



URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

This form may also be completed online at:
<http://www.cityofmadison.com/planning/documents/UDCApplication.pdf>

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

Please complete all sections of the application, including the desired meeting date and the type of action requested.

Date Submitted: <u>March 23, 2016</u>	<input type="checkbox"/> Informational Presentation <input type="checkbox"/> Initial Approval <input checked="" type="checkbox"/> Final Approval
UDC Meeting Date: <u>6-1-2016</u>	
Combined Schedule Plan Commission Date (if applicable): <u>May 23, 2016</u>	

1. Project Address: 601 Langdon St., Madison, WI
 Project Title (if any): Graduate Madison

2. This is an application for (Check all that apply to this UDC application):

New Development Alteration to an Existing or Previously-Approved Development

A. Project Type:

- Project in an Urban Design District* (public hearing-\$300 fee)
- Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) (\$150 fee, Minor Exterior Alterations)
- Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment Campus District (EC)
- Planned Development (PD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Planned Residential Complex

B. Signage:

- Comprehensive Design Review* (public hearing-\$300 fee) Street Graphics Variance* (public hearing-\$300 fee)
- Signage Exception(s) in an Urban Design District (public hearing-\$300 fee)

C. Other:

Please specify:

AGENDA ITEM #	
LEGISTAR #	<u>13104</u>
ALD. DIST.	<u>8</u>

3. Applicant, Agent & Property Owner Information:

Applicant Name: Joyce Kc Company: AJ Capital Partners
 Street Address: 133 N. Jefferson St., 4th Floor City/State: Chicago, IL Zip: 60661
 Telephone: (312) 777-3129 Fax: (312) 275-1070 Email: jk@ajcpt.com

Project Contact Person: Bill Wellman Company: Graduate Madison
 Street Address: 601 Langdon St. City/State: Madison, WI Zip: 53703
 Telephone: (608) 257-2832 Email: bwellman@graduatemadison.com

Project Owner (if not applicant): Graduate Madison Owner LLC
 Street Address: 133 N. Jefferson St., 4th Floor City/State: Chicago, IL Zip: 60661
 Telephone: (312) 777-3129 Fax: (312) 275-1070 Email: _____

4. Applicant Declarations:

A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Al Martin on March 14, 2016.

B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of Applicant: Graduate Madison Owner LLC Relationship to Property: Property owner / fee holder
 Authorized Signature: [Signature] Date: 3/18/2016

THE GRADUATE MADISON - ADDITION AND ALTERATIONS

601 LANGDON STREET
 MADISON, WI 53703



PROJECT PERSPECTIVE

LIST OF DRAWINGS

- C1.0 SITE & LANDSCAPE APPROVED
- C1.0R SITE & LANDSCAPE REVISED
- C1.1 GRADING & UTILITY APPROVED
- C1.1R GRADING & UTILITY REVISED
- A1.1 FIRST FLOOR PLAN APPROVED
- A1.1R FIRST FLOOR PLAN REVISED
- A1.8R ROOF PLAN
- A5.2R ENLARGED CAFE/PATIO PLAN
- A2.0 ELEVATIONS APPROVED
- A2.0CR ELEVATIONS REVISED
- A2.1 ELEVATIONS APPROVED
- A2.1CR ELEVATIONS REVISED
- A2.2CR BUILDING PERSPECTIVES

Architecture :

Dimension IV Madison Design Group

6515 Grand Teton Plaza, Suite 120, Madison, WI 53719
 p: 608.829.4444 www.dimensionivmadison.com

Structural Engineering:

Oneida Total Integrated Enterprises (OTIE)

5100 Eastpark Boulevard, Suite 200, Madison, WI 53718
 p: 608.243.6470 www.otie.com

LIST OF DRAWINGS

- GENERAL
- G0.1 COVER SHEET
- G0.2 PROJECT INFORMATION
- G1.1R CODE COMPLIANCE PLANS
- G1.2R CODE COMPLIANCE PLANS
- CIVIL
- SURVEY
- C1.0R SITE AND LANDSCAPE PLAN
- C1.1R GRADING AND UTILITY PLAN
- DEMOLITION
- D1.1R FIRST FLOOR DEMOLITION PLAN
- D1.2R SECOND FLOOR AND SEVENTH FLOOR DEMOLITION PLAN
- STRUCTURAL
- S0.1 STRUCTURAL NOTE SHEET
- S1.0 BASEMENT, 1ST FLOOR, 2ND THRU 6TH FLOOR FRAMING PLANS & DETAILS
- S1.1 7TH FLOOR/ROOF FRAMING PLANS
- S8.0 STRUCTURAL DETAILS
- ARCHITECTURAL
- A1.0 BASEMENT FLOOR PLAN
- A1.1R FIRST FLOOR PLAN
- A1.2 SECOND THROUGH FIFTH FLOOR PLANS
- A1.6R SIXTH & SEVENTH FLOOR PLANS
- A1.8R ROOF PLAN
- A2.0R EXTERIOR ELEVATIONS
- A2.1R EXTERIOR ELEVATIONS
- A3.0 BUILDING SECTION

LIST OF DRAWINGS

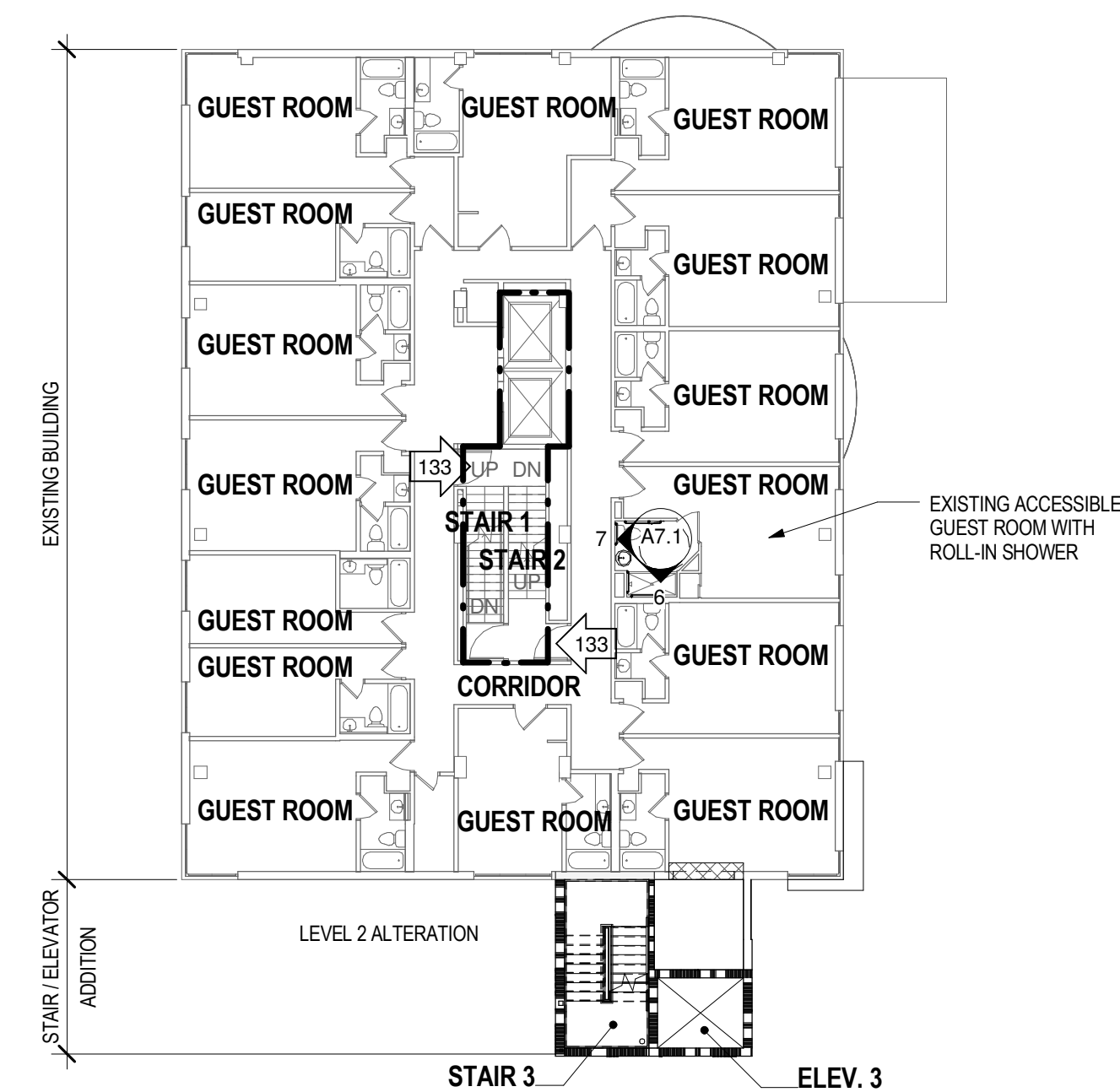
- A3.1R STAIR AND ELEVATOR SECTIONS
- A3.2R BUILDING SECTIONS
- A3.3R BUILDING AND WALL SECTIONS
- A4.1R REFLECTED CEILING PLANS
- A5.0R ENLARGED STAIR AND RESTROOM PLANS
- A6.0R WALL AND PARTITION TYPES
- A6.1 FLOOR, CEILING, AND ROOF TYPES
- A6.2R DOOR & WINDOW SCHEDULES, TYPES, & ELEVATIONS
- A6.3R DOOR & WINDOW DETAILS
- A7.0 INTERIOR ELEVATIONS
- A7.1 GUEST ROOM ADA BATHROOMS
- A8.0R DETAILS
- A8.1R DETAILS
- A8.2R DETAILS
- A8.3R DETAILS
- A8.4 DETAILS
- A8.5 DETAILS
- FOODSERVICE
- FS1.0 FOODSERVICE EQUIPMENT FLOOR PLAN
- FS2.0 FOODSERVICE EQUIPMENT SCHEDULE
- FS3.0 FOODSERVICE ELECTRICAL ROUGH-IN PLAN
- FS4.0 FOODSERVICE PLUMBING ROUGH-IN PLAN
- FS5.0 FOODSERVICE MECHANICAL PLAN
- FS5.1 FOODSERVICE HOOD SHOP DRAWING
- FS5.2 FOODSERVICE HOOD SHOP DRAWING
- FS6.0 FOODSERVICE SPECIAL CONDITIONS PLAN
- FS6.1 WALK-IN COOLER MANUFACTURER SHOP DRAWING
- FS7.0 FOODSERVICE ELEVATIONS
- FS7.1 FOODSERVICE ELEVATIONS
- FS8.0 FOODSERVICE GENERAL NOTES

CODE COMPLIANCE GENERAL NOTES

- A. REFER TO SHEET A7.0 FOR ACCESSIBLE MOUNTING AND CLEARANCES INFORMATION.
- B. ALL FIRE EXTINGUISHER CABINETS SHALL BE IN APPROVED LOCATIONS WITH A MINIMUM TRAVEL DISTANCE TO EXTINGUISHER TO BE 75 FEET PER I.F.C. - SEE PLANS FOR LOCATIONS.
- C. EXIT ACCESS TRAVEL DISTANCE IS 250' FEET MAXIMUM WITH SPRINKLERS PER TABLE 1016.1.
- D. COMMON PATH OF EGRESS TRAVEL SHALL NOT EXCEED 75' PER 1014.3 (RESIDENTIAL AND ASSEMBLY WITH FEWER THAN 50 OCCUPANTS).
- E. EVERY ASSEMBLY OCCUPANCY ROOM OR SPACE TO HAVE SIGNAGE POSTING OCCUPANT LOAD NEAR THE DOOR/EXIT FROM THE ROOM OR SPACE.

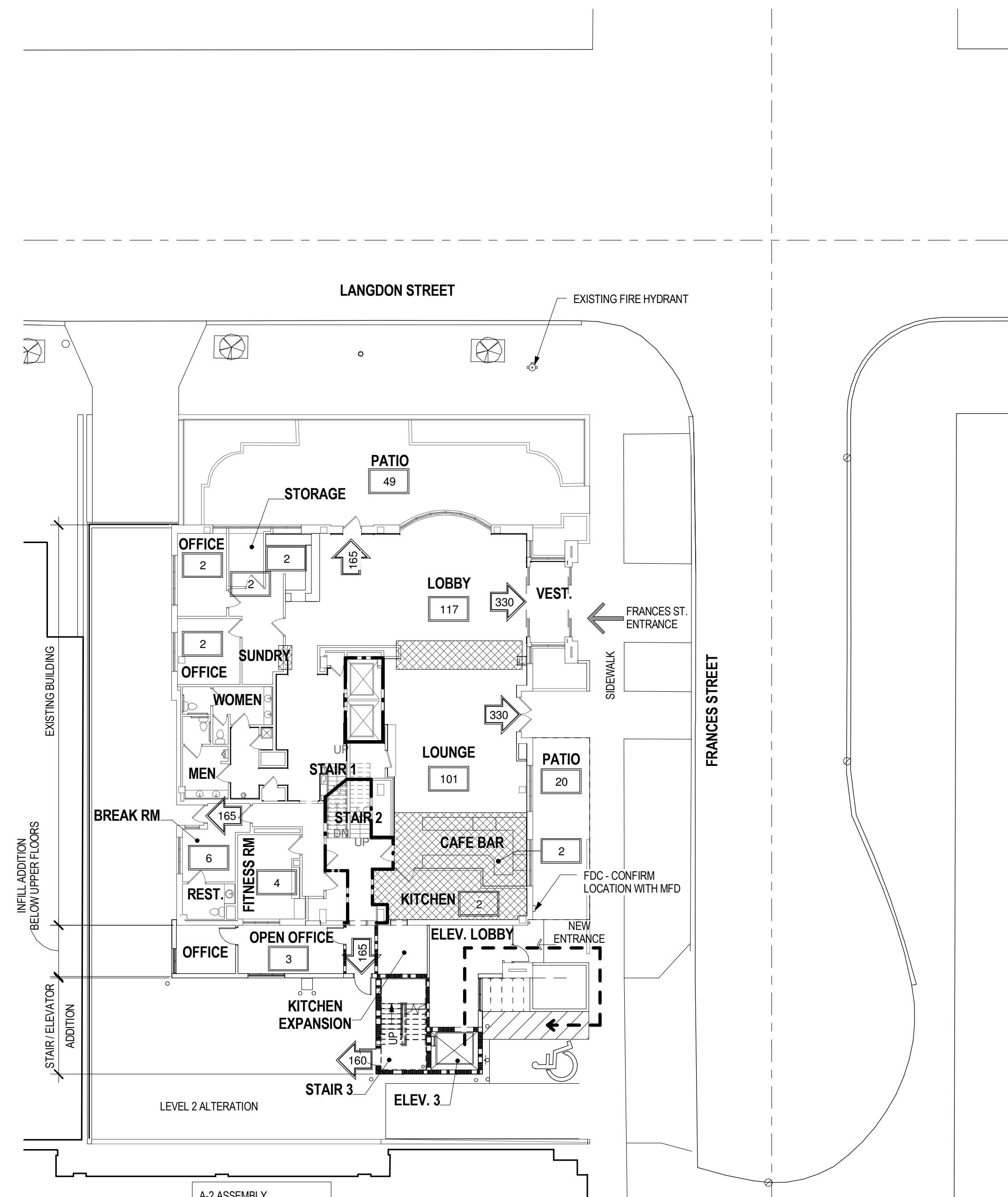
CODE COMPLIANCE SYMBOLS LEGEND

- XXX INDICATES OCCUPANCY LOAD
- INDICATES ADA ACCESSIBLE ROUTE
- XXX INDICATES EXIT AND EXIT CAPACITY
- INDICATES 1 HOUR FIRE RATED WALL (SEC 709)
- INDICATES 2 HOUR FIRE RATED WALL (SEC 709)
- EXISTING RATED WALL
- INDICATES AREA OF ALTERATIONS



