



Location
1635 Kronshage Drive

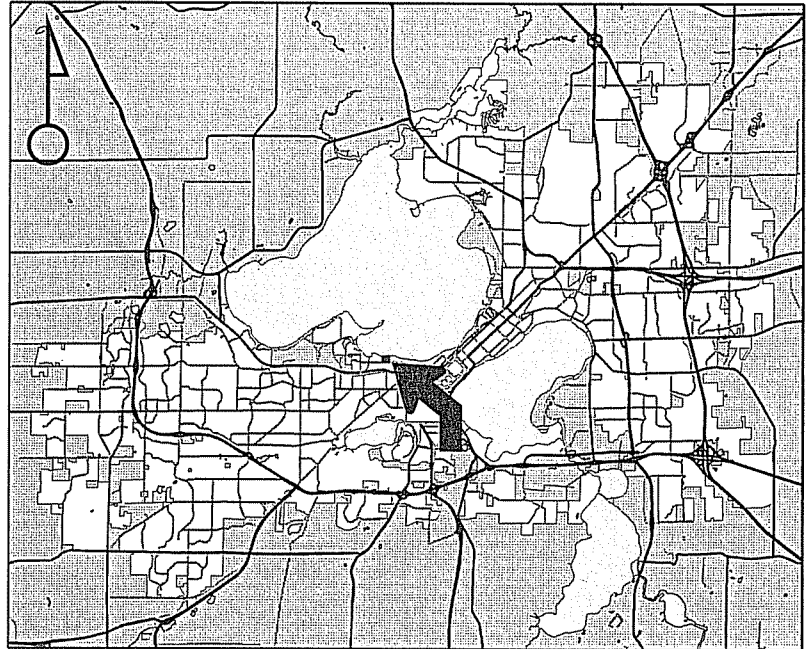
Project Name
Lakeshore Residence Hall – Phase II

Applicant
UW Board of Regents/
Gary Brown – UW–Madison

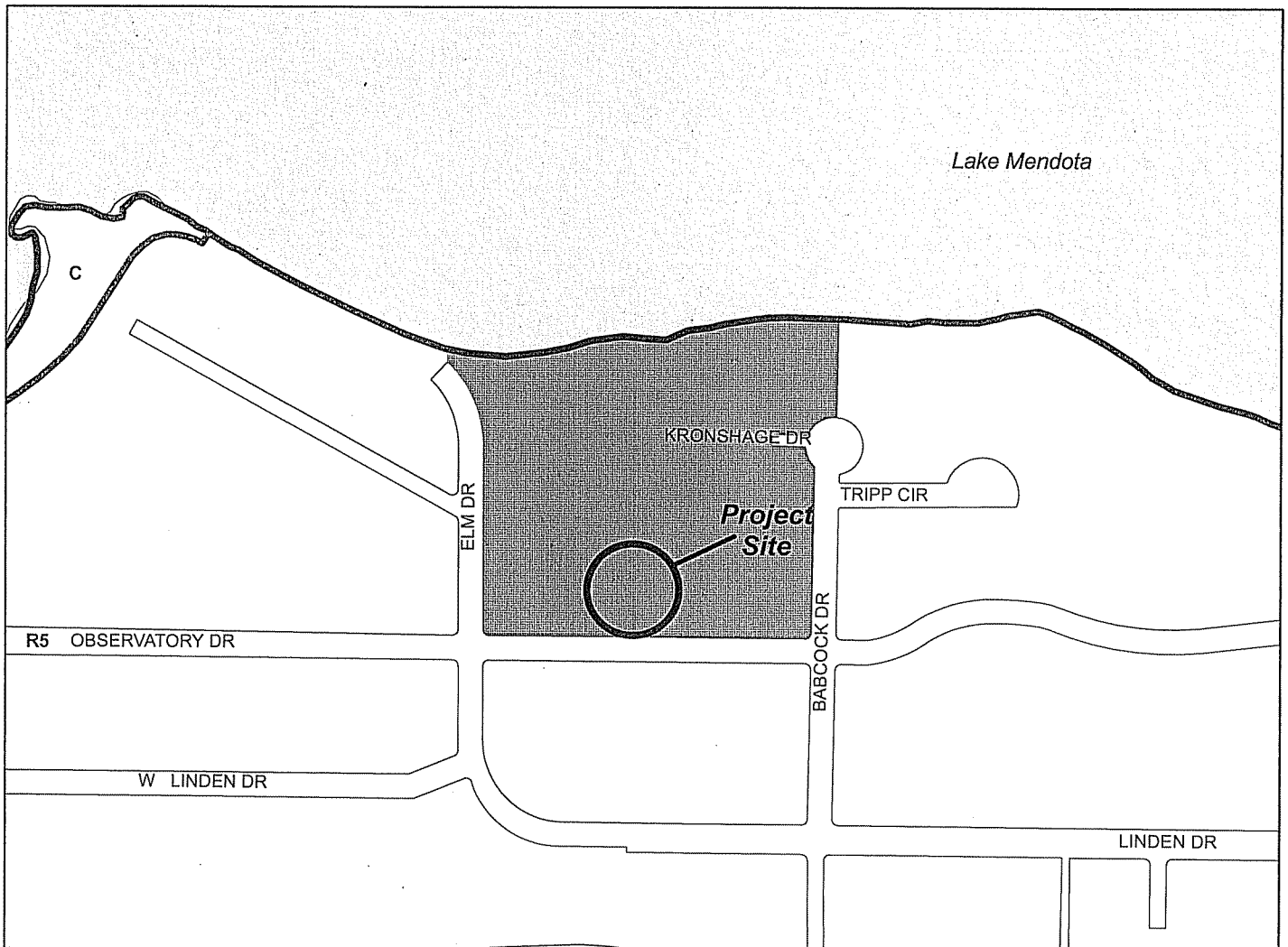
Existing Use
Surface parking

Proposed Use
Construct new UW residence hall
and remodel existing Holt Commons

Public Hearing Date
Plan Commission
19 September 2011

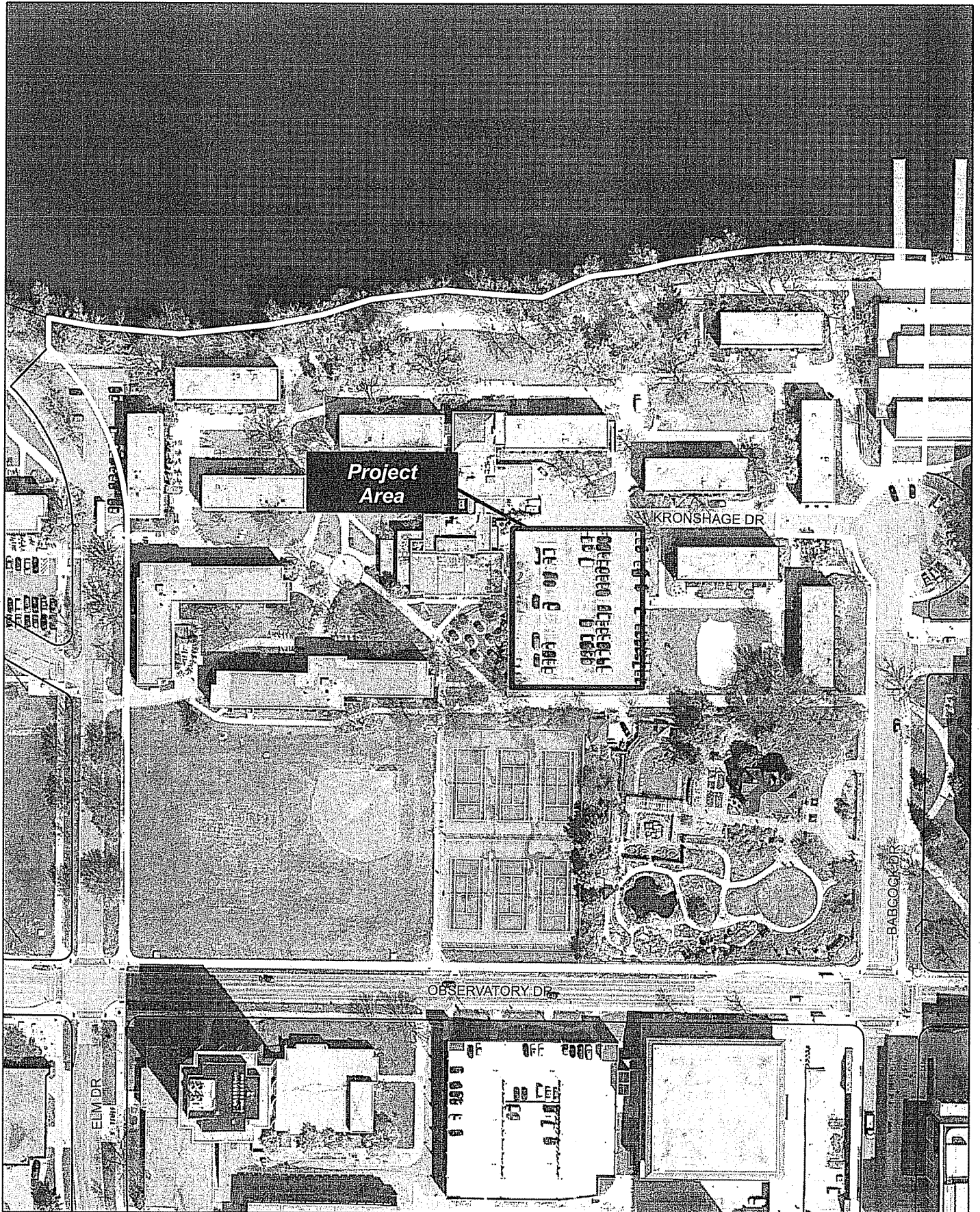


For Questions Contact: Kevin Firchow at: 267-1150 or kfirchow@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 06 September 2011





LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed with the Subdivision Application.
- Before filing your application, please review the information regarding the **LOBBYING ORDINANCE** on the first page.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All Land Use Applications should be filed directly with the Zoning Administrator.

unaid project

FOR OFFICE USE ONLY:

Amt. Paid NA Receipt No. _____

Date Received 8/2/11

Received By JLK

Parcel No. 0709-153-0101-7

Aldermanic District 5-Shiva Bidar-Siedt

GQ waterfront

Zoning District R5

For Complete Submittal

Application	Letter of Intent	
<u>✓</u>	<u>✓</u>	
IDUP	Legal Descript.	<u>✓</u>
<u>NA</u>	<u>NA</u>	
Plan Sets	Zoning Text	<u>NA</u>
<u>✓</u>		
Alder Notification	Waiver	_____
Ngbrhd. Assn Not.	Waiver	_____
Date Sign Issued		<u>8/2/11</u>

1. Project Address: 1635 Kronshage Drive **Project Area in Acres:** 2.23

Project Title (if any): Lakeshore Residence Hall, Phase II

2. This is an application for:

Zoning Map Amendment (check the appropriate box(es) in only one of the columns below)		
<input type="checkbox"/> Rezoning to a <u>Non-PUD or PCD</u> Zoning Dist.: Existing Zoning: _____ to _____ Proposed Zoning (ex: R1, R2T, C3): _____	Rezoning to or Amendment of a PUD or PCD District: <input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-GDP <input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-SIP <input type="checkbox"/> Amended Gen. Dev. <input type="checkbox"/> Amended Spec. Imp. Plan	
<input checked="" type="checkbox"/> Conditional Use	<input type="checkbox"/> Demolition Permit	<input type="checkbox"/> Other Requests (Specify): _____

3. Applicant, Agent & Property Owner Information:

Applicant's Name: Gary A. Brown Company: University of Wisconsin-Madison

Street Address: 610 Walnut Street Suite 919 City/State: Madison WI Zip: 53726

Telephone: (608) 263-3023 Fax: (608) 265-3139 Email: gbrown@fpm.wisc.edu

Project Contact Person: Gary A. Brown Company: University of Wisconsin-Madison

Street Address: 610 Walnut Street Suite 919 City/State: Madison, WI Zip: 53726

Telephone: (608) 263-3023 Fax: (608) 265-3139 Email: gbrown@fpm.wisc.edu

Property Owner (if not applicant): Board of Regents of the UW System

Street Address: 1220 Linden Drive City/State: Madison, WI Zip: 53706

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: _____

Construct a new 64,900 GSF residence hall and remodel the existing 11,080 ASF Holt Commons at UW-Madison.

Development Schedule: Commencement May 2012 Completion August 2013

5. Required Submittals:

- Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
 - **7 copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
 - **7 copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
 - **1 copy** of the plan set reduced to fit onto 8 ½ inch by 11 inch paper
- Letter of Intent (12 copies):** describing this application in detail including, but not limited to: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor. For any application for rezoning, the description must be submitted as an electronic word document via CD or e-mail. For applications proposing rezoning to more than one district, a separate description of each district shall be submitted.
- Filing Fee:** \$ DNA See the fee schedule on the application cover page. Make checks payable to: *City Treasurer*.
- Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

In Addition, The Following Items May Also Be Required With Your Application:

- For any applications proposing demolition or removal of existing buildings, the following items are required:
 - Prior to the filing of an application, the applicant or his/her agent is required to notify a list of interested persons registered with the City **30 or 60 days prior to filing** their application using the online notification tool found at: <https://www.cityofmadison.com/developmentCenter/demolitionNotification/>
 - A photo array (6-12 photos) of the **interior and exterior** of the building(s) to be demolished or removed. A written assessment of the condition of the building(s) to be demolished or removed is highly recommended.
 - Note: A Reuse and Recycling Plan approved by the City's Recycling Coordinator is required prior to issuance of wrecking permits and the start of construction.
- Zoning Text (12 copies):** must accompany Planned Community or Planned Unit Development (PCD/PUD) submittals.

