



**TITLE COMMITMENT (PARCEL A):**  
 ISSUING AGENT: FIRST AMERICAN TITLE INSURANCE COMPANY NATIONAL COMMERCIAL SERVICES  
 COMMITMENT NUMBER: NCS-1195116-MAD  
 COMMITMENT DATE: OCTOBER 6, 2023 AT 7:30AM  
 PROPERTY ADDRESS: 519 WEST MAIN STREET, MADISON, WI 53703  
 TITLE OFFICER: KEVIN NEUBERGER (608) 204-7409  
 ESCROW OFFICER: RACHEL SCHROEDER (608) 204-7409

**LEGAL DESCRIPTION (BASED ON TITLE COMMITMENT, THIS SHEET):**  
 THE NORTHEAST 26.9 FEET OF LOT SIX (6) AND THE SOUTHWEST 1/2 OF LOT SEVEN (7), BLOCK THIRTY-ONE (31), ORIGINAL PLAT OF THE CITY OF MADISON, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

PROPERTY ADDRESS: 519 WEST MAIN STREET, MADISON, WI 53703

TAX KEY NUMBER: 251/0709-231-3210-7 (PARCEL A)

CURRENT ZONING: DR2 (DOWNTOWN RESIDENTIAL 2)

**TITLE COMMITMENT EXCEPTIONS:**  
 THE FOLLOWING WERE DISCLOSED AS EXCEPTIONS IN THE TITLE COMMITMENT ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY NATIONAL COMMERCIAL SERVICES, FILE NO. NCS-1195116-MAD WITH COMMITMENT DATE: OCTOBER 6, 2023 AT 7:30AM

ITEMS 1-3 AND 10-13 VISIBLE EVIDENCE SHOWN ON MAP, IF ANY.  
 ITEMS 4-9 AND 14-16 ARE NOT SURVEY RELATED AND THEREFORE ARE INTENTIONALLY OMITTED.

1. ANY FACTS, RIGHTS, INTERESTS, OR CLAIMS THAT ARE NOT SHOWN BY THE PUBLIC RECORDS BUT THAT COULD BE ASCERTAINED BY AN INSPECTION OF THE LAND OR BY MAKING INQUIRY OF PERSONS IN POSSESSION OF THE LAND.  
 2. EASEMENTS, CLAIMS OF EASEMENTS OR ENCUMBRANCES THAT ARE NOT SHOWN BY THE PUBLIC RECORDS.

3A) ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION, OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE INCLUDING DISCREPANCIES, CONFLICT IN BOUNDARY LINES, SHORTAGES IN AREA, OR ANY OTHER FACTS THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE SURVEY OF THE LAND, AND THAT ARE NOT SHOWN IN THE PUBLIC RECORDS.

10. PUBLIC OR PRIVATE RIGHTS IN SUCH PORTION OF THE SUBJECT PREMISES AS MAY BE PRESENTLY USED, LAID OUT OR DEDICATED IN ANY MATTER WHATSOEVER, FOR STREET, HIGHWAY, AND OR ALLEY PURPOSES.

11A) TERMS, CONDITIONS, RESTRICTIONS AND PROVISIONS RELATING TO THE USE AND MAINTENANCE OF THE DRIVEWAY ACCESS EASEMENT AS SET FORTH IN WARRANTY DEED RECORDED ON JULY 09, 1952 IN VOLUME 580, PAGE 548, AS DOCUMENT NO. 837301.

12. TERMS, CONDITIONS, RESTRICTIONS AND PROVISIONS RELATING TO THE USE AND MAINTENANCE OF THE AGREEMENT RECORDED ON NOVEMBER 04, 1964 IN VOLUME 417, PAGE 422, AS DOCUMENT NO. 111683.

13A) UTILITY EASEMENT TO MADISON GAS AND ELECTRIC COMPANY, A WISCONSIN CORPORATION, DATED AUGUST 07, 1989, RECORDED/FILED NOVEMBER 13, 1989 IN VOLUME 1337, PAGE 22 AS DOCUMENT NO. 217188.

**TITLE COMMITMENT (PARCEL B):**  
 ISSUING AGENT: FIRST AMERICAN TITLE INSURANCE COMPANY NATIONAL COMMERCIAL SERVICES  
 COMMITMENT NUMBER: NCS-1209225-MAD  
 COMMITMENT DATE: FEBRUARY 15, 2024 AT 7:30AM  
 PROPERTY ADDRESS: 521 AND 523 WEST MAIN STREET, MADISON, WI 53703  
 TITLE OFFICER: KEVIN NEUBERGER (608) 204-7409  
 ESCROW OFFICER: RACHEL SCHROEDER (608) 204-7409

**LEGAL DESCRIPTION (BASED ON TITLE COMMITMENT, THIS SHEET):**  
 THE SOUTHWEST 39.1 FEET OF LOT SIX (6), BLOCK THIRTY-ONE (31), ORIGINAL PLAT OF MADISON, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

PROPERTY ADDRESS: 521 AND 523 WEST MAIN STREET, MADISON, WI 53703

TAX KEY NUMBER: 251/0709-231-3211-5 (PARCEL B)

CURRENT ZONING: DR2 (DOWNTOWN RESIDENTIAL 2)

**TITLE COMMITMENT EXCEPTIONS:**  
 THE FOLLOWING WERE DISCLOSED AS EXCEPTIONS IN THE TITLE COMMITMENT ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY NATIONAL COMMERCIAL SERVICES, FILE NO. NCS-1209225-MAD WITH COMMITMENT DATE: FEBRUARY 15, 2024 AT 7:30AM

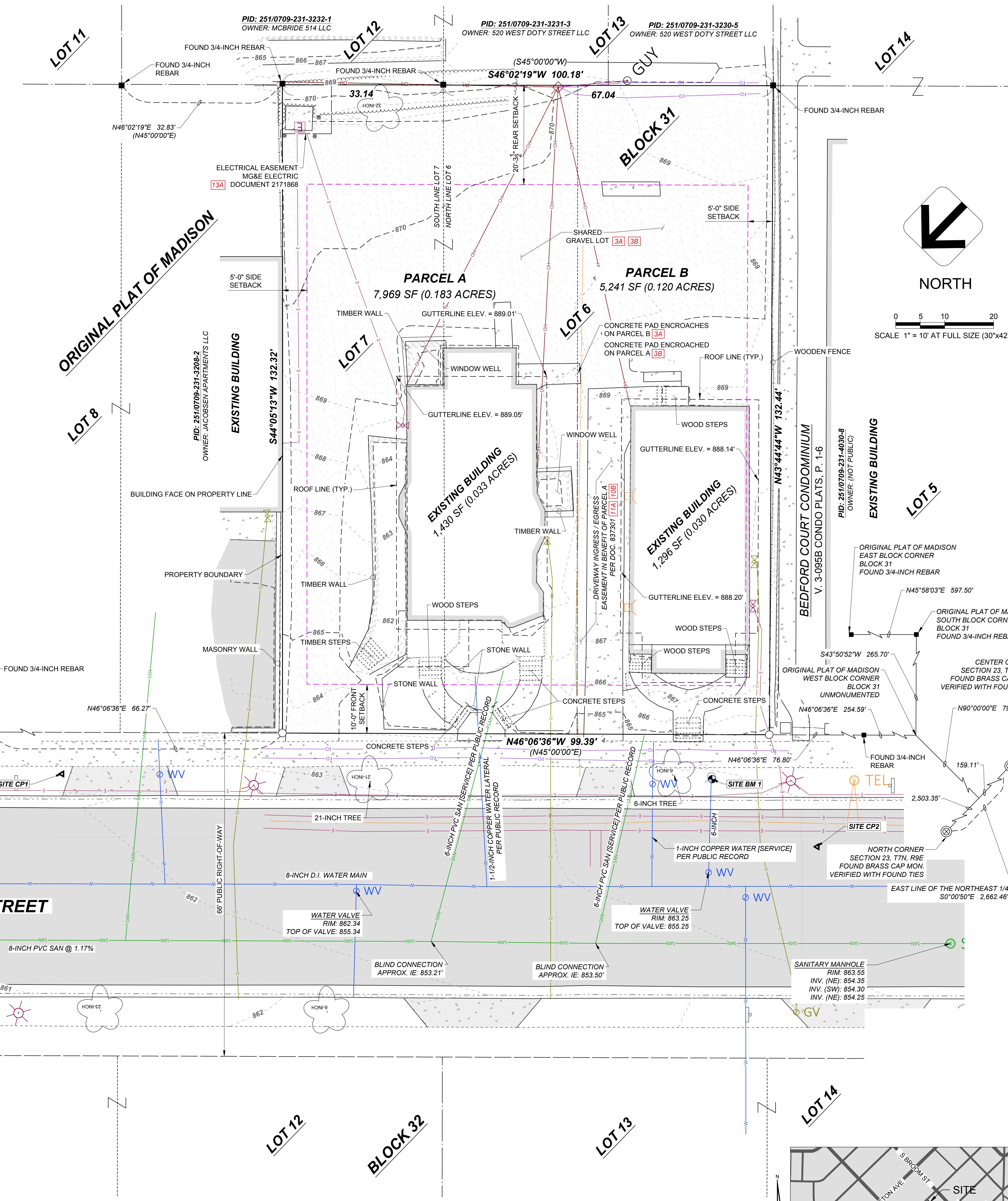
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 ITEMS 4-9 AND 14-16 ARE NOT SURVEY RELATED AND THEREFORE ARE INTENTIONALLY OMITTED.

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 2. EASEMENTS, CLAIMS OF EASEMENTS OR ENCUMBRANCES THAT ARE NOT SHOWN BY THE PUBLIC RECORDS.

3B) ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION, OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE INCLUDING DISCREPANCIES, CONFLICT IN BOUNDARY LINES, SHORTAGES IN AREA, OR ANY OTHER FACTS THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE SURVEY OF THE LAND, AND THAT ARE NOT SHOWN IN THE PUBLIC RECORDS.

9. RESERVATIONS FOR EASEMENTS, BUILDING SETBACK LINES AND OTHER MATTERS SHOWN ON THE RECORDED PLAT OR CERTIFIED SURVEY MAP OF THE SUBJECT PROPERTY REFERRED TO IN SCHEDULE A HEREIN.

10B) DRIVEWAY EASEMENT AND RESERVATION CONTAINED IN A DEED RECORDED JULY 9, 1952 IN VOLUME 580, PAGE 548 AS DOCUMENT NO. 837301.



CONTROL / BENCHMARK TABLE				
POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
SITE BM 1	480631.287	819539.892	865.37	S HYD BOLT
SITE BM 2 *NE	480796.048	819710.353	862.82	S HYD BOLT
SITE BM 3 *SW	480404.100	819305.913	865.31	E HYD BOLT
SITE CP1	480722.850	819635.987	--	CAPPED REB
SITE CP2	480641.488	819552.208	--	CAPPED REB
SITE CP3 *SW	480502.067	819335.707	--	CAPPED REB

(CONTROL POINTS AND BENCHMARKS WITH \* ARE NOT SHOWN ON THIS SHEET, LOCATION FROM SITE SHOWN IN [D])

LEGEND	
MH	GENERAL UTILITY MANHOLE
SAN	SANITARY MANHOLE
SS	STORM MANHOLE
TEL	TELEPHONE MANHOLE
SI	STORM INLET
FH	FIRE HYDRANT
WV	WATER VALVE
GV	GAS VALVE
GM	GAS METER
EM	ELECTRIC METER
EV	ELECTRIC VAULT
EX. ASPHALT	EXISTING ASPHALT
CONCRETE DRIVEWAY	CONCRETE DRIVEWAY
GRAVEL SURFACE	GRAVEL SURFACE
EXISTING ROAD RIGHT-OF-WAY	EXISTING ROAD RIGHT-OF-WAY
SUBJECT PROPERTY BOUNDARY	SUBJECT PROPERTY BOUNDARY
PROPERTY LINE	PROPERTY LINE
INTERIOR LOT LINE	INTERIOR LOT LINE
SECTION QUARTER LINE	SECTION QUARTER LINE
SECTION LINE	SECTION LINE
EASEMENT LINE	EASEMENT LINE
EXISTING MAJOR CONTOUR	EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR	EXISTING MINOR CONTOUR
TREELINE	TREELINE
EXISTING OVERHEAD UTILITY	EXISTING OVERHEAD UTILITY
EXISTING UNDERGROUND COMMUNICATIONS	EXISTING UNDERGROUND COMMUNICATIONS
EXISTING UNDERGROUND FIBER OPTIC	EXISTING UNDERGROUND FIBER OPTIC
EXISTING UNDERGROUND ELECTRIC	EXISTING UNDERGROUND ELECTRIC
EXISTING UNDERGROUND SANITARY SEWER	EXISTING UNDERGROUND SANITARY SEWER
EXISTING UNDERGROUND STORM SEWER	EXISTING UNDERGROUND STORM SEWER
EXISTING UNDERGROUND GAS	EXISTING UNDERGROUND GAS
EXISTING UNDERGROUND TELEPHONE	EXISTING UNDERGROUND TELEPHONE
EXISTING WATERMAIN	EXISTING WATERMAIN

#### DIGGERS HOTLINE TICKET NUMBERS:

20234012777 - MARKING LOCATE

2023406480 - PLANNING/PRINT LOCATE

#### UTILITIES NOTIFIED:

TELEPHONE / INTERNET / FIBER OPTIC - AT&T DISTRIBUTION [SBC01]

TELEPHONE / INTERNET / FIBER OPTIC - CHARTER COMMUNICATIONS [CHC01]

TELEPHONE / INTERNET / FIBER OPTIC - TDS METROCOM [TDM01]

TELEPHONE / INTERNET / FIBER OPTIC - US SIGNAL [USA01]

TELEPHONE / INTERNET / FIBER OPTIC - VERIZON WIRELESS [WEW01]

FIBER OPTIC - MCI [MC01]

STORM / SANITARY / WATER - CITY OF MADISON ENGINEERING [MAD01]

GAS / ELECTRIC - MADISON GAS & ELECTRIC CO [MGE01]

MISC - WI DEPT OF ADMIN-DIV OF ENTERPRISE TECHNOLOGY [WET01]

NOTES:

BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY ZONE - NAD83 (2011), WITH THE WEST LINE OF THE

NORTHEAST 1/4 OF SECTION 23 MEASURED TO BEAR S00'00"50'E

#### SURVEYOR'S CERTIFICATE:

To:

i) Villarez Enterprises, a partnership of Victor E. Villarez, Jose A. Villarez and Steven G. Villarez  
 ii) The Neutral Project, LLC, a Wisconsin Limited Liability Company  
 iii) First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS and includes Items 2, 4, 7(a), and 11(b) of Schedule A thereof. The field work was completed August 2, 4 & 7, 2023.

Dated this 4th day of April, 2024.

James Cappert, S-3044  
 Professional Land Surveyor  
 JamesC@JT-Engineering.com  
 (608) 204-0909



THE NEUTRAL PROJECT

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EMAIL: dbhms@bhms.com

MERS DESIGN/BUILD

CONTACT: DAVE JONES

ADDRESS: 2225 Keweenaw Rd

Madison, WI 53711

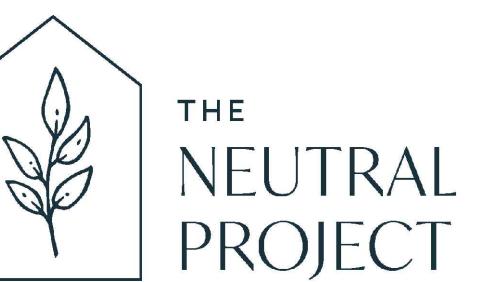
TEL: (608) 231-3505

**DEMOLITION NOTES:**

- SEE ALTA/NSPS TITLE SURVEY, SHEET 1 OF 1 FOR ADDITIONAL NOTES, DETAILS, AND LEGENDS.
- UTILITIES ARE SHOWN AS SURVEYED PER MARKINGS FROM DIGGERS HOTLINE TICKETS 20234012777 & 20234506480. SOME UTILITIES WERE NOT MARKED BUT ARE AS SHOWN BASED ON RECORD DRAWINGS. JT ENGINEERING DOES NOT WARRANT THE ACCURACIES OR LOCATIONS OF ANY UTILITIES AS SHOWN ON THIS PLAN. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING DIGGERS HOTLINE BY CALLING 811 OR MAKING AN ONLINE REQUEST AT LEAST 3 BUSINESS DAYS PRIOR TO ANY LAND DISTURBING ACTIVITY. IF MARKS PROVIDED FOR UTILITIES CANNOT BE MAINTAINED FOR THE DURATION OF THE PROJECT, THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE AND REQUEST A RELOCATE.
- THE CONTRACTOR SHALL INSTALL ALL NECESSARY EROSION CONTROL DEVICES PRIOR TO BEGINNING DEMOLITION WORK. THE EROSION CONTROL PLAN CAN BE FOUND ON SHEET C400 OF THIS PLAN. AS SEDIMENT BUILDS UP IN OR AROUND EROSION CONTROL DEVICES, THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SEDIMENT AND REPLACING ANY ERODED SOILS.
- THE CONTRACTOR SHALL KEEP ALL PUBLIC STREETS CLEAR OF DEMOLITION AND CONSTRUCTION RELATED DIRT/DEBRIS.
- ALL DEBRIS FROM CONCRETE AND ASPHALT DEMOLITION SHALL BE TAKEN OFF SITE AND DISPOSED OF PROPERLY. ALL STRUCTURE REMOVALS MUST FOLLOW REMODELING PROJECT RECYCLING GUIDELINES FOR THE CITY OF MADISON, WHICH INCLUDES RECYCLING OF THE FOLLOWING MATERIALS:
  - CLEAN WOOD
  - CLEAN DRYWALL
  - SHINGLES
  - CORRUGATED CARDBOARD
  - METAL

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FILE A REUSE AND RECYCLING PLAN WITH THE CITY OF MADISON RECYCLING COORDINATOR, CONTACT (608) 267-2626 OR EMAIL [STREETS@CITYOFMADISON.COM](mailto:STREETS@CITYOFMADISON.COM) FOR ADDITIONAL DETAILS.

- THE CONTRACTOR SHALL SUPPLY AND BE RESPONSIBLE FOR MAINTAINING ANY AND ALL TRAFFIC CONTROL DEVICES REQUIRED FOR DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
- ANY DAMAGE TO PROPERTY AND/OR UTILITIES OUTSIDE OF THE PROPERTY BOUNDARY DURING DEMOLITION AND CONSTRUCTION OPERATIONS WILL REQUIRE RESTORATION TO PRE-CONSTRUCTION CONDITIONS. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL COSTS ASSOCIATED WITH THESE RESTORATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE MOVEMENT OF ANY UTILITY REQUIRED TO COMPLETE CONSTRUCTION.
- UTILITY RELOCATION COORDINATION WILL BEGIN FOLLOWING APPROVAL OF THE CONDITIONAL APPROVAL BY THE CITY OF MADISON PLAN COMMISSION AND PUBLIC WORKS DEPARTMENT.



THE  
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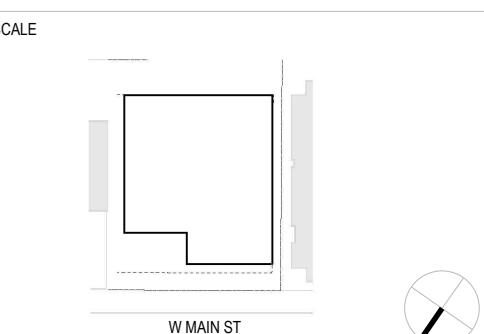
CIVIL ENGINEER  
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**GENERAL NOTES**

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**KEY PLAN**



**FOR REFERENCE ONLY**

**NOT FOR CONSTRUCTION**

ISSUANCES / REVISIONS	REV.	DATE	REASON FOR REVISION	CHK

SEAL

**PROJECT**  
**519-521 W MAIN ST**  
519-521 W MAIN ST  
MADISON, WI

**SHEET NAME**  
**DEMOLITION PLAN - SITE**

**C002**

**DRAWN BY**  
**SMR**

**REVIEWED BY**  
**DAD**

**APPROVED BY**  
**DAD**

**DRAWING SCALE**  
**1" = 10' AT FULL SIZE (30" x 42")**

**PAGE FORMAT**  
**ARCH E1 (30" x 42")**

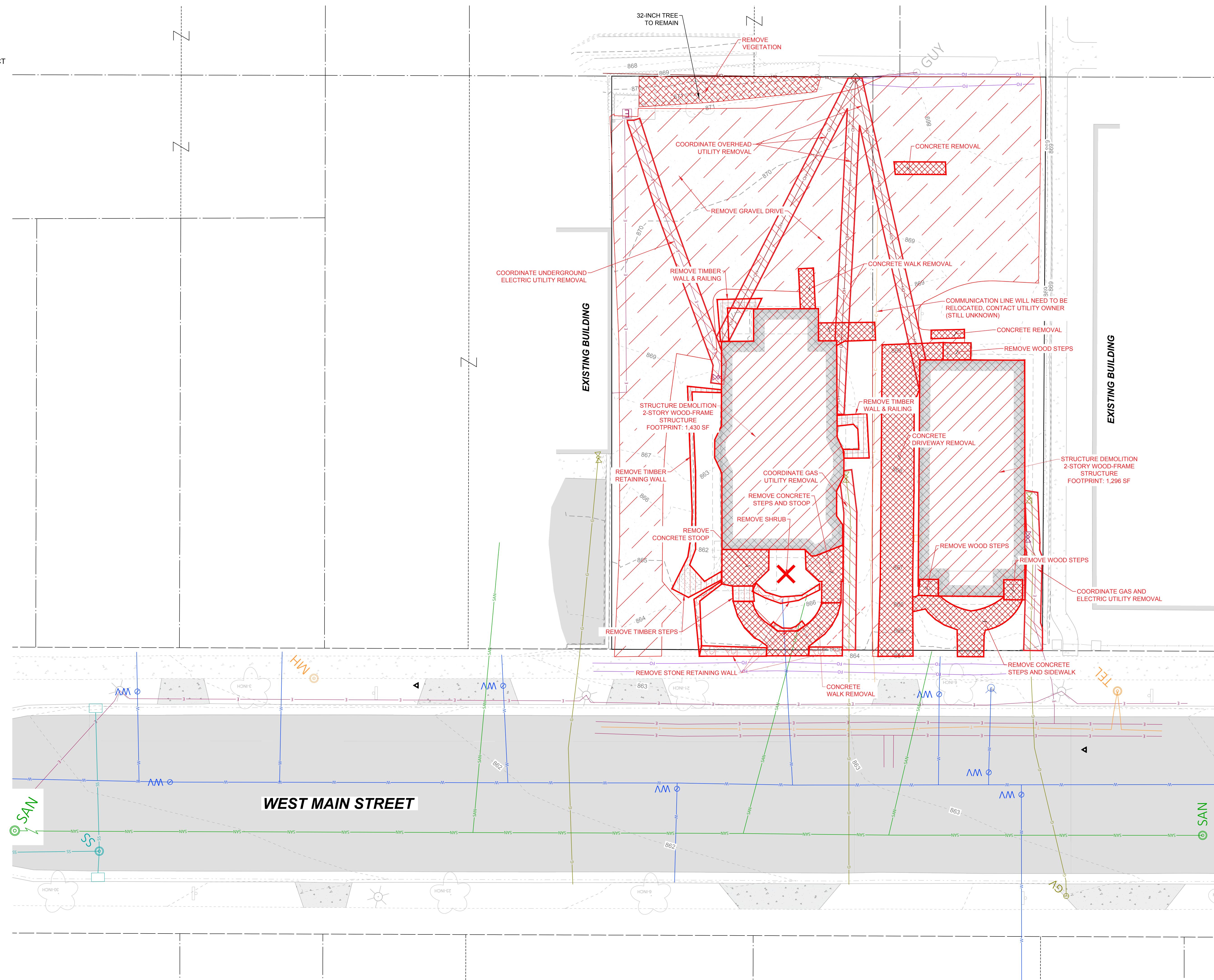
**SEE SHEET**

**PROJECT NO.**  
**V301**

**REVISION**

**REVISION DATE**

**04/04/2024**



**3/22/2024 9:38:59 AM**







THE  
NEUTRAL  
PROJECT

OWNER/DEVELOPER  
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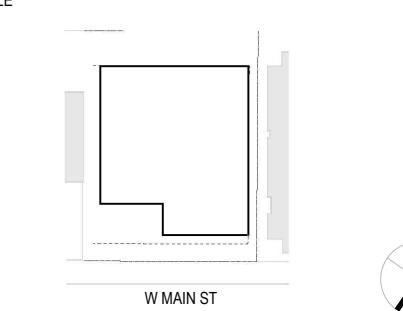
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KEY PLAN



