

702 EAST WASHINGTON AVENUE MIXED-USE DEVELOPMENT

MADISON, WISCONSIN



PROGRESS DOCUMENTS

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CITY OF MADISON LAND-USE & URBAN DESIGN COMMISSION SUBMITTAL

JANUARY 5, 2024



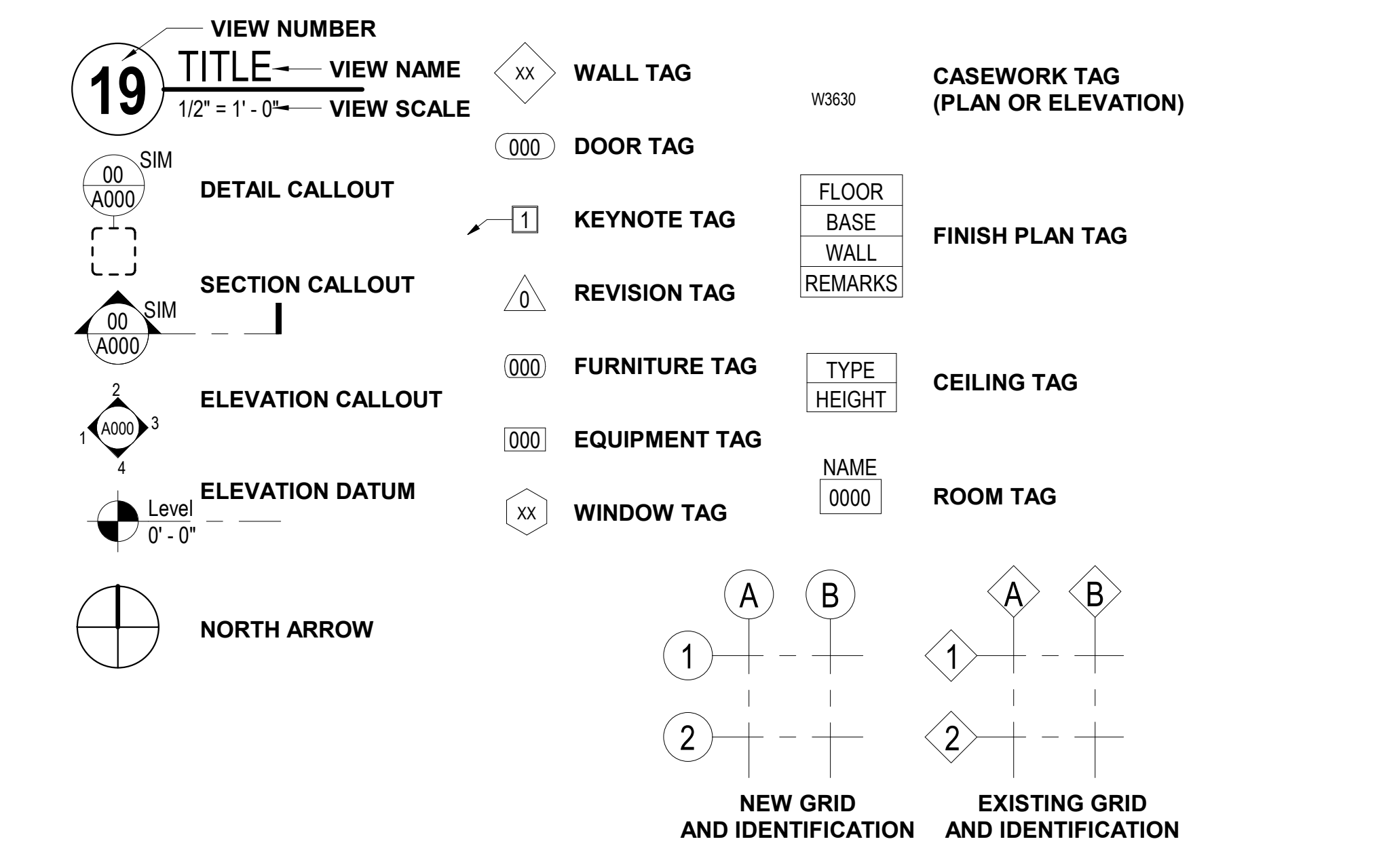
JLA
ARCHITECTS

JLA PROJECT NUMBER: W22-0106

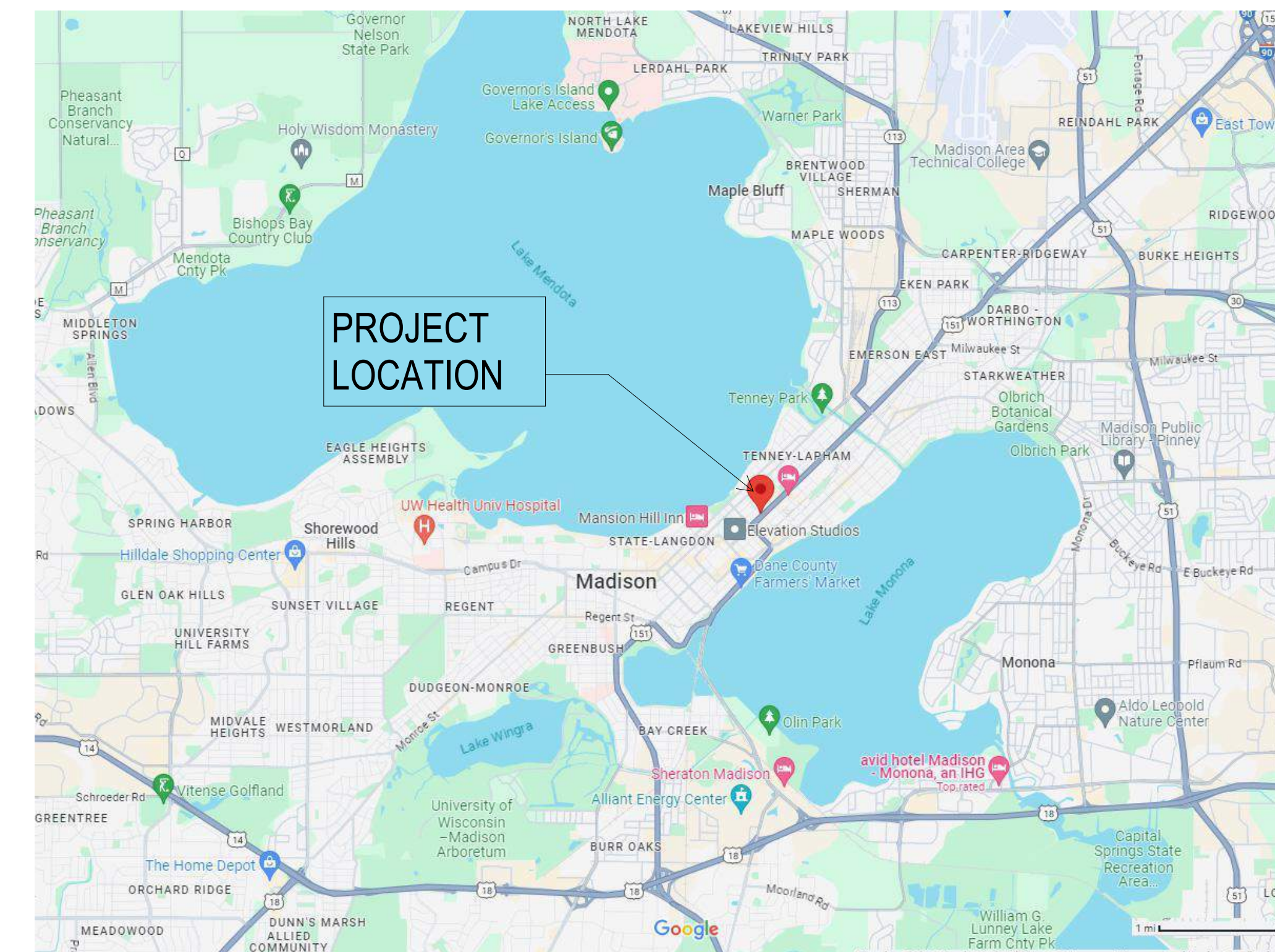
ABBREVIATIONS

A AC	AIR CONDITION	D DEMO	DEMOLITION	G (CONTINUED)		N NORTH	NORTH	S (CONTINUED)	
AE AE	ARCHITECT/ENGINEER	DEF DEF	DEPARTMENT	GLU GLU	GLUE LAMINATED WOOD	NA NA	NOT APPLICABLE	STB STB	STONE BASE
ACT ACT	ACTUAL/PLANNED	DR DR	DRAINAGE PUMP	GR GR	GRANITE	NC NC	NOT IN CONTRACT	STR STR	STRUCTURE, STRUCTURAL
ADD ADD	ADDITIONAL	DS DS	DOOR AND FRAME SCHEDULE	GT GT	GROUT	NO NO	NOT TO SCALE	SV SV	SHEET VINYL
ADM ADM	ADMINISTRATIVE	DW DW	DOUBLE WALL	GW GW	GYPSUM WALL TILE	NS NS	NORMAL	TEMP TEMP	TEMPERATURE
AFG AFG	ABOVE FINISHED GRADE	DR DR	DOOR	DW DW	DOUBLE WALL	NTS NTS	NOT TO SCALE	TEMP TEMP	TEMPERATURE
AF AF	ABOVE FINISHED GRADE	FR FR	FRAME	H H	HOLE	OC OC	ON CENTER	TSR TSR	TOP OF STAIR
ALT ALT	ALTERNATE	DTL DTL	DETAIL	HB HB	HOLE BUB	OD OD	OUTSIDE DIAMETER	TSR TSR	TOP OF STAIR
ALL ALL	ALUMINUM	DW DW	DRAWING	HC HC	HOLLOW CORE	OF OF	OFF	TSR TSR	TOP OF STAIR
APP APP	APPROVED	DWG DWG	DRAWING	HIC HIC	HOLLOW CORE	OF OF	OFF	TSR TSR	TOP OF STAIR
AP AP	APPROVED	DWG DWG	DRAWING	HM HM	HOLLOW METAL	OF OF	OFF	TSR TSR	TOP OF STAIR
ASC ASC	ABOVE SUSPENDED CEILING	DWG DWG	DRAWING	HMP HMP	HOLLOW METAL PANEL	OF OF	OFF	TSR TSR	TOP OF STAIR
B B	BASEBOARD	E E	EAST	HR HR	HOLE REINFORCED	OF OF	OFF	TSR TSR	TOP OF STAIR
BB BB	BULLETIN BOARD	EFS EFS	EXTERIOR INSULATION AND FINISH SYSTEM	HT HT	HOLE THROUGH	OF OF	OFF	TSR TSR	TOP OF STAIR
BLDG BLDG	BUILDING	EL EL	ELECTRIC, ELECTRICAL	HW HW	HOLLOW METAL	OF OF	OFF	TSR TSR	TOP OF STAIR
BL BL	BLENDED WINDOW	EL EL	ELECTRIC, ELECTRICAL	HW HW	HOLLOW METAL	OF OF	OFF	TSR TSR	TOP OF STAIR
BLT BLT	BORROWED LIGHT	EP EP	EPoxy	HW HW	HOLLOW METAL	OF OF	OFF	TSR TSR	TOP OF STAIR
BLW BLW	BELIEF	EPA EPA	EXTRA POLYSTYRENE BOARD	HW HW	HOLLOW METAL	OF OF	OFF	TSR TSR	TOP OF STAIR
BPL BPL	BASE PLATE	EQ EQ	EQUAL	HW HW	HOLLOW METAL	OF OF	OFF	TSR TSR	TOP OF STAIR
BO BO	BOTTOM OF	EQ EQ	EQUAL	HW HW	HOLLOW METAL	OF OF	OFF	TSR TSR	TOP OF STAIR
BOG BOG	BOTTOM OF	EQ EQ	EQUAL	HW HW	HOLLOW METAL	OF OF	OFF	TSR TSR	TOP OF STAIR
BSC BSC	BOTTOM OF	EQ EQ	EQUAL	HW HW	HOLLOW METAL	OF OF	OFF	TSR TSR	TOP OF STAIR
C C	CATCH BASIN	F F	FEMALE	I I	INSTRUMENT	Q Q	QUARRY TILE BASE	U U	UNLESS NOTED OTHERWISE
CB CB	CATCH BASIN	F F	FEMALE	INS INS	INSULATION	QT QT	QUARRY TILE	UNO UNO	UNLESS NOTED OTHERWISE
CC CC	CONCRETE	F F	FEMALE	INT INT	INTERIOR	RT RT	ROOF TYPED	UNO UNO	UNLESS NOTED OTHERWISE
CCO CCO	CONCRETE ON	F F	FEMALE	J J	JANITOR	PK PK	PARTITION	UNO UNO	UNLESS NOTED OTHERWISE
CCO CCO	CONCRETE ON	F F	FEMALE	J J	JANITOR	PK PK	PARTITION	UNO UNO	UNLESS NOTED OTHERWISE
CCO CCO	CONCRETE ON	F F	FEMALE	J J	JANITOR	PK PK	PARTITION	UNO UNO	UNLESS NOTED OTHERWISE

SYMBOL LEGEND



VICINITY MAP



PROJECT ADDRESS

702 EAST WASHINGTON AVENUE,
MADISON, WISCONSIN 53703

OWNER INFORMATION

WILLOW PARTNERS, LLC

725 EAST JOHNSON STREET
MADISON, WI 53701

CONTACT: CHRIS HOUDEN JR
EMAIL: chris@willowpartners.com
MAIN: 608.405.1771 ext 101

PROJECT TEAM

GENERAL CONTRACTOR



ARCHITECTURAL

JLA ARCHITECTS & PLANNERS
800 WEST BROADWAY - SUITE 200
MONONA, WISCONSIN 53713
CONTACT: JENNIFER CAMP
EMAIL: jcamp@jla-ap.com
MAIN: 608.210.1232

CIVIL ENGINEERING

GRAEF, INC
1010 EAST WASHINGTON AVENUE - SUITE 202
MADISON, WI 53703
CONTACT: AMY LARSON, PE
EMAIL: amy.larson@graeef-usa.com
MAIN: 608.245.1962

STRUCTURAL ENGINEERING

PIERCE ENGINEERS
222 W WASHINGTON AVENUE - SUITE 650
MADISON, WI 53703
CONTACT: LUCAS MARSHALL, PE, SE
EMAIL: lmarshall@piercengineers.com
MAIN: 608.729.1414

LANDSCAPE

GRAEF, INC
1010 EAST WASHINGTON AVENUE - SUITE 202
MADISON, WI 53703
CONTACT: JOE PEPITONE
EMAIL: joseph.pepitone@graeef-usa.com
MAIN: 414.412.0297

SET ISSUE

CITY OF MADISON LAND-USE & URBAN DESIGN COMMISSION SUBMITTAL
NOVEMBER 27, 2023

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C400	GRADING PLAN	
C500	UTILITY PLAN	
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JLA PROJECT NUMBER: W22-0106

702 EAST WASHINGTON AVENUE MIXED-USE DEVELOPMENT

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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE:

INDEX SHEET

SHEET NUMBER:

G001

702 EAST WASHINGTON

MIXED-USE
January 5, 2024

Table with columns for Building Data, Residential, and Unit Breakdown. Includes columns for Unit Name, Unit Area, and various floor aggregate areas (First through Fourteenth Floor). Includes a summary table at the bottom with columns for Building Summary Data, Total Qty, and Total Area.

Table with columns for Building Data and Retail. Includes columns for Lower Level, First Floor, 1.5 Floor, Second Floor, and Fourteenth Floor. Includes summary data for Retail Space Totals and Common Spaces.

BUILDING DATA - TOTALS table with columns for Total Leasable, Common Space, and Building Totals. Includes rows for Qty, Area, and Efficiency.

NOTE: Final Unit Counts, Types, Mix, and Sizes are subject to change. The Total Unit Count & Density for Entire Development shall be regulated by the Approved PUD/GDP Package and subsequently Approved PUD/SIP Packages.

BICYCLE PARKING (REQUIRED) table with columns for Required Bicycle Parking (Per Unit Type) and Required Bicycle Parking Totals. Lists types 1BR, 1BR+Den, 2BR, 3BR and their respective counts.

BICYCLE PARKING (PROPOSED) table with columns for Building and Totals. Lists Residential Short Term (Interior), Residential Long Term - Wall (Max.), Residential Long Term - Floor (Min.), and Commercial Space 1st Floor.