6. Applicant Declarations:

- Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:

→ The site is located within the limits of 2005 UW-Madison Campus Master Plan Plan, which recommends: new residence hall development for this property.
- Pre-application Notification:** Section 28.12 of the Zoning Code requires that the applicant notify the district alder and any nearby neighborhood & business associations in writing no later than **30 days** prior to filing this request:

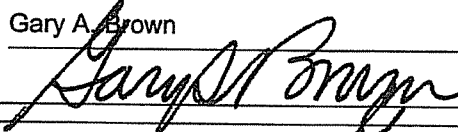
→ List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:
Alder Shiva Bidar Sielaff, Joint West Campus Area Committee (Jan. 26, 2011; Feb. 23, 2011; June 8, 2011)

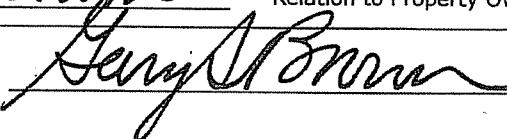
NOTE: If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.
- Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Tim Parks Date: 07/28/11 Zoning Staff: Matt Tucker Date: 07/28/11
- Check here if this project will be receiving a public subsidy.** If so, indicate type in your Letter of Intent.

The signer attests that this form is accurately completed and all required materials are submitted:

Printed Name Gary A. Brown Date August 3, 2011

Signature  Relation to Property Owner owner's representative

Authorizing Signature of Property Owner  Date August 3, 2011



August 3, 2011

Mr. Brad Murphy
City of Madison Plan Commission
215 Martin Luther King Jr. Blvd., Room LL-100
Madison, WI 53701-2985

**RE: CONDITIONAL USE APPLICATION – Letter of Intent
 LAKESHORE RESIDENCE HALL – PHASE II – 1635 Kronshage Drive
 UNIVERSITY OF WISCONSIN – MADISON**

Plan Commission Committee Members:

This zoning application is for a conditional use permit for a proposed 64,900 gross square foot new residence hall to be located at 1635 Kronshage Drive on the University of Wisconsin-Madison campus. The overall property is currently zoned R-5 and has a City of Madison in situ address of 620 Babcock Drive (parcel #0709-153-0101-7). University buildings within an R-5 district are considered a conditional use. An existing surface parking lot is to be removed for the new building. The project also includes an interior renovation within Holt Commons, located at 1650 Kronshage Drive, and the improvement of the east/west pedestrian walk way south of the proposed residence hall.

Application Materials:

- Letter of Intent (this document) (12 copies)
- Small format bound set of drawings, 11x17 (7 sets) and 8 1/2x11 (1 set)
- Large format bound set of drawings to scale, (7 sets)

Project Name: UW – Madison Lakeshore Residence Hall Phase II

Construction Schedule: May 2012 – August 2013

Existing Site Description: The proposed residence hall will be located on the existing Lot 32 parking lot. The project site is north of Allen Centennial Gardens, east of Cole Hall, south of Kronshage Hall and west of Jorns and Humphrey Halls on the University of Wisconsin-Madison campus.

Project Team:

Owner:	State of Wisconsin Agency: University of Wisconsin System Board of Regents Room 1860 Van Hise Hall 1220 Linden Drive Madison, Wisconsin 53706
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Owner's contact:	University of Wisconsin - Madison Facilities Planning and Management 919 WARF Building 610 Walnut Street
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333 E. Chicago St.
Milwaukee, WI 53202
414 271 5350: main
414 271 7794: fax

222 W. Washington Ave.
Suite 650
Madison, WI 53703
608 442 5350: main
608 442 6680: fax



Madison, Wisconsin 53726
Contact: Gary A. Brown, FASLA
Phone: 608-263-3023 Fax: 608-265-3139
E-mail: gbrown@fpm.wisc.edu

Architect:

Eppstein Uhen Architects, Inc.
222 West Washington Avenue, Suite 650
Madison, Wisconsin 53703
Contact: Brad Nygaard, Project Manager
Phone: 608-442-6692 Fax: 608-442-6680
E-mail: bradn@eua.com

Landscape Architect:

Ken Saiki Design, Inc.
303 South Paterson Street, Suite 1
Madison, Wisconsin 53703
Contact: Jonathon Wanta
Phone: 608-251-3600 Fax: 608-251-2330
E-mail: jwanta@ksd-la.com

Civil Engineer:

DAAR Engineering, Inc.
325 East Chicago Street, Suite 500
Milwaukee, Wisconsin 53202
Contact: Aaron Koch
Phone: 414-225-9817 Fax: 414-225-9826
E-mail: aaron.koch@daarengineering.com

**Civil Engineer:
(Utilities)**

Ring and DuChateau
10101 Innovation Drive, Suite 200
Milwaukee, Wisconsin 53226
Contact: Rebecca Bornowski
Phone: 414-778-1700 Fax: 414-778-2360
E-mail: rbornowski@ringdu.com

Structural Engineer:

Graef
5126 West Terrace Drive, Suite 111
Madison, Wisconsin 53718
Contact: Dan Windorski
Phone: 608-245-1975 Fax: 608-242-0787
E-mail: dan.windorski@graef-usa.com

**Fire Protection/
Plumbing Engineer:**

Henneman Engineering, Inc.
1232 Fourier Drive, Suite 101
Madison, Wisconsin 53717
Contact: William Peden
Phone: 608-833-7000 ext. 8119 Fax: 608-833-6996
E-mail: wpeden@henneman.com

**Mechanical/
Electrical Engineer:**

KJWW Engineering Consultants
802 West Broadway, Suite 312



Madison, Wisconsin 53713
 Contact: Kris Cotharn
 Phone: 608-221-6713 Fax: 608-223-9601
 E-mail: cotharnka@kjww.com

Surveyor: **JSD Professional Services, Inc.**
 161 Horizon Drive, Suite 101
 Verona, Wisconsin 53593
 Contact: John Krebs
 Phone: 608-848-5060 Fax: 608-848-2255

Contractors: To be determined

Building Use: UW – Madison Lakeshore Residence Hall Phase II constructs a five-level 176-bed student residence hall on the existing Lot 32 parking lot. The building will contain freshmen/sophomore style dwelling units clustered around bathroom/shower spaces. Individual residence units will be double-occupant bedrooms with a closet. This residence hall will be the new home of the "GreenHouse," a living/learning community focused on sustainable practices in learning, living, and working. There will be a two bedroom apartment in the new residence hall for the Residence Life Coordinator. This building will also contain four offices, a conference room and minor support spaces in the public (lower) level for Residence Life. This new building will seek LEED Silver Certification. The site work includes the addition of fire lanes, underground utility work, bike and moped parking, and landscape improvements. The existing east/west pedestrian walkway south of the new building will become wider and fully accessible.

This project will also remodel 11,080 ASF of the interior of Holt Commons which is currently a food service facility that serves the area Lakeshore residence halls. After the completion of the Lakeshore Residence Hall Phase I, food production will move out of Holt Commons. The three entrances to Holt Commons will be updated and a new roof installed. Accessibility challenges within Holt Commons will be resolved by the addition of an elevator and circulation improvements.

Building use areas:

- Residence Hall: resident rooms, bathrooms, study rooms, floor lounges, kitchenettes, classroom, circulation, mechanical rooms, storage: 60,590 SF
- Residence Hall: Resident Life Coordinator Apartment: 1524 SF
- Residence Hall: Residence Life Offices: 967 SF
- Residence Hall: Greenhouse: 1347 SF
- Holt Commons: Remodeled front desk and office: 656 SF
- Holt Commons: Remodeled coffee shop and seating area: 2054 SF
- Holt Commons: Remodeled multi-purpose room: 3727 SF
- Holt Commons: Remodeled warming kitchen: 2112 SF

Total Gross Square footage:

- Proposed Residence Hall: 64,428 GSF
- Holt Commons: 19,099 GSF; 11,084 SF (remodeled)



Number of employees:

Residence Hall: approximately 6 in the lower level office area
Holt Commons: approximately 9

Parking spaces: Parking is addressed in accordance with the overall university Campus Master Plan on a campus-wide basis, not by individual building. Also, residence hall users (students) are highly discouraged from bringing cars to campus. Few, if any, are allowed to purchase annual parking permits. This project's site development incorporates 4 proposed parking stalls (including one van accessible stall) and one loading dock area.

Hours of Operation: The residence hall facility will be a 24 hours/day, 7 days/week operation for the students living in the hall. Access during non-business hours will be available via card-access for faculty/staff and authorized student users. Holt Commons will generally operate between the hours of 6:00am to 10:00pm, 7 days/week with a variety of venues open throughout the day at various times. Coffee shop service and student gathering space will extend outdoors to the south and west patio areas of Holt Commons.

Site Acreage: 2.23 acres (96,961 SF)

Number of dwelling units: Residence Hall has 86 resident rooms at double occupancy and 4 House Fellow rooms at single occupancy for a total of 176 beds. The Residence Hall also includes a 2 bedroom Resident Life Coordinator Apartment.

Building and Site Service Functions: The existing loading dock and trash compacting area to the east side of Holt Commons will be reorganized yet still be contained in the existing area. Snow removal on all walks and access drives for the existing and proposed building is administered by University Environmental Services staff. Building custodial staff are responsible for snow and ice removal near the building entrances and on the walks leading into the building. New building mounted or ground mounted building signs will be included as part of this project.

Sincerely,

Brad Nygaard, RA
Project Manager

Xc: Gary Brown, UW-Madison FP&M
Stu Larose, UW-Madison FP&M
Rex Loker, DOA DSF
Mike Kinderman, UW-Madison Housing

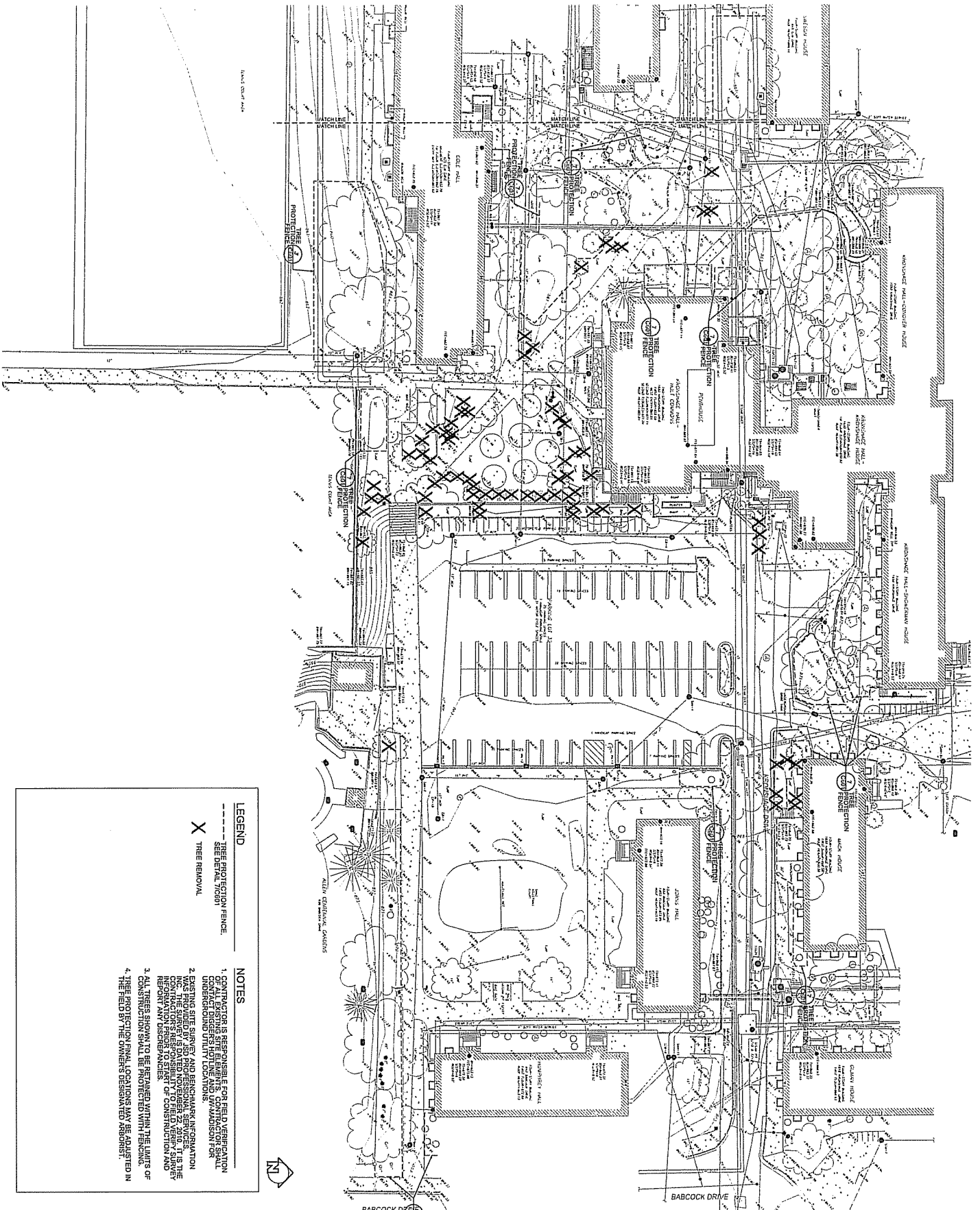




DESCRIPTION OF THE PARCEL:

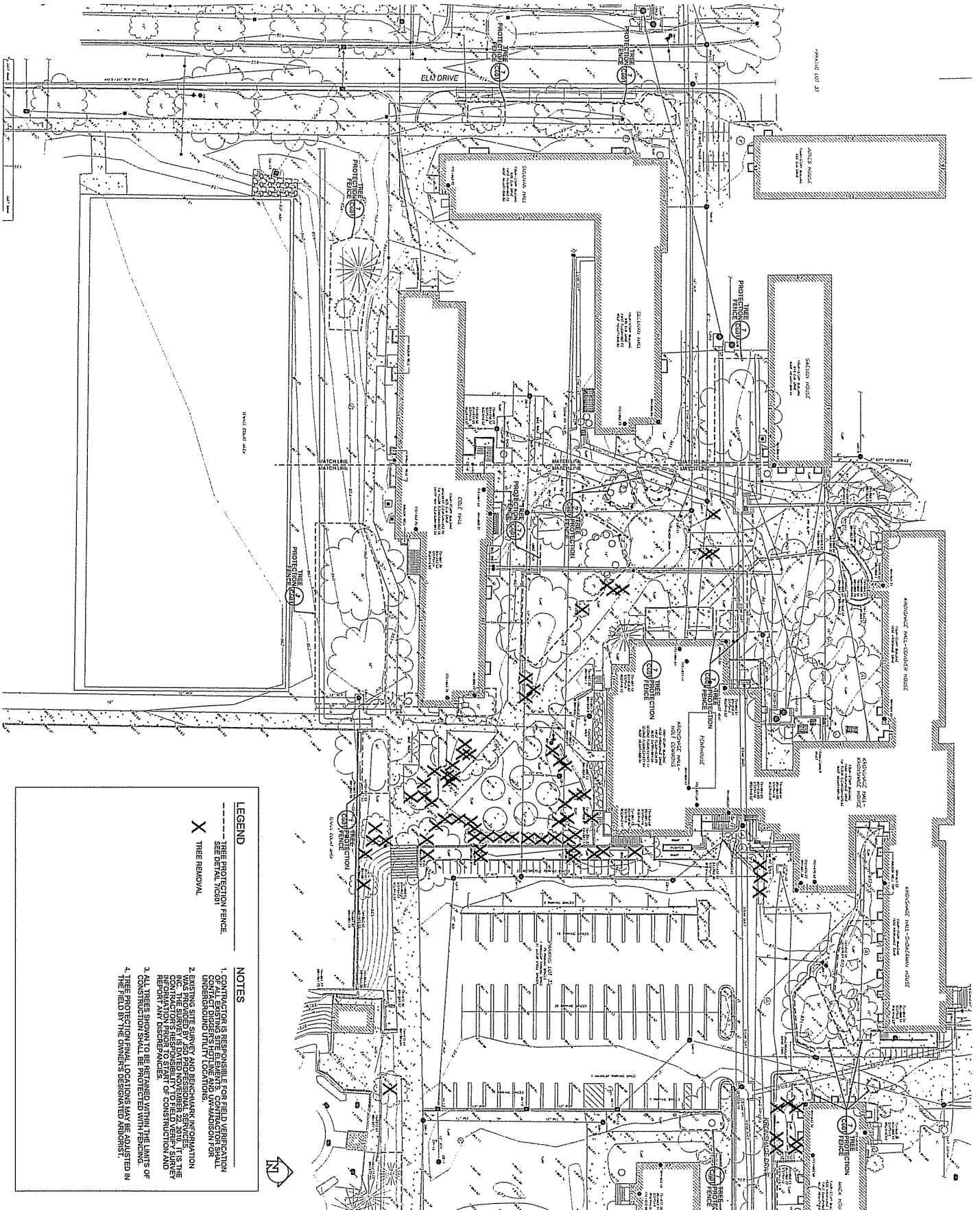
That is part of City of Madison Parcel# 0709-153-0101-7, T7N, R9E, SEC 15, Part S ½ belonging to the University of Wisconsin – Madison bounded by Lake Mendota on the North, Elm Dr on the West, Observatory Dr on the South and Babcock Dr on the East, described as the following: commencing at a point on the southeast corner of the existing building identified as Holt Commons (part of Kronshage Hall) to a point 140.0' northerly; thence to a point 90.0' easterly; thence to a point 45.0' southerly; thence to a point 65.0' easterly; thence to a point 220.0' southerly, abutting the north extents of Allen Centennial Gardens; thence to a point 73.5' westerly; thence to a point 10.0' southerly; thence to a point 160.4' westerly, aligning with the eastern face of the existing building identified as Cole Hall; thence to a point 70.0' northerly, along eastern edge of Cole Hall; thence to a point 90.0' westerly; thence to a point 70.0' northerly, aligning with the south face of the aforesaid Holt Commons; thence easterly to the beginning.

333 E. Chicago St.
Milwaukee, WI 53202
414 271 5350: main
414 271 7794: fax

222 W. Washington Ave.
Suite 650
Madison, WI 53703
608 442 5350: main
608 442 6680: fax



		137 EAST CENTER STREET MADISON, WISCONSIN 53703 PHONE: 608.261.1111 FAX: 608.261.1112 WWW.EURO.COM	
Project Title: LAKESHORE PHASE II		Project Location: MADISON, WISCONSIN	
Agency / Institution: UNIVERSITY OF WISCONSIN - MADISON		Contract: 	
Sheet Title: TREE REMOVAL AND PROTECTION PLAN		Scale: 1" = 100'	
Date: 6/30/2011		Drawn by: [Name]	
Checked by: [Name]		Reviewed by: [Name]	
Discipline: Landscape Architecture		Project Number: C101	



LEGEND

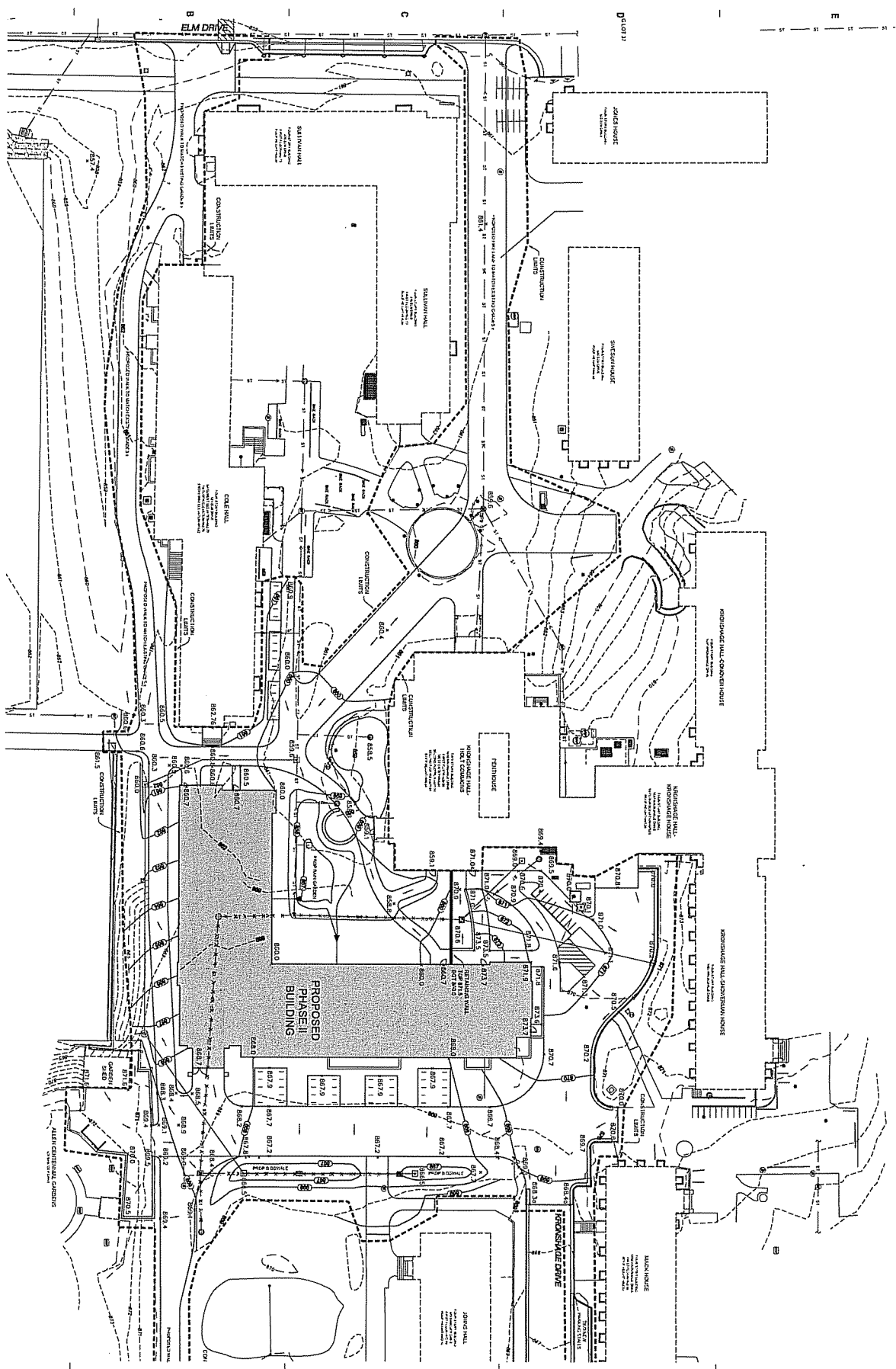
--- PROTECTION FENCE
SEE DETAIL (VCD)

X TREE REMOVAL

NOTES

1. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING SITE ELEMENTS. CONTRACTOR SHALL CONSULT WITH THE DESIGNER AND PROVIDE A LIST OF ALL EXISTING UTILITIES AND NOTES.
2. EXISTING SITE SURVEY AND BENCHMARK NEGOTIATION WAS PROVIDED BY JSD PROFESSIONAL SERVICES, INC. CONTRACTOR SHALL VERIFY THE ACCURACY OF THE SURVEY INFORMATION PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE DESIGNER.
3. ALL TREES SHOWN TO BE WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED WITH FENCING.
4. TREE PROTECTION FINAL LOCATIONS MAY BE ADJUSTED IN THE FIELD BY THE OWNER'S DESIGNATED ARBORIST.

		State of Wisconsin Department of Administration Division of State Facilities		Agency / Institution UNIVERSITY OF WISCONSIN - MADISON
Project Title: LAKESHORE PHASE II		Project Location: MADISON, WISCONSIN	Sheet Title: TREE REMOVAL AND PROTECTION PLAN	
Contractor: evo 133 East Center Street Madison, Wisconsin 53703 Phone: 608.261.1212 Fax: 608.261.1213	Scale: 1" = 20'	Date: 6/20/2011	Sheet Number: C102	Revision:



1. THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF DARR ENGINEERS, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS INFORMATION WITHOUT THE WRITTEN CONSENT OF DARR ENGINEERS, INC. IS PROHIBITED.

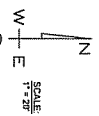
2. THE INFORMATION CONTAINED HEREIN IS BASED ON THE DATA AND INFORMATION PROVIDED BY THE CLIENT AND IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF DARR ENGINEERS, INC.

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5. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF DARR ENGINEERS, INC.

