BUI	LDING CODE DAT	A AND ANAI	YSIS	
BUILD	ING DESCRIPTION / DATA		2 lead min	
	The following is a summary of applicable code below. The project will consist of (2) two Hote are made of Non-Combustible Protected Conshighlights to be met and is not intended to illu Moxy - Madison 823 East Washington Avenue	tel Public space levels, (1) one Re estruction and classified as high ri	estaurant level and (5) five se per Section 403. This	levels of Hotel Guestrooms. All levels
	Madison, WI 53703 Lot Size:	21,865 0.502	acres	
	Proposed Overall Building (Square Footage) Proposed Floor Area Ratio (FAR): Number of Guestrooms:		:1 FAR	
	Number of Guestrooms: Number of Parking Stalls:		Rooms Total (summary of stall ty 3 75.0%	Regular Parking Stalls
ADMIN	IISTRATIVE REQUIREMENTS] }	1 25.0%	Accessible Parking Stalls (Van Stall)
	Construction Documents Site Plan (107.2.5): Indicate Size and Locati to Lot Lines, Street Grades, Finished Grades or zones. Include Excavation and Fill as well Inspections (110)	ion of New Construction Relative a and, if applicable, flood planes Il as Drainage.	Location within the Co Drawing Sheets A1.01 &	
A DOLL	Inspections are Required at various stages of be covered until approved.	f construction and work may not		
APPLI	CABLE CODES The following Code Analysis was developed by	based on the 2015 International B	uildina Code (IBC). The f	ollowing individual
	Codes are currently in use by the Local Code Construction Documentation:			_
	Code of Jurisdiction Building Code (based on)	Madison Municipal Code 2015 International Building Cod	e - per Wisconsin Comm	ercial Building Code Chs. SPS 361-366
	Plumbing Code (based on)	elcial bullding 5545 51.5.		
	Mechanical Code (based on) Energy Code (based on)	2015 International Mechanical a 2015 International Energy Cons		
	Electrical Code	2017 National Electric Code (N		
	Accessibility Code Fire Prevention Code (based on)	2017 ICC/ANSI A117.1 2018 International Fire Code		
	Elevator Code (based on)	Reference IBC		
	In the event of a conflict between Codes, Star	indards or Covenants, the more st	ringent or most restrictive	requirement will apply.
I.	USE AND OCCUPANCY (SEC	CTION 302 & 508.4)		
-	Second Floor: Non-	n-Separated, Mixed Use - A-2 (Ass n-Separated, Mixed Use - A-2 (Ass		
	Third - Seventh Floors: Non-	n-Separated, R-1 (Hotel - Transien n-Separated, Mixed Use - A-2 (Ass	t)	
Ш	HIGH-RISE BUILDINGS (SEC			
	Code Description: Reduction in Fire Resistance Rating: The fire	_		Code Reference
	and 403.2.1.2 shall be allowed in buildings th initiating devices and water-flow initiating devi	ices for each floor.		
	allowed to be reduced to Type			Section 403.2.1.1.2
		the allowed reduction noted at atisfy the MFD Equivelancy Red		
	Sprayed Fire-Resistant Materials (SFRM): To building shall be in accordance with Table 40:		stalled throughout the	Section 403.2.4
	Height of Building	SFRM Minimum Bond	Strength	Table 403.2.4
	Up to 420 Feet Greater than 420 Feet	430 psf 1,000 psf		Table 403.2.4
	Automatic Sprinkler System: Buildings and s sprinkler system in accordance with Section		-	Section 403.3
	by Section 403.3.3. Seconday Water Supply: N/A	(Building is in Seismic Design C	ategory B)	Section 403.3.3
	Sprinkler Riser Location: Sprinkler risers sharemotely located in accordance with Section	the state of the s	ays and ramps that are	Section 403.3.1.1 & 1007.1
	Emergency Systems:			
	Smoke Detection: Smoke detection shall be	e provided in accordance with Sec	tion 907.2.13.1	Section 403.4.1 & 907.2.13.1
	Provide Smoke Detectors in m	echanical, electrical, transformer,		Section 907.2.13.1.1
	elevator machine room and ele <u>Fire Alarm System</u> : A fire alarm system sha		Section 907.2.13.	Section 403.4.2
	Standpipe System: A high-rise building shall			Section 403.4.3
	Section 905.3. Emergency Voice/Alarm Communication: An	Service / servic	in the stretom shall be	
	provided in accordance with Section 907.5.2.	2.		Section 403.4.4
	Emergency Reponder Radio Coverage: Emeraccordance with Section 510 of the Internation		shall be provided in	Section 403.4.5
	<u>Fire Command</u> : A fire commend center coply approved by the fire department.	ying with Section 911 shall be pro	ovided in a location	Section 403.4.6
	Smoke Removal: To facilitate smoke removal and structures shall be equipped with natural	l or mechanical ventillation for rem	oval of products of	Section 403.4.7.
	Standby and Emergency Power: A standby 3003 shall be provided for the standby power	power system complying with Se loads specified in Section 403.4.	ection 2702 and Section 8.2. An emergency	Section 403.4.8
	power system complying with Section 2702 s in Section 403.4.8.3. Means of Egress and Evacuation: The mean			
	Section 403.5.1 through 403.5.6. Required interior exit stairways	s shall be separated by a distance	e not less than 30 feet or	
	building or area to be served, w Every required interior exit stain	irway serving floors more tha 75 fe	eet above the lowest level	
	of fire department vehicle accessections 909.20 and 1023.11.	ess shall be a smokeproof enclosu	ire in accordance with	Section 403.5.4
	5	gs shall be provided in accordance		Section 403.5.5
	Elevator installation and operat and Sections 403.6.1 and 403.	tion in high-rise buildings shall co .6.2.	mply with Chapter 30	Section 403.6
III.	TYPE OF CONSTRUCTION (S	1		
	Construction Classification: Construction Type:	<u>Type</u> IB - Non-Combustible, Pro	otected	Code Reference Table 601/602
	Fire Suppression System:	Fully-sprinklered (automate and Class I Standpipe	tic, supervised system)	Section 903.3.1.1 Section 905.3 NFPA 13
	Commercial Hood & Duct System:	Yes		N/A
	Fire Alarm / Detection System:	Building shall be equipped Alarm detection System	d with an Automatic Fire	Section 907.2
	Two-Way Commnunication	Two-Way Communication landing with the head end		Section 1009.8
	Portable Fire Extinguishers:	first floor Hotel Vestibule Type 2-A Fire Extinguishe		Table 906.3(1) IFC
	(Ordinary / Moderate Hazard Area)	Coverage Area of 11,250 s Within 30 ft of Commercia		Table 906.1 IFC Section 904.11.5 IFC
Illa.	AREA CALCULATION & INCR		Small C	
	Occupancy Type A-2 (Kitchen / Lobby / Lounge / Meeting Room		Height	Area (sf)
	A-3 (Fitness)	m / Break Room)	12 Stories/ 180ft 12 Stories/ 180ft	Unlimited Unlimited
	B (Business / Laundry / Back-of-House) R-1 (Residential / Hotel)		12 Stories/ 180ft 12 Stories/ 180ft	Unlimited Unlimited

Unlimited 144,000

12 Stories/ 180ft 12 Stories/ 180ft

S-1 (Storage / Refuse / Mechanical)