ELECTRIC VEHICLE STALL INFORMATION:
TOTAL PARKING SPACES: 296
2% EV INSTALLED = 6
10% EV READY = 30



JLA ARCHITECTS
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REVISION SCHEDULE table with columns for Mark, Description, and Date.

DATA MATRIX

SHEET NUMBER

G102

USABLE OPEN AREA CHART

■	DENOTES USABLE OPEN AREA ON PLAN = 2,313 S.F.
■	DENOTES USABLE OPEN AREA PRIVATE BALCONIES = 15,889 S.F.
■	DENOTES USABLE OPEN AREA ROOF DECKS = 10,423 S.F.
REQUIRED USABLE OPEN AREA = (40 S.F. 244 DWELLING UNITS) = 9,760 S.F.	
TOTAL USABLE OPEN AREA = 28,625 S.F.	



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DESIGN DEVELOPMENT DOCUMENTS

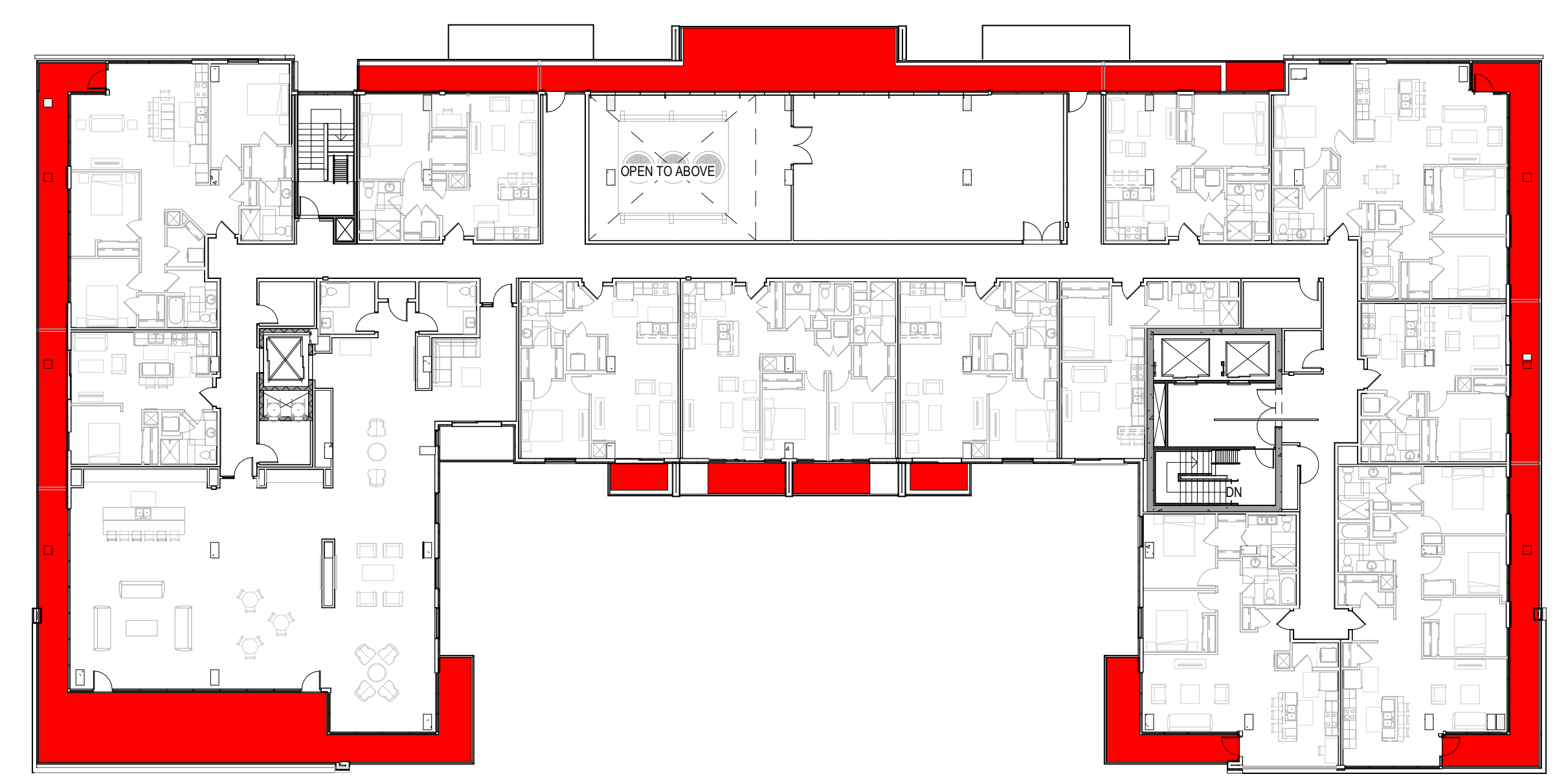
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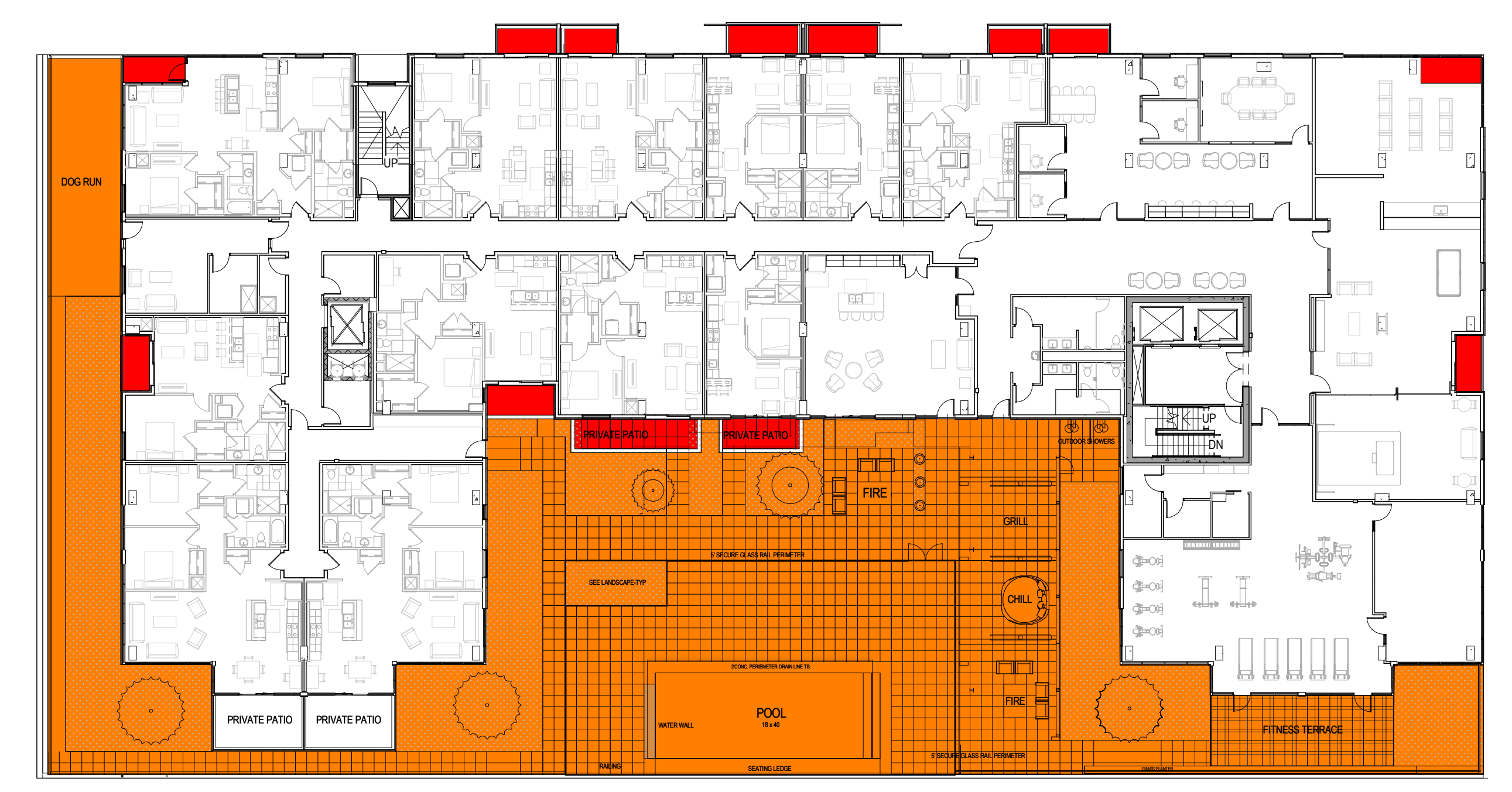
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
USEABLE OPEN AREA EXHIBIT

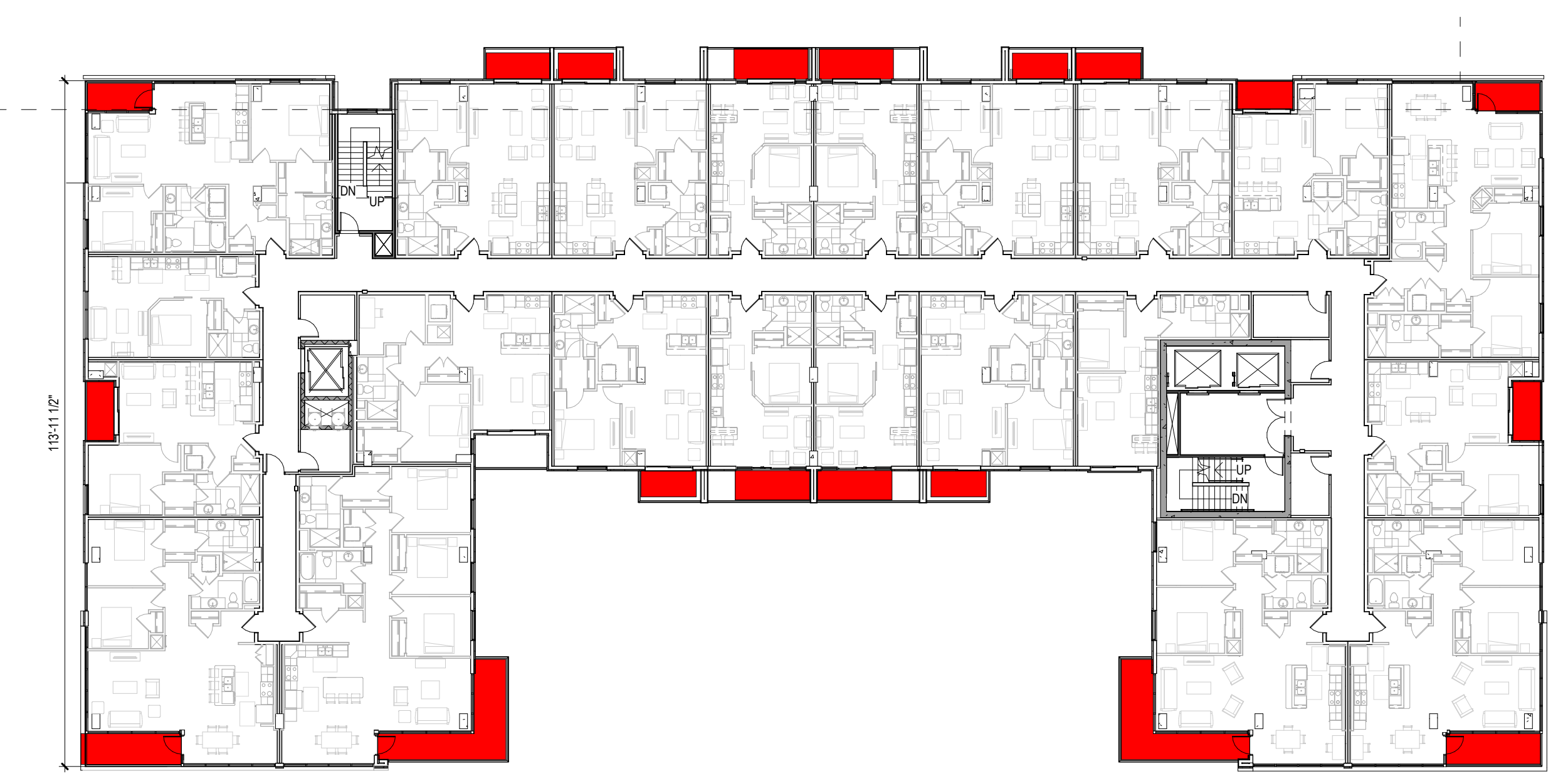
SHEET NUMBER
G103



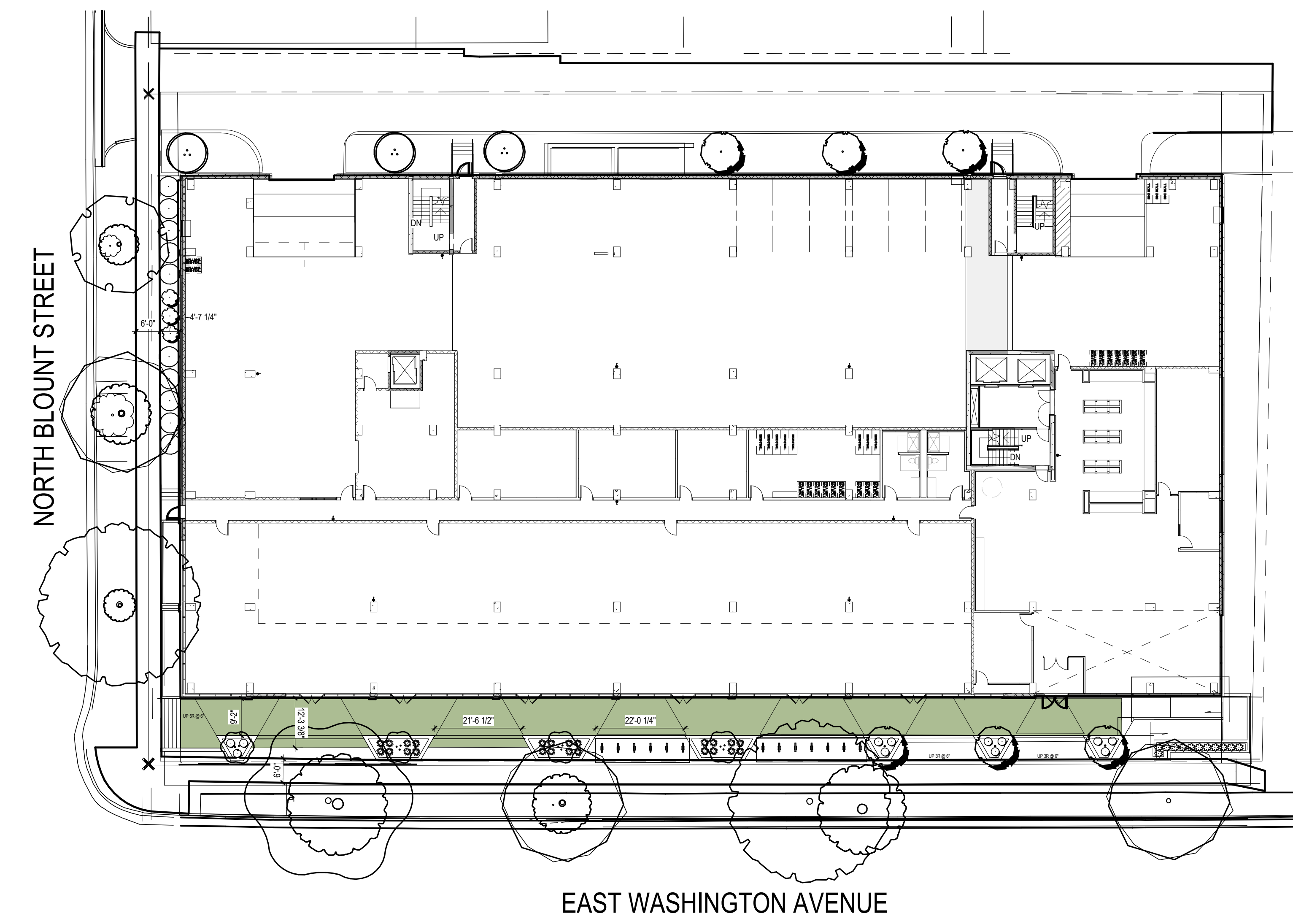
④ FOURTEENTH FLOOR - USABLE SPACE
 1" = 20'-0"