NO.	REVISION	DATE
1	ISSUED FOR PERMITTING	10/20/11
2	ISSUED FOR PERMITTING	10/20/11
3	ISSUED FOR PERMITTING	10/20/11
4	ISSUED FOR PERMITTING	10/20/11
5	ISSUED FOR PERMITTING	10/20/11
6	ISSUED FOR PERMITTING	10/20/11
7	ISSUED FOR PERMITTING	10/20/11
8	ISSUED FOR PERMITTING	10/20/11
9	ISSUED FOR PERMITTING	10/20/11
10	ISSUED FOR PERMITTING	10/20/11



Project Title:	LAKESHORE PHASE II
Project Location:	MADISON, WISCONSIN
Sheet Title:	GRADING PLAN
Client:	UNIVERSITY OF WISCONSIN - MADISON
Architect:	DARR ENGINEERS, INC.
Scale:	AS SHOWN
Date:	10/20/11
Sheet Number:	C200



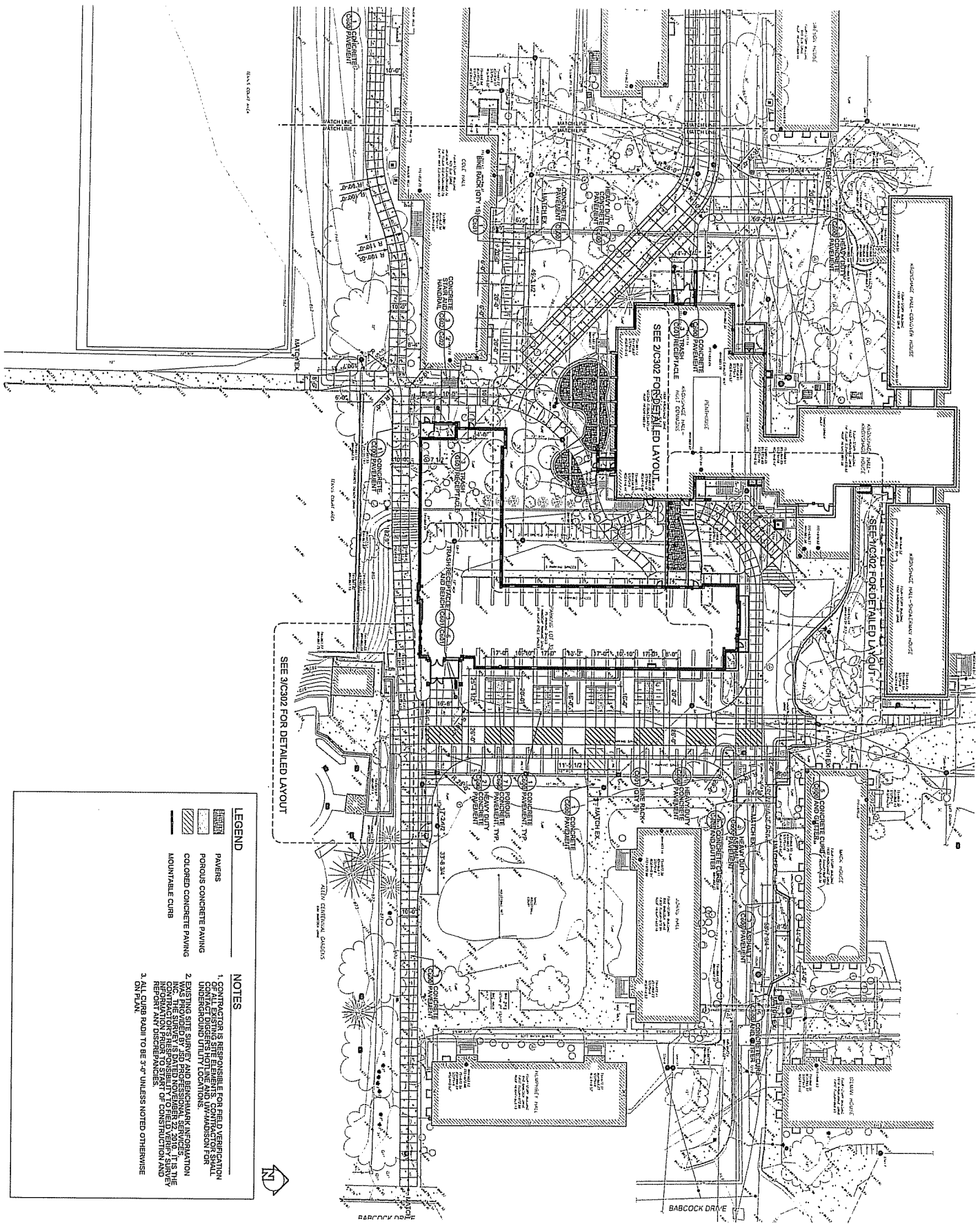
State of Wisconsin
Department of Administration
Division of State Facilities

Agency/Institution
UNIVERSITY OF WISCONSIN - MADISON



epstein urban + architects
222 East Wisconsin Ave., Suite 200
Madison, WI 53703
608.261.1111
www.euarch.com





LEGEND

	PAVERS
	POROUS CONCRETE PAVING
	COLORLED CONCRETE PAVING
	MOUNTABLE CURB

- NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS, UTILITY LOCATIONS, AND UNDERGROUND UTILITY LOCATIONS.
 2. EXISTING SITE SURVEY AND BENCHMARK INFORMATION IS PROVIDED FOR REFERENCE ONLY. THE SURVEY IS DATED NOVEMBER 22, 2010. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT A SURVEY REPORT ANY DISCREPANCIES.
 3. ALL CURB RADI TO BE 3'-0" UNLESS NOTED OTHERWISE ON PLAN.

Scale:	1" = 30'
North Arrow:	165° 00'
Sheet:	FR
Date:	06/25/2011
Drawn:	
Checked:	
Project Number:	C300

Project Title:
LAKESHORE PHASE II

Project Location:
MADISON, WISCONSIN

Sheet Title:
SITE LAYOUT PLAN



State of Wisconsin
Department of Administration
Division of State Facilities

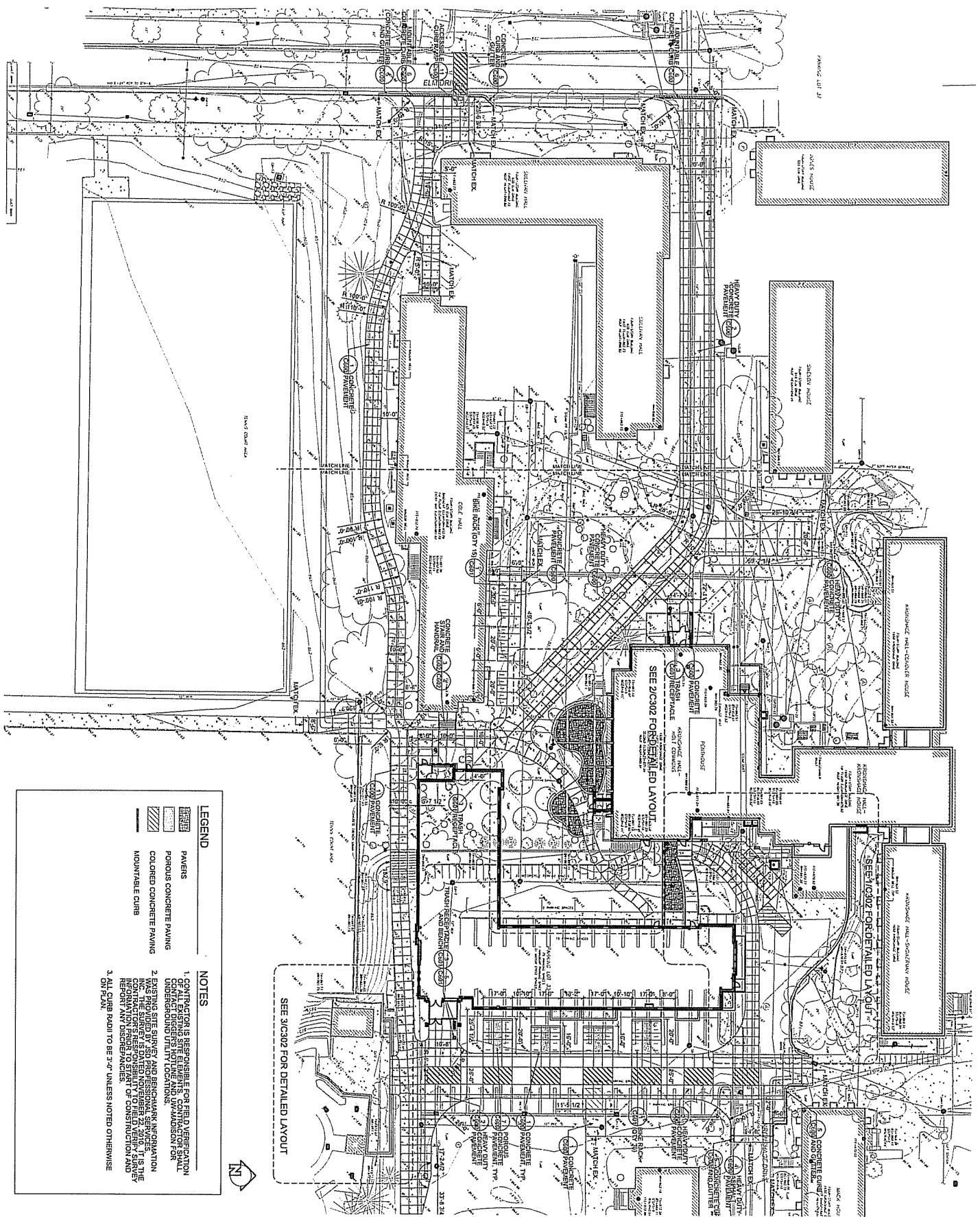
Agency/Institution:
UNIVERSITY OF WISCONSIN - MADISON

ewa

engineering - architects

300 EAST CLAYTON STREET
MADISON, WISCONSIN 53703
TEL: 608.263.1100
WWW.EWA-ARCHITECTS.COM

Consultant:



LEGEND

	PAVEMENT
	PORGUS CONCRETE PAVING
	COLORED CONCRETE PAVING
	MOVABLE CURB

- NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS AND LOCATIONS. CONTACT DESIGNER FOR UNDERGROUND UTILITY LOCATIONS.
 2. EXISTING SITE SURVEY AND BENCHMARK INFORMATION IS PROVIDED FOR REFERENCE ONLY. THE SURVEY IS DATED NOVEMBER 20, 2010. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY NECESSARY INFORMATION PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES.
 3. ALL CURB PAVING TO BE 3'-0" UNLESS NOTED OTHERWISE ON PLAN.

Sheet Number	C301
Scale	AS SHOWN
Drawn	FR
Check	FR
Date	05/20/11
Project Title	LAKESHORE PHASE II
Project Location	MADISON, WISCONSIN
Sheet Title	SITE LAYOUT PLAN

Project Title:
LAKESHORE PHASE II

Project Location:
MADISON, WISCONSIN

Sheet Title:
SITE LAYOUT PLAN

State of Wisconsin
Department of Administration
Division of State Facilities

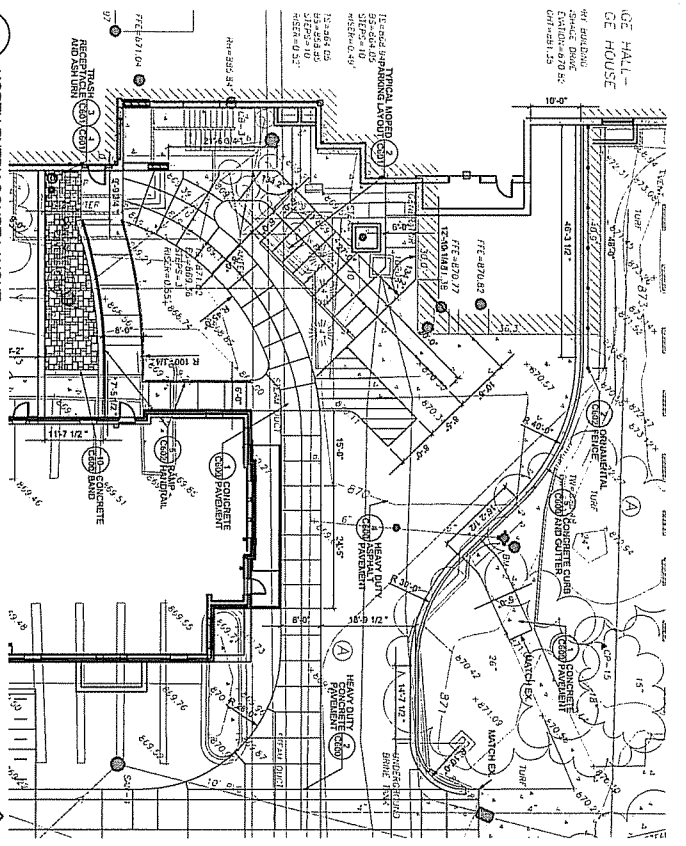
Agency/Institution:
UNIVERSITY OF WISCONSIN - MADISON

