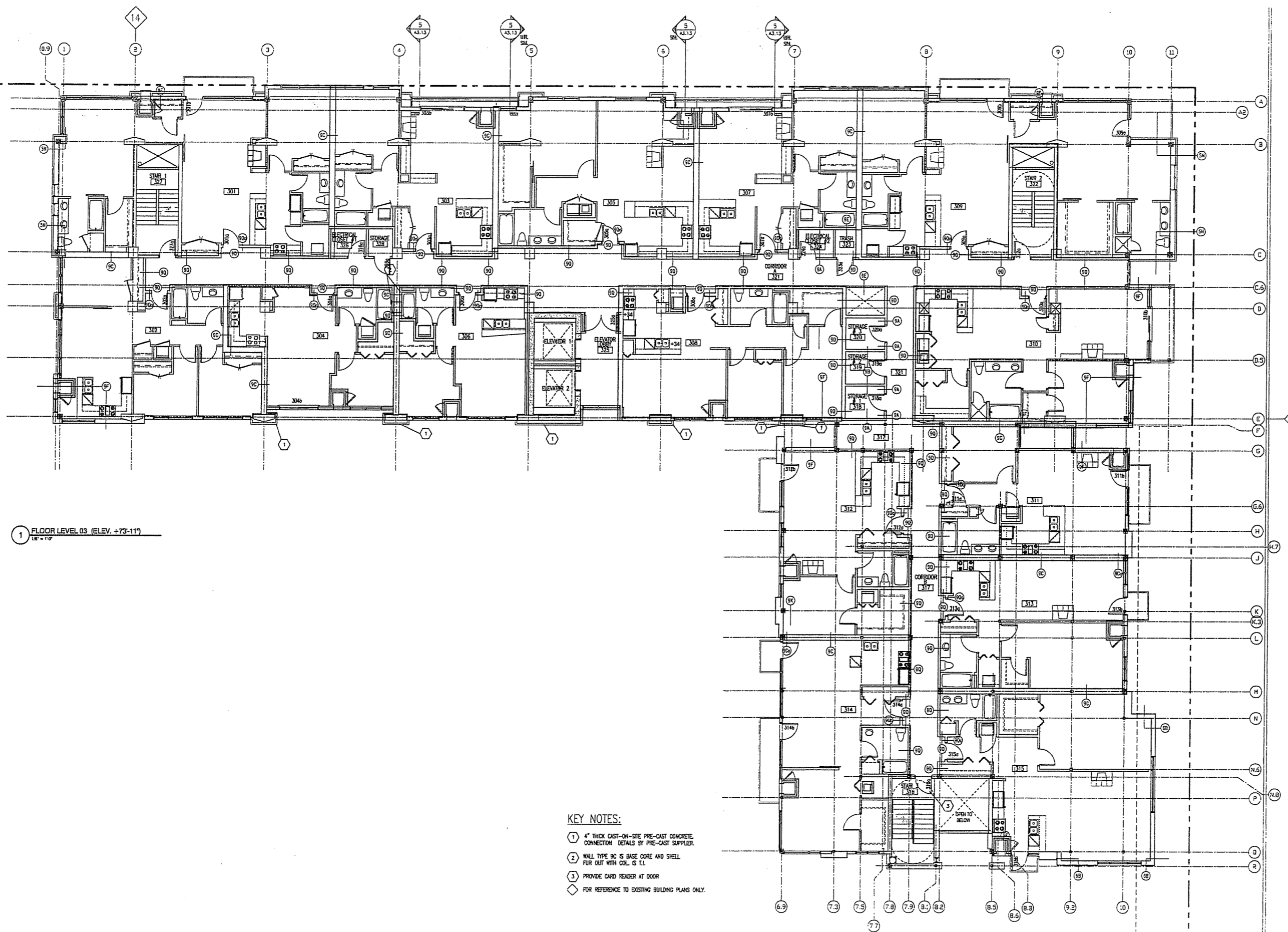
SECOND FLOOR PLAN

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1 FLOOR LEVEL 03 (ELEV. +73-111)
1/8" = 1'-0"

- KEY NOTES:**
- 1 4" THICK CAST-ON-SITE PRE-CAST CONCRETE CONNECTION DETAILS BY PRE-CAST SUPPLIER.
 - 2 WALL TYPE 9C IS BASE CORE AND SHELL FUR OUT WITH COL. IS T.I.
 - 3 PROVIDE CARD READER AT DOOR
 - ◇ FOR REFERENCE TO EXISTING BUILDING PLANS ONLY.

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REVISIONS:	
PROJECT NO:	05091

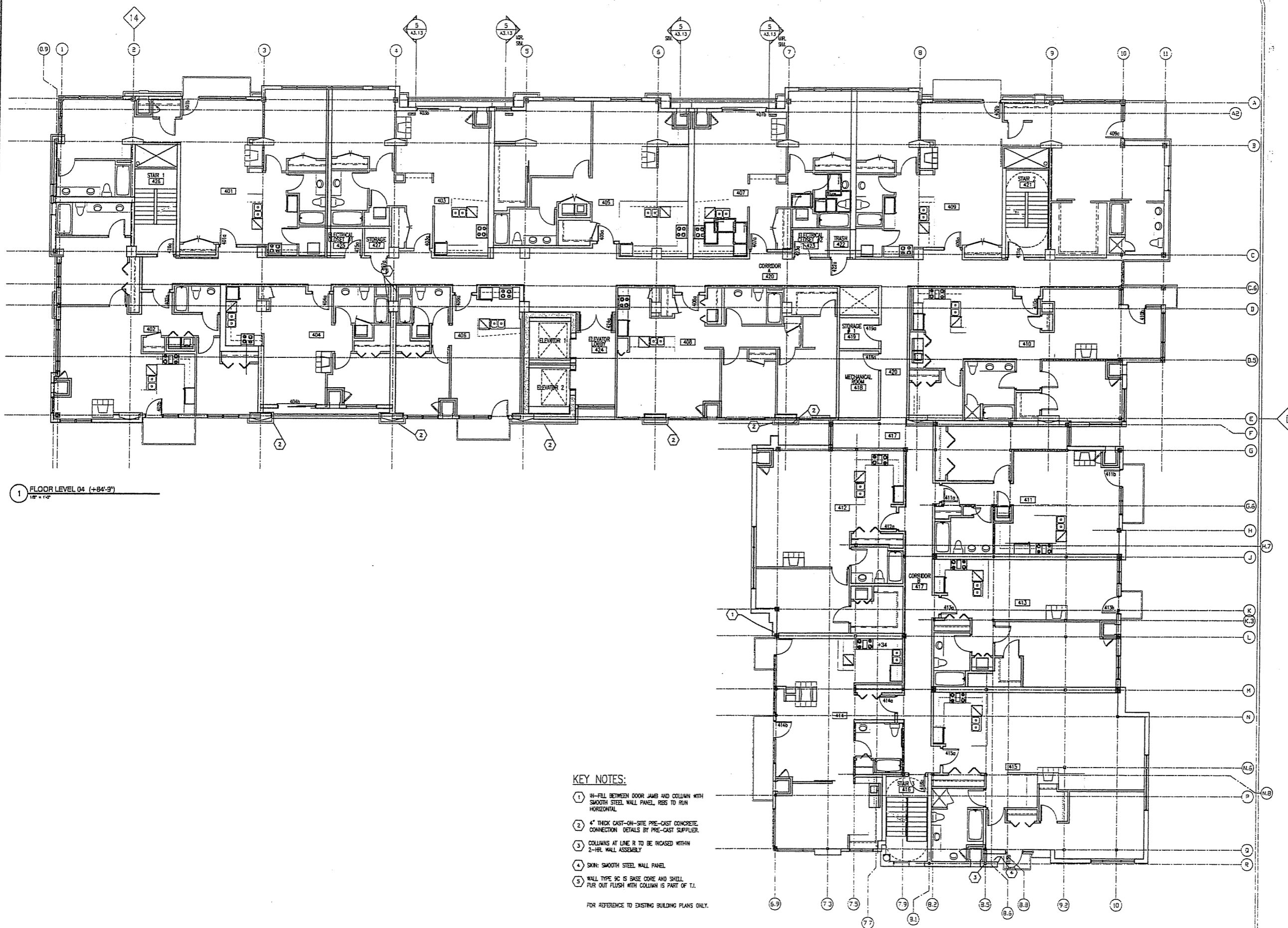
THIRD FLOOR PLAN

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Madison, WI



1 FLOOR LEVEL 04 (+84'-9")
1/8" = 1'-0"

KEY NOTES:

- 1 IN-FILL BETWEEN DOOR JAMB AND COLUMN WITH SMOOTH STEEL WALL PANEL. RIGS TO RUN HORIZONTAL.
- 2 4" THICK CAST-ON-SITE PRE-CAST CONCRETE CONNECTION DETAILS BY PRE-CAST SUPPLIER.
- 3 COLUMNS AT LINE R TO BE INCREASED WITHIN 2-HR. WALL ASSEMBLY.
- 4 SKIN: SMOOTH STEEL WALL PANEL.
- 5 WALL TYPE 9C IS BASE CORE AND SHELL. FLUR OUT FLUSH WITH COLUMN IS PART OF T.I.

