



Date: 03/23/2022

BUILDING CODE DATA AND ANALYSIS

BUILDING DESCRIPTION / DATA
The following is a summary of applicable codes relative to the construction of a new 8-story, 8 level mixed use project located at the address below. The project will consist of (2) two Hotel Public space levels, (1) one Restaurant level and (5) the levels of Hotel Guestrooms. All levels are made of Non-Combustible Protected Construction and classified as high rise per Section 403. This summary is intended to illustrate highlights to be met and is not intended to illustrate all requirements to be met.

ADMINISTRATIVE REQUIREMENTS
Construction Documents Location within the Construction Documents
Site Plan (107.2.5) Indicate Size and Location of New Construction Relative to Lot Lines, Street Grades, Finished Grades and, if applicable, flood plains Drawing Sheets A1.01 & Civil C-Series Sheets or zones. Include Elevation and Fill as well as Drainage.

APPLICABLE CODES
The following Code Analysis was developed based on the 2015 International Building Code (IBC). The following individual Codes are currently in use by the Local Code Enforcing Agency or Authority Having Jurisdiction (AHJ) at the time of Construction Documentation.

Table with 2 columns: Code of Jurisdiction, Code Reference. Lists codes for Madison Municipal Code, Wisconsin Building Code, Wisconsin Plumbing Code, Wisconsin Mechanical Code, Wisconsin Energy Code, Wisconsin Electrical Code, Wisconsin Accessibility Code, Wisconsin Fire Prevention Code, Wisconsin Elevator Code.

I. USE AND OCCUPANCY (SECTION 302 & 508.4)

Table with 2 columns: Floor, Use. Lists floor levels and their corresponding occupancies: First Floor (Non-Separated, Mixed Use - A-2, B, S-1), Second Floor (Non-Separated, Mixed Use - A-2, B, S-1), Third - Seventh Floors (Non-Separated, R-1), Eighth Floor (Non-Separated, Mixed Use - A-2, B, S-1).

II. HIGH-RISE BUILDINGS (SECTION 403)

Table with 2 columns: Code Description, Code Reference. Lists high-rise building requirements such as fire-resistance-rated exterior walls, shaft enclosures, and fire-resistance-rated floor assemblies.

III. TYPE OF CONSTRUCTION (SECTION 602.1)

Table with 3 columns: Construction Classification, Type, Code Reference. Lists construction types for various building systems including fire suppression, commercial hood, fire alarm, and two-way communication.

IIIa. AREA CALCULATION & INCREASES

Table with 3 columns: Allowable Height and Building Area per Table 504.3, 504.4 & 506.2 for Type IIB Construction, Occupancy Type, Height, Area (sq ft).

BUILDING CODE DATA AND ANALYSIS (continued)

Table IIIb. ACTUAL BUILDING AREA BY FLOOR (Not Including Exterior Patio Spaces). Lists floor levels, room names, areas, and occupancies from First Floor to Total Building Square Footage.

IIIc. ACTUAL BUILDING HEIGHT BY USE CLASSIFICATION GROUP

Table with 4 columns: Use Classification Group, Actual Stories, Floor Levels Use is on, Total Building Height (measured from Grade to H.P. of Roof). Lists classification groups and their corresponding heights.

IV. FIRE RESISTANCE RATING OF STRUCTURAL ELEMENTS (Table 601)

Table with 4 columns: Element, Rating, Code Reference, Assembly No. Lists structural elements like floor construction, exterior walls, and shaft enclosures with their required ratings and assemblies.

V. ALLOWABLE AREA OF OPENINGS PER STORY (Table 602 & 705.8)

Table with 5 columns: Wall Location, Fire Separation Distance, Fire Rating, Wall Area (based on floor with max. openings), Area of Openings Proposed, Proposed Percentage (% of Wall Area in Openings), Allowable Percentage (% of Wall Area in Openings (Table 705.8)). Lists wall locations and allowable opening percentages.

VI. DUCTS AND TRANSFER OPENINGS (SECTION 717)

Table with 2 columns: Fire Damper Ratings (Table 717.3.2.1), Type of Penetration, Minimum Rating (Hours). Lists damper ratings for different penetration types.

Ducts and Air Transfer Openings in Fire Partitions - Guestroom Corridors (717.5.4 - Exception 1)

Table with 2 columns: No., Description. Lists requirements for fire partitions in guestroom corridors, including duct penetration and fire damper installation.

Through-Penetrations of Horizontal Assemblies (717.6.1 - Exception)

Table with 2 columns: No., Description. Lists requirements for through-penetrations of horizontal assemblies, including fire damper and fire stop installation.

BUILDING CODE DATA AND ANALYSIS (continued)

VII. OCCUPANCY ANALYSIS (Table 1004.1.2)

Table with 6 columns: Room #, Room Name, Area (sq ft), Code Capacity (sq ft / occupant), Occupant per Area, Total Occupants - 8th Floor. Lists room details for the 8th floor, showing a total of 397 occupants.

Table with 6 columns: Room #, Room Name, Area (sq ft), Code Capacity (sq ft / occupant), Occupant per Area, Total Occupants - 7th Floor. Lists room details for the 7th floor, showing a total of 52 occupants.

Table with 6 columns: Room #, Room Name, Area (sq ft), Code Capacity (sq ft / occupant), Occupant per Area, Total Occupants - 6th Floor. Lists room details for the 6th floor, showing a total of 55 occupants.

Table with 6 columns: Room #, Room Name, Area (sq ft), Code Capacity (sq ft / occupant), Occupant per Area, Total Occupants - 3rd through 8th Floor. Lists room details for floors 3 through 8, showing a total of 168 occupants.

Table with 6 columns: Room #, Room Name, Area (sq ft), Code Capacity (sq ft / occupant), Occupant per Area, Total Occupants - 2nd Floor. Lists room details for the 2nd floor, showing a total of 168 occupants.

Table with 6 columns: Room #, Room Name, Area (sq ft), Code Capacity (sq ft / occupant), Occupant per Area, Total Occupants - 1st Floor. Lists room details for the 1st floor, showing a total of 164 occupants.

VIII. MEANS OF EGRESS

Table with 2 columns: Level, Number of Persons, No. Exit Stairs, No. Persons/Stair, Min. Width Provided. Lists egress requirements for each floor level.

Table with 2 columns: Level, Number of Persons, No. Exit Doors, No. Persons/Door, Min. Door Width Provided. Lists exit door requirements for each floor level.

Table with 2 columns: Level, Maximum Dead End Distance, Required, Provided, Code Reference. Lists maximum dead end distance requirements.

Table with 2 columns: Level, Maximum Path of Egress Travel, Required, Provided, Code Reference. Lists maximum path of egress travel requirements.

Table with 2 columns: Level, Number of Remote Exits Required, Required, Provided, Code Reference. Lists remote exit requirements.

BUILDING CODE DATA AND ANALYSIS (continued)

IX. INTERIOR FINISH CLASS

Table with 4 columns: Location, Required, Provided, Code Reference. Lists interior finish requirements for public exit enclosures, public corridors, and public room finishes.

X. EXTERIOR FINISH CLASS

Table with 4 columns: Location, Required, Provided, Code Reference. Lists exterior finish requirements for roof coverings, roof wind exposure, and roof wind speed.

XI. SOUND TRANSMISSION (Chapter 12, Section 1207)

Table with 4 columns: Building Element, Required, Provided, Code Reference. Lists sound transmission requirements for interior floor/ceiling assembly and interior wall/partition.

XII. INTERIOR ENVIRONMENT (Chapter 12)

Table with 2 columns: Occupied Rooms, Mechanical Ventilation shall be provided in accordance with the International Mechanical Code. Lists ventilation requirements for occupied rooms.

XIII. ENERGY CONSERVATION CODE (Oregon Energy Code)

Whole Building Approach (WBA) - Section 906.1. The use of Comcheck the building demonstrates that the whole building annual energy consumption does not exceed that used by a similar building using similar forms of energy design in accordance with the prescriptive requirement of this code.

XIV. PLUMBING SYSTEMS (per International Plumbing Code TABLE 2902.1)

Table with 7 columns: Occupant Loads (Ground Floor), Gender, No. of Occupants, WC, Urinals, Lavatories, Tubs/Showers, DF, DF, Serv. Sink. Lists occupant load and plumbing fixture requirements.

Table with 7 columns: Occupant Loads (2nd Floor), Gender, No. of Occupants, WC, Urinals, Lavatories, Tubs/Showers, DF, DF, Serv. Sink. Lists occupant load and plumbing fixture requirements for the 2nd floor.

In accordance with International Plumbing Code Table, drinking fountains are not required where the facility is also a Dining Establishment and water is available.

XV. GUESTROOM DISTRIBUTION MATRIX

Table with 10 columns: Floor / Level, Standard King, Standard King, Acc. King, Acc. King, Double Queen, Double Queen, Standard Suite, Accessible Suite, TOTAL. Lists guestroom distribution matrix for each floor level.

Table with 2 columns: Accessible Rooms with Mobility Features, Accessible Rooms with Mobility Features and Roll-in Showers. Lists accessible room counts.

Table with 2 columns: Rooms with Communication Features, Rooms with Communication Features and Roll-in Showers. Lists communication room counts.

Table with 2 columns: Rooms with Connecting Doors, Rooms with Connecting Doors. Lists connecting door room counts.

XVI. INCIDENTAL USE AREA PER FLOOR (509.3)

Table with 4 columns: Floor & Use Type, Incidental Use SF, Total Floor SF, % of Floor Area (Not to exceed 10%). Lists incidental use area requirements for the 2nd floor laundry room.

PROJECT: MOXY HOTEL 825 EAST WASHINGTON AVENUE MIDDLETON, WISCONSIN 53703 CLIENT: MM EAST WASHINGTON, LLC. 1600 ASPEN COMMONS, SUITE 200 MIDDLETON, WISCONSIN 53562

PROJECT: 201926 DRAWN BY: Author DATE: DATE SCALE: AS NOTED

30% SET 10/12/2020 MI 60% SET 04/09/2021 MI 90% SET 06/14/2021 MI 100% SET 06/15/2022

SITE DATA TABLE

TOTAL LOT AREA = 21,865 SF (0.502 AC)

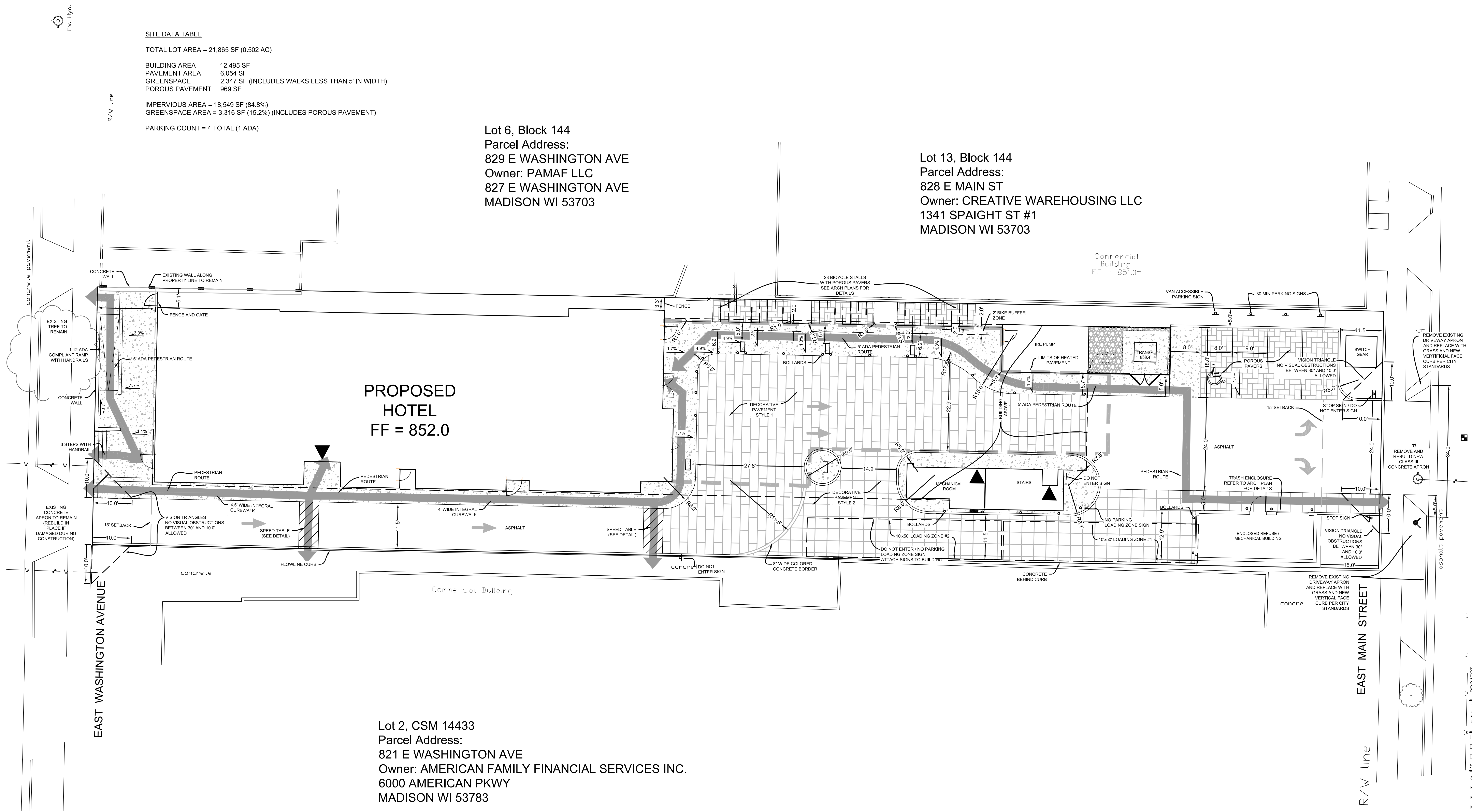
BUILDING AREA	12,495 SF
PAVEMENT AREA	6,054 SF
GREENSPACE	2,347 SF (INCLUDES WALKS LESS THAN 5' IN WIDTH)
POROUS PAVEMENT	969 SF

IMPERVIOUS AREA = 18,549 SF (84.8%)
 GREENSPACE AREA = 3,316 SF (15.2%) (INCLUDES POROUS PAVEMENT)

PARKING COUNT = 4 TOTAL (1 ADA)

Lot 6, Block 144
 Parcel Address:
 829 E WASHINGTON AVE
 Owner: PAMAF LLC
 827 E WASHINGTON AVE
 MADISON WI 53703

Lot 13, Block 144
 Parcel Address:
 828 E MAIN ST
 Owner: CREATIVE WAREHOUSING LLC
 1341 SPAIGHT ST #1
 MADISON WI 53703



PROPOSED HOTEL
 FF = 852.0

Lot 2, CSM 14433
 Parcel Address:
 821 E WASHINGTON AVE
 Owner: AMERICAN FAMILY FINANCIAL SERVICES INC.
 6000 AMERICAN PKWY
 MADISON WI 53783

THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

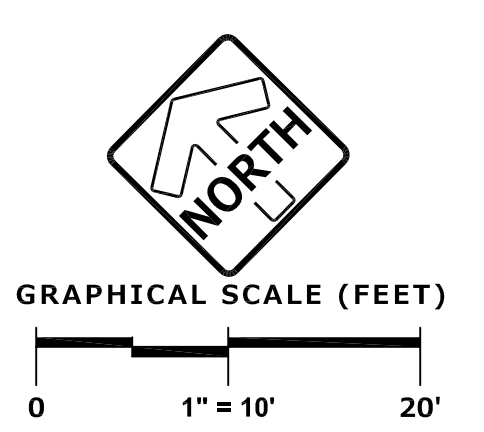
ALL WORK WITHIN THE CITY RIGHT-OF-WAY AND ALL PUBLIC IMPROVEMENTS TO SERVE THE PROJECT SHALL BE COMPLETED PER THE CITY OF MADISON ISSUED PLANS (CONTRACT 8980, PROJECT 13275)

PROJECT: **MOXY HOTEL**
 822 E WASHINGTON AVENUE
 MADISON, WI 53703
 CLIENT: **NORTH CENTRAL GROUP**
 1800 ASPEN COMMONS, SUITE 200
 MIDDLETON, WI 53562

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PROJECT: 201926
 DRAWN BY: AEK
 DATE: 04/09/2021
 SCALE: 1" = 10'