Contractor:
PERKINS+WILL

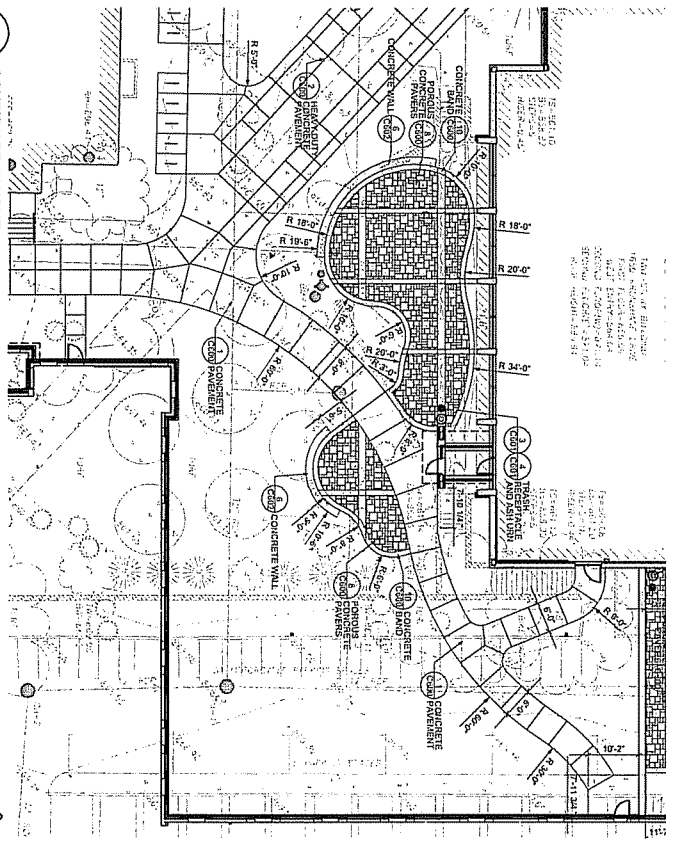
Architect:
PERKINS+WILL

Engineer:
PERKINS+WILL

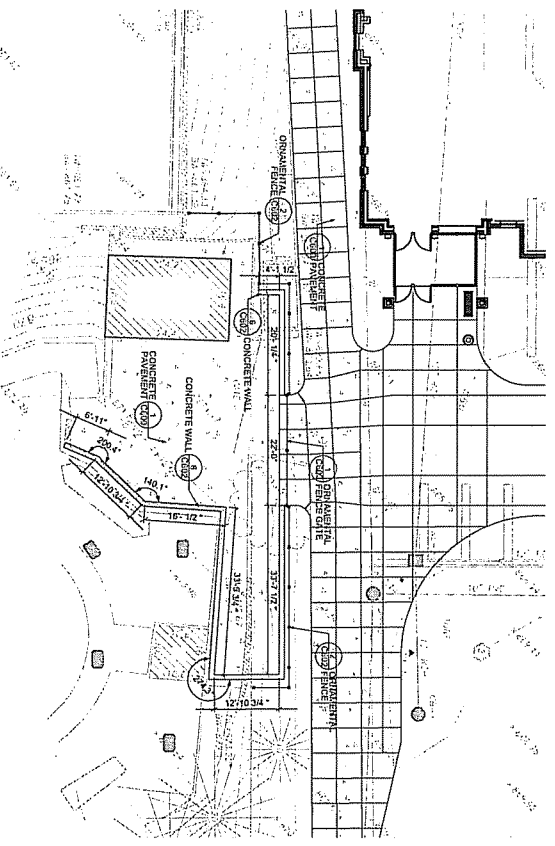
GE HALL
GE HOUSE
441 BIRCHWOOD
JANUARY DRIVE
EVA-100-4720 SC
CMT-251125



1 NORTH ENTRY COURT LAYOUT
SCALE: 1"=10'-0"



2 COURTYARD LAYOUT
SCALE: 1"=10'-0"



3 GARDEN ENTRANCE LAYOUT
SCALE: 1"=10'-0"

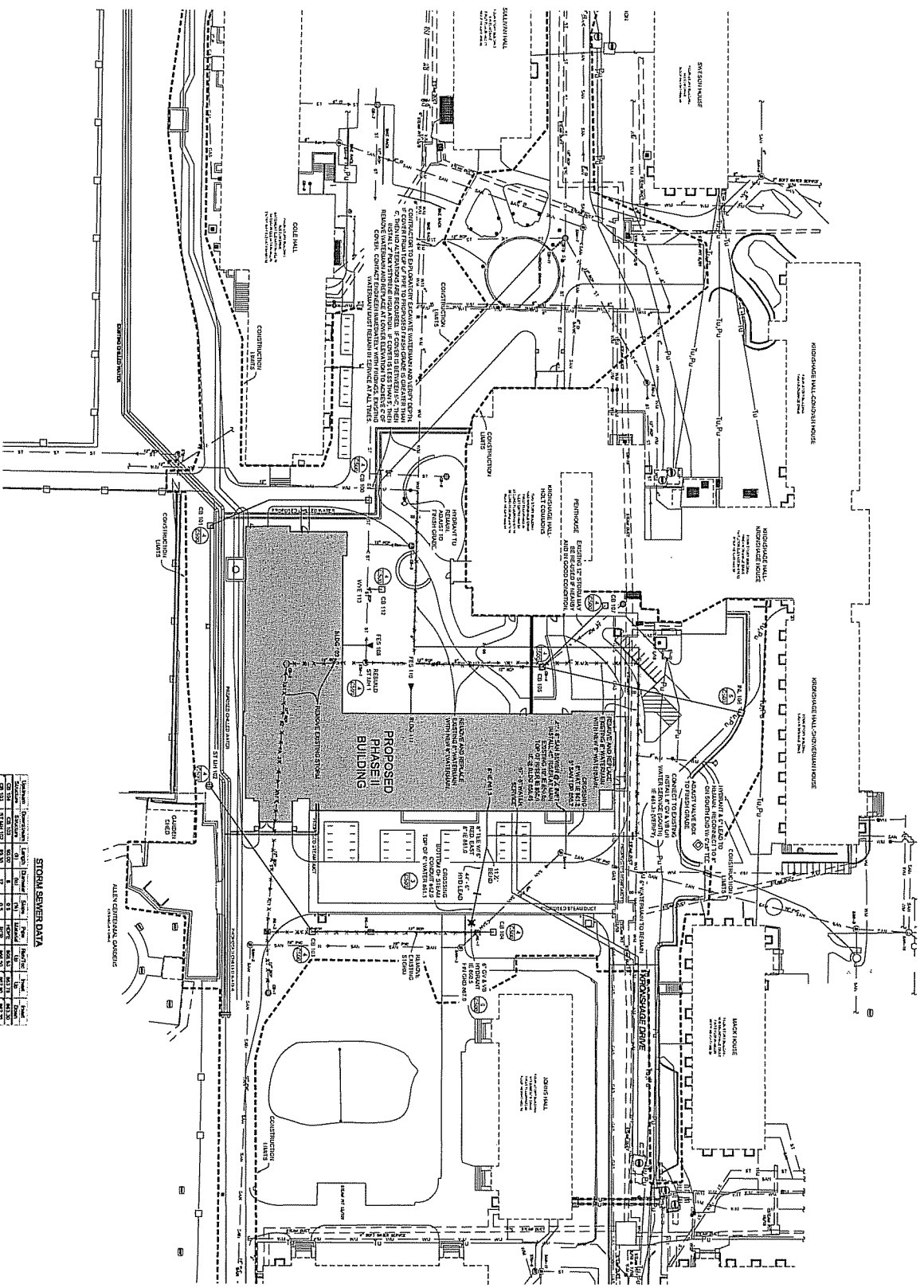
- NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS AND LOCATIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS FOR UNDERGROUND UTILITY LOCATIONS.
 2. EXISTING SITE SURVEY AND RECORDS INFORMATION IS INCORPORATED INTO THIS SURVEY DATED NOVEMBER 22, 2010. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY INFORMATION PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES.
 3. ALL CURB RADII TO BE 3'-0" UNLESS NOTED OTHERWISE ON PLAN.

ewa
Application standards
312 East Center Street
Madison, WI 53706
608.261.1234
www.ewa.com

State of Wisconsin
Department of Administration
Division of State Facilities

Agency / Institution:
UNIVERSITY OF WISCONSIN - MADISON

Project Name:	LAKESHORE PHASE II		
Project Location:	MADISON, WISCONSIN		
Sheet Title:	DETAILED SITE LAYOUT PLAN		
Scale:	1"=10'-0"	1"=10'-0"	1"=10'-0"
Drawn By:	TKD	Checked By:	FR
Date:	10/30/11	Drawn By:	TKD
Sheet Number:	C302	Drawn By:	TKD



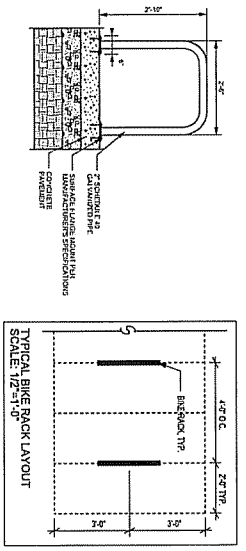
STORM SEWER DATA

Station	Invert	Flow	Velocity	Time	Volume	Notes
0+00	102.00	0.00	0.00	0.00	0.00	Start of Storm Sewer
0+10	102.00	0.00	0.00	0.00	0.00	
0+20	102.00	0.00	0.00	0.00	0.00	
0+30	102.00	0.00	0.00	0.00	0.00	
0+40	102.00	0.00	0.00	0.00	0.00	
0+50	102.00	0.00	0.00	0.00	0.00	
0+60	102.00	0.00	0.00	0.00	0.00	
0+70	102.00	0.00	0.00	0.00	0.00	
0+80	102.00	0.00	0.00	0.00	0.00	
0+90	102.00	0.00	0.00	0.00	0.00	
1+00	102.00	0.00	0.00	0.00	0.00	End of Storm Sewer

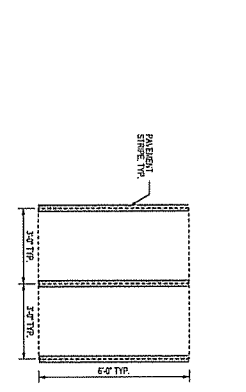
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES.



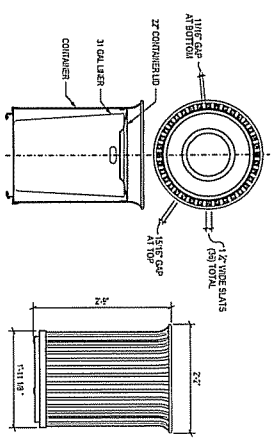
	Project Name: LAKESHORE PHASE II		Agency / Institution: UNIVERSITY OF WISCONSIN - MADISON
	Project Location: MADISON, WISCONSIN		
Project Number: C400	Sheet Title: UTILITY PLAN		Date: 05/04/11



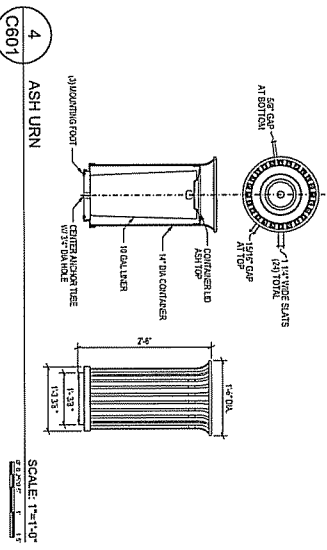
1 BIKE RACK
C601
SCALE: 3/4"=1'-0"



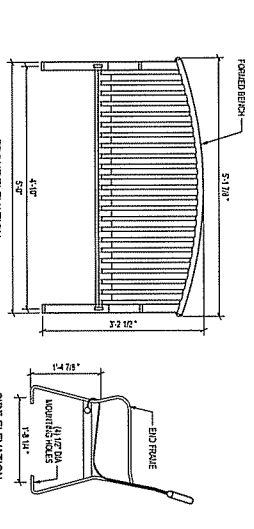
2 TYPICAL MOPED PARKING LAYOUT
C601
SCALE: 1/2"=1'-0"



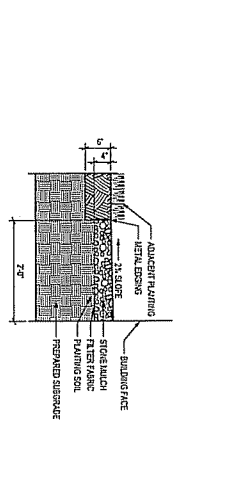
3 TRASH RECEPTACLE
C601
SCALE: 1\"/>



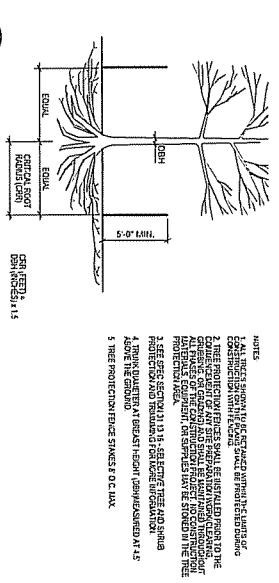
4 ASH URN
C601
SCALE: 1\"/>



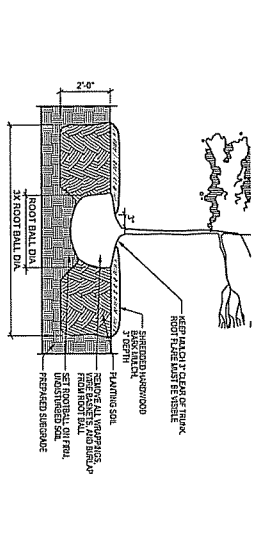
5 BENCH
C601
SCALE: 1\"/>



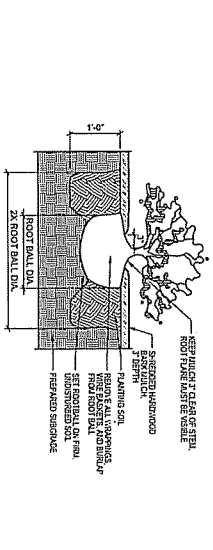
6 STONE MAINTENANCE STRIP
C601
SCALE: 1\"/>



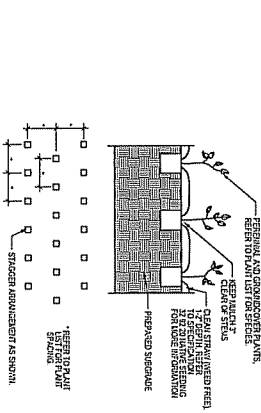
7 TREE PROTECTION FENCE
C601
SCALE: N.T.S.