FOR REFERENCE TO EXISTING BUILDING PLANS ONLY.

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REVISIONS:

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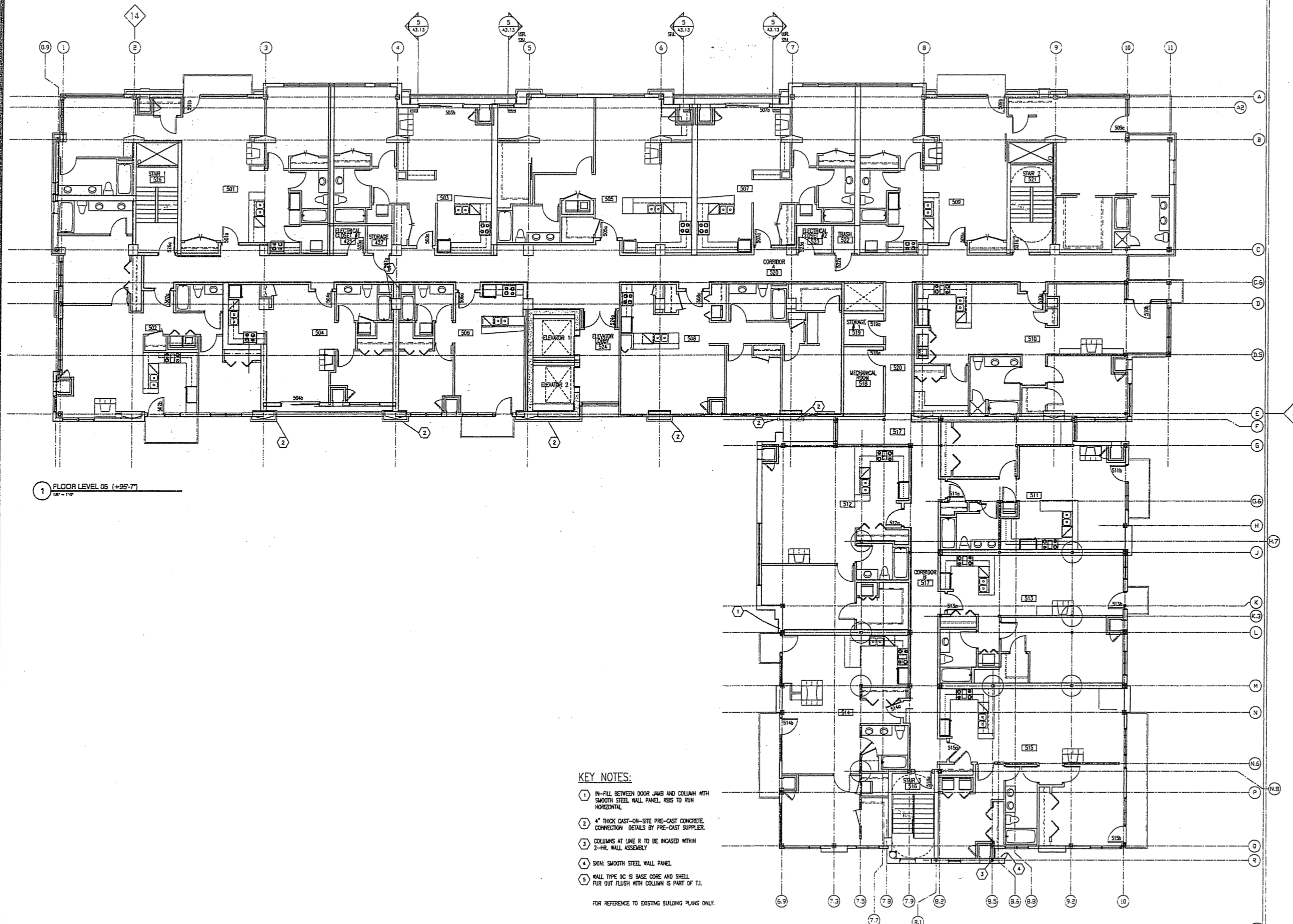
FOURTH FLOOR PLAN

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1 FLOOR LEVEL 05 (+95'-7")
1/8" = 1'-0"

- KEY NOTES:**
- 1 IN-FILL BETWEEN DOOR JAMB AND COLUMN WITH SMOOTH STEEL WALL PANEL. REFS TO RUN HORIZONTAL.
 - 2 4" THICK CAST-ON-SITE PRE-CAST CONCRETE CONNECTION DETAILS BY PRE-CAST SUPPLIER.
 - 3 COLUMNS AT LINE R TO BE INCASED WITHIN 2-HR. WALL ASSEMBLY.
 - 4 SKIN: SMOOTH STEEL WALL PANEL.
 - 5 WALL TYPE 9C IS BASE CORE AND SHELL. FUR OUT FLUSH WITH COLUMN IS PART OF T.I.

FOR REFERENCE TO EXISTING BUILDING PLANS ONLY.

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FIFTH FLOOR PLAN

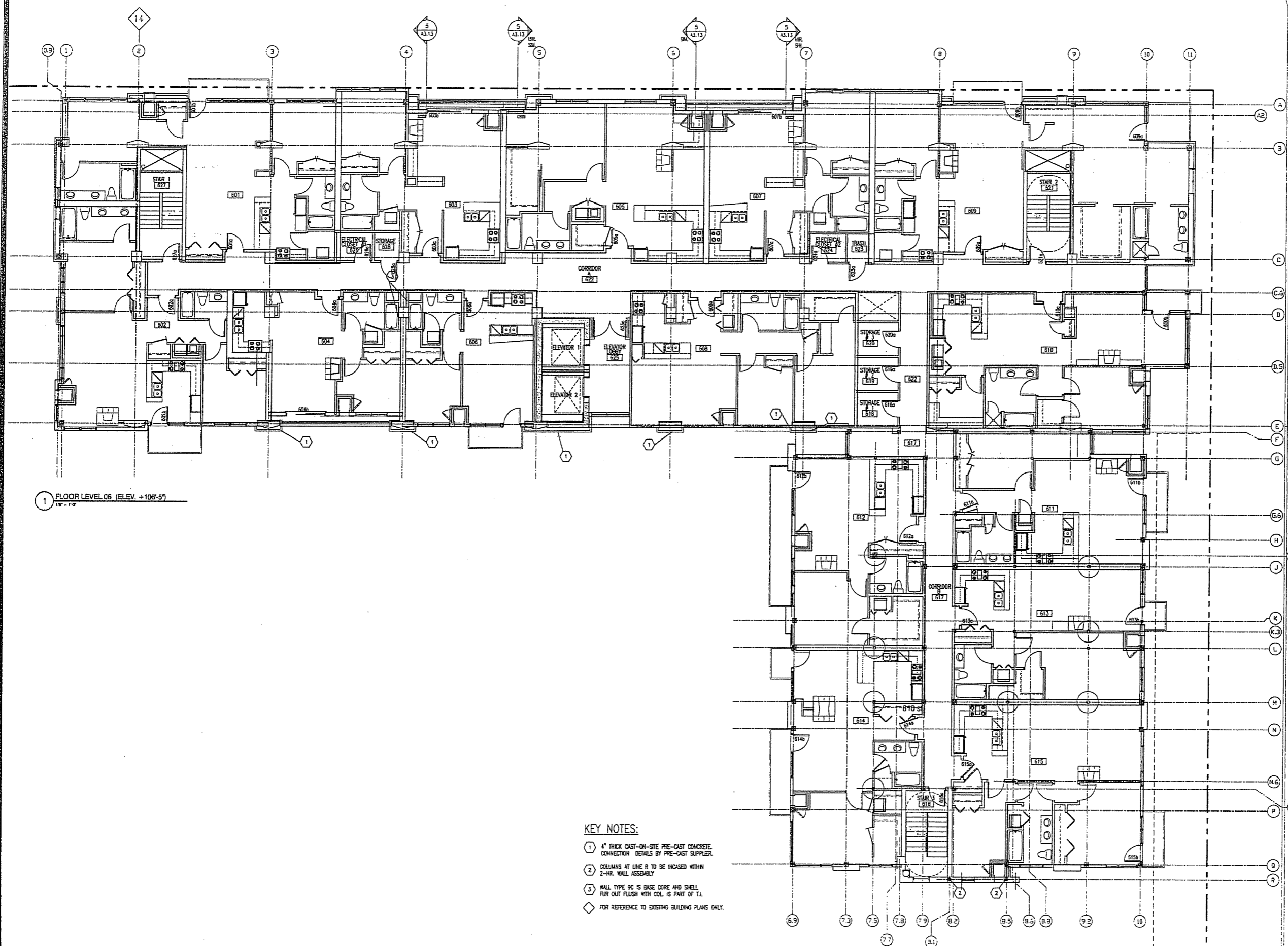
A15

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1 FLOOR LEVEL 06 (ELEV. +106'-5")
1/8" = 1'-0"