30% SET 10/12/2020
 M 60% SET 04/09/2021
 M 90% SET 06/14/2021
 M 100% SET 06/15/2022





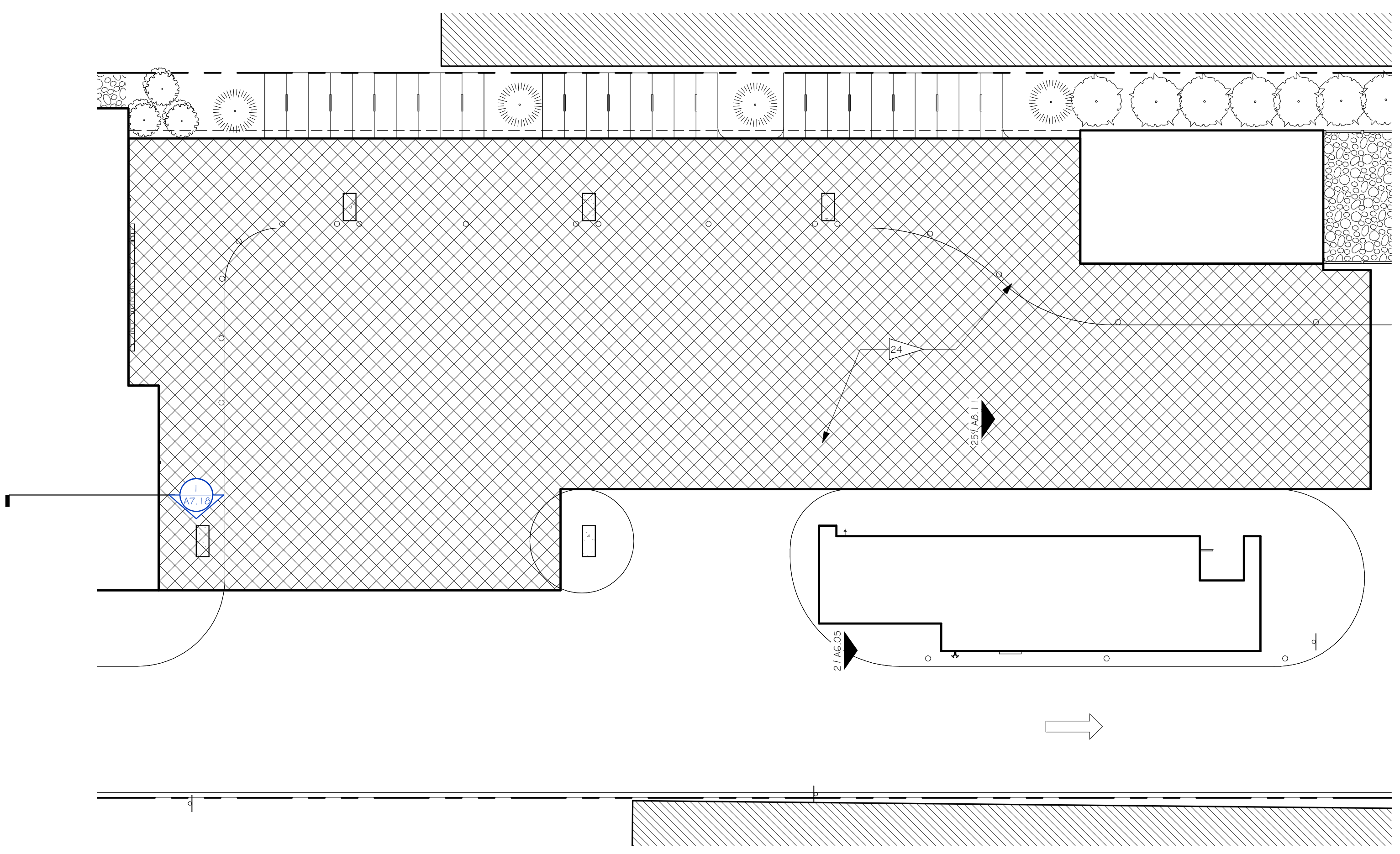
Date: 03/23/2022

SITE PLAN KEY NOTES

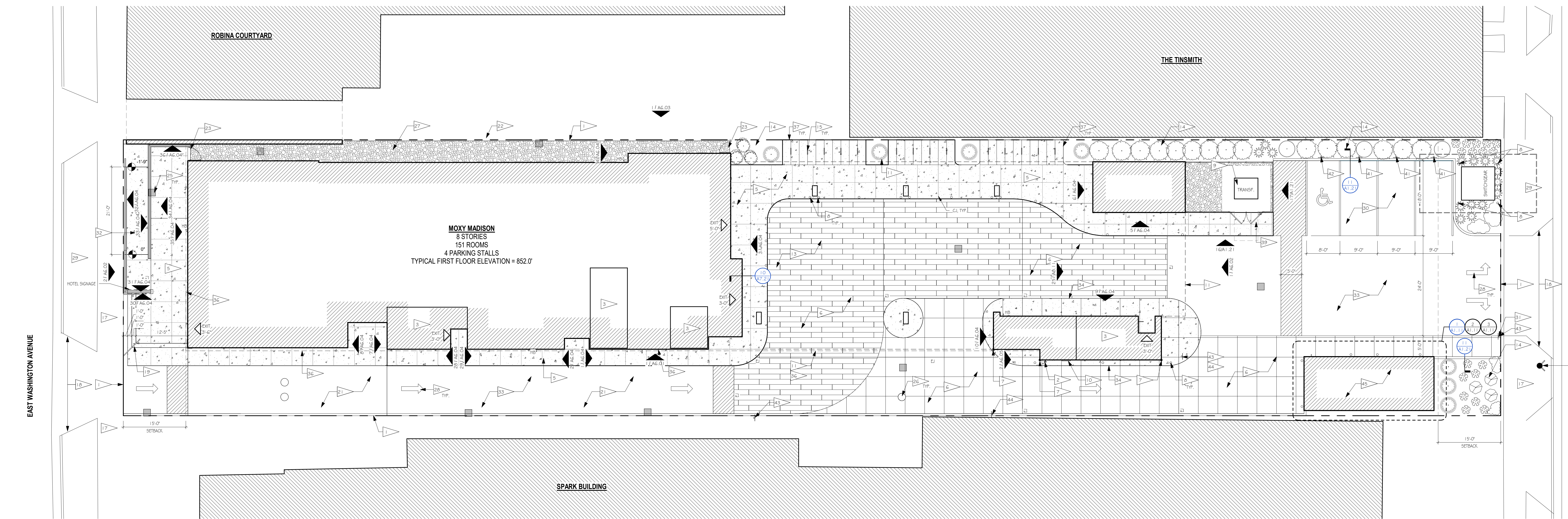
1. PROPERTY LINE. REFER TO CIVIL DRAWINGS.
2. WALL MOUNTED FIRE DEPARTMENT CONNECTION (FDC).
3. INTERNAL VERTICAL CIRCULATION.
4. FIRE HYDRANT. REFER TO CIVIL DRAWINGS FOR LOCATION.
5. STANDARD "ORN" COLORED CONCRETE S.O.G. WITH MEDIUM BROOM FINISH & TOOL JOINTING PATTERN. REFER TO SPECIFICATION SECTION 32 13 13.
6. INTEGRAL COLORED CONCRETE S.O.G. WITH MEDIUM BROOM FINISH & TOOLED JOINTING PATTERN. REFER TO SPECIFICATION SECTION 32 13 13.
7. BENT STEEL PLATE / CORNER GUARD. REFER TO DETAILS ON A1.21.
8. CONCRETE FILLED BOLLARD. REFER TO DETAIL 5/A1.21.
9. ELECTRICAL TRANSFORMER AND PAD BY MG&E. REFER TO CIVIL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
10. GAS METER LOCATION. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
11. LINE OF CANOPY / ROOF / BUILDING EXTENTS.
12. PAINTED PARKING STRIPING. REFER TO PLAN FOR DIMENSIONAL INFORMATION AND ACCESSIBLE PARKING SYMBOL.
13. HOTEL DROP-OFF ZONE.
14. PLANTING AREA. REFER TO LANDSCAPE DRAWINGS FOR SPECIES & CALIPER INFORMATION.
15. BARRIS POST & RING BICYCLE RACK. REFER TO DETAIL 4 / A1.21.
16. NEW CONCRETE SIDEWALK (BROOM FINISH TO MATCH ORIENTATION OF EXISTING / ADJACENT SIDEWALK). CONFORM TO CITY OF MADISON STANDARDS. REFER TO CIVIL DRAWINGS.
17. EXISTING CONCRETE SIDEWALK AND GUTTER. CONTRACTOR SHALL REPLACE / REPAIR ALL DAMAGE CAUSED BY CONSTRUCTION PREPARATION AND ACTIVITIES.
18. CURB CUT. REFER TO CIVIL DRAWINGS & COMPLY WITH CITY OF MADISON REQUIREMENTS.
19. EXTERIOR CONCRETE STAR WITH ALUMINUM PIPE HANDRAIL / WITH INTEGRAL DOWNLIGHT. REFER TO DETAILS 23 THRU 29 ON A1.22 AND SPECIFICATION SECTION XX XX XX.
20. REFER TO ELECTRICAL DRAWINGS FOR BUILDING LIGHT FIXTURE REQUIREMENTS.
21. STORM WATER CHAMBERS) BELOW S.O.G. REFER TO CIVIL DRAWINGS FOR DETAILS.
22. NEW GABIAN WALL ON ADJACENT PROPERTY.
23. SITE FENCE & GATE LOCATION. REFERENCE DETAILS 19 & 20/A1.21.
24. RADIANT HEATING WITHIN S.O.G. PAVING. REFER TO DETAIL 19/A1.21. REFERENCE MECHANICAL DRAWINGS FOR REQUIREMENTS. MINIMUM R-19 INSULATION REQUIRED BELOW PAVING SURFACE PER ENERGY CODE.
25. PATIO AREA DRAIN - PITCH S.O.G. TOWARDS DRAIN AS REQUIRED (SLOPE TO BE NO GREATER THAN 1/2% IN ANY DIRECTION).
26. MANHOLE COVER. REFER TO CIVIL DRAWINGS.
27. STONE MULCH BED. REFER TO LANDSCAPE DRAWINGS.
28. PAINTED PAVEMENT MARKING.
29. CONCRETE CURB & GUTTER. DESIGN AND FINISH TO CONFORM TO CITY OF MADISON DESIGN STANDARDS. THE INTO EXISTING PROFILE AND FLOW LINE OF CURB AND GUTTER TO REMAIN BOTH UP AND DOWN STREAM FROM THE CONSTRUCTION SITE.
30. PERMEABLE PAVERS AND SUB-BASE. REFER TO CIVIL DRAWINGS.
31. STOP SIGN. TO BE PROVIDED BY G.C. REFER TO CIVIL DRAWINGS FOR SITE / TRAFFIC SIGNAGE REQUIREMENTS.
32. CAST IN PLACE RAMP AND RETAINING WALL WITH STEEL PLATE WITH DOWNLIGHT BELOW RAILINGS. REFER TO STRUCTURAL DRAWINGS FOR WALL AND DETAILS ON A1.21 FOR DECORATIVE RAILINGS AND SPECIFICATION SECTION.
33. ASPHALT PAVING. REFER TO CIVIL DRAWINGS.
34. 6" CAST IN PLACE CURB WITHOUT GUTTER. REFER TO CIVIL DRAWINGS.
35. UNDERGROUND GREASE INTERCEPTOR. REFER TO CIVIL AND PLUMBING DRAWINGS.
36. METAL BROW STRUCTURE ABOVE SHOWN DASHED.
37. CONCRETE CURB AT LANDSCAPING BEDS. REFER TO SITE DETAILS.
38. 6X6 GUTTER AND 4X6 DOWNSPOUT TO LOWER ROOF TO CONCRETE SPLASH-BLOCK ON ROOF OR GRADE BELOW.
39. TRANSFORMER SCREENING FENCE & OPERABLE ACCESS GATE. REFER TO DETAILS 16 & 17/A1.21 FOR ADDITIONAL INFORMATION.
40. NOT USED.
41. "30 MINIMUM PARKING" SIGN. TO BE PROVIDED BY G.C. REFER TO CIVIL DRAWINGS FOR SITE / TRAFFIC SIGNAGE REQUIREMENTS.
42. V.M. ACCESSIBLE PARKING SIGNAGE POST. REFER TO DETAILS ON CIVIL DRAWINGS.
43. "DO NOT ENTER" SIGN TO BE PROVIDED BY G.C. REFER TO CIVIL DRAWINGS FOR SITE / TRAFFIC SIGNAGE REQUIREMENTS.
44. "NO PARKING / LOADING ZONE SIGN TO BE PROVIDED BY G.C. REFER TO CIVIL DRAWINGS FOR SITE / TRAFFIC SIGNAGE REQUIREMENTS.
45. TRASH AND GENERATOR ENCLOSURE. REFER TO ENLARGED PLANS FOR ADDITIONAL INFORMATION.
46. PROVIDE (1) CONTINUOUS 2 X 10 AROUND PERIMETER FOR WALL PROTECTION. VERIFY HEIGHT WITH OWNER.
47. LADDER. REFER TO SPECIFICATIONS AND DETAIL 1 / A1.52 FOR SIMILAR REQUIREMENTS.
48. SECTIONAL DOOR. REFER TO SPECIFICATION SECTION 08 36 00, AND SHEET A8.01.
49. HOLLOW METAL DOOR & FRAME. REFER TO SPECIFICATION SECTION 08 11 13 AND SHEET A8.01.
50. ROOF BELOW. REFER TO REFUSE ENCLOSURE ROOF PLAN.
51. MECHANICAL LOUVERS. REFER TO MECHANICAL DRAWINGS/GENERATOR SPECIFICATIONS.
52. GENERATOR. REFER TO ELECTRICAL & CIVIL DRAWINGS.
53. 42" TALL 1 1/2" DIAMETER STEEL PIPE GUARDRAIL W/ SWING GATE ADJACENT TO LADDER.
54. CONTRACTOR TO COORDINATE GENERATOR EXHAUST W/ SHOP DRAWINGS / MANUFACTURER REQUIREMENTS.
55. 36" x 36" 2-HOUR RATED HATCH DOOR. PROVIDE MODEL BILCO FR4 (OR EQUAL).

GENERAL SITE PLAN NOTES

- A. ALL CONTRACTORS & SUB-CONTRACTORS SHALL VISIT THE SITE PRIOR TO BIDDING AND DETERMINING ACTUAL SITE CONDITIONS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR SCORE THAT SHOULD HAVE BEEN ANTICIPATED.
- B. REFER TO CIVIL SHEETS FOR SCOPE OF WORK WITHIN THE DESIGNATED LOT THAT IS TO BE PROVIDED BY THE SITE WORK CONTRACTOR. WHERE THERE IS A DISCREPANCY AND/OR THERE ARE CONFLICTS OR OMISSIONS IN THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY AND REFRAIN FROM STARTING OR COMPLETING SUCH WORK UNTIL CLARIFICATION HAS BEEN ISSUED IN WRITING FROM THE AE.
- C. UNLESS NOTED OR SHOWN OTHERWISE, DIMENSIONS ON SITE PLAN ARE TO FACE OF CURB TO BUILDING SHEATHING AND / OR GRID LINES. DIMENSIONS SHOWN ON ARCHITECTURAL SITE PLAN ARE FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR LAYOUT AND DIMENSIONAL CONTROL PLAN.
- D. REFER TO CIVIL SHEETS INCLUDED IN THIS DOCUMENT SET FOR ALL WORK TO BE INCLUDED WITHIN SCOPE. WHERE CIVIL OR SITE MEP DRAWINGS REFERENCE "BY BUILDING CONTRACTOR" SHALL DESIGNATE WORK TO BE INCLUDED AS PART OF THIS CONTRACT FOR PROJECT SITE AND SHALL BE INCLUDED IN THIS CONTRACT.
- E. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ALL APPLICABLE PUBLIC RIGHT-OF-WAY IMPROVEMENTS.
- F. REFER TO CIVIL DRAWINGS FOR GRADING AND UTILITY INFORMATION.
- G. CONTRACTOR SHALL VERIFY ALL LOCATIONS OF EXISTING UTILITIES. CARE SHOULD BE TAKEN TO AVOID DAMAGE TO OR DISTURBANCE OF EXISTING-TO-REMAIN UTILITIES.
- H. REFER TO CIVIL DRAWINGS FOR FINISH FLOOR ELEVATIONS.
- I. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AT 1/4" PER FOOT. MINIMUM. DO NOT EXCEED MAXIMUM SLOPE OR CROSS-SLOPE REQUIREMENTS WHERE GRADE IS PART OF AN ACCESSIBLE ROUTE.
- J. ALL WORK SHALL CONFORM TO THE CITY OF MADISON, WI OR STATE OF WISCONSIN STANDARDS, CODES AND GUIDELINES. WHICHEVER IS MORE STRINGENT.
- K. ALL WORK SHOWN AT OUTSIDE PERIMETER OF BUILDING TO CURB SHALL FOLLOW THE CITY OF MADISON, WI OR STATE OF WISCONSIN STANDARDS AND GUIDELINES.
- L. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION BETWEEN CIVIL AND LANDSCAPE AND EXTENSION / CONNECTION TO WORK PROVIDED UNDER THIS CONTRACT.
- M. ANY DAMAGE OR DISRUPTION TO AREAS (OR BUILDINGS / STRUCTURES) ADJACENT TO OR OUTSIDE THE "LIMITS OF CONSTRUCTION" SUCH AS SIDEWALKS, STREET CURBS, PAVEMENT, UNDERGROUND OR ABOVE GROUND UTILITY STRUCTURES, ETC. SHALL BE REPAIRED TO "AS NEW" CONDITIONS IN ACCORDANCE WITH THE CITY OF MADISON, WI STANDARDS, AND PERFORMED BY A CITY LICENSED CONTRACTOR.
- N. ALL DAMAGE TO STREET PAVEMENT ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON, WI. PAVEMENT PATCHING CRITERIA.
- O. REFER TO CIVIL SHEETS AND ARCHITECTURAL SHEETS A0.04 AND A0.02 FOR SITE PAVING DETAILS INCLUDING BUT NOT LIMITED TO CONCRETE CURBS, SIDEWALK JOINTS, PAVING SECTIONS, BARRIER-FREE RAMPS, HANDICAP STRIPING & SIGN DETAILS, AND WHEEL STOPS.
- P. REFER TO ENLARGED ARCHITECTURAL PLAN SHEETS 10A.1.11 & 10A.1.12 FOR ADDITIONAL INFORMATION ON EXTERIOR PATIOS.
- Q. ALL CONTRACTORS SHALL COORDINATE WITH DRY AND WET UTILITY COMPANIES TO DETERMINE EXTENT OF WORK REQUIRED. ANY EXISTING IMPROVEMENTS THAT ARE AFFECTED DURING THE COURSE OF UTILITY WORK, INCLUDING BUT NOT LIMITED TO LANDSCAPING, STREETS, SIDEWALKS, ETC. SHALL BE RETURNED TO EXISTING OR BETTER CONDITION.
- R. SITE PLUMBING / UTILITY CONTRACTOR SHALL VERIFY AND MARK THE LOCATION OF EXISTING SANITARY & SEWER LINE WITHIN THE PROPERTY PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT / CIVIL ENGINEER IMMEDIATELY OF ANY DISCREPANCY IF THEY IMPACT THE CONSTRUCTION OF THE PROJECT.
- S. THE SITE SHALL BE FENCED OFF AND THE EXTENT OF THIS AREA SHALL BE COORDINATED WITH OWNER.
- T. THE ARCHITECT / CIVIL ENGINEER SHALL OBTAIN BUILDING PERMIT. ALL ADDITIONAL PERMITS AND TRADE PERMITS & INSPECTIONS AND FEES (SUCH AS FIRE SPRINKLER, ELECTRICAL, PLUMBING, TAP FEES, STREET OR LANE CLOSURES) SHALL BE THE RESPONSIBILITY OF THE SUB-CONTRACTORS.
- U. COORDINATE TRAFFIC CONTROL AND LANE CLOSURES WITH AUTHORITIES HAVING JURISDICTION (M.U.) / OWNER.
- V. ALL SITE DEMOLITION AND REMOVAL SHALL COMPLY WITH ALL APPLICABLE REGULATIONS AND REQUIREMENTS FOR DISPOSAL.
- W. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN CURB AND SIDEWALK AND EXTEND AT LEAST 5'-0" FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5'-0" OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5'-0" OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT WISCONSIN FORESTRY PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY OF MADISON, WI FORESTRY.
- X. REPLACE ALL SIDEWALK CURB AND GUTTER ABUTTING THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK CURB AND GUTTER WHICH BY THE DETERMINATION OF THE CITY ENGINEER, NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO THE BEGINNING OF CONSTRUCTION.
- Y. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
- Z. ANY DAMAGE ON ADJACENT PROPERTIES SHALL BE REPAIRED BY THE GENERAL CONTRACTOR AT NO EXPENSE TO THE OWNER.
- AA. REFER TO CIVIL DRAWINGS FOR PROPERTY LINES AND EASEMENTS.
- BB. SIDEWALK WORK COMPLETED AT THE RIGHT-OF-WAY SHALL MATCH ADJACENT SIDEWALK AND HAVE EXPOSED AGGREGATE IN ACCORDANCE WITH SPECIFICATIONS PROVIDED BY THE CITY. THE STONE USED AS EXPOSED AGGREGATE SHALL BE APPROVED BY THE CITY. REFER TO CIVIL DRAWINGS.
- CC. ALL STREET TREE PLANTING LOCATIONS AND TREE SPECIES WITHIN THE RIGHT-OF-WAY SHALL BE REVIEWED BY AND PERMITTED BY THE CITY ENGINEER OR FORESTRY DEPARTMENT.
- DD. CONTRACTOR IS REQUIRED TO INSTALL STREET / TRAFFIC SIGNS PER THE CITY OF MADISON, WI REQUIREMENTS. REFER TO CIVIL DRAWINGS.
- EE. REFER TO CIVIL/PLUMBING AND LANDSCAPING DRAWINGS FOR REQUIRED PLANTER IRRIGATION.