A 0-					LYSIS (co			
loor (Use C	lassification (Group)		ot Includin	g Exterior Patio S	Spaces) Area (sf)		
First Floor (E	A-2 Assembly B Business / C S-1 Storage / N	offices / Foor	tchen / Bar / Lounge) r Prep)			1,973 sf 1,159 sf 853 sf		
Total First Flo	or Square Foo	tage	ms / Circulation) / Library / Break Room		<u> </u>	1,995 sf 5,980 sf 1,706 sf		
Second Floo Second Floo	or A-3 (Assemb or (B Business	bly / Fitness / Offices / L) aundry)	1)		1,193 sf 2,114 sf		
Second Floo	or (S-1 Storage or (Non-Occupi Floor Square f	ed - Toilet R	al) ooms / Circulation)			1,602 sf 3,034 sf 9,649 sf		
otal Fourth F	loor (R-1 Resi	dential / Hot		nsient)		10,913 sf 10,913 sf		
otal Sixth Fl	or (R-1 Reside oor (R-1 Resid Floor (R-1 Res	ential / Hote	*			10,913 sf 10,913 sf 10,246 sf		
Eighth Floor	(S-1 Storage	/ Mechanica	/ Bar / Dining / Mtg Roo I) oms / Circulation)	om)		5,629 sf 84 sf 1,981 sf		
otal Eighth F	loor Square Foota	ootage	oms / Circulation)			7,694 sf 77,221 sf		
		G HEIGI	HT BY USE CLA	ASSIFICA		Elear Levele Her is an		
-2 (Assembl	ation Group y / Dining / Mt y / Fitness)	g Rooms / E	Breakroom)		Acutal Stories 3 1	Floor Levels Use is on First, Second, Eighth Second		
-1 (Storage	Hotel Offices, / Mechanical) ial / Hotel - Tra				2 3 5	First, Second First, Second, Eighth Third thru Seventh		
otal Building	Height (meas	ured from Gr	rade to H.P. of Roof) e vehicle access (E. W	ashington Ave	8 Stories - Elevation 849.5) to the	approx.96'-2" highest occupied floor level is 80'-3"		
			S Classified as 'High Ris		EMENTS (Table	601)		
lement loor Constru	ction (incl bear		Rating 2hr	Co Table 601	de Reference	Assembly No. Table 721.1(3)		
ligh Roof Cor xterior & Inte			1 hr 2hr	Table 601		P711 / Table 721.1(3) N/A		
Supporting tructural Fra	Roof Construc	tion (Incl. Pe		Table 601 (foo	otnote a)	N/A Table 721.1(3)		
Supporting terior Nonbe	Roof Constructoring Walls	tion (Incl. Pe		Table 601 (foo Table 601 & 6	,	X526		
A CETTOT INOND	earing Walls			> 30' Table 60' 10' < x <30' Table 5' < x <10' T	able 602			
	vays and Hoist		1 hr 1 hr	5' < x <10' Tal x <5' Table 60)2			
Shaft Conne	ecting 4 or more ecting 3 or less aft Construction	s Floors	2 hr 1 hr 2 hr	Section 713.4 Section 713.4 Section 713.1		U415 / U419 U415 / U419 UL Design No. U905 / Table 721.1(2)		
	uipment Room oby Enclosure			Section 3005. Section 3006. Section 1023.	1	Table 721.1(2)		
Linen Chute	Shaft Enclose Access Roon Termination F	n	2 Hr 1 Hr	Section 713.4 Section 713.1 Section 713.1	3.3	U415 / U419 / Table 721.1(2)		
xit Access (First, Secon	Corridors nd & Eighth Fl	oor Corridor	Walls 0 hr	Table 1020.1	0.4	11450		
Suestroom-to Suest Bath-to	stroom Corrido Guestroom W Guest Bath V	/alls Valls	1 hr 1 hr	Table 1020.1 Section 708.3 Section 708.3		U452 U419 U419		
	Rm (400,000		quired Separation per T) 0 hr	able 509	- multiplicary - systems \			
Fire Comma		B TUH equip	1 hr	Table 509 (w/s Section 911.1		Refer to Enlarged Plans		
Fire Pump I Laundry Ro		se bldgs) f	1 hr 2 hr 0 hr	Section 911.1 Section 913.2 Table 509 (w/s	.2 2.1 sprinkler system)	Refer to Enlarged Plans Refer to Enlarged Plans		
Fire Pump f Laundry Ro Linen/Wast	and Center Rooms (high-riom over 100 stellar Room over 1 ABLE ARE	se bldgs) f 00 sf	1 hr 2 hr 0 hr 0 hr PENINGS PER	Section 911.1 Section 913.2 Table 509 (w/s	.2 sprinkler system) sprinkler system) Table 602 & 705	Refer to Enlarged Plans .8)		
Fire Pump I Laundry Ro Linen/Wast ALLOWA Exterior Wa	and Center Rooms (high-riom over 100 si e Room over 1 ABLE ARE	se bldgs) f 00 sf A OF O	1 hr 2 hr 0 hr 0 hr	Section 911.1 Section 913.2 Table 509 (w/s	2.1 sprinkler system) sprinkler system) Table 602 & 705 Allowable Area of O	Refer to Enlarged Plans		
Fire Pump II Laundry Ro Linen/Wast ALLOWA Exterior Wa Distant Vall ocation	Rooms (high-ricom over 100 size Room over 1 ABLE ARE III Fire Resistate (Table 602 Fire Separation Distance	se bldgs) f 00 sf A OF O	1 hr 2 hr 0 hr 0 hr The separation description on Fire Separation description	Section 911.1 Section 913.2 Table 509 (w/s	2.1 sprinkler system) sprinkler system) Table 602 & 705 Allowable Area of O	Refer to Enlarged Plans .8) penings Per Story (705.8)		
Exterior Wa Distant Vall ocation Ian North Lot ine - 1st loor	ABLE ARE III Fire Resistate (Table 602 Fire Separation Distance	se bldgs) f 00 sf EA OF O ance Based). Refer to	1 hr 2 hr 0 hr 0 hr PENINGS PER on Fire Separation Drawing A1.01 Wall Area (based on floor with max.	Section 911.1 Section 913.2 Table 509 (w/s Table 509 (w/s STORY (.2 2.1 sprinkler system) sprinkler system) Table 602 & 705 Allowable Area of Opunprotected, S Proposed Percentage (%) of Wall Area In	Refer to Enlarged Plans 8) Penings Per Story (705.8) Sprinklered (UP, S) Allowable Percentage (%) of Wall Area		
Exterior Wa Distant Vall ocation Van North Lot ine - 1st loor Ian North Lot ine - Typ.	ABLE ARE III Fire Resistate (Table 602 Fire Separation Distance	se bldgs) f 00 sf EA OF O ance Based). Refer to	1 hr 2 hr 0 hr 0 hr PENINGS PER on Fire Separation Drawing A1.01 Wall Area (based on floor with max. openings)	Section 911.1 Section 913.2 Table 509 (w/s Table 509) (w/s STORY) Area of Openings Proposed	.2 2.1 sprinkler system) sprinkler system) Table 602 & 705 Allowable Area of Opunprotected, S Proposed Percentage (%) of Wall Area In Openings	Refer to Enlarged Plans 8) Penings Per Story (705.8) Sprinklered (UP, S) Allowable Percentage (%) of Wall Area in Openings (Table 705.8)		
Fire Pump F Laundry Ro Linen/Wast ALLOWA Exterior Wa Distand Vall ocation Vall ocation Ian North Lot ine - 1st loor Ian North Lot ine - Typ. pper Floor Ian North Lot ine - 8th	and Center Rooms (high-ri om over 100 st e Room over 1 ABLE ARE III Fire Resista ce (Table 602 Fire Separation Distance 5'-1"	se bldgs) f 00 sf EA OF O ance Based). Refer to Fire Rating	1 hr 2 hr 0 hr 0 hr PENINGS PER I on Fire Separation Drawing A1.01 Wall Area (based on floor with max. openings) 2,171 sf	Section 911.1 Section 913.2 Table 509 (w/s Table 509) (w/s STORY (Area of Openings Proposed 474 sf	.2 2.1 sprinkler system) sprinkler system) Table 602 & 705 Allowable Area of Opunprotected, S Proposed Percentage (%) of Wall Area In Openings 22%	Refer to Enlarged Plans 8) Penings Per Story (705.8) Sprinklered (UP, S) Allowable Percentage (%) of Wall Area in Openings (Table 705.8) 25 %		
Fire Pump II Laundry Ro Linen/Wast ALLOWA Exterior Wa Distand Vall ocation Ian North Lot ine - 1st loor Ian North Lot ine - Typ. Ipper Floor Ian North Lot ine - 8th loor Ian North Lot ine - 8th	And Center Rooms (high-ricom over 100 stee Room over 1 ABLE ARE III Fire Resistance (Table 602 Fire Separation Distance 5'-1"	se bldgs) f 00 sf EA OF O ance Based). Refer to Fire Rating	1 hr 2 hr 0 hr 0 hr PENINGS PER on Fire Separation Drawing A1.01 Wall Area (based on floor with max. openings) 2,171 sf 2,520 sf	Section 911.1 Section 913.2 Table 509 (w/s Table 509 (w/s STORY (Area of Openings Proposed 474 sf 630 sf	22.1 sprinkler system) sprinkler system) Table 602 & 705 Allowable Area of Open Unprotected, S Proposed Percentage (%) of Wall Area In Openings 22% 25%	Refer to Enlarged Plans 8) Penings Per Story (705.8) Sprinklered (UP, S) Allowable Percentage (%) of Wall Area in Openings (Table 705.8) 25 % No Limit (Due to No-Build Easement on		
Exterior Wabine - 1st loor lan North Lotine - 8th	and Center Rooms (high-ri om over 100 st e Room over 1 ABLE ARE III Fire Resista ce (Table 602 Fire Separation Distance 5'-1" 5'-1"	se bldgs) f 00 sf EA OF O ance Based). Refer to Thr Thr	1 hr 2 hr 0 hr 0 hr PENINGS PER on Fire Separation Drawing A1.01 Wall Area (based on floor with max. openings) 2,171 sf 2,520 sf 660 sf	Section 911.1 Section 913.2 Table 509 (w/s Table 509 (w/s STORY (Area of Openings Proposed 474 sf 630 sf 352 sf	22% Proposed Percentage (%) of Wall Area In Openings 22% 25%	Refer to Enlarged Plans 8) Penings Per Story (705.8) Sprinklered (UP, S) Allowable Percentage (%) of Wall Area in Openings (Table 705.8) 25 % No Limit (Due to No-Build Easement on adjacent Property)		
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Exterior Wasterior Wallocation Ian North Lotine - 1st loor Ian North Lotine - Typ. pper Floor Ian North Lotine - 8th loor Ian North Lotine - 1st lain St	and Center Rooms (high-ri om over 100 st e Room over 1 ABLE ARE III Fire Resista ce (Table 602 Fire Separation Distance 5'-1" 5'-1" 12'-5"	se bldgs) f 00 sf EA OF O ance Based). Refer to Thr Thr Thr Thr	1 hr 2 hr 0 hr 0 hr PENINGS PER on Fire Separation Drawing A1.01 Wall Area (based on floor with max. openings) 2,171 sf 2,520 sf 660 sf 2,011 sf 321 sf	Section 911.1 Section 913.2 Table 509 (w/s Table 509 (w/s STORY (Area of Openings Proposed 474 sf 630 sf 352 sf 884 sf 204 sf	22.1 sprinkler system) sprinkler system) Table 602 & 705 Allowable Area of Opunprotected, S Proposed Percentage (%) of Wall Area In Openings 22% 25% 53% 44%	Refer to Enlarged Plans 8) Penings Per Story (705.8) Sprinklered (UP, S) Allowable Percentage (%) of Wall Area in Openings (Table 705.8) 25 % No Limit (Due to No-Build Easement on adjacent Property) 45 % 75 %		
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Exterior Wander Distant Laundry Ro Linen/Wast Linen/Wast LLOWA Exterior Wander Jostant Jan North Lotter Jan South Jan West - E. Jash Ave	Fire Separation Distance 5'-1" 12'-5" 17'-0" 30'-0"+	se bldgs) f 00 sf EA OF O ance Based). Refer to Thr Thr Thr Thr Thr Thr Thr Th	1 hr 2 hr 0 hr 0 hr PENINGS PER on Fire Separation Drawing A1.01 Wall Area (based on floor with max. openings) 2,171 sf 2,520 sf 660 sf 2,011 sf 321 sf 572 sf 1,748 sf 2,457 sf	Section 911.1 Section 913.2 Table 509 (w/s Table 509 (w/s Table 509 (w/s STORY (Area of Openings Proposed 474 sf 630 sf 352 sf 884 sf 204 sf 108 sf 429 sf 308 sf	22.1 sprinkler system) sprinkler system) Table 602 & 705 Allowable Area of Opunprotected, S Proposed Percentage (%) of Wall Area In Openings 22% 25% 53% 44% 64% 19% 16% 17%	Refer to Enlarged Plans Penings Per Story (705.8) Sprinklered (UP, S) Allowable Percentage (%) of Wall Area in Openings (Table 705.8) 25 % No Limit (Due to No-Build Easement on adjacent Property) 45 % No Limit 75 % 25 %		
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rating of the construction penetrated.

Grille openings located in a ceiling of a fire-resistance-rated floor/ceiling or roof/ceiling assembly shall be protected with a listed ceiling radiation damper installed in accordance with Section 717.6.2.1.

