

18 June 2009

Ms. Rebecca Cnare, ASLA
Planning Unit
City of Madison
215 Martin Luther King Jr. Blvd.
Madison, WI 53701

RE: Certificate of Appropriateness for Historic Rehabilitation Project at 101 East Mifflin Street

Dear Rebecca:

This letter is a request for approval to plans for a comprehensive building rehabilitation to the historic Belmont Hotel, a designated landmark building, located at 101 East Mifflin Street, Madison, WI. The building is owned and operated by the YWCA Madison as administrative headquarters and housing, providing over 100 low income dwelling units. This property was listed on the National Register of Historic Places in 1990. In 1993 the building was added to the local historic register and is a designated Madison Landmark. The property is currently zoned C4 HIS-L.

The goal for the proposed project is to ensure the continued use of the building for YWCA for the foreseeable future and rehabilitate the building according to best historic and green building practices. The proposed rehabilitation project has been reviewed by the Wisconsin State Historic Preservation Office and the United States Department of the Interior, National Park Service and determined to be eligible for historic tax credits. Written approval has been obtained. The owner has identified LEED EB-OM as a project goal and the project scope includes services for the completed project to meet these requirements. Specific details of the work to the building facades and main interior spaces include:

- All exterior brick and stone masonry will be cleaned and re-pointed or reconstructed to the standards of NPS Preservation Briefs #1, 2 and 39. The previously abandoned window openings on the south façade will remain as is at the existing elevator location.
- All non-original window units will be replaced with historically correct, energy efficient units meeting the conditions as approved in the tax credit application.
- Existing wood sash window units, first floor, will be rehabilitated in accordance with Preservation Brief #9.
- Architectural metal exterior elements, lower cornice, pilasters and the main entrance canopy will be carefully rehabilitated and restored to their original appearance.
- The interior public areas of the first floor and corridors of the upper floors will be rehabilitated to preserve existing historic fabric guided by Preservation Brief #18.
- The top, twelfth, floor is not original to the building but it is critical to the operation of the YWCA operations. When this floor was constructed, the main cornice was partially removed to facilitate the installation of the metal mansard roof enclosure of this new floor. At this time, the project scope calls for the rehabilitation of this exterior portion to restore the integrity of the thermal envelope.

- Existing window air conditioning units will be eliminated as part of a complete mechanical upgrade. This system upgrade is being planned with no additional penetrations to the masonry exterior on the primary facades or other facades where visible to the public.

Images and drawings with a more comprehensive written project scope are included for your reference. We believe that this project has great potential, when completed, to be an example of the best synthesis of historic preservation and green building technologies. On behalf of the YWCA Madison, I look forward to the Madison Landmark Commission's input and approval of the project.

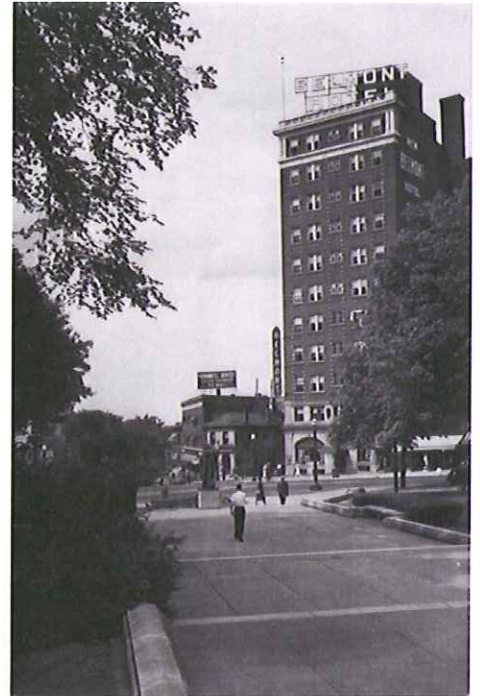
Sincerely,

ISTHMUS ARCHITECTURE, INC.

A handwritten signature in black ink, appearing to read "P. Rött", with a stylized flourish extending from the end.