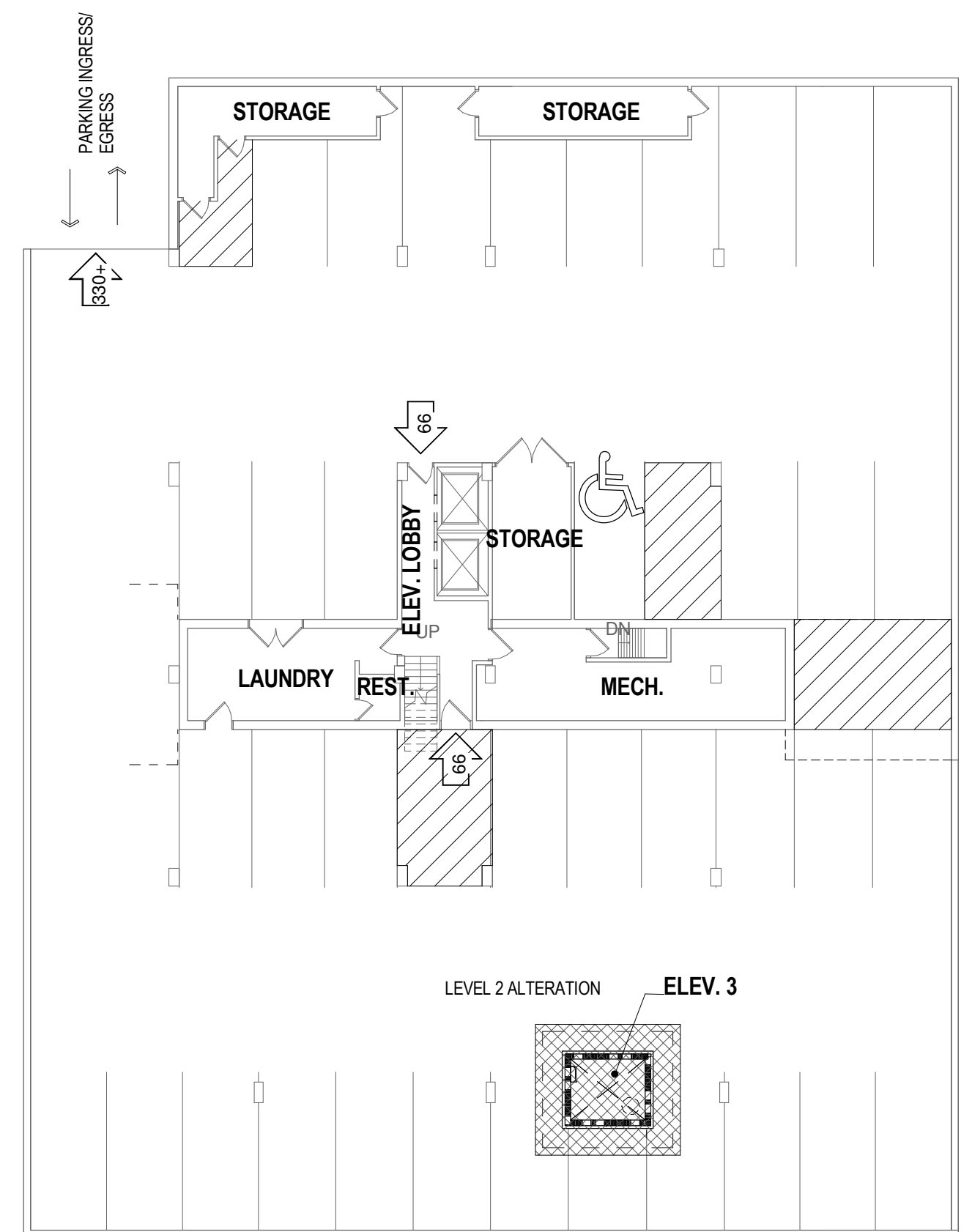
R-1 RESIDENTIAL
OCCUPANCY LOAD: 27

4 CODE COMPLIANCE PLAN - SECOND FLOOR
1/16" = 1'-0"



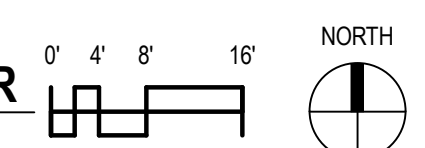
A-2 ASSEMBLY
OCCUPANCY LOAD: 312

3 CODE COMPLIANCE PLAN - FIRST FLOOR
1/16" = 1'-0"



S-2 STORAGE OCCUPANCY
LOAD: 67

2 CODE COMPLIANCE PLAN - BASEMENT FLOOR
1/16" = 1'-0"



**THE GRADUATE
MADISON - ADDITION
AND ALTERATIONS**

601 LANGDON STREET
MADISON, WI 53703

DATE OF ISSUE: 01/15/2015

REVISIONS:

PROJECT # 14043

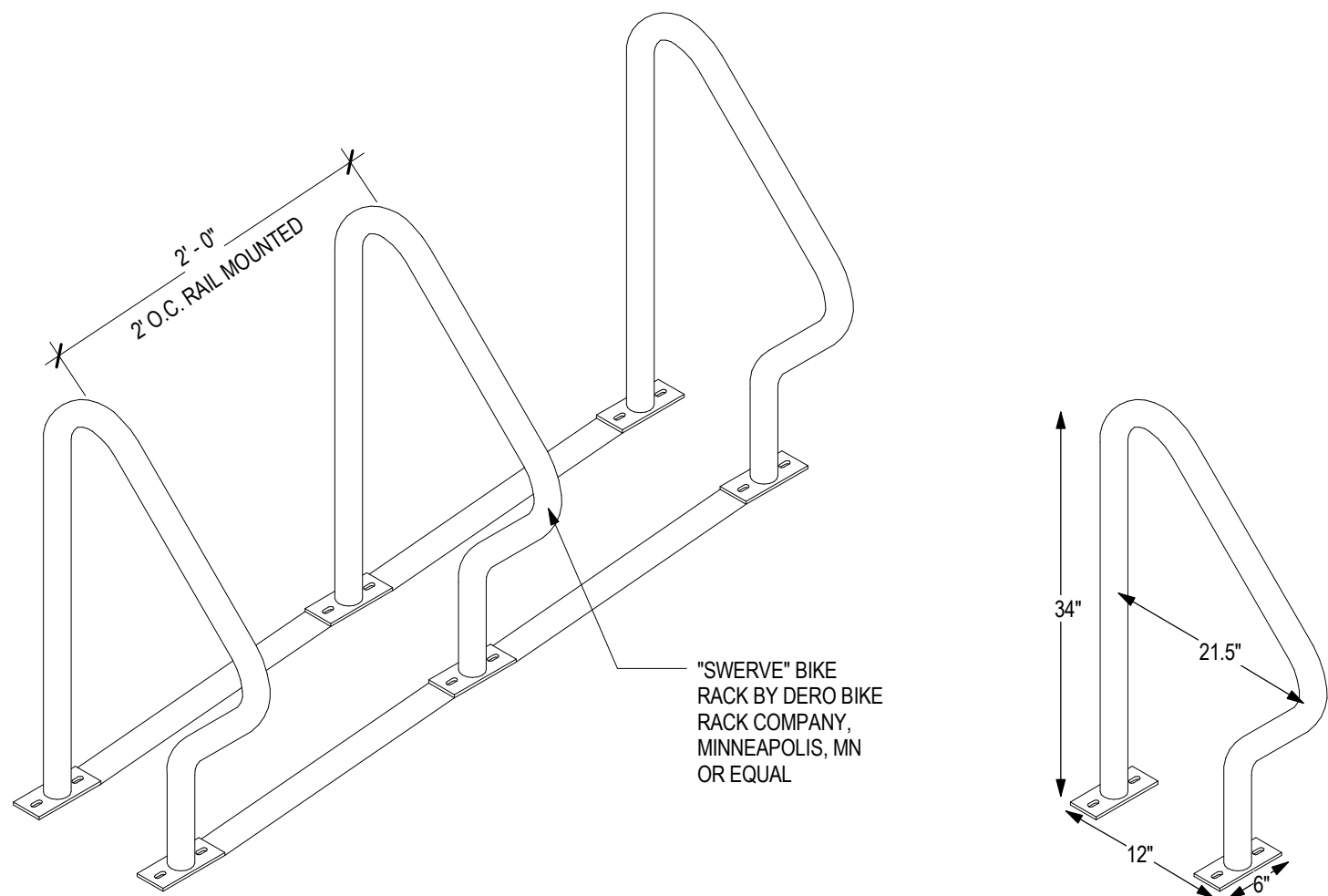
**CODE COMPLIANCE
PLANS**

FLOOR PLAN KEYNOTES

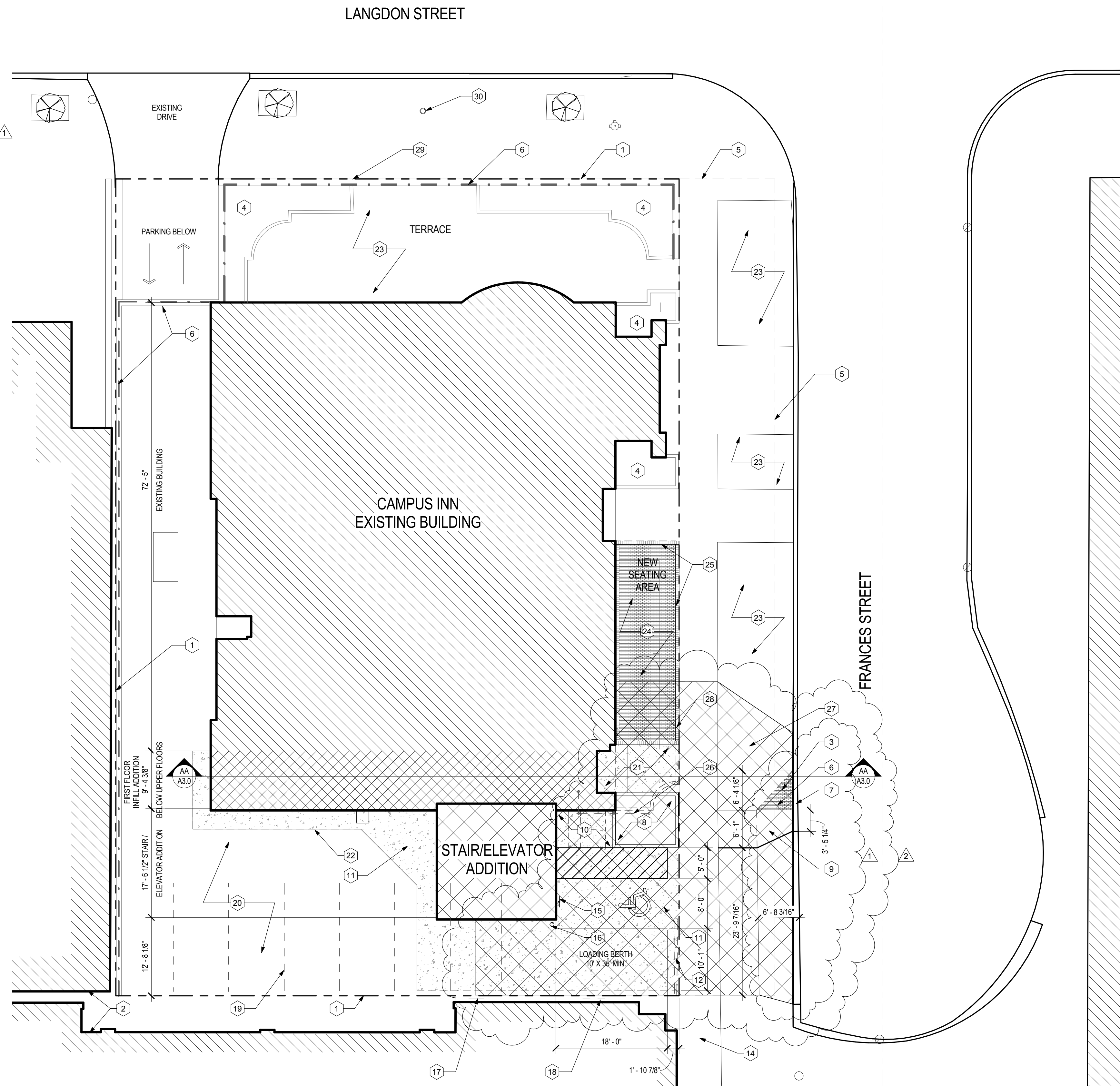
- 1 PROPERTY LINE
- 2 ADJACENT BUILDING
- 3 REMOVE EXISTING CURB CUT AND PORTION OF DRIVE. INFILL AND INTEGRATE WITH PAVERS TO MATCH EXISTING TO EDGE OF EXISTING PAVERS.
- 4 EXISTING PLANTER BED
- 5 PARKING BASEMENT BELOW
- 6 EXISTING RAILING TO REMAIN
- 7 CURB AND GUTTER TO MATCH EXISTING, BLEND WITH EXISTING DRIVEWAY APPROACH
- 8 PLANTER BED TO BE CONSTRUCTED WITH SALVAGED STONE CURB. PLANTINGS TO BE ANNUALS AND PERENNIALS, TYP. - SELECTIONS VARY
- 9 FILL IN REMAINING EXCAVATION WITH CONCRETE TO MATCH EXISTING SIDEWALK AND TO CREATE NEW EDGE OF DRIVEWAY APPROACH
- 10 4 BIKE PARKING STALLS 2'-0" X 6'-0" SEE DETAIL 2 / C1.0
- 11 CONCRETE PAVEMENT - TAPER SURFACE TO MATCH EXISTING GRADES/ SURFACES
- 12 REMOVE EXISTING CONCRETE CURB
- 13 NOT USED
- 14 EXISTING CONCRETE SIDEWALK TO REMAIN
- 15 ADA PARKING STALL SIGNAGE
- 16 STEEL BOLLARD
- 17 REMOVE EXISTING ADA PARKING SIGN
- 18 REMOVE EXISTING SIGN AND INSTALL "LOADING ZONE - NO PARKING" SIGN
- 19 EXISTING PARKING TO BE REMOVED
- 20 EXISTING PAVEMENT TO REMAIN
- 21 CONCRETE WALK, MAX SLOPE 1:20
- 22 SAW CUT AND REMOVE EXISTING PAVEMENT. STRUCTURAL CONCRETE DECK BELOW TO REMAIN
- 23 EXISTING BRICK PAVERS TO REMAIN
- 24 BRICK PAVERS TO MATCH EXISTING COLORS AND PATTERN
- 25 PROVIDE MOVABLE FENCE - TO MATCH EXISTING RAILING
- 26 REMOVE EXISTING BOLLARDS AND RAILS
- 27 SHADED AREA TO BE REGRADED AS SHOWN ON C1.1. EXISTING LANDSCAPE CURB AND PAVERS TO BE SAVED FOR RE-USE.
- 28 EXISTING PLANTER TO BE REMOVED - SALVAGE STONE CURB FOR REUSE
- 29 EXISTING RETAINING WALL
- 30 EXISTING STREET LIGHT

SITE PLAN GENERAL NOTES

- A. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY STANDARDS AND SPECIFICATIONS.
- B. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
- C. CONTRACTOR TO FILED VERIFY DIMENSION AND ELEVATIONS PRIOR TO BEGINNING CONSTRUCTION. ALL MATCHING PAVEMENT AND STORM SEWER ELEVATIONS SHALL BE VERIFIED IN THE FIELD TO ALLOW FOR PROPER DRAINAGE.
- D. CONTOUR AND SPOT ELEVATIONS SHOWN ARE FINISH GRADE ELEVATIONS.
- E. CONTRACTOR SHALL RESTORE ALL PAVEMENT CURB & GUTTER, SIDEWALK, AND PAVEMENT AREAS ON PROPERTY OR IN RIGHT OF WAY DAMAGED DURING CONSTRUCTION.
- F. ALL DISTURBED PAVEMENT, CURB AND GUTTER IN THE RIGHT OF WAY FOR FRANCES STREET AND LANGDON STREET TO BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.



2 BIKE STALL DETAIL
1" = 1'-0"



1 SITE AND LANDSCAPE PLAN
1" = 10'-0"

**THE DAHLMAN
CAMPUS INN -
ADDITION AND
ALTERATIONS**
601 LANGDON STREET
MADISON, WI 53703

**APPROVED
DRAWING**

**PLAN
COMMISSION
SUBMITTAL**

DATE OF ISSUE: 7/16/2014

REVISIONS:

1	PLAN COMMISSION REVISIONS	10-9-14
2	PLAN COMMISSION REVISIONS	11-26-14

PROJECT # 14043

**SITE AND
LANDSCAPE PLAN**

C1.0

**THE GRADUATE
MADISON - ADDITION
AND ALTERATIONS**

601 LANGDON STREET
MADISON, WI 53703

DATE OF ISSUE: 01/15/2015

REVISIONS:		
1	CONSTRUCTION BULLETIN #1	4/16/15

PROJECT # 14043

**SITE AND
LANDSCAPE PLAN**

C1.0R

SITE PLAN KEYNOTES

- 1 PROPERTY LINE
- 2 ADJACENT BUILDING
- 3 REMOVE EXISTING CURB CUT AND PORTION OF DRIVE
- 4 EXISTING PLANTER BED
- 5 LINE OF PARKING BASEMENT BELOW
- 6 EXISTING RAILING TO REMAIN
- 7 CURB AND GUTTER TO MATCH EXISTING, BLEND WITH ADJACENT CURB AND GUTTER
- 8 PLANTER BED TO BE CONSTRUCTED WITH SALVAGED STONE CURB. PLANTINGS TO BE ANNUALS AND PERENNIALS, TYP. - SELECTIONS VARY
- 9 REPLACE / FILL IN REMAINING EXCAVATION WITH EXISTING PAVERS TO MATCH EXISTING AND TO CREATE NEW EDGE OF DRIVEWAY APPROACH
- 10 4 BIKE PARKING STALLS 2'-0" X 6'-0" SEE DETAIL 2 / C1.0R
- 11 CONCRETE PAVEMENT INFILL - TAPER SURFACE TO MATCH EXISTING GRADES/ SURFACES
- 12 REMOVE EXISTING CONCRETE CURB
- 13 EXISTING TREES TO REMAIN - PROTECT DURING CONSTRUCTION
- 14 EXISTING CONCRETE SIDEWALK TO REMAIN
- 15 ADA PARKING STALL SIGNAGE - MOUNT ON STEEL BOLLARD CENTERED ON PARKING STALL
- 16 STEEL BOLLARD
- 17 REMOVE EXISTING ADA PARKING SIGN
- 18 REMOVE EXISTING SIGN AND INSTALL "LOADING ZONE - NO PARKING" SIGN
- 19 EXISTING PARKING STRIPING TO BE REMOVED
- 20 EXISTING PAVEMENT TO REMAIN
- 21 CONCRETE WALK, MAX SLOPE 1:20
- 22 SAW CUT AND REMOVE EXISTING PAVEMENT. STRUCTURAL CONCRETE DECK BELOW TO REMAIN
- 23 EXISTING BRICK PAVERS TO REMAIN
- 24 NEW PAVERS BY OWNER
- 25 NOT USED
- 26 REMOVE EXISTING BOLLARDS AND RAILS
- 27 HATCHED AREA TO BE REGRADED AS SHOWN ON C1.1. EXISTING LANDSCAPE CURB AND PAVERS TO BE SAVED FOR RE-USE
- 28 EXISTING PLANTER TO BE REMOVED - SALVAGE STONE CURB FOR REUSE
- 29 EXISTING RETAINING WALL
- 30 EXISTING STREET LIGHT
- 31 EXISTING FIRE HYDRANT
- 32 REMOTE CONDENSING UNIT - SEE FOODSERVICE DRAWINGS
- 33 GENERATOR WITH CONCRETE PAD
- 34 5'-0" LANDING AT ENTRY DOOR