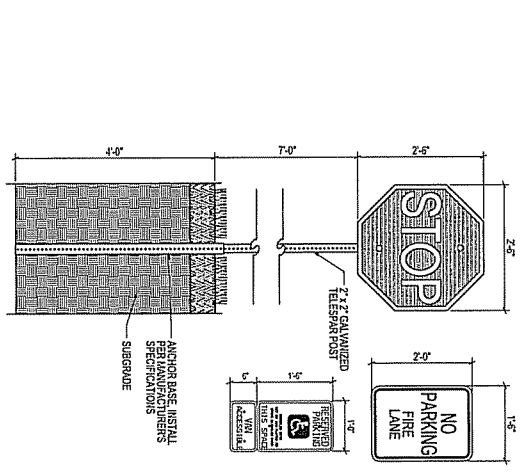
8 TREE PLANTING
C601
SCALE: N.T.S.



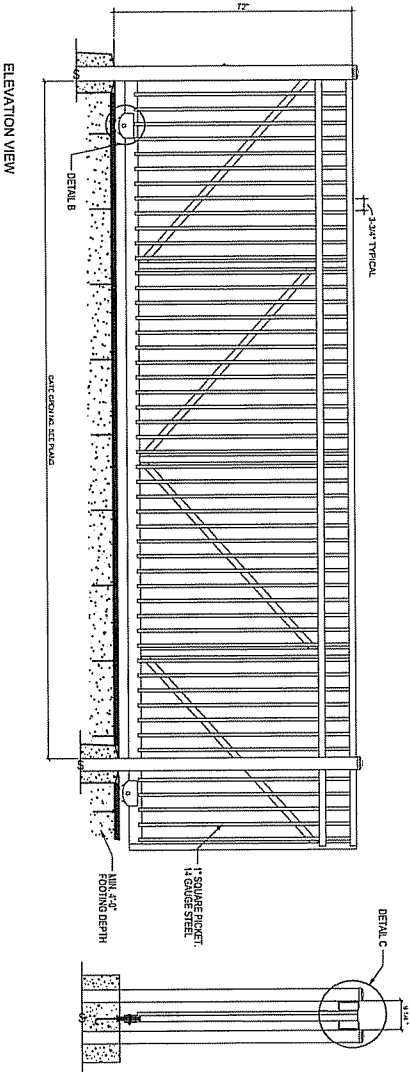
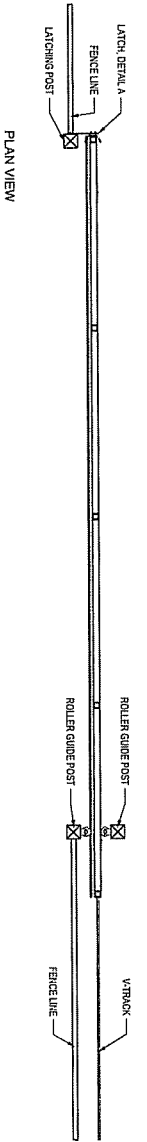
9 SHRUB PLANTING
C601
SCALE: N.T.S.



10 PERENNIAL PLANTING
C601
SCALE: N.T.S.

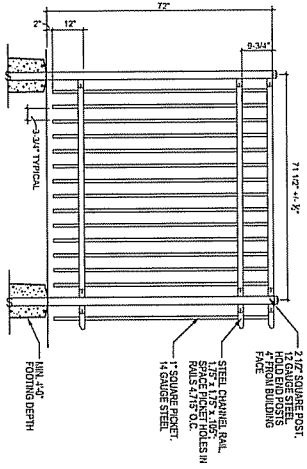


11 POLE MOUNTED SIGN
C601
SCALE: 1\"/>



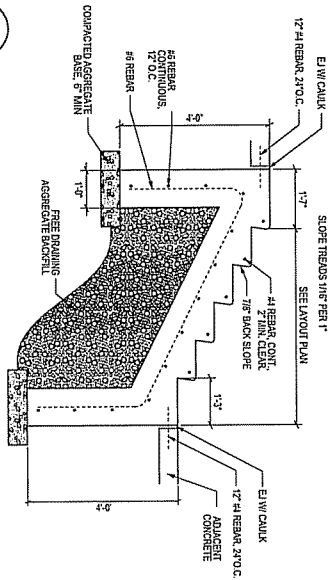
1 ORNAMENTAL FENCE GATE

SCALE: 3/4"=1'-0"



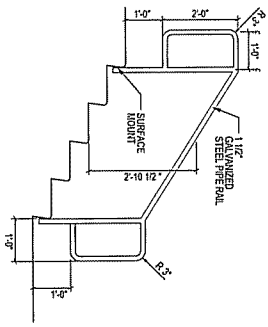
2 ORNAMENTAL FENCE

SCALE: 3/4"=1'-0"



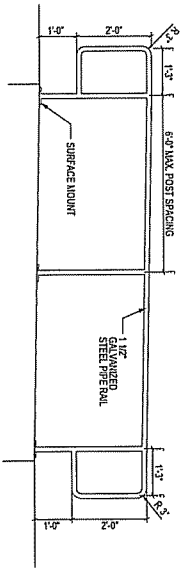
3 CONCRETE STAIR

SCALE: 3/4"=1'-0"



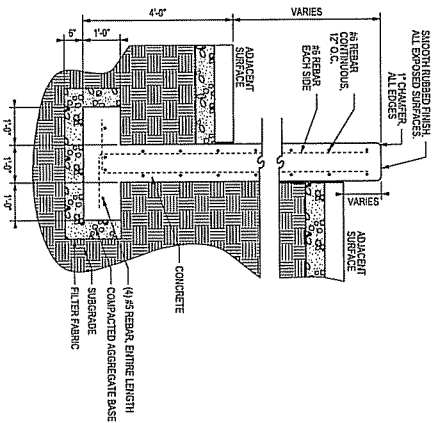
4 STAIR HANDRAIL

SCALE: 3/4"=1'-0"



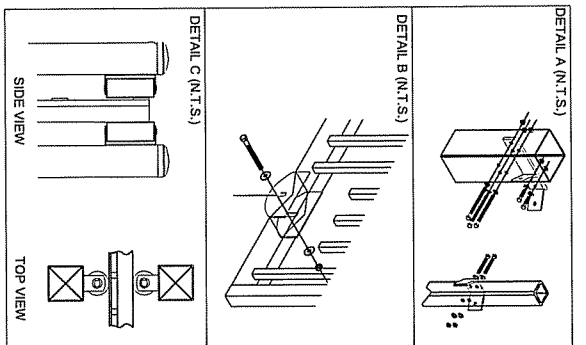
5 RAMP HANDRAIL

SCALE: 3/4"=1'-0"

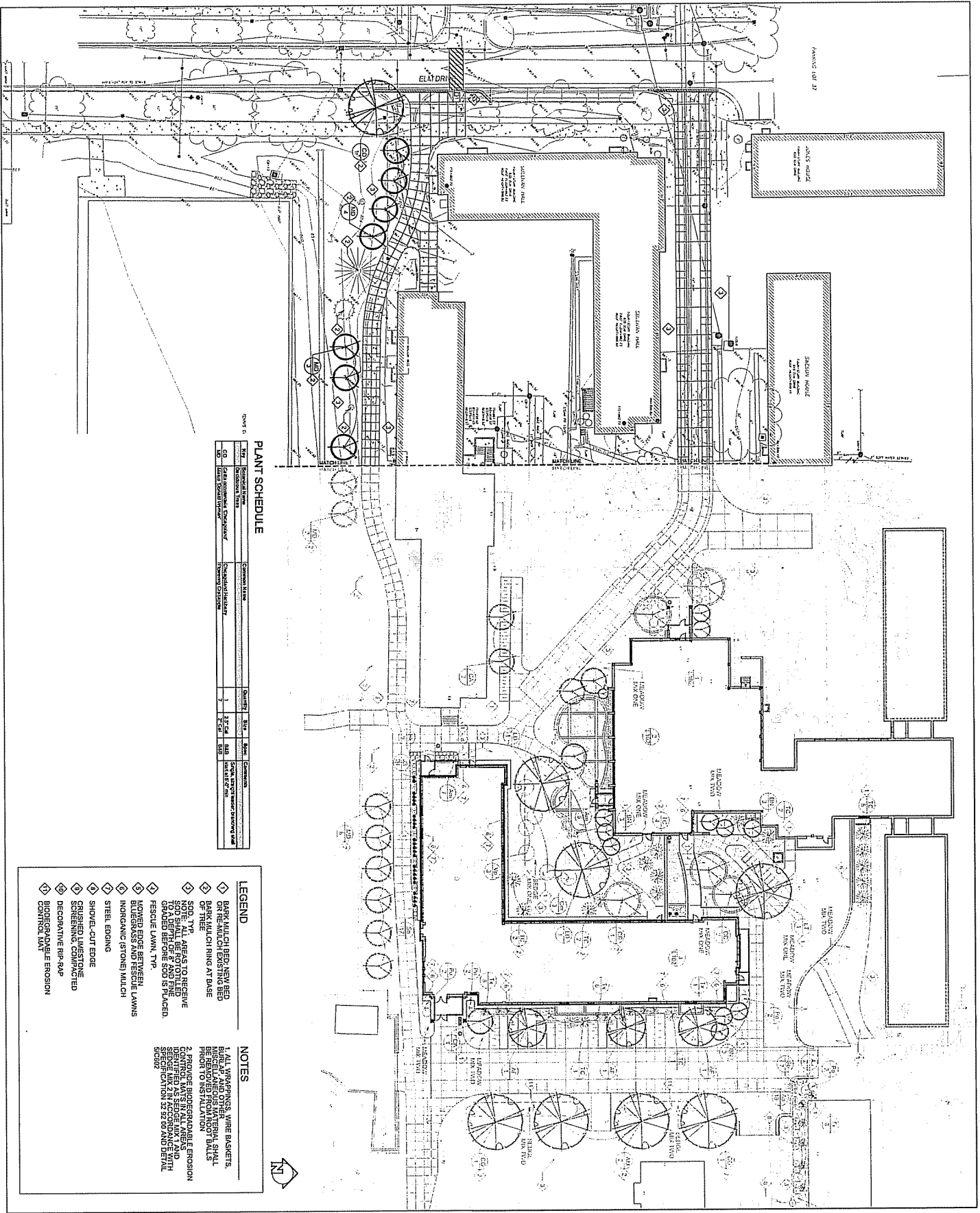


6 CONCRETE WALL

SCALE: 1"=1'-0"



		Project Title: LAKESHORE PHASE II	
Project Location: MADISON, WISCONSIN		Agency / Institution: UNIVERSITY OF WISCONSIN - MADISON	
Sheet No.: C602		Date: 6/30/2011	
Scale: 1"=1'-0"		Designer: [Signature]	
Checker: [Signature]		Approver: [Signature]	
Title: SITE DETAILS		Date: 6/30/2011	



PLANT SCHEDULE

NO.	DESCRIPTION	QUANTITY	SIZE	TYPE	REMARKS
101	Calluna/maidenhair	1	2 1/2" x 4"	RB	Plant in 12" x 12" container
102	Calluna/maidenhair	1	2 1/2" x 4"	RB	Plant in 12" x 12" container

- LEGEND**
- ◇ BARK MULCH BED, NEW BED OR RE-MULCH EXISTING BED
 - ◇ GRASS
 - ◇ PARK MULCH RING AT BASE OF TREE
 - ◇ FESCUE LAWN, TYP.
 - ◇ HOWED EDGE BETWEEN BLUERASS AND FESCUE LAWNS
 - ◇ INORGANIC (STON) MULCH
 - ◇ STEEL EDGING
 - ◇ SHOULDER CUT EDGE
 - ◇ SAND/STONE COMPACTED
 - ◇ DECORATIVE RIP-RAP
 - ◇ DIVISION LAWN
 - ◇ DIVISION LAWN EROSION


- NOTES**
- ALL VAPORINGS, WIRE BASKETS, BURIED AND OTHER MATERIAL SHALL BE REMOVED FROM HOOD BALLS PRIOR TO INSTALLATION
 - PROVIDE WIRE REINFORCING STEEL EROSION IDENTIFIED AS SEVERE MAX 1" AND SPECIFICATION 32 52 00 AND DETAIL SC082

Graphic Scale	0' 3" 6" 9" 12'
North Arrow	1/4" = 1'-0"
Sheet Number	PL 101
Date	03/20/11
Drawn By	[Signature]
Checked By	[Signature]
Project Name	L101