FOR REFERENCE  
ONLY

NOT FOR  
CONSTRUCTION

ISSUANCES / REVISIONS

REV.	DATE	REASON FOR REVISION	CHK

SEAL

PROJECT  
**519-521 W MAIN ST**  
519-521 W MAIN ST  
MADISON, WI

SHEET NAME

SITE PLAN - LAYOUT

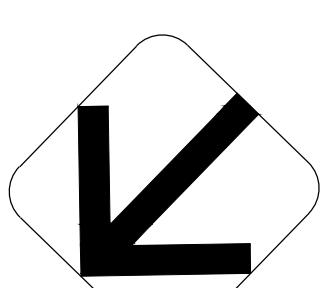
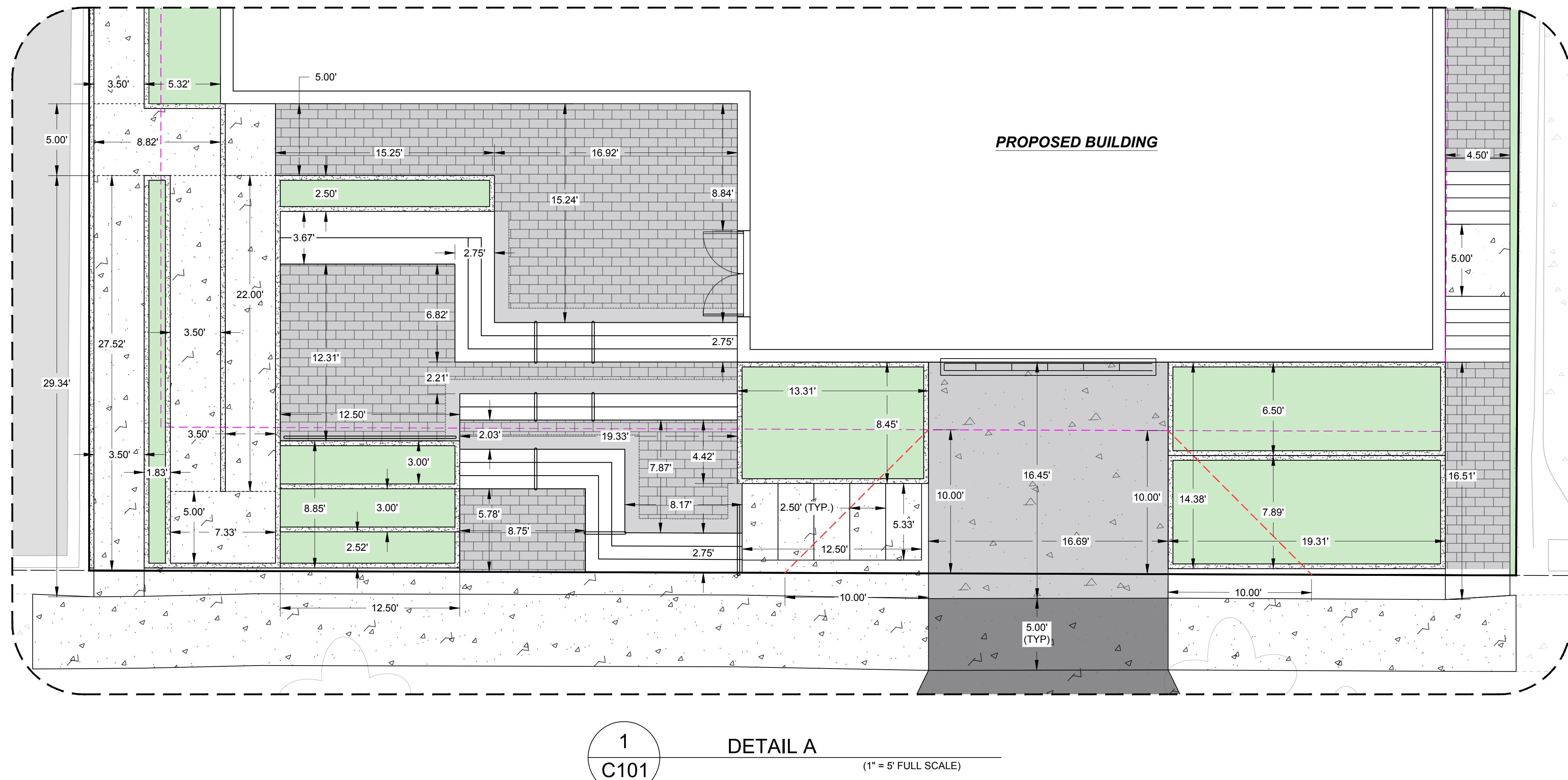
**C101**

DRAWN BY  
**SMR** REVIEWED BY  
**DAD** APPROVED BY  
**DAD**

DRAWING SCALE  
PAGE FORMAT

SEE SHEET  
ARCH E1 (30" x 42")

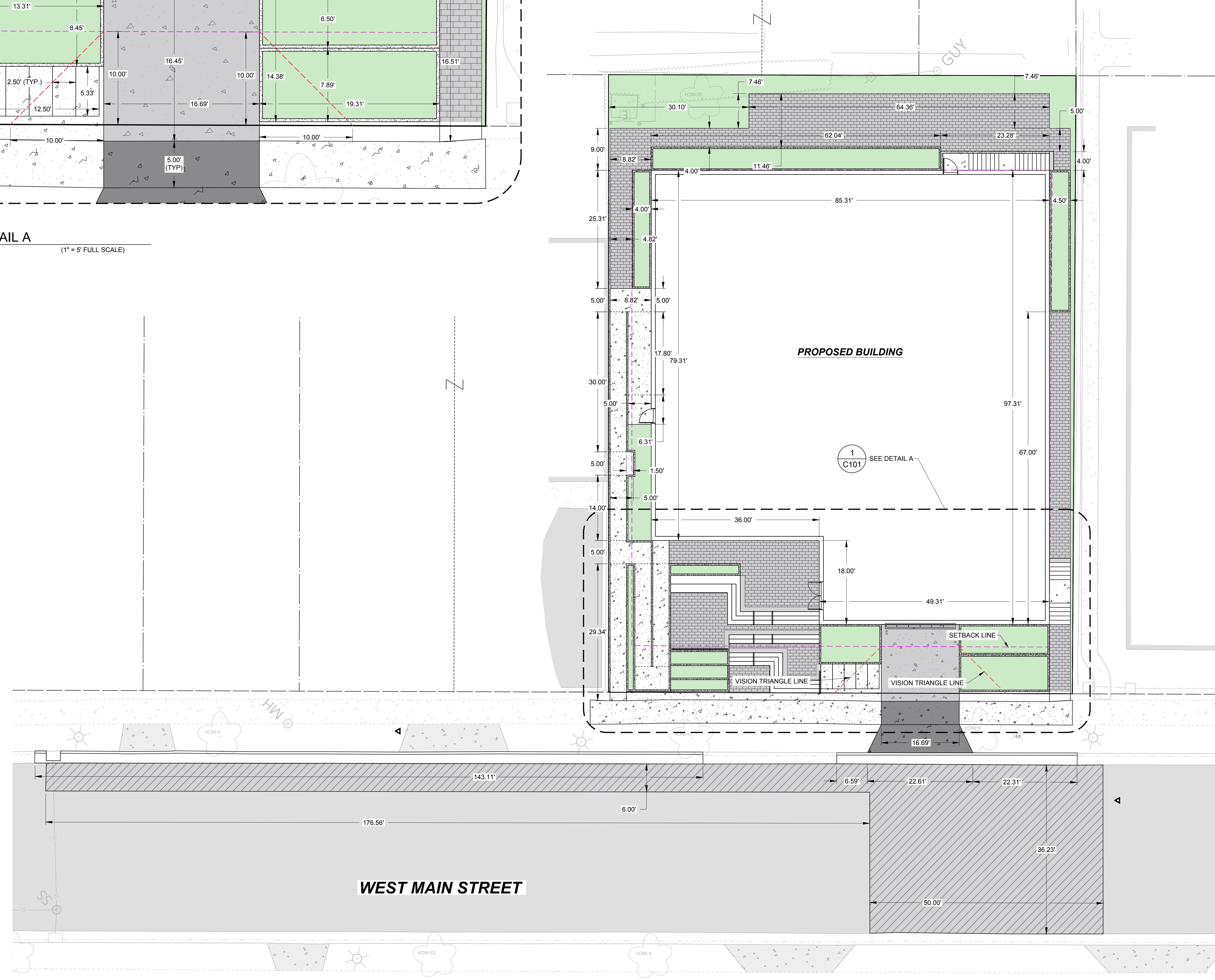
PROJECT NO.  
**V301** REVISION  
REVISION DATE  
04/04/2024



NORTH

0 5 10 20

SCALE 1" = 10' AT FULL SIZE (30" x 42")



FIRE ACCESS PLAN NOTES:

1. INTERIOR LOT LINES WITHIN THE PROPERTY HAVE BEEN TURNED OFF FOR CLARITY.
2. REFER TO THE EXISTING CONDITIONS PLAN (SHEET C001) FOR ADDITIONAL NOTES AND LEGENDS.
3. TREE OBSTRUCTS AERIAL APPARATUS FIRE LANE. TREE HEIGHT GREATER THAN 20'.



THE  
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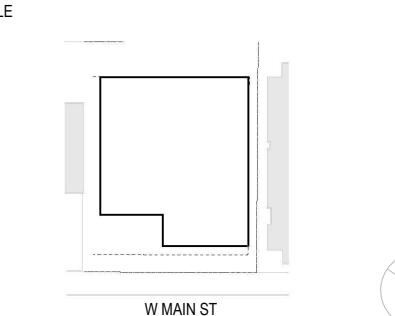
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KEY PLAN



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ONLY

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CONSTRUCTION

ISSUANCES / REVISIONS	REV.	DATE	REASON FOR REVISION	CHK
SEAL				

PROJECT  
519-521 W MAIN ST  
519-521 W MAIN ST  
MADISON, WI

HEET NAME  
FIRE ACCESS PLAN

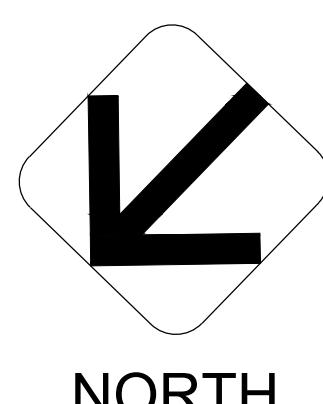
C110

DRAWN BY  
SMR  
DRAWING SCALE  
SEE SHEET

REVIEWED BY  
DAD  
PAGE FORMAT  
ARCH E1 (30" X 42")

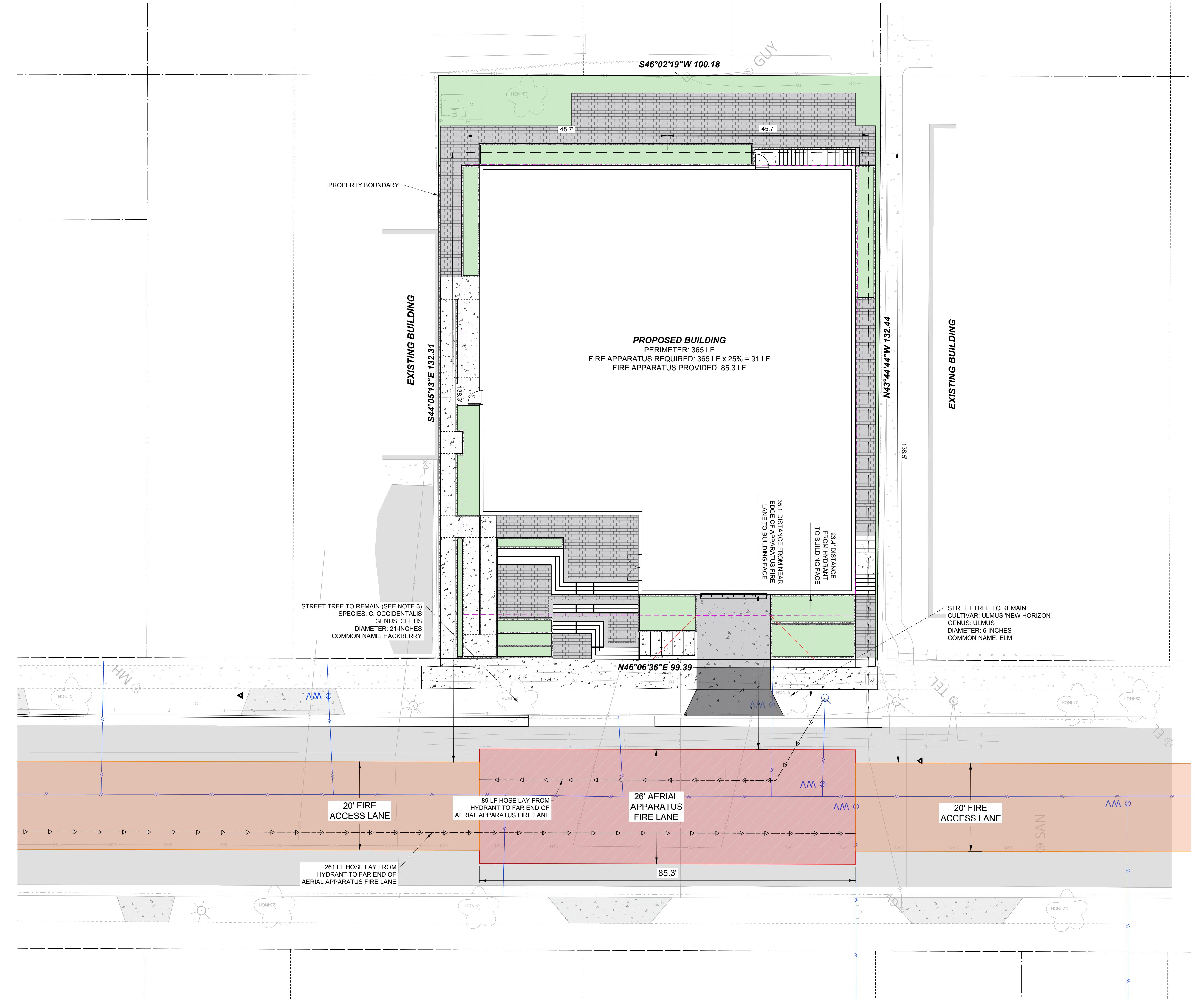
APPROVED BY  
DAD  
PAGE FORMAT  
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PROJECT NO. V301  
REVISION NO. Current Revision  
REVISION DATE 04/04/2024



NORTH

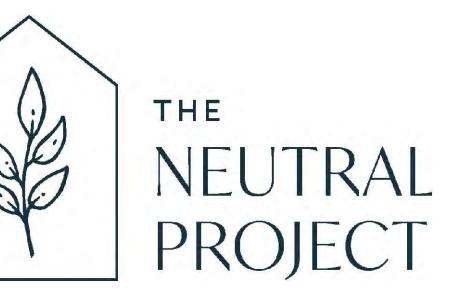
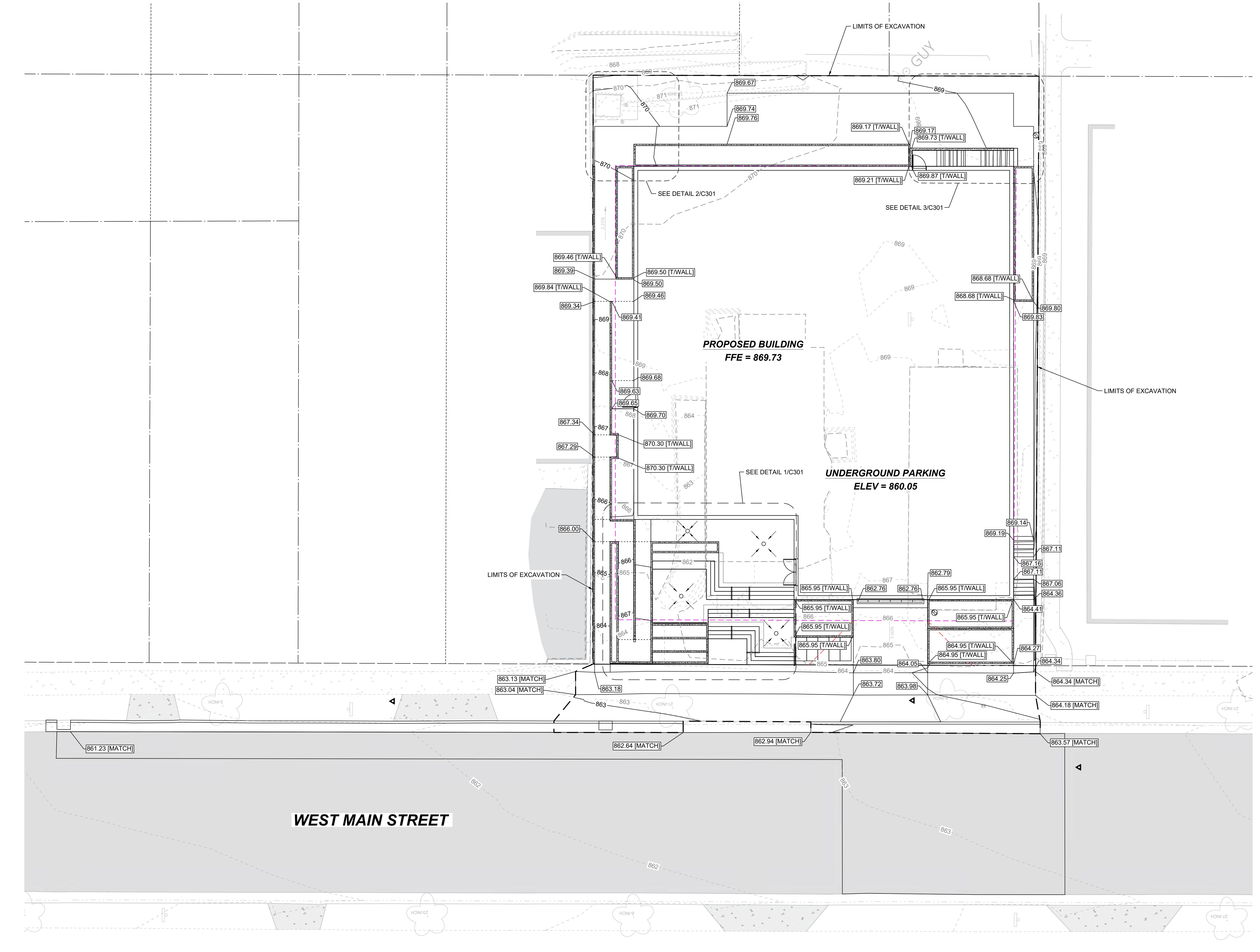
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SCALE 1" = 10' AT FULL SIZE (22"x34")  
SCALE 1" = 20' AT HALF SIZE (11"x17")





## GRADING PLAN NOTES:

1. THIS GRADING PLAN IS PRELIMINARY FOR BIDDING ONLY.
2. INTERIOR LOT LINES WITHIN THE PROPERTY HAVE BEEN TURNED OFF FOR CLARITY.
3. ALL CONSTRUCTION AND SITE WORK MUST BE PERFORMED TO THE CITY OF MADISON ORDINANCES AND SPECIFICATIONS.
4. A STORMWATER MANAGEMENT PLAN (SWMP) SHALL BE DEVELOPED FOR THE PROPERTY BY JT ENGINEERING. NO BUILDING PERMIT SHALL BE ISSUED WITHOUT ACKNOWLEDGING THE PLAN AND ADHERING TO IT. THE OWNER MUST SIGN AND RECORD THE MAINTENANCE AGREEMENT PRIOR TO THE START OF CONSTRUCTION.
5. CONSTRUCTION WITHIN THE ROAD RIGHT-OF-WAY, AND ANY CONSTRUCTION IMPACTING PUBLIC UTILITIES SHALL CONFORM TO CONSTRUCTION STANDARDS OF THE CITY AS WELL AS ANY APPLICABLE STATE CODES AND STANDARDS.
6. FINAL ELEVATIONS OF MANHOLES, RIMS, CLEANOUTS AND VALVES SHALL BE ADJUSTED TO MATCH THE SURROUNDING GROUND.
7. SPOT ELEVATIONS FOR CURB AND GUTTER ARE MEASURED TO THE CURB FLAG LINE UNLESS OTHERWISE NOTED.