- KEY NOTES:**
- ① 4" THICK CAST-ON-SITE PRE-CAST CONCRETE CONNECTION DETAILS BY PRE-CAST SUPPLIER.
 - ② COLUMNS AT LINE R TO BE INCASD WITHIN 2-HR. WALL ASSEMBLY.
 - ③ WALL TYPE 9C IS BASE CORE AND SHELL. FUR OUT FLUSH WITH COL. IS PART OF T.I.
 - ◇ FOR REFERENCE TO EXISTING BUILDING PLANS ONLY.

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DATE OF ISSUE:	07/19/06
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PROJECT NO:	05091

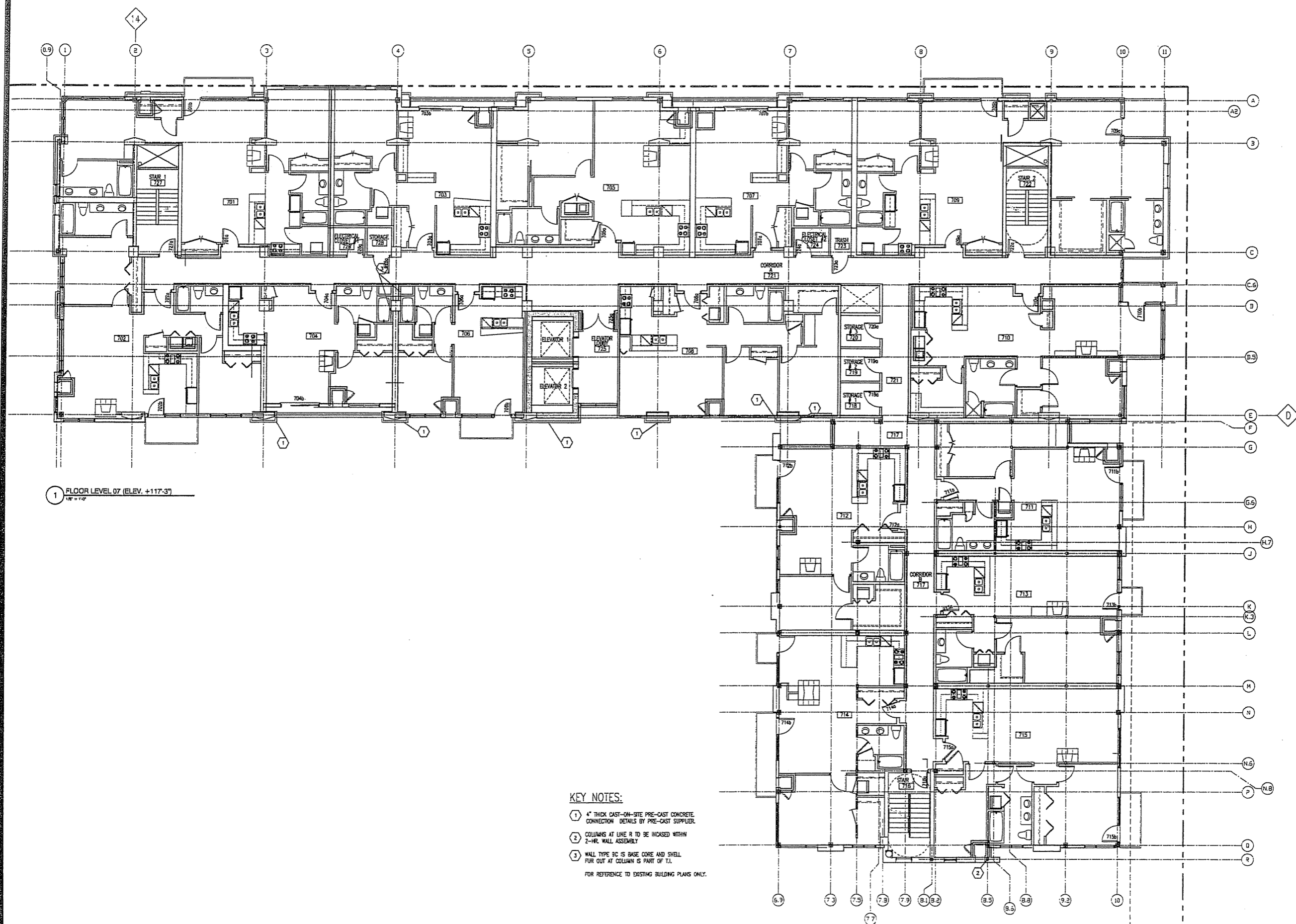
SIXTH FLOOR PLAN

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CAPITOL WEST
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1 FLOOR LEVEL 07 (ELEV. +117'-3")
1/8" = 1'-0"

KEY NOTES:

- ① 4" THICK CAST-ON-SITE PRE-CAST CONCRETE CONNECTION DETAILS BY PRE-CAST SUPPLIER.
 - ② COLUMNS AT LINE R TO BE INCREASED WITHIN 2-HR. WALL ASSEMBLY.
 - ③ WALL TYPE 9C IS BASE CORE AND SHELL FUR OUT AT COLUMN IS PART OF T.I.
- FOR REFERENCE TO EXISTING BUILDING PLANS ONLY.