② THIRD FLOOR - USABLE SPACE
 1" = 20'-0"



③ TYPICAL FLOOR PLAN (4-13)
 1" = 20'-0"



① FIRST FLOOR - USABLE SPACE PLAN
 1" = 20'-0"

- GENERAL NOTES - PARKING LEVEL FLOOR PLAN**
- EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY UNLESS OTHERWISE NOTED.
 - INTERIOR DIMENSIONS ARE TO FACE OF STUD OR CONCRETE MASONRY UNIT WALLS UNLESS OTHERWISE NOTED.
 - EXTERIOR WINDOW & DOOR LOCATION DIMENSIONS ARE TO ROUGH OPENING ENDS OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
 - ALL CONCRETE MASONRY UNIT (CMU) WALLS SHALL BE TYPE M8.2X UNLESS NOTED OTHERWISE.
 - ALL METAL STUD WALLS SHALL BE AS TAGGED AND/OR INDICATED ON THE INTERIOR WALL ASSEMBLY SHEET, UNLESS NOTED OTHERWISE.
 - VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
 - ANY EXPOSED STEEL THAT SUPPORTS LOAD-BEARING WALLS OR FLOORS SHALL BE PROTECTED BY MEANS OF SPRAY-FIREPROOFING. GENERAL CONTRACTOR TO COORDINATE WITH FINAL DESIGN AND INSTALLATION OF PRECAST CONCRETE STRUCTURAL MEMBERS.
 - ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED.
 - DESIGN-BUILD MECHANICAL, ELECTRICAL, AND PLUMBING CONTRACTORS SHALL MAINTAIN A CLEAR HEIGHT OF 7'-0" MINIMUM IN VEHICLE AND PEDESTRIAN TRAFFIC AREAS PER 2015 IBC ARE.
 - VERIFY QUANTITY AND LOCATION OF INTERIOR AND EXTERIOR HOSE BIBBS WITH OWNER.
 - VERIFY QUANTITY, LOCATION, AND TYPE OF ELECTRICAL OUTLETS IN PARKING AREA WITH OWNER.
 - PRIOR TO CONSTRUCTION, GENERAL CONTRACTOR TO VERIFY REQUIREMENTS OF ALL TRADES INCLUDING PRECAST, PLUMBING, SPRINKLERS, HVAC, ELEVATOR & ELECTRICAL.
 - GENERAL CONTRACTOR DOOR COORDINATE ALL PENETRATION AND OPENINGS THROUGH PRECAST PLANK WITH PRECAST PLANK PROVIDER, MEP CONTRACTORS, AND ARCHITECT.
 - COORDINATE LOCATION OF PRECAST PLANK DEPTHS W/ PRECAST SHOP DRAWINGS PRIOR TO POURING WALLS.
 - CONTRACTOR TO VERIFY LOCATIONS OF GAS METERS, ELECTRICAL METERS, AND THEIR SPACE REQUIREMENTS PRIOR TO CONSTRUCTION.



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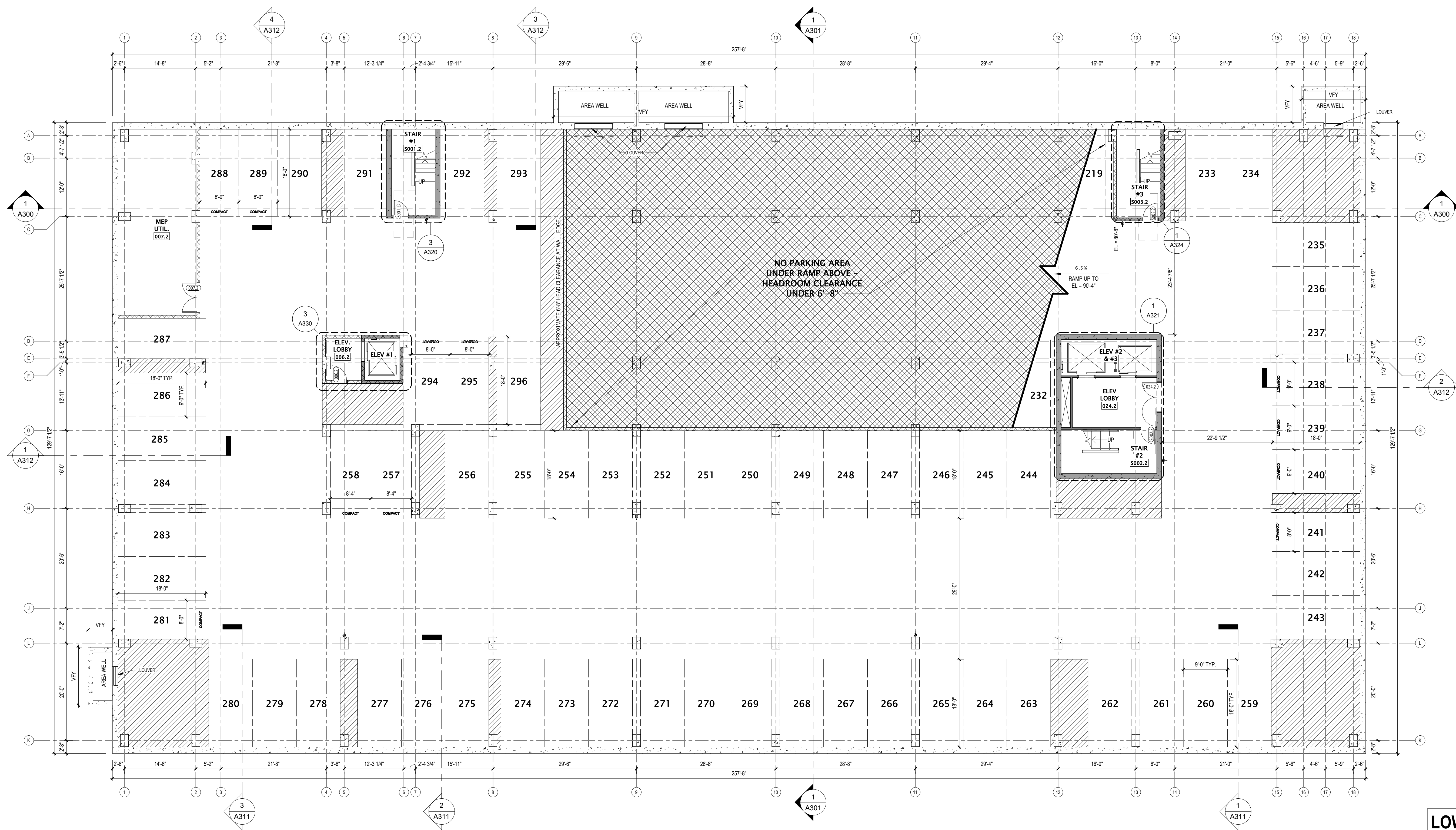
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Mark	Description	Date

SHEET TITLE
OPTIONAL LOWER LEVEL 2 PLAN

SHEET NUMBER
A090



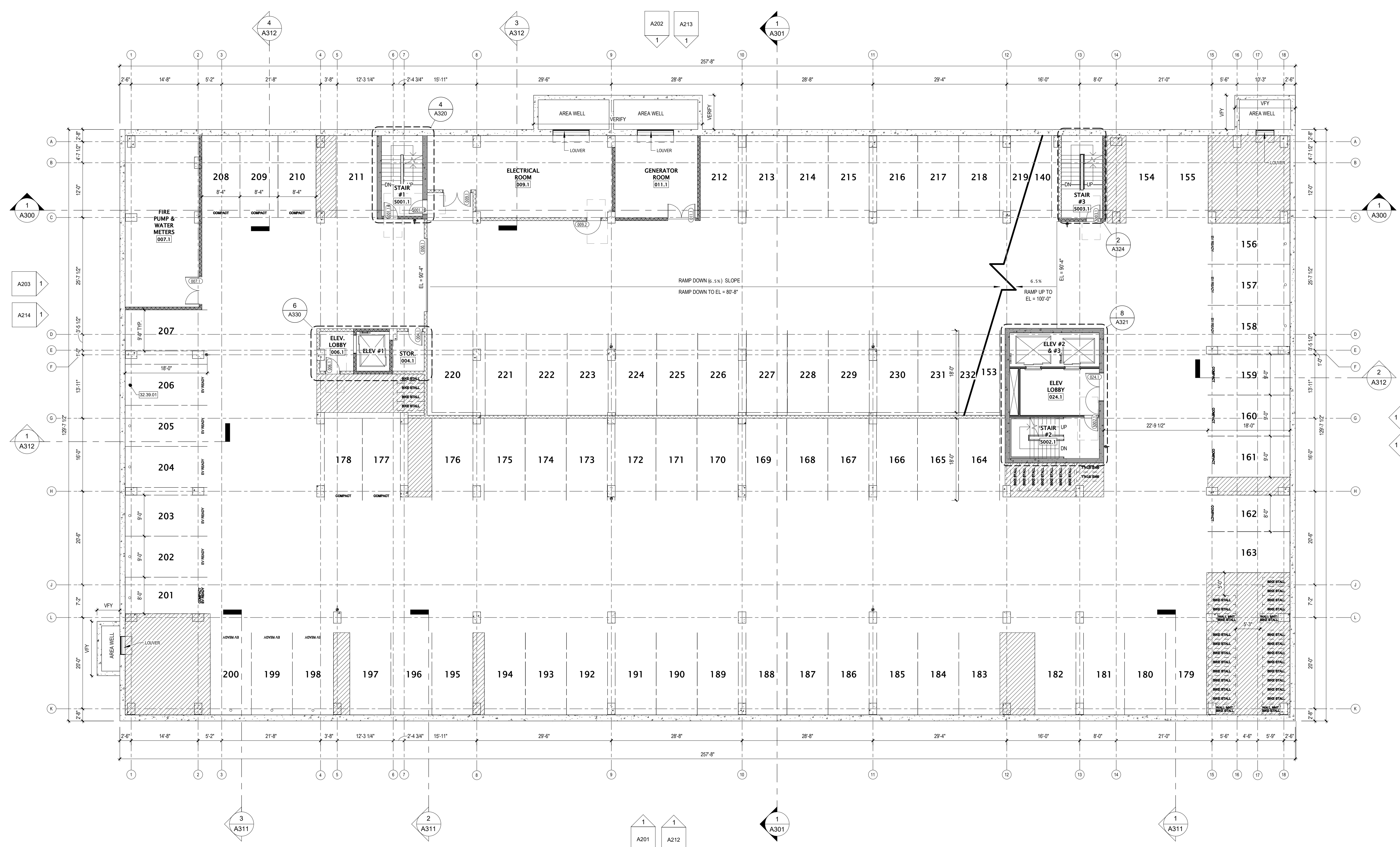
1 LOWER LEVEL 2 PLAN
3/32" = 1'-0"

LOWER LEVEL 2 NOTE:
THIS "LOWER LEVEL 2" SHALL BE AN OPTIONAL LEVEL. THE DESIRE/ NEED FOR THIS LEVEL SHALL BE DETERMINED AS THE DESIGN OF THE PROJECT IS DEVELOPED, AND DOCUMENTED IN THE FINAL PLAN REVIEW/ CONSTRUCTION DOCUMENTS.

- GENERAL NOTES - PARKING LEVEL FLOOR PLAN**
- EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY UNLESS OTHERWISE NOTED.
 - INTERIOR DIMENSIONS ARE TO FACE OF STUD OR CONCRETE MASONRY UNIT WALLS UNLESS OTHERWISE NOTED.
 - EXTERIOR WINDOW & DOOR LOCATION DIMENSIONS ARE TO ROUGH OPENING ENDS OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
 - ALL CONCRETE MASONRY UNIT (CMU) WALLS SHALL BE TYPE M8.2X UNLESS NOTED OTHERWISE.
 - ALL METAL STUD WALLS SHALL BE AS TAGGED AND/OR INDICATED ON THE INTERIOR WALL ASSEMBLY SHEET, UNLESS NOTED OTHERWISE.
 - VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
 - ANY EXPOSED STEEL THAT SUPPORTS LOAD-BEARING WALLS OR FLOORS SHALL BE PROTECTED BY MEANS OF SPRAY-FIREPROOFING. GENERAL CONTRACTOR TO COORDINATE WITH FINAL DESIGN AND INSTALLATION OF PRECAST CONCRETE STRUCTURAL MEMBERS.
 - ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED.
 - DESIGN-BUILD MECHANICAL, ELECTRICAL, AND PLUMBING CONTRACTORS SHALL MAINTAIN A CLEAR HEIGHT OF 7'-0" MINIMUM IN VEHICLE AND PEDESTRIAN TRAFFIC AREAS PER 2015 IBC ARE.
 - VERIFY QUANTITY AND LOCATION OF INTERIOR AND EXTERIOR HOSE BIBBS WITH OWNER.
 - VERIFY QUANTITY, LOCATION, AND TYPE OF ELECTRICAL OUTLETS IN PARKING AREA WITH OWNER.
 - PRIOR TO CONSTRUCTION, GENERAL CONTRACTOR TO VERIFY REQUIREMENTS OF ALL TRADES INCLUDING: PRECAST, PLUMBING, SPRINKLERS, HVAC, ELEVATOR & ELECTRICAL.
 - GENERAL CONTRACTOR DOOR COORDINATE ALL PENETRATION AND OPENINGS THROUGH PRECAST PLANK WITH PRECAST PLANK PROVIDER, MEP CONTRACTORS, AND ARCHITECT.
 - COORDINATE LOCATION OF PRECAST PLANK DEPTHS W/ PRECAST SHOP DRAWINGS PRIOR TO POURING WALLS.
 - CONTRACTOR TO VERIFY LOCATIONS OF GAS METER, ELECTRICAL METERS, AND THEIR SPACE REQUIREMENTS PRIOR TO CONSTRUCTION.