THE  
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PROJECT

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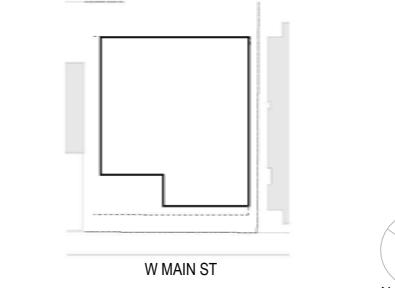
GEOTECHNICAL CONSULTANT  
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KEY PLAN



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ISSUANCES / REVISIONS	REV.	DATE	REASON FOR REVISION	CHK
SEAL				

PROJECT  
519-521 W MAIN ST  
519-521 W MAIN ST  
MADISON, WI

HEET NAME  
GRADING PLAN

C300

DRAWN BY  
SMR

REVIEWED BY  
DAD

APPROVED BY  
DAD

DRAWING SCALE  
E1 (30' x 42')

PAGE FORMAT  
ARCH E1 (30' x 42')

SEE SHEET

PROJECT NO.  
V301

REVISION  
Current Revision

REVISION DATE  
04/04/2024





THE  
NEUTRAL  
PROJECT

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GENERAL NOTES

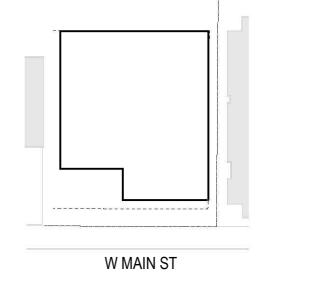
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KEY PLAN

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ISSUANCES / REVISIONS

REV.	DATE	REASON FOR REVISION	CHK

SEAL

PROJECT  
519-521 W MAIN ST  
519-521 W MAIN ST  
MADISON, WI

SHEET NAME  
EROSION CONTROL PLAN

C400

DRAWN BY  
SMR  
DRAWING SCALE  
SEE SHEET  
PROJECT NO. V301

REVIEWED BY  
DAD  
PAGE FORMAT  
ARCH E1 (30" x 42")

APPROVED BY  
DAD  
PAGE FORMAT  
ARCH E1 (30" x 42")

STANDARD EROSION CONTROL PROVISIONS

1. REFER TO WDNR'S STORMWATER WEB PAGE OF TECHNICAL STANDARDS @  
[https://dnr.wi.gov/topic/stormwater/standards/const\\_standards.html](https://dnr.wi.gov/topic/stormwater/standards/const_standards.html)

2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE WDNR'S STORMWATER WEB PAGE OF TECHNICAL STANDARDS @ [https://dnr.wi.gov/topic/stormwater/standards/const\\_standards.html](https://dnr.wi.gov/topic/stormwater/standards/const_standards.html)

4. INSTALL SEDIMENT CONTROL MEASURES PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. ADJUST ALL SEDIMENT CONTROL MEASURES TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION.

5. PROVIDE WEEKLY INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. MAINTAIN DOCUMENTATION OF INSPECTIONS PER THE PROJECT'S SPECIAL PROVISIONS. SEDIMENT CONTROL MEASURES ARE TO BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY. THE CONTRACTOR SHALL KEEP COMPLETED INSPECTION FORMS ON SITE.

6. IN ADDITION TO WEEKLY INSPECTIONS, INSPECT SEDIMENT CONTROL STRUCTURES FOR INTEGRITY AFTER ANY RAINFALL OF 1/2" OR GREATER AND CORRECT ANY DAMAGED STRUCTURES.

7. DO NOT REMOVE SEDIMENT CONTROL MEASURES UNTIL 60 DAYS AFTER FINAL SITE STABILIZATION HAS OCCURRED.

8. COLLECT TRACKED SOIL FROM PAVED ROADS LOCATED NEAR THE CONSTRUCTION SITE. ALL STREETS SHALL BE SWEEPED AND CLEARED OF ALL DIRT AND DEBRIS ON A DAILY BASIS.

9. DISCHARGE ALL TRENCH WATER INTO A SETTLING BASIN OR FILTERING DEVICE PRIOR TO RELEASE INTO STORM SEWER OR STREAM.

10. PROTECT STORM SEWER SECTION BASINS FROM RUN-OFF WITH FABRIC PER WDNR TECH STD 1060.

11. PREVENT OVERLAND FLOW FROM LEAVING THE WORK SITE BY INSTALLING STRAW BALES OR SILT FENCE PARALLEL TO THE CONTOURS LOCATED DOWNSHILL FROM THE WORK AREA.

13. APPLY TEMPORARY SEED IN AREAS WHERE LAND-DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD OF 30-DAYS AND REQUIRES VEGETATIVE COVER FOR LESS THAN A YEAR. PERMANENT SEEDING AND STABILIZATION SHOULD BE APPLIED WITHIN A WEEK OF FINAL GRADE BEING ESTABLISHED.

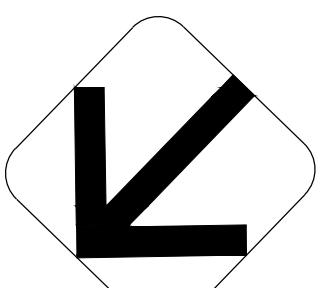
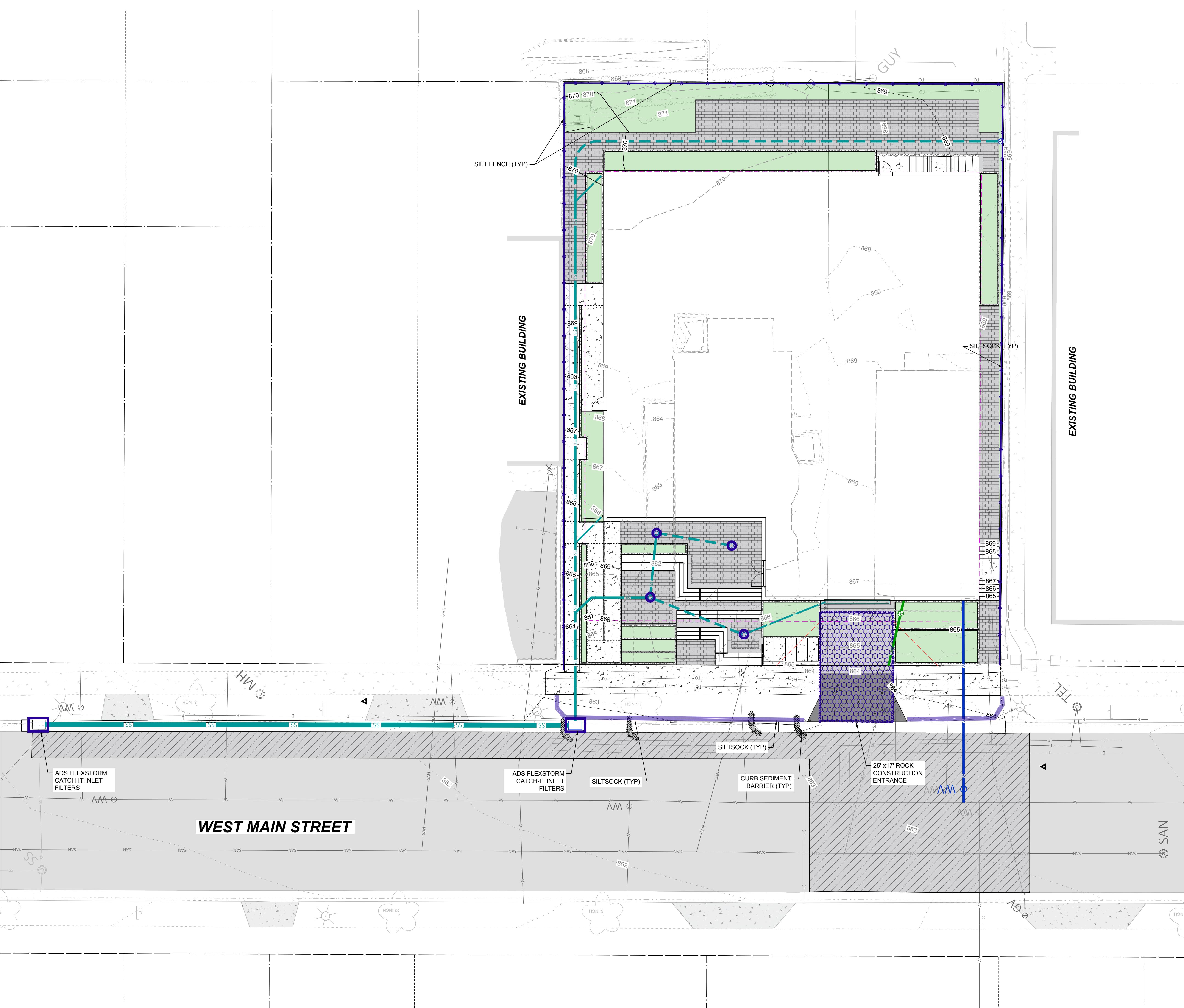
14. CONSTRUCTION SHALL BE SUSPENDED DURING PERIODS OF RAINFALL OR SNOWMELT. CONSTRUCTION SHOULD ALSO BE SUSPENDED IF PONDED WATER IS PRESENT, OR THERE IS POTENTIAL FOR SOIL SMEARING, CLUMPING, OR OTHER FORMS OF COMPACTION.

15. ALL LAND DISTURBANCE AND STABILIZATION FOR THIS PROJECT WILL OCCUR BETWEEN APRIL 15TH AND SEPTEMBER 15TH. WARM SEASON SEEDING CAN BE USED DURING THIS TIME FRAME. SHOULD SEEDING NEED TO BE COMPLETED AFTER NOVEMBER 15TH, A DORMANT SEED MUST BE USED. ALL SEEDING APPLICATION SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD 1059. USE WISDOT SEEDING MIXTURE NO. 30 UNLESS OTHERWISE NOTED AND APPLY AT A RATE OF 2 LBS PER 1000 SQ. FT.

16. SOIL TESTING SHALL BE USED TO DETERMINE PROPER APPLICATIONS FOR NUTRIENTS AND LIMING. FERTILIZER APPLICATION SHALL CONFORM TO THE CRITERIA LOCATED IN THE NRCS CONSERVATION PRACTICE STANDARD, CRITICAL AREA PLANTING (342) OR WDNR TECHNICAL STANDARD SEEDING FOR CONSTRUCTION SITE EROSION CONTROL (1059).

17. ANY CHANGES TO THIS EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED THROUGH THE PROJECT ENGINEER AND CITY.

18. TOPSOIL AREAS DISTURBED WITH THIS PROJECT THAT WILL NOT BE STABILIZED WITH EROSION MATTING SHALL BE MULCHED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD MULCHING FOR CONSTRUCTION SITES (1058).



NORTH

0 5 10 20

SCALE 1" = 10' AT FULL SIZE (30" x 42")



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PROJECT

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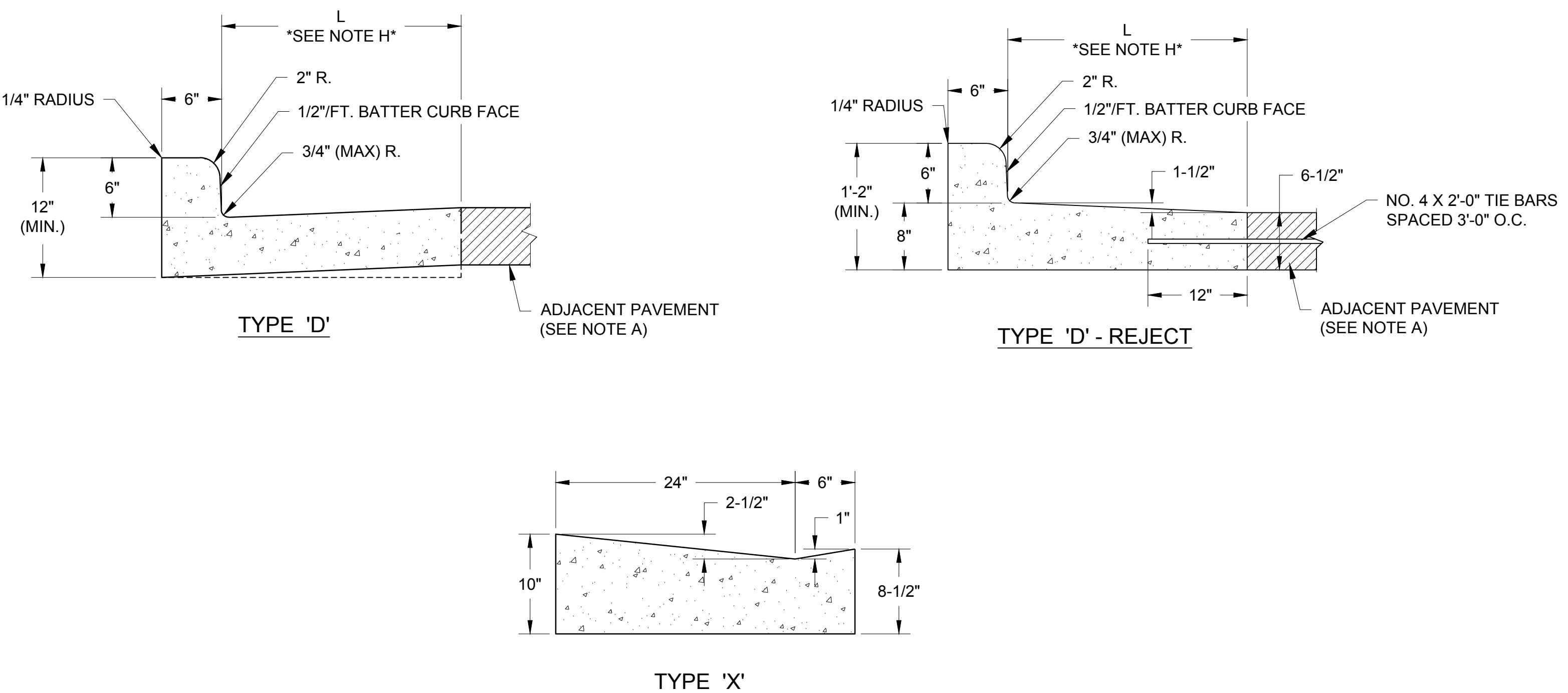
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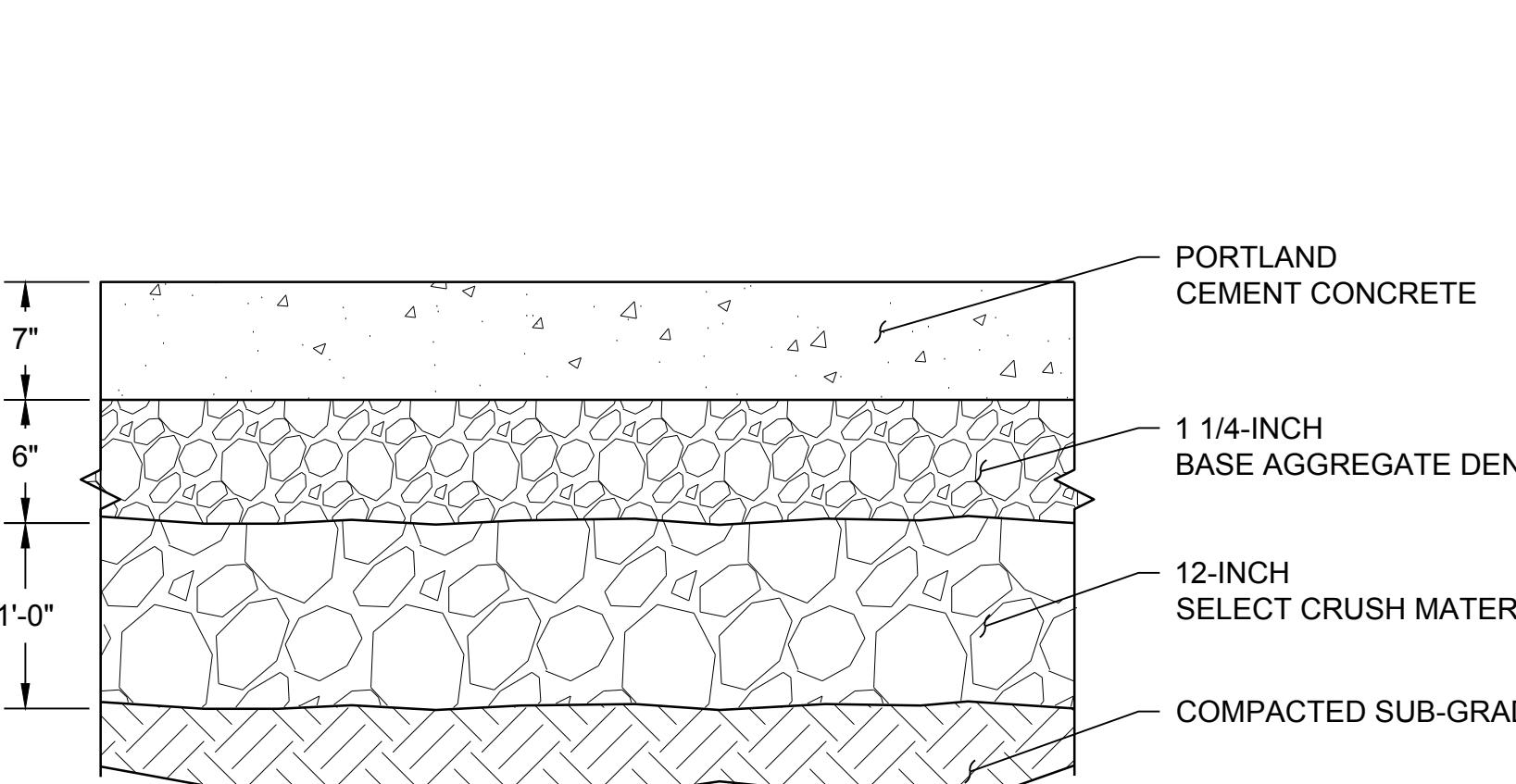
GEOTECHNICAL CONSULTANT  
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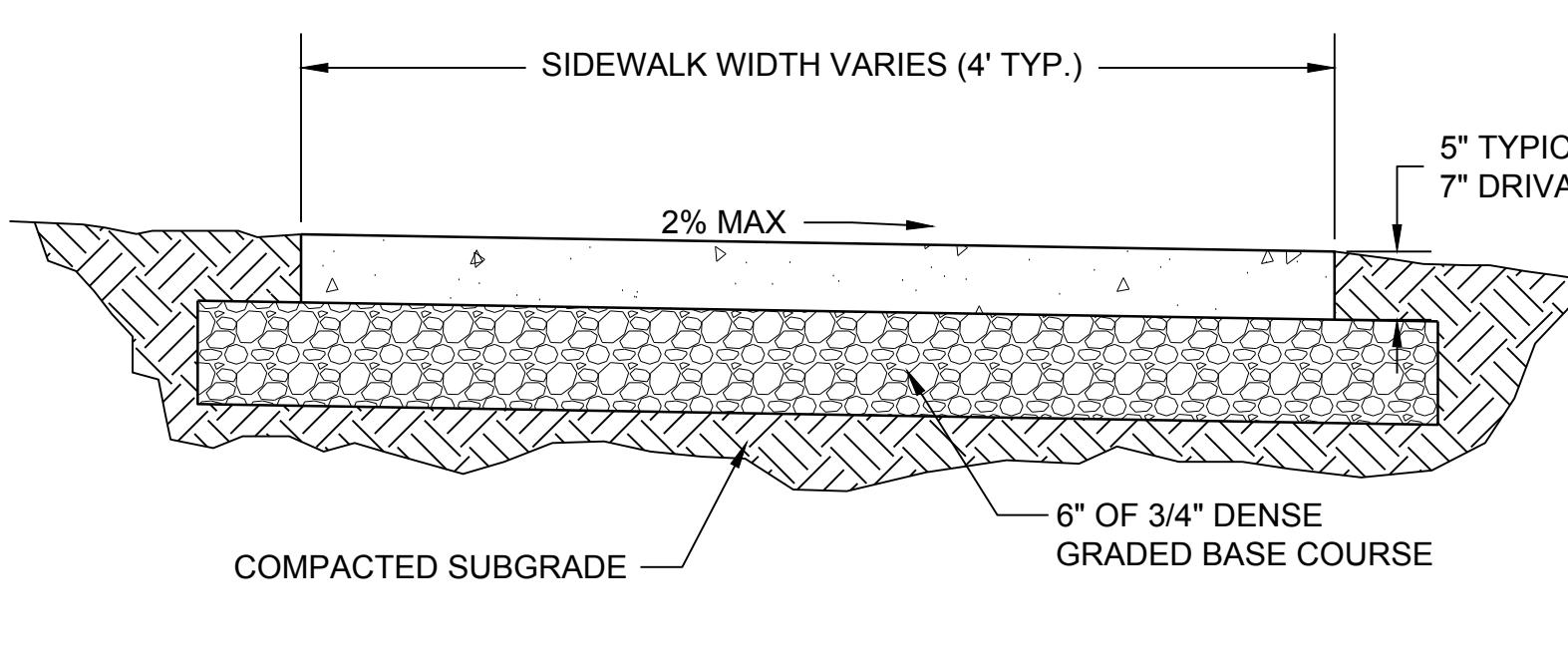


GENERAL NOTES:  
A. LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3' IN LENGTH.  
B. EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS OF 200' OR LESS, AT ANGLE POINTS, 3' FROM OUTSIDE EDGE OF STORM SEWER INLETS OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS A CURB AND GUTTER AT THAT STATION AND BE 1/2" THICK.  
C. IN ALL CASES, CONCRETE CURB AND GUTTER SHALL BE PLACED ON THOROUGHLY COMPAKTED CRUSHED STONE OF AT LEAST 6" IN DEPTH.  
D. NO DOWELS SHALL BE PLACED BETWEEN THE BACK OF CURB AND ABUTTING CONCRETE PAVEMENT/SIDEWALKS.  
E. CURB SHALL BE BACKFILLED AFTER ACHIEVING REQUIRED STRENGTH AND BEFORE PLACING ABUTTING PAVEMENT OR BASE COURSE.  
F. NO EXPANSION JOINTS ARE TO BE USED FOR CURB AND GUTTER REPLACEMENT.  
G. USE 4% GUTTER CROSS SLOPE UNLESS OTHERWISE NOTED IN THE PLANS.  
H. 18-INCH CURB AND GUTTER: L = 1'-0"  
30-INCH CURB AND GUTTER: L = 2'-0"  
CURB TYPE AS LISTED IN THE PLANS

### 1 C500 CONCRETE CURB AND GUTTER (NTS)



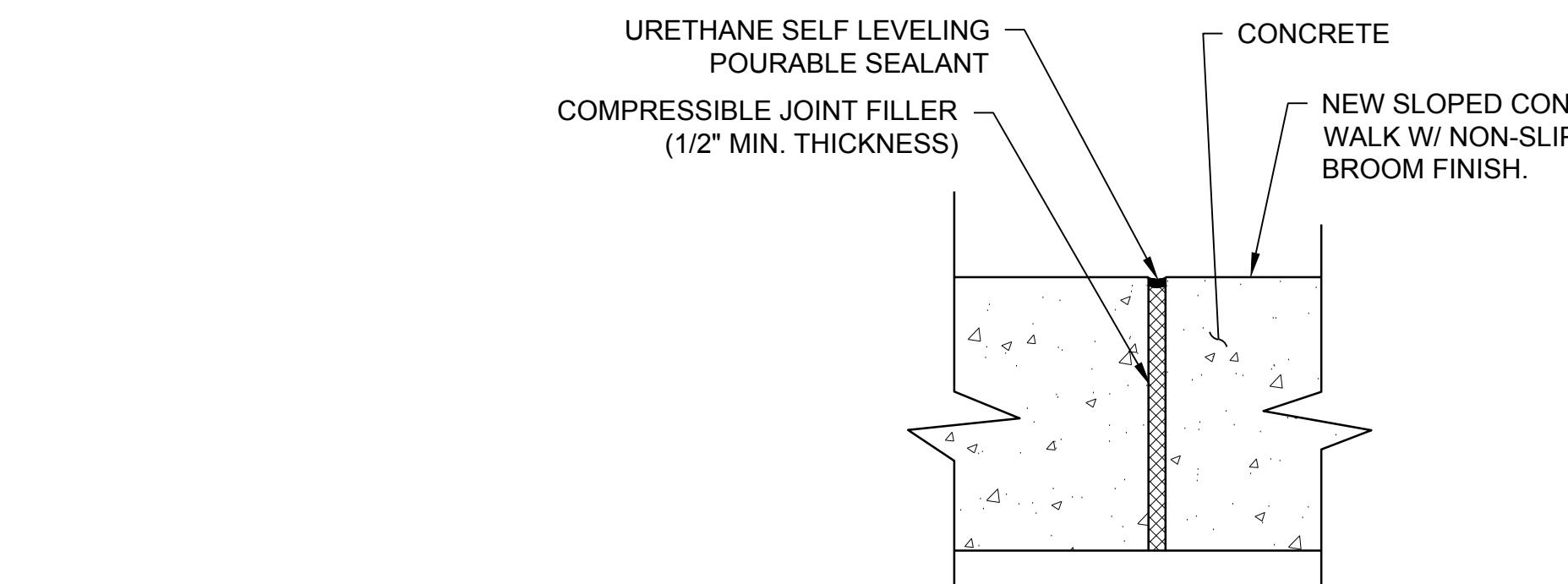
### 2 C500 CONCRETE PAVEMENT CROSS SECTION (NTS)