SITE PLAN GENERAL NOTES

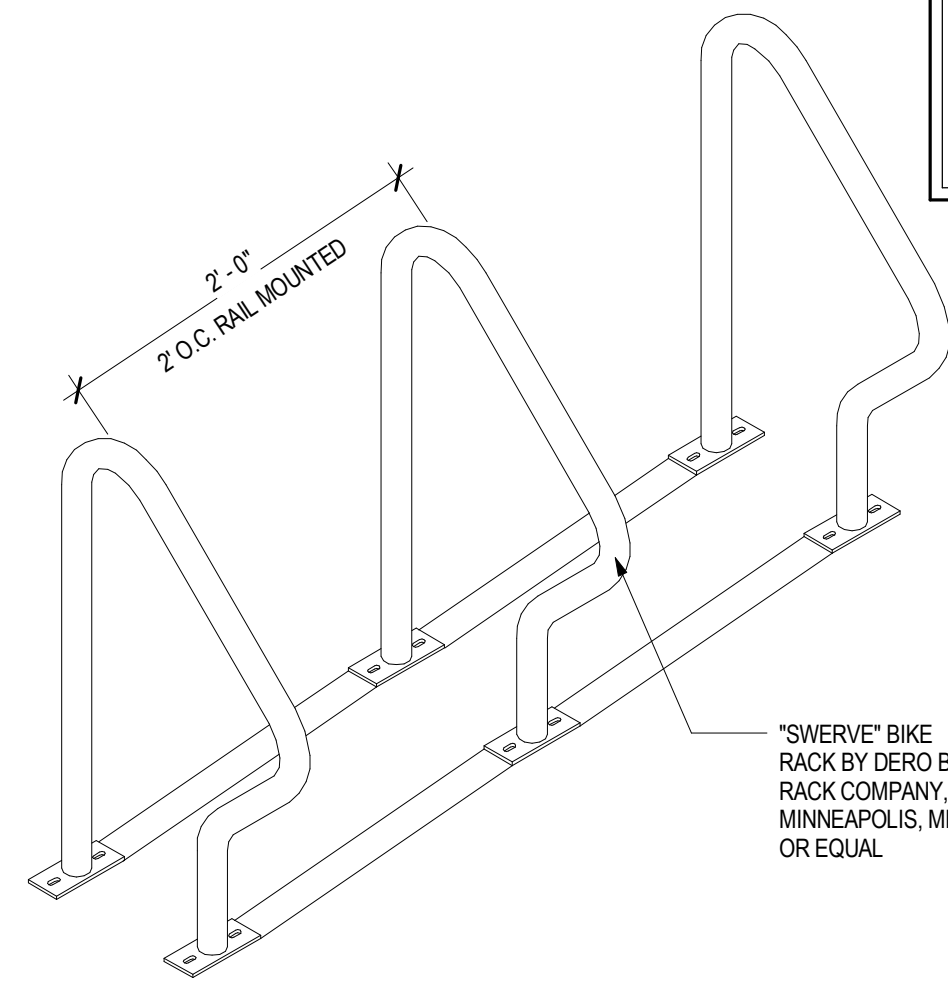
- A. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY STANDARDS AND SPECIFICATIONS.
- B. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
- C. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS, DIMENSIONS, AND ELEVATIONS PRIOR TO BEGINNING CONSTRUCTION. ALL MATCHING PAVEMENT AND STORM SEWER ELEVATIONS SHALL BE VERIFIED IN THE FIELD TO ALLOW FOR PROPER DRAINAGE.
- D. CONTOUR AND SPOT ELEVATIONS SHOWN ARE FINISH GRADE ELEVATIONS.
- E. CONTRACTOR SHALL RESTORE ALL PAVEMENT CURB & GUTTER, SIDEWALK, AND PAVEMENT AREAS ON PROPERTY OR IN RIGHT OF WAY DAMAGED DURING CONSTRUCTION.
- F. ALL DISTURBED PAVEMENT, CURB AND GUTTER IN THE RIGHT OF WAY FOR FRANCES STREET AND LANGDON STREET TO BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
- G. PROTECT EXISTING STRUCTURES, FINISHES, SITE IMPROVEMENTS, AND ADJACENT BUILDINGS DURING CONSTRUCTION.

DEMOLITION GENERAL NOTES

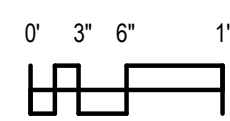
- A. MAINTAIN ALL EXIT DOORS IN UNOBSTRUCTED OPERABLE CONDITION WITH SAFE PASSAGE WAY FROM THE BUILDING. COORDINATE WITH THE LOCAL FIRE MARSHAL.
- B. PROVIDE AND MAINTAIN BARRICADES, GATES, OR OTHER MEANS OF MAINTAINING PUBLIC SAFETY AT ALL AREAS OF CONSTRUCTION OR DEMOLITION.
- C. COORDINATE STORAGE LOCATIONS FOR SALVAGED EQUIPMENT WITH OWNER.
- D. ALL STRUCTURES SHOWN DASHED ON THIS PLAN SHALL BE COMPLETELY REMOVED FROM THE SITE AND DISPOSED OF BY THE THIS CONTRACT UNLESS OTHERWISE NOTED. THIS SHALL INCLUDE ALL ELECTRICAL, MECHANICAL OR PLUMBING WITHIN THE REMOVED STRUCTURE. TERMINATE MEP AS REQUIRED. VERIFY EXISTING CONDITIONS IN FIELD PRIOR TO BIDDING AND COMMENCING WORK.
- E. PREPARATION FOR NEW FINISHES SHALL INCLUDE REMOVAL OF FINISHES, REMOVAL OF TAPES, GLUES (MASTIC), NAILS, ETC. PATCHING OF HOLES AND CRACKS, AND UP TO 1" OF LEVELER COMPOUND IF REQUIRED TO PROVIDE AN ACCEPTABLE SURFACE FOR NEW FINISH INSTALLATION.
- F. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING, BRACING, ETC. REQUIRED FOR REMOVAL WORK. WORK TO BE CERTIFIED BY STRUCTURAL ENGINEER IF REQUIRED.
- G. WORK WHICH RENDERS THE EXISTING BUILDING NON-WEATHER TIGHT SHALL BE FITTED TO PROVIDE WEATHER TIGHT STRUCTURE PRIOR TO NEW WORK BEING INSTALLED WITHIN.
- H. COORDINATE REMOVAL AND PATCHING REQUIRED BY MECHANICAL, PLUMBING AND ELECTRICAL DEMOLITION AND NEW WORK.
- I. OWNER WILL REMOVE LOOSE FURNISHINGS FROM THE WORK AREAS PRIOR TO START OF CONSTRUCTION.
- J. DIMENSIONS FOR REMOVAL SHOWN FOR INFORMATION ONLY. GENERAL CONTRACTOR TO VERIFY EXACT DIMENSIONS AND LOCATIONS OF REMOVAL AS REQUIRED TO INSTALL NEW WORK.

SITE PLAN LEGEND

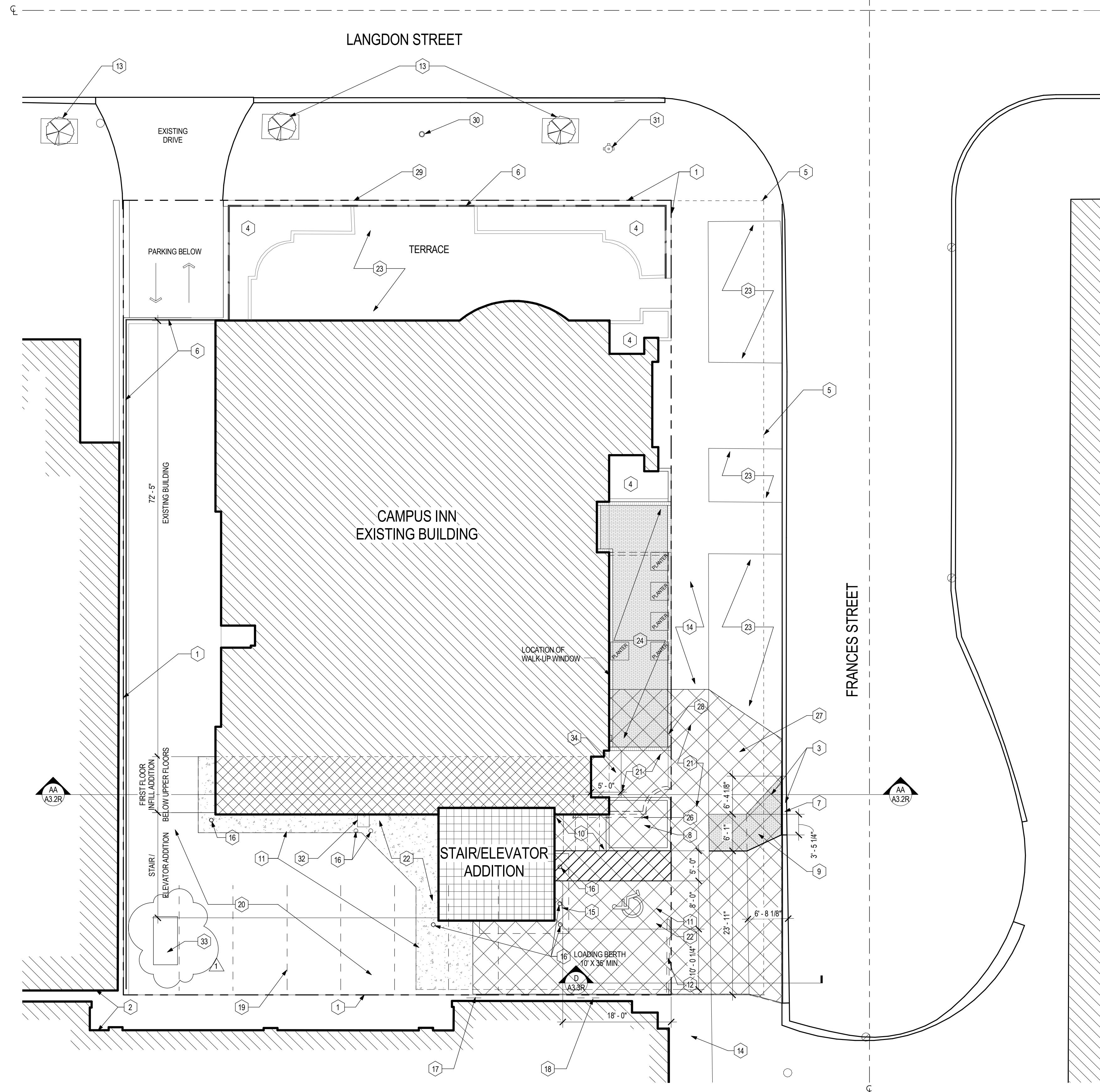
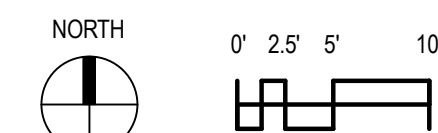
- BRICK PAVERS 9 24
- AREA TO BE REGRADED 27
- CONCRETE 11 22
- INDICATES ITEMS TO BE REMOVED
- EXISTING BUILDING
- FIRST FLOOR INFILL ADDITION
- STAIR / ELEVATOR ADDITION



2 BIKE STALL DETAIL
1" = 1'-0"



1 SITE AND LANDSCAPE PLAN
1" = 10'-0"



EROSION CONTROL NOTES

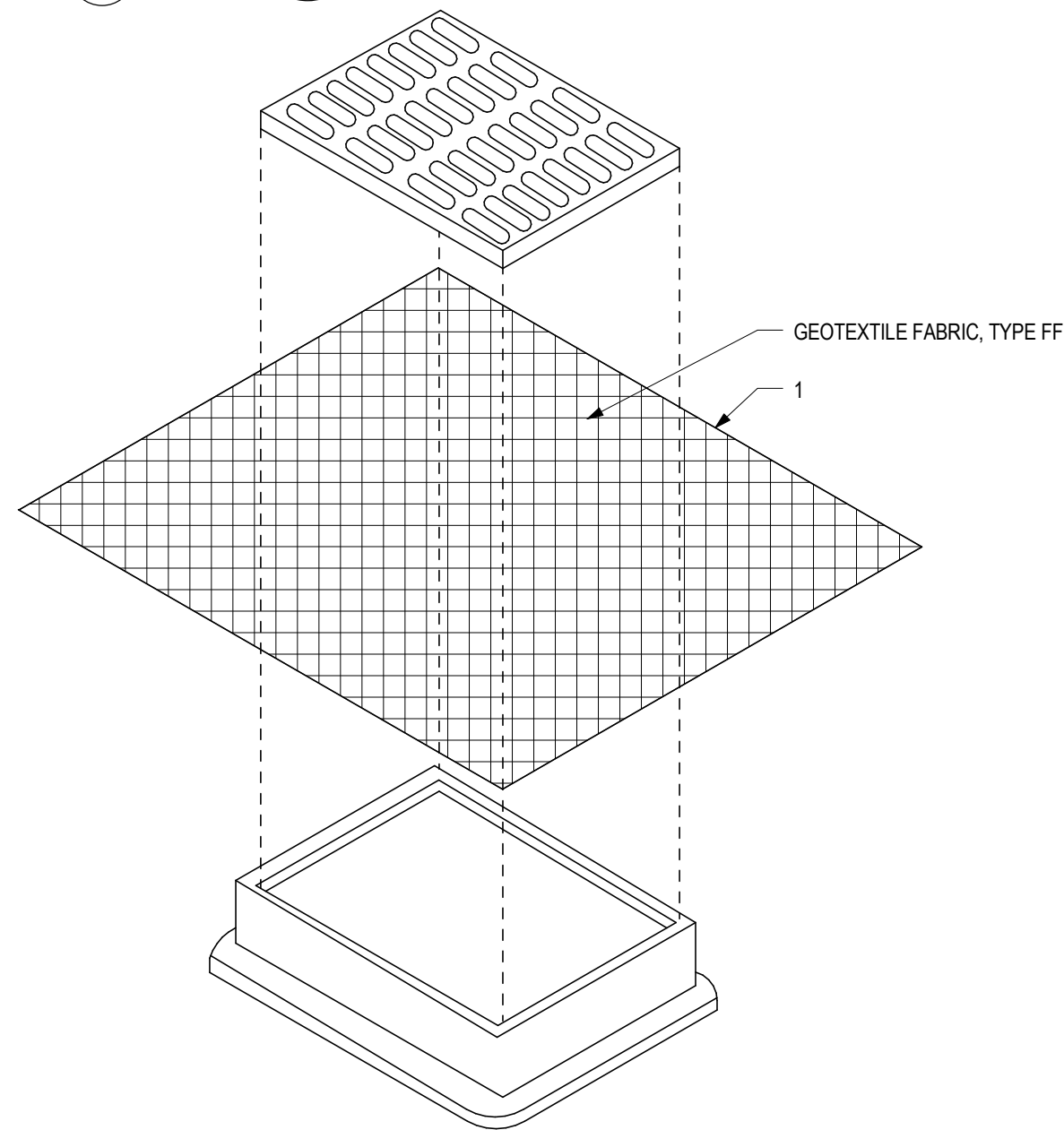
- A. THIS PROJECT SITE IS COMPLETELY COVERED BY AN EXISTING BUILDING AND PARKING BASEMENT. NO SOIL DISTURBING ACTIVITIES ARE ANTICIPATED.
- B. THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN EROSION CONTROL DEVICES FROM THE START OF CONSTRUCTION ACTIVITIES UNTIL THE FINAL STABILIZATION OF THE CONSTRUCTION SITE AND COMPLETION OF EXTERIOR CONSTRUCTION.
- C. ALL EROSION CONTROL MEASURE SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY EROSION CONTROL AND STORMWATER ORDINANCE AND THE APPROPRIATE WISCONSIN DNR CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS. THE CITY RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES AS CONDITIONS WARRANT.
- D. CLEANING, RIGHT-OF-WAY SURFACES SHALL BE THOROUGHLY CLEANED BEFORE THE END OF EACH WORKING DAY.
- E. INSPECTION, THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. DOCUMENTATION OF EACH INSPECTION SHALL INCLUDE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF LAND DISTURBANCE, AND THE CONSTRUCTION SITE PERSON CONDUCTING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND DESCRIPTION OF ANY EROSION OR SEDIMENT CONTROL MEASURE INSTALLATION.
- F. INLET PROTECTION, ALL INLETS SUBJECT TO DRAINAGE SHALL BE PROTECTED WITH WISCONSIN DOT TYPE B OR C INLET PROTECTION OR APPROVED EQUAL. ANY DEPOSITS OF DIRT, MUD, ROCK, DEBRIS, OR OTHER MATERIAL ENTERING THE STORM SEWER SYSTEM SHALL BE PROMPTLY AND THOROUGHLY CLEANED OUT. INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE A/E.
- G. TEMPORARY EROSION CONTROL, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
- H. GENERAL CONTRACTOR TO PROVIDE TRACKING CONTROL AND SWEEPING AS NEEDED.