**UDC
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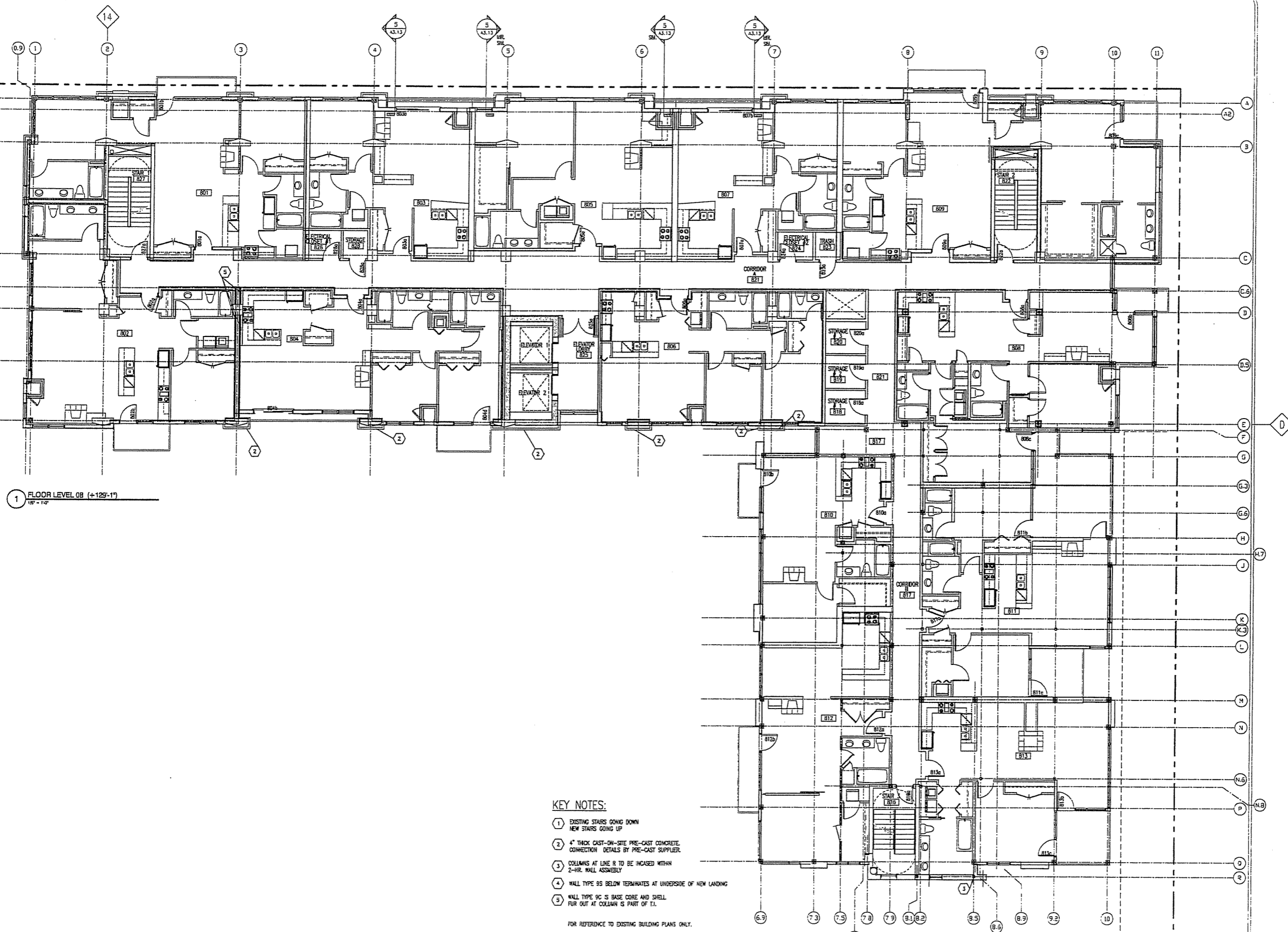
SEVENTH FLOOR PLAN

DIMENSION IV MADISON

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CAPITOL WEST
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1 FLOOR LEVEL 08 (+129'-11")
1/8" = 1'-0"

- KEY NOTES:**
- ① EXISTING STAIRS GOING DOWN
NEW STAIRS GOING UP
 - ② 4" THICK CAST-IN-SITE PRE-CAST CONCRETE CONNECTION DETAILS BY PRE-CAST SUPPLIER.
 - ③ COLLARMS AT LINE R TO BE INCASD WITHIN 2-HR. WALL ASSEMBLY
 - ④ WALL TYPE 9S BELOW TERMINATES AT UNDERSIDE OF NEW LANDING
 - ⑤ WALL TYPE 9C S BASE CORE AND SHELL. FUR OUT AT COLLAR IS PART OF T1.

FOR REFERENCE TO EXISTING BUILDING PLANS ONLY.

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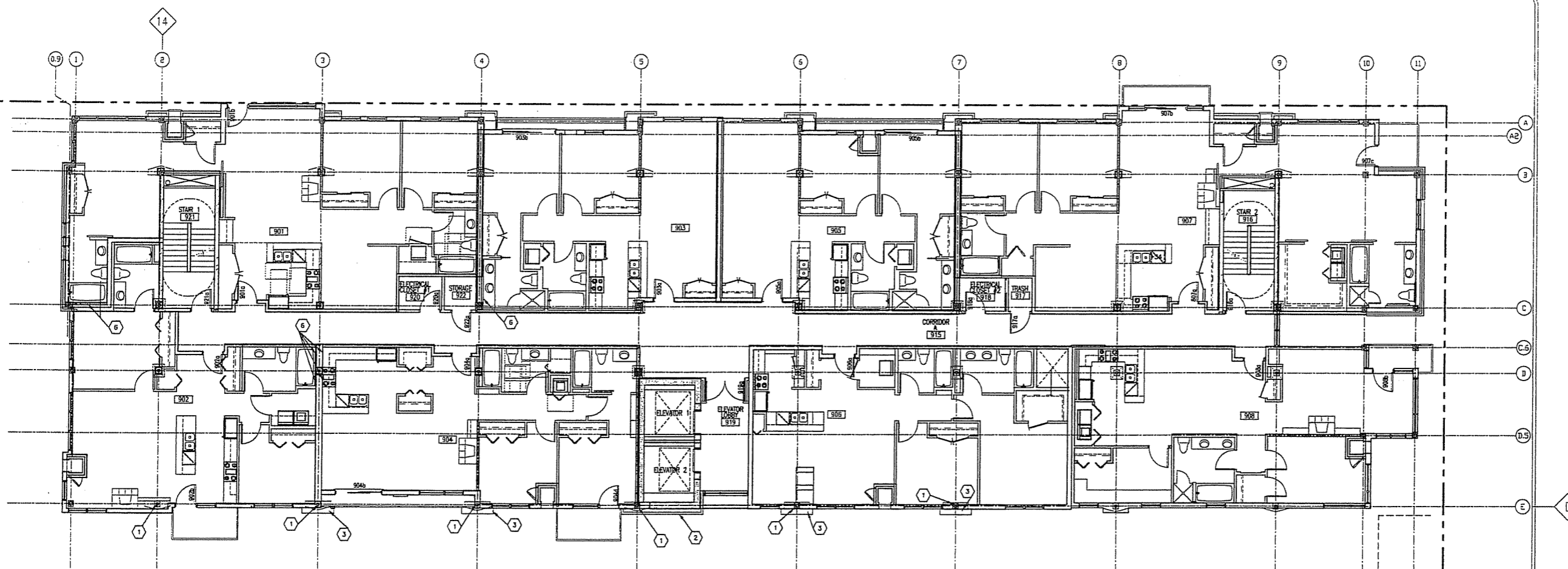
EIGHTH FLOOR PLAN

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1 FLOOR LEVEL 09 (ELEV. +140'-9")
1/8" = 1'-0"

KEY NOTES:

- 1 PAINT BASE PLATE AND EXPOSED ANCHOR BOLTS WITH INTUMESCENT PAINT AT COLUMNS F(2-7)
- 2 4" THICK CAST-ON-SITE PRE-CAST CONCRETE CONNECTION DETAILS BY PRE-CAST SUPPLIER.
- 3 COLUMN COVER BELOW
- 4 COLUMNS AT LINE R TO BE INCASED WITHIN 2-HR. WALL ASSEMBLY
- 5 SHPS LADDER TO ROOF HATCH ABOVE
- 6 FLR OUT FLUSH WITH COLUMN WRAP IS N.L.C. - PART OF T.I.

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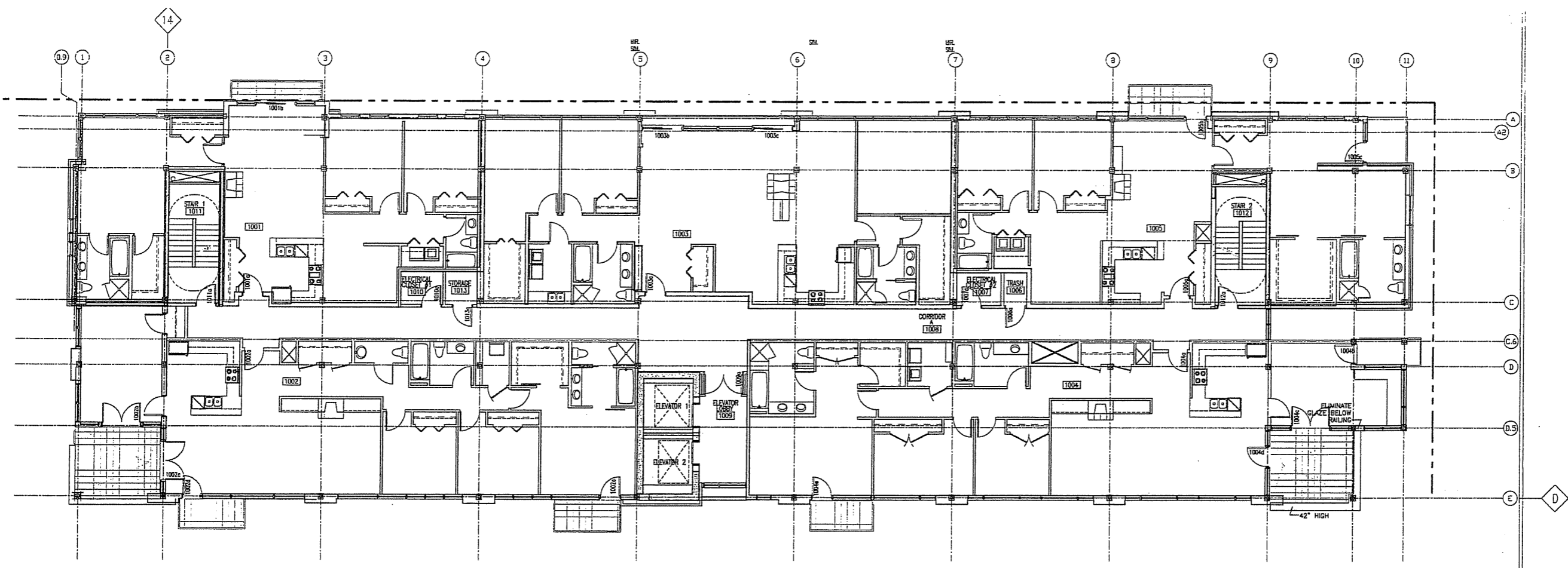
NINTH FLOOR PLAN

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1 FLOOR LEVEL 10 (ELEV. +152'-5")
1/8" = 1'-0"

KEY NOTES:
◇ FOR REFERENCE TO EXISTING BUILDING PLANS ONLY.