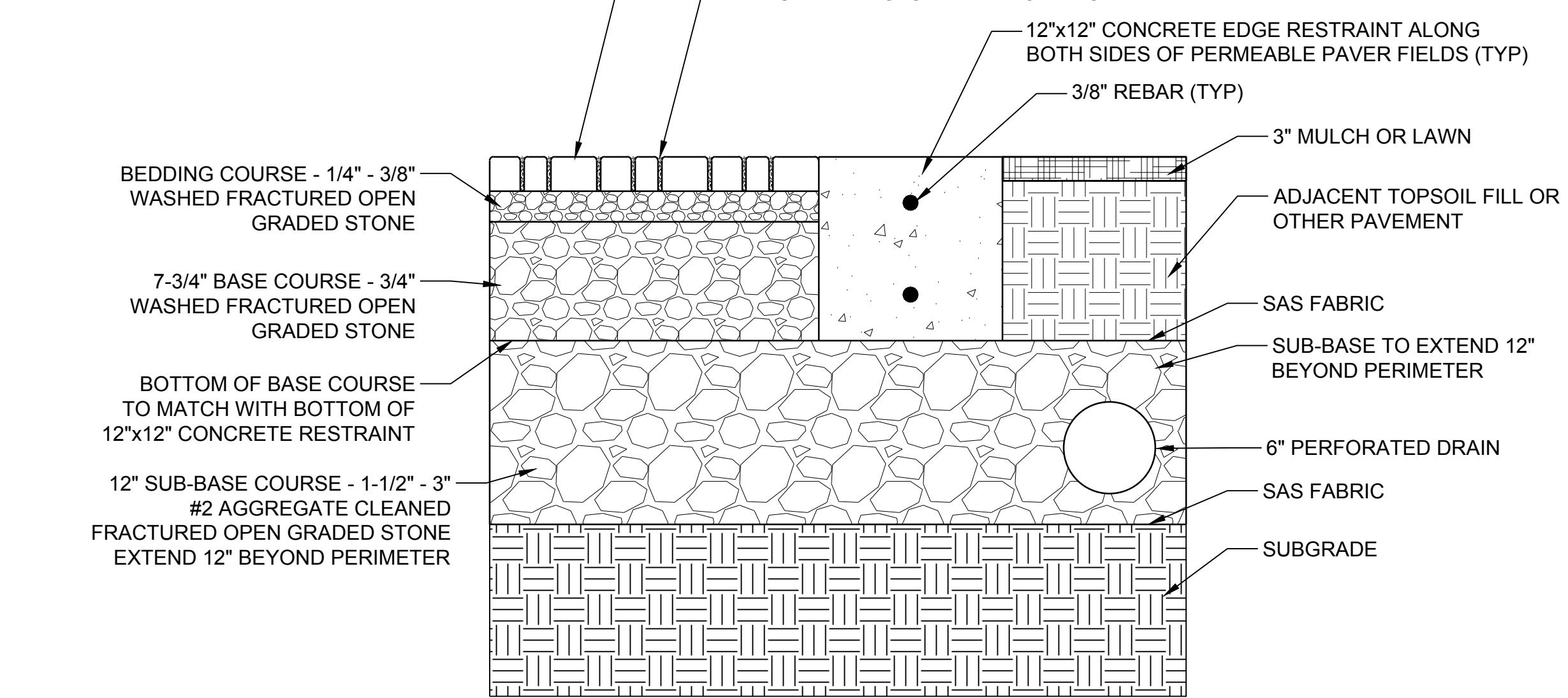
#### TYPICAL SECTION

NOTES  
1. PROVIDE EXPANSION JOINT EVERY 30' MINIMUM (SEE DETAIL 4/C500).  
2. TOOL CONTROL JOINTS  
3. WHERE SIDEWALK IS PLACED AGAINST THE BUILDING AND/OR BUILDING FOUNDATION, INSTALL PREFORMED FILLER AND SEAL WITH POURABLE SEALANT.

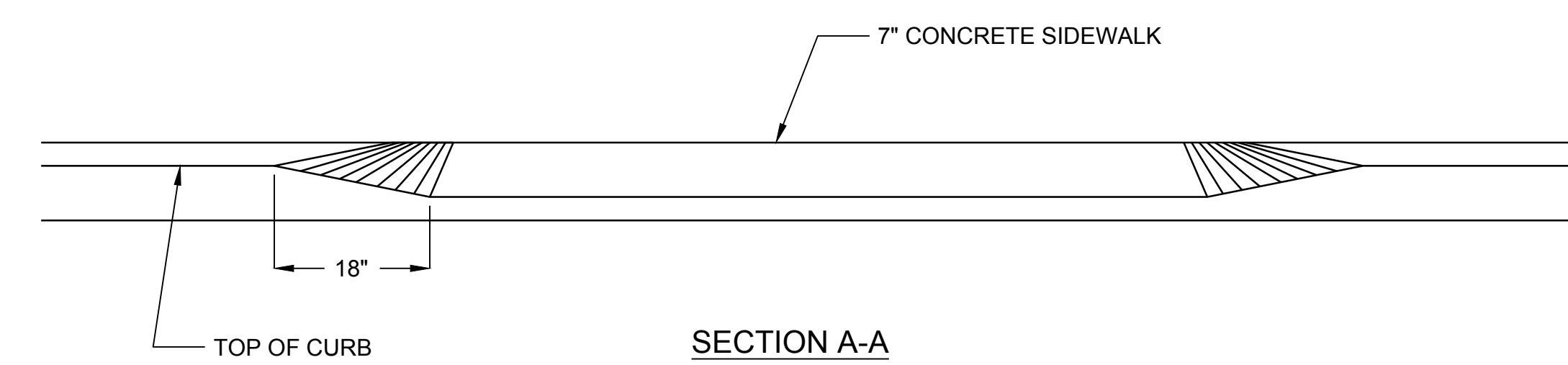
### 3 C500 CONCRETE SIDEWALK CROSS SECTION (NTS)



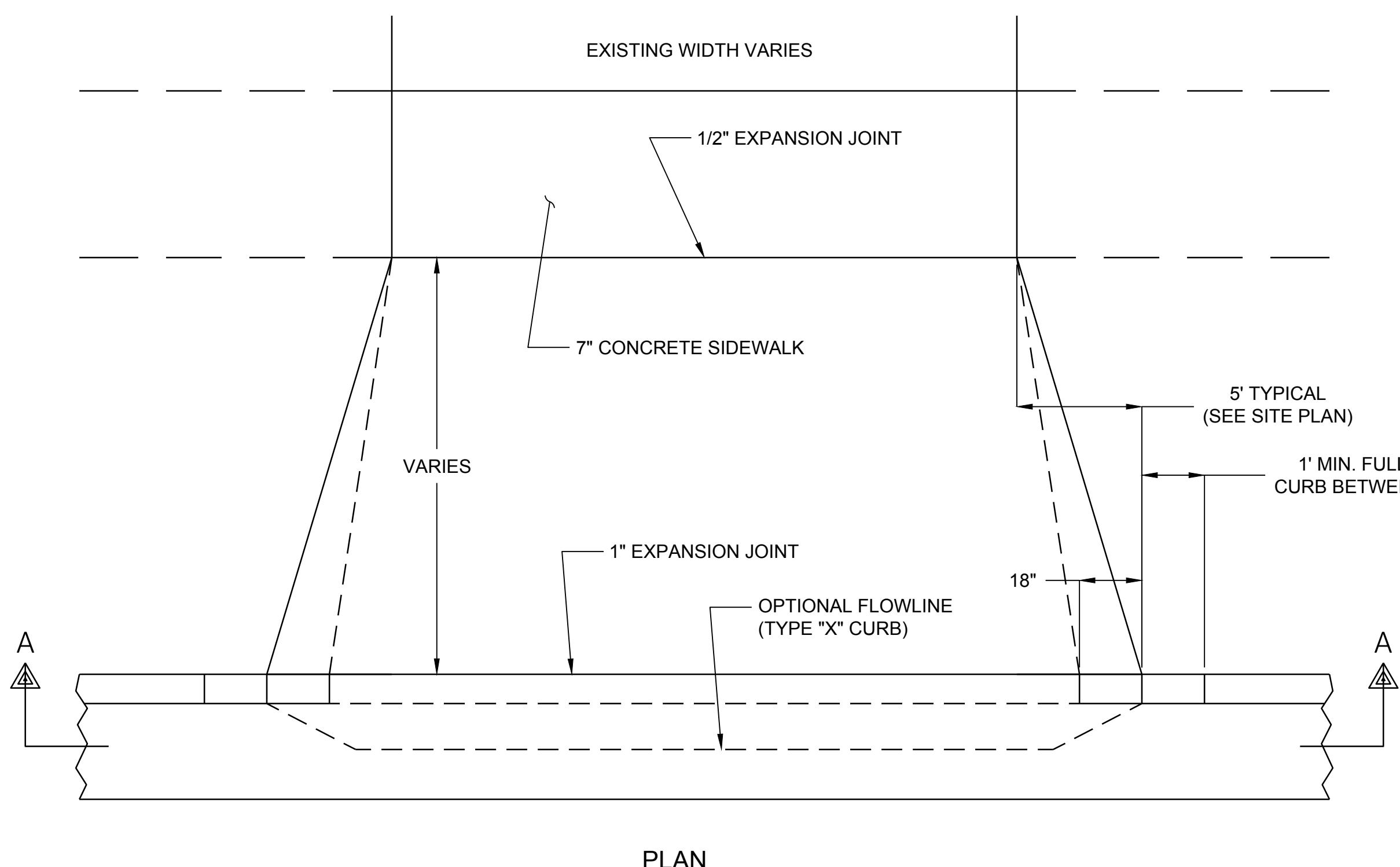
### 4 C500 CONCRETE EXPANSION JOINT (NTS)



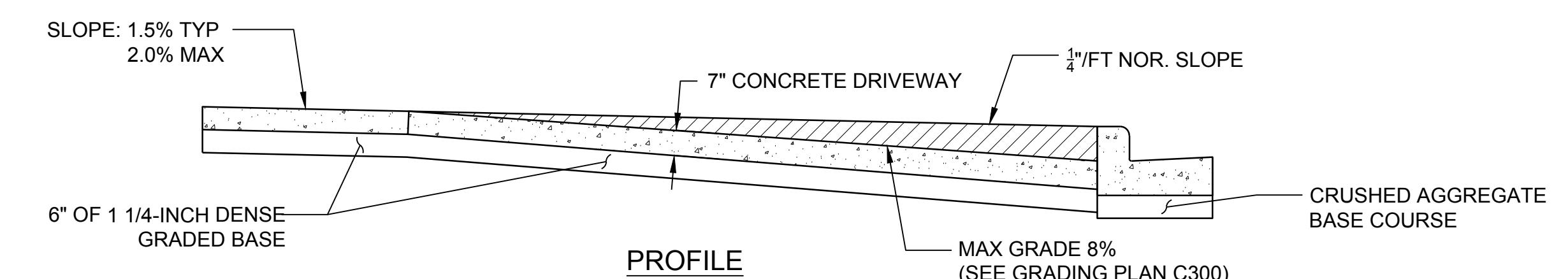
### 5 C500 PERMEABLE PAVERS (NTS)



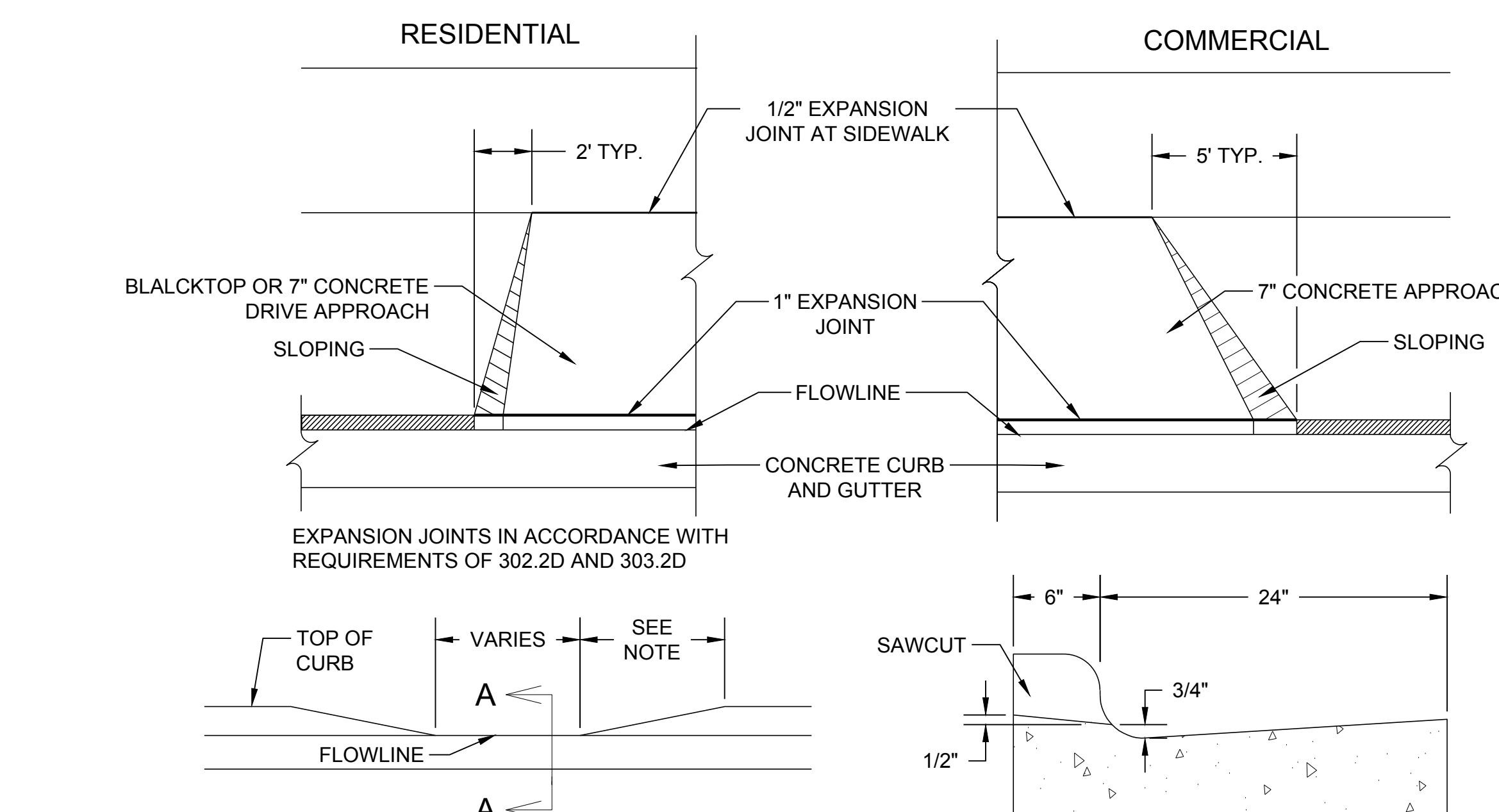
SECTION A-A



PLAN



### 6 C500 COMMERCIAL DRIVE DETAIL (NTS)



#### TYPICAL CURB CUT TAPER

GENERAL NOTE:  
IF THE CURB CUT IS NOT CONSTRUCTED WITH THE INITIAL CURB AND GUTTER CONSTRUCTION, THE CURB CUT CAN BE MADE BY REMOVING AND REPLACING THE ENTIRE CURB AND GUTTER SECTION OR BY SAWCUTTING THE EXISTING CURB HEAD BY MEANS OF A SPECIAL SAW DESIGNED TO MEET THE DETAILS ABOVE FOR MADISON STANDARD CURB CUTS.

ALL EXPANSION JOINTS SHALL EXTEND THROUGH THE ENTIRE THICKNESS OF THE APPROACH OR SIDEWALK, WHICHEVER IS THICKER.