KEYNOTE SCHEDULE

MARK	NOTE
32.39.01	PRE-FINISHED METAL BOLLARDS



1 LOWER LEVEL 1 PLAN
3/32" = 1'-0"



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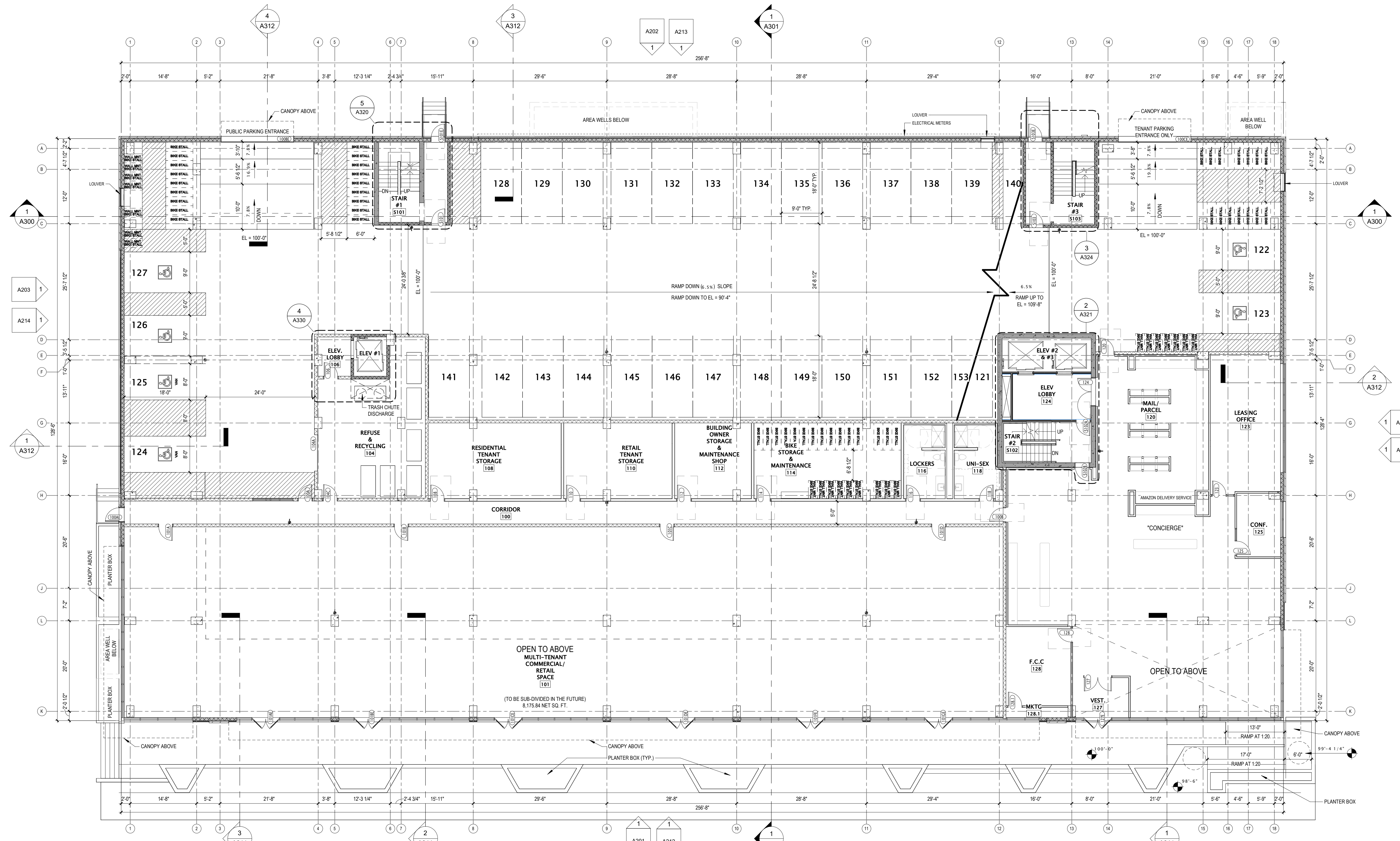
SHEET TITLE
LOWER LEVEL 1 PLAN

SHEET NUMBER
A100

- ### GENERAL PLAN NOTES
- BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS UNLESS OTHERWISE NOTED.
 - WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
 - VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
 - ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
 - VERIFY ALL WINDOW, DOOR, TUB, SHOWER, FIREPLACE, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
 - PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOMS, LAUNDRY ROOMS/ CLOSETS, MECHANICAL ROOMS/ CLOSETS, AND OTHER PLUMBING WALLS.
 - PROVIDE BLOCKING AT ALL GRAB BAR LOCATIONS - INCLUDING LOCATIONS OF FUTURE GRAB BARS & SEATS IN BATHROOMS DESIGNATED AS ACCESSIBLE.
 - PROVIDE FIREBLOCKING PER 2015 IBC 716.2.1 - TYPICAL THROUGHOUT ENTIRE BUILDING.
 - FIELD VERIFY ALL CABINETS LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES. PROVIDE FINISHED END PANELS AT ALL EXPOSED CABINETS ENDS.
 - CAULK AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES. CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPASHES & SIDESPASHES.
 - INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE.
 - ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED IN THE SCOPE SPECIFICATIONS AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.

BICYCLE PARKING SCHEDULE

Level	Count
LOWER LEVEL	7
LOWER LEVEL	29
LOWER LEVEL	4
FIRST FLOOR	54
FIRST FLOOR	16
PARKING I.S.	131
SECOND FLOOR	32
SECOND FLOOR	9
TOTAL BICYCLE PARKING:	281



1 FIRST FLOOR PLAN
3/32" = 1'-0"



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FIRST FLOOR PLAN

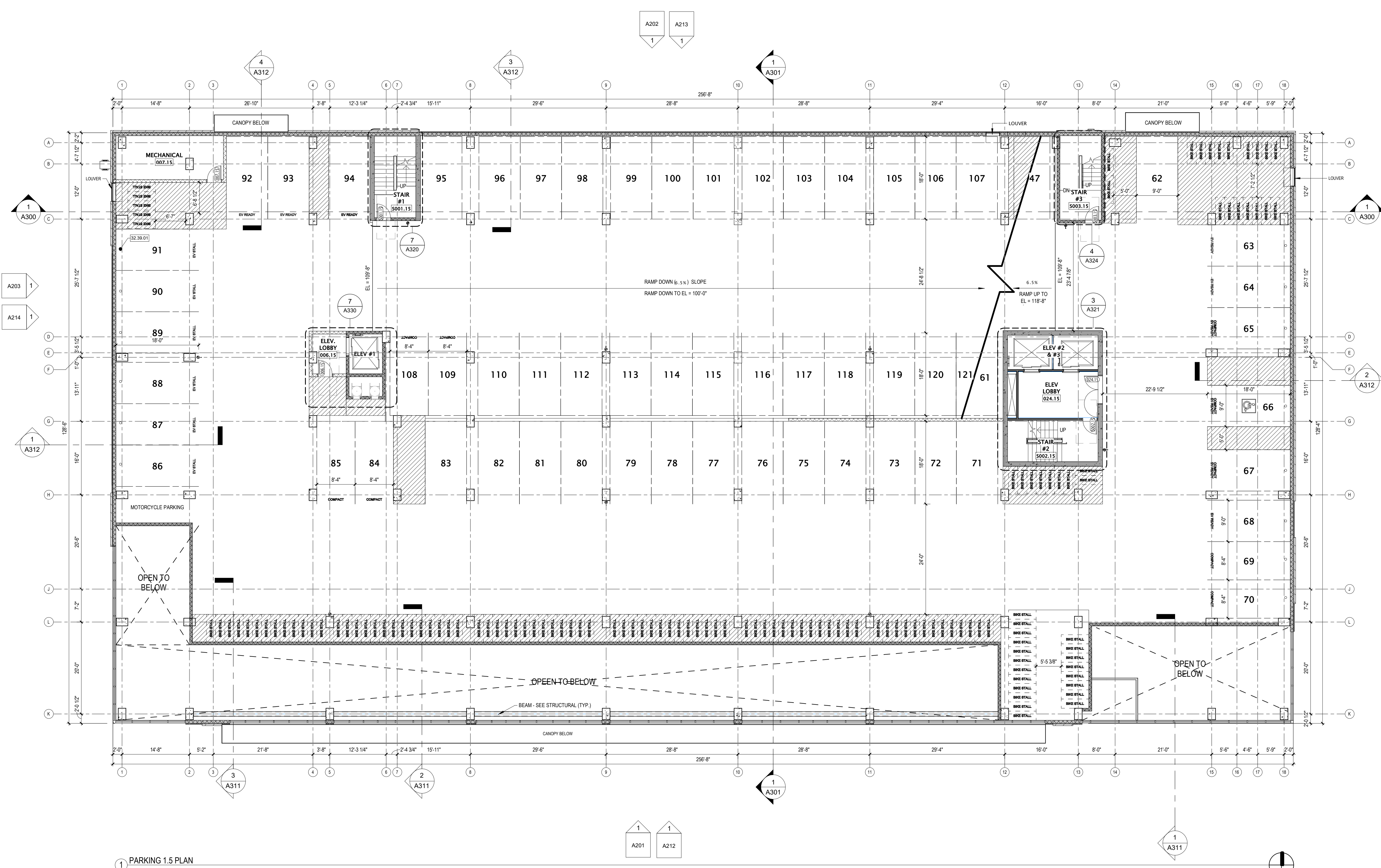
SHEET NUMBER

A101

- ### GENERAL PLAN NOTES
- BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS UNLESS OTHERWISE NOTED.
 - WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
 - VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
 - ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
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 - PROVIDE BLOCKING AT ALL GRAB BAR LOCATIONS - INCLUDING LOCATIONS OF FUTURE GRAB BARS & SEATS IN BATHROOMS DESIGNATED AS ACCESSIBLE.
 - PROVIDE FIREBLOCKING PER 2015 IBC 718.2.1 - TYPICAL THROUGHOUT ENTIRE BUILDING.
 - FIELD VERIFY ALL CABINERY LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES. PROVIDE FINISHED END PANELS AT ALL EXPOSED CABINERY ENDS.
 - CAULK AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES. CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPASHES & SIDESPLASHES.
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 - ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED IN THE SCOPE SPECIFICATIONS AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.

KEYNOTE SCHEDULE

MARK	NOTE
32.39.01	PRE-FINISHED METAL BOLLARDS



1 PARKING 1.5 PLAN
3/32" = 1'-0"



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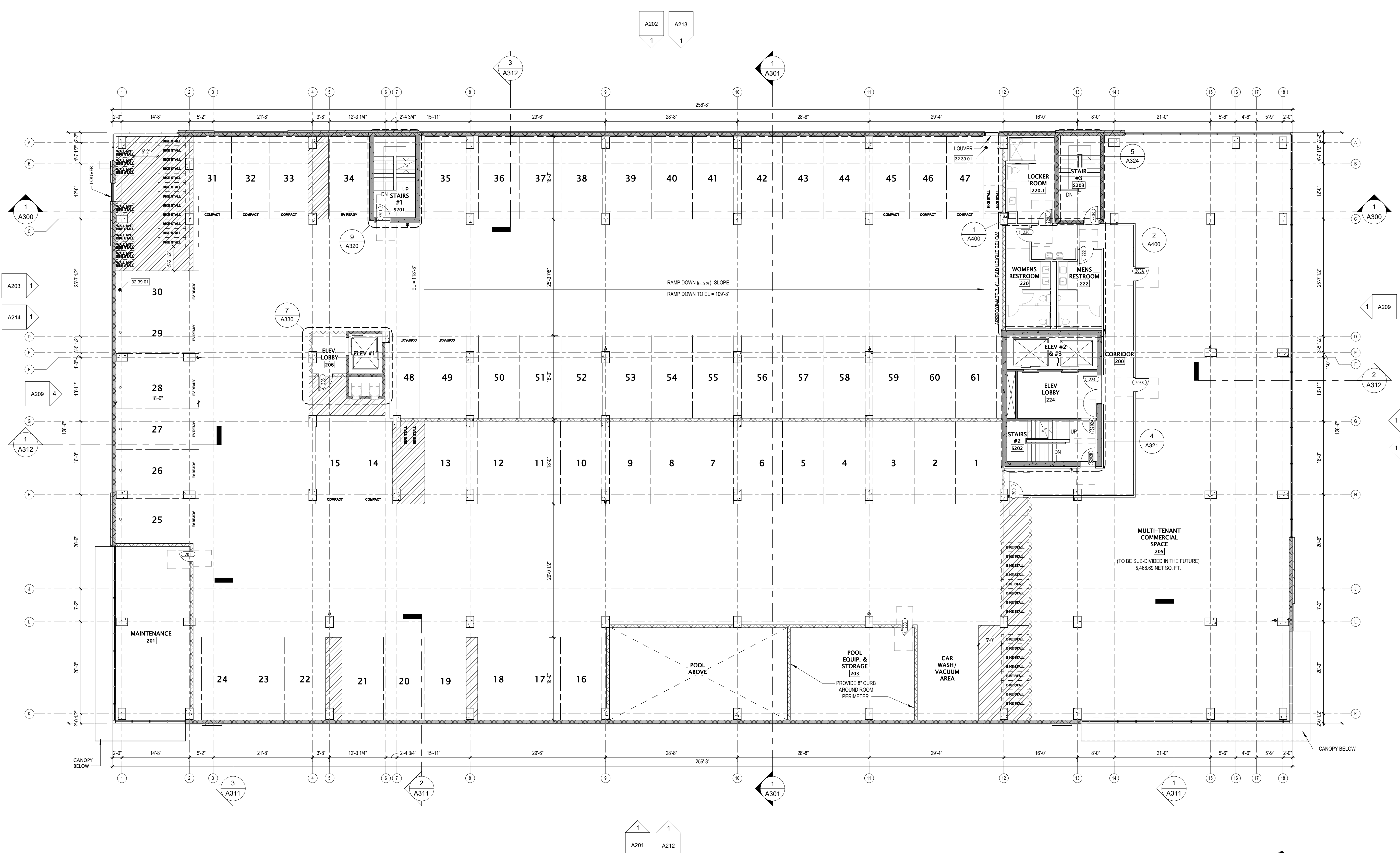
SHEET TITLE
PARKING 1.5

SHEET NUMBER
A101.5

- ### GENERAL PLAN NOTES
- BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS UNLESS OTHERWISE NOTED.
 - WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
 - VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
 - ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
 - VERIFY ALL WINDOW, DOOR, TUB, SHOWER, FIREPLACE, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
 - PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOMS, LAUNDRY ROOMS/ CLOSETS, MECHANICAL ROOMS/ CLOSETS, AND OTHER PLUMBING WALLS.
 - PROVIDE BLOCKING AT ALL GRAB BAR LOCATIONS - INCLUDING LOCATIONS OF FUTURE GRAB BARS & SEATS IN BATHROOMS DESIGNATED AS ACCESSIBLE.
 - PROVIDE FIREBLOCKING PER 2015 IBC 718.2.1 - TYPICAL THROUGHOUT ENTIRE BUILDING.
 - FIELD VERIFY ALL CABINERY LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES. PROVIDE FINISHED END PANELS AT ALL EXPOSED CABINERY ENDS.
 - CAULK AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES. CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPLASHES & SIDESPLASHES.
 - INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE.
 - ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED IN THE SCOPE SPECIFICATIONS AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.

KEYNOTE SCHEDULE

MARK	NOTE
32.38.01	PRE-FINISHED METAL ROLLARDS



1 SECOND FLOOR PLAN
3/32" = 1'-0"



JLA PROJECT NUMBER: W22-0106

702 EAST WASHINGTON AVENUE MIXED-USE DEVELOPMENT

DESIGN DEVELOPMENT DOCUMENTS

PROGRESS DOCUMENTS

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DATE OF ISSUANCE: JANUARY 5, 2024

REVISION SCHEDULE

Mark	Description	Date
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SHEET TITLE
SECOND FLOOR PLAN

SHEET NUMBER
A102

GENERAL PLAN NOTES

- BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS UNLESS OTHERWISE NOTED.
- WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
- VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
- ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- VERIFY ALL WINDOW, DOOR, TUB, SHOWER, FIREPLACE, APPLIANCE EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
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VEGETATIVE ROOF LEGEND

REQUIREMENT: 50% OF TOTAL ROOF AREA TO BE A VEGETATIVE ROOF.