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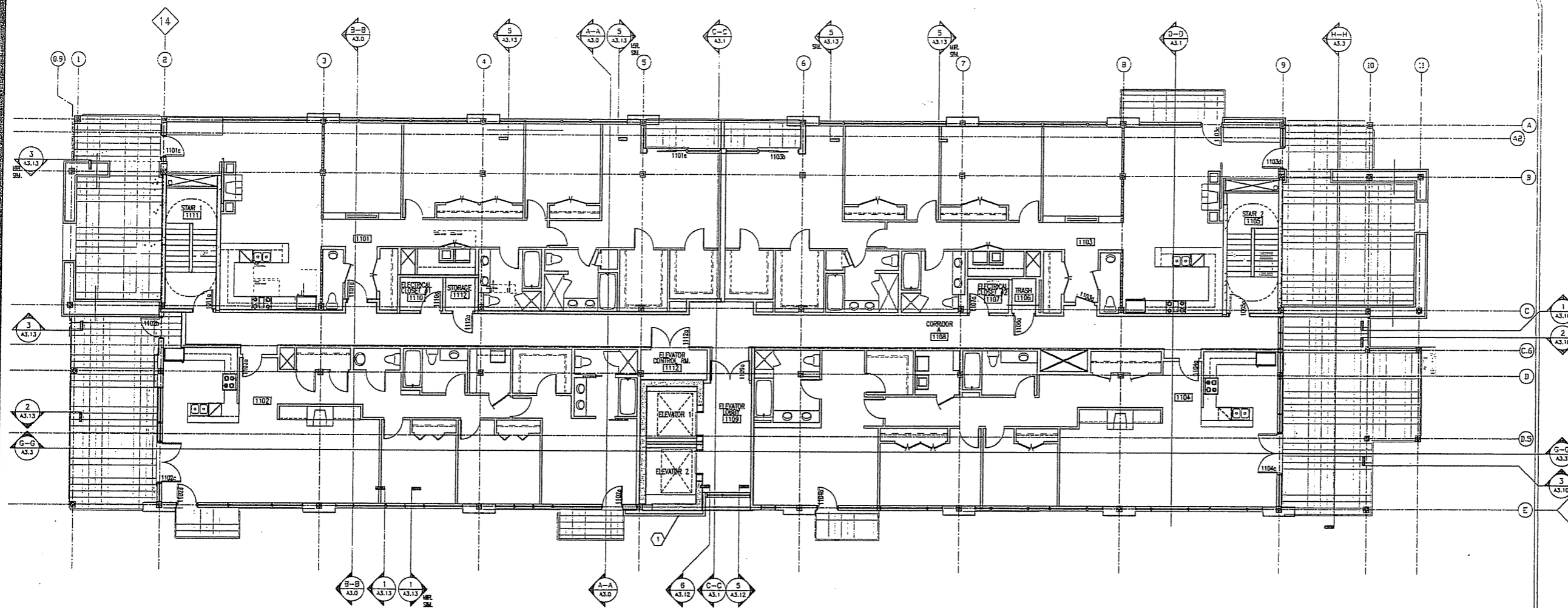
TENTH FLOOR PLAN

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1 FLOOR LEVEL 11 (ELEV. 164'-9 1/8")
1/8" = 1'-0"

- KEY NOTES:**
- 1 4" THICK CAST-IN-SITE PRE-CAST CONCRETE CONNECTION DETAILS BY PRE-CAST SUPPLIER.
 - 2 8" GROUND-FACE CMU AT EAST SIDE OF STAIR FROM ELEV. 151'-5 1/8" TO TOP OF CMU WALL GROUND-FACE SIDE SHALL BE ON THE TERRACE SIDE OF THE CMU
 - 3 SHIP'S LADDER TO ROOF HATCH
- FOR REFERENCE TO EXISTING BUILDING PLANS ONLY.

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ELEVENTH
FLOOR PLAN

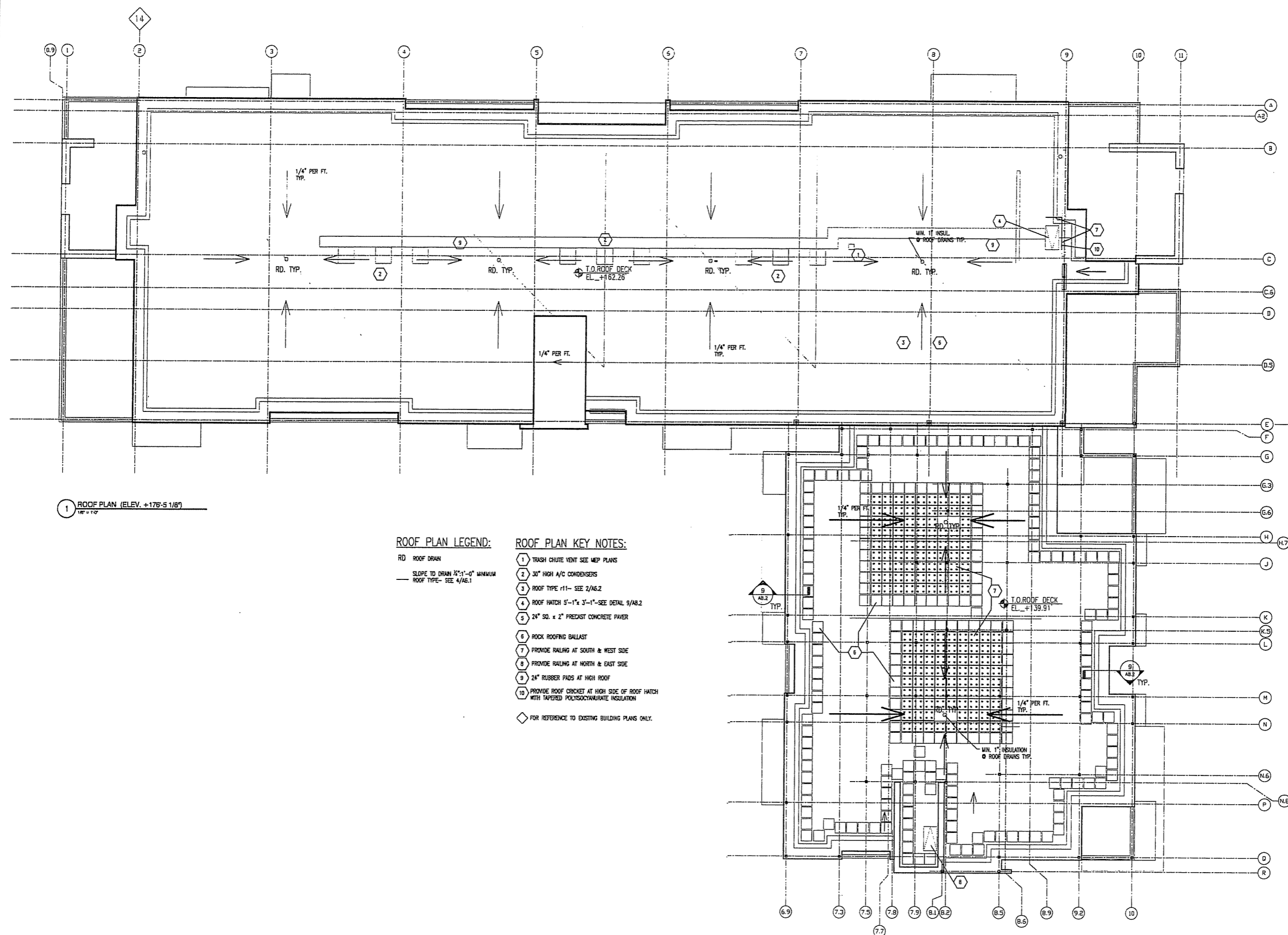
A1 11

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1 ROOF PLAN (ELEV. +176'-5 1/8")
1/8" = 1'-0"