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	OCCUPA		YSIS (TABLE		.2)				
		Occupant	Loads - 8th Fl	oor			Capacity	Occupant	Total Occupants -
		Room #	Room Nar Bar / Dini	me ing / Lobby	Area (sf) 3,074 sf	(sf / o 15 sf	ccupant) Net	per Area 205 occ.	5th Floor
		-		g Room tio(s)	1260 sf 1,497 sf	15 sf 15 sf	Net Net	84 occ. 100 occ.	397 occ.
		-	Kito	chen ntrol Room	1,294 sf 83 sf	200 sf 300 sf	Gross Gross	7 occ.	007 000.
		•	dth (w/sprinkle	er syster	n)	00001	5,000	7 000.	
	8th Floor	Egress Width po Stairways	er Occupant Served Other Egre	- Table 1005 ess Compon					
	h F		Occupant Provided Required	.15 in Provided	per Occupant				
ļ	8	-	2 @ 44 in 60 in		72 in				
		Occupant	Loads - 7th Fl	oor		Code	Capacity	Occupant	Total Occupants -
		Room #	Room Nar	ne -	Area (sf)	(sf / o	ccupant) -	per Area	4th Floor
		Egress Wi	Corr / Slee	eping Rms	10,246 sf	200 sf	Gross	52 occ.	52 occ.
	30 <i>r</i>	Egress Width pe	er Occupant Served	- Table 1005	5.1				
	7th Floor		Occupant		nents per Occupant				
	7th		Provided Required 2 @ 44 in 8 in	Provided	72 in				
	7	Occupant	Loads - 3rd th	rough 6t	th Floor				
	201-	Room #	Room Nar	ne	Area (sf)		Capacity ccupant)	Occupant per Area	Total Occupants - 3rd Floor
	th I	-	Corr / Slee	- eping Rms	- 10,913 sf	200 sf	Gross	55 occ.	55 occ.
	r-6		dth (w/sprinkle er Occupant Served						
	001-	Stairways	Other Egre	ess Compon	nents				
	3rd Floor - 6th Floo	Required P	Occupant Provided Required	.15 in Provided	per Occupant				
l I	<u> </u>	-	2 @ 44 in 8 in		72 in	,			
		Occupant	Loads - 2nd F	ioor		Code	Capacity	Occupant	Total Occupants -
		Room #	Room Nar Lounge	me / Library	Area (sf) 1,706 sf	(sf / o 15 sf	ccupant) Net	per Area 114 occ.	2nd Floor
		-		Engineer orage	181 sf 268 sf	100 sf 300 sf	Gross Gross	2 occ. 1 occ.	
		-		indry Storage	741 sf 175 sf	100 sf 300 sf	Gross Gross	8 occ. 1 occ.	
		-	Housekee	eping Office nanical	94 sf 485 sf	100 sf 300 sf	Gross Gross	1 occ. 2 occ.	168 occ.
		-		ness kroom	1,193 sf 697 sf	50 sf 100 sf	Gross Gross	24 occ. 7 occ.	700 000.
		-	Sto	orage ea / Offices	32 sf 495 sf	300 sf 100 sf	Gross Gross	1 occ. 5 occ.	
		-	Elec	ctrical / IDF	222 sf 158 sf	300 sf 300 sf	Gross Gross	1 occ.	
	_	Egress Wi	dth (w/sprinkle			555 51	5,000	7 000.	
	00/	Egress Width pe Stairways	er Occupant Served Other Egre	- Table 1005 ess Compon					
	2nd Floor	.2 in per 0	Occupant Provided Required	.15 in	per Occupant				
ļ	21	_	2 @ 44 in 25 in	7	72 in				
		Occupant	Loads - First F	-loor	I	Code	Capacity	Occupant	Total Occupants -
		Room #	Room Nar Bar / Lob	me by / Dining	Area (sf) 1,973 sf		ccupant) Net	per Area 132 occ.	First Floor
		-	Sto	orage d Prep	85 sf 552 sf	300 sf 200 sf	Gross Gross	1 occ. 3 occ.	
		-	Office /	Market /	607 sf	100 sf	Gross	7 occ.	164 000
		-	Fire	Pump	137 sf 211 sf	300 sf 300 sf	Gross Gross	1 occ.	164 occ.
		<u> </u>		ctrical atio	88 sf 240 sf	300 sf 15 sf	Gross Net	1 occ. 16 occ.	
- 1	1						Gross		
	7	Egress Wie	Trash E dth (w/sprinkle	er syster.	332 sf n)	300 sf	0/000	2 occ.	
	Floor	Egress Width pe	dth (w/sprinkle er Occupant Served	- Table 1005	m) 5.1		01000	2 occ.	
	rst Floor	Egress Width po Stairways .2 in per 0	dth (w/sprinkle er Occupant Served Other Egre Occupant	- Table 1005 ess Compon .15 in	m) 5.1		0,000	2 occ.	
	First Floor	Egress Width po Stairways .2 in per 0	dth (w/sprinkle er Occupant Served Other Egre	- Table 1005 ess Compon .15 in Provided	n) 5.1 nents		0,000	2 occ.	
		Egress Width po Stairways .2 in per (Required P	er Occupant Served Occupant Occupant Provided Required n/a 25 in	- Table 1005 ess Compon .15 in Provided	n) 5.1 nents per Occupant		0/000	2 occ.	
-	MEANS	Egress Width per Stairways .2 in per C Required P n/a	otth (w/sprinkle er Occupant Served Other Egre Occupant Provided Required n/a 25 in	- Table 1005 ess Compon .15 in Provided	n) 5.1 nents per Occupant	300 sf	quired	2 occ.	Provided
	MEANS Exit Egress Number of Exitering the second control of the	Egress Width per Stairways 2 in per CRequired Pro/a	or 1006.3.1 or Occupant Other Egre Occupant Provided Required 1/2 25 in Respectively.	- Table 1005 ess Compon .15 in Provided	n) 5.1 nents per Occupant	300 sf		2 occ.	Provide d 2 2
	Exit Egress Number of Exit Egress Number of Exit Egress Number of Exit Egress	Egress Width per Stairways .2 in per Control Per India P	oth (w/sprinkle er Occupant Served of Other Egre Occupant Provided Required n/a 25 in S on 1006.3.1 Ints First Floor) Ints Second Floor) Ints Typical GR / Upper	- Table 1005 ess Compon .15 in Provided	n) 5.1 nents per Occupant	300 sf	quired 2 2 2	2 occ.	2 2 2
	Exit Egress Number of Exit Egress Number of Exit Egress Number of Exit Equation	Egress Width per Stairways .2 in per Control Per Note Per	or 1006.3.1 hts First Floor) st Spints Second Floor) st Typical GR / Upper hts Eighth Floor) Width	- Table 1005 ess Compon .15 in Provided	n) 5.1 nents per Occupant	300 sf	quired 2 2	2 occ.	2
	Exit Egress Number of Exit Egress Number of Exit Egress Number of Exit Equation	Egress Width per Stairways .2 in per Control Per Note Per	or 1006.3.1 Ints First Floor) Stypical GR / Upper ints Eighth Floor) Width Occupant Other Egre ints Served Required 25 ints Second Floor) Stypical GR / Upper ints Eighth Floor) Width Occupant Other Egre ints Other Eg	- Table 1005 ess Compon .15 in Provided	n) 5.1 nents per Occupant	Re	quired 2 2 2 2	2 occ.	2 2 2 2
	MEANS Exit Egress Number of Exit Egress Nu	Egress Width per Stairways .2 in per Control Per	oth (w/sprinkle er Occupant Served of Other Egre Occupant Provided Required n/a 25 in S on 1006.3.1 Ints First Floor) Ints Second Floor) Ints Eighth Floor	- Table 1005 ess Compon .15 in Provided	n) 5.1 nents per Occupant	Res	quired 2 2 2 2 2 quired 4 in	2 occ.	2 2 2 2 Provided 60 in min.
	Exit Egress Number of Exit Egress Number of Exit Egress Number of Exit Equation Number of Exit Equatio	Egress Width per Stairways .2 in per Control Per	or 1006.3.1 Ints First Floor) S Typical GR / Upper Ints Eighth Floor) Width 0.2 er Table 1020.2 per Section 1020.2	Table 1005 ess Compon .15 in Provided r r Floor)	n) 5.1 nents per Occupant 72 in	Red Red Max.	quired 2 2 2 2 quired 4 in 66 in 24 in	2 occ.	2 2 2 2 Provided 60 in min. 42 in 36 in 34 in
	MEANS Exit Egress Number of Exit Egress Number of Exit Egress Number of Exit Equation Number of Exit Equation Number of Exit Exit Equation Number of Exit Exit Exit Exit Exit Exit Exit Exit	Egress Width per Stairways 2 in per Control Per	or 1006.3.1 Ints First Floor) S Typical GR / Upper Ints Eighth Floor) Width 0.2 er Table 1020.2 per Section 1020.2	r Floor) Min. F	n) 5.1 nents per Occupant 72 in Required 0' Min. 0' Min.	Recommendation of the second s	quired 2 2 2 2 quired 4 in 6 in 24 in 7 in 7 in 7 in 8	2 occ.	2 2 2 Provided 60 in min. 42 in 36 in 34 in Code Reference Table 1017.2 Table 1017.2
	MEANS Exit Egress Number of Exit Exit Exit Exit Equation Number of Exit Exit Exit Exit Exit Exit Exit Exit	Egress Width per Stairways 2 in per Control Per	or 1006.3.1 Travel Dist.	r Floor) Min. F 256 306	Required 0' Min. 0' Min.	Recommendation of the second s	quired 2 2 2 2 2 4 in 6 in 24 in 62 in Provided 6 afety Plans 6 afety Plans 6 afety Plans		2 2 2 Provided 60 in min. 42 in 36 in 34 in Code Reference Table 1017.2 Table 1017.2 Table 1017.2
	MEANS Exit Egress Number of Exit Egress Number of Exit Egress Number of Exit Exit Egress Number of Exit Exit Egress Minimum Reference Public Corrid Interior Gues Mech/Elec/P Doors (clear Max. Length R (fully-sprint A (fully-sprint B (fully-sprint B (fully-sprint) Egress Widt in/person)	Egress Width per Stairways 2 in per Control Per 1/2 Pe	oth (w/sprinkle er Occupant Served of Other Egre Occupant Provided Required n/a 25 in S on 1006.3.1 Ints First Floor) Ints Second Floor) Ints Eighth Floor) Ints Ei	r Floor) Min. F 250 251 300 09.3 (Except	Required O' Min. O' Min. tion 2 with Au	Recommendation See LifeStomatic Sp	quired 2 2 2 2 quired 4 in 66 in 24 in 68 afety Plans 6 afety Plans	em) and 10	2 2 2 Provided 60 in min. 42 in 36 in 34 in Code Reference Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2
	MEANS Exit Egress Number of Exit Egress Number of Exit Egress Number of Exit Equation Number of Exit Equation Number of Exit Exit Equation Minimum Reference Public Corrid Interior Gues Mech/Elec/P Doors (clear Max. Length R (fully-sprint A (fully-sprint B (fully-sprint B (fully-sprint Egress Widt in/person) Level Second Floor	Egress Width per Stairways .2 in per Control Per India P	or 1006.3.1 Travel Dist. Other Egree Occupant Other Egree Occupant Provided Required n/a 25 in S On 1006.3.1 Ints First Floor) Ints Second Floor) Ints Second Floor) Ints Eighth Floor) Nidth O.2 Inter Table 1020.2	r Floor) Min. F 250 251 300 09.3 (Except	Required 0' Min. 0' Min. tion 2 with Au	Recommendation See Lifestomatic Sp. No. Per S	quired 2 2 2 2 2 quired 4 in 6 in 24 in 6 afety Plans 7 af	em) and 10	2 2 2 2 Provided 60 in min. 42 in 36 in 34 in Code Reference Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Union 1 (0.2 Union 1 (0.2) Union Width Provided 44 in
	MEANS Exit Egress Number of Exit Egress Number of Exit Egress Number of Exit Edited Number of Exit Edited Number of Exit Edited Number of Exit Exit Edited Number of Exit Exit Exit Exit Exit Exit Edited Number of Exit Exit Exit Exit Exit Exit Exit Exit	Egress Width per Stairways .2 in per Control Programmer Stairways .2 in per Control Programmer Stairs (162 Occupant Programmer States (165 Occupant Programmer	occupant Served of Other Egree Occupant Provided Required n/a 25 in S on 1006.3.1 Ints First Floor) Ints Second Floor) Ints Second Floor) Ints Eighth Floor	r Floor) Min. F 25 25 30 09.3 (Except	Required 0' Min. 0' Min. tion 2 with Au	Recommendation See Lifestomatic Sp. No. Per S	quired 2 2 2 2 2 quired 4 in 6 in 24 in 6 in 24 in 6 safety Plans	em) and 10	2 2 2 Provided 60 in min. 42 in 36 in 34 in Code Reference Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 In the second of
	MEANS Exit Egress Number of Exit Egress Number of Exit Egress Number of Exit Equation Number of Exit Equation Number of Exit Exit Equation Minimum Reference Public Corrid Interior Gues Mech/Elec/P Doors (clear Max. Length R (fully-sprint A (fully-sprint B (fully-sprint B (fully-sprint Egress Widt in/person) Level Second Floor Typical GR U Eighth Floor Typical Stain	Egress Width per Stairways .2 in per Control Per Index	or occupant Served of Other Egree Occupant Provided Required n/a 25 in S on 1006.3.1 Ints First Floor) Ints Second Floor) Ints Second Floor) Ints Eighth Floor) Ints Eighth Floor) Ints Eighth Floor) Ints Eighth Floor Ints Eighth Floor) Ints Eighth Floor Ints Eighth Floor) Ints Eighth Floor Ints Eig	r Floor) Min. F 250 300 No. E	Required 0' Min. 0' Min. tion 2 with Au ixit Stairs 2 2	Recommendation See Lifest tomatic Sp. No. Per See Lifest 19	quired 2 2 2 2 2 2 4 in 6 in 2 in Provided Safety Plans	em) and 10	2 2 2 Provided 60 in min. 42 in 36 in 34 in Code Reference Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Tiple 1017.2 Table 1017.2 Table 1017.2 Table 1017.2
	Exit Egress Number of Exit Egress Number of Exit Egress Number of Exit Equation Number of Exit Exit Equation Number of Exit Eq	Egress Width per Stairways .2 in per Control Per Per Stairways .2 in per Control .2 in per Control .2 in per Control .2 in per Control .3 in per Control .3 in per Control .4 in per Control .5 in per Control .5 in per Control .6 in per Control .6 in per Control .7 in per Control .7 in per Control .8 in per Control .8 in per Control .8 in per Control .9 in p	occupant Served of Occupant Serv	r Floor) Min. F 25 250 300 No. E 66 2, Exception	Required 0' Min. 0' Min. 0' Min. 2 with Au Exit Stairs 2 2 2 2 1 1 (0.15 in/pe	Recommendation See Lifestomatic Spanning No. Per No. P	quired 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	em) and 10	2 2 2 Provided 60 in min. 42 in 36 in 34 in Code Reference Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Toble 1017.2
	Exit Egress Number of Exit Egress Number of Exit Egress Number of Exit Number of	Egress Width per Stairways	or 1006.3.1 Travel Dist. Section 1011.1 & 100 Sumber of Persons 168 occ. 397 occ. 2th per Section 1020.3.2 Section 1011.1.3.3.2 Section 1011.1.3.4 Section 1011.1.4.4 Section 1011.1.5 Section 1011.1.5 Section 1011.1.6 Section 1011.1.7 Section 1005.3.2	r Floor) Min. F 25 250 300 No. E 66 2, Exception	Required O' Min. O' Min. O' Min. O' Min. 2 with Au Exit Stairs 2 2 2 1 1 (0.15 in/pe Exit Doors 2 2	Recommendation See Lifest See Lifest tomatic Sports No. Per No	quired 2 2 2 2 2 quired 4 in 6 in 24 in 6 afety Plans 6 afety Plans 6 afety Plans 6 afety Plans 7 occ. 7 occ. 8 occ. 9 occ. 9 occ.	em) and 10	2 2 2 Provided 60 in min. 42 in 36 in 34 in Code Reference Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 4017.2 Table 1017.2 Table 1017.2 Toos.3-1, Exception 1 (0.2 Iin. Width Provided 44 in 36 in 36 in 34 in
	Exit Egress Number of Exit Egress Number of Exit Egress Number of Exit Egress Number of Exit Egress Minimum Reference Public Corrid Interior Gues Mech/Elec/P Doors (clear Max. Length R (fully-sprint A (fully-sprint B (fully-sprint B (fully-sprint B (fully-sprint B (fully-sprint Egress Widt in/person) Level Second Floor Typical GR U Eighth Floor Typical Stain Egress Widt Level First Floor	Egress Width per Stairways	occupant Served of Occupant Serv	r Floor) Min. F 25 25 30 09.3 (Exception	Required 0' Min. 0' Min. 0' Min. 2 with Au Exit Stairs 2 2 2 1 1 (0.15 in/pe Exit Doors 2	Recommendation See Lifestomatic Sports No. Per See Lifestomati	quired 2 2 2 2 quired 4 in 6 in 24 in 6 in 7 in 7 in 8 in 8 afety Plans 8 afety Plans 8 afety Plans 9 occ. 9 occ. 9 occ.	em) and 10	2 2 2 Provided 60 in min. 42 in 36 in 34 in Code Reference Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2
	MEANS Number of Exit Egress Number of Exit Egress Number of Exit	Egress Width per Stairways	Other Egree	r Floor) Min. F 250 250 No. E Receptor	Required O' Min. O' Min. O' Min. O' Min. Exit Stairs 2 2 2 quired	Rec	quired 2 2 2 2 2 quired 4 in 6 in 24 in 6 in 24 in 6 safety Plans	em) and 10	2 2 2 Provided 60 in min. 42 in 36 in 34 in Code Reference Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Tools.3-1, Exception 1 (0.2 Iin. Width Provided 44 in 44 in 44 in 44 in 44 in 44 in Code Reference
	MEANS Number of Exit Egress Number of Exit Egress Number of Exit	Egress Width per Stairways	or 1006.3.1 Travel Dist. Section 1011.1 & 100 Sumber of Persons 168 occ. 55 occ. 397 occ.	Table 1005 ess Compon .15 in Provided Tripority Min. F 250 250 300 No. E Rec	Required 0' Min. 0' Min. 0' Min. 2 with Au Exit Stairs 2 2 2 2 2 2 2 2	Rec	quired 2 2 2 2 2 2 quired 4 in 6 in 8	em) and 10	2 2 2 Provided 60 in min. 42 in 36 in 34 in Code Reference Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Toble 1017.2 To
	Exit Egress Number of Exit Egress Number of Exit Egress Number of Exit Equation Number of Exit Exit Equation Number of Exit Eq	Egress Width per Stairways .2 in per of Required P n/a OF EGRES: Capacity - Section Exits (162 Occupant Exits (165 Occupant Exits (349 Occupant	occupant Served of Other Egree Occupant Provided Required n/a 25 in S on 1006.3.1 Ints First Floor) Ints Second Floor) Ints Second Floor) Ints Eighth Floor) Ints Ei	Table 1005 ess Compon .15 in Provided Tripority Min. F 250 250 300 09.3 (Exception No. E) .6 2, Exception Rec	Required O' Min. O' Mi	Rec	quired 2 2 2 2 quired 4 in 6 in 24 in 6 in 24 in 6 afety Plans 7 afety Plans 8 afety P	em) and 10	2 2 2 Provided 60 in min. 42 in 36 in 34 in Code Reference Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 4 in 44 in 44 in 44 in 44 in 44 in Code Reference 36 in 34 in 34 in 34 in 34 in 36 in 36 in 36 in 37 in 38 in 39 in 30
	Exit Egress Number of Exit Egress Number of Exit Egress Number of Exit Equation Number of Exit Exit Equation Number of Exit Eq	Egress Width per Stairways .2 in per of Required P n/a OF EGRES Capacity - Section xits (162 Occupant xits (165 Occupant xits (55 Occupant xits (349 Occupant xits	occupant Served of Other Egree Occupant Provided Required n/a 25 in S on 1006.3.1 Ints First Floor) Ints Second Floor) Ints Second Floor) Ints Eighth Floor) Ints Ei	Min. F 25 30 No. E	Required 0' Min. 0' Min. 0' Min. 10' Min. 2	Rec	quired 2 2 2 2 2 quired 4 in 6 in 84 in 62 in Provided Safety Plans Safety Plans Safety Plans Safety Plans Occ. Occ. Occ. Occ. Occ. Occ. Occ. Occ	em) and 10	2 2 2 Provided 60 in min. 42 in 36 in 34 in Code Reference Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Table 1017.2 Toble 1017.2 Tob