2 SLAB-ON-GRADE SNOW MELT EXTENTS PLAN
1/8" = 1'-0"



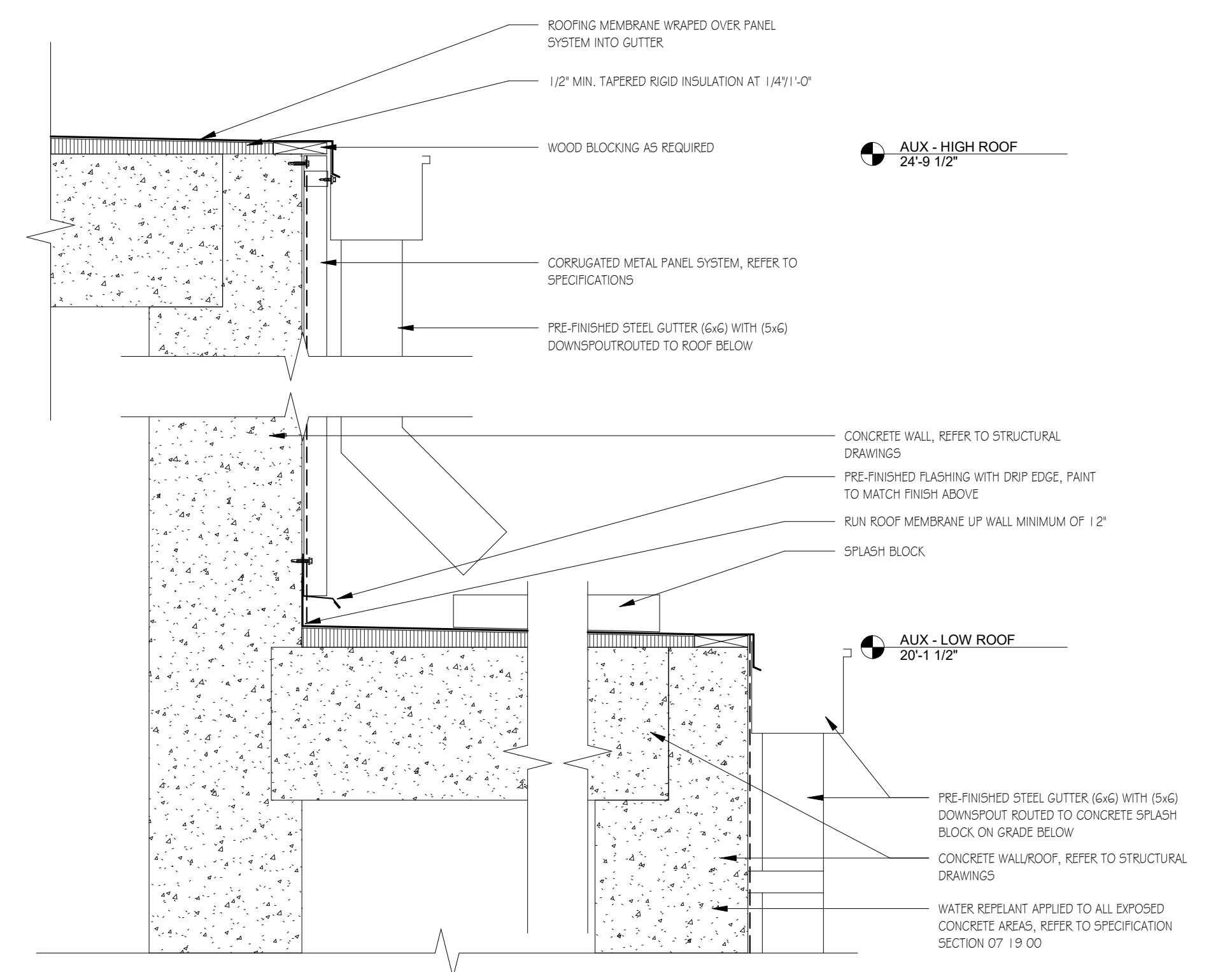
1 ARCHITECTURAL SITE PLAN
1" = 10'-0"

PROJECT: MOXY HOTEL
823 EAST WASHINGTON AVENUE
MADISON, WISCONSIN 53703
CLIENT: MM EAST WASHINGTON, LLC.
1600 ASPEN COMMONS, SUITE 200
MIDDLETON, WISCONSIN 53562

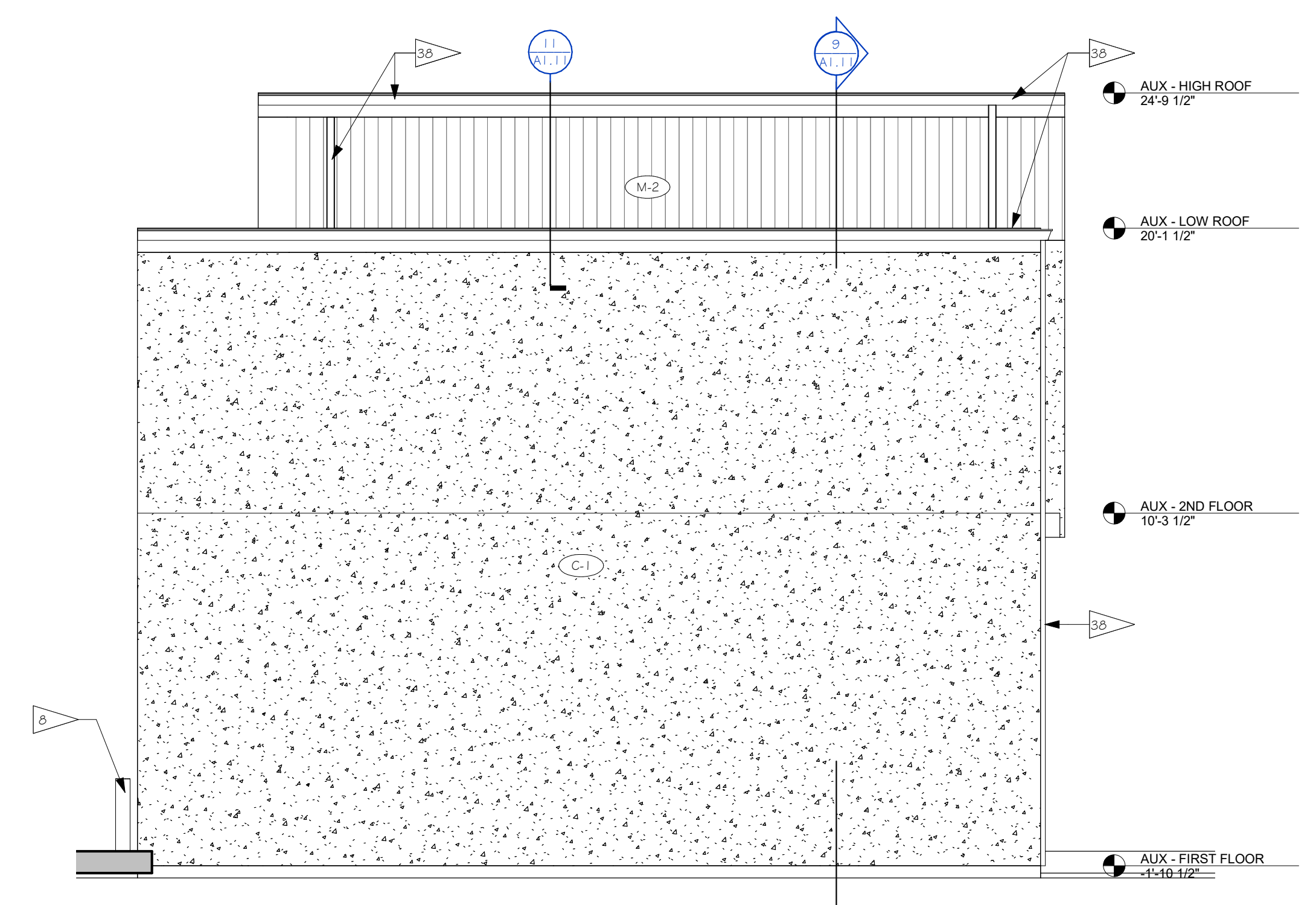
PROJECT: 201926
DRAWN BY: Author
DATE: 04/09/2021
SCALE: AS NOTED

30% SET 10/12/2020
MI 60% SET 04/09/2021
MI 90% SET 06/14/2021
MI 100% SET 06/15/2022

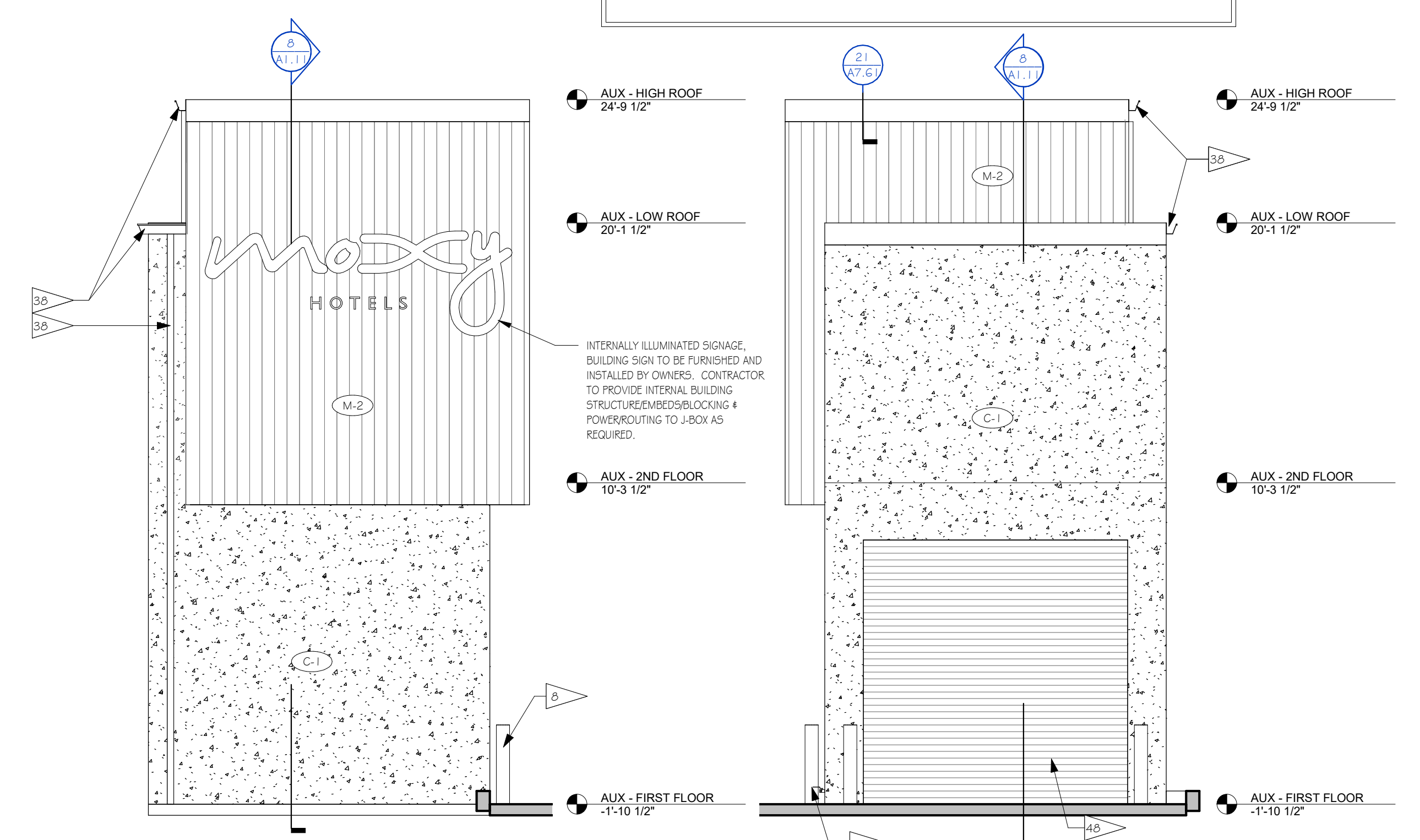
NOTE:
1. REFER TO SHEETS A1.01 FOR GENERAL SITE PLAN NOTES, AND SITE PLAN KEY NOTES.



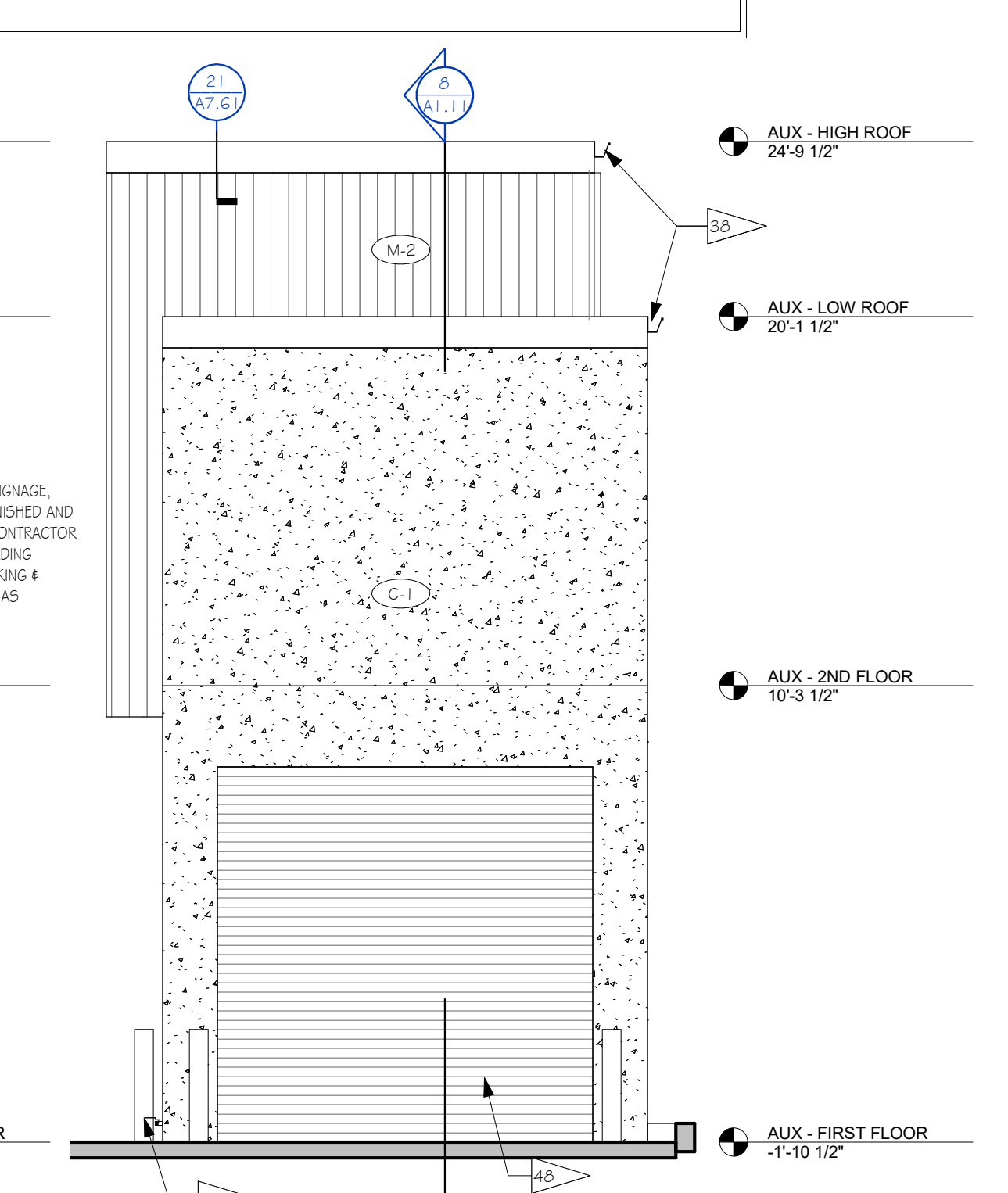
11 DETAIL - REFUSE ENCLOSURE LOW/HIGH ROOF
1 1/2" = 1'-0"



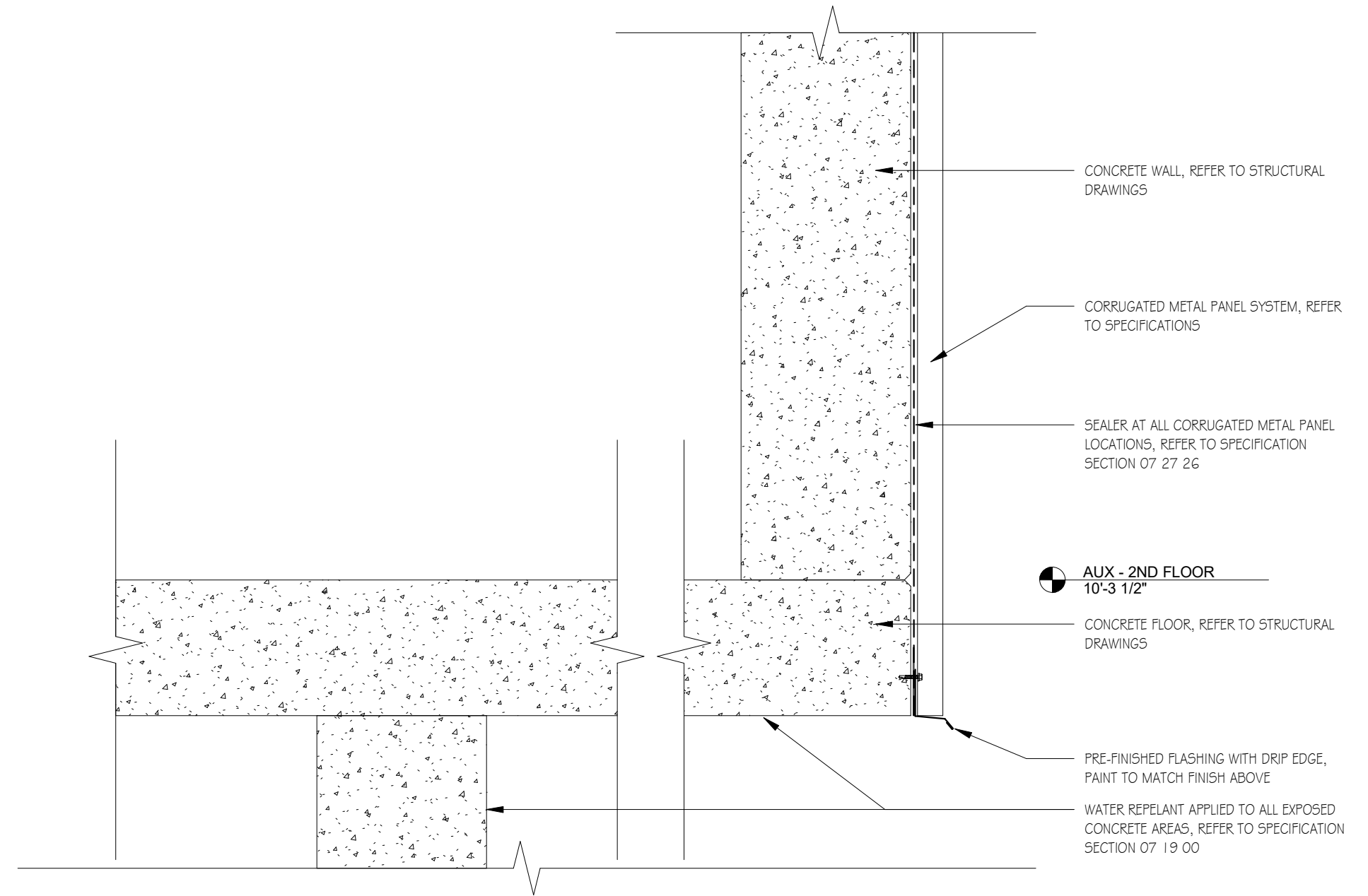
7 REFUSE ENCLOSURE SOUTH ELEVATION
1/4" = 1'-0"