INLET PROTECTION NOTES

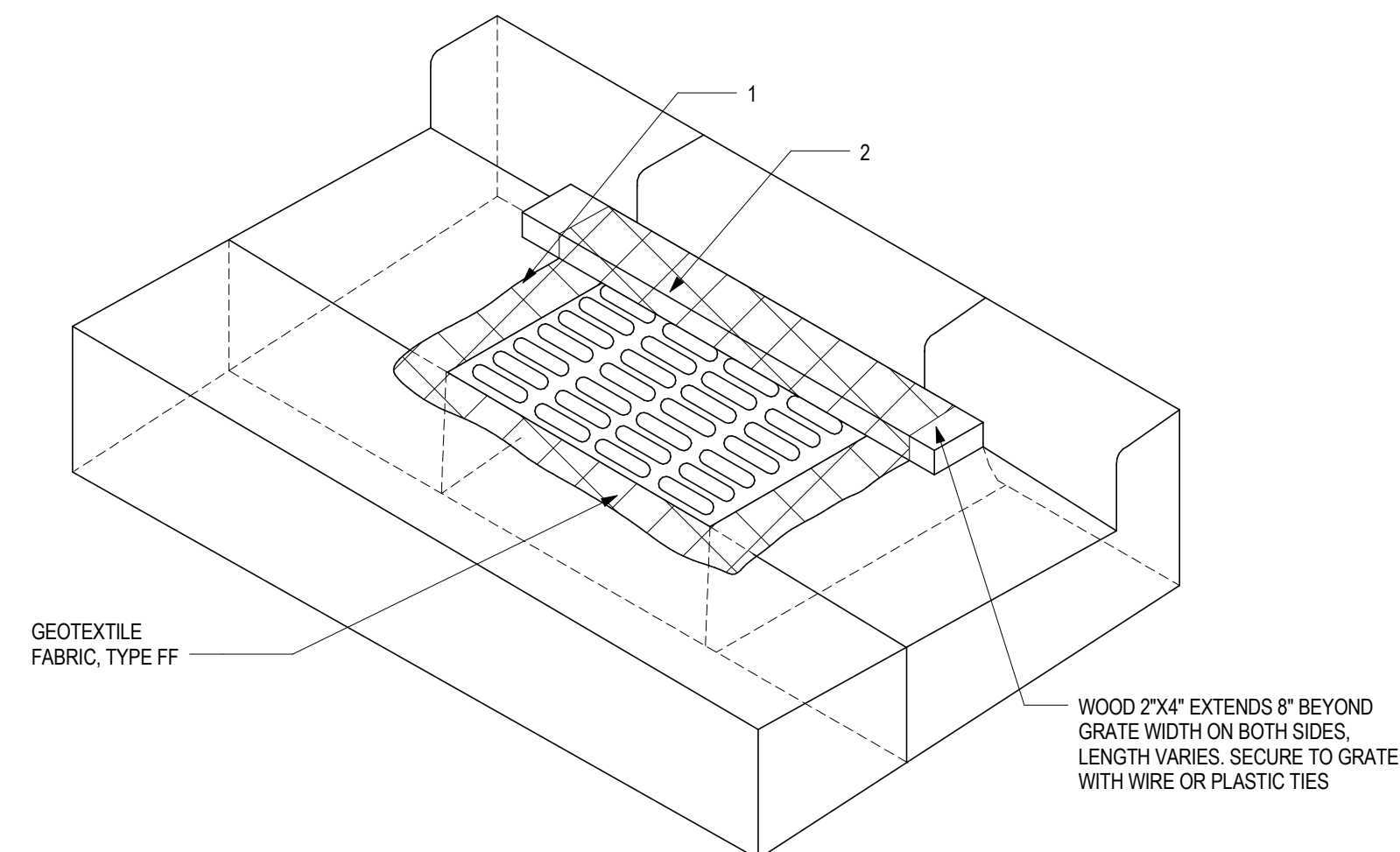
- A. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
- B. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAT, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
- C. MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENTS EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
- D. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
- 1. FINISHED SIZE INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10' AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- 2. FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.

SITE LEGEND

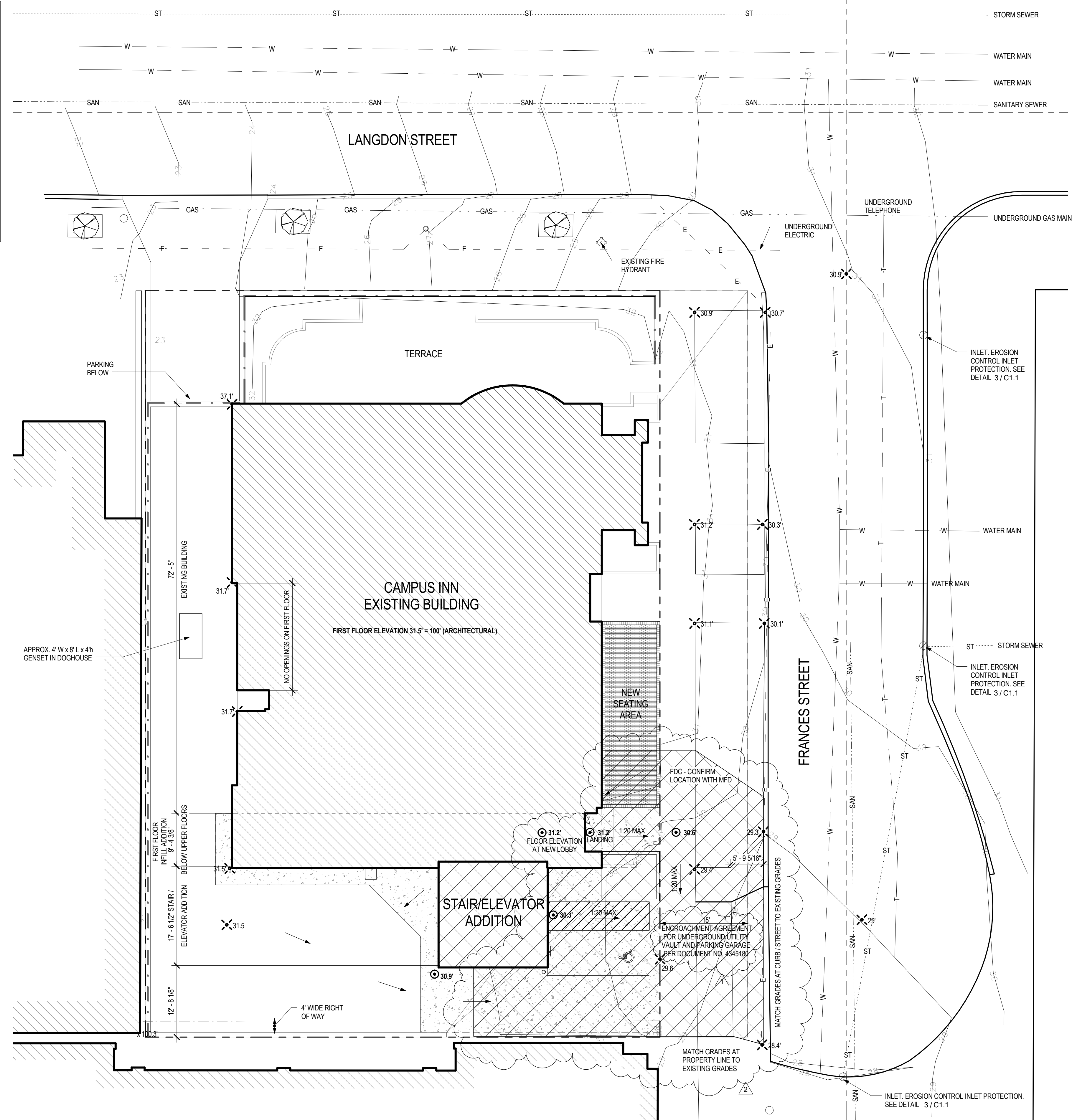
- ✕ EXISTING SPOT ELEVATION
- ⊙ PROPOSED SPOT ELEVATION
- DRAINAGE



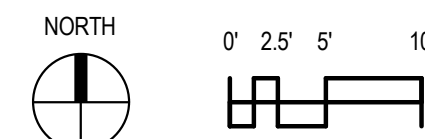
2 INLET PROTECTION TYPE B (WITHOUT CURB BOX)
N.T.S.



3 INLET PROTECTION TYPE C (WITH CURB BOX)
N.T.S.



1 GRADING AND UTILITY PLAN
1" = 10'-0"



**THE DAHLMAN
CAMPUS INN -
ADDITION AND
ALTERATIONS**
601 LANGDON STREET
MADISON, WI 53703

**APPROVED
DRAWING**

**PLAN
COMMISSION
SUBMITTAL**

DATE OF ISSUE: 7/16/2014

REVISIONS:

1	PLAN COMMISSION REVISIONS	10-9-14
2	PLAN COMMISSION REVISIONS	11-26-14

PROJECT # 14043

**GRADING AND
UTILITY PLAN**

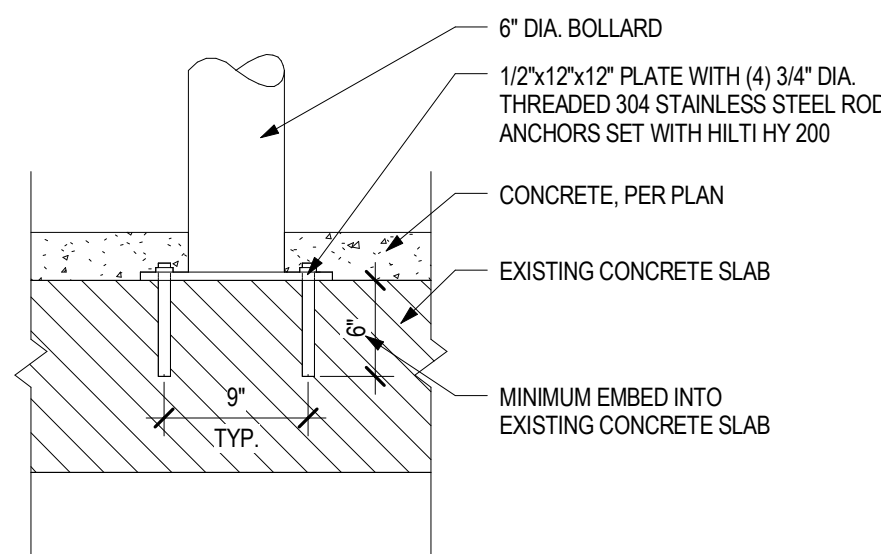
C1.1

EROSION CONTROL NOTES

- A. THIS PROJECT SITE IS COMPLETELY COVERED BY AN EXISTING BUILDING AND PARKING BASEMENT. NO SOIL DISTURBING ACTIVITIES ARE ANTICIPATED.
- B. THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN EROSION CONTROL DEVICES FROM THE START OF CONSTRUCTION ACTIVITIES UNTIL THE FINAL STABILIZATION OF THE CONSTRUCTION SITE AND COMPLETION OF EXTERIOR CONSTRUCTION.
- C. ALL EROSION CONTROL MEASURE SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY EROSION CONTROL AND STORMWATER ORDINANCE AND THE APPROPRIATE WISCONSIN DNR CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS. THE CITY RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES AS CONDITIONS WARRANT.
- D. CLEANING, RIGHT-OF-WAY SURFACES SHALL BE THOROUGHLY CLEANED BEFORE THE END OF EACH WORKING DAY.
- E. INSPECTION, THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY, AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. DOCUMENTATION OF EACH INSPECTION SHALL INCLUDE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF LAND DISTURBANCE, AND THE CONSTRUCTION SITE PERSON CONDUCTING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND DESCRIPTION OF ANY EROSION OR SEDIMENT CONTROL MEASURE INSTALLATION.
- F. INLET PROTECTION, ALL INLETS SUBJECT TO DRAINAGE SHALL BE PROTECTED WITH WISCONSIN DOT TYPE B OR C INLET PROTECTION OR APPROVED EQUAL. ANY DEPOSITS OF DIRT, MUD, ROCK, DEBRIS, OR OTHER MATERIAL ENTERING THE STORM SEWER SYSTEM SHALL BE PROMPTLY AND THOROUGHLY CLEANED OUT. INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE A/E.
- G. TEMPORARY EROSION CONTROL, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
- H. GENERAL CONTRACTOR TO PROVIDE TRACKING CONTROL AND SWEEPING AS NEEDED.

SITE LEGEND

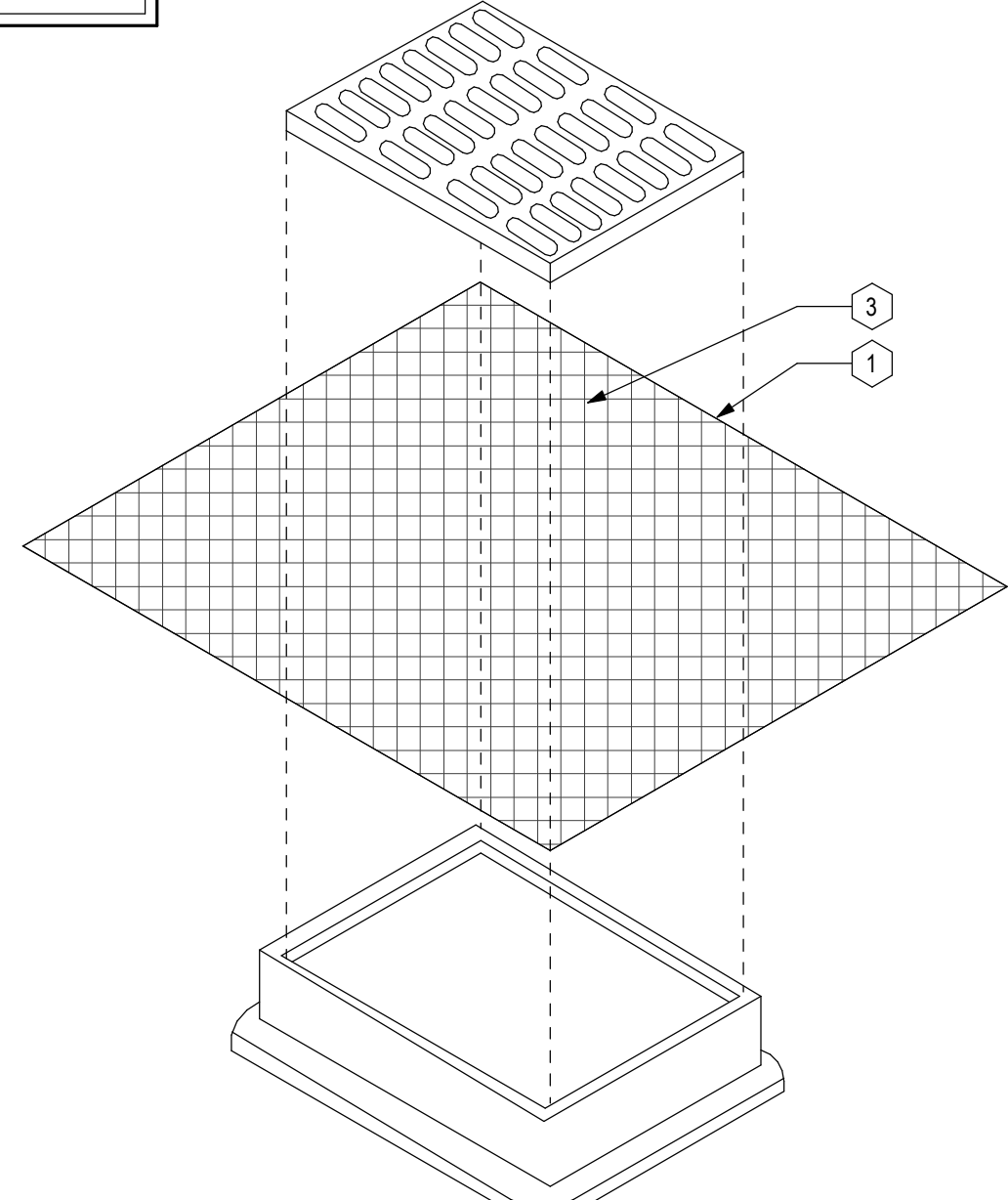
- ✕ EXISTING SPOT ELEVATION
- ⊙ PROPOSED SPOT ELEVATION
- DRAINAGE



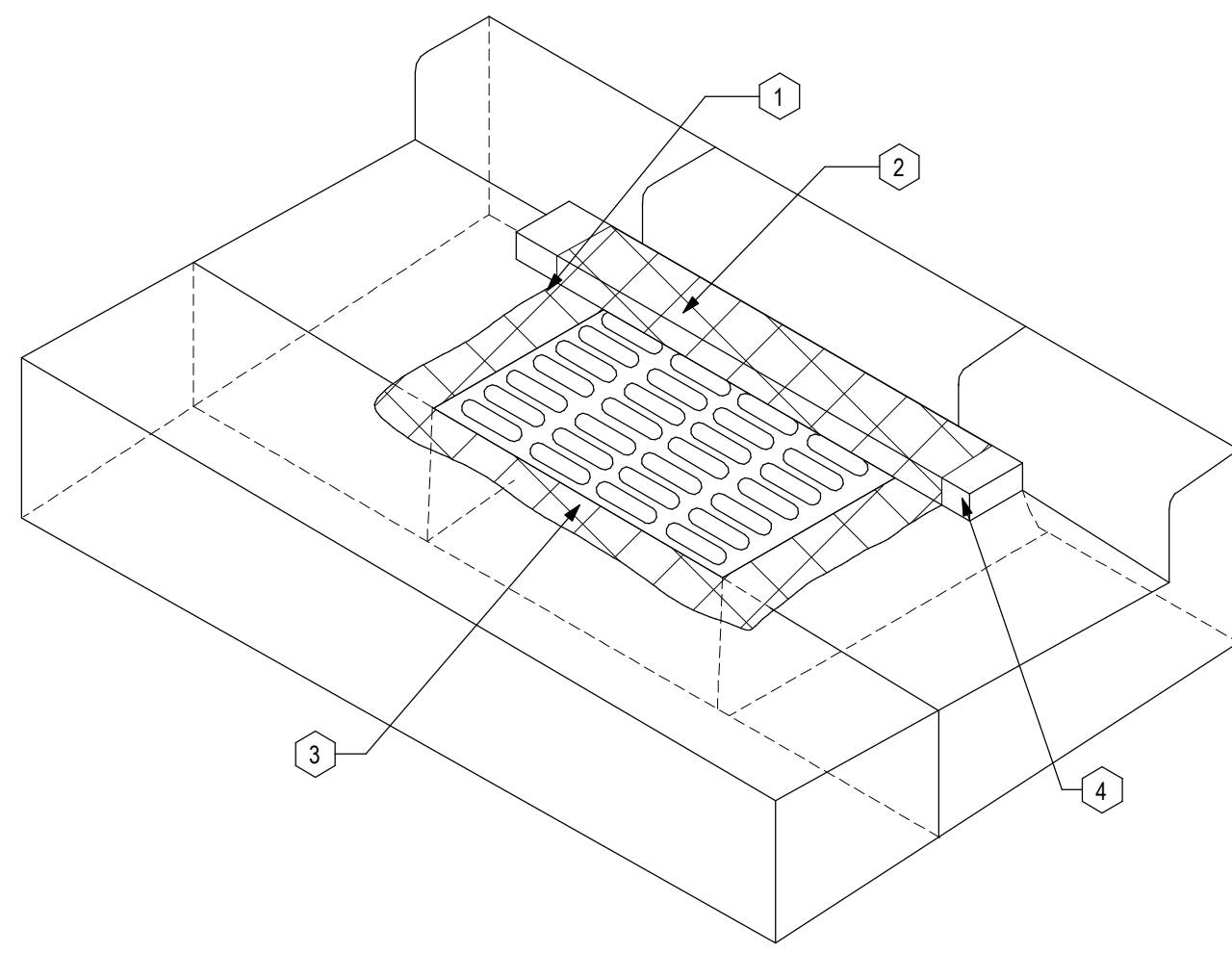
4 BOLLARD BASE
N.T.S.