IV	ILDING CODE DATA AND ANALYSIS (continued) INTERIOR FINISH CLASS													
IX.		JK FINISH	CLASS				1 -		1					
	Location Public Exit Enclosures & Passageways					quired lass B	Provided Class B			Table 803.11				
	First / Second Floor Public Corridors					ss B / C		lass B	Table 803.11					
	Third through Seventh Floor Public Corridors Public Rooms and Enclosed Spaces					lass C		lass C	Table 803.11					
	Public Room Public Floor			lass C lass II		lass C	Table 803.11 Section 804.4.2							
Χ.		IOR FINISH	ICLASS	3		1000 11		1433 11		Occion	004.4.2			
/\.	Location	J. C. HVIOI	Re	quired	Code Reference									
		ngs / Assemblies			С	lass B		lass B		Table 1				
	Roof Wind E					lass B	CI	lass B		Table 1				
	Roof Wind S					(V _(ASD))				Table 1	1504.8			
XI.		TRANSMIS	SSION (Chapte										
	Building El	ement r / Ceiling Assem	hly			quired (45 Field)		ovided IC 57		Code Re Section				
	Interior Gues	stroom Demising	Walls			0 (45 Field)	-	55 - 59		Section				
	Interior Gues	stroom Corridor V	Valls		STC 50	0 (45 Field)	STO	55 - 59		Section	1207.2			
XII.	INTERIO	OR ENVIRO	DNMEN	Γ (Chap										
	Occupied Re	ooms			Mechanica Code	al Ventilation s	hall be prov	ided in accord	lance with t	he Internati	onal M			
	Toilet and G	Guest bathrooms			Mechanica	al Ventilation si		ided in accord	lance with S	Section 120	3.4.2.1			
	Natural Ligh	t						-64b						
VIII			N/ATIO	1000		d Area is great		of the floor are	ea being se	rved per Se	ection 1			
XIII.		Y CONSER				on Energy	Code)							
	Thru the use	ding Approach of ComCheck the of similar forms of	ne building o	demonstrate	es that the v	-				t exceed th	nat use			
XIV.	PLUMBI	ING SYSTE	MS (pe	r Interna	ational P	lumbing C	ode TA	BLE 2902	2.1)					
		nt Loads (G												
	Gender	No. of Occupa		WC	Urinals	Lavatories	Tubs	/Showers	DF *	DF *	5			
	Male Female	B (1st-2nd) B (1st-2nd)	16 16	0.64 0.64	-	0.40 0.40		-	*	*	┨			
	Male	A-2 (1st-2nd)	131	1.75	-	0.66		-	*	*	1			
	Female	A-2 (1st-2nd)	131	1.75	-	0.66		-	*	*	1			
_	Male Female	A-3 (1st-2nd) A-3 (1st-2nd)	12 12	0.10 0.10	-	0.06 0.06		-	*	*	┨			
ired	Male	A-2 (8th)	195	2.60	-	0.98			*	*	1			
Required	Female Guestrms	A-2 (8th) R-1 (3rd-7th)	195 1	2.60	- uestroom	0.98 1 per Rm	1 per (Guestroom	*	*	4			
ш.	Gender	No. of Occupa	nte	WC	Urinals	Lavatories		/Showers	DF	DF				
	Uni-sex-1st	(1st-2nd)	56		-	3.00	Tubs	-	*	*	 			
	Male Female	(2rd) (2rd)	131 131	1.00 3.00	2	2.00 2.00		-	*	*]			
per	Male	(8th)	195	1.00	2	2.00		-	*	*	┨			
Provided	Female	(8th)	195	3.00		2.00		-	*	*	1			
ā	Guestrms	R-1 (3rd-7th)	1		uestroom	1 per Rm		Guestroom	*	*	Fatab			
	water is avai	nce with Internati ilable	orial Plumb	ing Code I	able, dillikir	ig louritains are	e not require	ed where the i	actility is als	o a Dining	Estab			
XV.	GUESTI	ROOM DIS	TRIBUT		ATRIX	Double 0		I out						
				Kings		Double C	ueens	Suit	les T	1				
						티	(qn)		(lin)					
	evel		()		_ E	One (;	(]		Suite (Roll-in)	1	AL			
	Floor / Level		5.03	(qı	칠	uble 5.0X	One	a	uite	1	TOTAL			
	Floo		X/A	g (Tub)	<u>R</u>	XXA	ple	Sui	e S	1	- 1			
			Jard .0X,	King (X)		0X,	Dou (X)	0X)	OX)					
			Standard King (X/A5.0X, X/A5.0X)	ACC King (X/A5.0X)	ACC King (Roll-In) (X/A5.0X)	Standard Double Queen (X/A5.0X, X/A5.0X,)	Acc. Double Queen (Tub)	Standard Suite (X/A5.0X)	Accessible (X/A5.0X)	1				
	el Public Spac		-	٠.	٥ ٥	vn ⊂ -	4 ○	<i>σ</i> ○	-		0			
	el Public & BO el Guestrooms	•	20	-	1	- 10	1	-	-		0 32			
h - Hote	el Guestrooms	3	20	1	-	10	1	-	-		32			
	el Guestrooms el Guestrooms		20 18	1		11 5	-	2	- 1		32 27			
h - Hote	el Guestrooms	3	18	1	-	7	-	2	-		28			
	taurant & Mee	ting Rooms	-	-	-	-	-	-	-		0			
th - Res			96	4	1	43	2	4	1		15			
otals				67%		30%	6	3%	6		100			
otals ATIO		ole Rooms with Mobility Features: 314, 414, 415, 515, 615, 715												
otals ATIO ccessib			ble Rooms with Mobility Features and Roll-in Showers: 315											
otals ATIO ccessib ccessib	le Rooms with		Fe-1	m al 8.6	F/	ole Rooms with Communication Features and Mobility Features and Roll-in Showers: 639 with Communication Features: 301, 317, 328, 401, 417, 428, 501, 517, 528, 617, 628, 717, 728								
otals ATIO ccessib ccessib ccessib	le Rooms with	n Communication						720						
otals ATIO ccessib ccessib ccessib	le Rooms with le Rooms with ith Communic	n Communication ation Features: 3	301, 317, 32	8, 401, 417	7, 428, 501,	517, 528, 617,	628, 717,	728						
otals ATIO ccessib ccessib ccessib	le Rooms with le Rooms with ith Communic ith Connecting	n Communication	301, 317, 32 , 415-417, 5	8, 401, 417 515-517, 61	7, 428, 501, 5-617, 639-	517, 528, 617, 643, 715-717, 7	628, 717,	728						