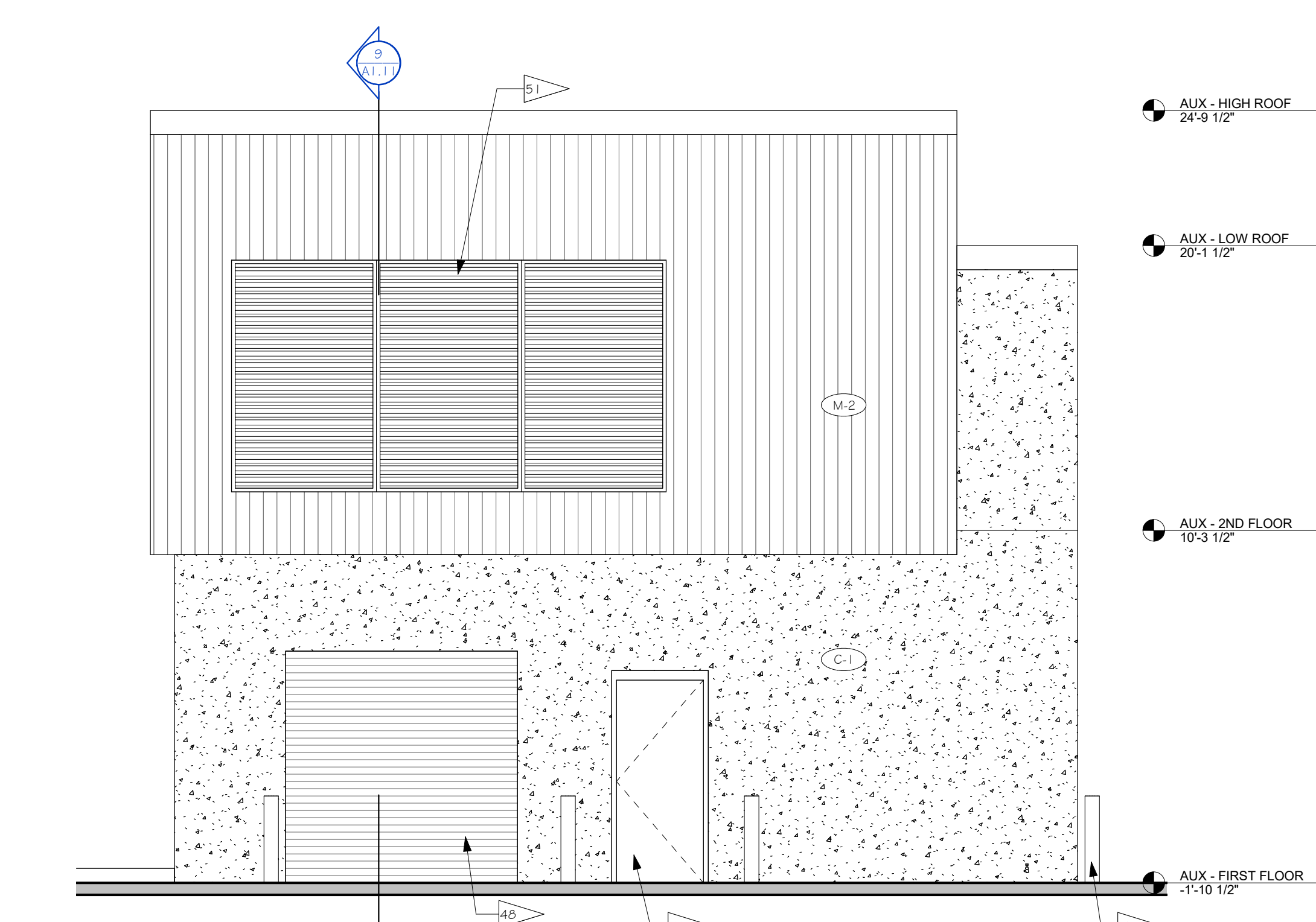
5 REFUSE ENCLOSURE EAST ELEVATION
1/4" = 1'-0"



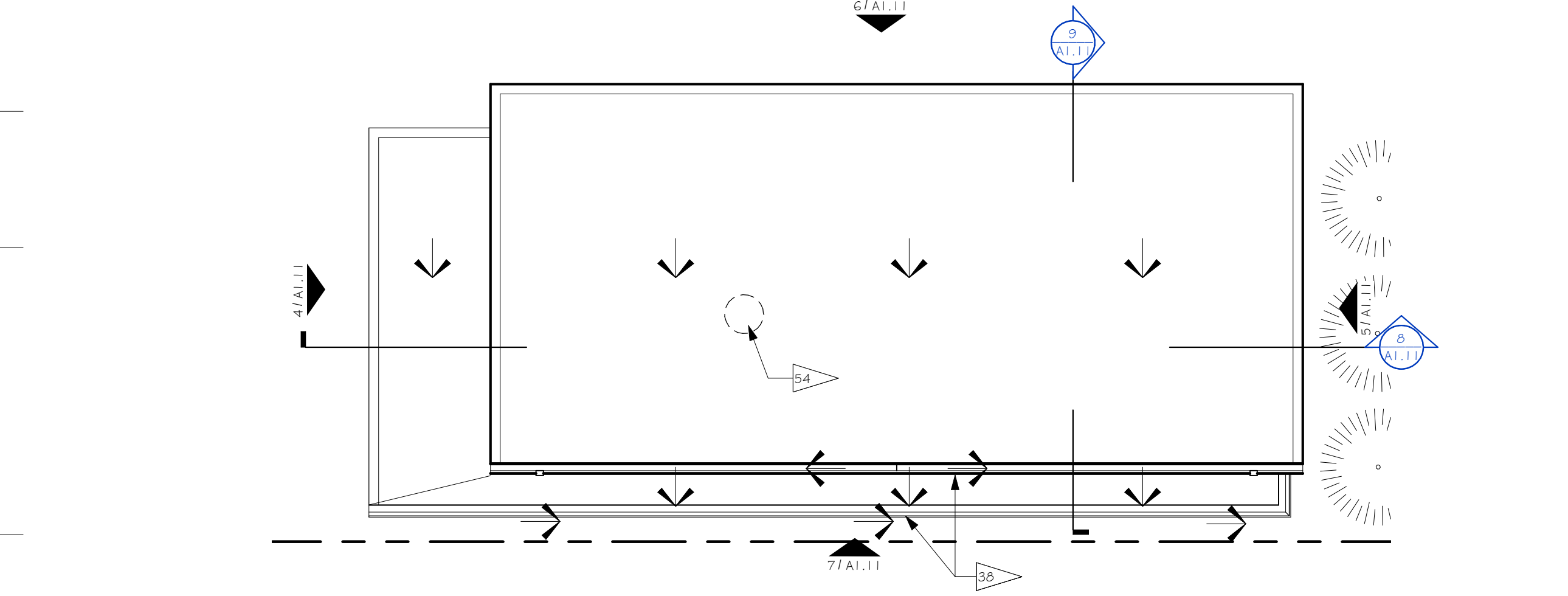
4 REFUSE ENCLOSURE WEST ELEVATION
1/4" = 1'-0"



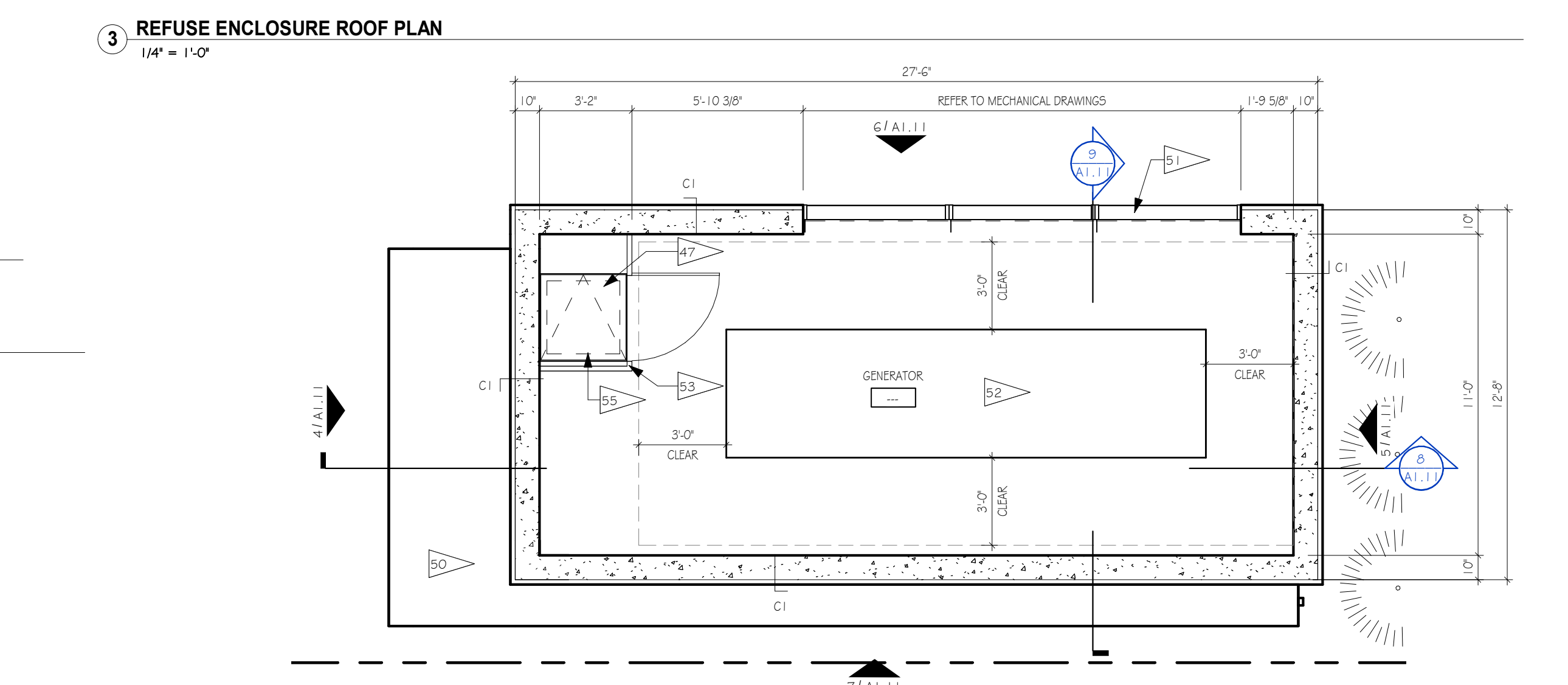
10 DETAIL - CORRUGATED METAL AT 2ND FLOOR
1 1/2" = 1'-0"



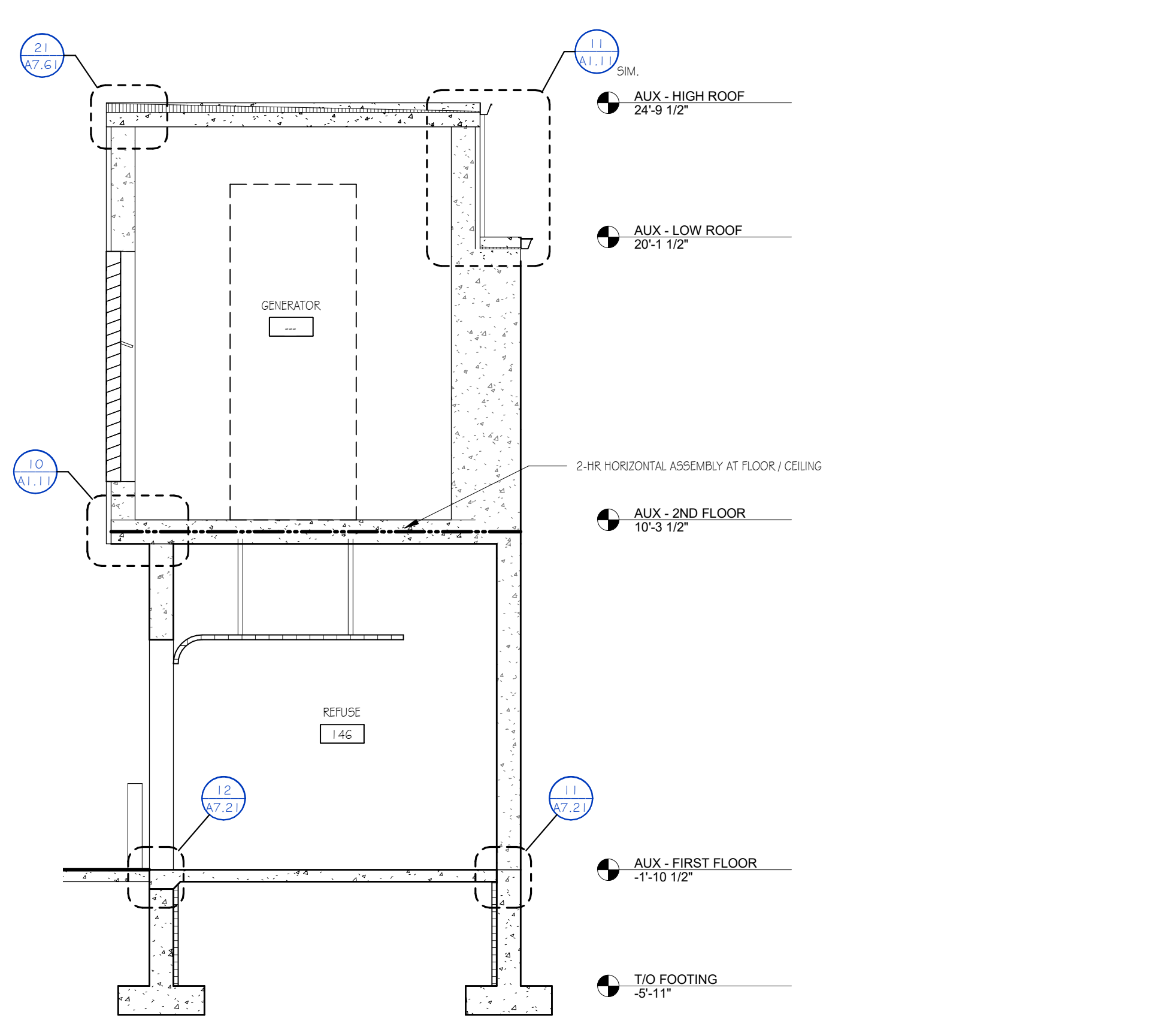
6 REFUSE ENCLOSURE NORTH ELEVATION
1/4" = 1'-0"



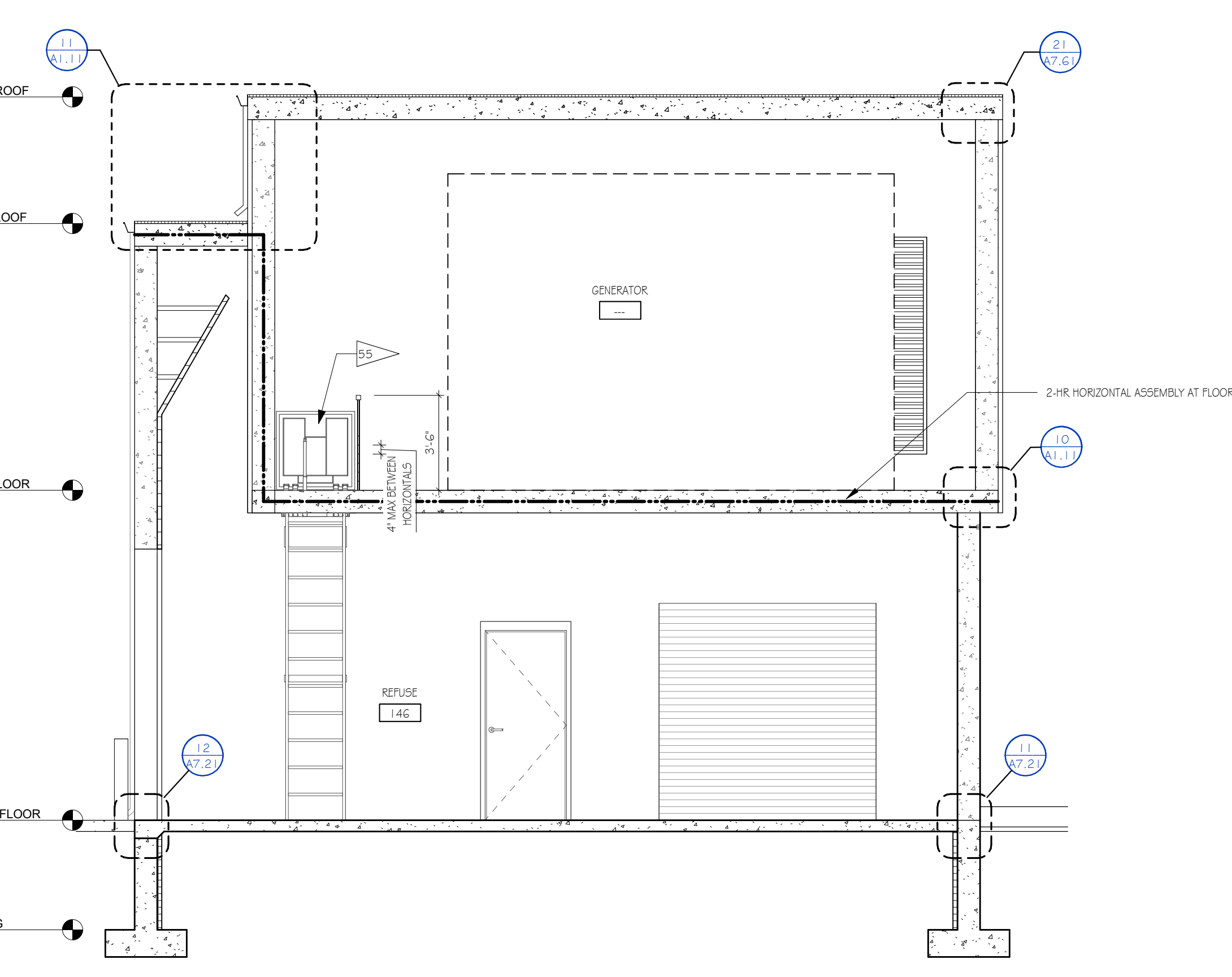
3 REFUSE ENCLOSURE ROOF PLAN
1/4" = 1'-0"