3RD LEVEL ROOF/TERRACE AREA	=	11,632 SF
14TH LEVEL ROOF/TERRACE AREA	=	2,008 SF
15TH LEVEL ROOF/TERRACE AREA	=	22,366 SF
TOTAL COMBINED ROOF AREA	=	36,006 SF
3RD LEVEL VEGETATIVE ROOF/TERRACE	=	3,364
15TH LEVEL VEGETATIVE ROOF	=	15,064 SF
PERCENTAGE OF TOTAL VEGETATIVE ROOF	=	51.18% TOTAL



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JLA PROJECT NUMBER: W22-0106

702 EAST WASHINGTON AVENUE MIXED-USE DEVELOPMENT

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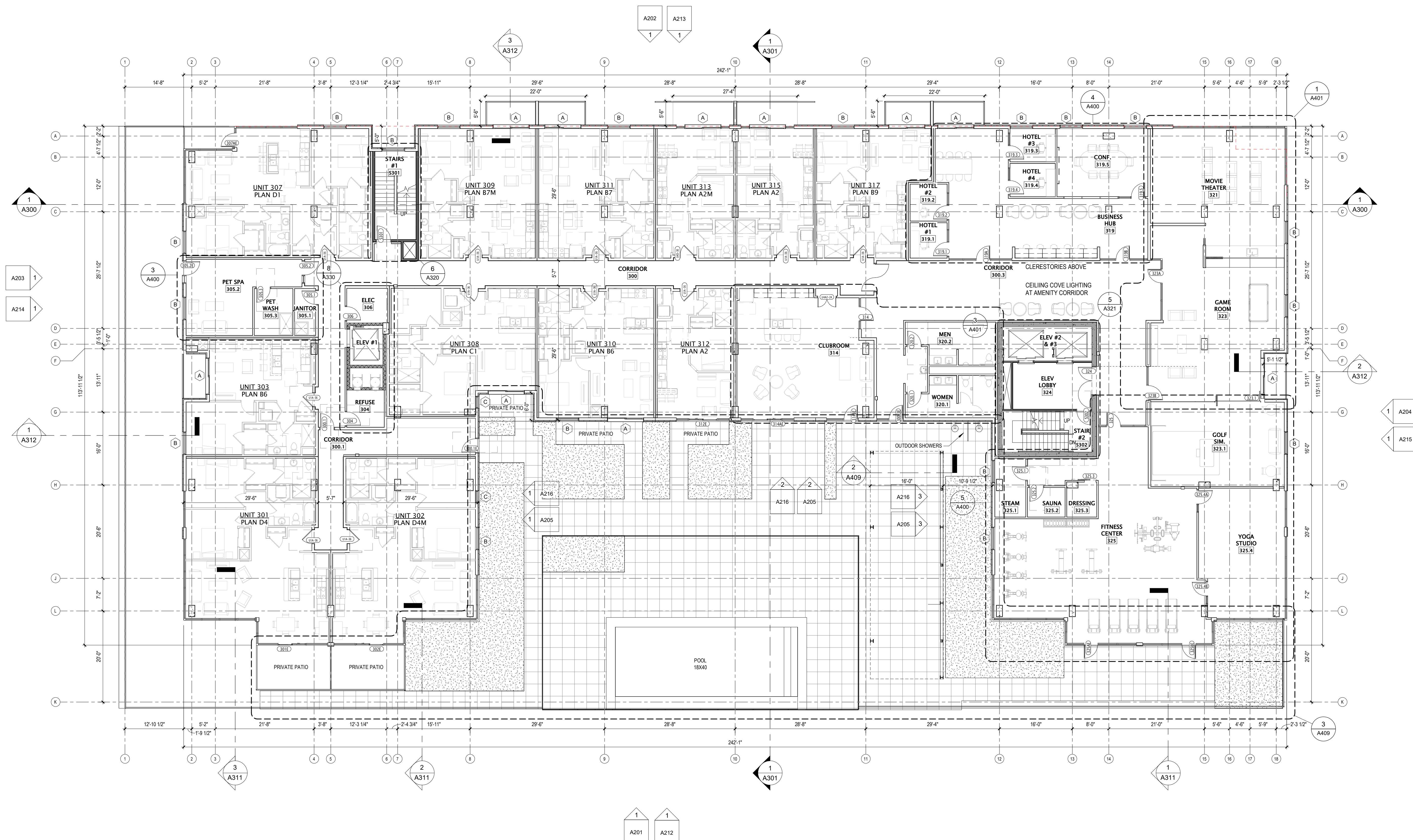
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

THIRD FLOOR PLAN

SHEET NUMBER

A103



1 THIRD FLOOR PLAN
3/32" = 1'-0"

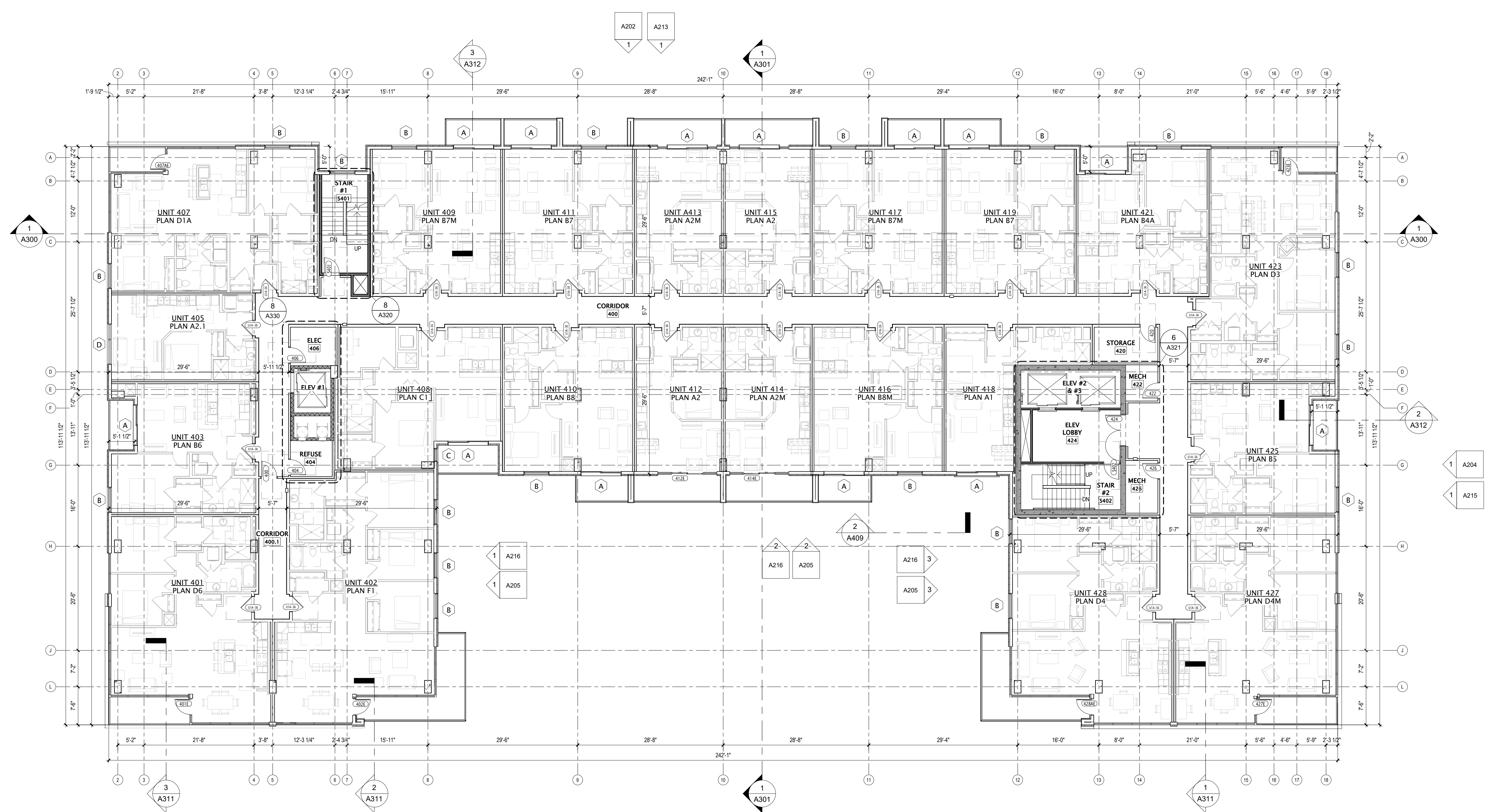
- GENERAL PLAN NOTES**
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702 EAST WASHINGTON AVENUE MIXED-USE DEVELOPMENT

DESIGN DEVELOPMENT DOCUMENTS



1 FOURTH FLOOR PLAN
3/32" = 1'-0"

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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
FOURTH FLOOR PLAN

SHEET NUMBER
A104

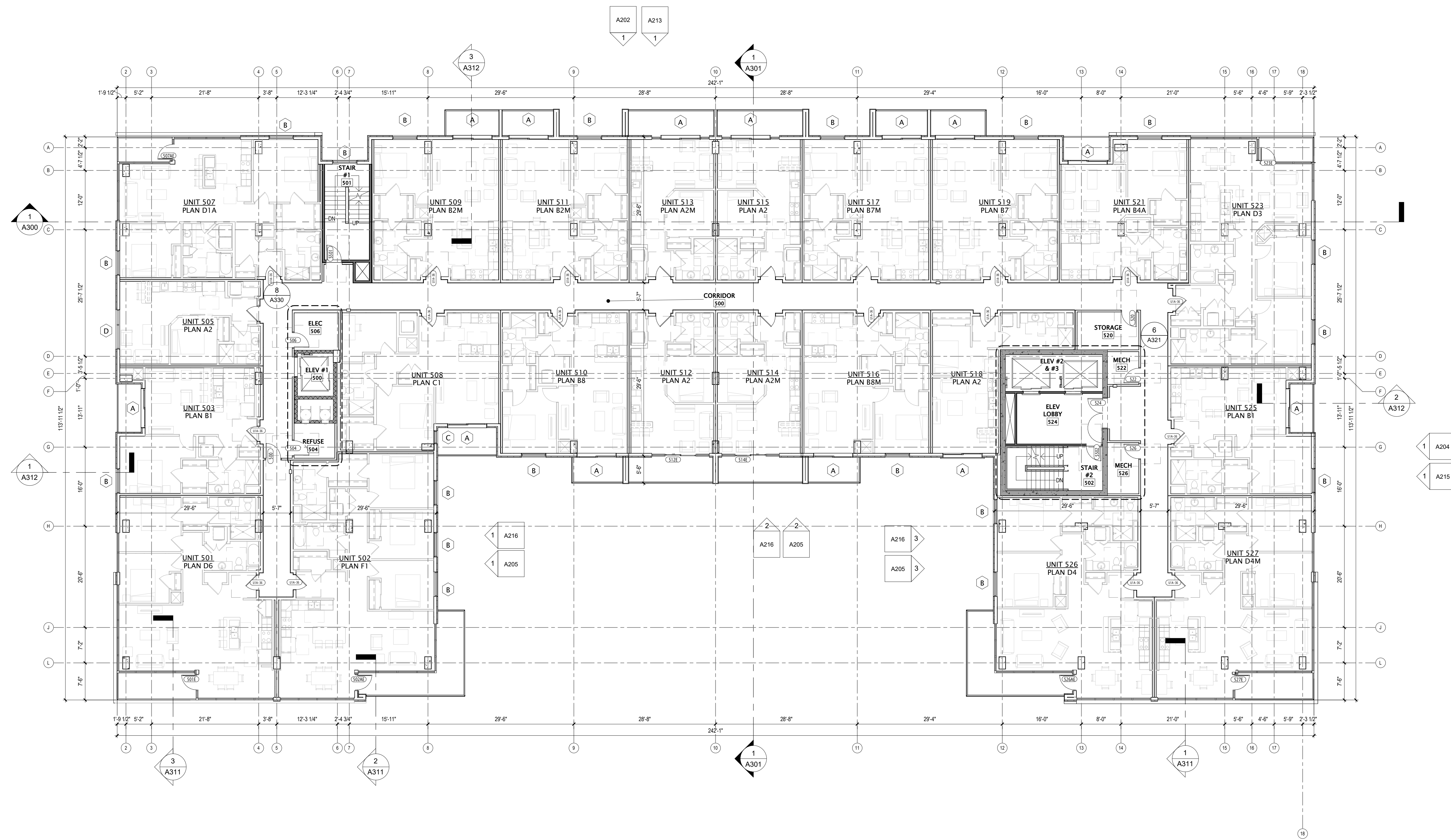
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VEGETATIVE ROOF LEGEND

REQUIREMENT: 50% OF TOTAL ROOF AREA TO BE A VEGETATIVE ROOF.

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15TH LEVEL ROOF/TERRACE AREA	=	22,366 SF
TOTAL COMBINED ROOF AREA	=	36,006 SF
3RD LEVEL VEGETATIVE ROOF/TERRACE	=	3,364
15TH LEVEL VEGETATIVE ROOF	=	15,064 SF
PERCENTAGE OF TOTAL VEGETATIVE ROOF	=	51.18% TOTAL



1 FIFTH FLOOR PLAN
3/32" = 1'-0"



JLA PROJECT NUMBER: W22-0106

702 EAST WASHINGTON AVENUE MIXED-USE DEVELOPMENT

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REVISION SCHEDULE		
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SHEET TITLE
FIFTH FLOOR PLAN

SHEET NUMBER
A105

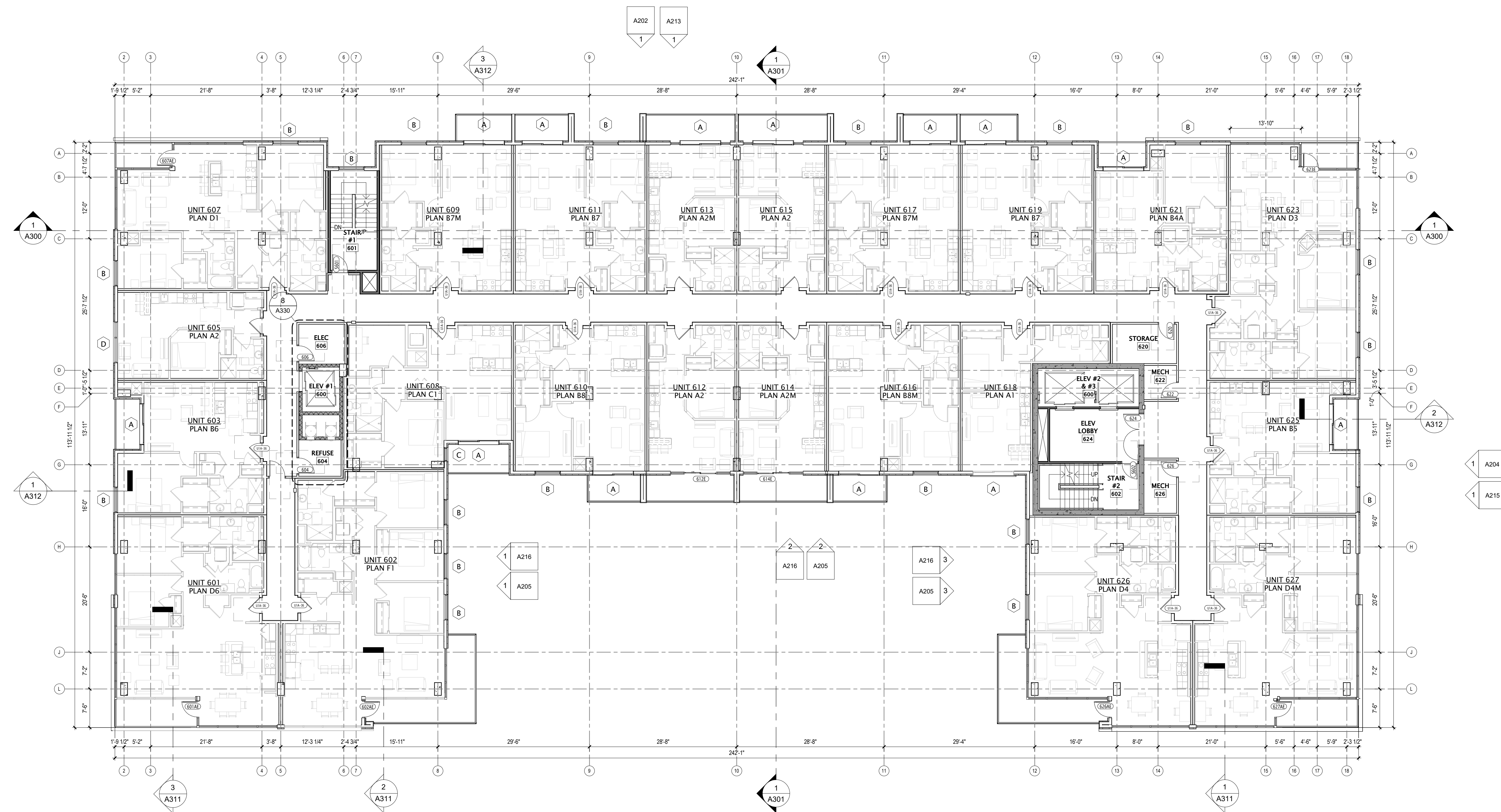
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VEGETATIVE ROOF LEGEND

REQUIREMENT: 50% OF TOTAL ROOF AREA TO BE A VEGETATIVE ROOF.