### 7 C500 CURB CUT DETAIL (NTS)

ISSUANCES / REVISIONS	REV.	DATE	REASON FOR REVISION	CHK
SEAL				

### 519-521 W MAIN ST

519-521 W MAIN ST  
MADISON, WI

SHEET NAME  
CONSTRUCTION DETAILS

C500

DRAWN BY	REVIEWED BY	APPROVED BY
SMR	DAD	DAD
DRAWING SCALE		
SEE SHEET		
PROJECT NO.		
REVISION		
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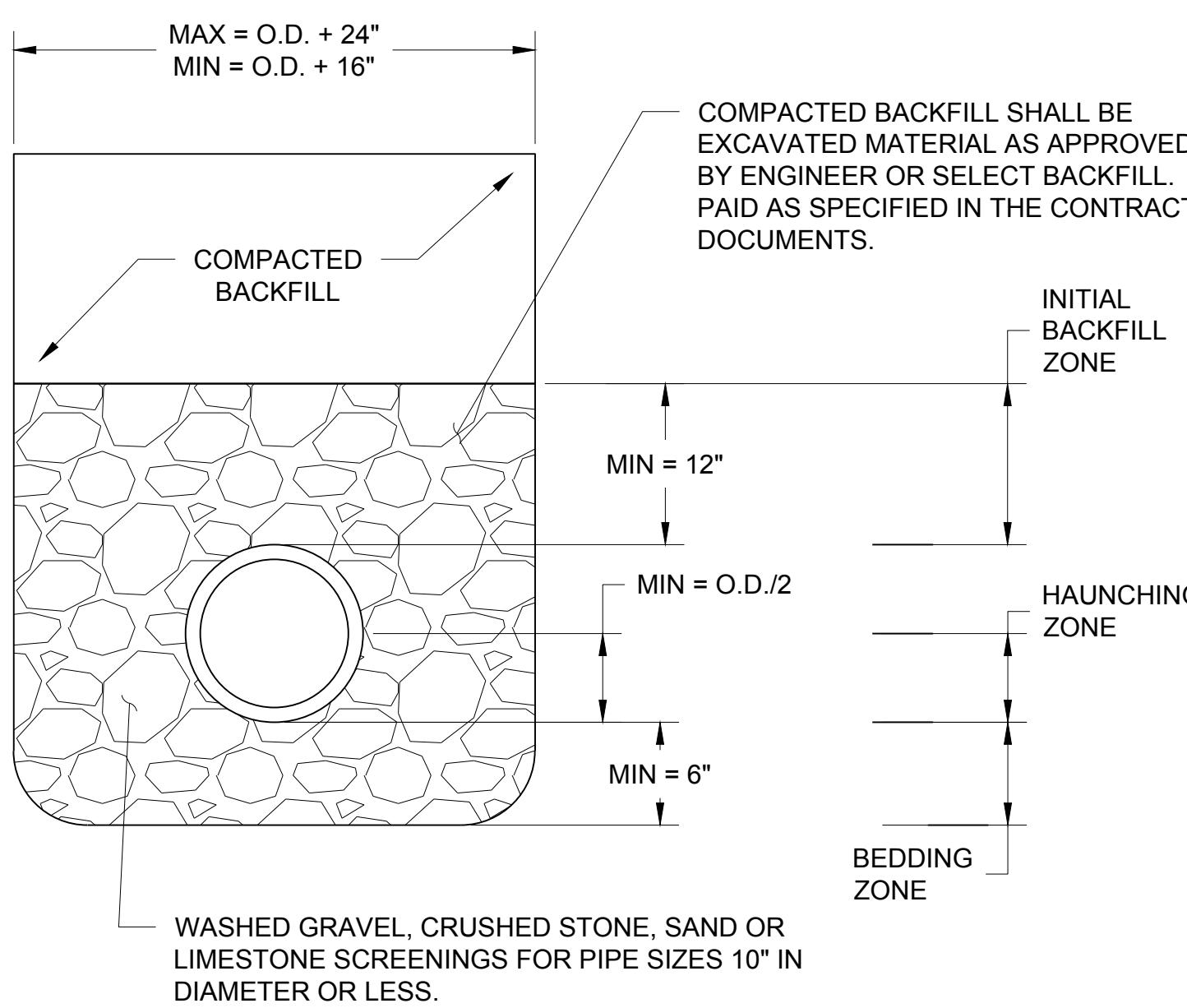
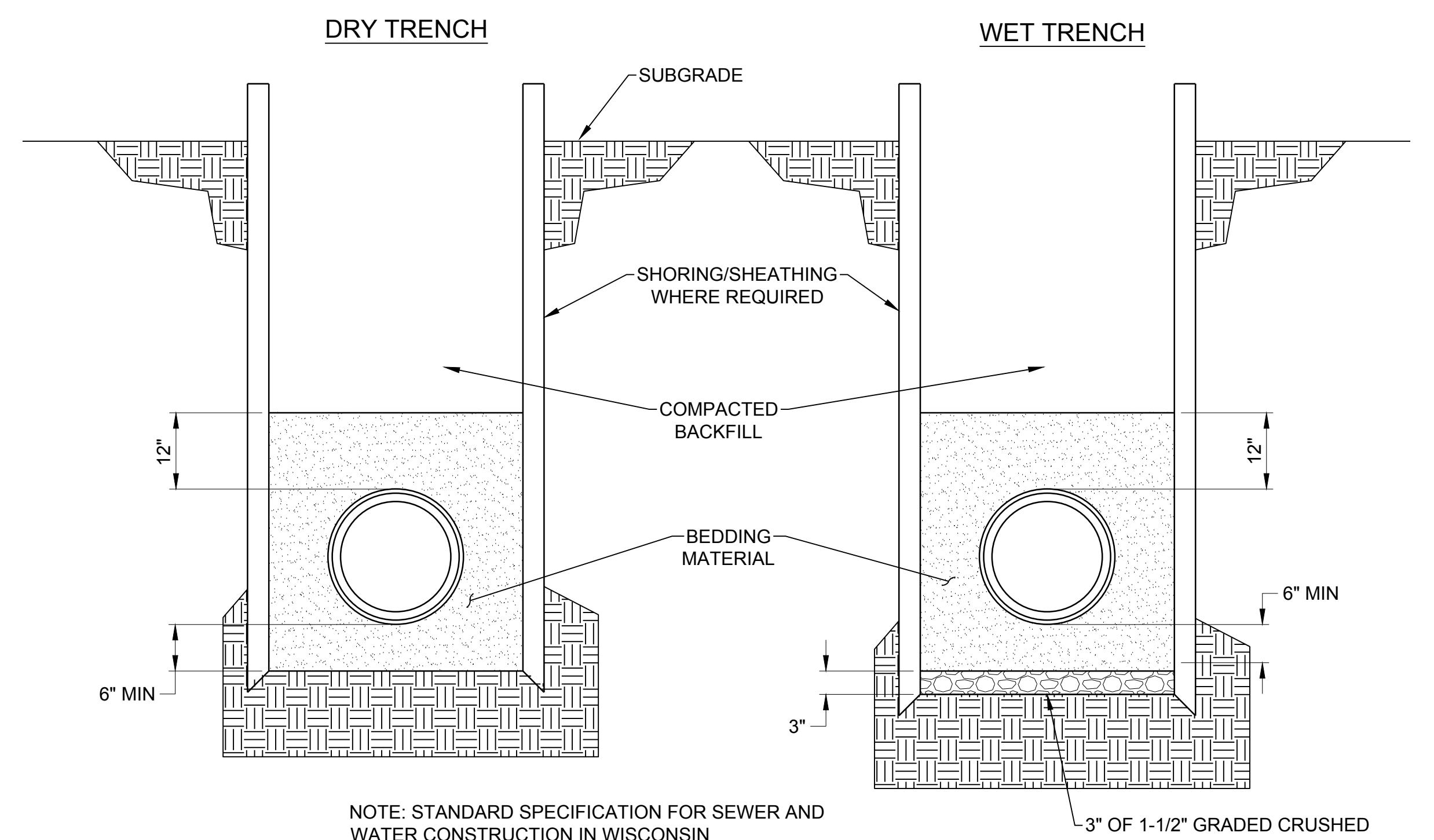
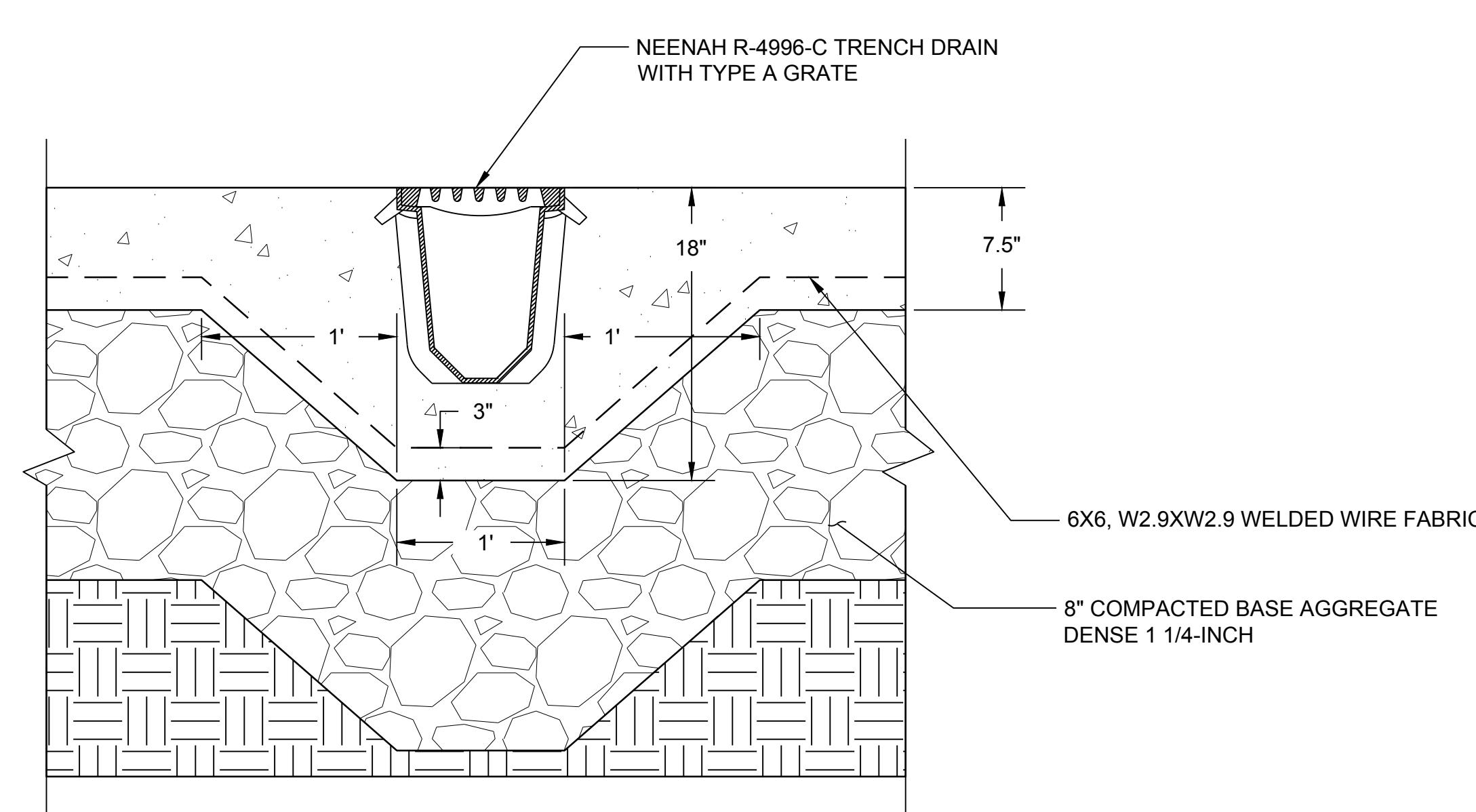
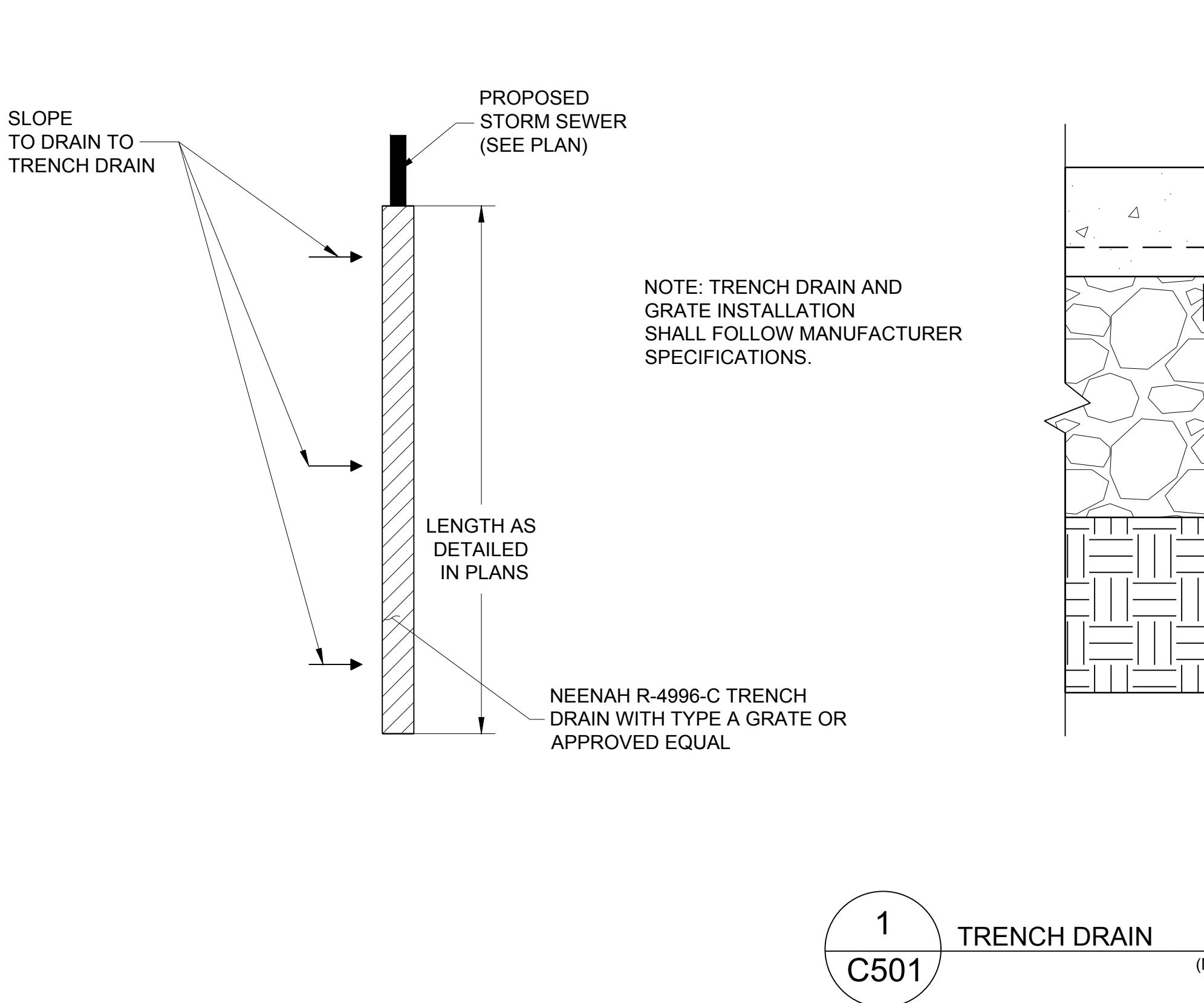


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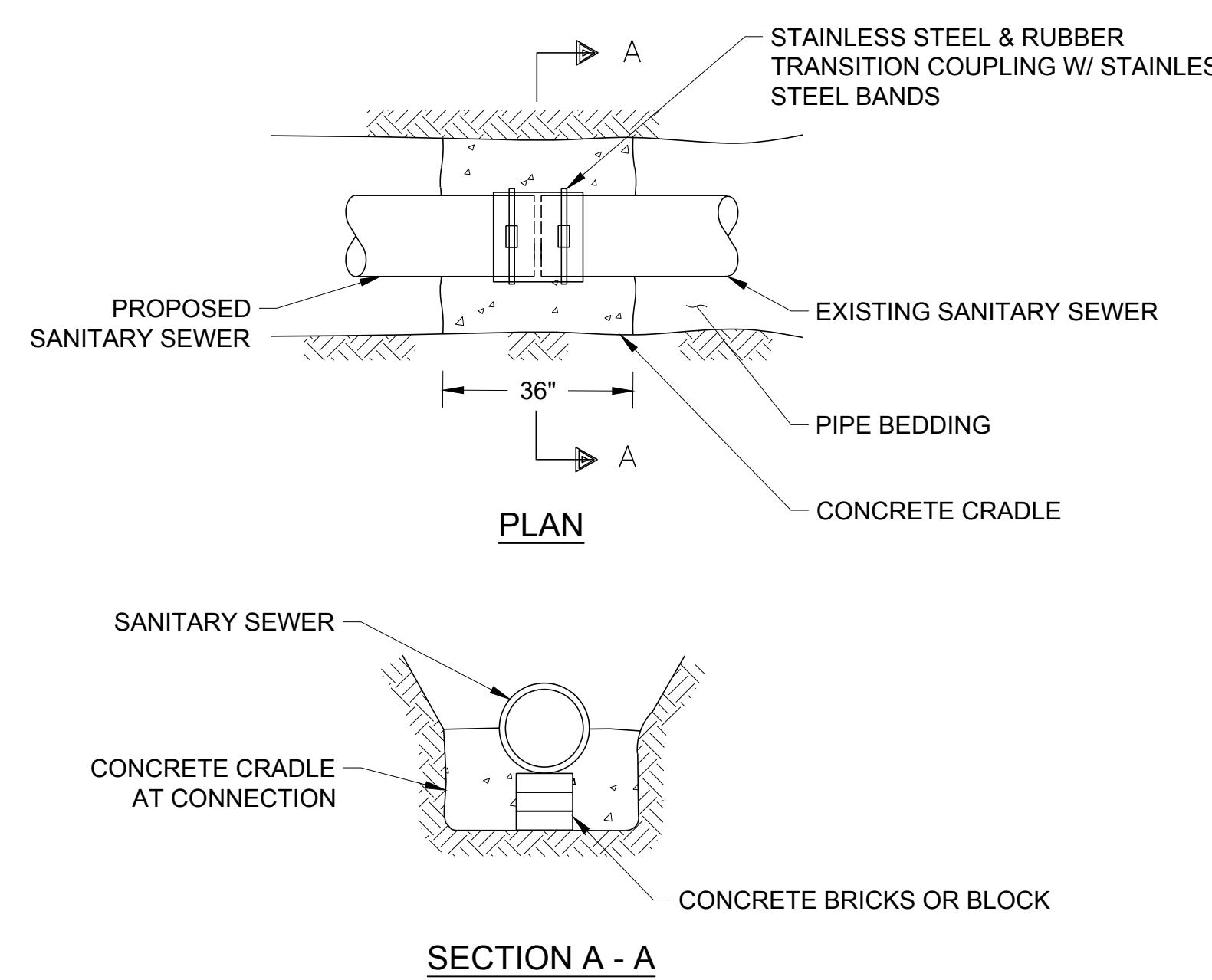
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SALA HARS	CONTACT: Av. Pedro de la Riva 384, Suite 501, Juan D. Peron 11860, Buenos Aires, Argentina TEL: 54 11 3504 EMAIL: shars@shars.com
STRUCTURE DESIGNER	CONTACT: 25 W Washington St, Suite 300 FORERIGHT STRUCTURAL ENGINEERS Chicago, IL 60604 TEL: 773-553-2700 EMAIL: jorobach@forerightstructural.com
Landscape Architect	CONTACT: David Balleza BERNAU DESIGN ADDRESS: 303 W Erie St, Suite 510 Madison, WI 53713 TEL: 608-255-1059 EMAIL: balleza@bernaudesign.com
MES/PASSIVE HOUSE CONSULTANT	CONTACT: Sacha Arevalo DBHMS ADDRESS: 303 W Erie St, Suite 510 Madison, WI 53713 TEL: 608-255-1059 EMAIL: sacha@dbhms.com
MES/DESIGN BUILD	CONTACT: 2225 Argyle Rd DAVE JONES Monroe, WI 53716 TEL: 608-222-5200 EMAIL: davejones@jonesen.com
CIVIL ENGINEER	CONTACT: Dylan Douglass JT ENGINEERING ADDRESS: 1000 University Rd, Suite 1 Oregon, WI 53575 TEL: 608-718-3300 EMAIL: d.douglass@jtengineering.com
GEOTECHNICAL CONSULTANT	CONTACT: Paul J. Koscik TERRACON CONSULTANTS ADDRESS: 400 S Pennsylvania Ave Suite 1000 Milwaukee, WI 53202 TEL: 414-421-2525 EMAIL: pkoscik@terracon.com

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2. All dimensions are in feet and inches unless noted otherwise.  
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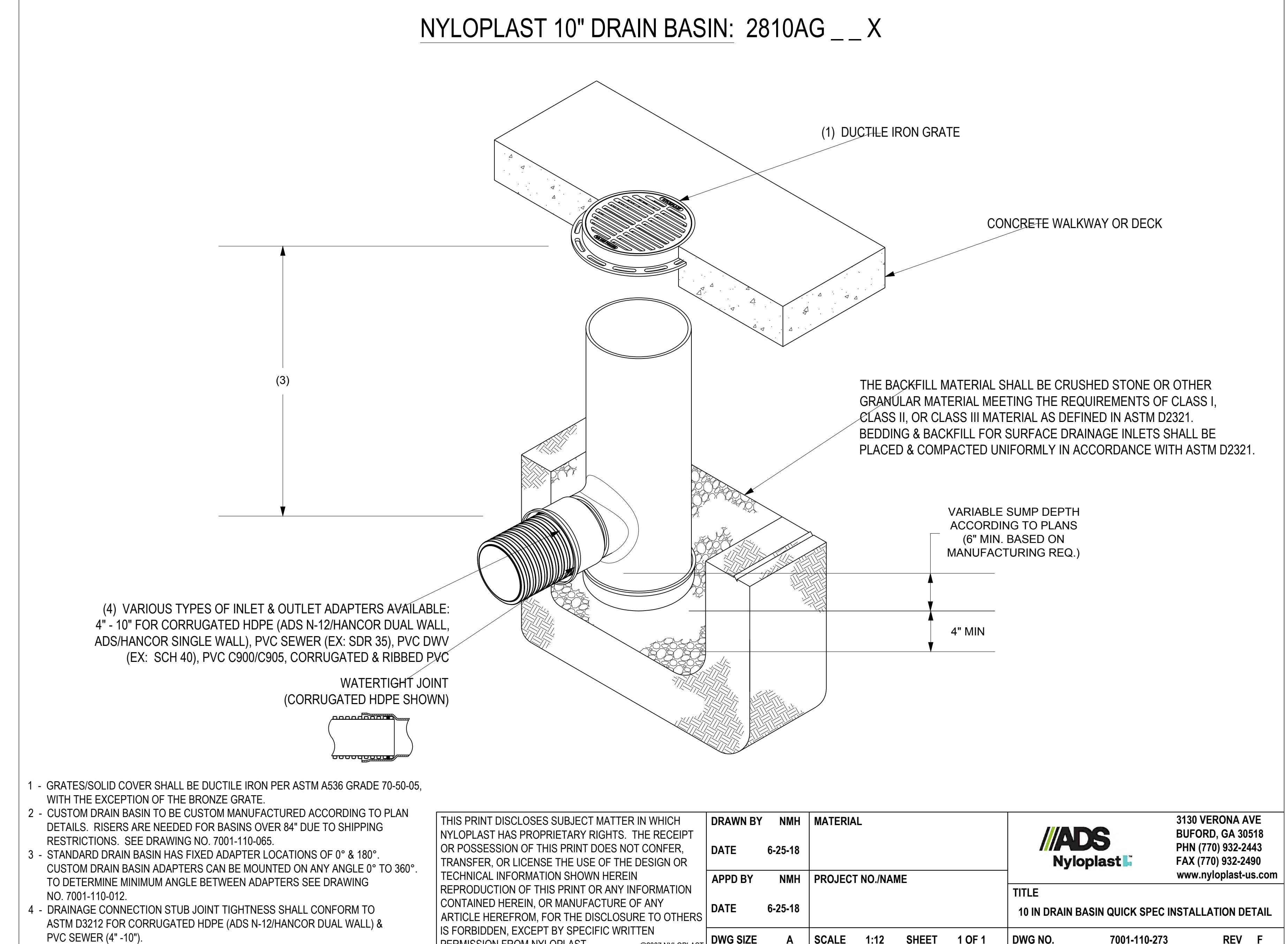


2 PIPE BEDDING DETAIL (NTS)



NOTE:  
EACH PIPE SHALL BE SUPPORTED W/ CONCRETE  
BRICKS SO THE INVERT OF THE NEW PIPE MATCHES  
THE INVERT OF THE EXISTING PIPE.

3 SANITARY SEWER CONNECTION DETAIL (NTS)



1 - GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-5, WITH THE EXCEPTION OF THE BRONZE GRATE.  
2 - CUSTOM DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065.  
3 - STANDARD DRAIN BASIN HAS FIXED ADAPTER LOCATIONS OF 0° & 180°. CUSTOM DRAIN BASIN ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.  
4 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL) & PVC SEWER (4"-10").