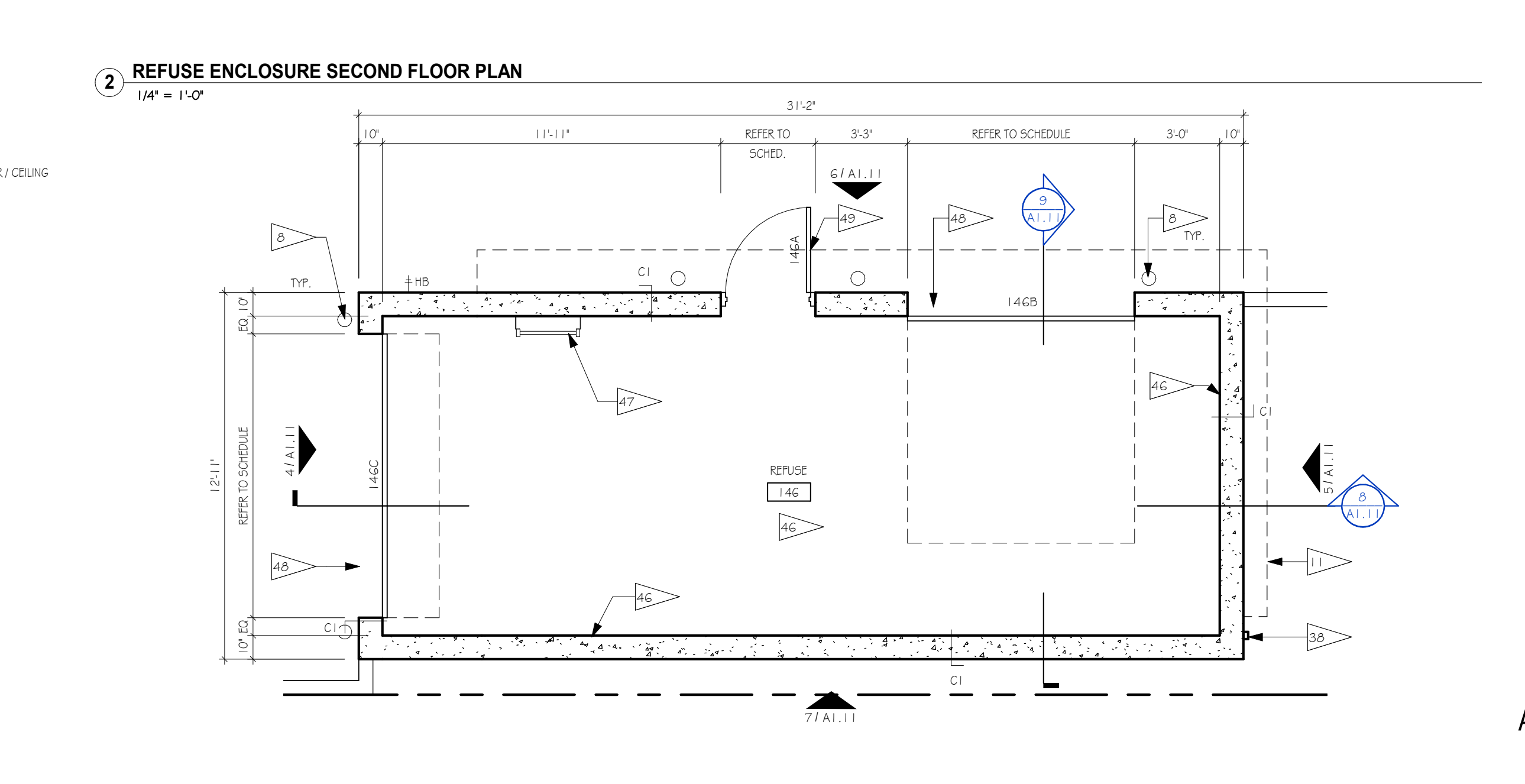
2 REFUSE ENCLOSURE SECOND FLOOR PLAN
1/4" = 1'-0"



9 SECTION - REFUSE ENCLOSURE B
1/4" = 1'-0"



8 SECTION - REFUSE ENCLOSURE A
1/4" = 1'-0"



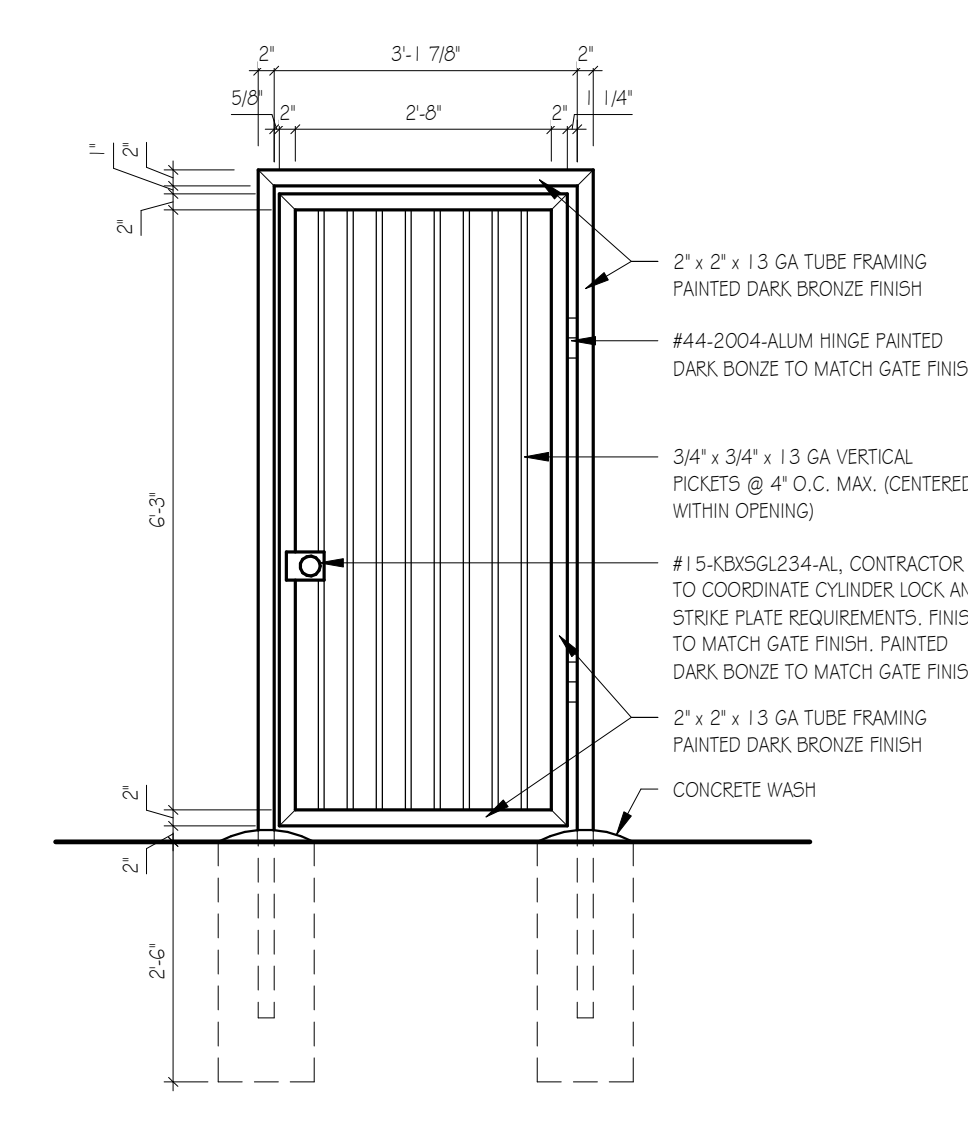
1 REFUSE ENCLOSURE FIRST FLOOR PLAN
1/4" = 1'-0"

PROJECT: **MOXY HOTEL**
825 EAST WASHINGTON AVENUE
MADISON, WISCONSIN 53703
CLIENT: **MM EAST WASHINGTON, LLC.**
1600 ASPEN COMMONS, SUITE 200
MIDDLETON, WISCONSIN 53562

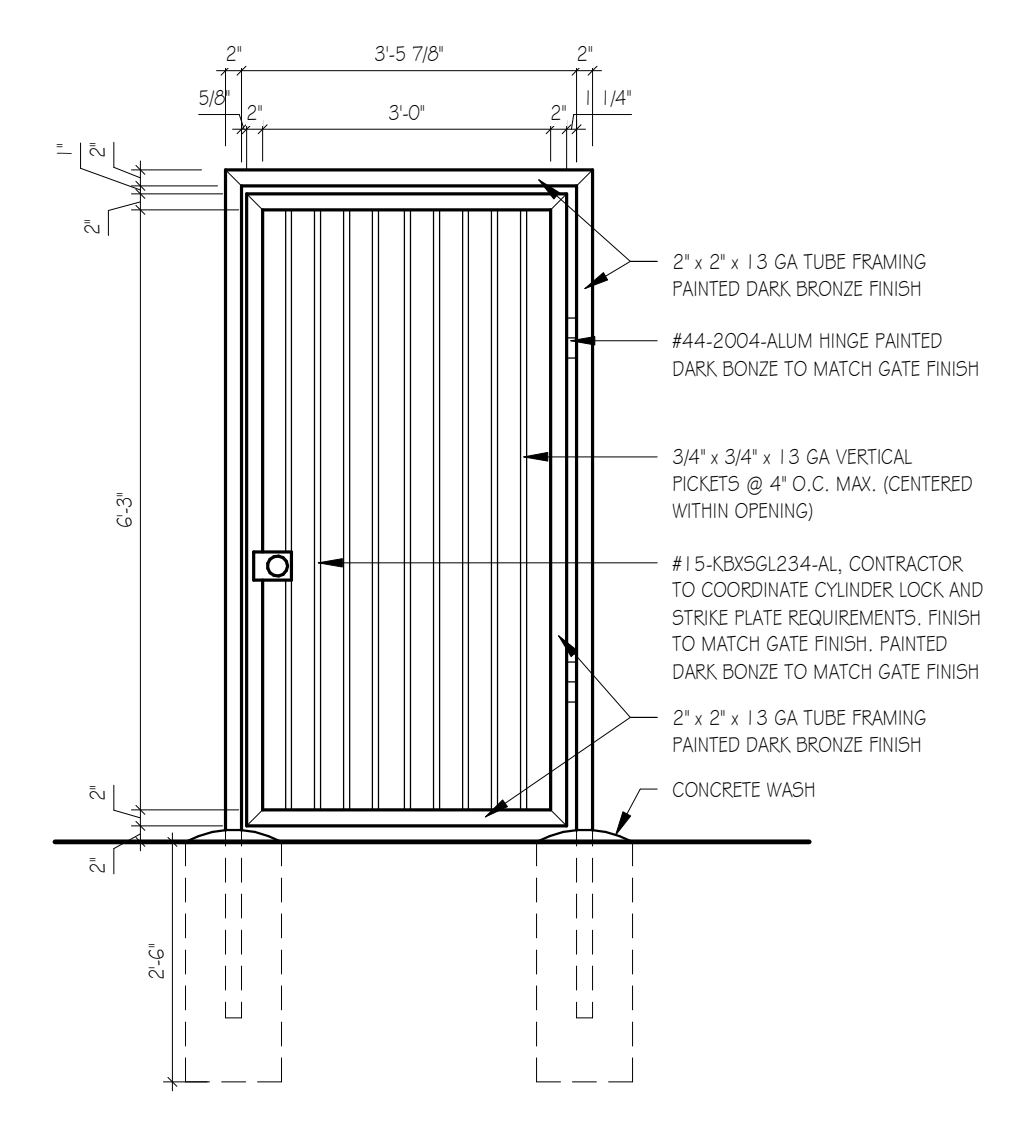
PROJECT: 201926
DRAWN BY: Author
DATE: 04/09/2021
SCALE: AS NOTED
MI 60% SET 04/09/2021
MI 90% SET 06/14/2021
MI 100% SET 06/15/2022

ENLARGED
ARCHITECTURAL SITE
PLAN

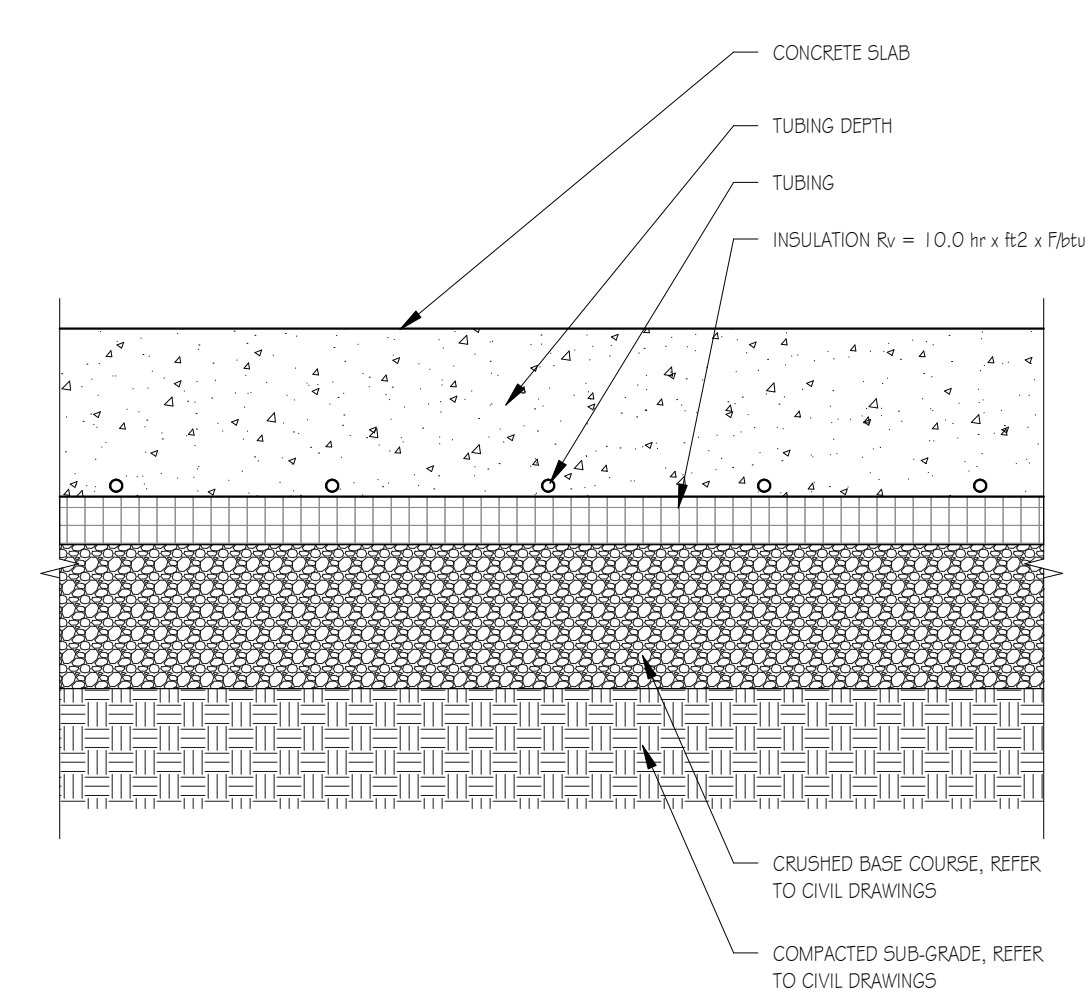
A1.11



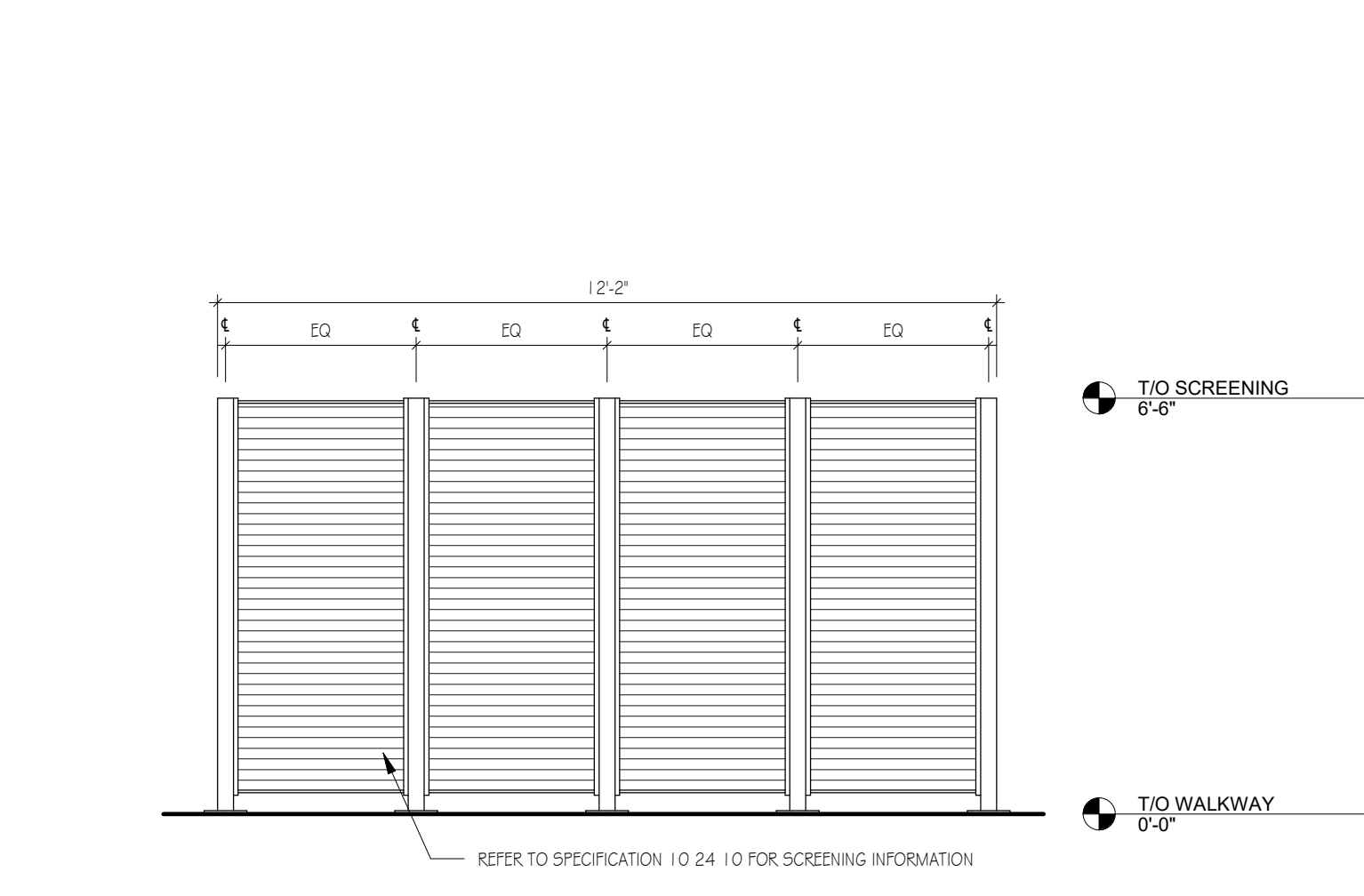
20 ELEVATION - ALUMINUM GATE - WEST
1/2" = 1'-0"