Project Title:
LAKESHORE PHASE II


Project Location:
MADISON, WISCONSIN

Sheet Title:
PLANTING PLAN



State of Wisconsin
Department of Administration
Division of State Facilities

Agency/Institution:
UNIVERSITY OF WISCONSIN - MADISON

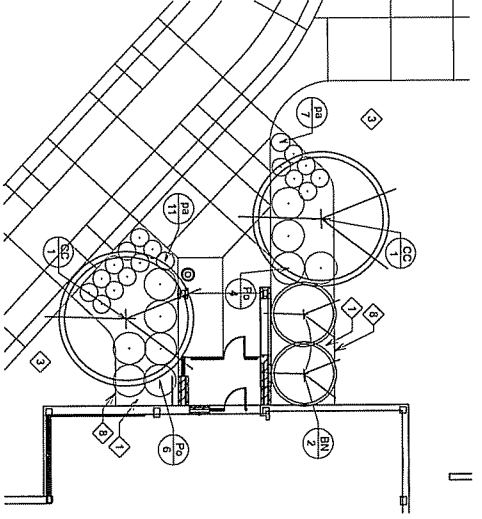


Oppenheim United Architects
1000 North Lincoln Street, Suite 100
Madison, WI 53703
608.261.1111
www.oppenheim-architects.com

DATE: 03/20/11
PROJECT: LAKESHORE PHASE II
SHEET: PL 101

PLANT SCHEDULE

Qty	Item/Description	Common Name	Quantity	Size	Sp. #	Comments
1	Planting Bed	Planting Bed	1	8" x 8"	08B	SEE PLAN FOR DETAILS
2	Planting Bed	Planting Bed	2	8" x 8"	08B	SEE PLAN FOR DETAILS
3	Planting Bed	Planting Bed	3	8" x 8"	08B	SEE PLAN FOR DETAILS
4	Planting Bed	Planting Bed	4	8" x 8"	08B	SEE PLAN FOR DETAILS
5	Planting Bed	Planting Bed	5	8" x 8"	08B	SEE PLAN FOR DETAILS
6	Planting Bed	Planting Bed	6	8" x 8"	08B	SEE PLAN FOR DETAILS
7	Planting Bed	Planting Bed	7	8" x 8"	08B	SEE PLAN FOR DETAILS
8	Planting Bed	Planting Bed	8	8" x 8"	08B	SEE PLAN FOR DETAILS
9	Planting Bed	Planting Bed	9	8" x 8"	08B	SEE PLAN FOR DETAILS
10	Planting Bed	Planting Bed	10	8" x 8"	08B	SEE PLAN FOR DETAILS

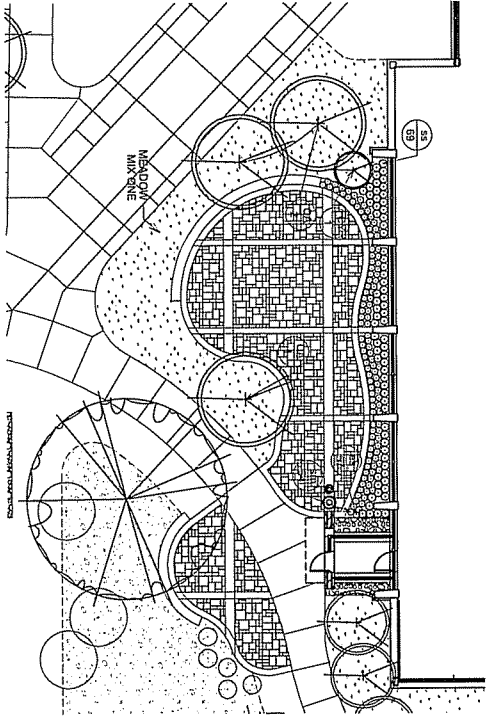


1 WEST HOLT ENTRY PLANTING

SCALE: 1/8"=1'-0"

PLANT SCHEDULE

Qty	Item/Description	Common Name	Quantity	Size	Sp. #	Comments
1	Planting Bed	Planting Bed	1	8" x 8"	08B	SEE PLAN FOR DETAILS
2	Planting Bed	Planting Bed	2	8" x 8"	08B	SEE PLAN FOR DETAILS
3	Planting Bed	Planting Bed	3	8" x 8"	08B	SEE PLAN FOR DETAILS
4	Planting Bed	Planting Bed	4	8" x 8"	08B	SEE PLAN FOR DETAILS
5	Planting Bed	Planting Bed	5	8" x 8"	08B	SEE PLAN FOR DETAILS
6	Planting Bed	Planting Bed	6	8" x 8"	08B	SEE PLAN FOR DETAILS
7	Planting Bed	Planting Bed	7	8" x 8"	08B	SEE PLAN FOR DETAILS
8	Planting Bed	Planting Bed	8	8" x 8"	08B	SEE PLAN FOR DETAILS
9	Planting Bed	Planting Bed	9	8" x 8"	08B	SEE PLAN FOR DETAILS
10	Planting Bed	Planting Bed	10	8" x 8"	08B	SEE PLAN FOR DETAILS

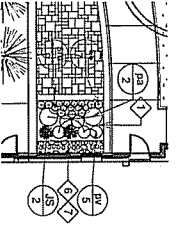


2 LOWER PATIO PLANTING

SCALE: 1/8"=1'-0"

PLANT SCHEDULE

Qty	Item/Description	Common Name	Quantity	Size	Sp. #	Comments
1	Planting Bed	Planting Bed	1	8" x 8"	08B	SEE PLAN FOR DETAILS
2	Planting Bed	Planting Bed	2	8" x 8"	08B	SEE PLAN FOR DETAILS
3	Planting Bed	Planting Bed	3	8" x 8"	08B	SEE PLAN FOR DETAILS
4	Planting Bed	Planting Bed	4	8" x 8"	08B	SEE PLAN FOR DETAILS
5	Planting Bed	Planting Bed	5	8" x 8"	08B	SEE PLAN FOR DETAILS
6	Planting Bed	Planting Bed	6	8" x 8"	08B	SEE PLAN FOR DETAILS
7	Planting Bed	Planting Bed	7	8" x 8"	08B	SEE PLAN FOR DETAILS
8	Planting Bed	Planting Bed	8	8" x 8"	08B	SEE PLAN FOR DETAILS
9	Planting Bed	Planting Bed	9	8" x 8"	08B	SEE PLAN FOR DETAILS
10	Planting Bed	Planting Bed	10	8" x 8"	08B	SEE PLAN FOR DETAILS



3 UPPER PATIO PLANTING

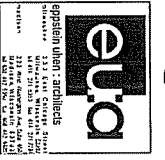
SCALE: 1/8"=1'-0"

LEGEND

- ◇ BARK MULCH BED, NEW BED OR RE-MULCH EXISTING BED OR TREE
- ◇ BARK MULCH RING AT BASE
- ◇ SOIL TYP. AREAS TO RECEIVE 2" FESCUE LAWN, TYP.
- ◇ 3" x 3" SMALL BEGONIA PLANT GRASS BEFORE SOIL IS PLACED.
- ◇ LOWER EDGE BETWEEN BLUEGRASS AND FESCUE LAWNS
- ◇ INORGANIC (STONE) MULCH
- ◇ STEEL EDGING
- ◇ SHOULDER, CUT EDGE
- ◇ SCISSORING (W/SHARPENED)
- ◇ DECORATIVE RIP RAP
- ◇ BROWN IRON PIGMENTED FESCUE LAWN

NOTES

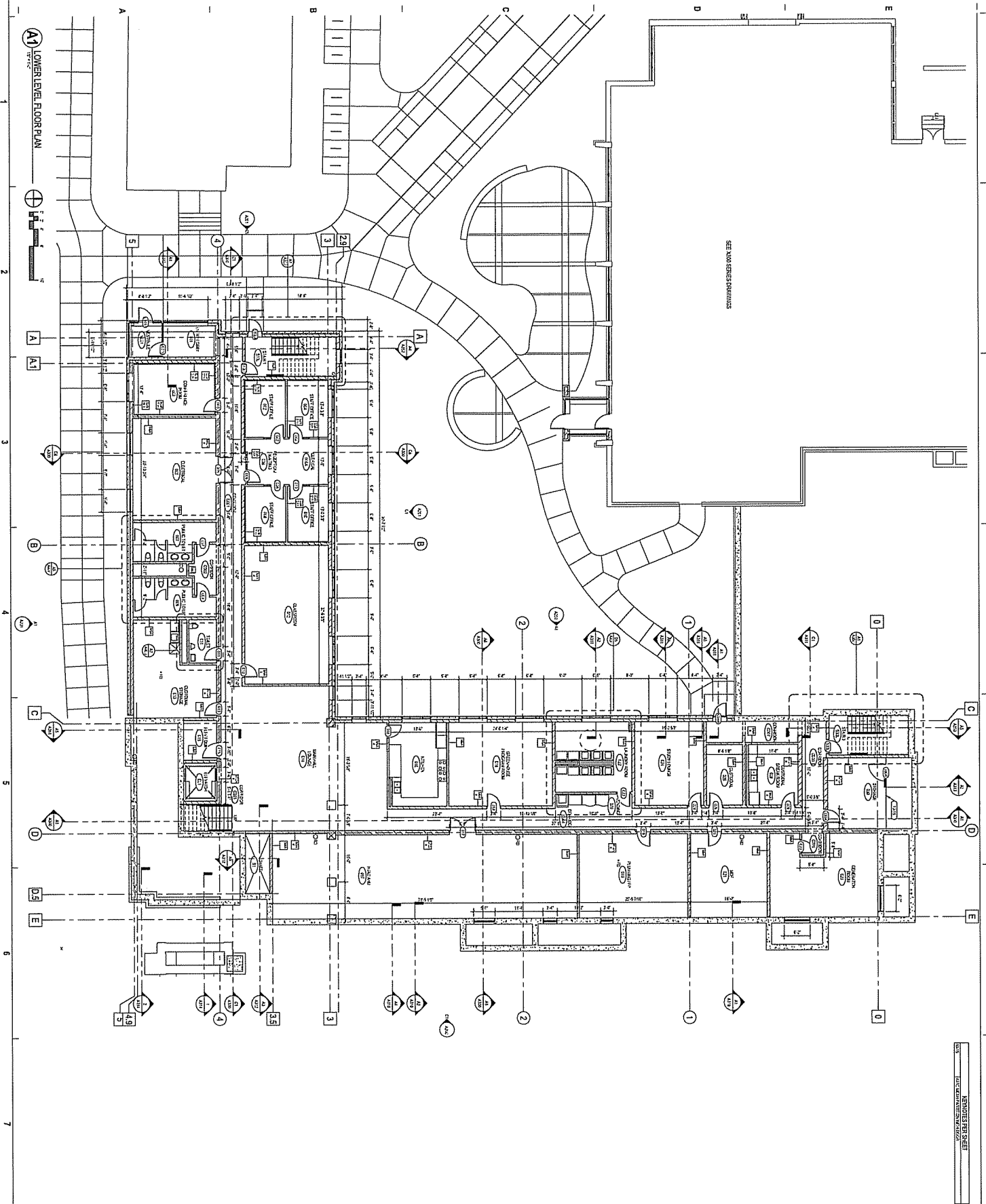
1. ALL WRAPPINGS, WIRE BASKETS, BURLAP AND OTHER MATERIAL SHALL BE REMOVED FROM HOOT BALLS PRIOR TO INSTALLATION
2. PROVIDE RIGID REGULAR EROSION IDENTIFIED AS SERGES AX11 AND SPECIFICATION 32.52.00 AND DETAIL 5/C602



State of Wisconsin
Department of Administration
Division of State Facilities

Agency/Institution
UNIVERSITY OF WISCONSIN - MADISON

Project Title:	LAKESHORE PHASE II
Project Location:	MADISON, WISCONSIN
Sheet Title:	DETAILED PLANTING PLAN
Client:	State of Wisconsin
Contract Number:	65320911
Scale:	1/8"=1'-0"
Sheet Number:	L102



A1 LOWER LEVEL FLOOR PLAN

Project Title	UW - MADISON LAKESHORE RESIDENCE HALL PHASE II
Project Location	MADISON, WISCONSIN
Sheet Title	LOWER LEVEL PLAN
Revision	Rev. Date. By. Description
1	
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Project Title
UW - MADISON LAKESHORE RESIDENCE
HALL PHASE II