ROOF PLAN LEGEND:

RD ROOF DRAIN
SLOPE TO DRAIN 1/4"=1'-0" MINIMUM
ROOF TYPE- SEE 4/AB.1

ROOF PLAN KEY NOTES:

- 1 TRASH CHUTE VENT SEE MEP PLANS
- 2 30" HIGH A/C CONDENSERS
- 3 ROOF TYPE #11- SEE 2/AB.2
- 4 ROOF HATCH 5'-1" x 3'-1" - SEE DETAIL 9/AB.2
- 5 24" SQ. x 2" PRECAST CONCRETE PAVER
- 6 ROCK ROOFING BALLAST
- 7 PROVIDE RAILING AT SOUTH & WEST SIDE
- 8 PROVIDE RAILING AT NORTH & EAST SIDE
- 9 24" RUBBER PADS AT HIGH ROOF
- 10 PROVIDE ROOF CRICKET AT HIGH SIDE OF ROOF HATCH WITH TAPERED POLYISOCYANURATE INSULATION
- ◇ FOR REFERENCE TO EXISTING BUILDING PLANS ONLY.

**SIP
ALTERATION**

DATE OF ISSUE: 07/12/06

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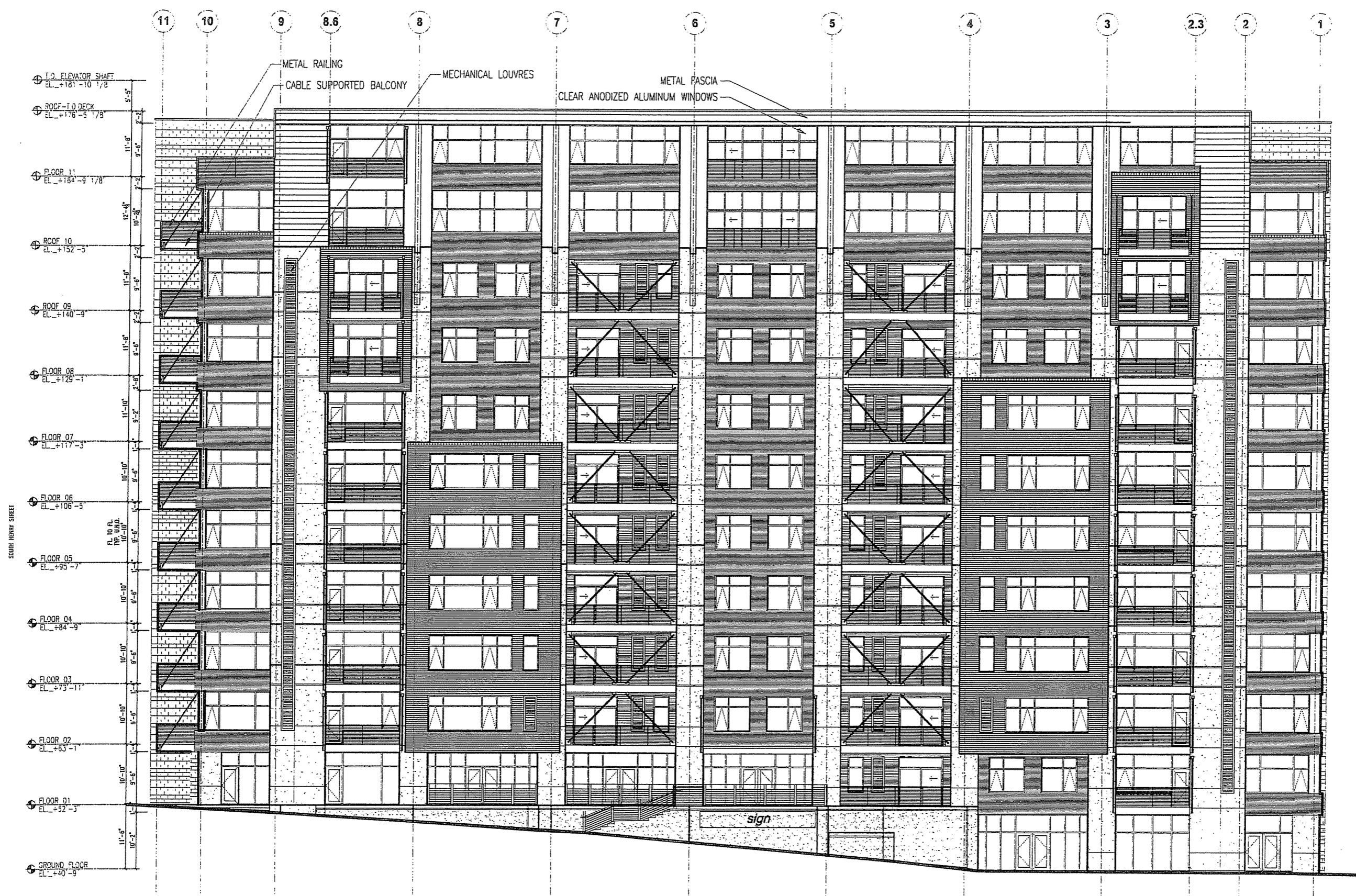
ROOF PLAN

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Architecture
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Interior Design

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Madison, WI 53713
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CAPITOL WEST
309 West Washington
Madison, WI



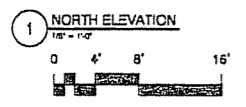
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DATE OF ISSUE: 07/19/06

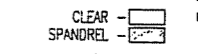
REVISIONS:

PROJECT NO: 05091

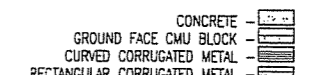
NORTH ELEVATION



WINDOW GLAZING LEGEND



MATERIAL LEGEND



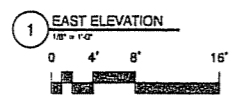
A20

DIMENSION IV MADISON

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CAPITOL WEST
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Madison, WI



WINDOW GLAZING LEGEND

- CLEAR - [Symbol]
- SPANDREL - [Symbol]

MATERIAL LEGEND

- CONCRETE - [Symbol]
- GROUND FACE CMU BLOCK - [Symbol]
- CURVED CORRUGATED METAL - [Symbol]

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EAST ELEVATION

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1 SOUTH ELEVATION
1/8" = 1'-0"
0 4' 8' 16'

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SOUTH ELEVATION

WINDOW GLAZING LEGEND

CLEAR -
 SPANDREL -

MATERIAL LEGEND

CONCRETE -
 GROUND FACE CMU BLOCK -
 CURVED CORRUGATED METAL -

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CAPITOL WEST
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1 WEST ELEVATION
1/8" = 1'-0"
0 4' 8' 16'

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DATE OF ISSUE: 07/19/06

REVISIONS:

PROJECT NO: 05091

WEST ELEVATION

- WINDOW GLAZING LEGEND
- CLEAR - [Symbol]
 - SPANDREL - [Symbol]
- MATERIAL LEGEND
- CONCRETE - [Symbol]
 - GROUND FACE CMU BLOCK - [Symbol]
 - CURVED CORRUGATED METAL - [Symbol]
 - RECTANGULAR CORRUGATED METAL - [Symbol]