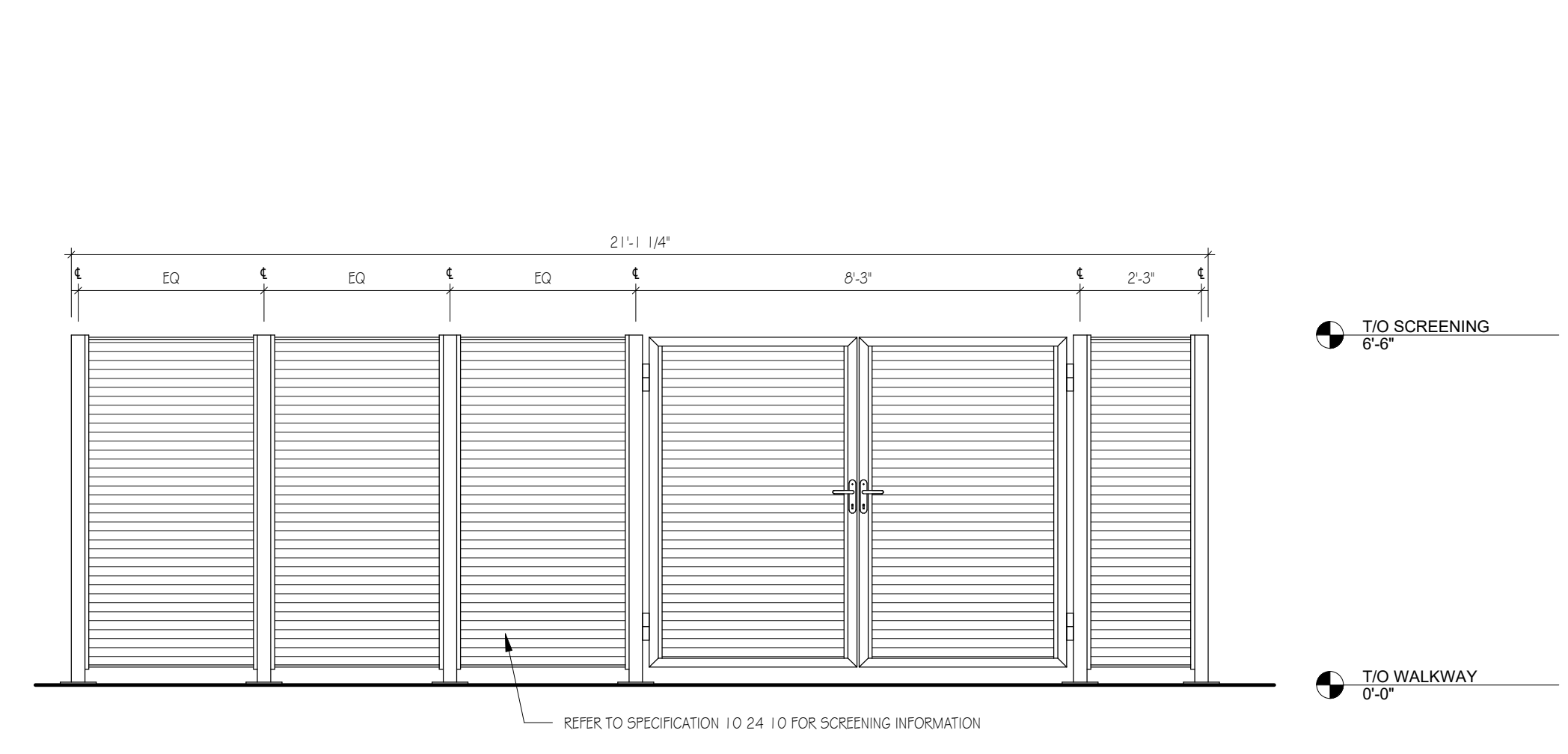
19 ELEVATION - ALUMINUM GATE - EAST
1/2" = 1'-0"



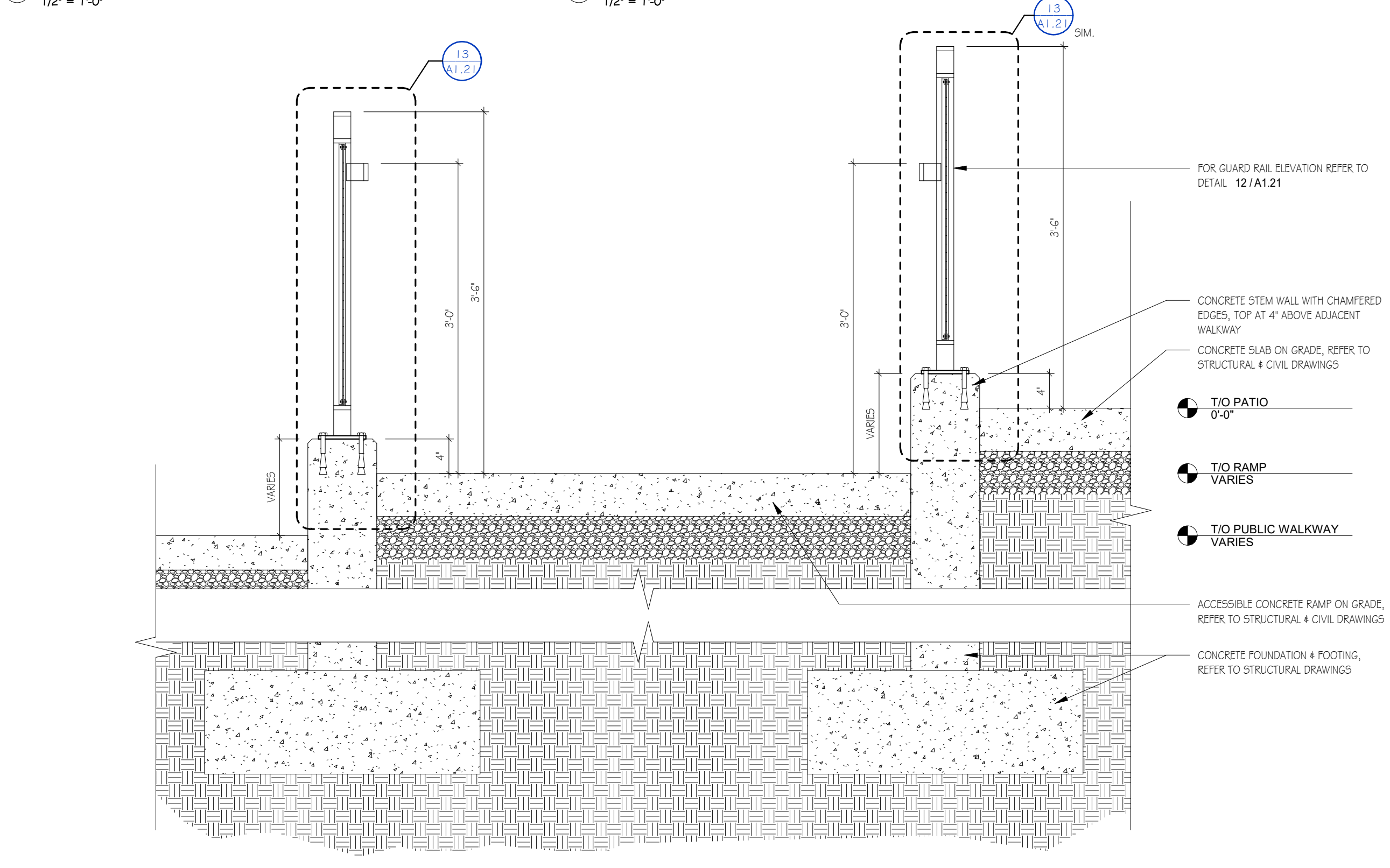
18 RADIANT HEATING WITHIN S.O.G.
1 1/2" = 1'-0"



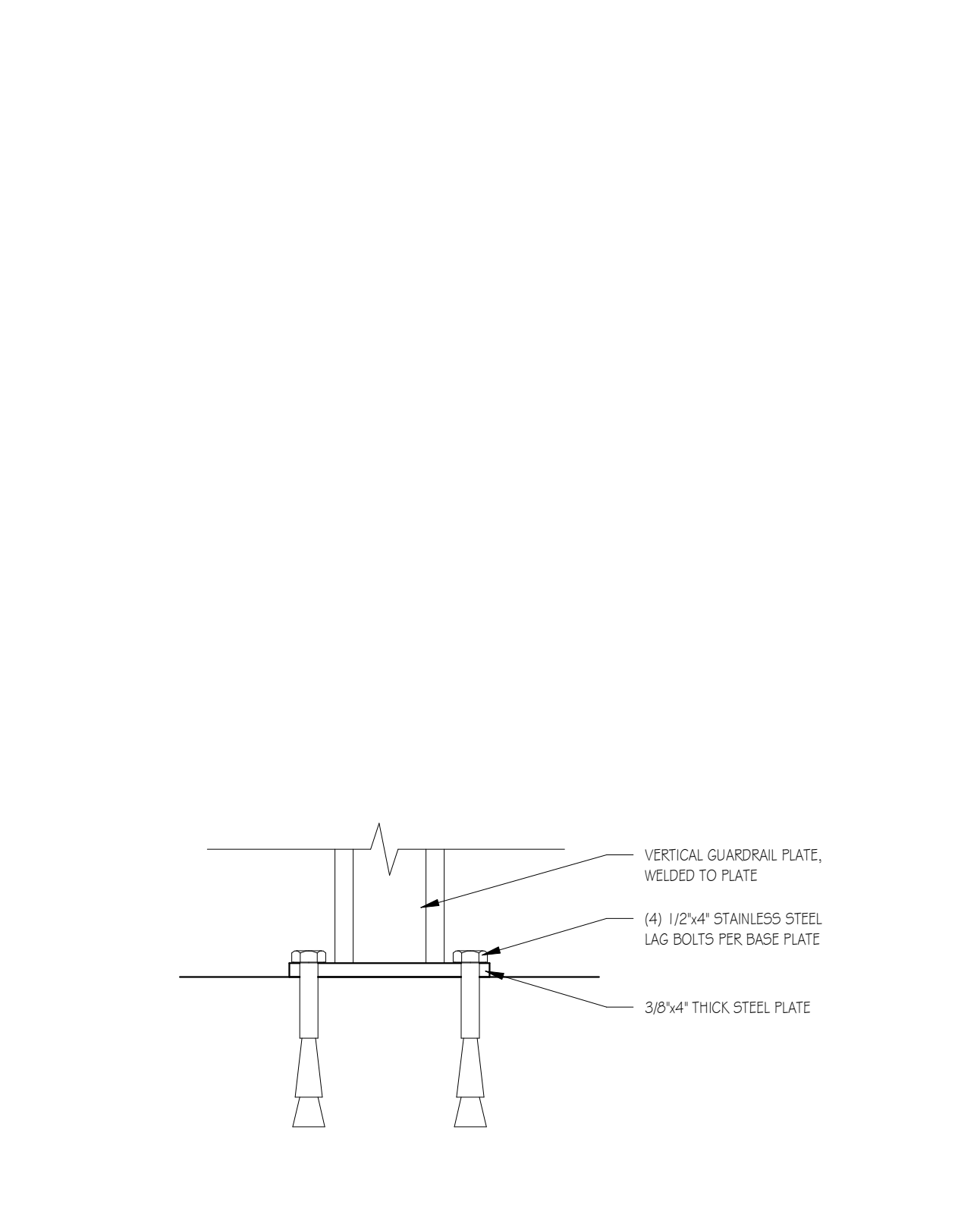
17 TRANSFORMER ENCLOSURE - EAST ELEVATION
3/8" = 1'-0"



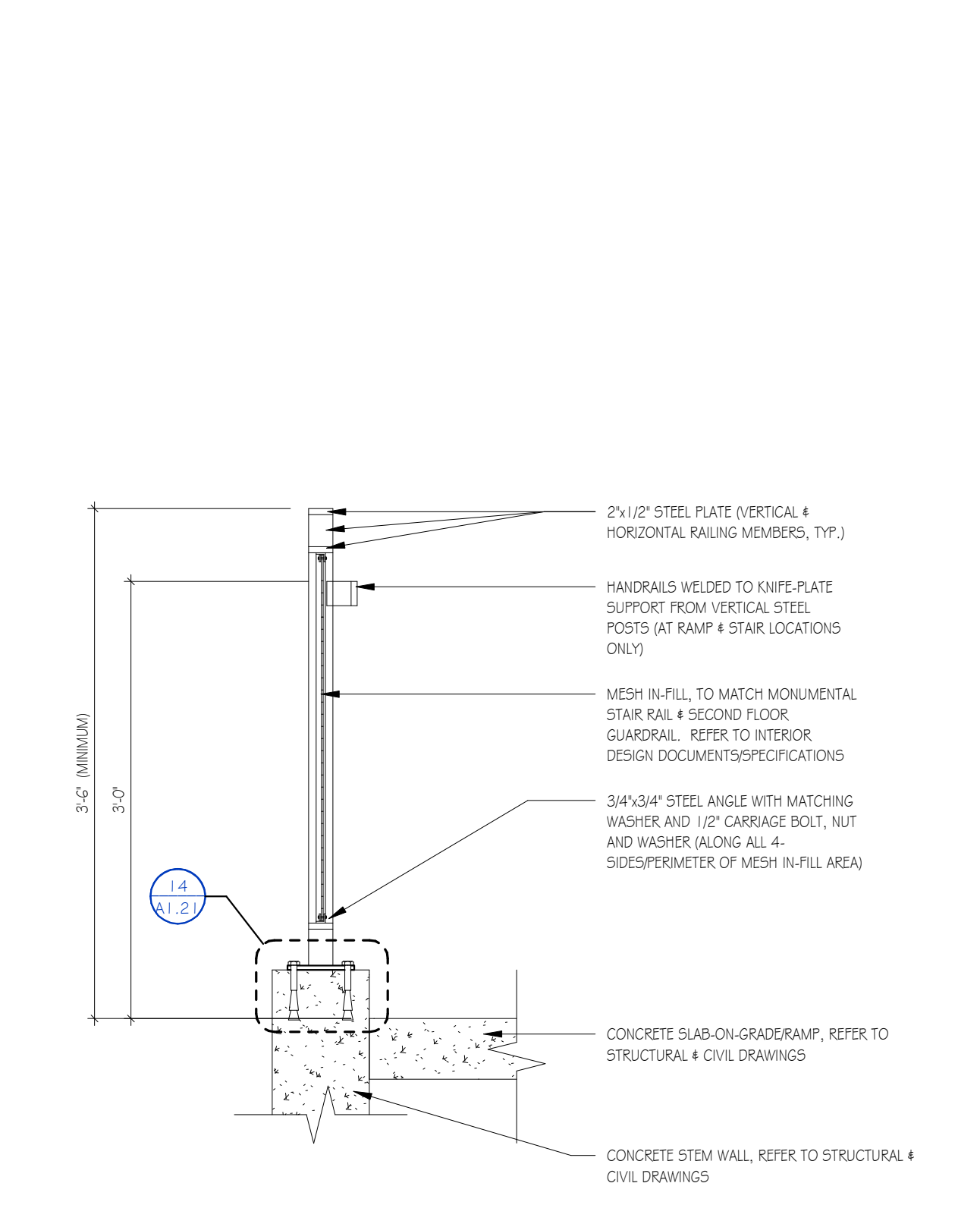
16 TRANSFORMER ENCLOSURE - SOUTH ELEVATION
3/8" = 1'-0"



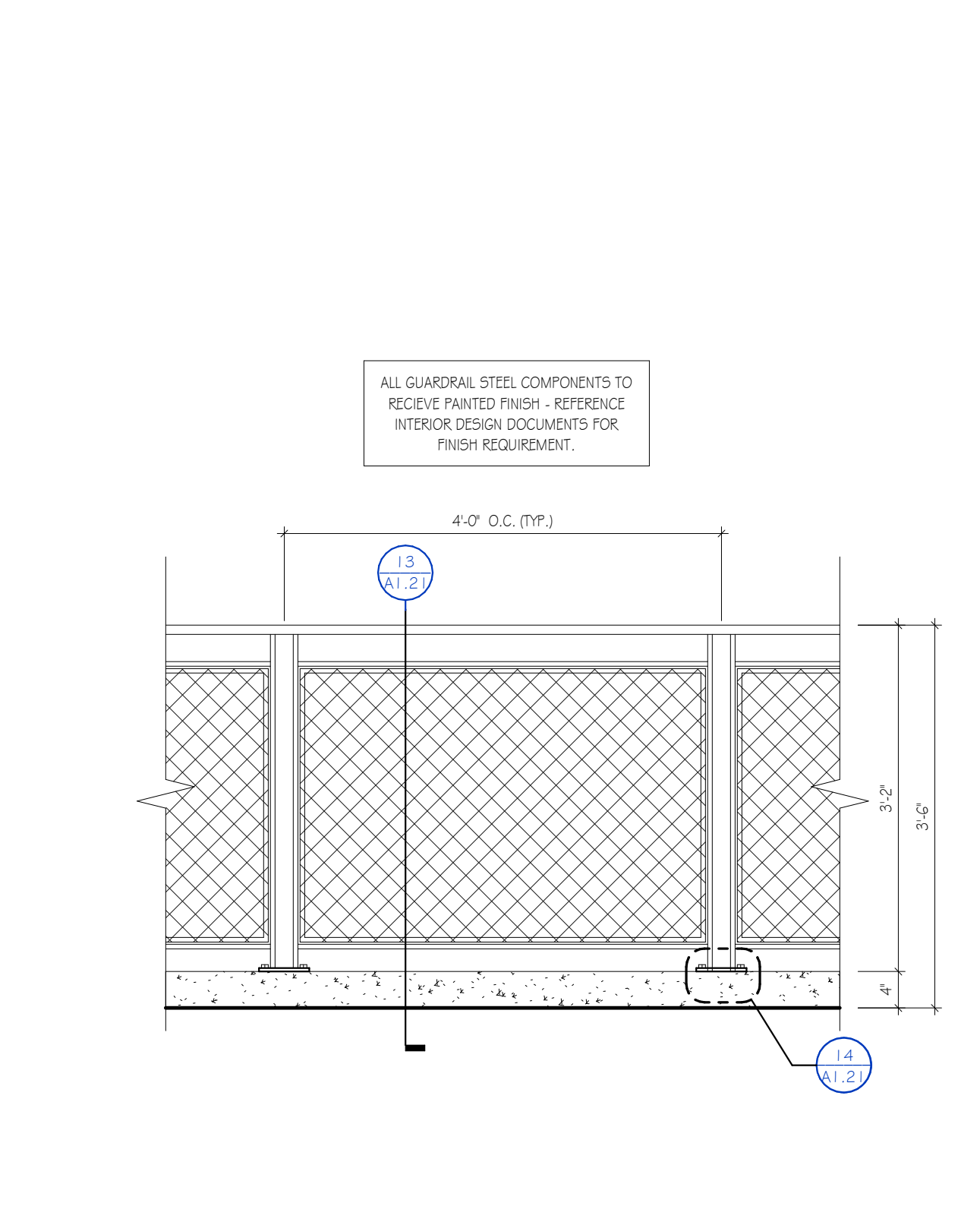
15 A120 - SECTION THROUGH PATIO & RAMP
1" = 1'-0"