Project Location
MADISON, WISCONSIN


Sheet Title
LOWER LEVEL PLAN



State of Wisconsin
Department of Administration
Division of State Facilities

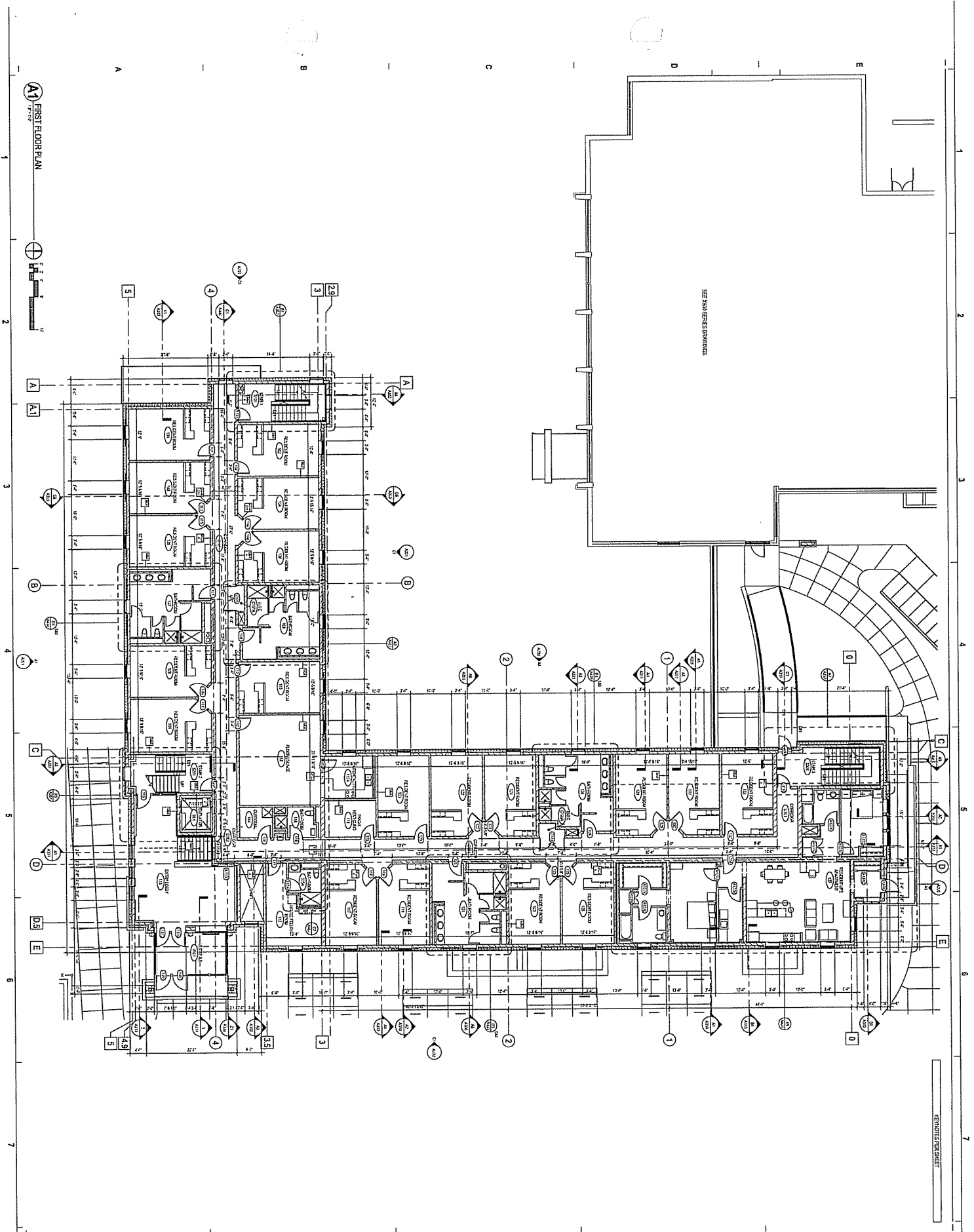
Agency/Institution
UNIVERSITY OF WISCONSIN - MADISON

Contractor



euro architects
3112 East Columbia Street
Madison, WI 53706
608.263.2222
www.euroarchitects.com

A100



A1 FIRST FLOOR PLAN



A A1

B

C

D

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RENDERED FIRST SHEET

Project Title	UW - MADISON LAKESHORE RESIDENCE HALL PHASE II
Project Location	MADISON, WISCONSIN
Sheet Title	FIRST FLOOR PLAN
Scale	1/8" = 1'-0"
Drawn	WJG
Checked	WJG
Approved	WJG
Discipline	ARCHITECTURE
Sheet Number	A101

State of Wisconsin
 Department of Administration
 Division of State Facilities

Agency / Institution:
 UNIVERSITY OF WISCONSIN - MADISON

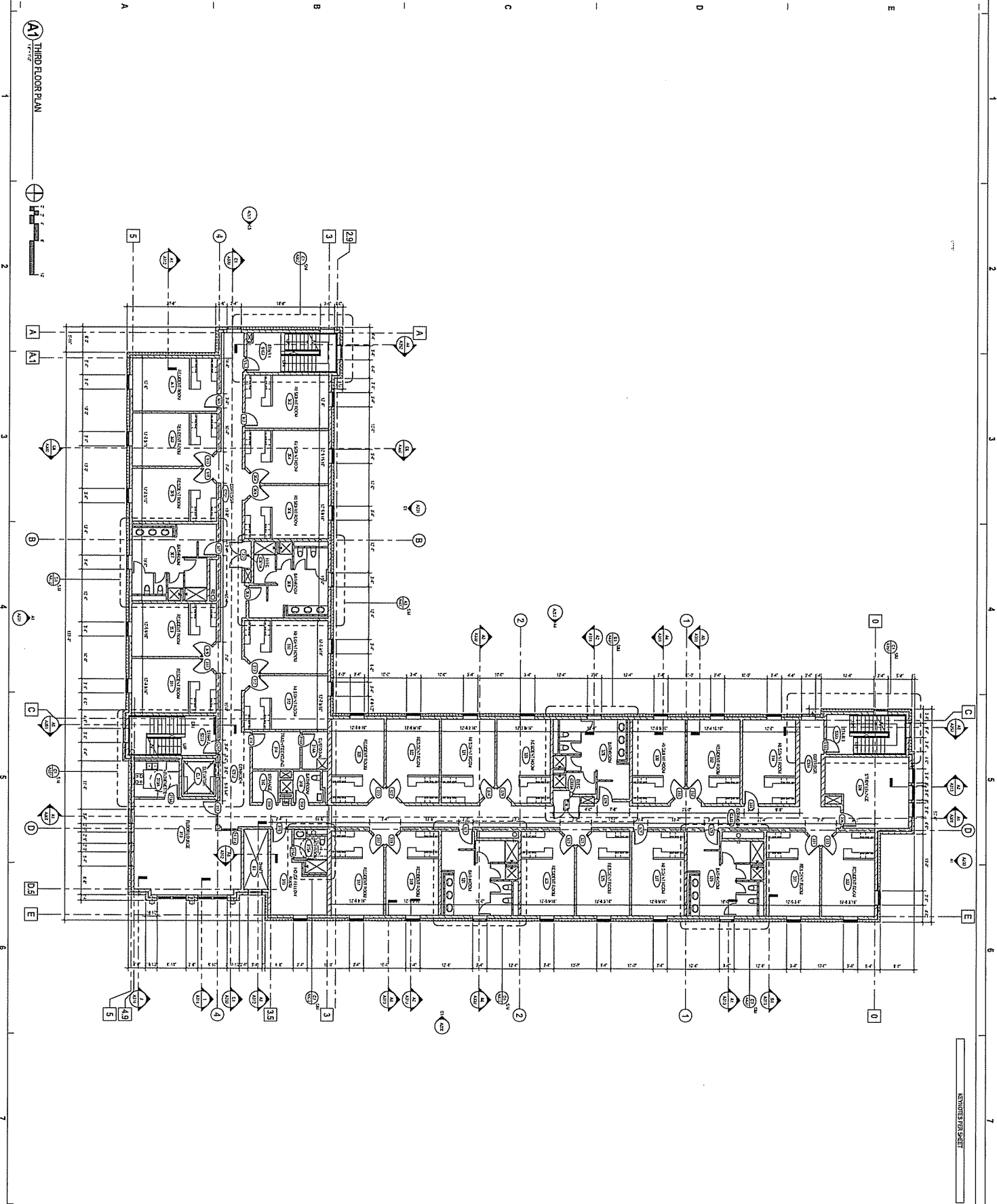


Project Title: UW - MADISON LAKESHORE RESIDENCE HALL PHASE II
 Project Location: MADISON, WISCONSIN
 Sheet Title: FIRST FLOOR PLAN

ewca

engineering & construction
 1000 Wisconsin Avenue, Suite 1000
 Madison, WI 53703
 Phone: 608.263.1111
 Fax: 608.263.1112
 Email: info@ewca.com

Document



A1 THIRD FLOOR PLAN

Project Title	UW - MADISON LAKESHORE RESIDENCE HALL PHASE II
Project Location	MADISON, WISCONSIN
Sheet Title	THIRD FLOOR PLAN
Scale	1/4" = 1'-0"
Drawn By	JK
Checked By	JK
Date	10/20/11
Project No.	10000
Client	CITY OF MADISON
Sheet Number	A103

State of Wisconsin
Department of Administration
Division of State Facilities



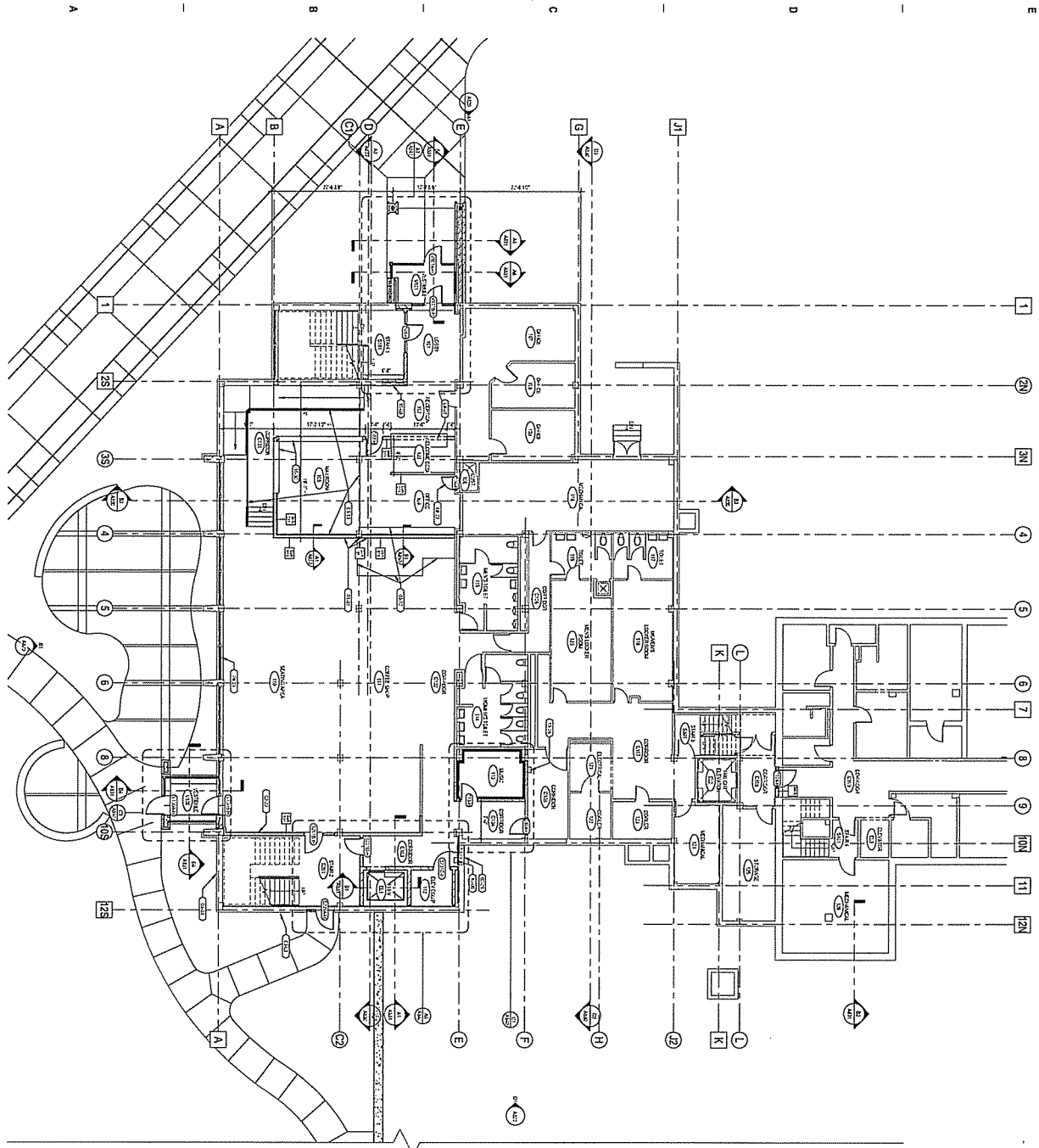
Agency / Institution:
UNIVERSITY OF WISCONSIN - MADISON

euo

Engineering & Urban Operations
221 East Wilson Street
Madison, WI 53706
608.263.4444
608.263.4445
608.263.4446
608.263.4447
608.263.4448
608.263.4449
608.263.4450

Contract

9



A1 FIRST FLOOR PLAN



SHEET NOTES - FLOOR PLAN

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
2. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
3. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
4. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED BUDGET.
5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED QUALITY STANDARDS.
6. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED SAFETY STANDARDS.
7. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ENVIRONMENTAL STANDARDS.
8. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ACCESSIBILITY STANDARDS.
9. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ENERGY EFFICIENCY STANDARDS.
10. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED SUSTAINABILITY STANDARDS.
11. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED RESILIENCE STANDARDS.
12. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED SECURITY STANDARDS.

REMOVED FROM SHEET

NO.	DESCRIPTION
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Project Title	UW - MADISON LAKESHORE RESIDENCE HALL PHASE II
Project Location	MADISON, WISCONSIN
Sheet Title	HOLT COMMONS - FIRST FLOOR PLAN
Scale	AS SHOWN
Date	04/20/11
Sheet Number	A801

State of Wisconsin
Department of Administration
Division of State Facilities

Agency / Institution
UNIVERSITY OF WISCONSIN-MADISON

Approved when modified

04/20/11

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Contract

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