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DRAWN BY	NMH	MATERIAL	3130 VERONA AVE
DATE	6-25-18		BUFFORD, GA 30518
APPD BY	NMH	PROJECT NO./NAME	PHN (770) 932-4443
DATE	6-25-18		FAX (770) 932-2490
DWG SIZE	A	SCALE 1:12 SHEET 1 OF 1	www.nyloplast-us.com
DWG NO.	7001-110-273	REV F	

519-521 W MAIN ST  
MADISON, WI

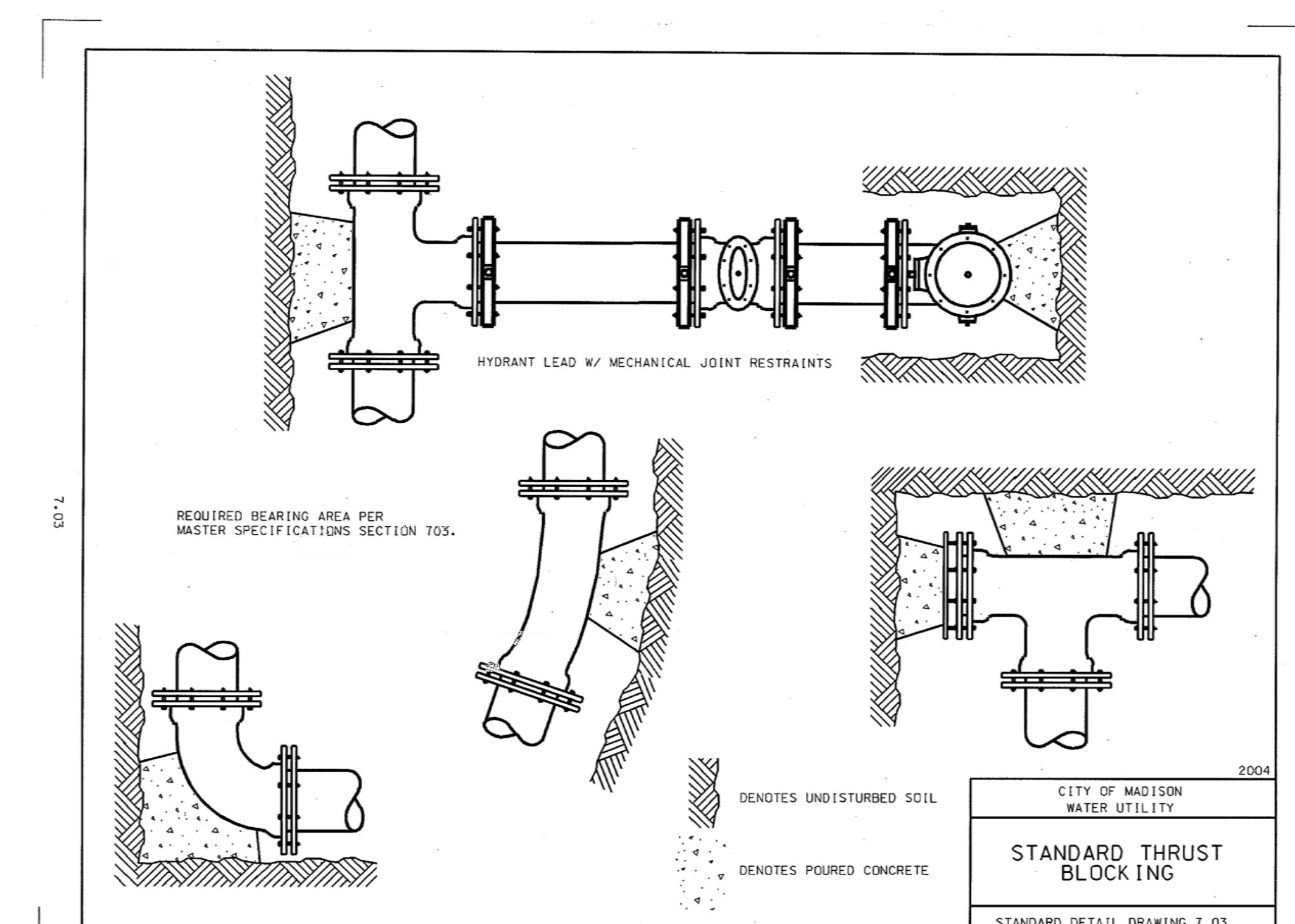
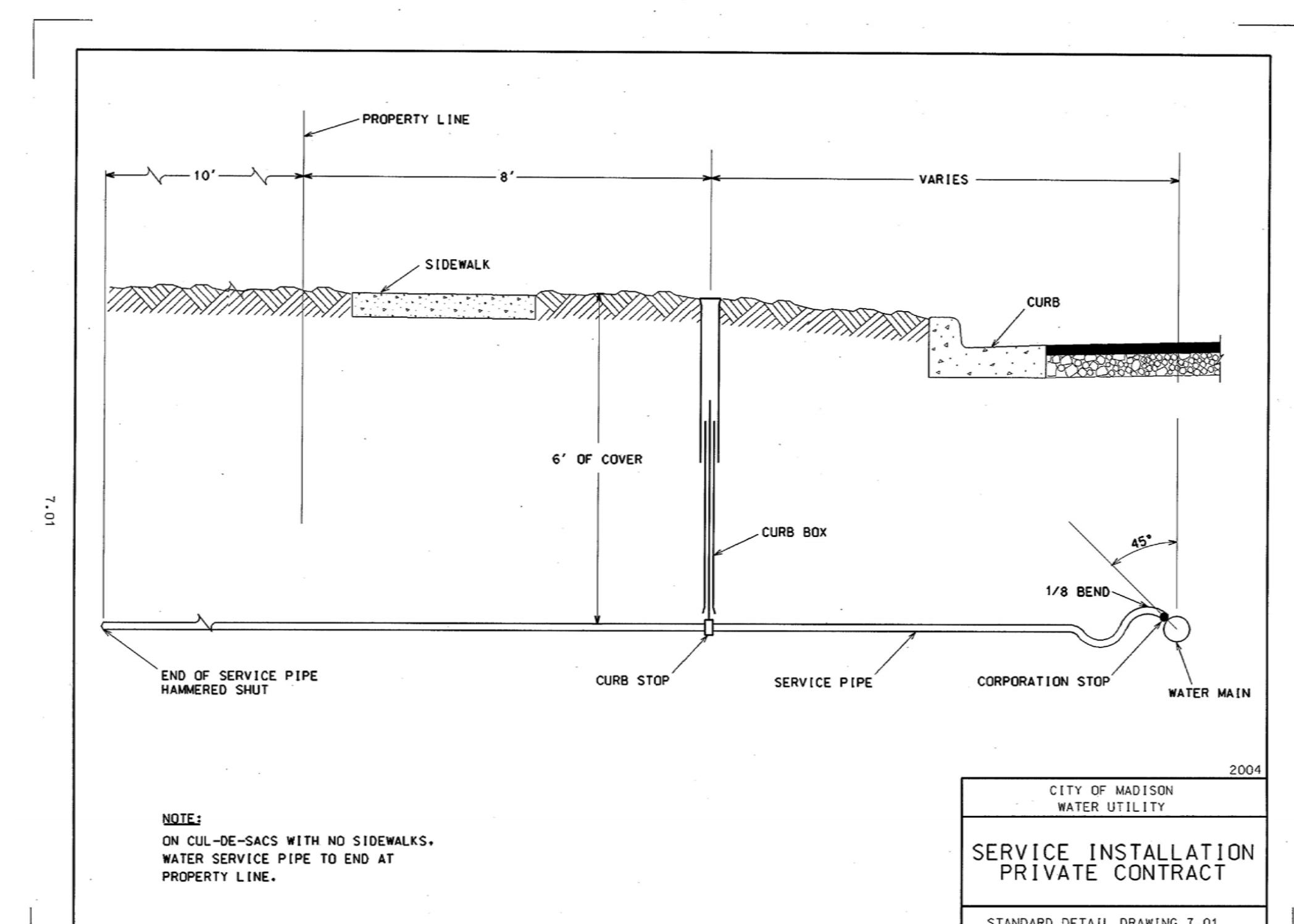
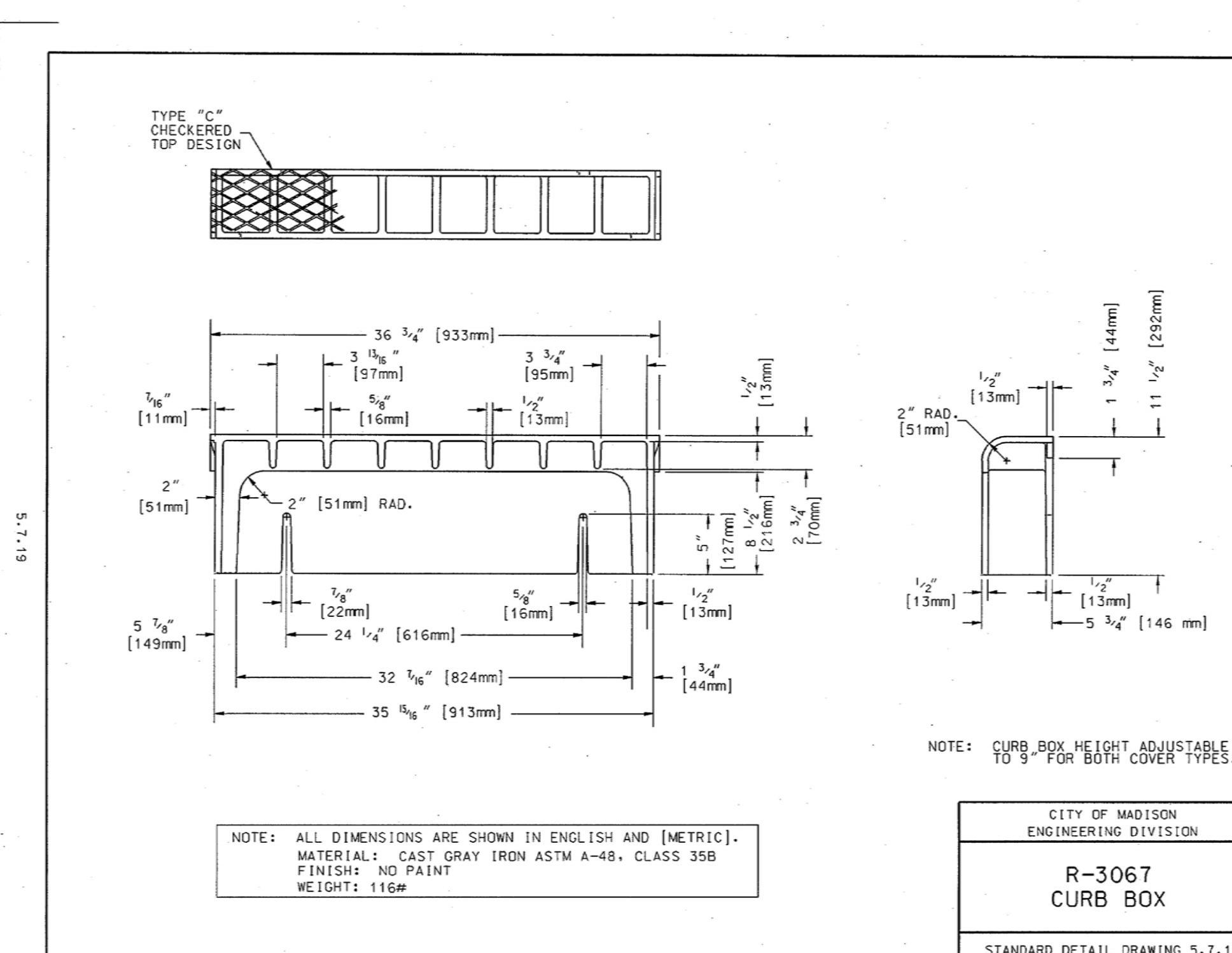
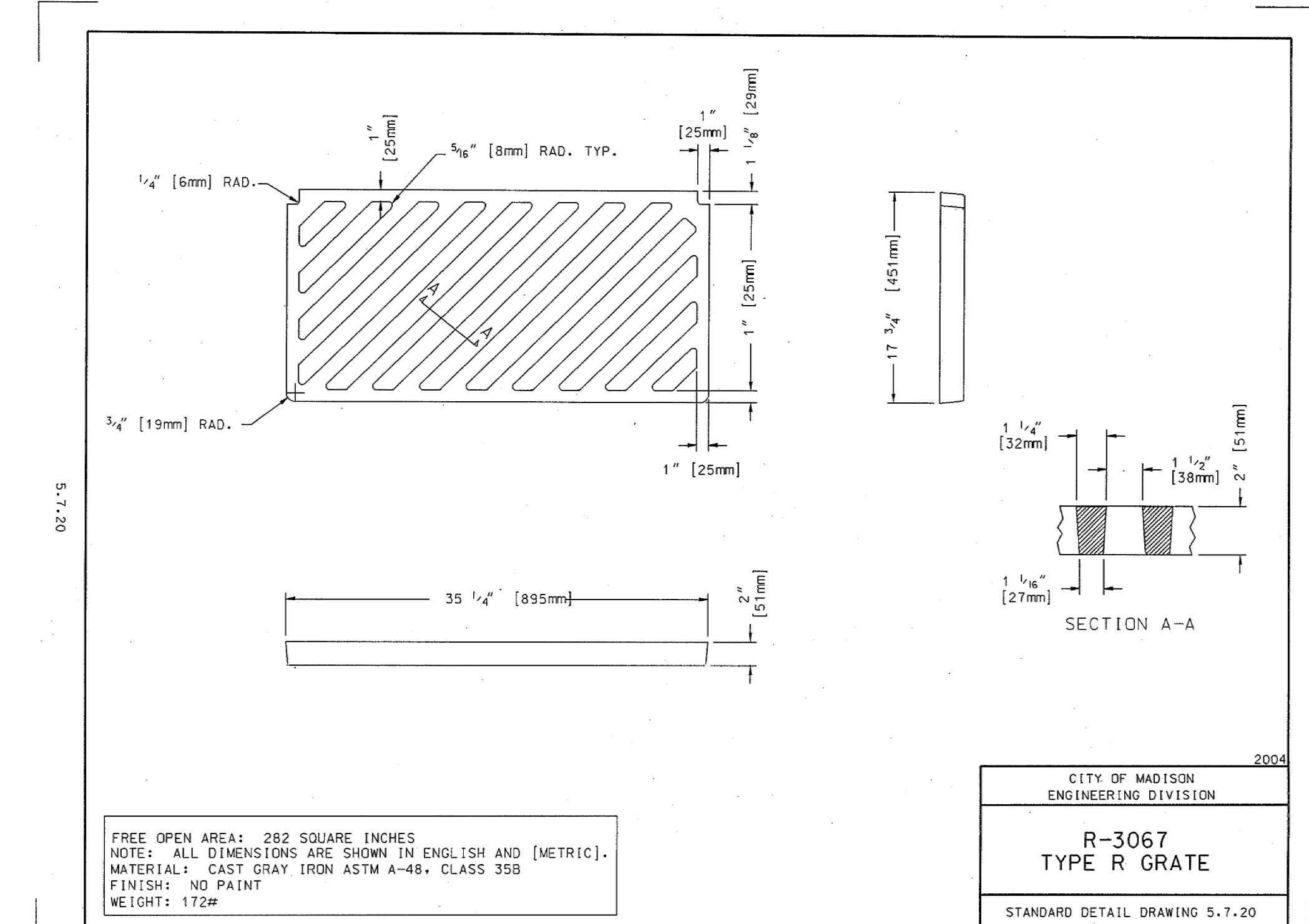
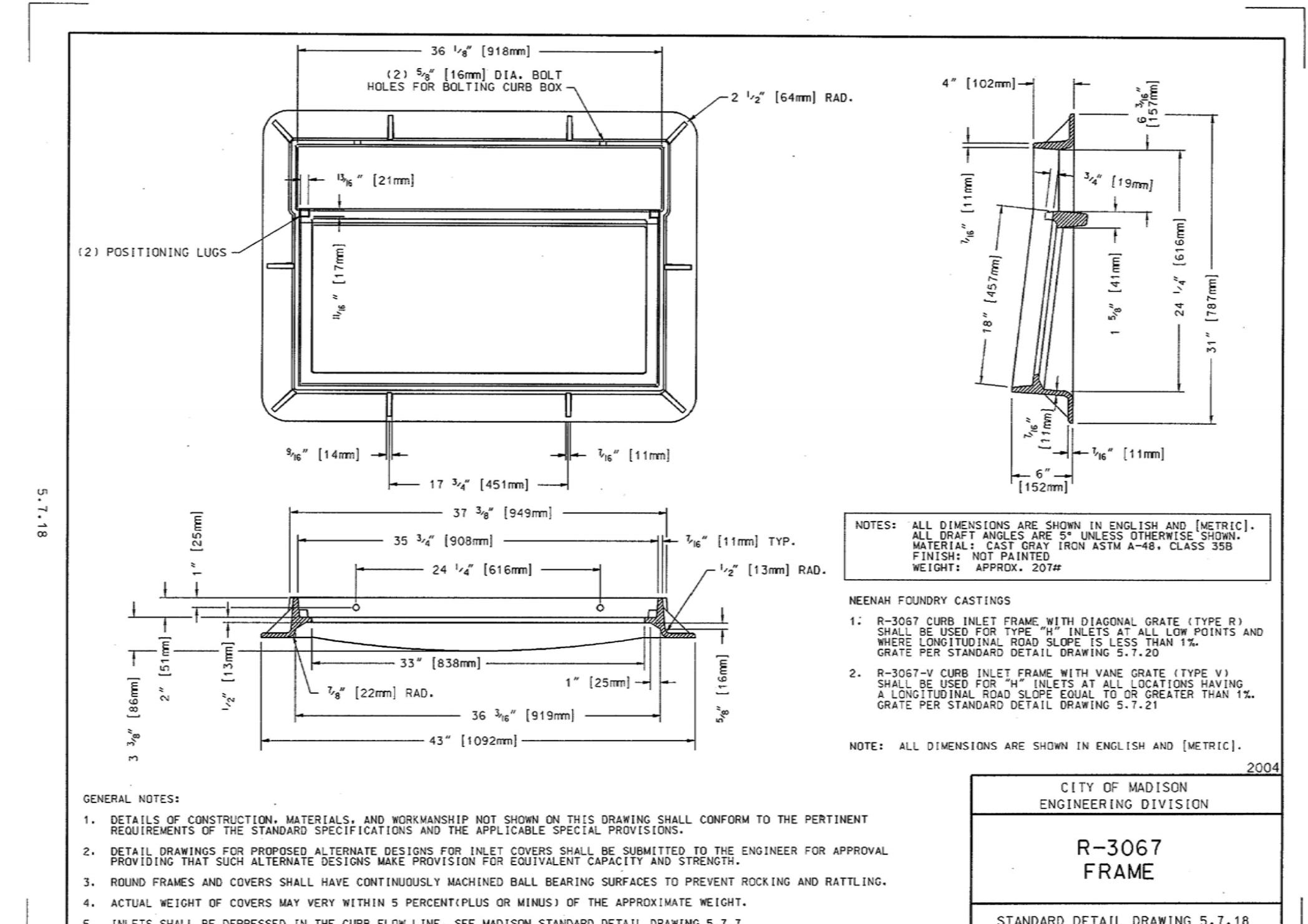
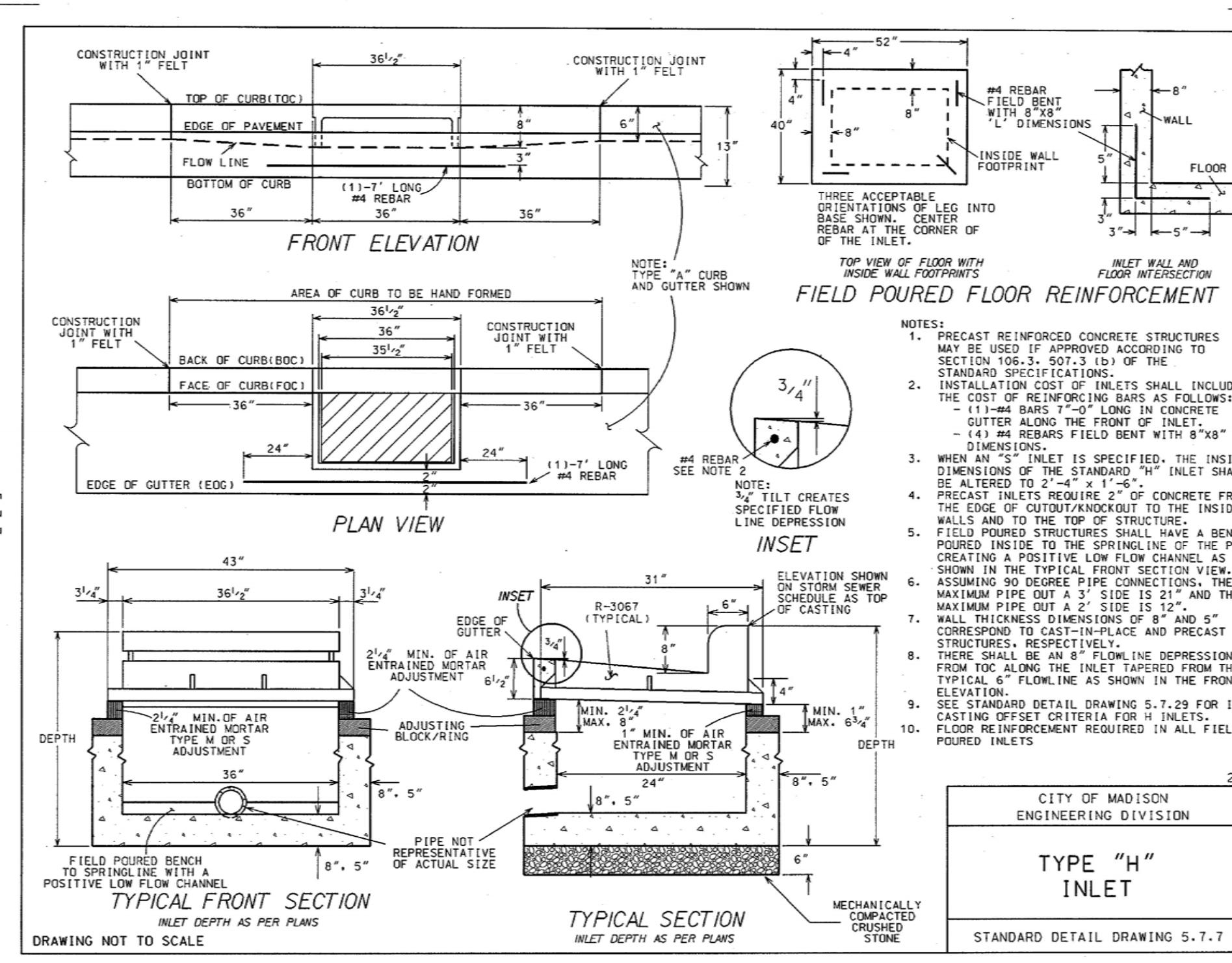
CONSTRUCTION DETAILS

DRAWN BY  
SMR  
REVIEWED BY  
DAD  
APPROVED BY  
DAD  
DRAWING SCALE  
PAGE FORMAT  
SEE SHEET  
PROJECT NO.  
V301  
REVISION  
Current Revision  
REVISION DATE  
04/04/2014

C501

5 C501 ADS 10-INCH DRAIN BASIN INLET DETAIL (NTS)




**FOR REFERENCE  
ONLY**
**NOT FOR  
CONSTRUCTION**

ISSUANCES / REVISIONS
REV. DATE REASON FOR REVISION CHK

**519-521 W MAIN ST**  
 519-521 W MAIN ST  
 MADISON, WI

 CONSTRUCTION DETAILS  
**C503**







## SHEET NOTES

A. ALL PLANTING BEDS TO RECEIVE 3" DEPTH SHREDDED HARDWOOD BARK MULCH. SEE SPECIFICATIONS. Voids in plantings around building foundations shall receive 3" min. depth mulch.

B. SEE SOIL PREPARATION SPECIFICATION FOR PREPARING THE SITE PRIOR TO PLANTING.

C. PRIOR TO INSTALLATION CONTACT CITY OF MADISON FORESTRY TO COORDINATE CONSTRUCTION OBSERVATION.

D. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE ANGLED TERRACE AREAS. THE FENCE SHALL BE A MINIMUM OF 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM.

E. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY PRIOR TO THE START OF CONSTRUCTION.

F. ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST A 72 HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY, TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.

G. CONTRACTOR SHALL CONTACT CITY FORESTRY BRAD HOFMANN BHOFMANN@CITYOFMADISON.WI.GOV AT LEAST ONE WEEK PRIOR TO CONSTRUCTION TO SCHEDULE INSPECTION AT NURSERY STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.

H. IMPROVEMENTS DEPICTED IN THE RIGHT-OF-WAY ARE FOR INFORMATION ONLY. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

I. SEE A110 FOR GREEN ROOF AREA.

J. SEE A110 FOR GREEN ROOF AREA.

K. SEE A110 FOR GREEN ROOF AREA.

L. SEE A110 FOR GREEN ROOF AREA.

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3. All dimensions are in feet unless otherwise indicated.