INLET PROTECTION NOTES

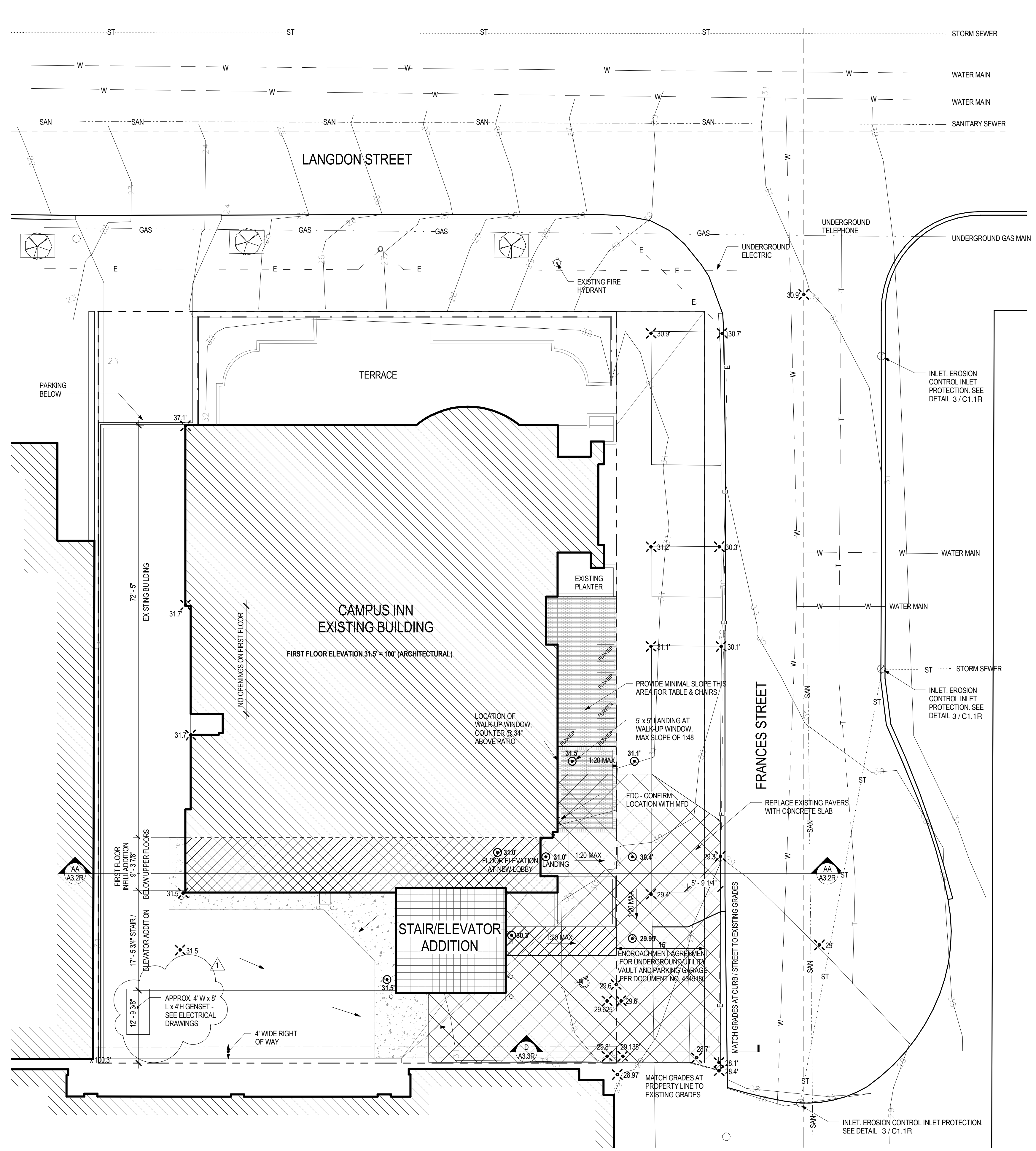
- A. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
 - B. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAT, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
 - C. MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENTS EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
 - D. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
- 1 FINISHED SIZE INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
 - 2 FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
 - 3 GEOTEXTILE FABRIC, TYPE FF.
 - 4 WOOD 2"x4" EXTENDS 8" BEYOND GRATE WIDTH ON BOTH SIDES, LENGTH VARIES. SECURE TO GRATE WITH WIRE OR PLASTIC TIES.



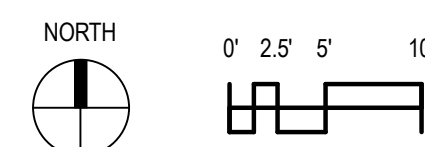
2 INLET PROTECTION TYPE B (WITHOUT CURB BOX)
N.T.S.



3 INLET PROTECTION TYPE C (WITH CURB BOX)
N.T.S.



1 GRADING AND UTILITY PLAN
1" = 10'-0"



**THE GRADUATE
MADISON - ADDITION
AND ALTERATIONS**

601 LANGDON STREET
MADISON, WI 53703

**ISSUED FOR
CONSTRUCTION**

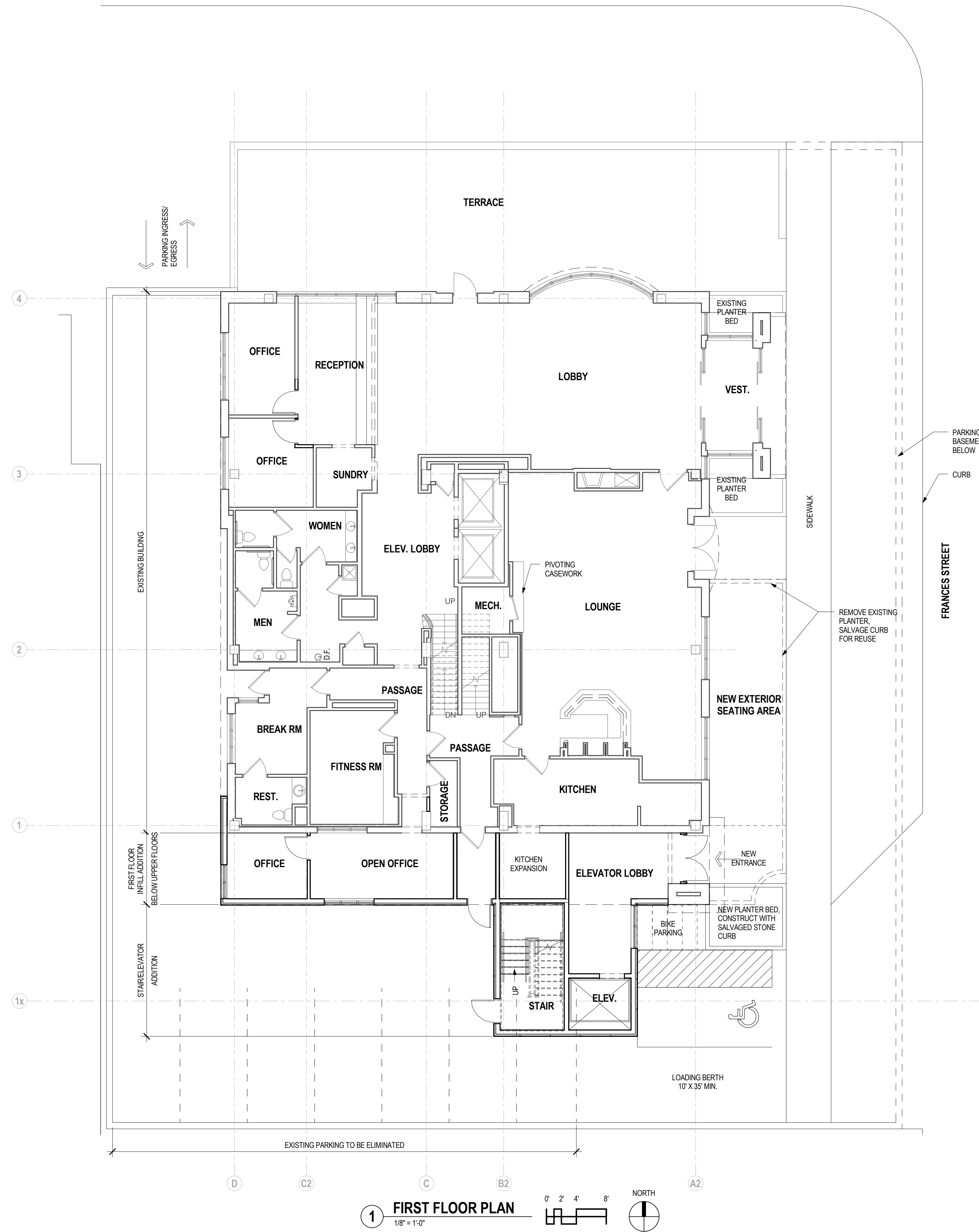
DATE OF ISSUE: 01/15/2015

REVISIONS:	
1	CONSTRUCTION BULLETIN #1 4/16/15

PROJECT # 14043

**GRADING AND
UTILITY PLAN**

C1.1R



**THE CAMPUS INN -
ADDITION AND
ALTERATIONS**

601 LANGDON STREET
MADISON, WI 53703

**APPROVED
DRAWING**

**PLAN
COMMISSION
SUBMITTAL**

DATE OF ISSUE: 07/16/2014

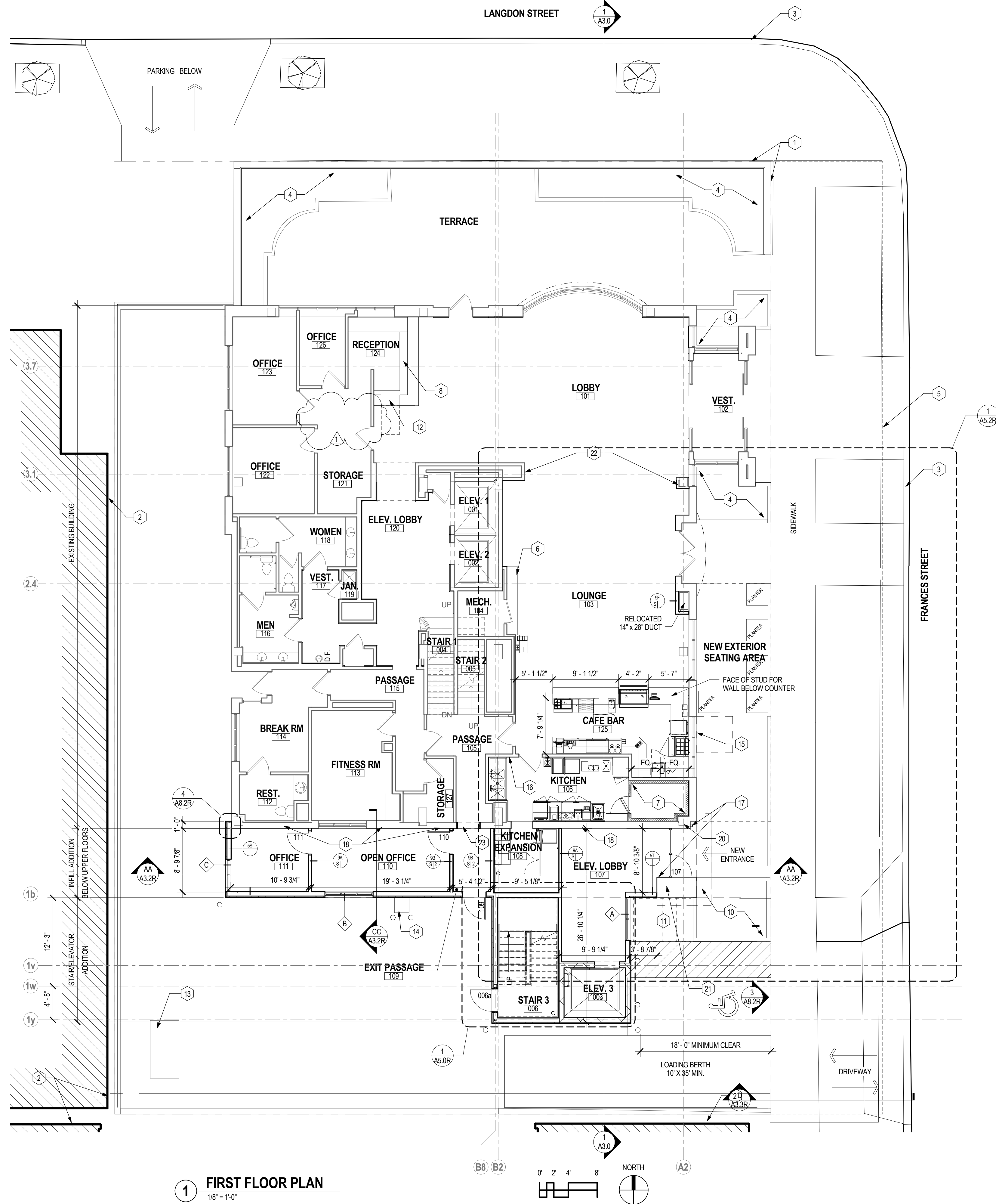
REVISIONS:

PROJECT # 14043

FIRST FLOOR PLAN

A1.1

1 FIRST FLOOR PLAN
1/8" = 1'-0"



1 FIRST FLOOR PLAN
1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

A. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO STARTING WORK.

B. PROVIDE VERTICAL CONTROL JOINTS (CJS) WHERE STRUCTURAL SYSTEMS CHANGE. LOCATIONS THAT ARE PRONE TO CRACKING AND AS REQUIRED BY MANUFACTURERS INSTALLATION RECOMMENDATIONS.

C. VERIFY SIZE AND LOCATIONS OF ALL MECHANICAL OPENINGS. GENERAL CONTRACTOR TO PAINT AND SEAL LOUVER PERIMETER, TYPICAL.

D. GENERAL CONTRACTOR TO PROVIDE CONCRETE EQUIPMENT PADS/CURBS AS REQUIRED FOR MECHANICAL/ELECTRICAL EQUIPMENT. VERIFY SIZE/PROFILE/LOCATION WITH PLUMBING/MECHANICAL/ELECTRICAL.

E. GENERAL CONTRACTOR TO PROVIDE WOOD BLOCKING BETWEEN METAL STUDS AS REQUIRED FOR CASEWORK/HANDRAIL/TOILET ACCESSORIES ETC. MOUNTING. COORDINATE WITH OWNER'S FINISHES, FIXTURES AND EQUIPMENT MOUNTING REQUIREMENTS.

F. SEE FOODSERVICE DRAWINGS FOR CAFE AND KITCHEN EQUIPMENT, COUNTER HEIGHTS, AND LAYOUTS.

G. SEE FOOD SERVICE DRAWINGS FOR KITCHEN AND BAR EQUIPMENT

LEGEND

- EXISTING DOOR TO REMAIN
- NEW DOOR
- EXISTING WALL TO REMAIN
- NEW WALL

FLOOR PLAN KEYNOTES

- 1 PROPERTY LINE
- 2 ADJACENT BUILDING
- 3 EXISTING CURB
- 4 EXISTING PLANTER BED
- 5 PARKING BASEMENT BELOW
- 6 EXISTING PIVOTING CASEWORK
- 7 WALK-IN COOLER - SEE FOODSERVICE DRAWINGS
- 8 RECEPTION COUNTER AND DESK WITH ADA TRANSACTION COUNTER 30" WIDE(MIN) AND 36" HIGH, COORDINATE WITH OWNER
- 9 INFILL WALL TO MATCH ADJACENT CONSTRUCTION
- 10 PLANTER BED, CONSTRUCT WITH SALVAGED STONE CURB
- 11 BIKE PARKING
- 12 ADA COUNTER AT RECEPTION DESK
- 13 PROVIDE CONCRETE PAD AT GENERATOR - COORDINATE SIZE WITH MANUFACTURER.
- 14 WALL-MOUNTED REMOTE CONDENSING UNIT - SEE FOODSERVICE DRAWINGS
- 15 LOCATION OF WALK-UP WINDOW
- 16 BRACKET-MOUNTED FIRE EXTINGUISHER, COORDINATE WITH FOOD SERVICE DRAWINGS - CLASS K - 1.5 GAL (6L) MIN. CAP.
- 17 ADA PUSH-BUTTON DOOR OPERATOR, BOLLARD MOUNTED AT EXTERIOR
- 18 EXISTING BRICK TO REMAIN
- 19 OPENING CENTERED IN WALL - SEE FOODSERVICE DRAWINGS
- 20 KNOX BOX - VERIFY EXACT LOCATION WITH FIRE DEPARTMENT
- 21 EXISTING MASONRY CLAD COLUMN
- 22 PATCH/REPAIR WALL TO MATCH EXISTING
- 23 PROVIDE CASED OPENING IN PLACE OF DOOR AND FRAME
- 24 NOT USED

THE GRADUATE MADISON - ADDITION AND ALTERATIONS

601 LANGDON STREET
MADISON, WI 53703

DATE OF ISSUE: 02/12/2015

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A	ISSUED FOR CONSTRUCTION	2/27/15
1	CONSTRUCTION BULLETIN #1	4/16/15