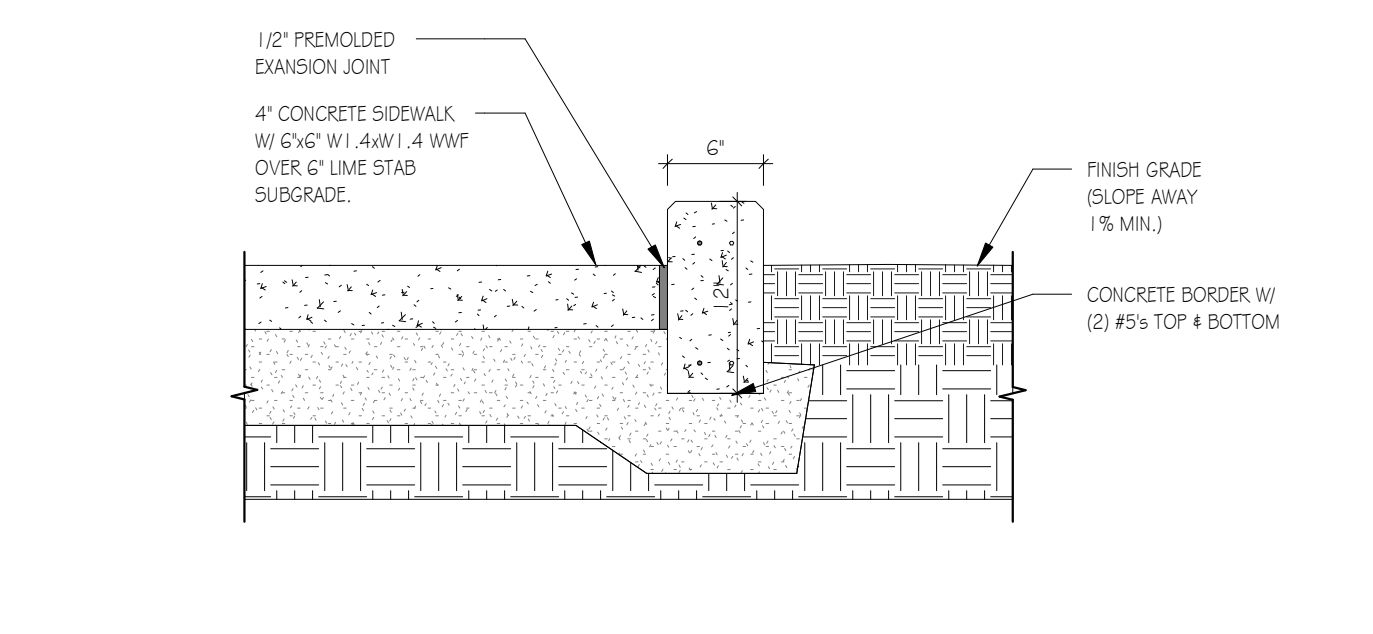
14 EXTERIOR GUARD RAIL - FLOOR MOUNTED POST/PLATE CONNECTION DETAIL
3" = 1'-0"



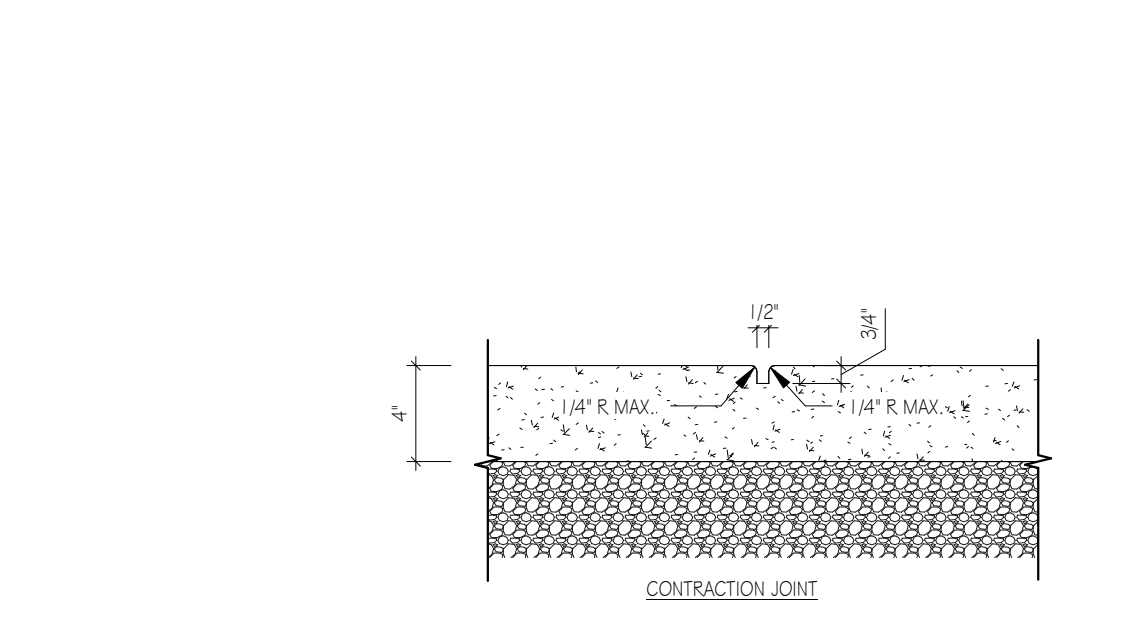
13 EXTERIOR GUARD RAIL - FLOOR MOUNTED SECTION
1" = 1'-0"



12 EXTERIOR GUARD RAIL - FLOOR MOUNTED ELEVATION
3/4" = 1'-0"



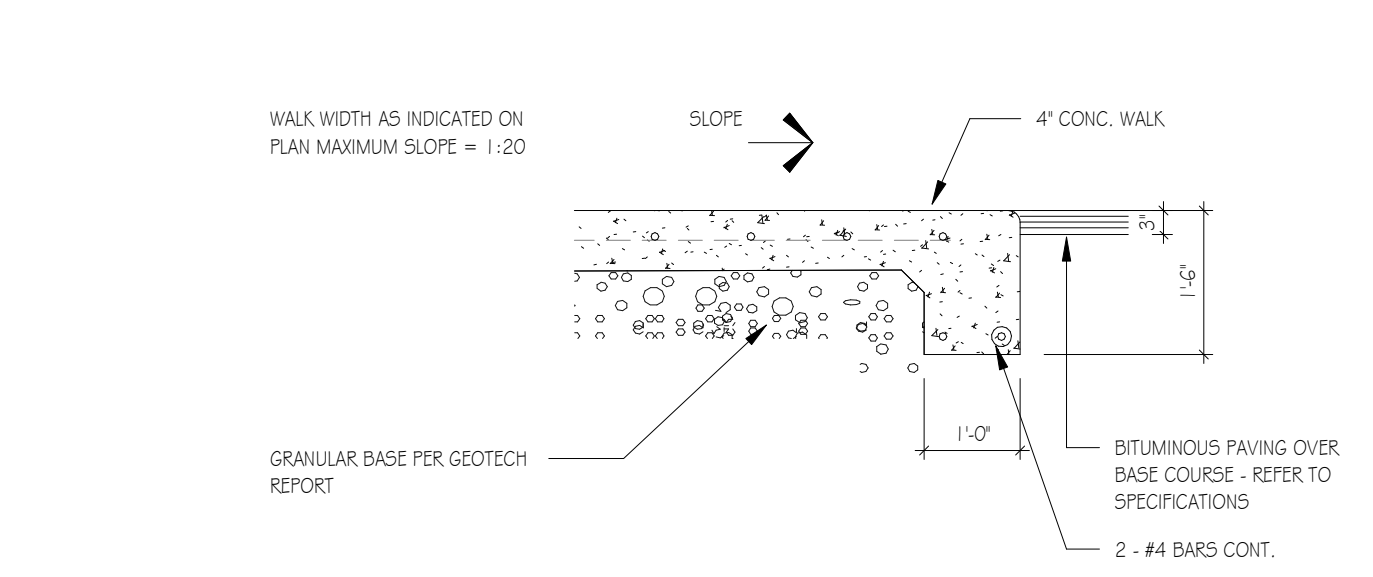
11 LANDSCAPE BED DETAIL
1" = 1'-0"



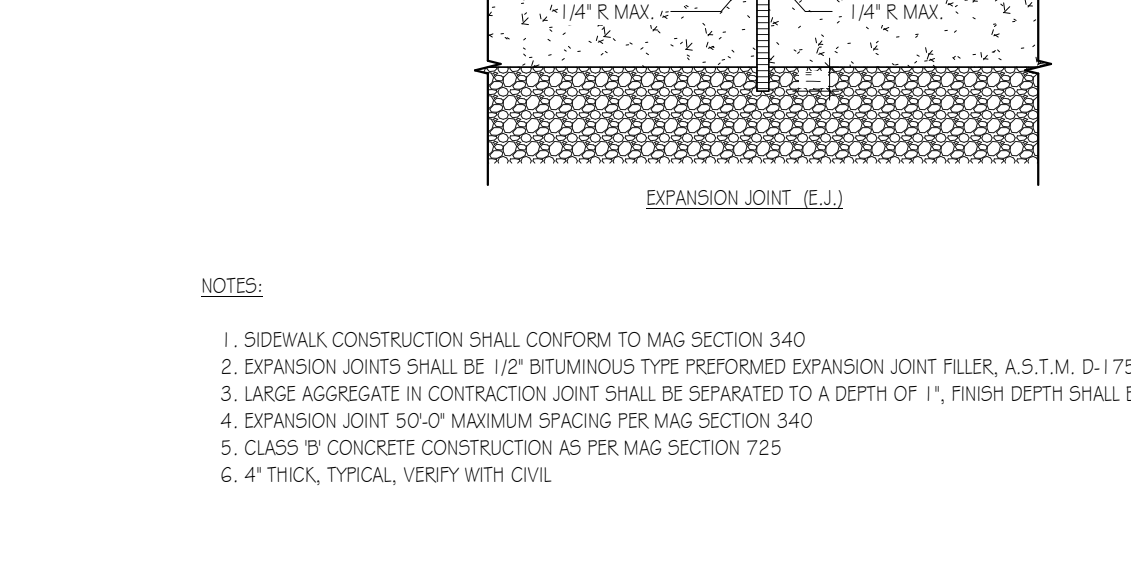
9 CONCRETE SIDEWALK TYPICAL JOINT DETAILS
1 1/2" = 1'-0"



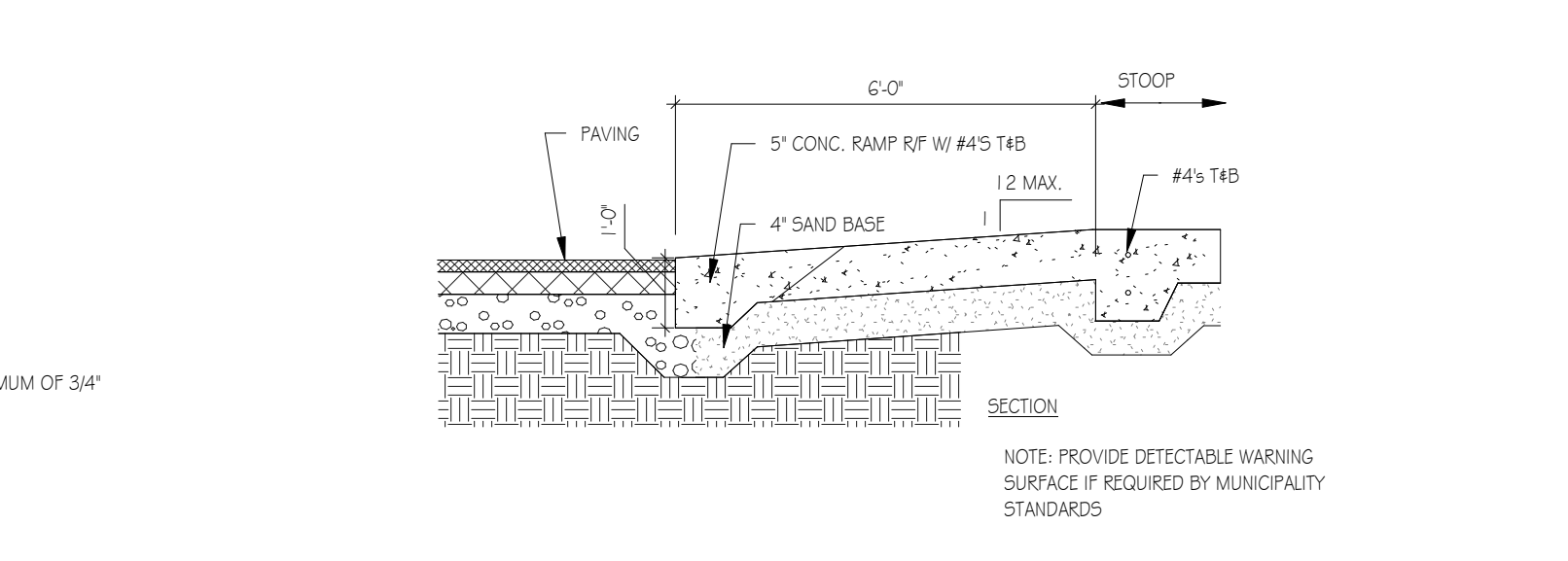
8 CONCRETE SIDEWALK CURB RAMP
3/8" = 1'-0"



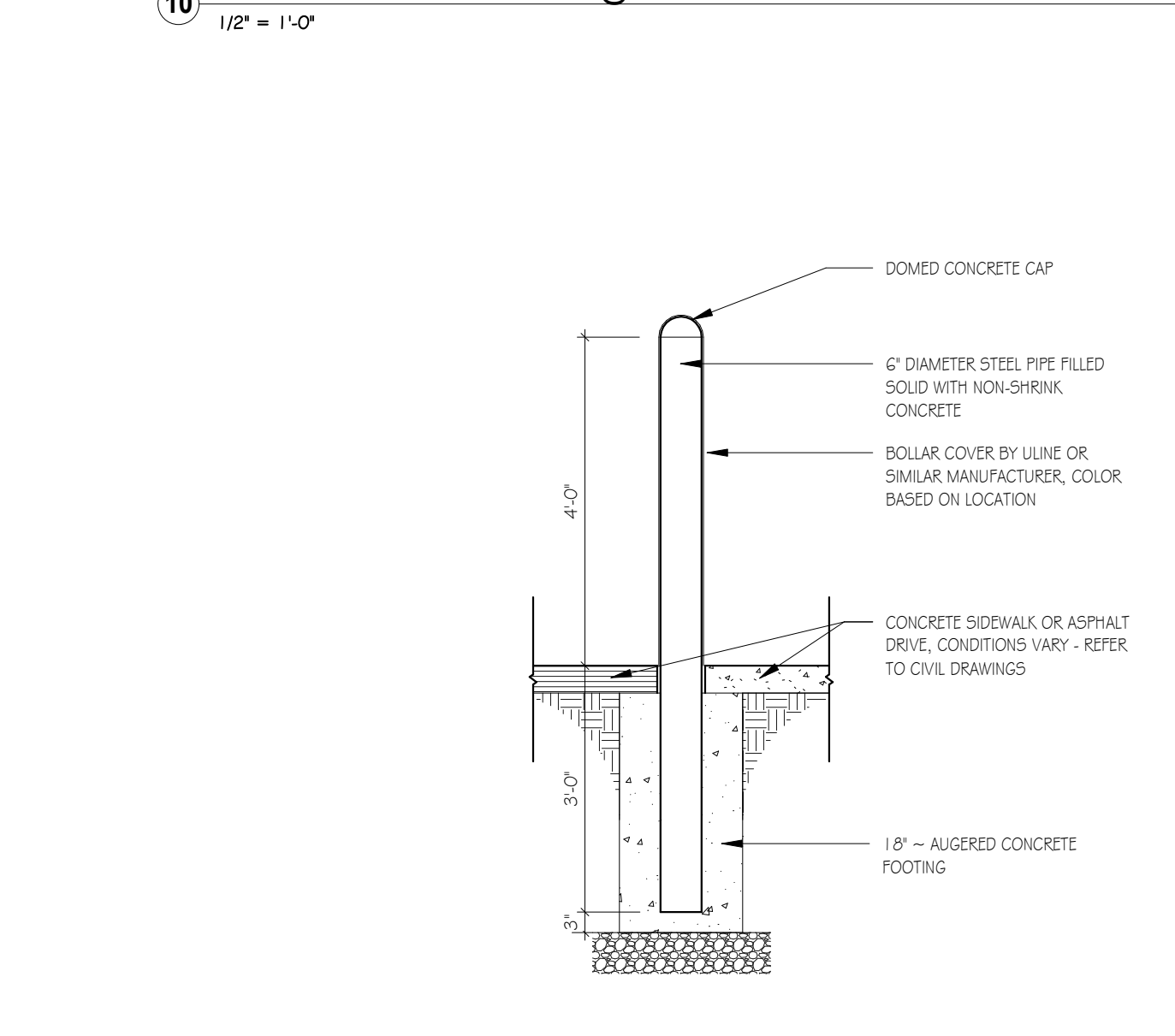
10 CONCRETE THICKENED EDGE @ DROP OFF DETAIL
1/2" = 1'-0"