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TOTAL COMBINED ROOF AREA	=	36,006 SF
3RD LEVEL VEGETATIVE ROOF/TERRACE	=	3,364
15TH LEVEL VEGETATIVE ROOF	=	15,064 SF
PERCENTAGE OF TOTAL VEGETATIVE ROOF	=	51.18% TOTAL



1 SIXTH FLOOR PLAN
3/32" = 1'-0"



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702 EAST WASHINGTON AVENUE MIXED-USE DEVELOPMENT

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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
SIXTH FLOOR PLAN

SHEET NUMBER
A106

GENERAL PLAN NOTES

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702 EAST WASHINGTON AVENUE MIXED-USE DEVELOPMENT

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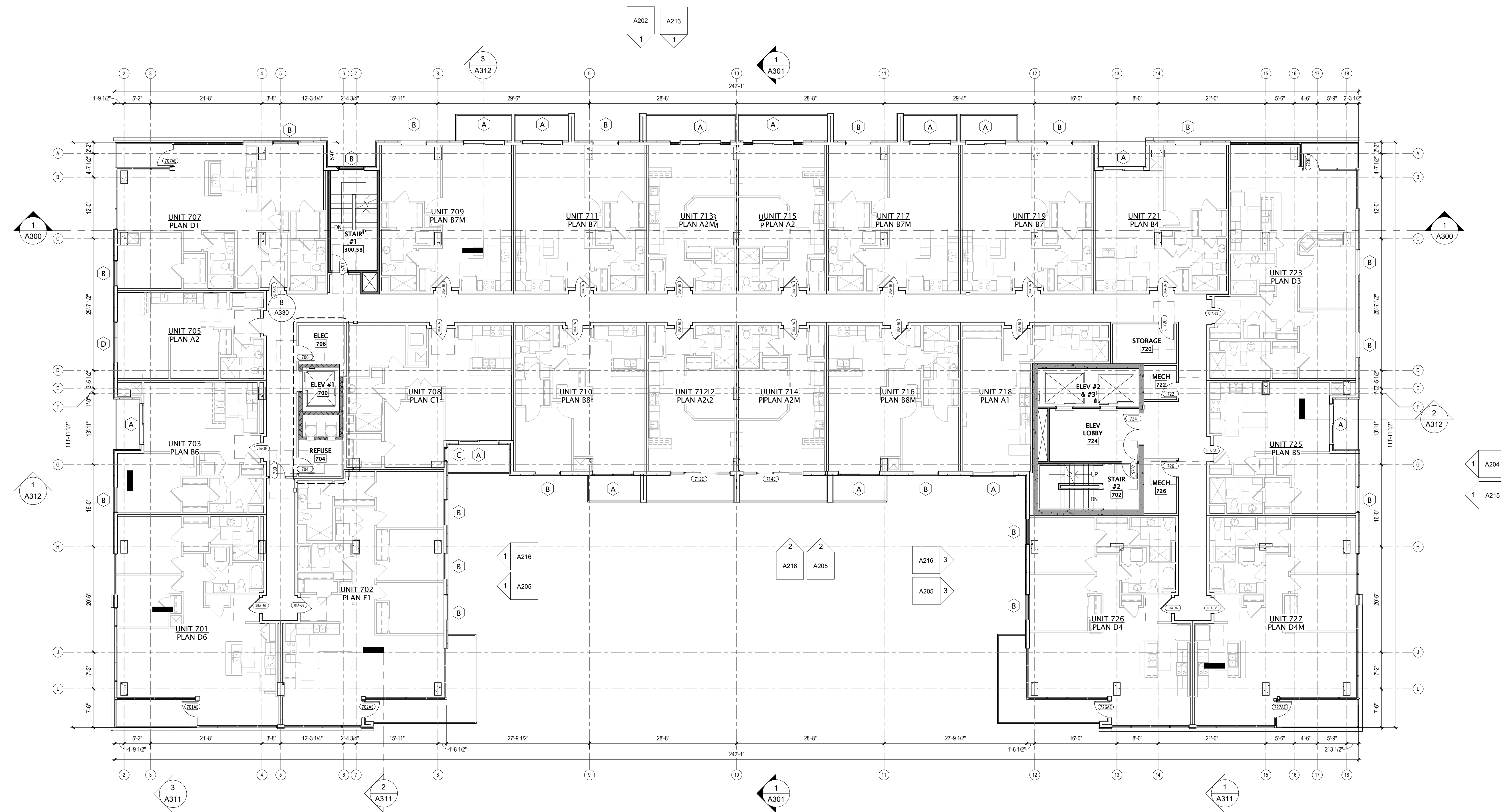
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

TYPICAL FLOOR PLAN (7-13)

SHEET NUMBER

A107



1 TYPICAL FLOOR PLAN (7-13)
3/32" = 1'-0"

- GENERAL PLAN NOTES**
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JLA PROJECT NUMBER: W22-0106

702 EAST WASHINGTON AVENUE MIXED-USE DEVELOPMENT
 DESIGN DEVELOPMENT DOCUMENTS

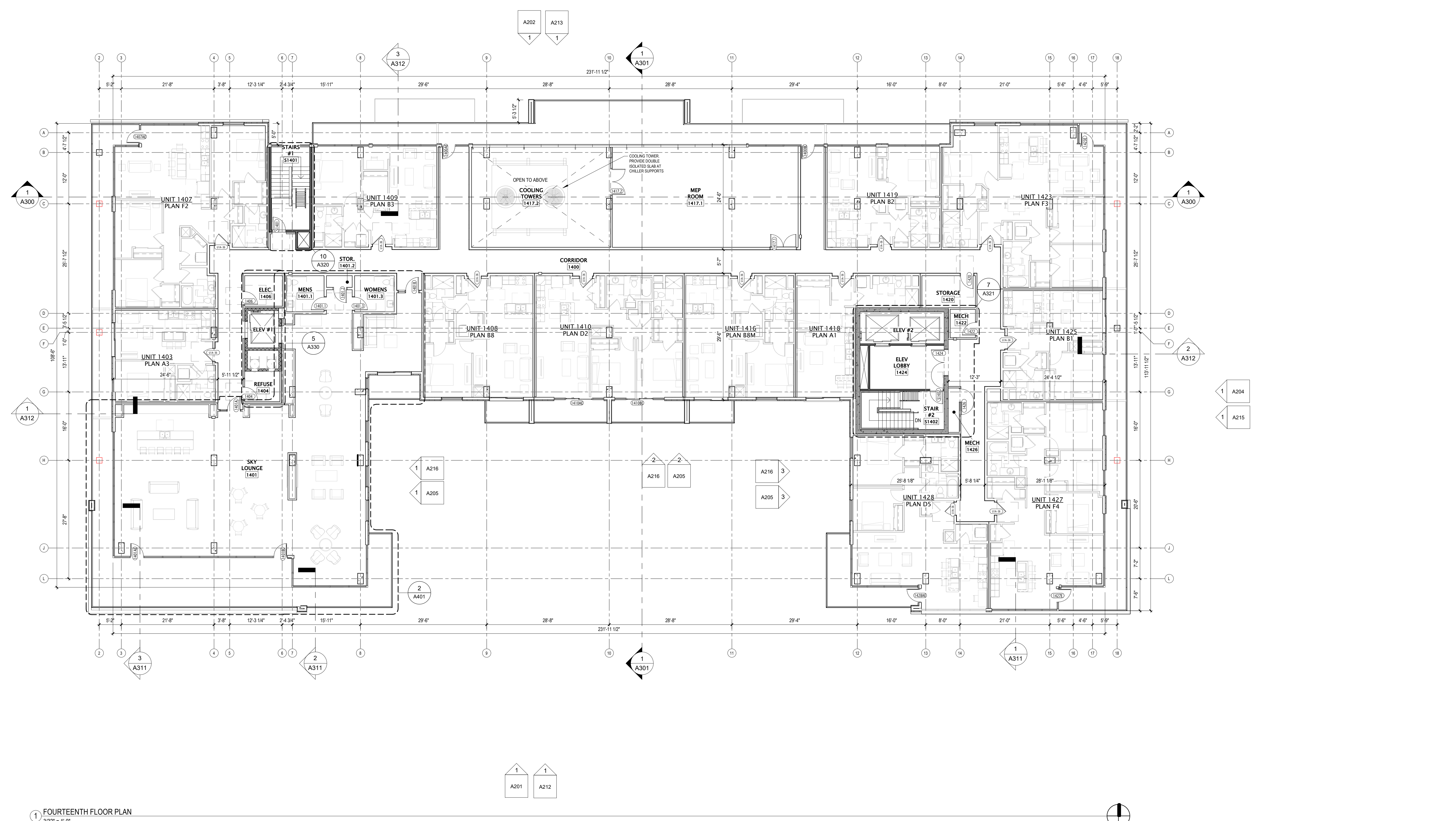
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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
FOURTEENTH FLOOR PLAN

SHEET NUMBER
A114



1 FOURTEENTH FLOOR PLAN
 3/32" = 1'-0"

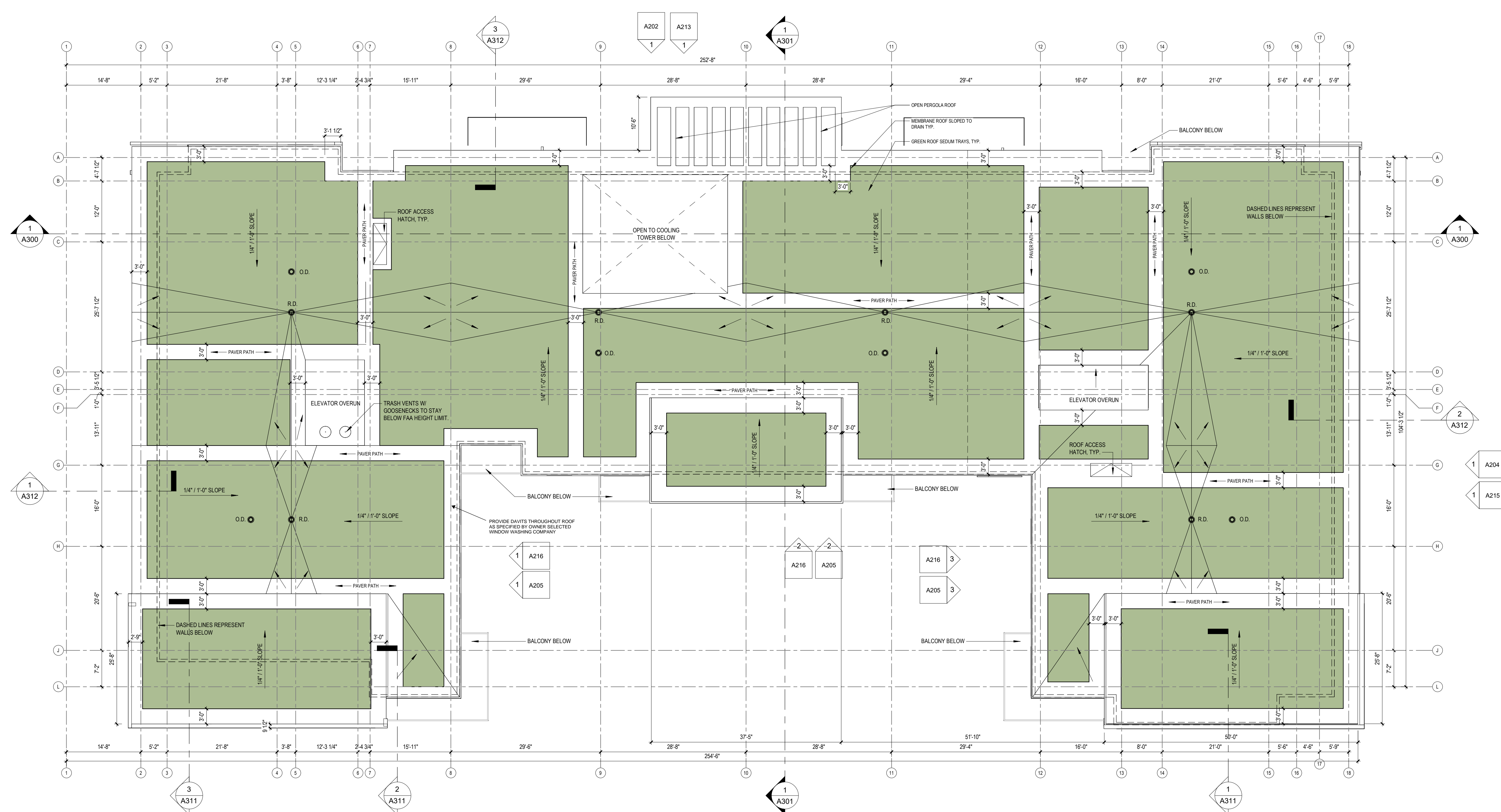
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- ### ROOF NOTES
- ROOF SHALL BE ROOF ASSEMBLY - CR2-1.5X, UNLESS NOTED OTHERWISE. RIGID INSULATION SHALL BE PITCHED AT 1/4" PER FOOT (MINIMUM) TO PROVIDE ROOF DRAINAGE. SEE A501 FOR ROOF ASSEMBLY DESCRIPTIONS.
 - PROVIDE TAPERED INSULATION BOARD WHERE NECESSARY OVER ROOF ASSEMBLY TO MAINTAIN A 1/4" PER FOOT MINIMUM PITCH TO ROOF DRAINS. PROVIDE A 3/16" PER FOOT MINIMUM PITCH FOR TAPERED INSULATION SADDLES AND/ OR CRICKETS WHERE NECESSARY.
 - ROOF DRAINS ARE SHOWN FOR INTENT ONLY. DESIGN/BUILD PLUMBING CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS TO DETERMINE FINAL QUANTITY, SIZE, AND LOCATION OF ROOF DRAINS AND OVERFLOW DRAINS. COORDINATE ALL ROOF DRAINS WITH ROOFING CONTRACTOR TO PROVIDE PROPER DRAINAGE.
 - AT ALL FIRE WALLS, PROVIDE NON-COMBUSTIBLE ROOF SHEATHING EXTENDING TO A DISTANCE OF 48" (MINIMUM) FROM BOTH SIDES OF FIRE WALL.
 - PROVIDE WATER TIGHT INTEGRITY AT ALL PENETRATIONS AND EQUIPMENT PER ROOFING MANUFACTURER'S STANDARD DETAILS AND REQUIREMENTS FOR WARRANTY AND CURRENT NRCA STANDARDS.
 - VERIFY ANY ROOFTOP EQUIPMENT AND PENETRATIONS WITH OWNER'S DESIGN / BUILD MECHANICAL, ELECTRICAL, AND PLUMBING PLANS.
 - DESIGN / BUILD CONTRACTORS PROVIDING ROOF PENETRATIONS MUST PROVIDE TEMPORARY WEATHER TIGHT COVERS FOR OPENINGS UNTIL PLACEMENT OF FINISHED WORK OR COVERING.
 - OVERHANGS (IF ANY) SHALL BE AS SHOWN ON ROOF PLAN.
 - ALL DRYERS SHALL BE VENTED WITH UL CLASSIFIED DRYER BOX & VENT. PROVIDE POWER BOOSTER FAN VENT IF VENT RUN EXCEEDS 25'-0".
 - PLUMBING DESIGN-BUILD CONTRACTOR TO COORDINATE THE LOCATION OF ROOF FROST PROOF HOSE BIB WITH OWNER. COORDINATE LOCATION WITH TRUSS LAYOUT AND UNIT LAYOUT BELOW.
 - PROVIDE PREFINISHED SHEET METAL COPINGS AND/ OR GRAVEL STOPS PER PLANS. REFER TO EXTERIOR ELEVATIONS MATERIAL SCHEDULE FOR SPECIFIED METAL COLORS.
 - PROVIDE PREFINISHED SHEET METAL DOWNSPOUTS WHERE INDICATED. REFER TO EXTERIOR ELEVATIONS MATERIAL SCHEDULE FOR SPECIFIED METAL COLORS. DESIGN/BUILD PLUMBING CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS AND DETERMINE FINAL QUANTITY, SIZE, AND LOCATION OF DOWNSPOUTS AND SHALL COORDINATE WITH ROOFING CONTRACTOR TO PROVIDE PROPER DRAINAGE.
 - ROOF DRAINS AND/ OR DOWNSPOUTS SHOWN FOR INTENT ONLY. ROOFING AND PLUMBING CONTRACTORS SHALL DETERMINE AND COORDINATE FINAL ROOF DRAIN DOWNSPOUT SIZES AND LOCATIONS BASED ON DRAINAGE CALCULATIONS PROVIDED BY PLUMBING SUB-CONTRACTOR.

VEGETATIVE ROOF LEGEND

REQUIREMENT: 50% OF TOTAL ROOF AREA TO BE A VEGETATIVE ROOF.