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Author

10/12/2020 04/09/2021

06/14/2021

06/15/2022

AS NOTED

CODE ANALYSIS

DRAWN BY:

SCALE:

30% SET

MI 60% SET MI 90% SET

MI 100% SET



WISCONSIN OFFICE: 20725 WATERTOWN ROAD, SUITE 100 BROOKFIELD, WI 53186

CHICAGO | MILWAUKEE : NATIONWIDE www.pinnacle-engr.com

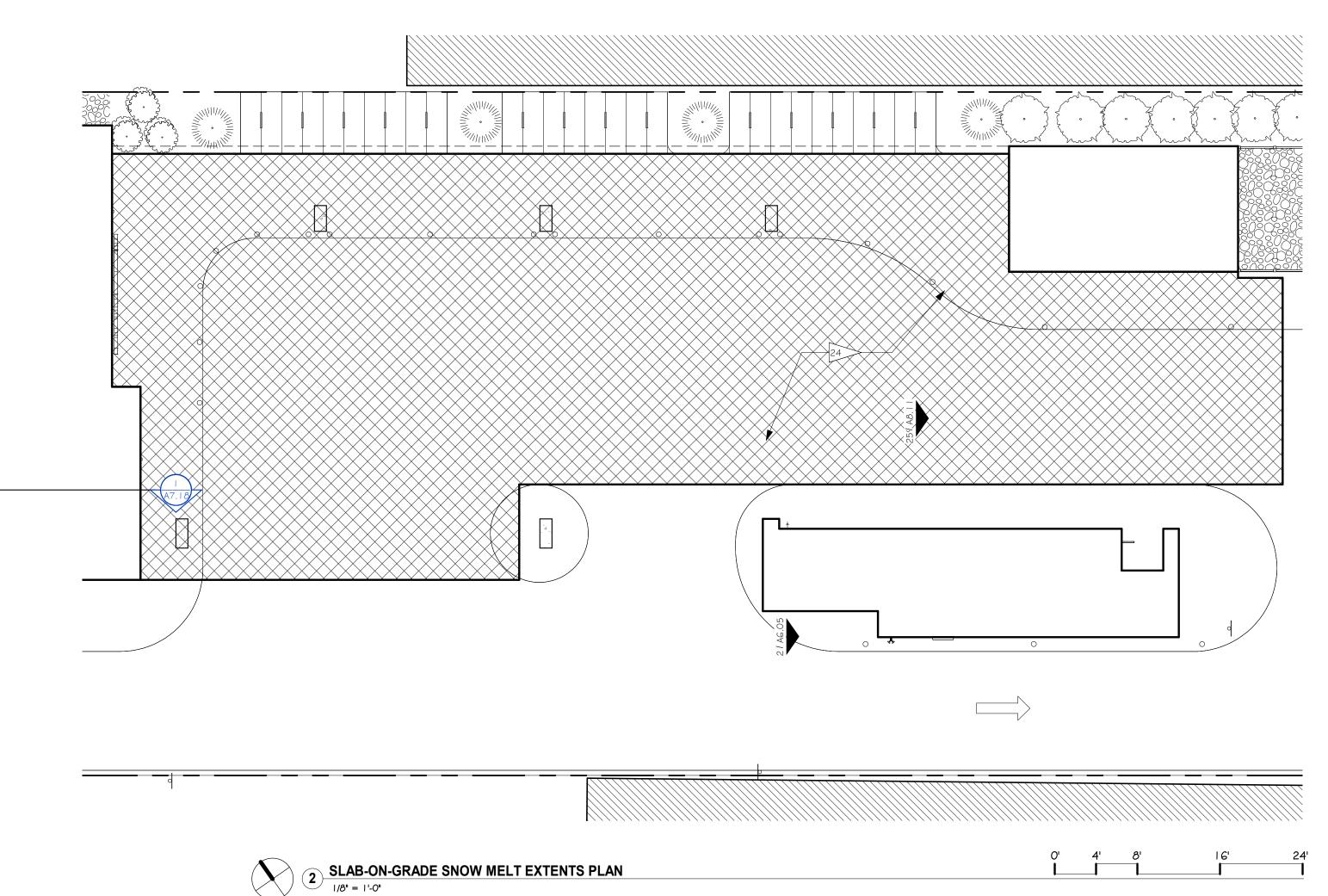
SITE DATA TABLE TOTAL LOT AREA = 21,865 SF (0.502 AC) **BUILDING AREA** 12,495 SF 6,054 SF PAVEMENT AREA 2,347 SF (INCLUDES WALKS LESS THAN 5' IN WIDTH) GREENSPACE POROUS PAVEMENT 969 SF IMPERVIOUS AREA = 18,549 SF (84.8%) GREENSPACE AREA = 3,316 SF (15.2%) (INCLUDES POROUS PAVEMENT) PARKING COUNT = 4 TOTAL (1 ADA) Lot 6, Block 144 Parcel Address: Lot 13, Block 144 829 E WASHINGTON AVE Parcel Address: Owner: PAMAF LLC 828 E MAIN ST 827 E WASHINGTON AVE Owner: CREATIVE WAREHOUSING LLC MADISON WI 53703 1341 SPAIGHT ST #1 MADISON WI 53703 Commercial Building EXISTING WALL ALONG PROPERTY LINE TO REMAIN 28 BICYCLE STALLS _ WITH POROUS PAVERS SEE ARCH PLANS FOR VAN ACCESSIBLE — PARKING SIGN → 30 MIN PARKING SIGNS → FENCE AND GATE TREE TO REMAIN REMOVE EXISTING DRIVEWAY APRON AND REPLACE WITH **GRASS AND NEW** COMPLIANT RAMP VERTIFICIAL FACE CURB PER CITY LIMITS OF HEATED PAVEMENT WITH HANDRAILS NO VISUAL OBSTRUCTIONS BETWEEN 30" AND 10.0' PROPOSED 5' ADA PEDESTRIAN ROUTE HOTEL FF = 852.03 STEPS WITH REMOVE AND REBUILD NEW CLASS III CONCRETE APRON PEDESTRIAN ROUTE - PEDESTRIAN ROUTE TRASH ENCLOSURE — REFER TO ARCH PLAN 4.5' WIDE INTEGRAL **EXISTING** 4' WIDE INTEGRAL -CONCRETE VISION TRIANGLES
NO VISUAL OBSTRUCTIONS
BETWEEN 30" AND 10.0' APRON TO REMAIN (REBUILD IN LOADING ZONE SIGN PLACE IF SPEED TABLE (SEE DETAIL) SPEED TABLE (SEE DETAIL) VISION TRIANGLE NO VISUAL ENCLOSED REFUSE / DAMAGED DURING 10'x50' LOADING ZONE #2 CONSTRUCTION) MECHANICAL BUILDING 10'x50' LOADING ZONE #1 -OBSTRUCTIONS BETWEEN 30" DO NOT ENTER / NO PARKING OADING ZONE SIGN ALLOWED ATTACH SIGNS TO BUILDING 8" WIDE COLORED CONCRETE BORDER FLOWLINE CURB concre4 DO NOT ENTER SIGN concrete CONCRETE -REMOVE EXISTING — BEHIND CURB DRIVEWAY APRON AND REPLACE WITH Commercial Building **GRASS AND NEW** VERTICAL FACE CURB PER CITY STANDARDS Any duplication, reproduction, or use by any other party is prohibited unless prior written Lot 2, CSM 14433 authorization is received from GBA. Parcel Address: DRAWN BY 821 E WASHINGTON AVE Owner: AMERICAN FAMILY FINANCIAL SERVICES INC. SCALE: 6000 AMERICAN PKWY MADISON WI 53783