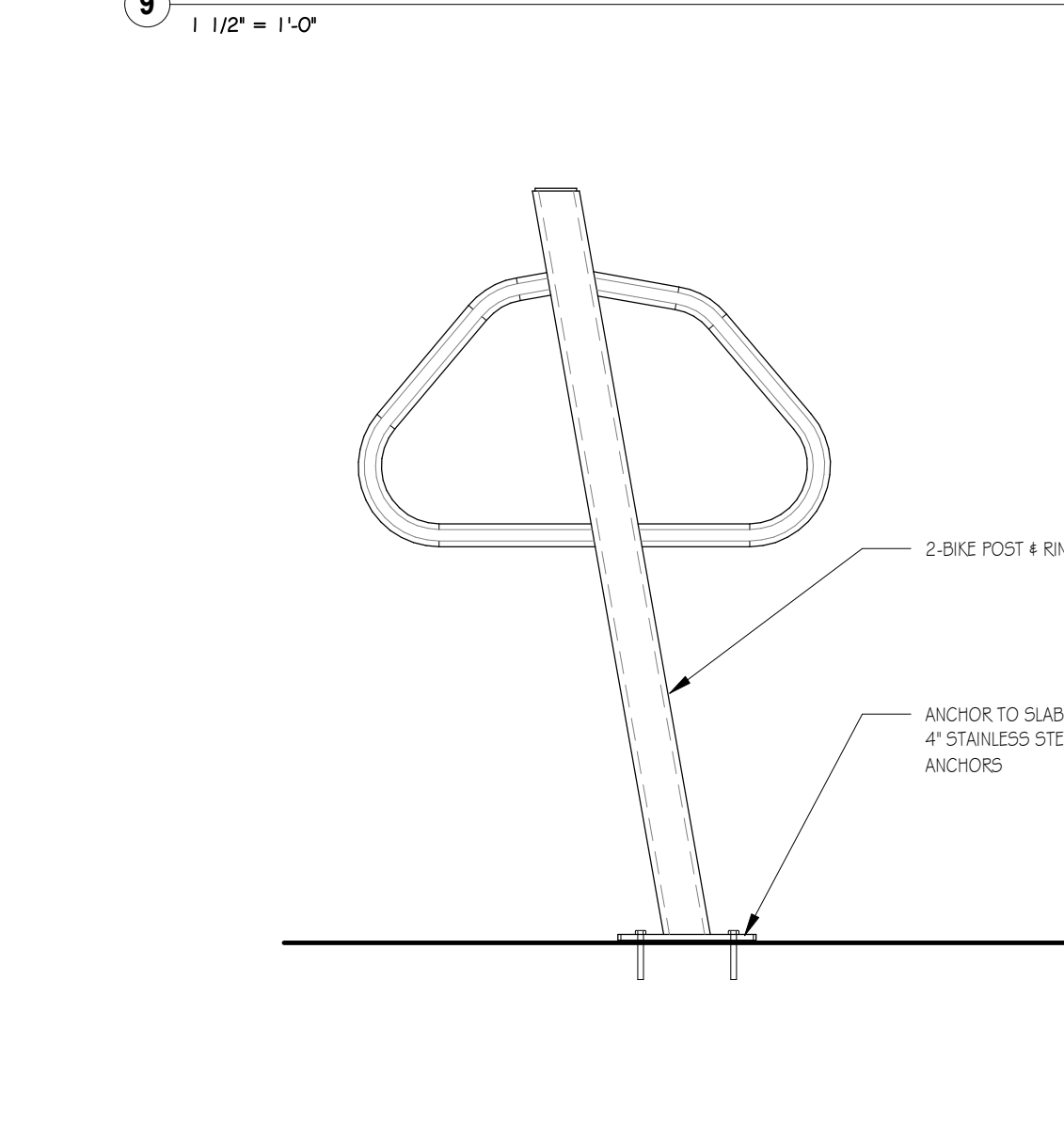
7 CONCRETE CURB & GUTTER DETAIL
1/2" = 1'-0"



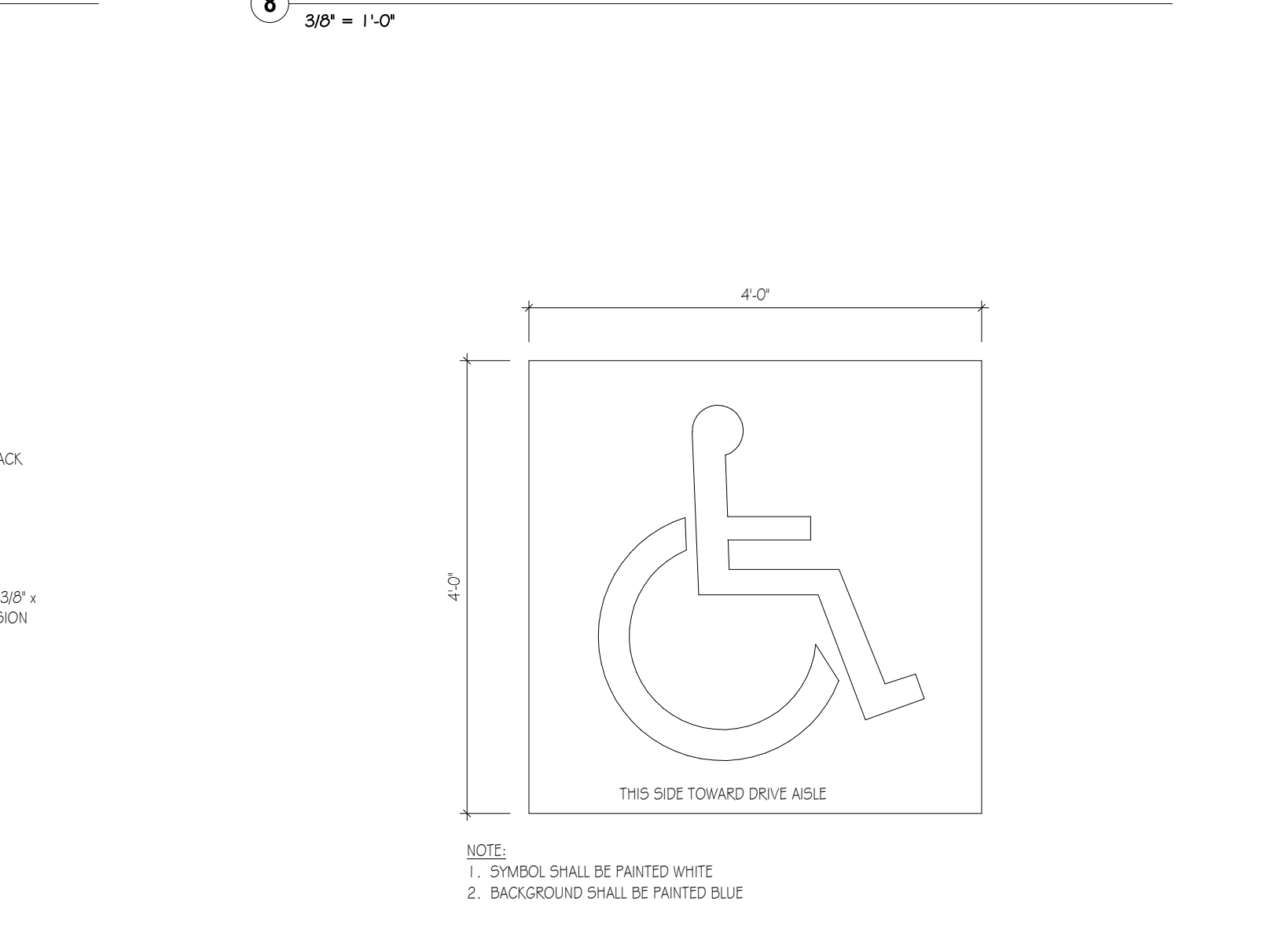
6 CONCRETE CAST IN PLACE CURB WITHOUT GUTTER
1/2" = 1'-0"



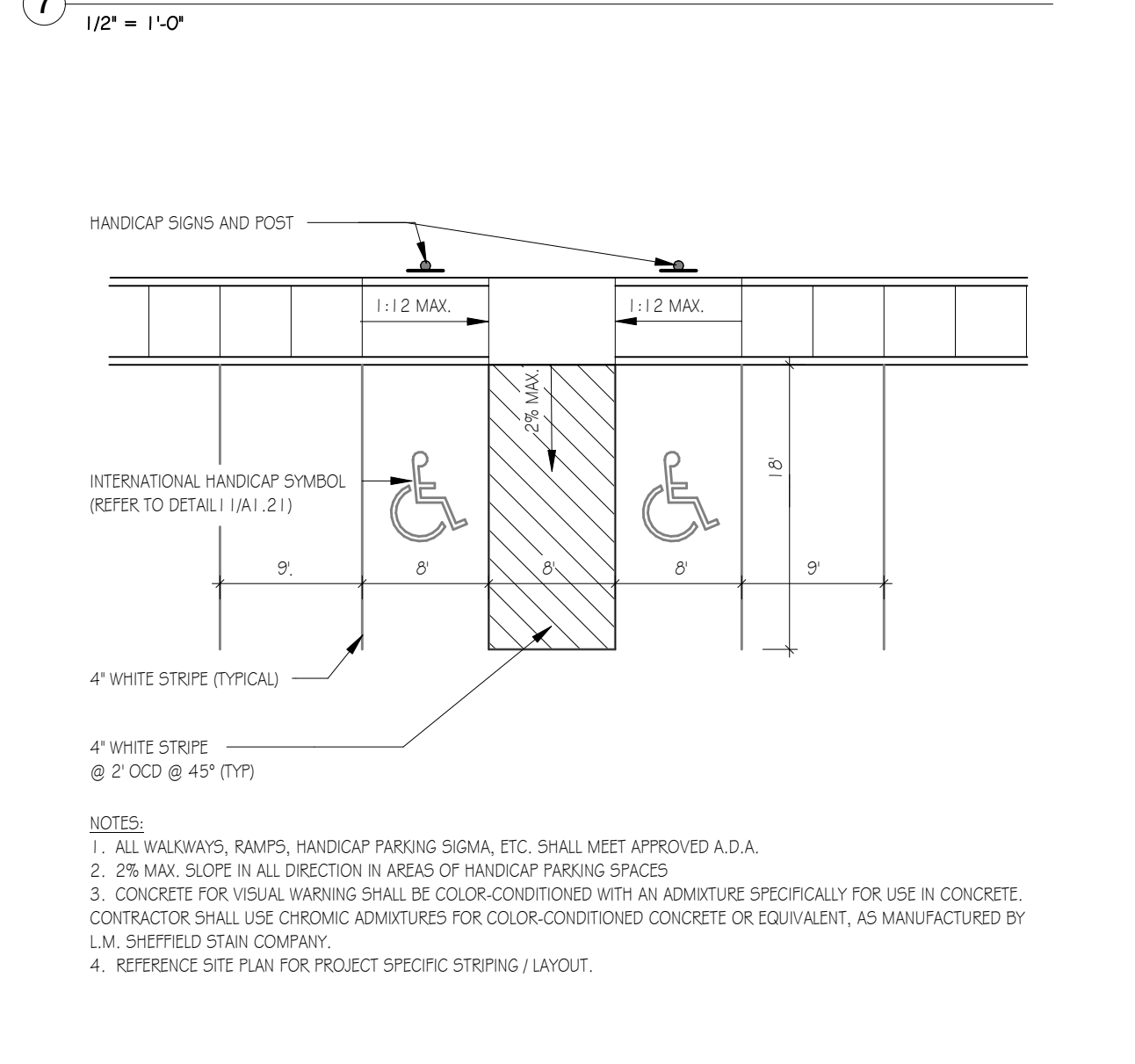
5 BOLLARD (CAST IN PLACE)
1/2" = 1'-0"



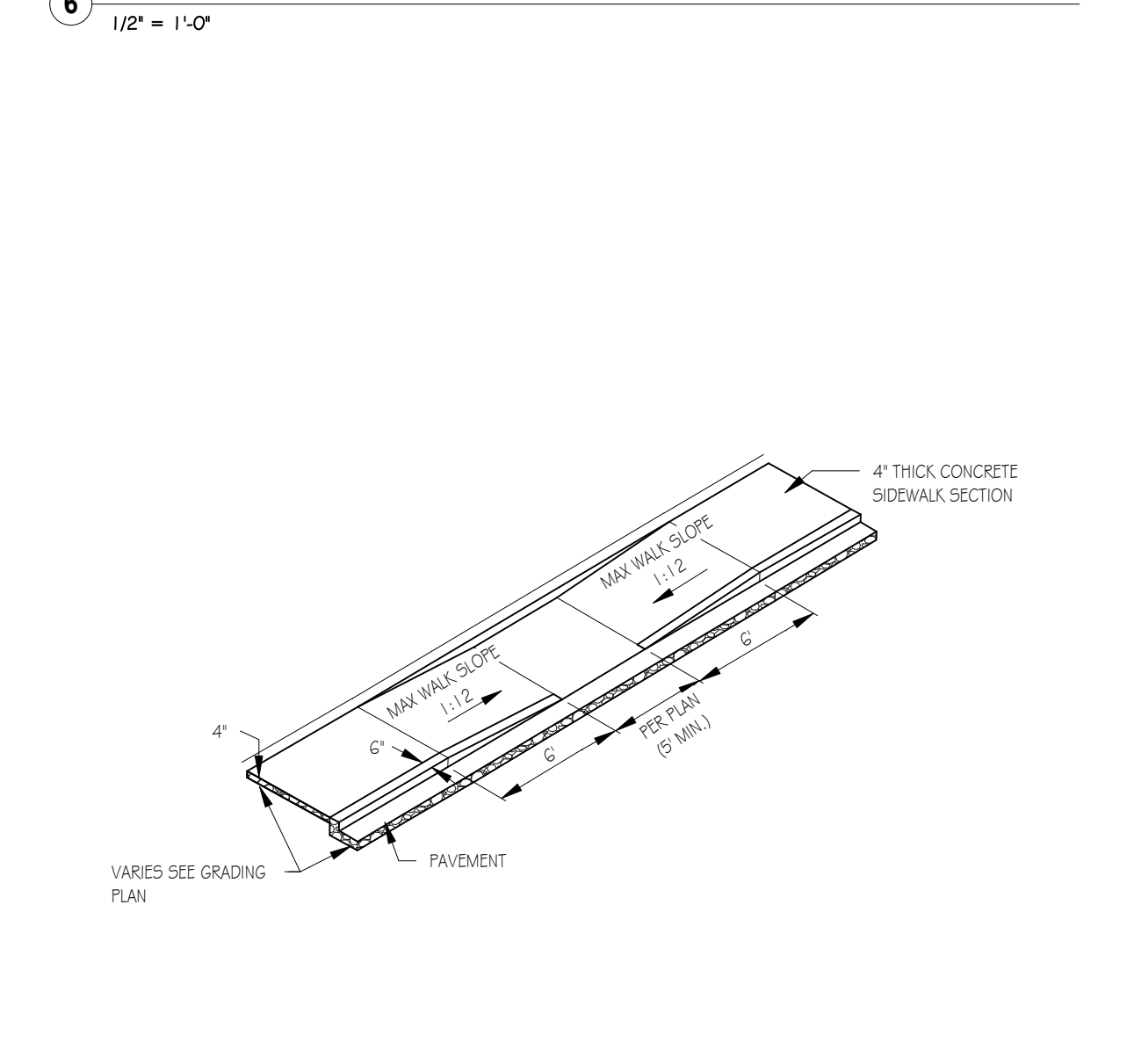
4 BIKE RACK DETAIL W/ CAST IN PLACE BASE
1" = 1'-0"



3 ACCESSIBLE PARKING STALL SYMBOL
3/4" = 1'-0"



2 ACCESSIBLE PARKING STALL STRIPING DETAIL
1/4" = 1'-0"



1 ACCESSIBLE BARRIER FREE RAMP
1/4" = 1'-0"

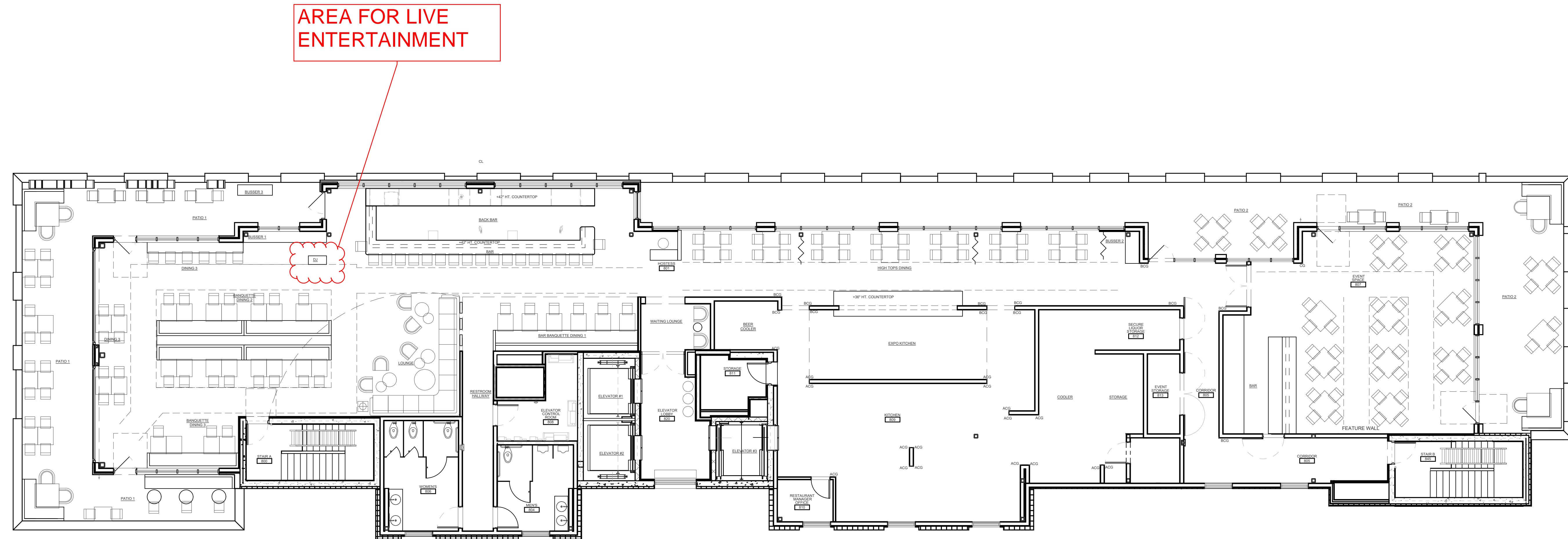


TYPE-X DESIGN STUDIO

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INTERIORS: 8TH FLOOR AT THE MOXY - MADISON
823 E. WASHINGTON AVENUE
MADISON, WI 53703

1 8TH FLOOR-INTERIOR FLOOR PLAN
SCALE: 1/4"=1'-0" 

DATE 04/23/2022
SCALE 1/8"=1'-0"
PROJECT # 2022-10
DRAWN BY DG

SHEET #
8TH FLOOR- PARTIAL INTERIOR
FLOOR PLAN
I-703