CAPITOL WEST - NEW PARKING RAMP

309 WEST WASHINGTON AVENUE MADISON, WISCONSIN 53703

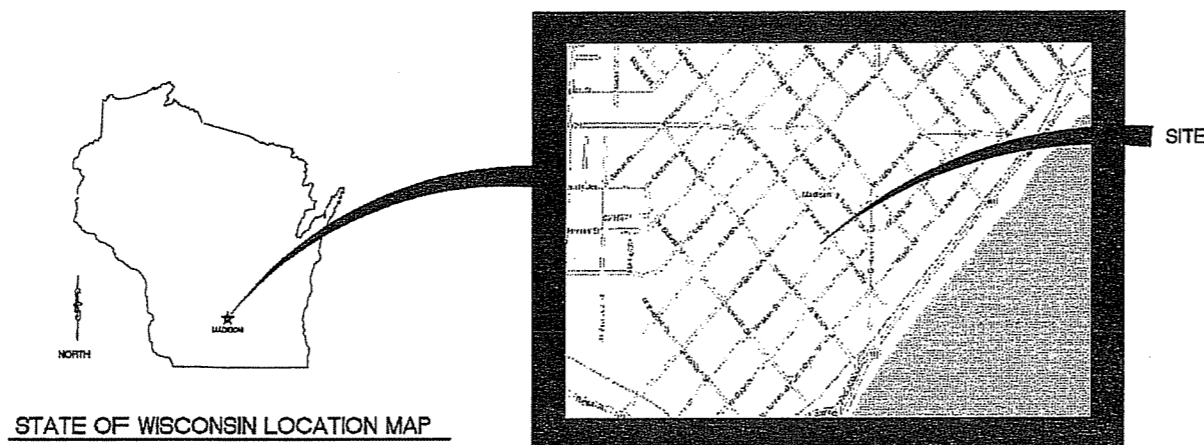
SIP ALTERATION JULY 12, 2006



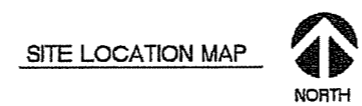
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STATE OF WISCONSIN LOCATION MAP



SITE LOCATION MAP

DRAWING INDEX

SHEET NO.	SHEET TITLE
T0.1	TITLE SHEET
ARCHITECTURAL - PARKING RAMP	
PA21	PARKING LEVEL 1 LAYOUT PLAN
PA22	PARKING LEVEL 2 LAYOUT PLAN
PA23	PARKING LEVEL 2 LAYOUT PLAN
PA24	PLAZA FLOOR RAMP LAYOUT PLAN
PA9.1	SIGNAGE AND SCHEDULES

CODE SUMMARY

2002 WISCONSIN ENROLLED COMMERCIAL BUILDING CODE

BUILDING TYPE & USE

- CHAPTER 62 (COMMERCE)
- CHAPTER 4 SPECIAL DETAILED REQUIREMENTS BASED ON USE AND OCCUPANCY
- SECTION 406 MOTOR-VEHICLE-RELATED OCCUPANCIES
- SECTION 406.4 ENCLOSED PARKING GARAGES (MECHANICAL VENTILATION PER INTERNATIONAL MECHANICAL CODE)
- SECTION 311.3 LOW HAZARD STORAGE, GROUP S-2

TABLE 503 & 509.2 REQUIREMENTS

- TYPE IA CONSTRUCTION
- FULLY SPRINKLED NFPA 13
- MAXIMUM HEIGHT - 3 LEVEL (TIERS) (ACTUAL - 3 LEVELS)
- MAXIMUM BUILDING AREA = UNLIMITED (ACTUAL 130,000/LEVEL)
- STAIR SHAFTS 2 HOUR WITH 1 1/2 HOUR DOORS
- HORIZONTAL SEPARATION BETWEEN ENCLOSED S-2 PARKING AND GROUP R OCC=3HR
- VERTICAL SEPARATION BETWEEN ENCLOSED S-2 AND R-2 ADJACENT = 2HR - REDUCED TO 1 HOUR FOR PRIVATE/PLEASURE VEHICLES

TABLE 601 FIRE RESISTIVE RATINGS

- COLUMNS/ BEAMS ----- 3 HOURS
- BEARING WALLS ----- 3 HOURS
- FLOOR CONSTRUCTION ----- 2 HOURS
- HORIZONTAL SEPARATION SLAB ----- 3 HOUR

EXITING

- CHAPTER 10
- FULLY SPRINKLED NFPA 13
- 2 EXITS MINIMUM PER FLOOR
- 400 FEET TO NEAREST EXIT MAXIMUM
- OCCUPANCY BASED ON 200 GROSS SQUARE FEET/PERSON = 90,000 SF/450 = 450 PERSONS. (150/LEVEL)
- 450 * 0.2' PERSON AT STAIRS = 90' (PRESENT STAIRS & FUTURE STAIR PROVIDED 46' TOTAL)
- 450 * 0.15' PERSON AT EXIT DOORS = 57.5' (DOOR AND STAIR/LEVEL = 50')

CAR COUNT

- TOTALS FOR 2 LEVELS
- 216 TOTAL STALLS
- 0 ACCESSIBLE (2 VAN ACCESSIBLE PARKING LEVEL 2)
- 164 LARGE CAR
- 44 SMALL CAR (20%)

BIKE PARKING

36 TOTAL AVAILABLE IN PARKING STRUCTURE

DRAWINGS MAY NOT BE PRINTED TO SCALE. DO NOT SCALE DRAWINGS. USE BAR SCALE FOR REFERENCE ONLY.

**SIP ALTERATION
SUBMITTAL**

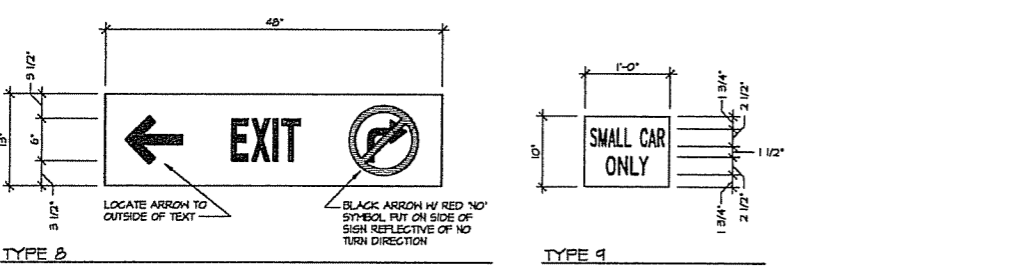
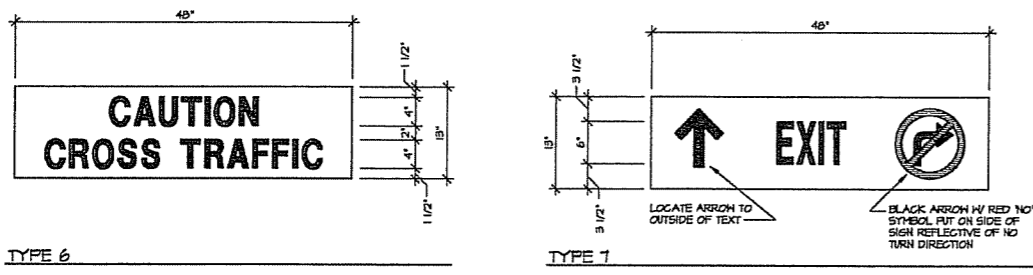
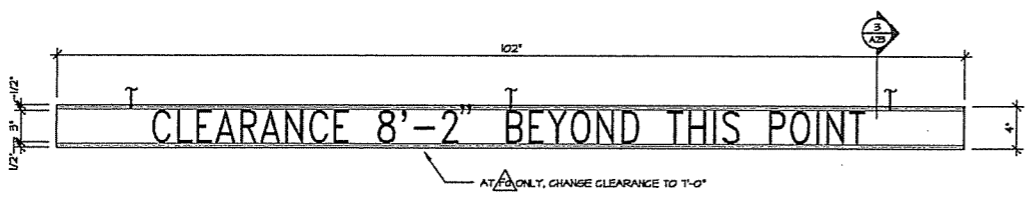
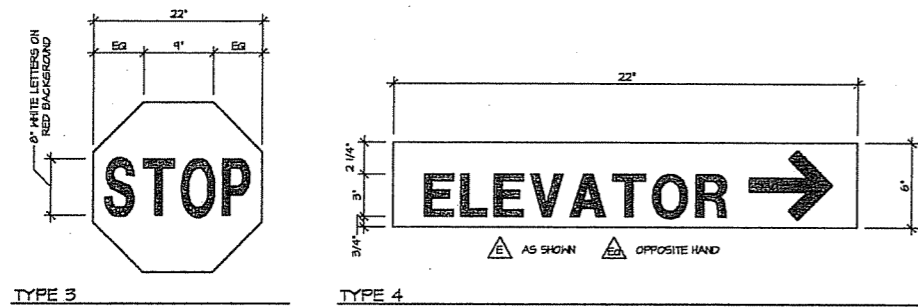
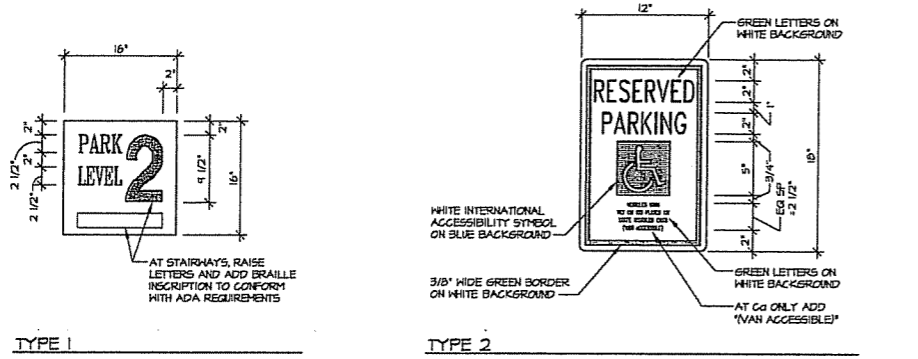
CAPITOL WEST PARKING RAMP
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Sheet Title:
TITLE SHEET