PROJECT # 14043

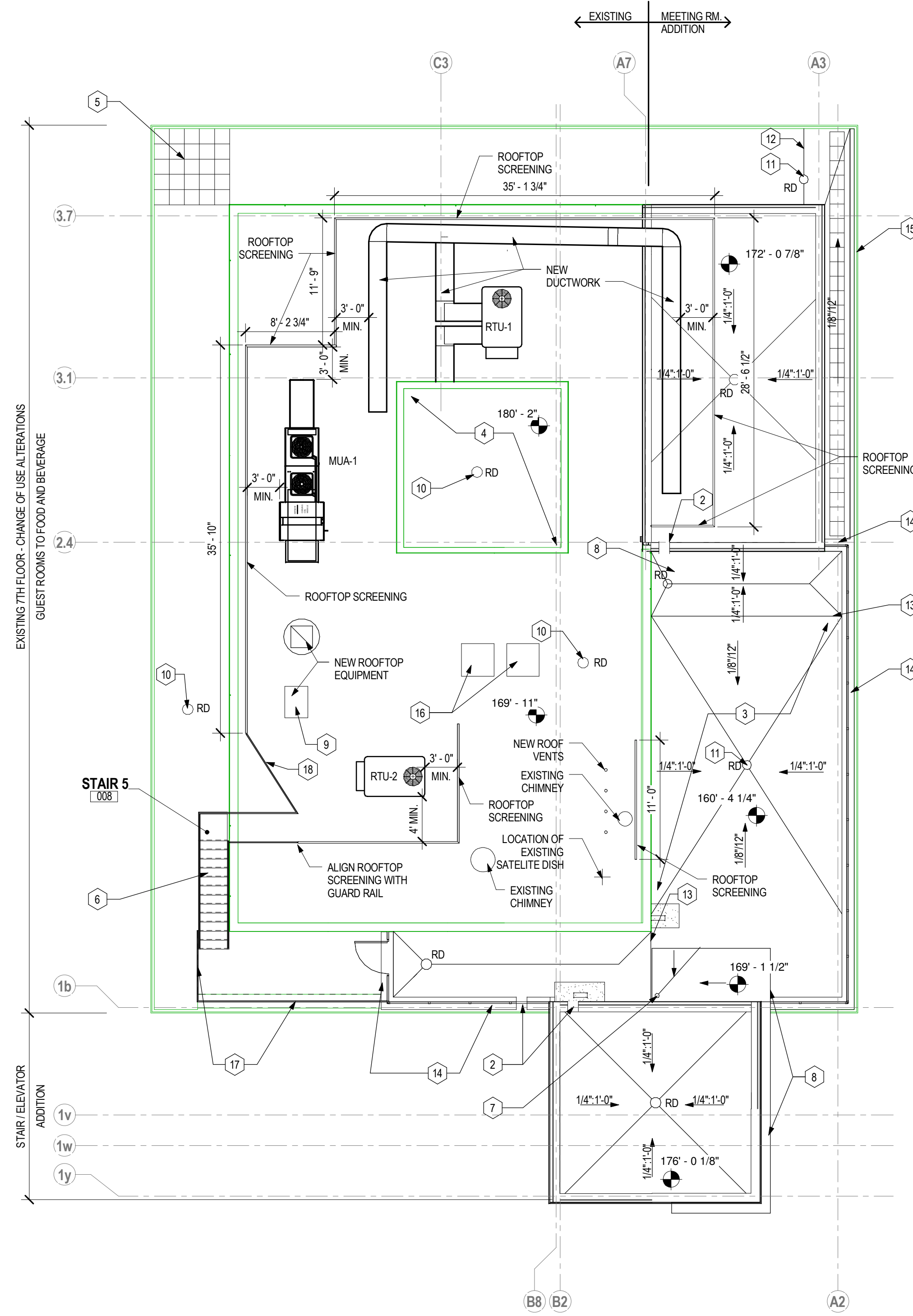
FIRST FLOOR PLAN

FLOOR PLAN GENERAL NOTES

- A. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO STARTING WORK.
- B. REFER TO MEP DRAWINGS FOR ADDITIONAL ROOF PENETRATIONS, ROOF CURBS AND ROOF MOUNTED EQUIPMENT. COORDINATE EQUIPMENT AND CURBS WITH ROOF DRAINAGE AND PROVIDE INSULATION SADDLES AS REQUIRED FOR DRAINAGE.

ROOF PLAN KEYNOTES

- 1 AWNING BELOW
- 2 OVERFLOW SCUPPER
- 3 TERRACE BELOW, SEE 7TH FLOOR PLAN
- 4 EXISTING ROOF
- 5 EXISTING PAVERS TO REMAIN
- 6 RELOCATED STAIR, SEE 7TH FLOOR PLAN
- 7 DOWNSPOUT TO END ON UNDERSIDE OF PAVERS
- 8 ROOF CANOPY
- 9 FOODSERVICE EQUIPMENT - SEE FOODSERVICE DRAWINGS, COORDINATE WITH HVAC
- 10 EXISTING ROOF DRAIN TO REMAIN. LOCATION TO BE VERIFIED IN FIELD
- 11 ROOF DRAIN, VERIFY IN FIELD
- 12 MATCH NEW ROOF TO EXISTING ROOF
- 13 HIGH POINT OF ROOF INSULATION
- 14 CONCRETE CURB TO SUPPORT RAILING
- 15 ROOF CURB FOR TAPERED INSULATION
- 16 EXISTING SKYLIGHTS
- 17 BOLT RAILING TO EXISTING BEAM, WATERPROOF WHERE RAILING ANCHORS TO BEAM.
- 18 GUARDRAILS AT RELOCATED STAIR PER OSHA REQUIREMENTS



1 ROOF PLAN
 1/8" = 1'-0"
 0' 2' 4' 8' NORTH

**THE GRADUATE
 MADISON - ADDITION
 AND ALTERATIONS**

601 LANGDON STREET
 MADISON, WI 53703

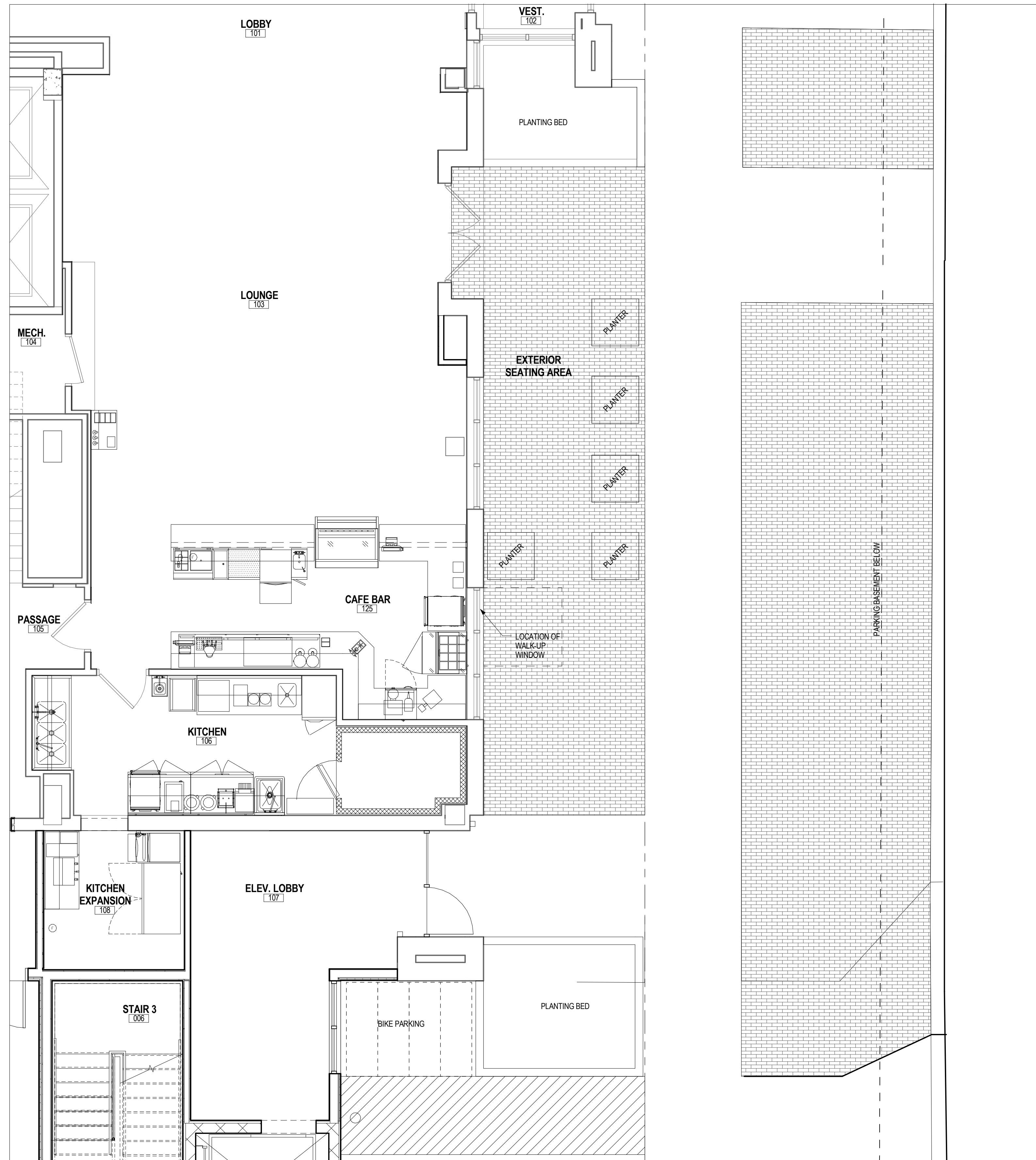
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A	ISSUED FOR CONSTRUCTION	2/27/15
1	CONSTRUCTION BULLETIN #1	4/16/15

PROJECT # 14043

ROOF PLAN

A1.8R



**THE GRADUATE
 MADISON - ADDITION
 AND ALTERATIONS**

601 LANGDON STREET
 MADISON, WI 53703

DATE OF ISSUE: 03/15/2016

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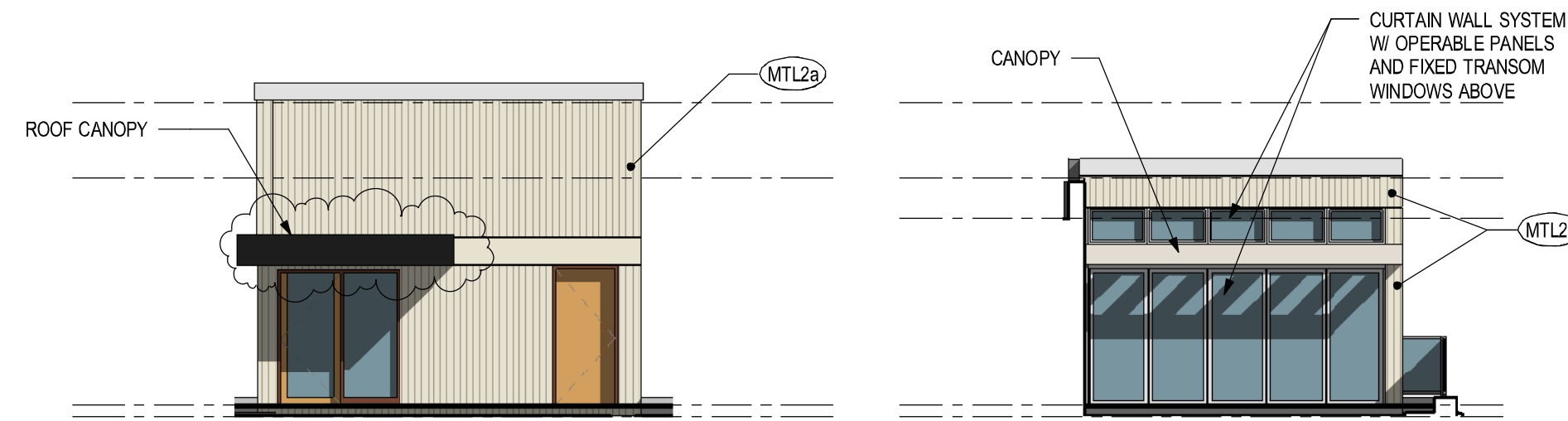
PROJECT # 14043

**ENLARGED CAFE/
 PATIO PLAN**

1 ENLARGED CAFE/PATIO PLAN
 1/4" = 1'-0"

EXTERIOR ELEVATIONS GENERAL NOTES AND LEGEND

- LEGEND**
- (MTL1a) CORRUGATED METAL SIDING / PANEL
COLOR: BENJAMIN MOORE, PLYMOUTH BROWN, HC-73
FINISH: SMOOTH
 - (MTL1b) INTERLOCKING METAL PANEL
COLOR: BENJAMIN MOORE, PLYMOUTH BROWN, HC-73
SIZE: 16"H x 48"W
 - (MTL2a) CORRUGATED METAL SIDING / PANEL
COLOR: BENJAMIN MOORE, NAVAJO BEIGE, OC-95
FINISH: SMOOTH
 - (MTL2b) INTERLOCKING METAL PANEL
COLOR: BENJAMIN MOORE, NAVAJO BEIGE, OC-95
FINISH: SMOOTH
SIZE: 16"H x 48"W
 - (MTL2c) INTERLOCKING METAL PANEL
COLOR: BENJAMIN MOORE, NAVAJO BEIGE, OC-95
SIZE: 12"H x 24"W
 - (AGR1) ALUMINUM GUARDRAIL W/ GLASS PANELS - SEE ELEVATION DETAIL 8 / A8.0
 - (STL1) PAINTED STEEL PIPE GUARDRAIL
- ROOF CANOPY / AWNING
COLOR: BENJAMIN MOORE, BLACK, PM-9
- CJ CONTROL JOINT
- PMC PRE FINISHED METAL CORNICE
- GENERAL NOTES**
- A. CONTROL JOINTS CONTINUOUS FROM TOP OF FOUNDATION TO TOP OF WALL.
 - B. INTERLOCKING METAL PANELS AND CORRUGATED METAL SIDING/PANELS TO USE STANDARD COLORS PROVIDED BY MANUFACTURER. COLORS TO MATCH AS CLOSELY AS POSSIBLE TO BENJAMIN MOORE COLORS SPECIFIED.
 - C. ALIGN AND COORDINATE REVEALS ALONG FACADE OF BUILDING. SEE WALL SECTIONS FOR DIMENSIONS.
 - D. COMPONENT/CLADDING WIND LOADS FOR 7TH FLOOR ARE: ZONE 4 (21.9 PSF FOR 10 SF, 20.2 PSF FOR 50 SF); ZONE 5 (CORNERS - 40.2 PSF FOR 10 SF, 35.6 PSF FOR 50 SF)



4 STAIR ELEVATOR HIDDEN ELEVATION
1/8" = 1'-0"

3 SOUTH HIDDEN ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"

1 EAST ELEVATION
1/8" = 1'-0"

**THE GRADUATE
MADISON INN -
ADDITION AND
ALTERATIONS**

601 LANGDON STREET
MADISON, WI 53703

**APPROVED
DRAWING**

**PLAN
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SUBMITTAL**

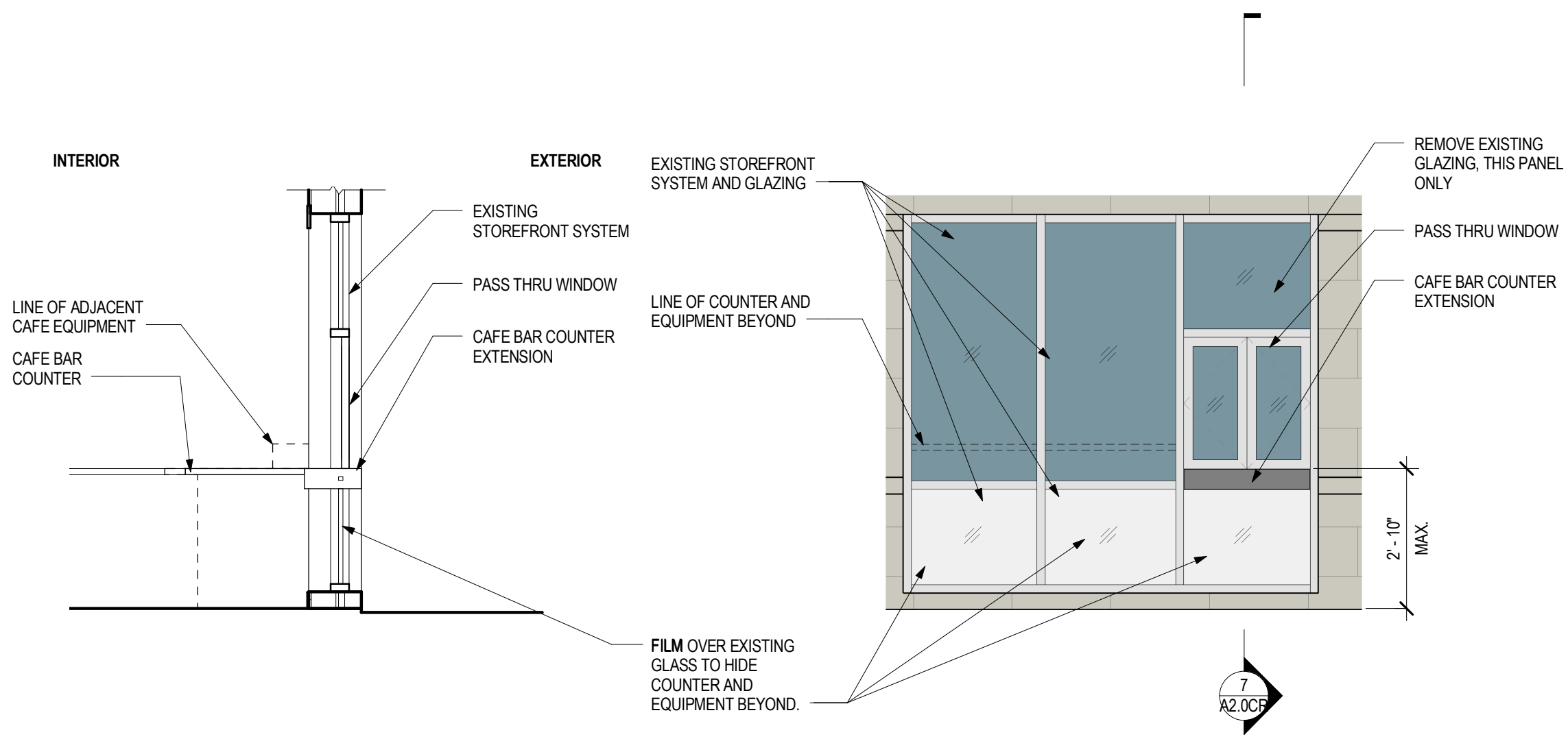
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REVISIONS:		
2	PLAN COMMISSION REVISIONS	11-26-14
3	ELEVATION UPDATES	12-22-14