4. The Neutral Project shall be refined to reflect any discrepancies.

5. Any changes to the design shall be made in writing.

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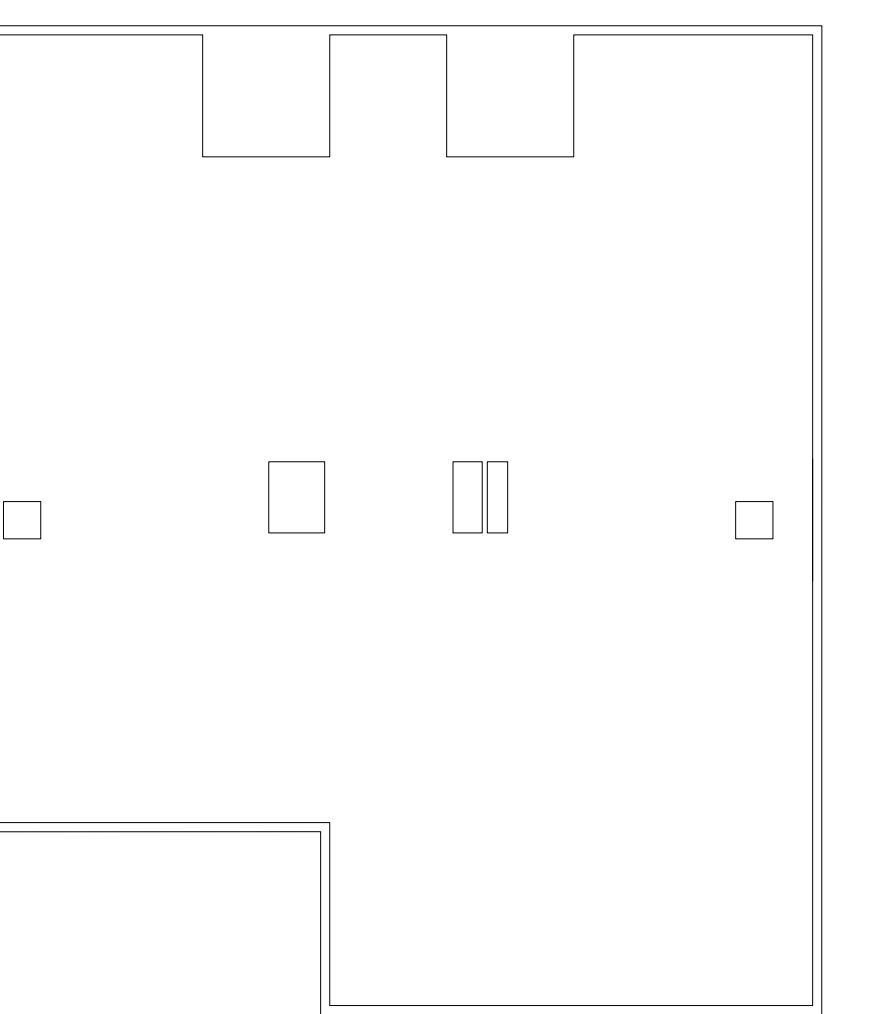
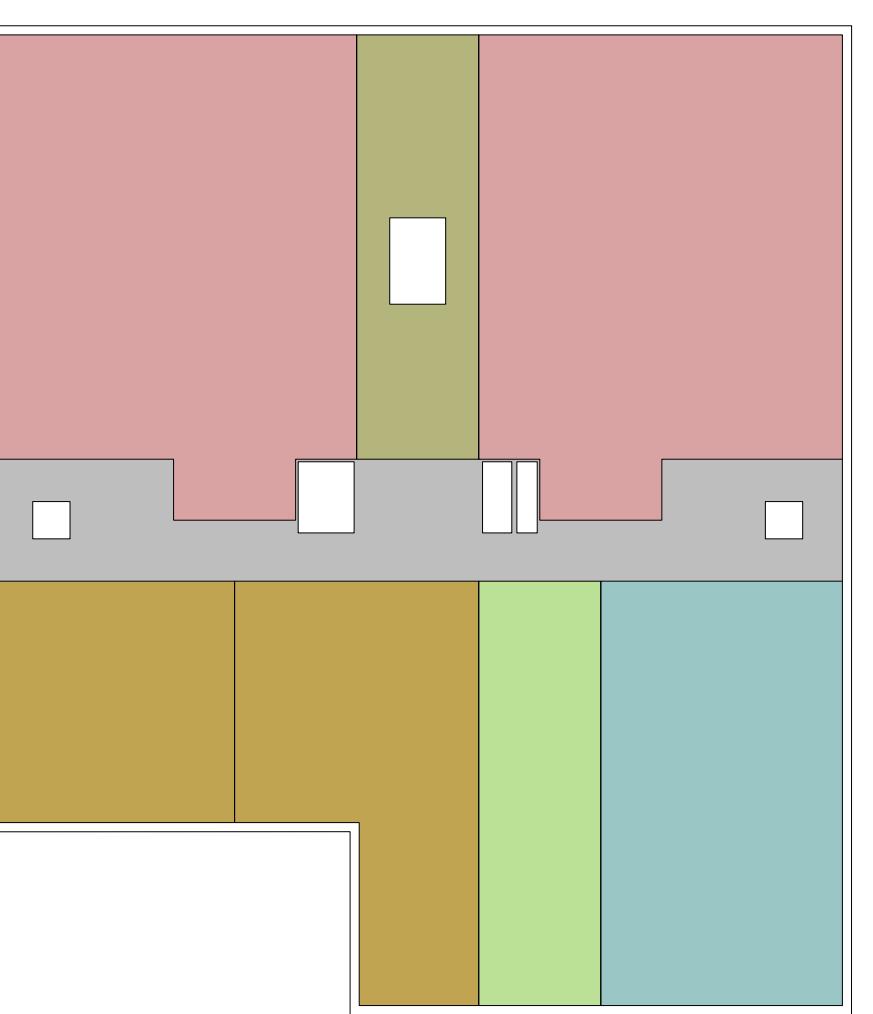
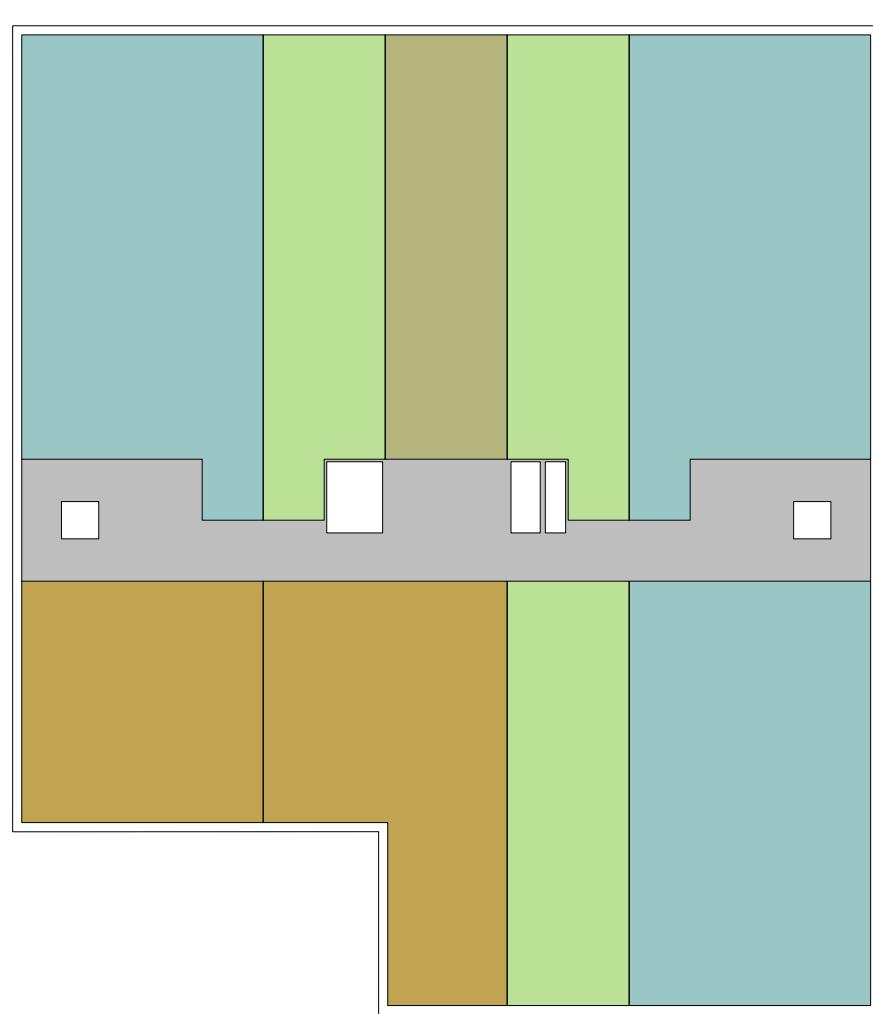
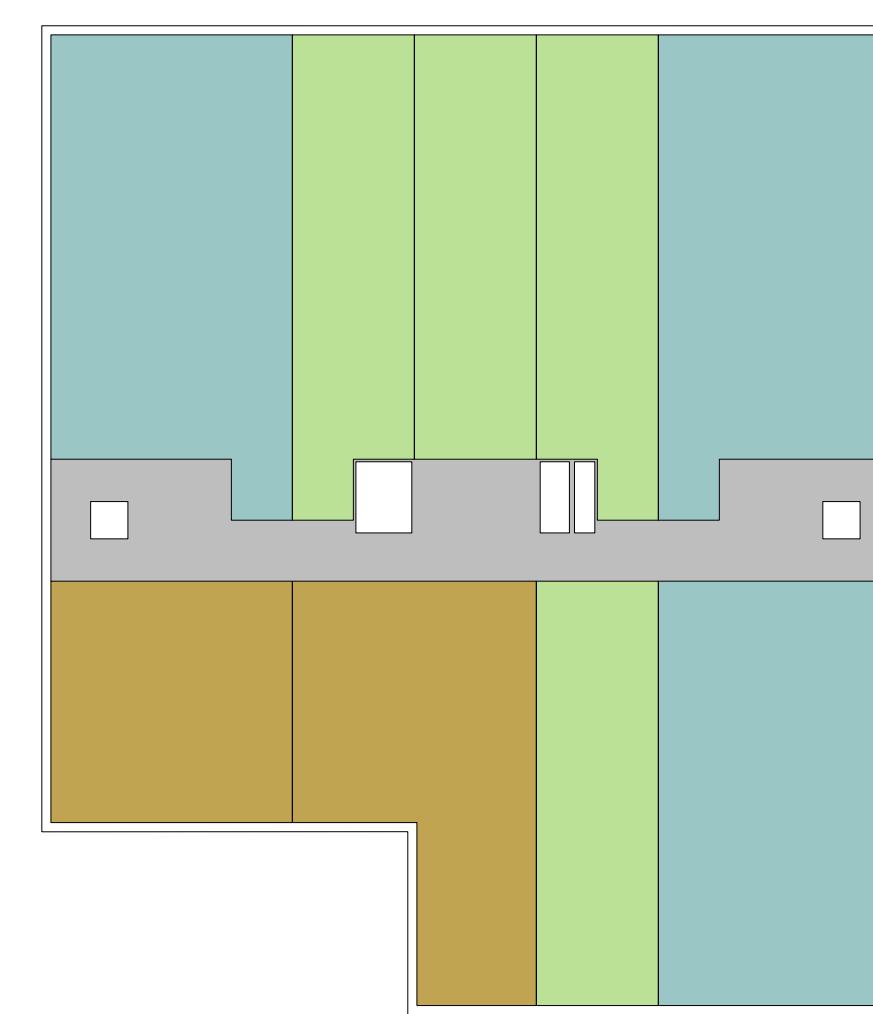
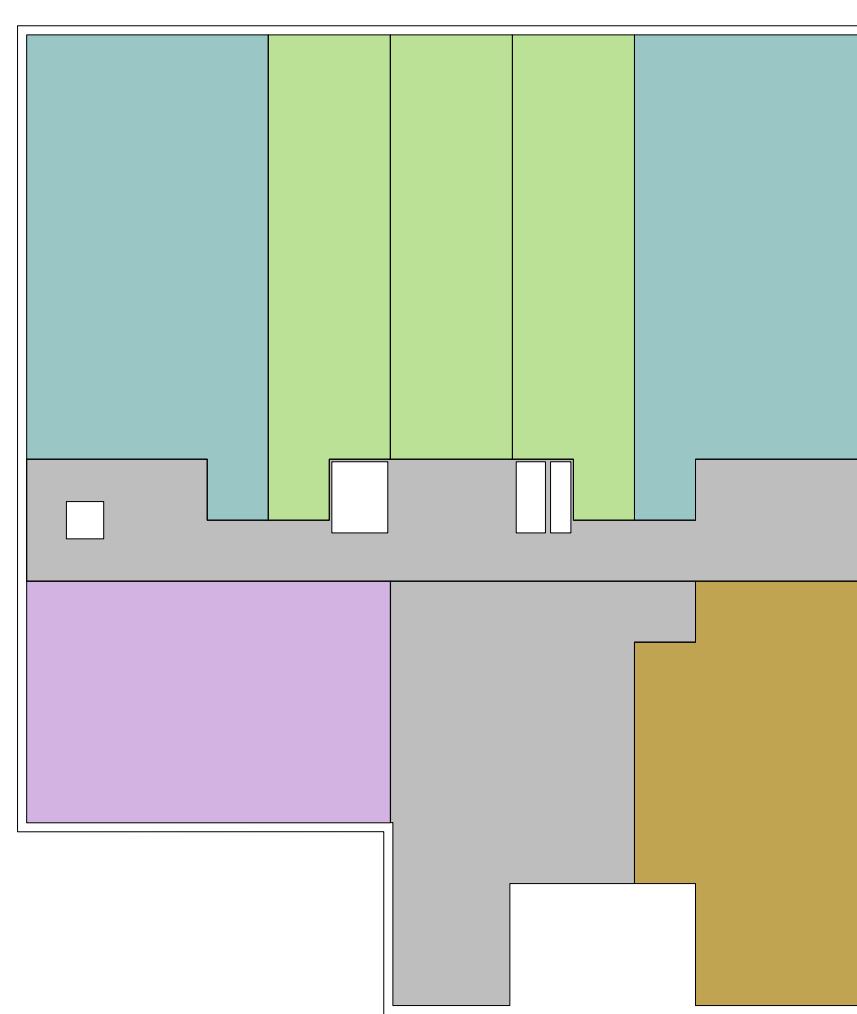
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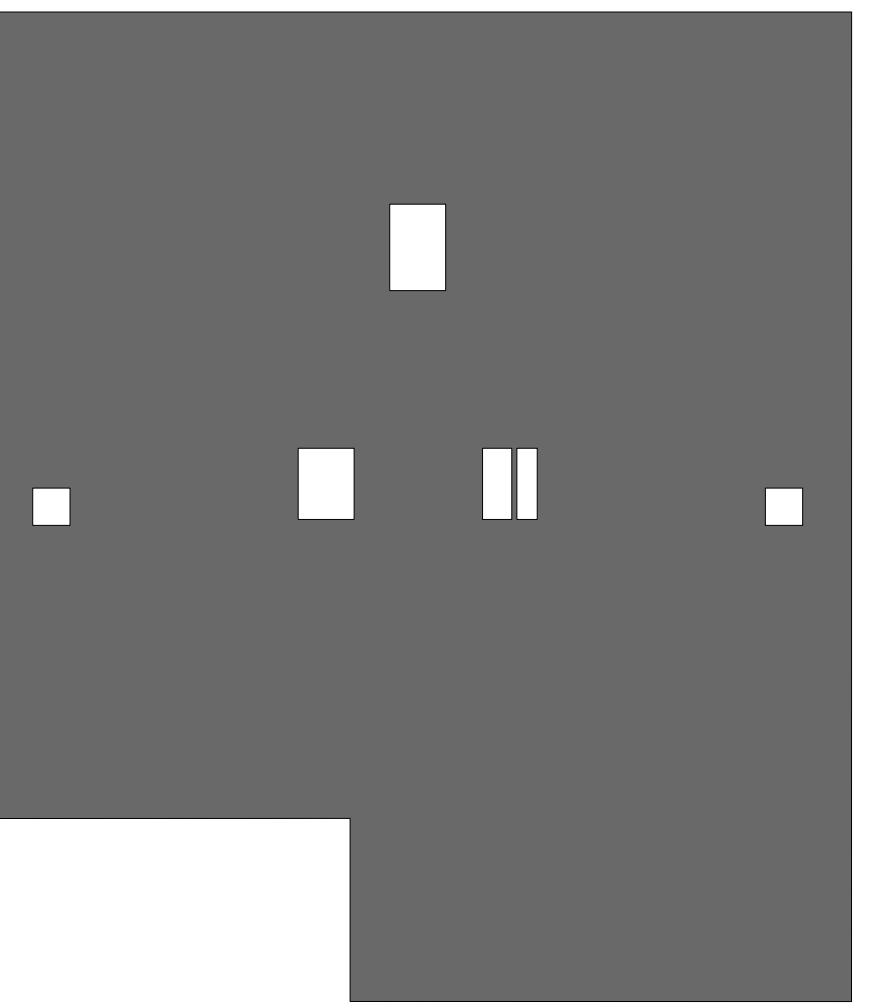
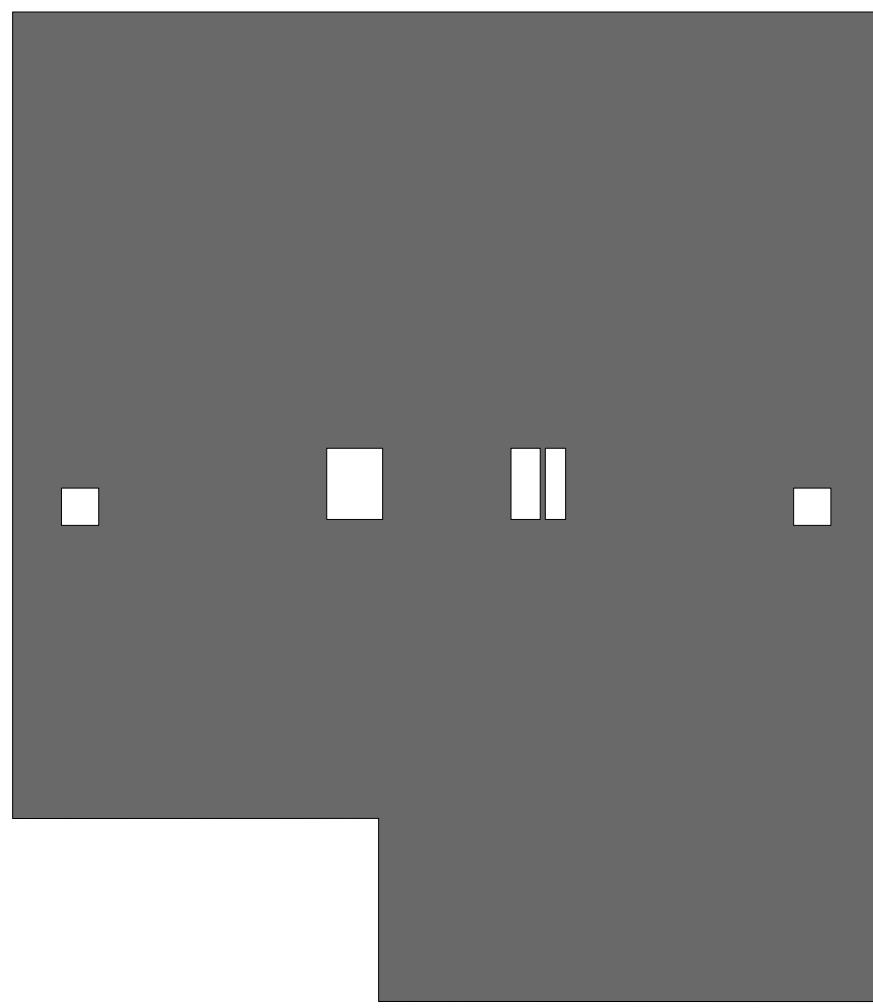
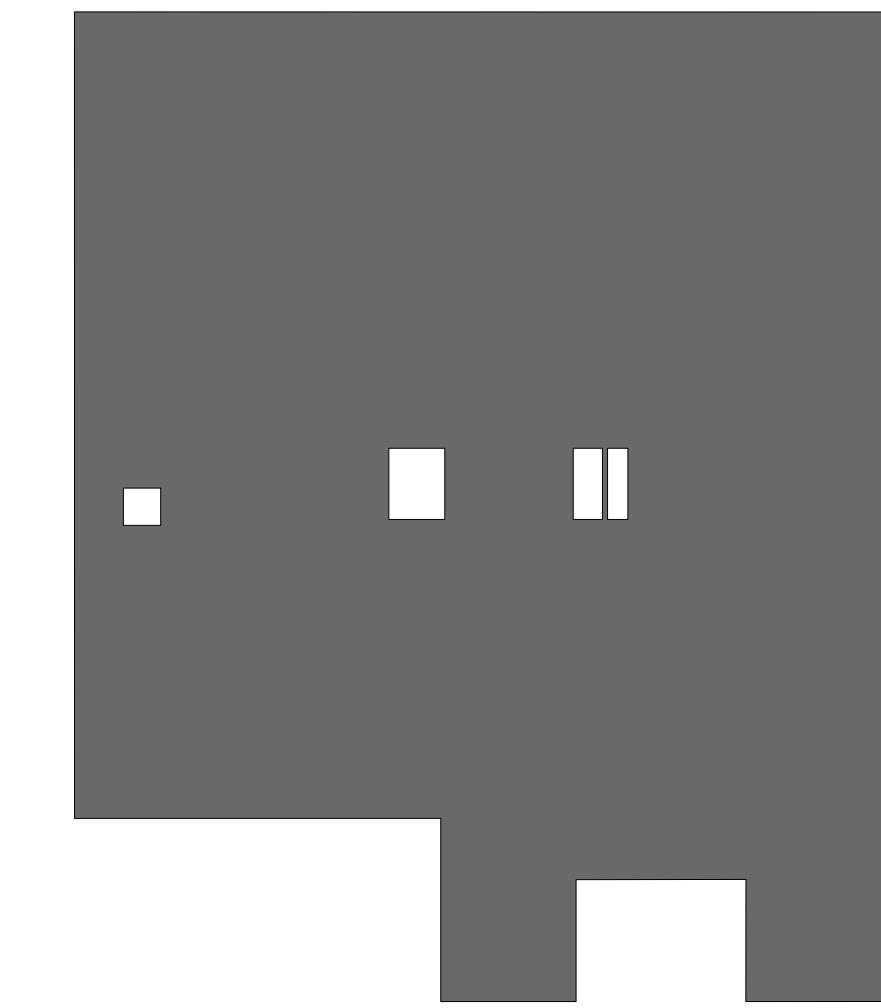
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# UNIT MIX