GRAPHICAL SCALE (FEET)

0 1" = 10' 20'

THE RIGHT-OF-WAY IS THE SOLE
JURISDICTION OF THE CITY OF MADISON
AND IS SUBJECT TO CHANGE AT ANY TIME
PER THE RECOMMENDATION/PLAN OF
TRAFFIC ENGINEERING AND CITY
ENGINEERING DEPARTMENTS.

ALL WORK WITHIN THE CITY RIGHT-OF-WAY AND ALL PUBLIC IMPROVEMENTS TO SERVE THE PROJECT SHALL BE COMPLETED PER THE CITY OF MADISON ISSUED PLANS (CONTRACT 8980, PROJECT 13275)



ROBINA COURTYARD

1 ARCHITECTURAL SITE PLAN

*> SITE PLAN KEY NOTES

- 1. PROPERTY LINE. REFER TO CIVIL DRAWINGS. 2. WALL MOUNTED FIRE DEPARTMENT CONNECTION (FDC).
- 3. INTERNAL VERTICAL CIRCULATION.

13. HOTEL DROP-OFF ZONE.

- 4. FIRE HYDRANT, REFER TO CIVIL DRAWINGS FOR LOCATION.
- 5. STANDARD "GRAY" COLORED CONCRETE S.O.G. WITH MEDIUM BROOM FINISH & TOOL JOINTING PATTERN, REFER TO SPECIFICATION SECTION 32 13 13
- 6. INTEGRAL COLORED CONCRETE S.O.G. WITH MEDIUM BROOM FINISH & TOOLED JOINTING PATTERN. REFER TO SPECIFICATION SECTION 32 13 13.
- 7. BENT STEEL PLATE / CORNER GUARD. REFER TO DETAILS ON A1.21.
- 8. CONCRETE FILLED BOLLARD. REFER TO DETAIL 5/A1.21
- 35. UNDERGROUND GREASE INTERCEPTOR. REFER TO CIVIL AND PLUMBING DRAWINGS. 9. ELECTRICAL TRANSFORMER AND PAD BY MG&E. REFER TO CIVIL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 10. GAS METER LOCATION. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION. 11. LINE OF CANOPY / ROOF / BUILDING EXTENTS.
- 12. PAINTED PARKING STRIPING. REFER TO PLAN FOR DIMENSIONAL INFORMATION AND ACCESSIBLE PARKING SYMBOL.
- 14. PLANTING AREA REFER TO LANDSCAPE DRAWINGS FOR SPECIES & CALIPER INFORMATION.
- 15. SARIS 'POST & RING' BICYCLE RACK. REFER TO DETAIL 4/A1.21 16. NEW CONCRETE SIDEWALK (BROOM FINISH TO MATCH ORIENTATION OF EXISTING / ADJACENT SIDEWALK). CONFORM TO CITY OF MADISON STANDARDS. REFER TO CIVIL DRAWINGS.
- 17. EXISTING CONCRETE SIDEWALK AND GUTTER. CONTRACTOR SHALL REPLACE / REPAIR ALL DAMAGE CAUSED BY CONSTRUCTION PREPARATION AND ACTIVITIES.
- 18. CURB CUT REFER TO CIVIL DRAWINGS & COMPLY WITH CITY OF MADISON REQUIREMENTS. 19. EXTERIOR CONCRETE STAIR WITH ALUMINUM PIPE HANDRAIL / WITH INTEGRAL DOWNLIGHT. REFER TO 45. TRASH AND GENERATOR ENCLOSURE. REFER TO ENLARGED PLANS FOR ADDITIONAL INFORMATION. DETAILS 23 THRU 25 ON A1.22 AND SPECIFICATION SECTION XX XX XX.
- 20. REFER TO ELECTRICAL DRAWINGS FOR BUILDING LIGHT FIXTURE REQUIREMENTS. 21. STORM-WATER CHAMBER(S) BELOW S.O.G. - REFER TO CIVIL DRAWINGS FOR DETAILS.
- 22. NEW GABIAN WALL ON ADJACENT PROPERTY. 23. SITE FENCE & GATE LOCATION, REFERENCE DETAILS 19 & 20/A1.21.
- 24. RADIANT HEATING WITHIN S.O.G. PAVING, REFER TO DETAIL 18/A1.21. REFERENCE MECHANICAL DRAWINGS FOR REQUIREMENTS. MINIMUM R-10 INSULATION REQUIRED BELOW PAVING SURFACE PER
- 25. PATIO AREA DRAIN PITCH S.O.G. TOWARDS DRAIN AS REQUIRED (SLOPE TO BE NO GREATER THAN 52. GENERATOR, REFER TO ELECTRICAL & CIVIL DRAWINGS. 1-1/2% IN ANY DIRECTION). 26. MANHOLE COVER. REFER TO CIVIL DRAWINGS.
- 27. STONE MULCH BED. REFER TO LANDSCAPE DRAWINGS.
- 28. PAINTED PAVEMENT MARKING.

0' 5' 10' 20' 30'

- 29. CONCRETE CURB AND GUTTER. DESIGN AND FINISH TO CONFORM TO CITY OF MADISON DESIGN STANDARDS. TIE INTO EXISTING PROFILE AND FLOW LINE OF CURB AND GUTTER TO REMAIN BOTH UP AND DOWN STREAM FROM THE CONSTRUCTION SITE.
- 30. PERMEABLE PAVERS AND SUB-BASE. REFER TO CIVIL DRAWINGS.
- 31. STOP SIGN. TO BE PROVIDED BY G.C. REFER TO CIVIL DRAWINGS FOR SITE / TRAFFIC SIGNAGE
- 32. CAST IN PLACE RAMP AND RETAINING WALL WITH STEEL PLATE WITH DOWNLIGHT BELOW RAILINGS. REFER TO STRUCTURAL DRAWINGS FOR WALL AND DETAILS ON A1.21 FOR DECORATIVE RAILINGS AND
- SPECIFICATION SECTION. 33. ASPHALT PAVING. REFER TO CIVIL DRAWINGS.
- 34. 6" CAST IN PLACE CURB WITHOUT GUTTER. REFER TO CIVIL DRAWINGS.
- 36. METAL BROW STRUCTURE ABOVE SHOWN DASHED.
- 37. CONCRETE CURB AT LANDSCAPING BEDS. REFER TO SITE DETAILS.
- 38. 6X6 GUTTER AND 4X6 DOWNSPOUT TO LOWER ROOF TO CONCRETE SPLASHBLOCK ON ROOF OR GRADE BELOW.
- 39. TRANSFORMER SCREENING FENCE & OPERABLE ACCESS GATE. REFER TO DETAILS 16 & 17/A1.21 FOR ADDITIONAL INFORMATION.
- 40. NOT USED.
- 41. "30 MINIMUM PARKING" SIGN . TO BE PROVIDED BY G.C. REFER TO CIVIL DRAWINGS FOR SITE / TRAFFIC SIGNAGE REQUIREMENTS.
- 42. VAN ACCESSIBLE PARKING SIGNAGE POST. REFER TO DETAILS ON CIVIL DRAWINGS.
- 43. "DO NOT ENTER" SIGN TO BE PROVIDED BY G.C. REFER TO CIVIL DRAWINGS FOR SITE / TRAFFIC SIGNAGE REQUIREMENTS.
- 44. "NO PARKING / LOADING ZONE SIGN TO BE PROVIDED BY G.C. REFER TO CIVIL DRAWINGS FOR SITE / TRAFFIC SIGNAGE REQUIREMENTS.
- 46. PROVIDE (1) CONTINUOUS 2 X 10 AROUND PERIMETER FOR WALL PROTECTION. VERIFY HEIGHT WITH
- 47. LADDER, REFER TO SPECIFICATIONS AND DETAIL 1/A7.52 FOR SIMILAR REQUIREMENTS.
- 48. SECTIONAL DOOR, REFER TO SPECIFICATION SECTION 08 36 00, AND SHEET A8.01. 49. HOLLOW METAL DOOR & FRAME, REFER TO SPECIFICATION SECTION 08 11 13 AND SHEET A8.01.
- 50. ROOF BELOW, REFER TO REFUSE ENCLOSURE ROOF PLAN.
- 51. MECHANICAL LOUVERS, REFER TO MECHANICAL DRAWINGS/GENERATOR SPECIFICATIONS.