PROJECT # 14043

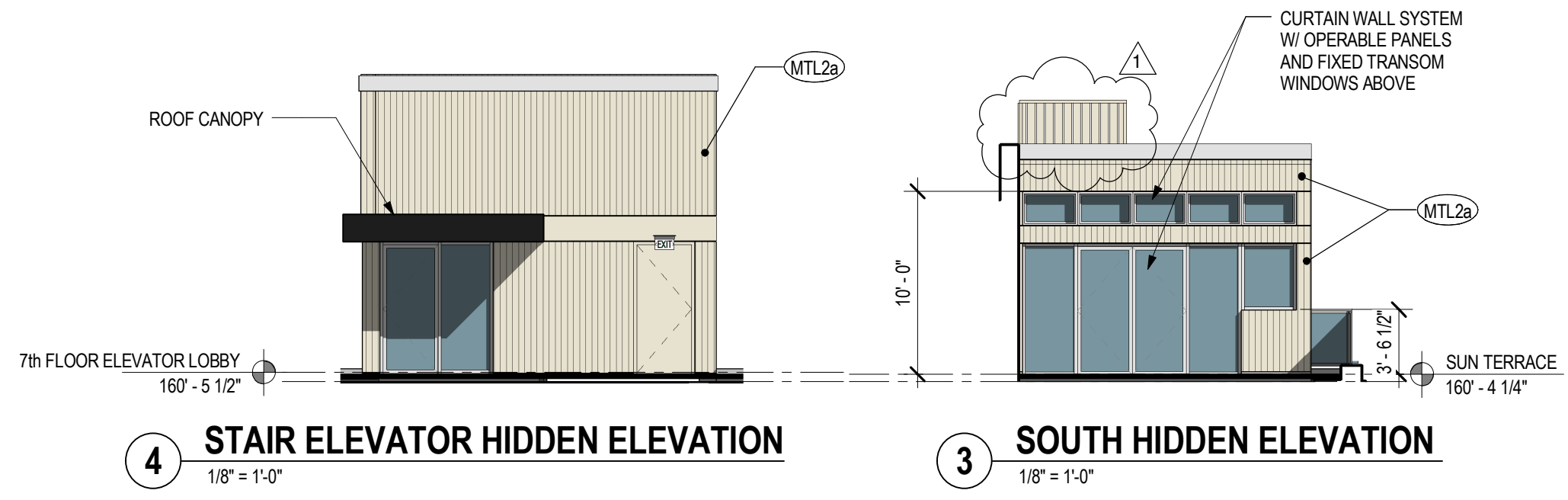
**EXTERIOR
ELEVATIONS**

A2.0



7 CAFE BAR - PASS THRU SECTION
3/8" = 1'-0"

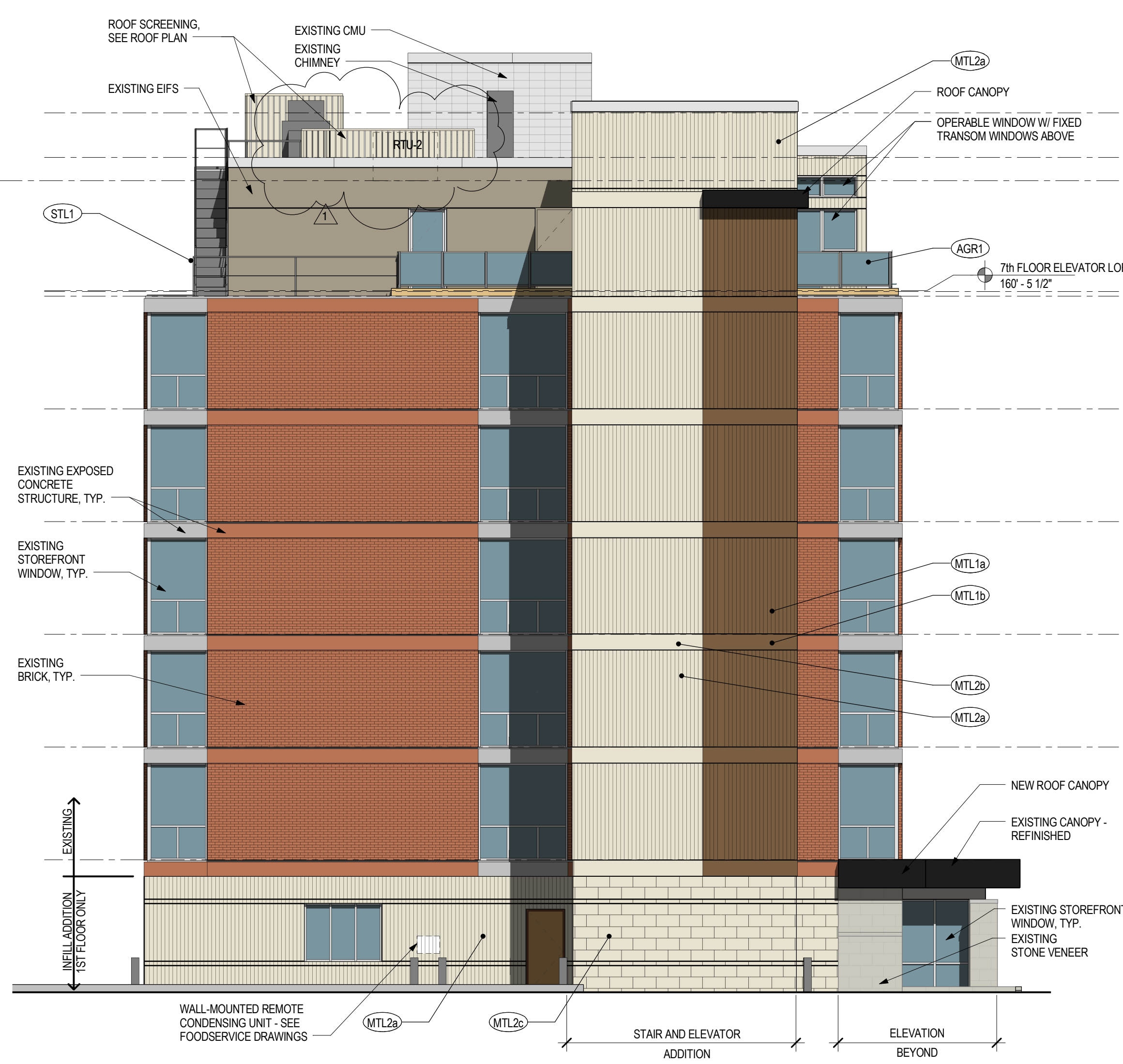
6 CAFE BAR - PASS THRU ENLARGED ELEVATION
3/8" = 1'-0"



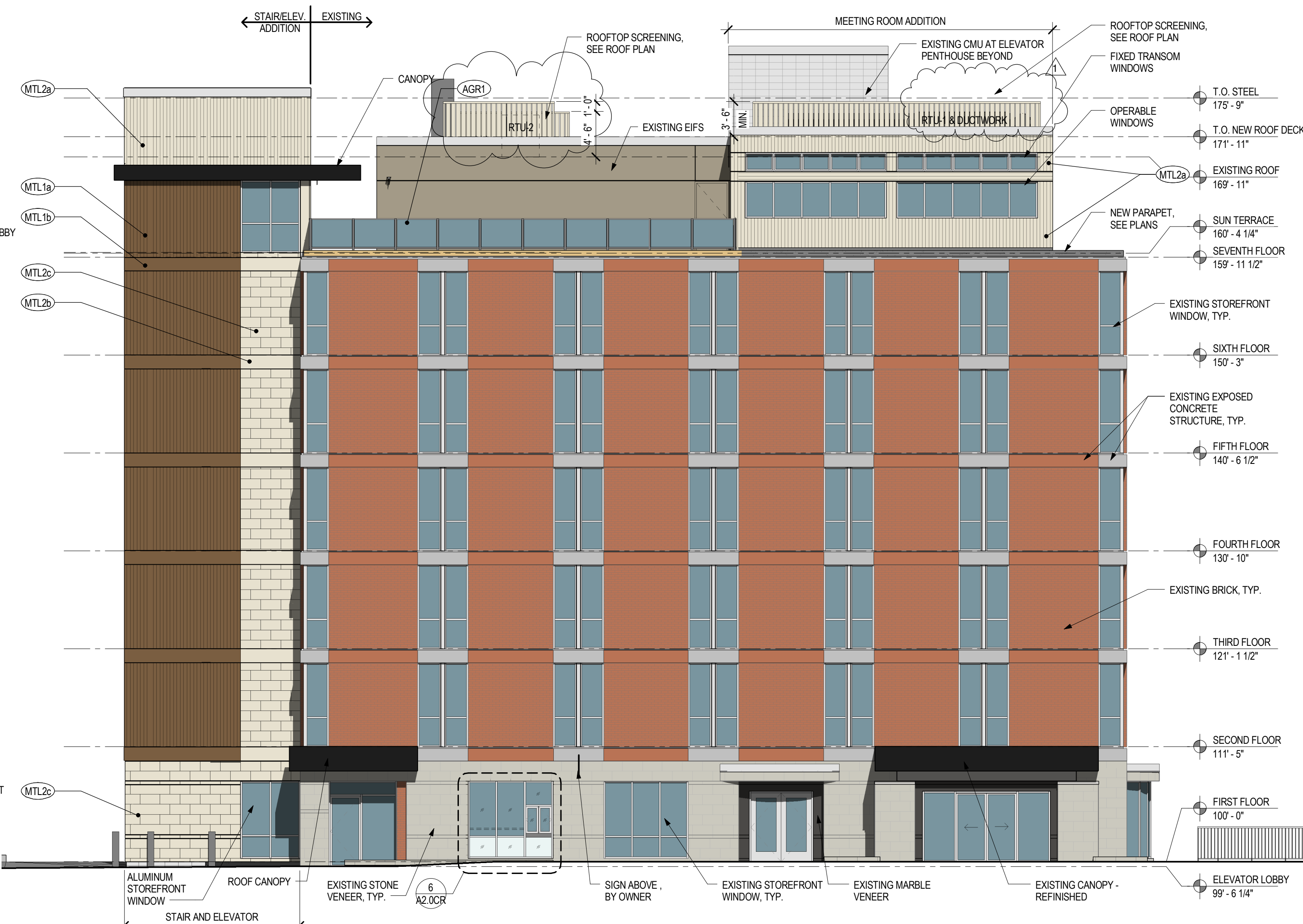
4 STAIR ELEVATOR HIDDEN ELEVATION
1/8" = 1'-0"

3 SOUTH HIDDEN ELEVATION
1/8" = 1'-0"

EXTERIOR ELEVATIONS GENERAL NOTES AND LEGEND	
LEGEND	
(MTL1a)	CORRUGATED METAL SIDING / PANEL COLOR: BENJAMIN MOORE, PLYMOUTH BROWN, HC-73 FINISH: SMOOTH
(MTL1b)	INTERLOCKING METAL PANEL COLOR: BENJAMIN MOORE, PLYMOUTH BROWN, HC-73 FINISH: SMOOTH SIZE: 16"H x 48"W
(MTL2a)	CORRUGATED METAL SIDING / PANEL COLOR: BENJAMIN MOORE, NAVAJO BEIGE, OC-95 FINISH: SMOOTH
(MTL2b)	INTERLOCKING METAL PANEL COLOR: BENJAMIN MOORE, NAVAJO BEIGE, OC-95 FINISH: SMOOTH SIZE: 16"H x 48"W
(MTL2c)	INTERLOCKING METAL PANEL COLOR: BENJAMIN MOORE, NAVAJO BEIGE, OC-95 FINISH: SMOOTH SIZE: 12"H x 24"W 8 / AB, OR
(AGR1)	ALUMINUM GUARDRAIL W/ GLASS PANELS - SEE ELEVATION DETAIL
(STL1)	PAINTED STEEL PIPE GUARDRAIL
ROOF CANOPY / AWNING COLOR: BENJAMIN MOORE, BLACK, PM-9	
CJ CONTROL JOINT	
PMC PRE FINISHED METAL CORNICE	
GENERAL NOTES	
A. CONTROL JOINTS CONTINUOUS FROM TOP OF FOUNDATION TO TOP OF WALL.	
B. INTERLOCKING METAL PANELS AND CORRUGATED METAL SIDING/PANELS TO USE STANDARD COLORS PROVIDED BY MANUFACTURER. COLORS TO MATCH AS CLOSELY AS POSSIBLE TO BENJAMIN MOORE COLORS SPECIFIED.	
C. ALIGN AND COORDINATE REVEALS ALONG FACADE OF BUILDING. SEE WALL SECTIONS FOR DIMENSIONS	
D. COMPONENT/CLADDING WIND LOADS FOR 7TH FLOOR ARE: ZONE 4 (21.9 PSF FOR 10 SF, 20.2 PSF FOR 50 SF); ZONE 5 (CORNERS - 40.2 PSF FOR 10 SF, 35.6 PSF FOR 50 SF)	



2 SOUTH ELEVATION
1/8" = 1'-0"



1 EAST ELEVATION
1/8" = 1'-0"

**THE GRADUATE
MADISON - ADDITION
AND ALTERATIONS**

601 LANGDON STREET
MADISON, WI 53703

DATE OF ISSUE: 01/15/2015

REVISIONS:		
1	CONSTRUCTION BULLETIN #1	4/16/15

PROJECT # 14043

**EXTERIOR
ELEVATIONS**

A2.0CR

**EXTERIOR ELEVATIONS GENERAL
NOTES AND LEGEND**

- LEGEND**
- (MTL1a) CORRUGATED METAL SIDING / PANEL
COLOR: BENJAMIN MOORE, PLYMOUTH BROWN, HC-73
FINISH: SMOOTH
 - (MTL1b) INTERLOCKING METAL PANEL
COLOR: BENJAMIN MOORE, PLYMOUTH BROWN, HC-73
SIZE: 18"H x 48"W
 - (MTL2a) CORRUGATED METAL SIDING / PANEL
COLOR: BENJAMIN MOORE, NAVAJO BEIGE, OC-95
FINISH: SMOOTH
 - (MTL2b) INTERLOCKING METAL PANEL
COLOR: BENJAMIN MOORE, NAVAJO BEIGE, OC-95
FINISH: SMOOTH
SIZE: 18"H x 48"W
 - (MTL2c) INTERLOCKING METAL PANEL
COLOR: BENJAMIN MOORE, NAVAJO BEIGE, OC-95
SIZE: 12"H x 24"W
 - (AGR1) ALUMINUM GUARDRAIL W/ GLASS PANELS - SEE ELEVATION
DETAIL: 8 / A8.0
 - (STL1) PAINTED STEEL PIPE GUARDRAIL
 - ROOF CANOPY / AWNING
COLOR: BENJAMIN MOORE, BLACK, PM-9
 - CJ CONTROL JOINT
 - PMC PRE FINISHED METAL CORNICE

- GENERAL NOTES**
- A. CONTROL JOINTS CONTINUOUS FROM TOP OF FOUNDATION TO TOP OF WALL.
 - B. INTERLOCKING METAL PANELS AND CORRUGATED METAL SIDING/PANELS TO USE STANDARD COLORS PROVIDED BY MANUFACTURER. COLORS TO MATCH AS CLOSELY AS POSSIBLE TO BENJAMIN MOORE COLORS SPECIFIED.
 - C. ALIGN AND COORDINATE REVEALS ALONG FACADE OF BUILDING. SEE WALL SECTIONS FOR DIMENSIONS.
 - D. COMPONENT/CLADDING WIND LOADS FOR 7TH FLOOR ARE: ZONE 4 (21.9 PSF FOR 10 SF, 20.2 PSF FOR 50 SF); ZONE 5 (CORNERS - 40.2 PSF FOR 10 SF, 35.6 PSF FOR 50 SF)