3RD LEVEL ROOF/TERRACE AREA	=	11,632 SF
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PERCENTAGE OF TOTAL VEGETATIVE ROOF	=	51.18% TOTAL



1 ROOF PLAN
3/32" = 1'-0"



JLA PROJECT NUMBER: W22-0106

702 EAST WASHINGTON AVENUE MIXED-USE DEVELOPMENT

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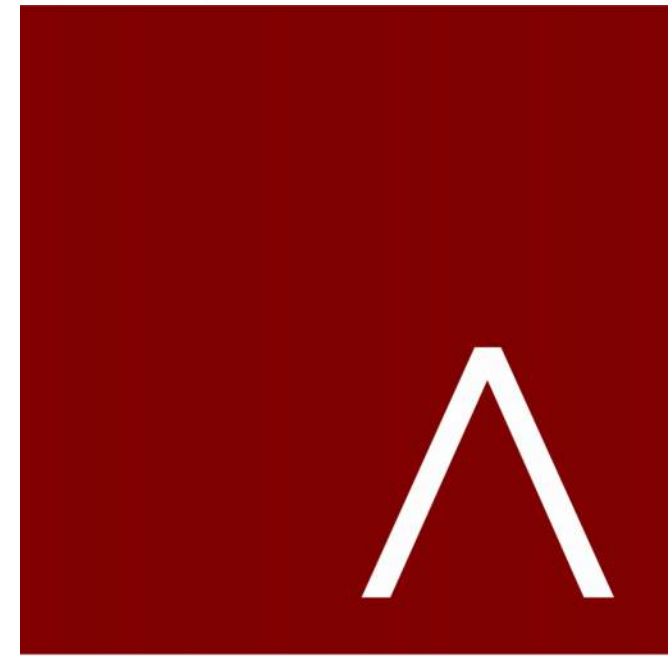
SHEET TITLE
ROOF PLAN

SHEET NUMBER
A120

- ELEVATION NOTES**
- REVIEWED FOR EXTERIOR FINISHES AND AESTHETIC DESIGN INTENT ONLY. ASSEMBLIES AND PERFORMANCE NOT REVIEWED.
 - G.C. TO PROVIDE MOCKUPS OF EACH EXTERIOR WALL MATERIAL ASSEMBLIES.
 - G.C. TO SUBMIT CURTAINWALL VISION GLASS AND SPANDREL GLASS SAMPLES FOR REVIEW AND APPROVAL.
 - VERIFY BIRD-SAFE GLASS FRIT PATTERN.
 - PROVIDE ACM REVEALS AT ACM - NO WET SEALS.
 - SUBMIT SCHEMATIC PANEL SYSTEM JOINT LAYOUT TO ARCHITECT FOR REVIEW AND APPROVAL.

EXTERIOR MATERIALS SCHEDULE

MARK	DESCRIPTION
1	METAL PANEL 1
2	METAL PANEL 2
3	METAL PANEL 3
4	METAL PANEL 4
5	BRICK 1
6	STONE 1
7	ALUMINUM PATIO DOOR
8	ALUMINUM WINDOW FRAMING SYSTEM
9	ALUMINUM WINDOW WALL
10	PERFORATED METAL PANEL
11	GREEN SPACE WALL SYSTEM
12	GUARD RAIL ASSEMBLY
13	GLASS RAIL ASSEMBLY
14	PERGOLA
15	CONCRETE PLANTER BOX
16	VENTILATION LOUVERS



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702 EAST WASHINGTON AVENUE MIXED-USE DEVELOPMENT

CITY OF MADISON LAND-USE & URBAN DESIGN COMMISSION SUBMITTAL

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REVISION SCHEDULE

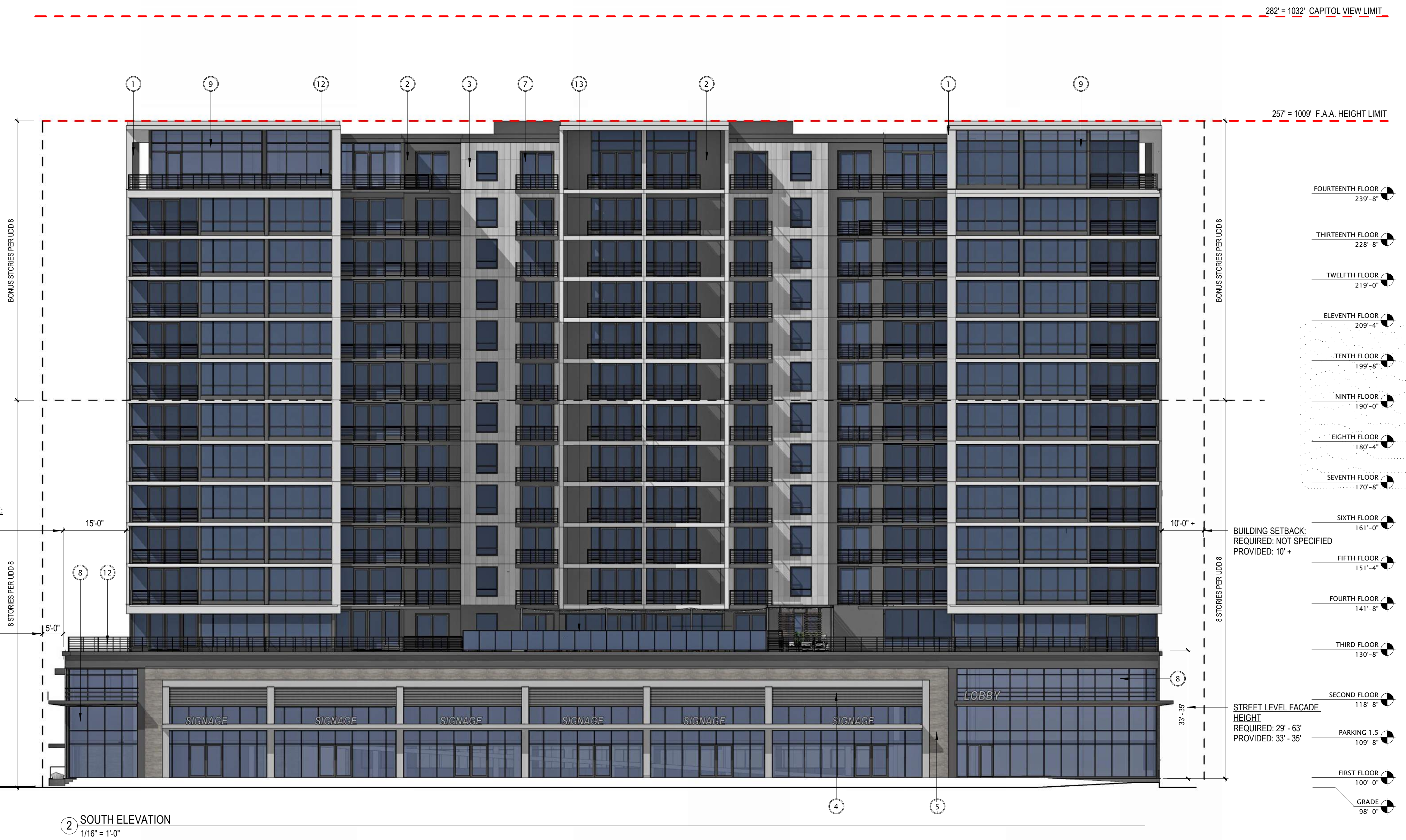
Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A200





1 EAST ELEVATION
1/16" = 1'-0"



2 WEST COURTYARD ELEVATION
1/16" = 1'-0"

ELEVATION NOTES

- REVIEWED FOR EXTERIOR FINISHES AND AESTHETIC DESIGN INTENT ONLY. ASSEMBLIES AND PERFORMANCE NOT REVIEWED.
- G.C. TO PROVIDE MOCKUPS OF EACH EXTERIOR WALL MATERIAL ASSEMBLIES.
- G.C. TO SUBMIT CURTAINWALL VISION GLASS AND SPANDREL GLASS SAMPLES FOR REVIEW AND APPROVAL.
- VERIFY BIRD-SAFE GLASS FRIT PATTERN.
- PROVIDE ACM REVEALS AT ACM - NO WET SEALS.
- SUBMIT SCHEMATIC PANEL SYSTEM JOINT LAYOUT TO ARCHITECT FOR REVIEW AND APPROVAL.

EXTERIOR MATERIALS SCHEDULE

MARK	DESCRIPTION
1	METAL PANEL 1
2	METAL PANEL 2
3	METAL PANEL 3
4	METAL PANEL 4
5	BRICK 1
6	STONE 1
7	ALUMINUM PATIO DOOR
8	ALUMINUM WINDOW FRAMING SYSTEM
9	ALUMINUM WINDOW WALL
10	PERFORATED METAL PANEL
11	GREEN SPACE WALL SYSTEM
12	GUARD RAIL ASSEMBLY
13	GLASS RAIL ASSEMBLY
14	PERGOLA
15	CONCRETE PLANTER BOX
16	VENTILATION LOUVERS



3 WEST ELEVATION
1/16" = 1'-0"



4 EAST COURTYARD ELEVATION
1/16" = 1'-0"



JLA PROJECT NUMBER: W22-0106

702 EAST WASHINGTON AVENUE MIXED-USE DEVELOPMENT

CITY OF MADISON LAND-USE & URBAN DESIGN COMMISSION SUBMITTAL

PROGRESS DOCUMENTS
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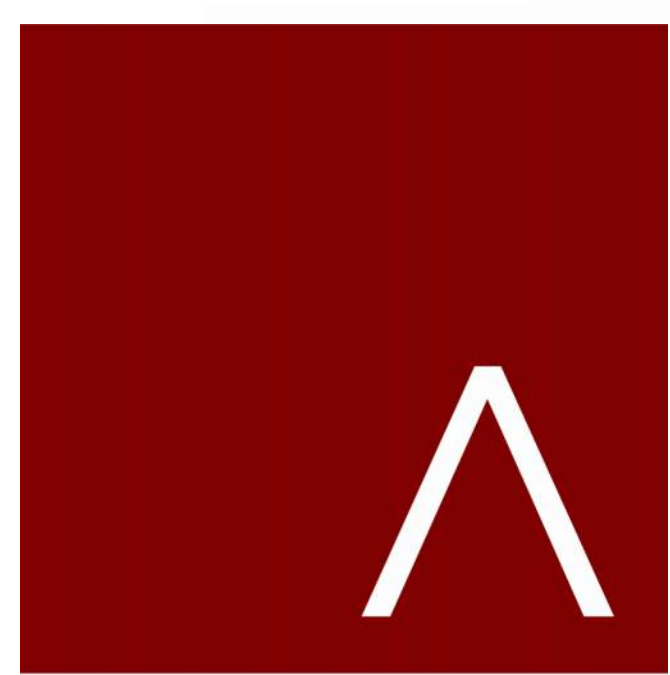
SHEET TITLE: EXTERIOR ELEVATIONS

SHEET NUMBER: A201

- ELEVATION NOTES**
- REVIEWED FOR EXTERIOR FINISHES AND AESTHETIC DESIGN INTENT ONLY. ASSEMBLIES AND PERFORMANCE NOT REVIEWED.
 - G.C. TO PROVIDE MOCKUPS OF EACH EXTERIOR WALL MATERIAL ASSEMBLIES.
 - G.C. TO SUBMIT CURTAINWALL VISION GLASS AND SPANDREL GLASS SAMPLES FOR REVIEW AND APPROVAL.
 - VERIFY BIRD-SAFE GLASS FRIT PATTERN.
 - PROVIDE ACM REVEALS AT ACM - NO WET SEALS.
 - SUBMIT SCHEMATIC PANEL SYSTEM JOINT LAYOUT TO ARCHITECT FOR REVIEW AND APPROVAL.

EXTERIOR MATERIALS SCHEDULE

MARK	DESCRIPTION
1	METAL PANEL 1
2	METAL PANEL 2
3	METAL PANEL 3
4	METAL PANEL 4
5	BRICK 1
6	STONE 1
7	ALUMINUM PATIO DOOR
8	ALUMINUM WINDOW FRAMING SYSTEM
9	ALUMINUM WINDOW WALL
10	PERFORATED METAL PANEL
11	GREEN SPACE WALL SYSTEM
12	GUARD RAIL ASSEMBLY
13	GLASS RAIL ASSEMBLY
14	PERGOLA
15	CONCRETE PLANTER BOX
16	VENTILATION LOUVER



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JLA PROJECT NUMBER: W22-0106