REQUIREMENTS

- 53. 42" TALL, 1 1/2" DIAMETER STEEL PIPE GUARDRAIL W/ SWING GATE ADJACENT TO LADDER. 54. CONTRACTOR TO COORDINATE GENERATOR EXHAUST W/ SHOP DRAWINGS / MANUFACTURER
- 55. 36" x 36" 2-HOUR RATED HATCH DOOR, PROVIDE MODEL 'BILCO FR-4' (OR EQUAL)

GENERAL SITE PLAN NOTES

- A. ALL CONTRACTORS & SUB-CONTRACTORS SHALL VISIT THE SITE PRIOR TO BIDDING AND Q. ALL CONTRACTORS SHALL COORDINATE WITH DRY AND WET UTILITY COMPANIES TO DETERMINING ACTUAL SITE CONDITIONS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR SCOPE THAT SHOULD HAVE BEEN ANTICIPATED.
- B. REFER TO CIVIL SHEET(S) FOR SCOPE OF WORK WITHIN THE DESIGNATED LOT THAT IS TO BE PROVIDED BY THE SITE WORK CONTRACTOR. WHERE THERE IS A DISCREPANCY AND/OR THERE ARE CONFLICTS OR OMISSIONS IN THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY AND REFRAIN FROM STARTING OR
- COMPLETING SUCH WORK UNTIL CLARIFICATION HAS BEEN ISSUED IN WRITING FROM THE
- SITE PLAN ARE FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR LAYOUT AND DIMENSIONAL CONTROL PLAN. D. REFER TO CIVIL SHEETS INCLUDED IN THIS DOCUMENT SET FOR ALL WORK TO BE

TO BUILDING SHEATHING AND / OR GRID LINES. DIMENSIONS SHOWN ON ARCHITECTURAL

- BUILDING CONTRACTOR" SHALL DESIGNATE WORK TO BE INCLUDED AS PART OF THIS CONTRACT FOR PROJECT SITE AND SHALL BE INCLUDED IN THIS CONTRACT.
- E. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ALL APPLICABLE PUBLIC RIGHT-OF-WAY

INCLUDED WITHIN SCOPE. WHERE CIVIL OR SITE MEP DRAWINGS REFERENCE "BY

- F. REFER TO CIVIL DRAWINGS FOR GRADING AND UTILITY INFORMATION.
- 3. CONTRACTOR SHALL VERIFY ALL LOCATIONS OF EXISTING UTILITIES. CARE SHOULD BE TAKEN TO AVOID DAMAGE TO OR DISTURBANCE OF EXISTING-TO-REMAIN UTILITIES. H. REFER TO CIVIL DRAWINGS FOR FINISH FLOOR ELEVATIONS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AT 1/4" PER FOOT, MINIMUM, DO NOT EXCEED MAXIMUM SLOPE OR CROSS-SLOPE REQUIREMENTS WHERE GRADE IS PART OF AN
- ACCESSIBLE ROUTE. I. ALL WORK SHALL CONFORM TO THE CITY OF MADISON, WI OR STATE OF WISCONSIN
- STANDARDS, CODES AND GUIDELINES, WHICHEVER IS MORE STRINGENT. K. ALL WORK SHOWN AT OUTSIDE PERIMETER OF BUILDING TO CURB SHALL FOLLOW THE CITY

OF MADISON, WI OR STATE OF WISCONSIN STANDARDS AND GUIDELINES.

- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION BETWEEN CIVIL AND LANDSCAPE AND EXTENSION / CONNECTION TO WORK PROVIDED UNDER THIS CONTRACT. Z. ANY DAMAGE ON ADJACENT PROPERTIES SHALL BE REPAIRED BY THE GENERAL
- M. ANY DAMAGE OR DISRUPTION TO AREAS (OR BUILDINGS / STRUCTURES) ADJACENT TO OR OUTSIDE THE "LIMITS OF CONSTRUCTION" SUCH AS SIDEWALKS. STREET CURBS. PAVEMENT, UNDERGROUND OR ABOVE GROUND UTILITY STRUCTURES, ETC. SHALL BE REPAIRED TO "AS NEW" CONDITIONS IN ACCORDANCE WITH THE CITY OF MADISON, WI STANDARDS, AND PREFORMED BY A CITY LICENSED CONTRACTOR
- N. ALL DAMAGE TO STREET PAVEMENT ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON, WI PAVEMENT PATCHING

INFORMATION ON EXTERIOR PATIOS.

O. REFER TO CIVIL SHEETS AND ARCHITECTURAL SHEETS A0.01AND A0.02 FOR SITE PAVING DETAILS INCLUDING BUT NOT LIMITED TO CONCRETE CURBS, SIDEWALK PAVING JOINTS, PAVING SECTIONS, BARRIER-FREE RAMPS, HANDICAP STRIPING & SIGN DETAILS, AND

P. REFER TO ENLARGED ARCHITECTURAL PLAN SHEETS 1/A1.11 & 1/A1.12 FOR ADDITIONAL

- DETERMINE EXTENT OF WORK REQUIRED. ANY EXISTING IMPROVEMENTS THAT ARE AFFECTED DURING THE COURSE OF UTILITY WORK. INCLUDING BUT NOT LIMITED TO LANDSCAPING, STREETS, SIDEWALKS, ETC. SHALL BE RETURNED TO EXISTING OR BETTER
- R. SITE PLUMBING / UTILITY CONTRACTOR SHALL VERIFY AND MARK THE LOCATION OF EXISTING SANITARY & SEWER LINE WITHIN THE PROPERTY PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT / CIVIL ENGINEER IMMEDIATELY OF ANY DISCREPANCY IF THEY

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UNLESS NOTED OR SHOWN OTHERWISE, DIMENSIONS ON SITE PLAN ARE TO FACE-OF-CURB S. THE SITE SHALL BE FENCED OFF AND THE EXTENT OF THIS AREA SHALL BE COORDINATED WITH OWNER. T. THE ARCHITECT / CIVIL ENGINEER SHALL OBTAIN BUILDING PERMIT. ALL ADDITIONAL PERMITS AND TRADE PERMITS & INSPECTIONS AND FEES (SUCH AS FIRE SPRINKLER,

ELECTRICAL, PLUMBING, TAP FEES, STREET OR LANE CLOSURES) SHALL BE THE

- RESPONSIBILITY OF THE SUB-CONTRACTORS. U. COORDINATE TRAFFIC CONTROL AND LANE CLOSURES WITH AUTHORITIES HAVING
- JURISDICTION (AHJ) / OWNER. V. ALL SITE DEMOLITION AND REMOVAL SHALL COMPLY WITH ALL APPLICABLE REGULATIONS

IMPACT THE CONSTRUCTION OF THE PROJECT.

- AND REQUIREMENTS FOR DISPOSAL. W. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN CURB AND SIDEWALK AND EXTEND AT LEAST 5'-0" FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5'-0" OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5'-0" OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT VILLAGE FORESTRY PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH
- CITY OF MADISON, WI FORESTRY. X. REPLACE ALL SIDEWALK CURB AND GUTTER ABUTTING THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK, CURB AND GUTTER WHICH, BY THE DETERMINATION OF THE CITY ENGINEER, NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO THE

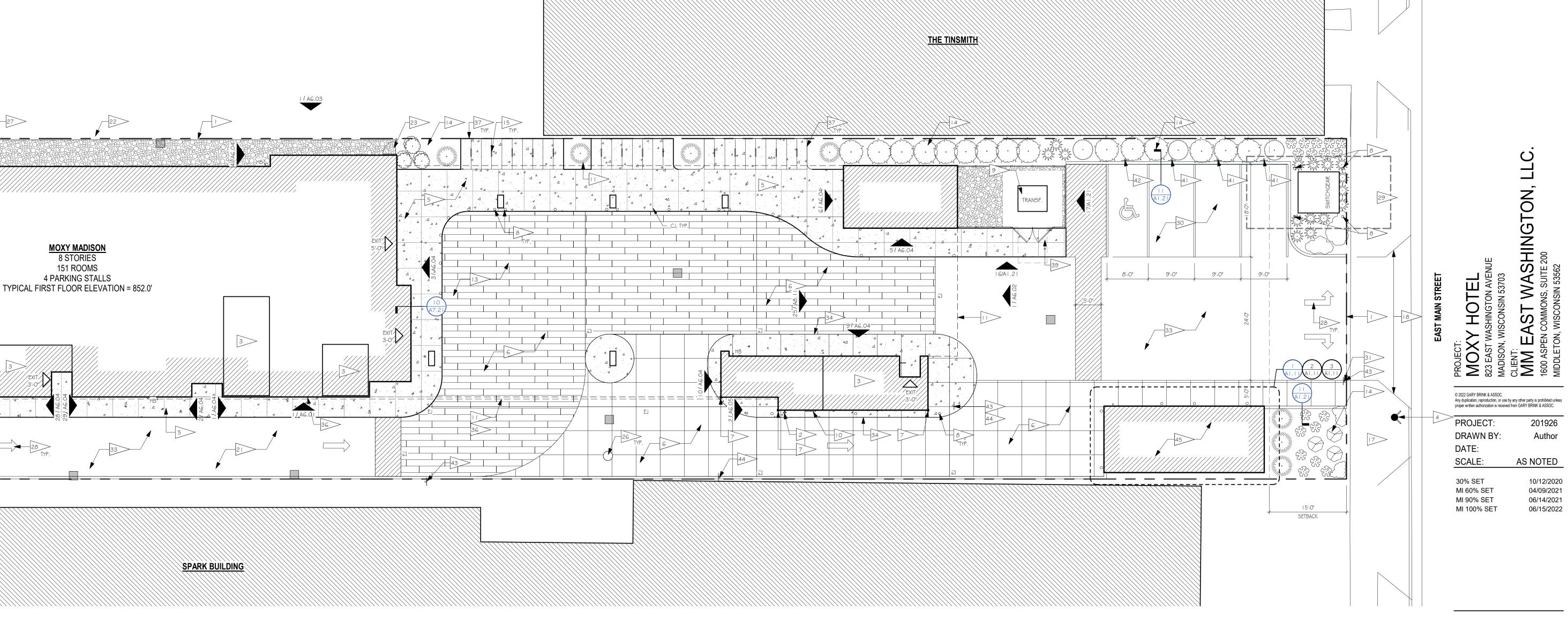
THE CITY. THE STONE USED AS EXPOSED AGGREGATE SHALL BE APPROVED BY THE CITY.

- Y. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED
- CONTRACTOR AT NO EXPENSE TO THE OWNER.