**THE GRADUATE
MADISON INN -
ADDITION AND
ALTERATIONS**

601 LANGDON STREET
MADISON, WI 53703

**APPROVED
DRAWING**

**PLAN
COMMISSION
SUBMITTAL**

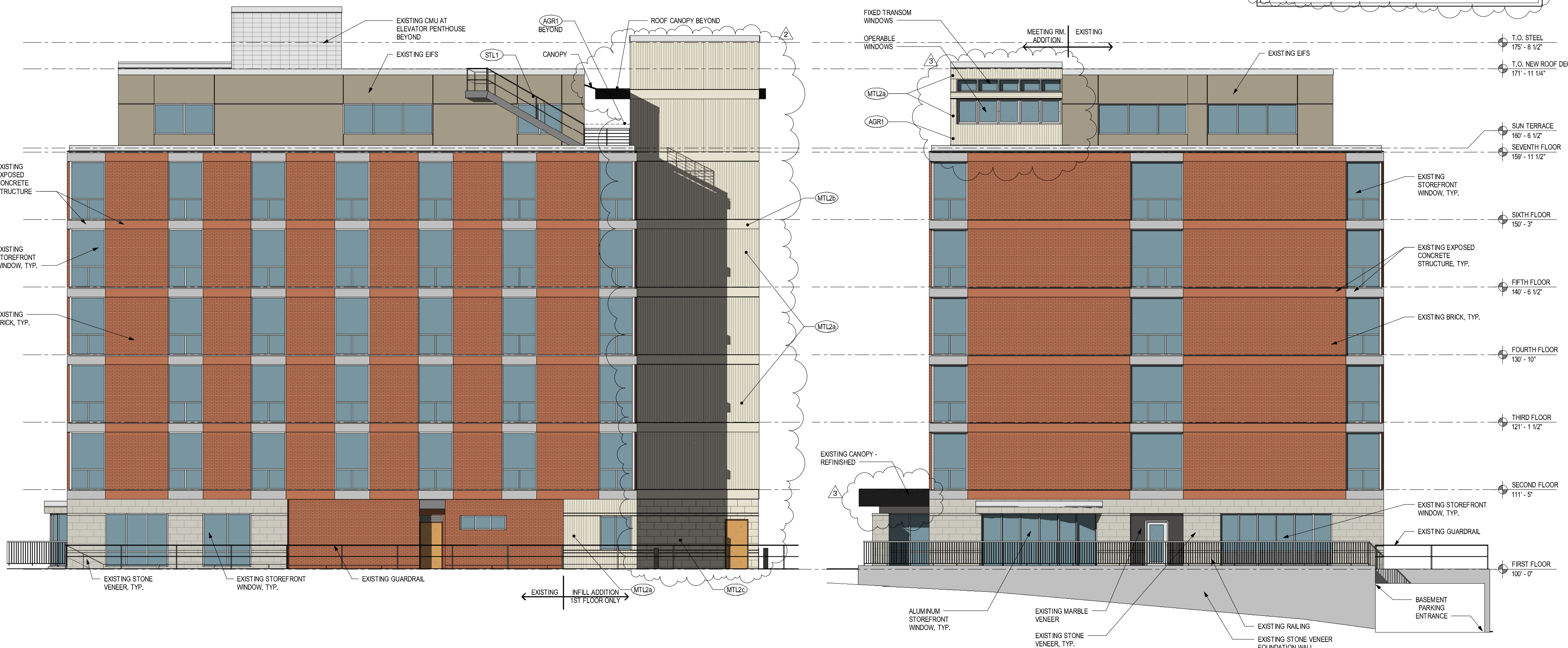
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REVISIONS:		
2	PLAN COMMISSION REVISIONS	11-26-14
3	ELEVATION UPDATES	12-22-14

PROJECT # 14043

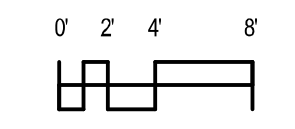
**EXTERIOR
ELEVATIONS**

A2.1



2 WEST ELEVATION
1/8" = 1'-0"

1 NORTH ELEVATION
1/8" = 1'-0"



EXTERIOR ELEVATIONS GENERAL NOTES AND LEGEND

- LEGEND**
- (MTL1a) CORRUGATED METAL SIDING / PANEL
COLOR: BENJAMIN MOORE, PLYMOUTH BROWN, HC-73
FINISH: SMOOTH
 - (MTL1b) INTERLOCKING METAL PANEL
COLOR: BENJAMIN MOORE, PLYMOUTH BROWN, HC-73
FINISH: SMOOTH
SIZE: 16"H x 48"W
 - (MTL2a) CORRUGATED METAL SIDING / PANEL
COLOR: BENJAMIN MOORE, NAVAJO BEIGE, OC-95
FINISH: SMOOTH
 - (MTL2b) INTERLOCKING METAL PANEL
COLOR: BENJAMIN MOORE, NAVAJO BEIGE, OC-95
FINISH: SMOOTH
SIZE: 16"H x 48"W
 - (MTL2c) INTERLOCKING METAL PANEL
COLOR: BENJAMIN MOORE, NAVAJO BEIGE, OC-95
FINISH: SMOOTH
SIZE: 12"H x 24"W
8 / AB, OR
 - (AGR1) ALUMINUM GUARDRAIL W/ GLASS PANELS - SEE ELEVATION DETAIL
 - (STL1) PAINTED STEEL PIPE GUARDRAIL
- ROOF CANOPY / AWNING
COLOR: BENJAMIN MOORE, BLACK, PM-9
- CJ CONTROL JOINT
- PMC PRE FINISHED METAL CORNICE

- GENERAL NOTES**
- A. CONTROL JOINTS CONTINUOUS FROM TOP OF FOUNDATION TO TOP OF WALL.
 - B. INTERLOCKING METAL PANELS AND CORRUGATED METAL SIDING/PANELS TO USE STANDARD COLORS PROVIDED BY MANUFACTURER. COLORS TO MATCH AS CLOSELY AS POSSIBLE TO BENJAMIN MOORE COLORS SPECIFIED.
 - C. ALIGN AND COORDINATE REVEALS ALONG FACADE OF BUILDING. SEE WALL SECTIONS FOR DIMENSIONS
 - D. COMPONENT/CLADDING WIND LOADS FOR 7TH FLOOR ARE: ZONE 4 (21.9 PSF FOR 10 SF, 20.2 PSF FOR 50 SF); ZONE 5 (CORNERS - 40.2 PSF FOR 10 SF, 35.6 PSF FOR 50 SF)

**THE GRADUATE
MADISON - ADDITION
AND ALTERATIONS**

601 LANGDON STREET
MADISON, WI 53703

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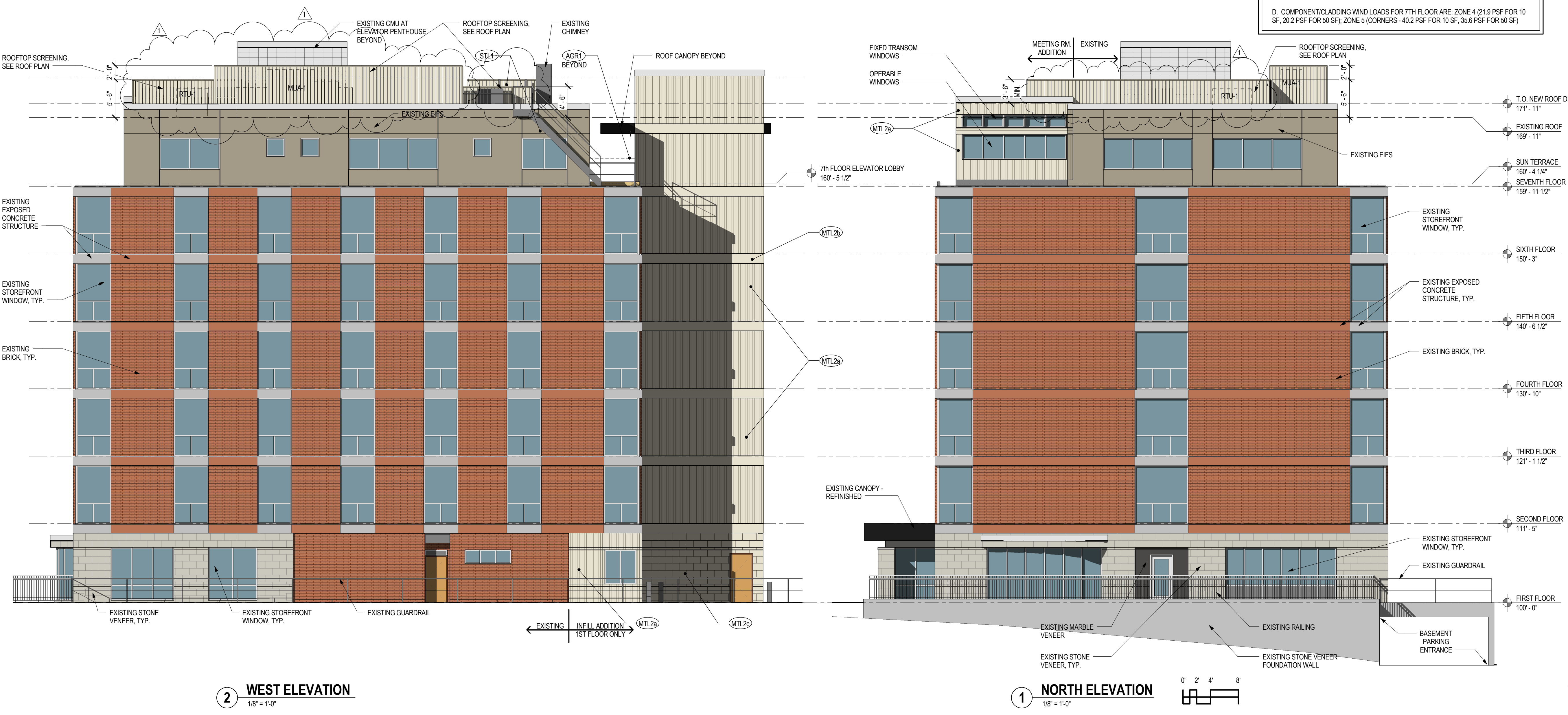
REVISIONS:

1	CONSTRUCTION BULLETIN #1	4/16/15

PROJECT # 14043

**EXTERIOR
ELEVATIONS**

A2.1CR

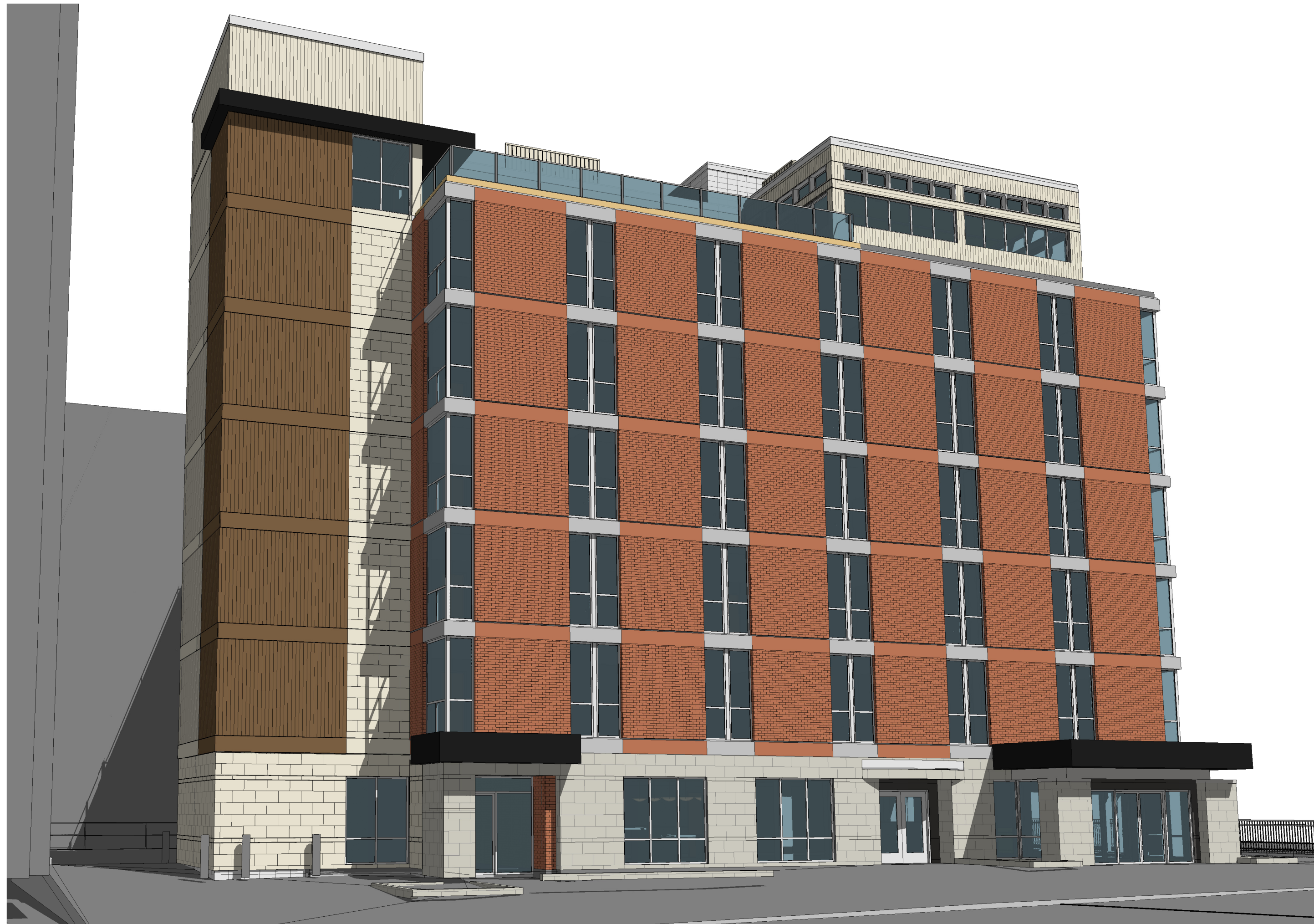


2 WEST ELEVATION
1/8" = 1'-0"

1 NORTH ELEVATION
1/8" = 1'-0"

**THE GRADUATE
MADISON - ADDITION
AND ALTERATIONS**

601 LANGDON STREET
MADISON, WI 53703



② PERSPECTIVE FROM FRANCES ST



① PERSPECTIVE FROM LANGDON ST

DATE OF ISSUE: 05/23/2016

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NO.	DESCRIPTION

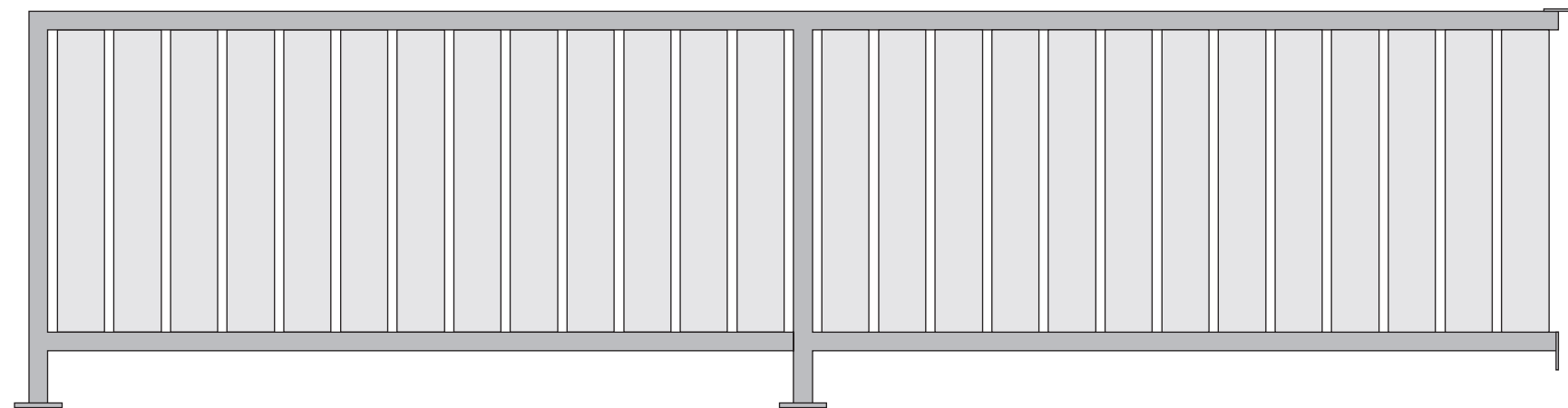
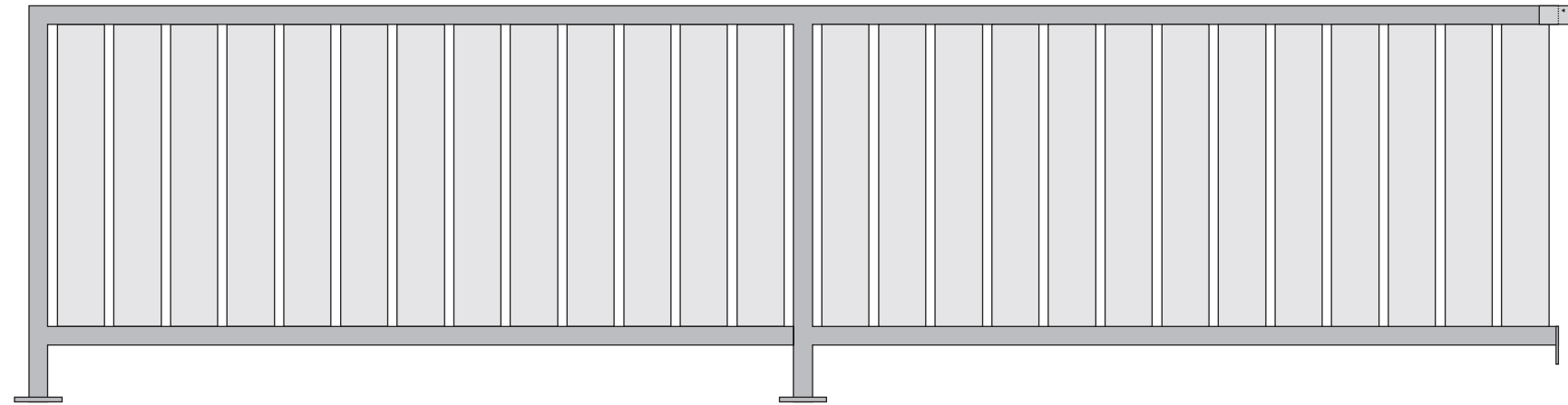
PROJECT # 14043

**BUILDING
PERSPECTIVE**

A2.2CR

PROPOSED HVAC SCREENING
COLOR TO MATCH EXISTING EXTERIOR COLOR

2" Sq. Tube Top/Bottom Rail & Posts
1" x 5" Rectangular Tube Infill w/ 1" Space Between Panels
1/2" x 5" Bases
Mechanical connections @ Rail Ends to Next Fence Section - Top or Side @ Top Rail Connections



Typical Surface Mounted Rail Configuration:
2" Sq. Posts, Top & Bottom Rails
1"x5" Rect. Tube Infill
1/2" Base Plates w/ Holes for 3/8" Anchors
Powder Coated Dark Anodized Bronze - Per Sample

PROPOSED HVAC SCREENING
SAMPLE LAYOUT
COLOR TO MATCH EXISTING EXTERIOR COLOR