702 EAST WASHINGTON AVENUE MIXED-USE DEVELOPMENT

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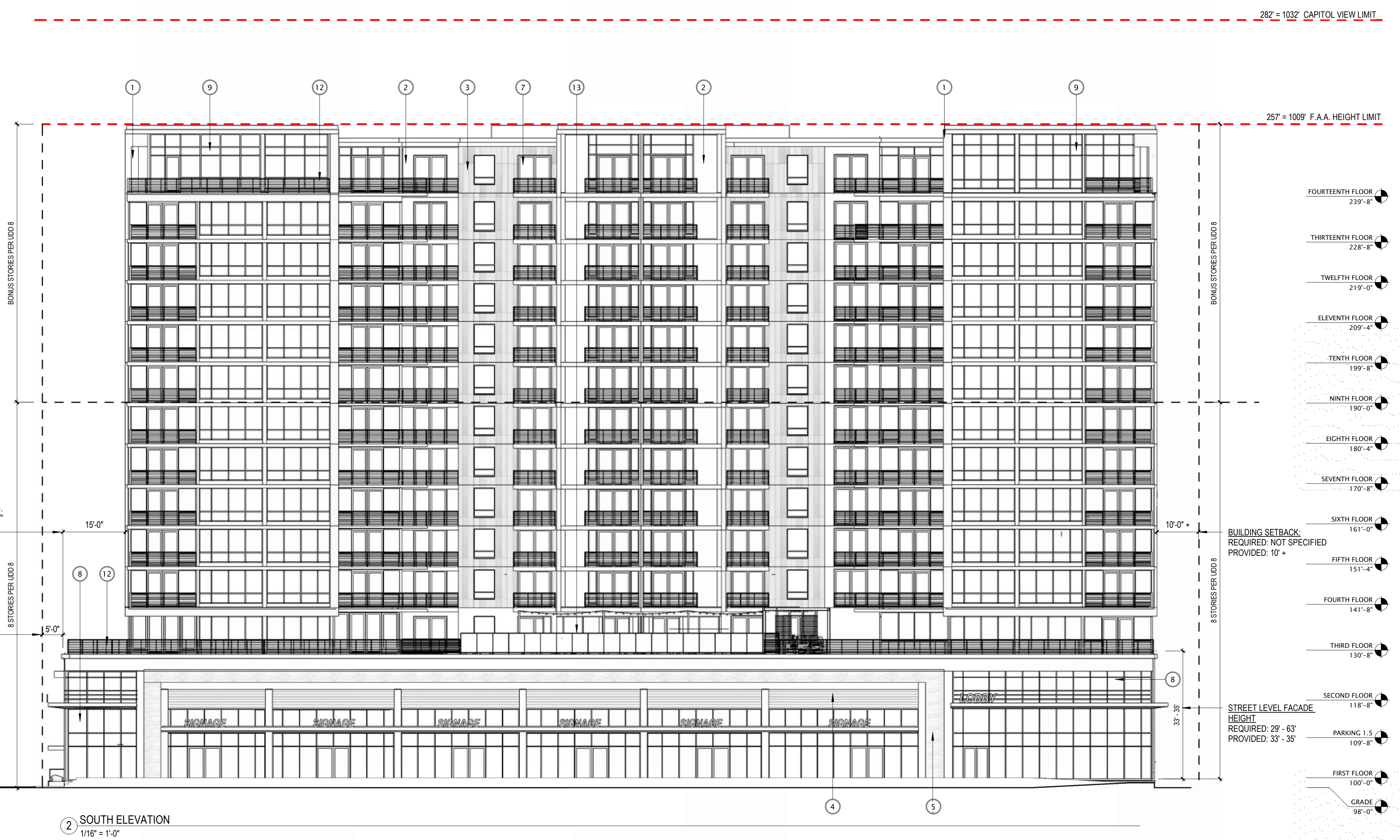
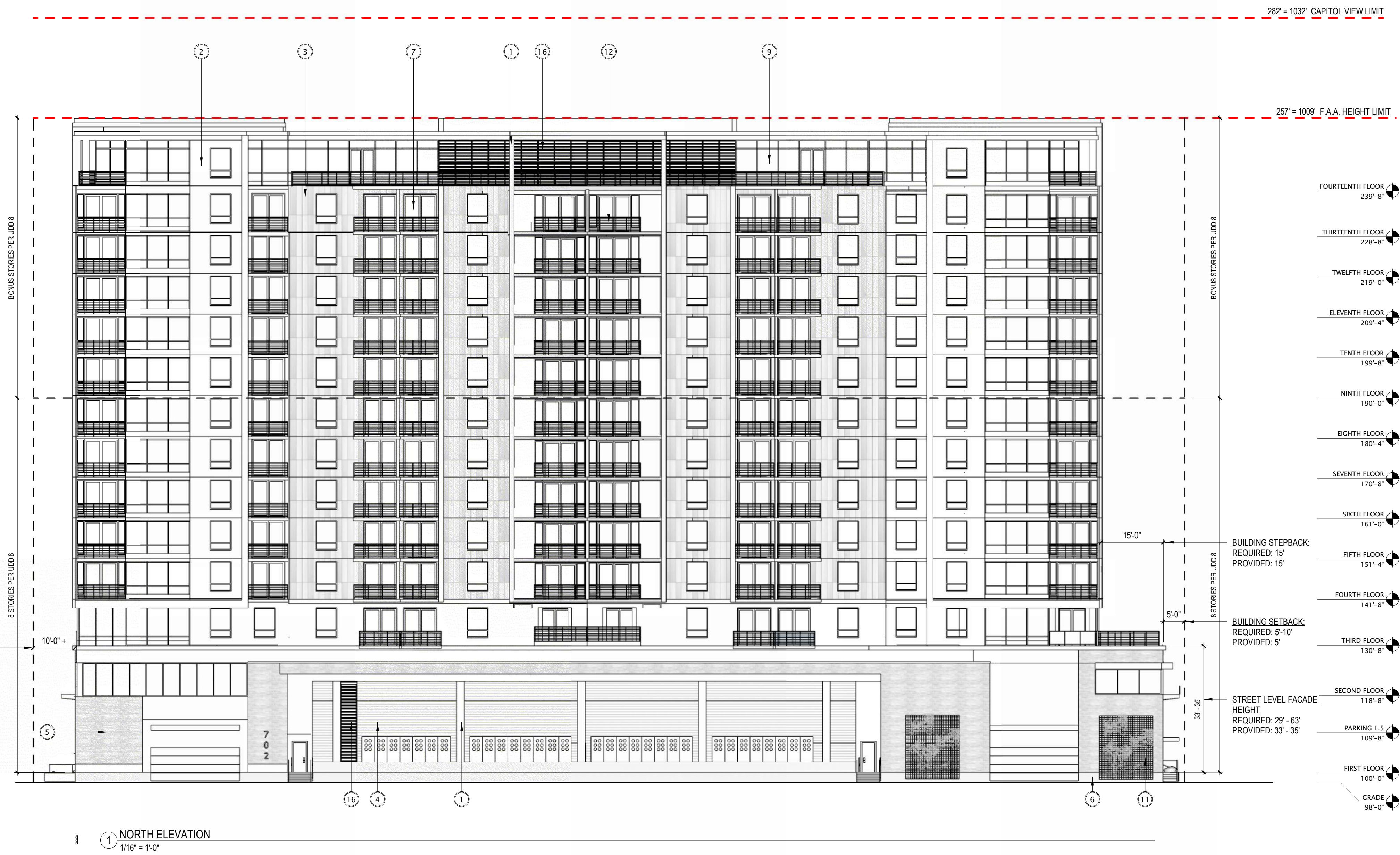
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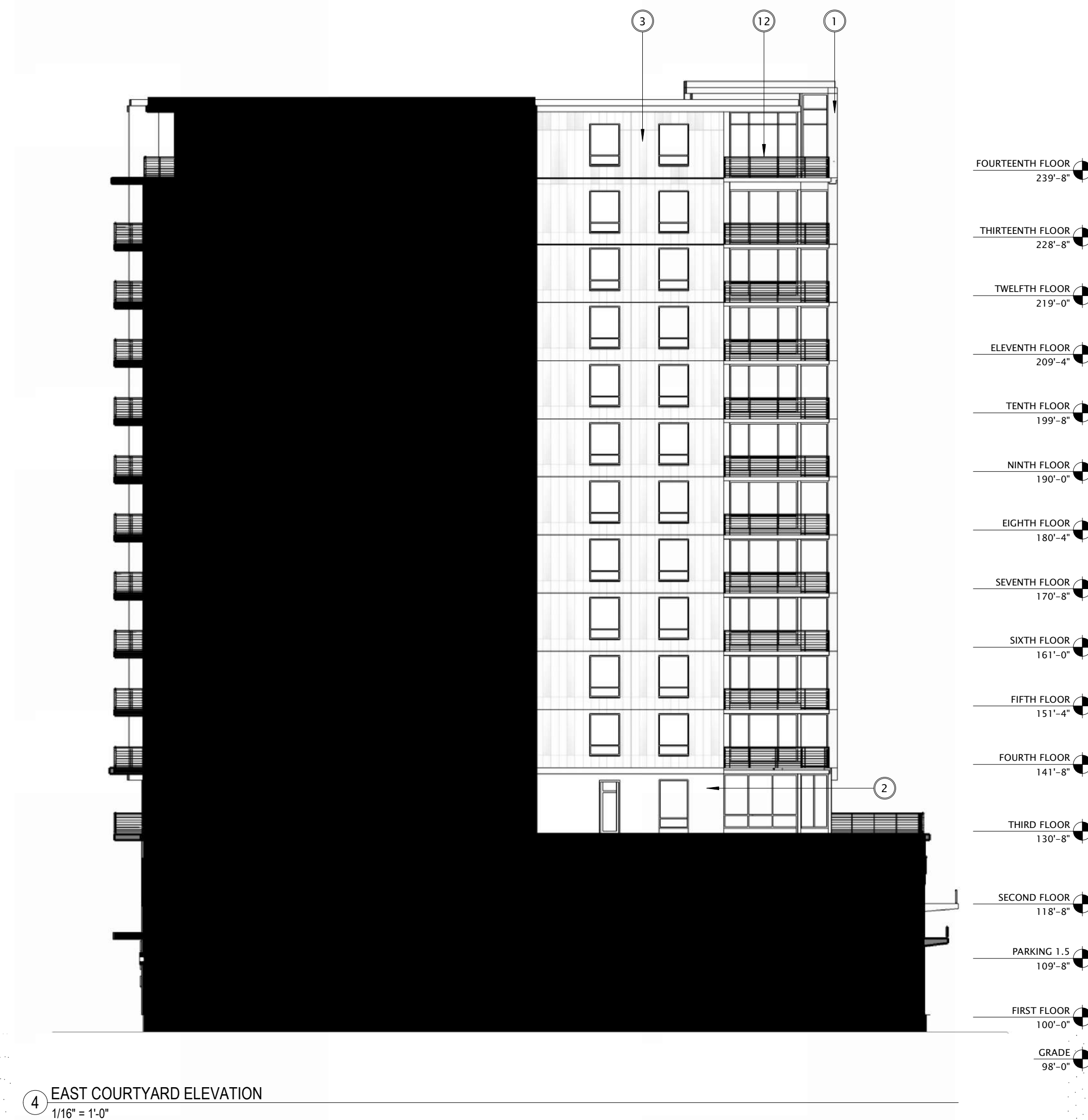
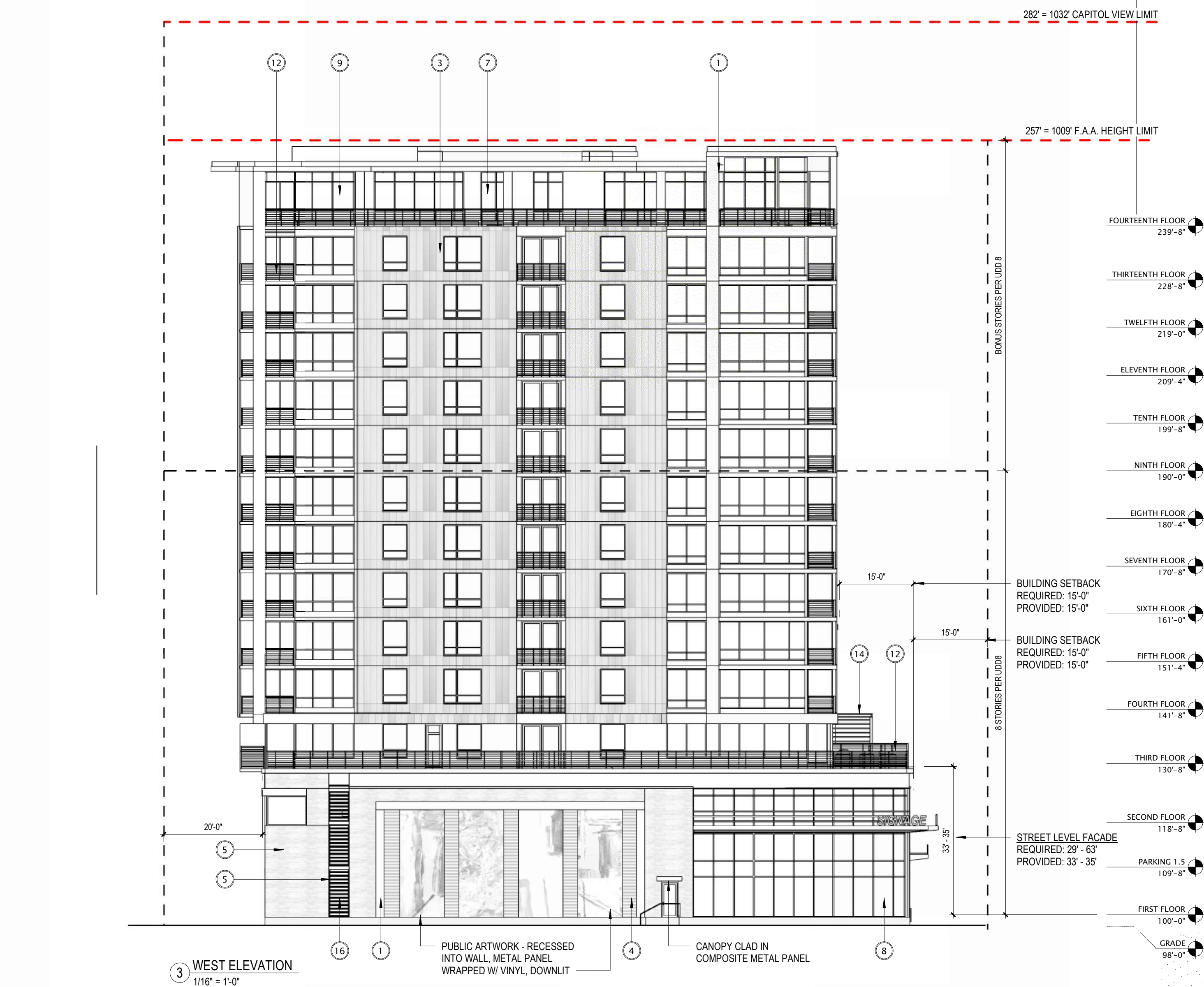
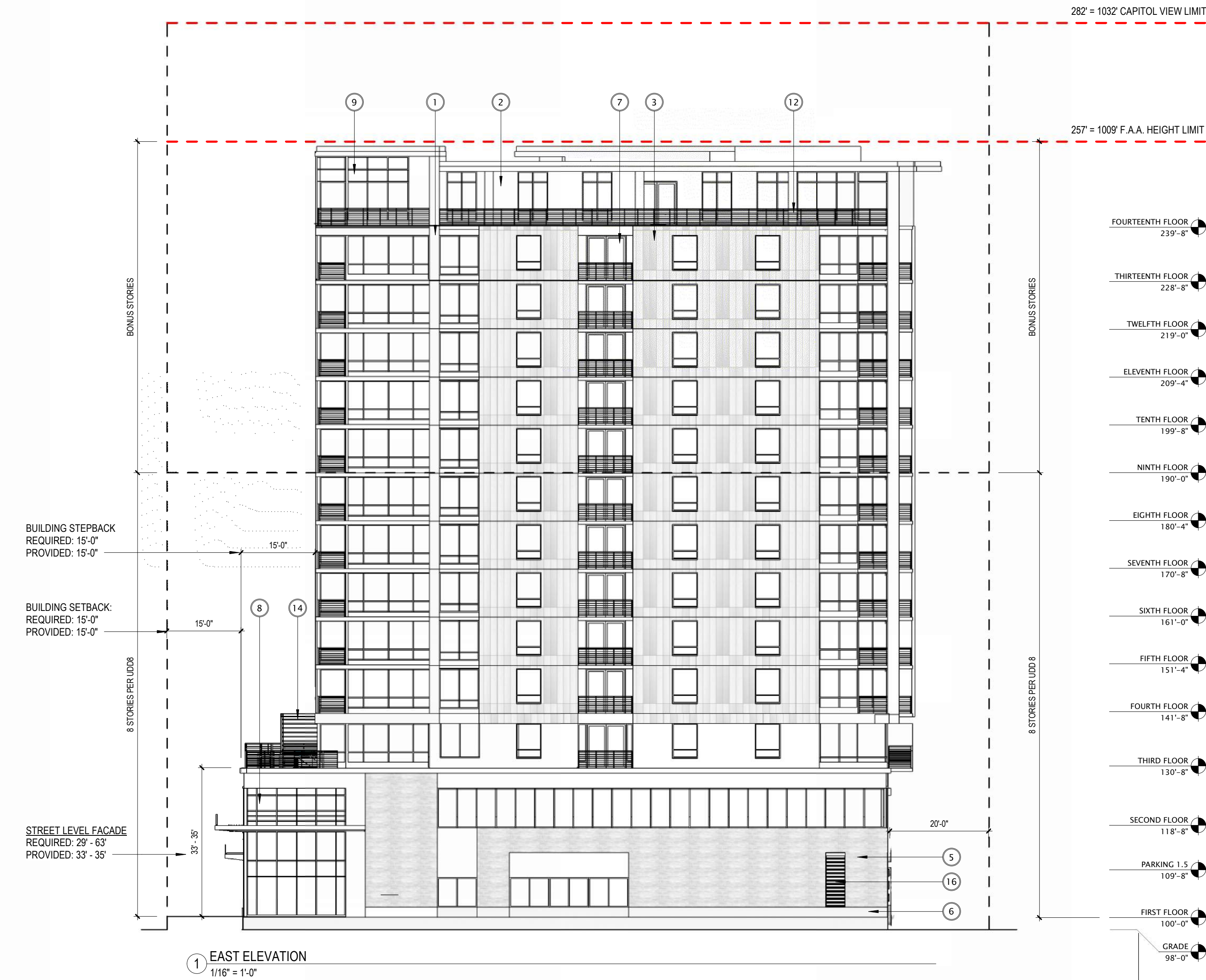
SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A204





ELEVATION NOTES

1. REVIEWED FOR EXTERIOR FINISHES AND AESTHETIC DESIGN INTENT ONLY. ASSEMBLIES AND PERFORMANCE NOT REVIEWED.
2. G.C. TO PROVIDE MOCKUPS OF EACH EXTERIOR WALL MATERIAL ASSEMBLIES.
3. G.C. TO SUBMIT CURTAINWALL VISION GLASS AND SPANDREL GLASS SAMPLES FOR REVIEW AND APPROVAL.
4. VERIFY BIRD-SAFE GLASS FRIT PATTERN.
5. PROVIDE ACM REVEALS AT ACM - NO WET SEALS.
6. SUBMIT SCHEMATIC PANEL SYSTEM JOINT LAYOUT TO ARCHITECT FOR REVIEW AND APPROVAL.

EXTERIOR MATERIALS SCHEDULE

MARK	DESCRIPTION
1	METAL PANEL 1
2	METAL PANEL 2
3	METAL PANEL 3
4	METAL PANEL 4
5	BRICK 1
6	STONE 1
7	ALUMINUM PATIO DOOR
8	ALUMINUM WINDOW FRAMING SYSTEM
9	ALUMINUM WINDOW WALL
10	PERFORATED METAL PANEL
11	GREEN SPACE WALL SYSTEM
12	GUARD RAIL ASSEMBLY
13	GLASS RAIL ASSEMBLY
14	PERGOLA
15	CONCRETE PLANTER BOX
16	VENTILATION LOUVERS



JLA PROJECT NUMBER: W22-0106

702 EAST WASHINGTON AVENUE MIXED-USE DEVELOPMENT

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Mark	Description	Date

SHEET TITLE: EXTERIOR ELEVATIONS

SHEET NUMBER: A205