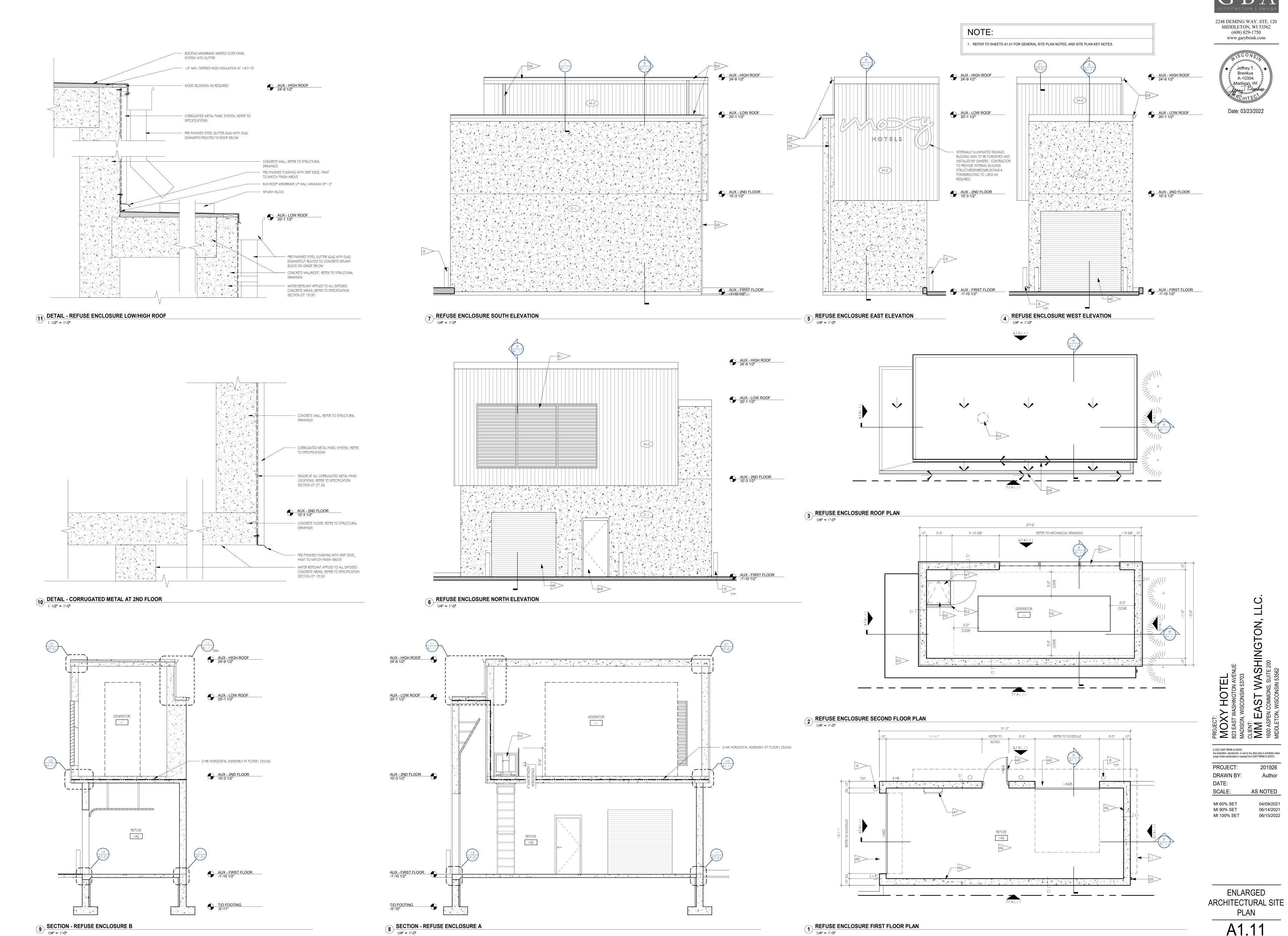
BEGINNING OF CONSTRUCTION.

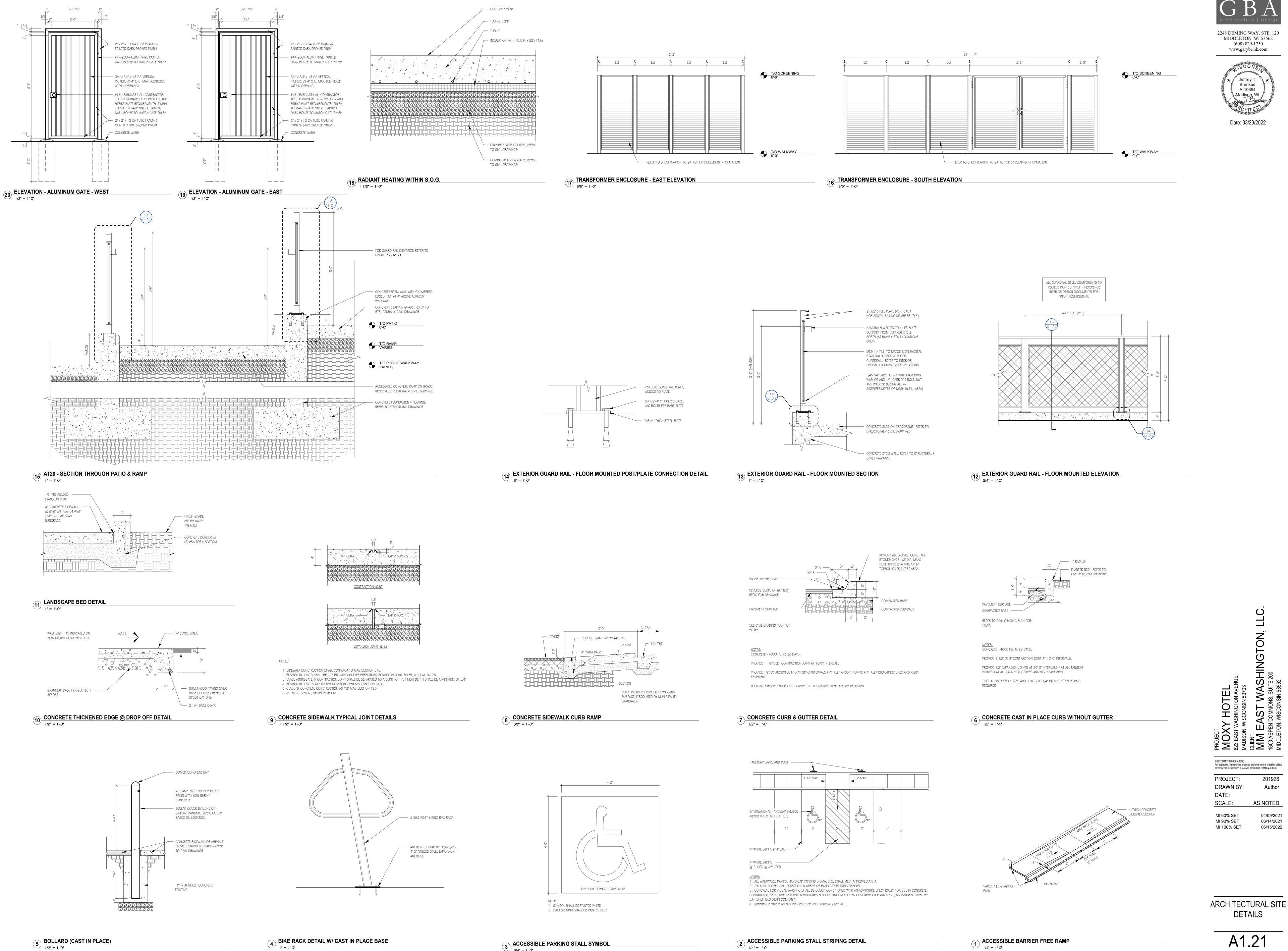
- AA. REFER TO CIVIL DRAWINGS FOR PROPERTY LINES AND EASEMENTS. BB. SIDEWALK WORK COMPLETED AT THE RIGHT-OF-WAY SHALL MATCH ADJACENT SIDEWALK AND HAVE EXPOSED AGGREGATE IN ACCORDANCE WITH SPECIFICATIONS PROVIDED BY
- REFER TO CIVIL DRAWINGS. CC. ALL STREET TREE PLANTING LOCATIONS AND TREE SPECIES WITHIN THE RIGHT-OF-WAY SHALL BE REVIEWED BY AND PERMITTED BY THE CITY ENGINEER OR FORESTRY
- DD. CONTRACTOR IS REQUIRED TO INSTALL STREET / TRAFFIC SIGNS PER THE CITY OF MADISON, WI, REQUIREMENTS. REFER TO CIVIL DRAWINGS.

EE. REFER TO CIVIL/PLUMBING AND LANDSCAPING DRAWINGS FOR REQUIRED PLANTER



ARCHITECTURAL SITE PLAN







MIDDLETON, WI 53562

(608) 829-1750

www.garybrink.com

Jeffrey T.

Brenkus

Date: 03/23/2022

A-10354 Madison, W

DETAILS

AST WASHINGTON,

Y HOTE

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SCALE:

MI 60% SET

MI 90% SET

MI 100% SET

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> 201926 Author

AS NOTED

04/09/2021

06/14/2021

06/15/2022

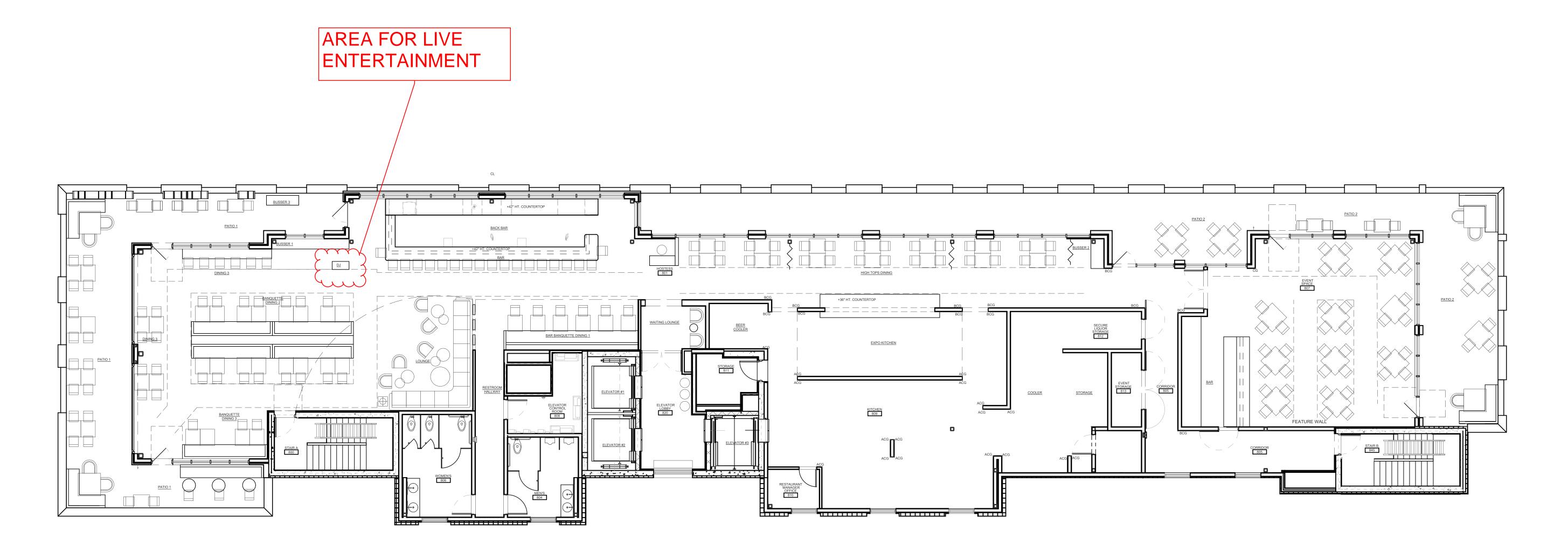
A1.21

·*/ 1/4" = 1'-0"

TYPE-X DESIGN STUDIO

TYPE-X DESIGN STUDIO

1641 W. MOUTAIN VIEW DR. MESA, AZ 85201 STUDIOTYPEX.COM 520-891-4207





8TH FLOOR-INTERIOR FLOOR PLAN

SCALE: 1/4"=1'-0"

 DATE
 04/23/2022

 SCALE
 1/8"= 1'-0"

 PROJECT #
 2022-10

 DRAWN BY
 DG

SHEET # 8TH FLOOR- PARTIAL INTERIOR FLOOR PLAN

I-703