**TOTAL APARTMENT AREA = 23866 sqft**  
**RETAIL = 850 sqft**  
**TOTAL RENTAL AREA = 24716 sqft**

# GROSS AREA



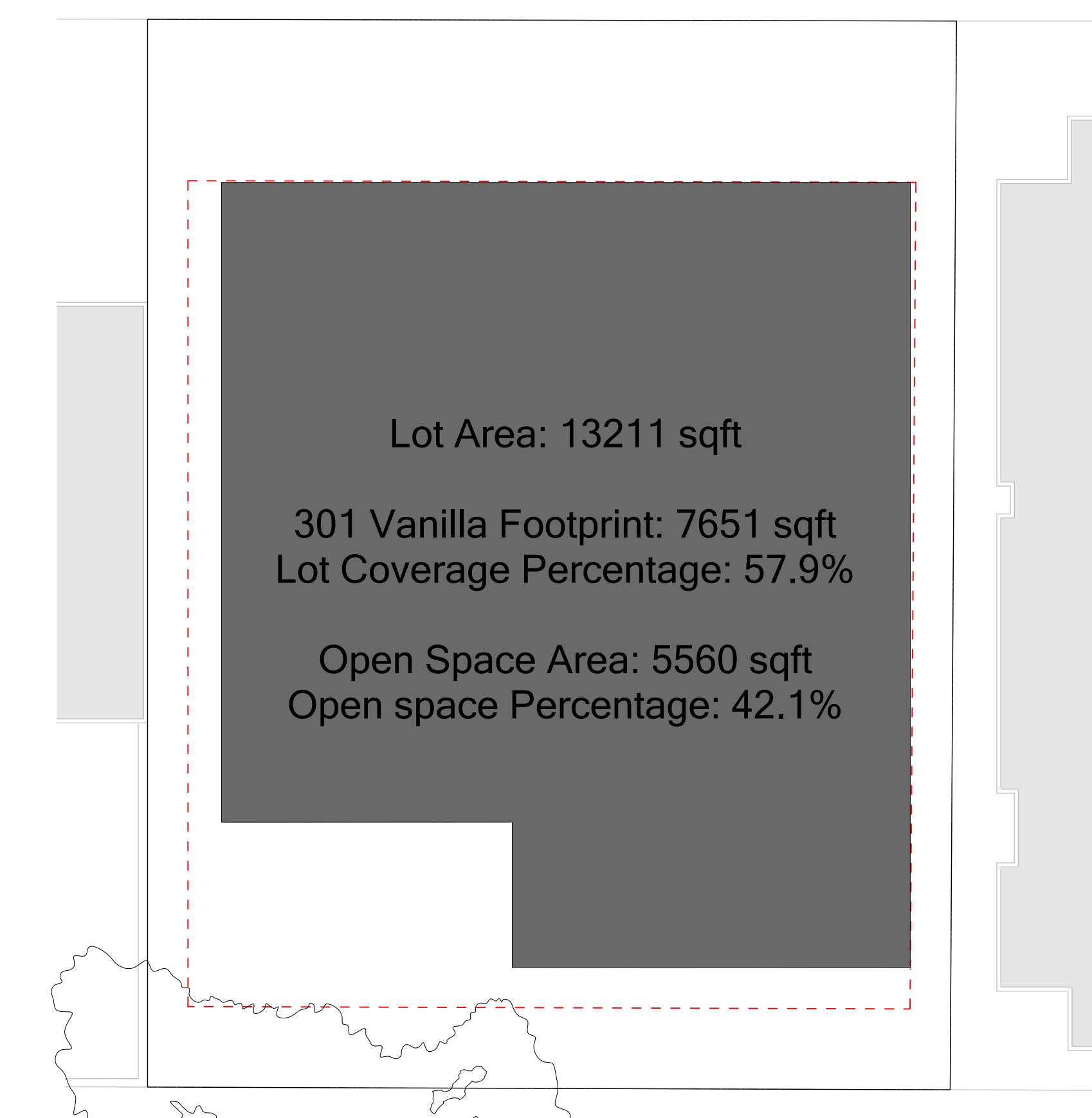
# TOTAL GROSS AREA 37670 sqft

# TABLE OF AREAS

Areas - Vanilla Land Use Application												
	Unit Type	Variation	Modules	GF	2	3	4	QTY	QTY%	GFA		
			Sqft					GSF				
	3BR	3 BATHS	11 1564					2 3128	2 3128	13.11%	3128	
	2 BED	2 BATHS	7 1027	2 2054	2 2054	2 2054			6 6162	25.82%	9135	
		2 BATHS	7 991		1 991	1 991	1 991		3 2973	12.46%		
		2 BATHS	6 883	1 883					1 883	3.70%		
	1 BED	1 BATH	4 564		1 564	1 564	1 564		3 1692	7.09%	4921	
		1.5 BATH	5 1/2 782		1 782	1 782	1 782		3 2346	9.83%		
		1 BED - LOFT	1.5 BATH	6 1/2 955			1 955		1 955	4.00%	955	
	ALCOVE	1 BATH	3 1/2 537	2 1074	2 1074	2 1074			6 3222	13.50%	5727	
		1 BATH	3 1/2 501	1 501	2 1002	1 501	1 501		5 2505	10.50%		
	TOTAL									30	100.00%	
										23866		

	Apartment Area	23866	
	Retail	850	
	Lobby GF	886	
	Circulation	3047	16%
	Voids	47	
	Basement Area	7695	
	Open Space Area	5560	

# LOT COVERAGE



---

## ISSUANCES / REVISIONS

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# PROJECT **519-521 W MAIN S**

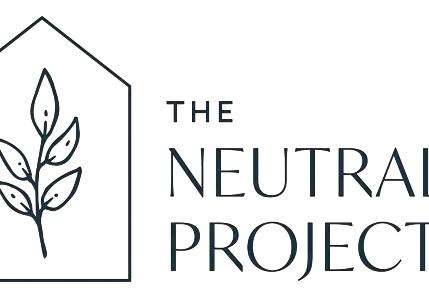
**A001**

DRAWN BY <b>DRW</b>	REVIEWED BY <b>CHK</b>	APPROVED BY <b>APR</b>
DRAWING SCALE <b>3/16" - 1'</b>		PAGE FORMAT <b>ARCH E1 (30" X 42")</b>
PROJECT NO. <b>V301</b>	REVISION <b>Current Revision</b>	REVISION DATE <b>Current Revision Da</b>









## EXTERIOR LANDSCAPE DESIGN

## EXTERIOR BRICK PAVER COORDINATING WITH WALL COLORS

# EXTERIOR BRICK PAVER COORDINATING WITH WALL COLOR

# BUILDING FOOTPRINT

## EXTERIOR BRICK PAVER COORDINATING WITH WALL COLORS

$$30' = 0\frac{1}{2}''$$

## ADA Ramp 1:1

## EXTERIOR BRICK PAVER COORDINATING WITH WALL COLORS

## EXTERIOR CONCRETE

# EXTERIOR LANDSCAPE DESIGN

# EXTERIOR LANDSCAPE DESIGN

Sc:  $3/16'' = 1'-0''$

**19-521 W MAIN ST**

100  
E  
Plan - Ground Floor

# A104

REVIEWED BY \_\_\_\_\_ APPROVED BY \_\_\_\_\_

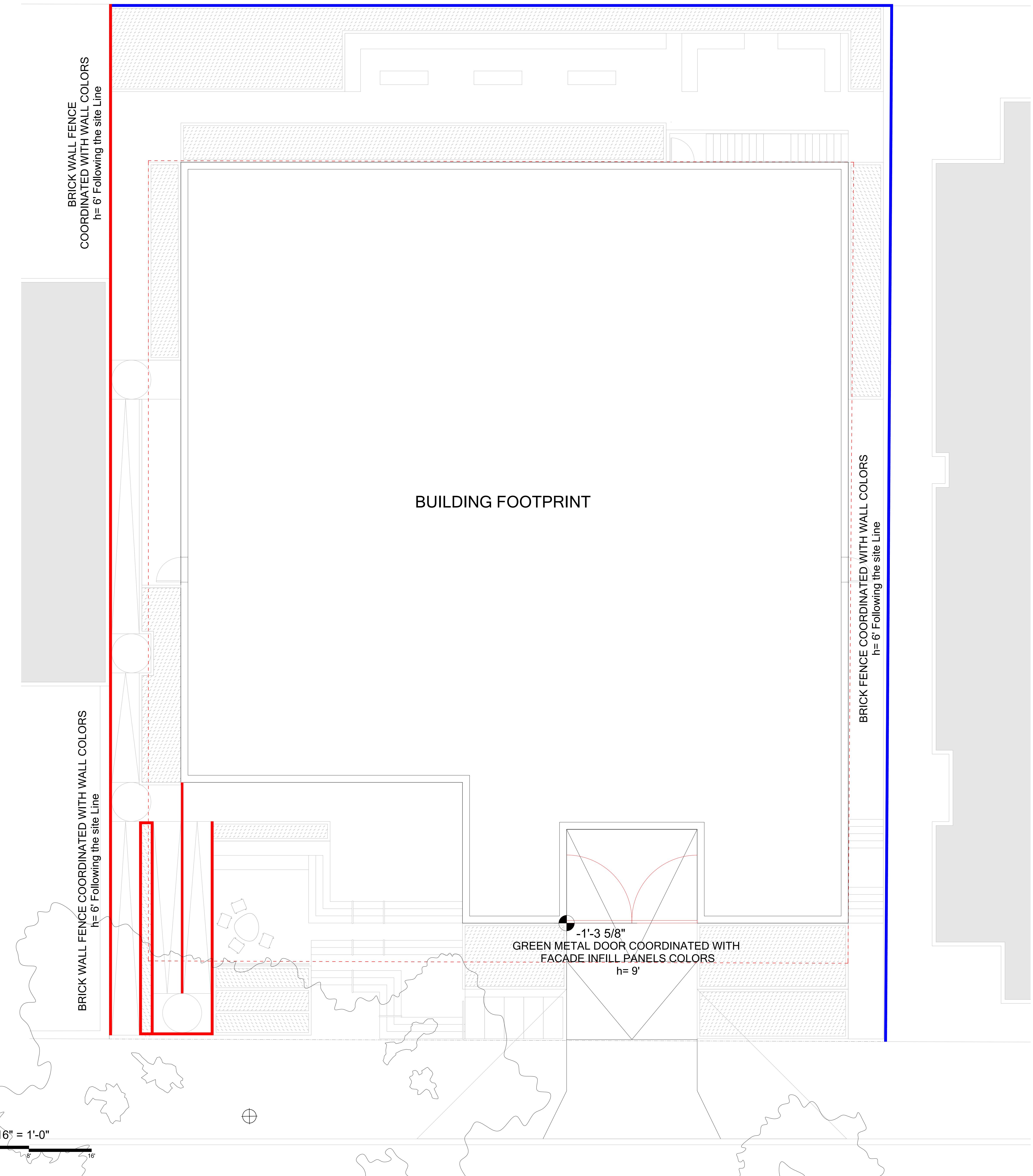
	CHK	APR
SCALE	PAGE FORMAT	

PAGE FORMAT  
- 1' | ARCH E1 (30" X 42")

O.	REVISION	REVISION DATE
	Current Revision	Current Revision Date

## Current Revision | Current Revision Date

BRICK FENCE COORDINATED WITH WALL COLORS  
h= 6' Following the site Line



THE  
NEUTRAL  
PROJECT

OWNER/DEVELOPED  
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EMAIL: dg@neutralproject.com

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FOREFRONT  
STRUCTURAL  
ENGINEERS  
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MEPS + PLUMBING/HVAC  
CONSULTANT  
DBHMS  
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MEPS DESIGN BUILD  
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JT ENGINEERING  
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GEOTECHNICAL  
CONSULTANT  
TERRACON  
CONSULTANTS  
CONTACT: Paul J. Kozarek  
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TEL: 414-648-0252  
EMAIL: paul.kozarek@terracon.com

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3. All dimensions are in feet unless otherwise indicated.  
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ISSUANCES / REVISIONS			
REV.	DATE	REASON FOR REVISION	CHK

SEAL

PROJECT  
519-521 W MAIN ST  
519-521 W MAIN ST  
MADISON, WI

SHEET NAME  
Ground Floor  
Fences Plan

A105

DRAWN BY  
REVIEWED BY  
APPROVED BY

DRW CHK APR

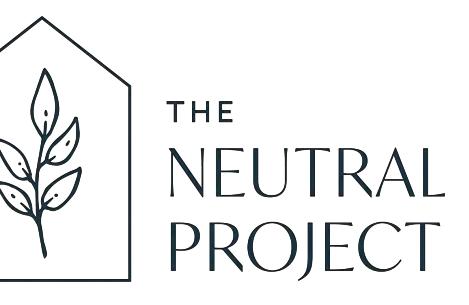
DRAWING SCALE  
3/16" - 1"

PAGE FORMAT  
ARCH E1 (30" X 42")

PROJECT NO. V301 REVISION Current Revision

REVISION DATE Current Revision





THE  
NEUTRAL  
PROJECT

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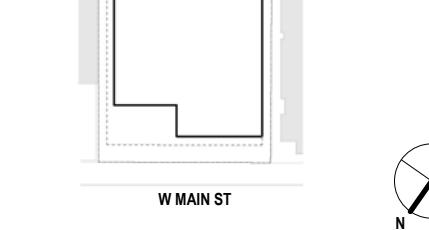
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ISSUANCES / REVISIONS			
REV.	DATE	REASON FOR REVISION	CHK

SEAL

PROJECT  
519-521 W MAIN ST  
519-521 W MAIN ST  
MADISON, WI

SHEET NAME  
Architectural Plan  
Basement Floor

DRAWN BY  
REVIEWED BY  
APPROVED BY

DRW CHK APR

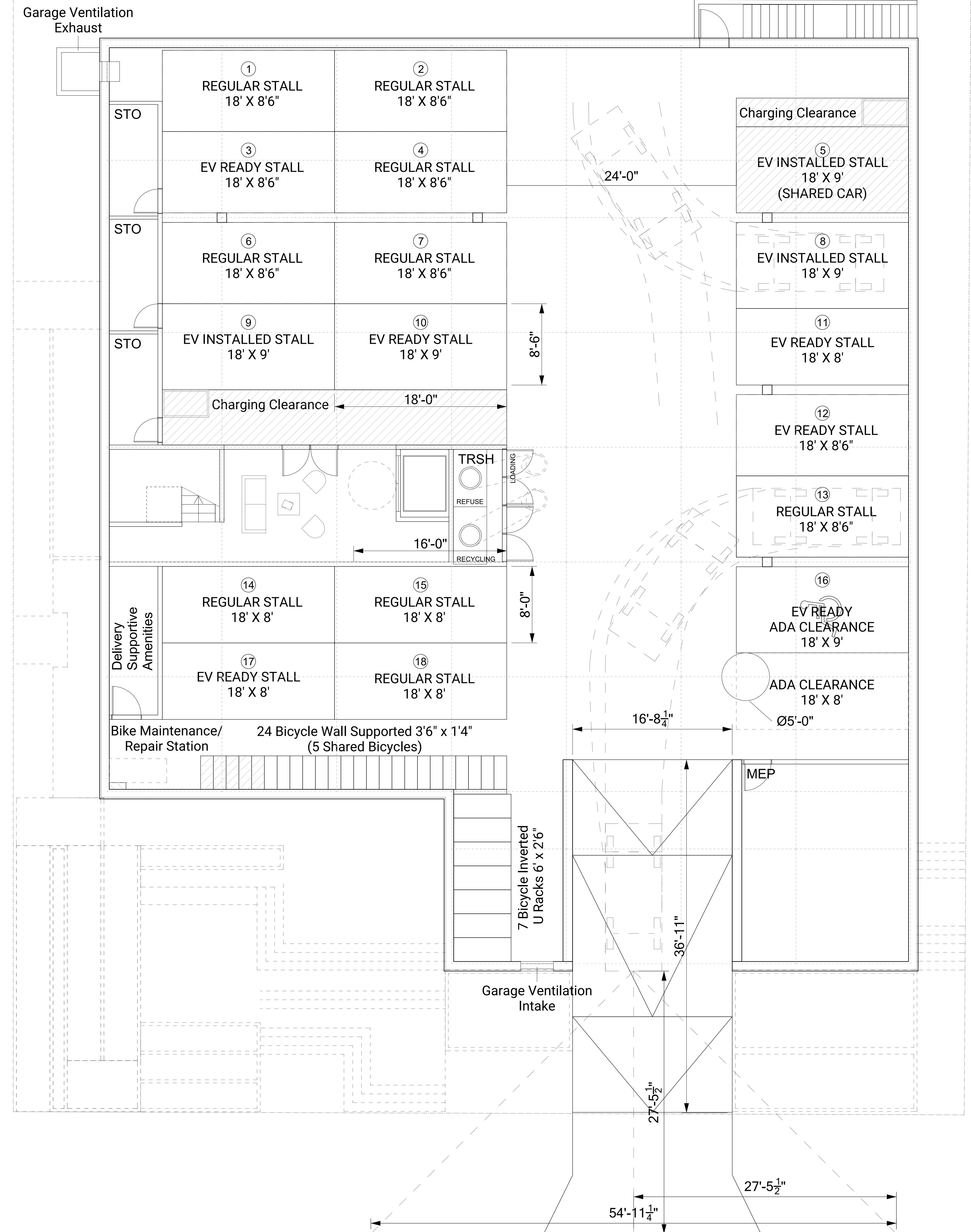
DRAWING SCALE  
3/16" - 1"

PAGE FORMAT  
ARCH E1 (30" X 42")

PROJECT NO. V301 REVISION Current Revision

REVISION DATE Current Revision Date

A107





THE  
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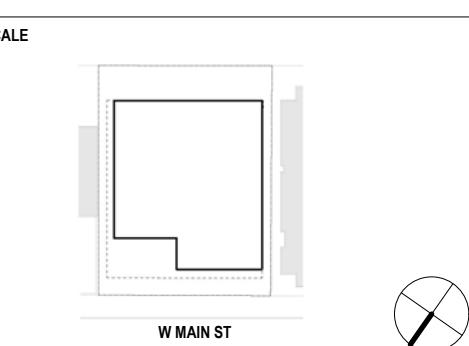
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KEY PLAN



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ISSUANCES / REVISIONS			
REV.	DATE	REASON FOR REVISION	CHK

SEAL

PROJECT  
**519-521 W MAIN ST**  
519-521 W MAIN ST  
MADISON, WI

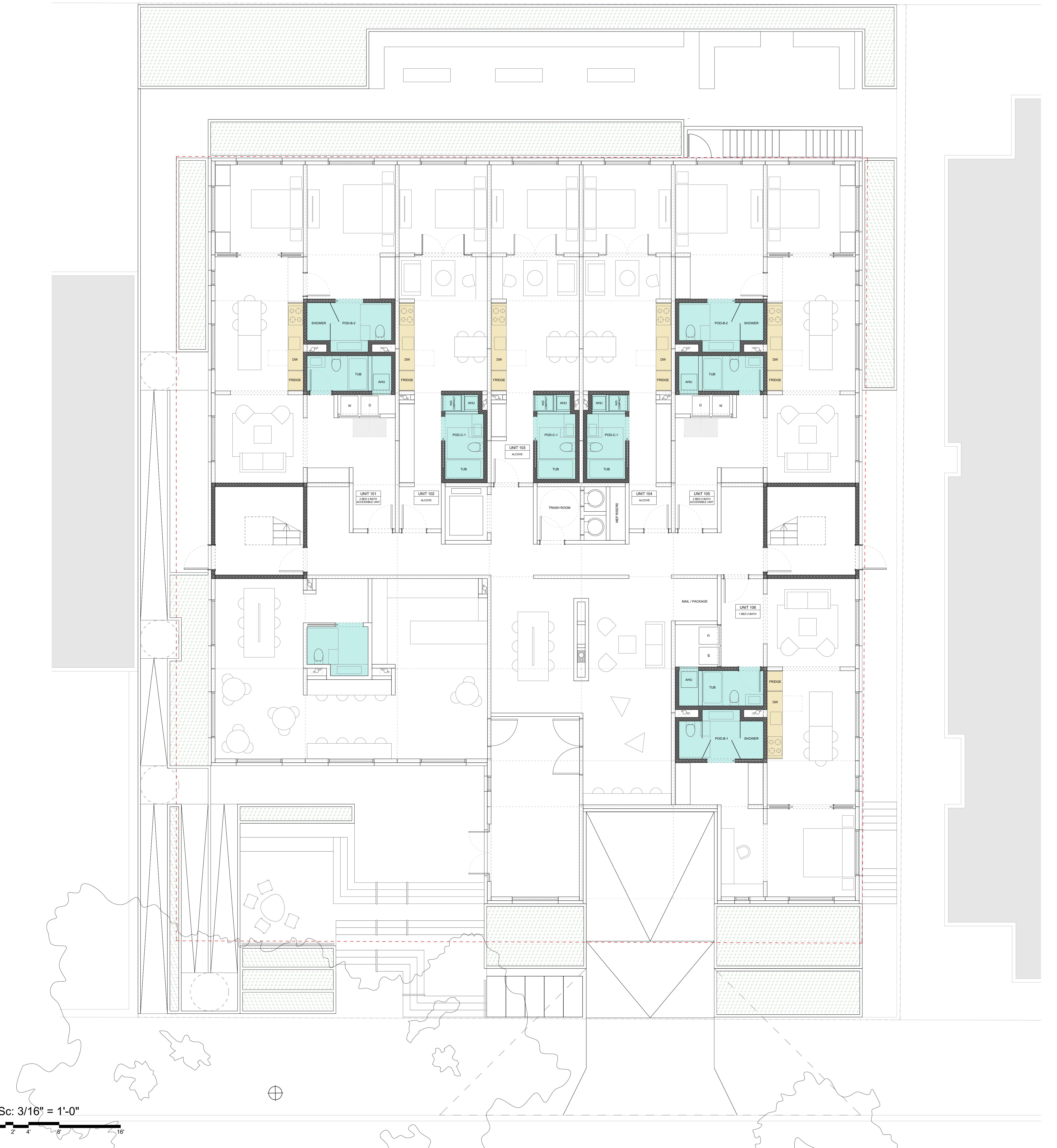
SHEET NAME  
Architectural Plan  
Ground Floor

**A108**

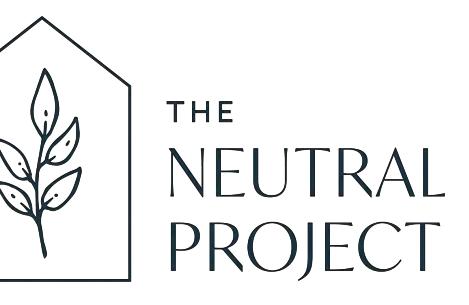
DRAWN BY **CHK** REVIEWED BY **CHK** APPROVED BY **APR**

DRAWING SCALE **3/16" - 1"** PAGE FORMAT **ARCH E1 (30" X 42")**

DRAWING NO. **V301** REVISION **Current Revision** REVISION DATE **Current Revision**







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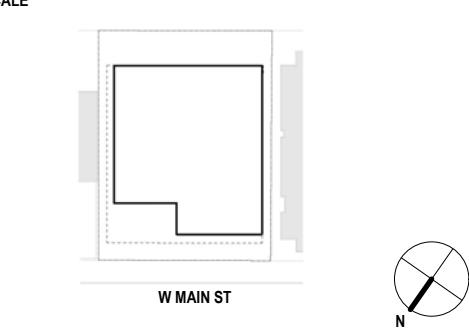
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KEY PLAN



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ISSUANCES / REVISIONS			
REV.	DATE	REASON FOR REVISION	CHK
			SEAL

PROJECT  
519-521 W MAIN ST  
519-521 W MAIN ST  
MADISON, WI

SHEET NAME  
Architectural Plan  
Southeast Elevation

A203

DRAWN BY  
REVIEWED BY  
APPROVED BY  
DRW CHK

DRAWING SCALE  
3/16" - 1"

PAGE FORMAT  
ARCH E1 (30" X 42")

PROJECT NO. V301  
REVISION Current Revision  
REVISION DATE Current Revision Date

MATERIALS	
CO	CONCRETE
BR1	BRICK 1
BR2	BRICK 2
GL	GLASS
MP	METAL PANEL
LM	LOUVERED METAL



Sc: 3/16" = 1'-0"  
0' 2' 4' 8' 16'











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