Revisions:			
No.	Date	Description	By:
1	7/12/06	SIP ALTERATION	A&O

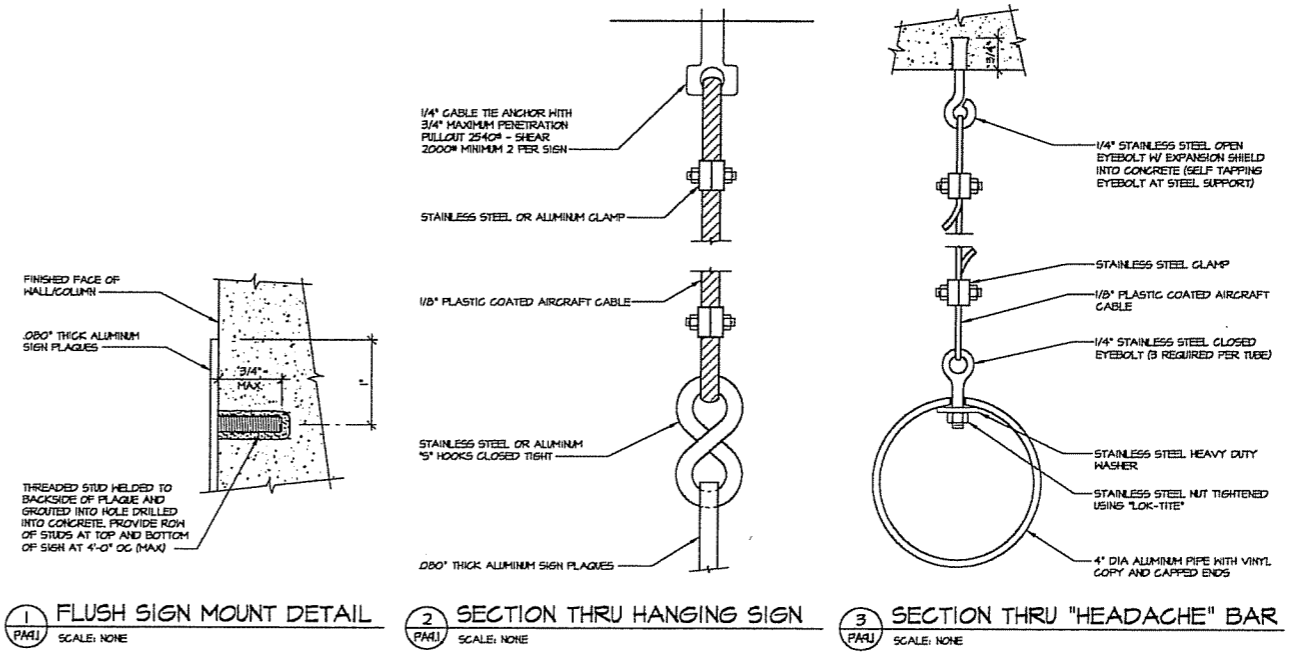
Project Number:	Designed By:
040380	A&O
Date Issued:	Reviewed By:
7/12/06	A&O

Sheet Number:
T0.1



SIGNAGE SCHEDULE										
MARK	TYPE	SIDES	TEXT	SIGN SIZE	SIGN COLOR (NOTE 2 UNO)	CHARACTER SIZE	CHARACTER COLOR	MOUNTING POSITION	MOUNTING HEIGHT	REMARKS
△	1	SINGLE	PARK LEVEL 1	16"x16"	RED	2" & 9 1/2"	WHITE	SEE PLAN	5'-8" TO TOP OF SIGN	1/PA9.1
△	1	SINGLE	PARK LEVEL 2	16"x16"	YELLOW	2" & 9 1/2"	WHITE	SEE PLAN	5'-8" TO TOP OF SIGN	1/PA9.1
△/△	2	SINGLE	ACCESSIBLE PARKING	12"x18"	WHITE	1/2" & 2"	GREEN	SEE PLAN	NOTE 7	1/PA9.1, NOTE 6
△	3	SINGLE	STOP	22"x22"	RED	8"	WHITE	SEE PLAN	4'-6" FROM T/ CURB TO T/SIGN	1/PA9.1, NOTE 6
E/△	4	SINGLE	ELEVATOR	22"x6"	WHITE	3"	BLACK	SEE PLAN	7'-0" TO TOP OF SIGN	1/PA9.1
△/△	5	SINGLE	CLEARANCE 8'-0" BEYOND THIS POINT	4" DIAx102"	WHITE	3"	BLACK	CENTER ON DRIVE LANE	8'-2 1/4" BOTTOM TOP OF SIGN OF H.F. OR DRIVE LANE	3/PA9.1, NOTE 4 AT G ₂
△	6	SINGLE	CAUTION CROSS TRAFFIC	13"x18"	YELLOW	4"	BLACK	CENTER ON DRIVE LANE	5'-2 1/4" BOTTOM TOP OF SIGN OF H.F. OR DRIVE LANE	2/PA9.1, NOTE 4 AT G ₂
△	7	SINGLE	EXIT	13"x18"	WHITE	6"	BLACK	CENTER ON DRIVE LANE	SEE NOTE 3	1/PA9.1
△	8	DOUBLE	EXIT	13"x18"	WHITE	6"	BLACK	CENTER ON DRIVE LANE	8'-2 1/4" BOTTOM TOP OF SIGN	2/PA9.1, NOTE 5
△	1	SINGLE	PARK LEVEL 3	16"x16"	GREEN	2" & 9 1/2"	WHITE	SEE PLAN	5'-8" TO TOP OF SIGN	1/PA9.1
△	4	SINGLE	SMALL CAR ONLY	10"x12"	WHITE	2"	RED	SEE PLAN	4'-0" TO TOP OF SIGN	1/PA9.1

- SIGNAGE SCHEDULE NOTES:**
- SIGN COLOR TO BE COORDINATED WITH ARCHITECTURAL PAINTING REQUIREMENTS.
 - ALL SIGN BACKGROUND SHEETING TO BE 3M BRAND VISUAL IMPACT PERFORMANCE (VIP) SHEETING.
 - HANG SIGNS REFERENCING THIS NOTE SO THAT BOTTOM EDGE OF SIGN IS 8'-6" ABOVE SLAB BELOW.
 - FOR SIGNS HAVING DIRECTIONAL ARROWS POINTING LEFT OR RIGHT, PLACE ARROW ON SIDE OF TEXT WHERE ARROW POINTS. ALL LETTERS/CHARACTERS TO BE REFLECTIVE.
 - BACKSIDE OF DOUBLE SIGNS REFERENCING THIS NOTE TO HAVE COLOR NOTED IN SCHEDULE BUT NO TEXT. TRIANGLE REFERENCE ON PLAN POINTS TO SIDE HAVING TEXT.
 - SIGN TYPES 2 AND 3 SHALL COMPLY WITH THE STANDARDS CONTAINED IN FHWA'S "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" AND "STANDARD HIGHWAY SIGN" MANUAL.
 - MOUNT 50 TOP OF SIGN IS 5'-8" ABOVE FLOOR LINE OR 2" BELOW TOP OF CONCRETE WHERE CONCRETE DOES NOT EXTEND 5'-8" ABOVE FLOOR LINE.
 - FOR SIGN TYPE 10, CLEARANCE DIMENSION TO REFLECT ACTUAL MINIMUM CLEARANCE TO BE DETERMINED IN THE FIELD.
 - MOUNT SIGNS REFERENCING THIS NOTE SO THAT BOTTOM EDGE OF SIGN IS 1" ABOVE BOTTOM OF BEAM.



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Sheet Title:
SIGNAGE AND SCHEDULES

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1	7/12/06	SIP ALTERATION	A&O

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Reviewed By: A&O

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