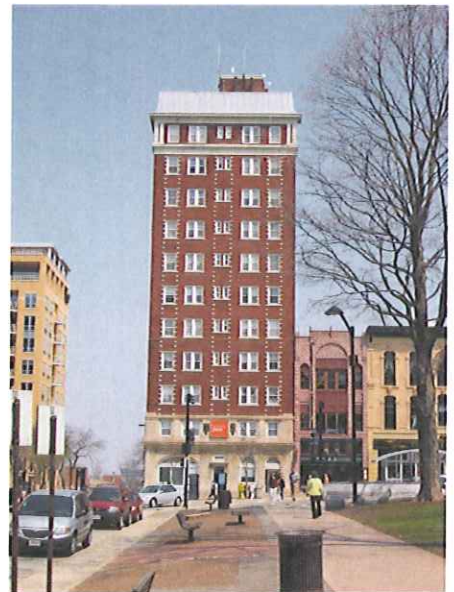
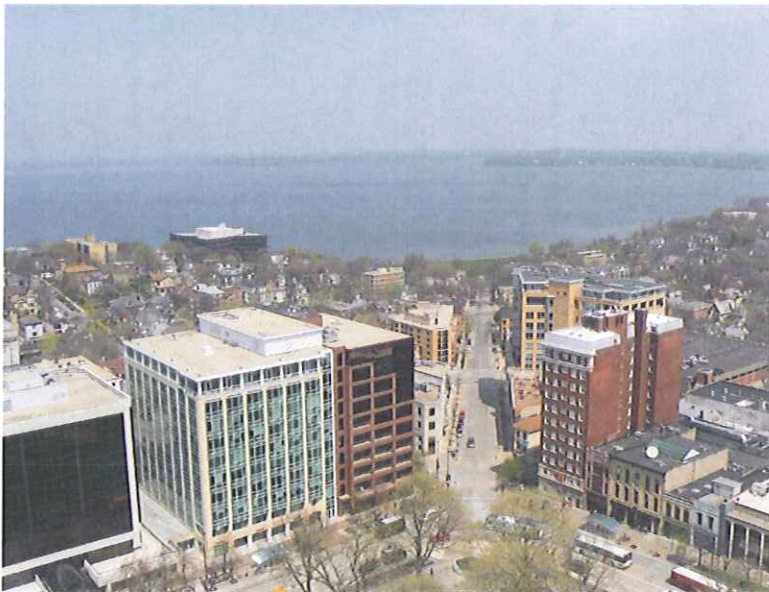
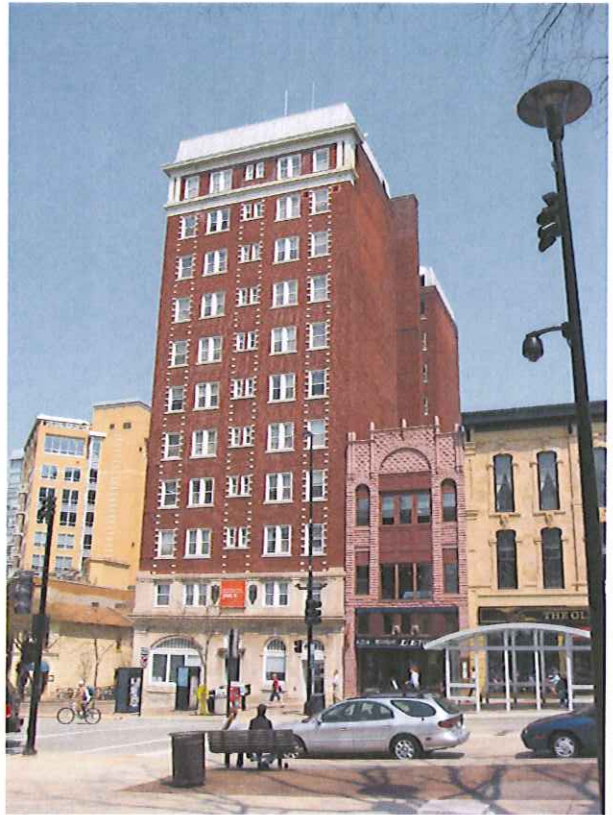
Peter R. Rött, AIA, NCARB
Preservation Architect / Principal

Historic Images



YWCA Madison / Former Belmont Hotel (circa 1950) • 101 East Mifflin Street, Madison, WI.
Images courtesy of WI historical Society

Contemporary Images



YWCA Madison / Former Belmont Hotel • 101 East Mifflin Street, Madison, WI.
Images courtesy of Isthmus Architecture, Inc.

Contemporary Images



YWCA Madison / Former Belmont Hotel • 101 East Mifflin Street, Madison, WI.
Images courtesy of Isthmus Architecture, Inc.

ywca - madison

101 E. Mifflin Street

Building Rehabilitation Project Scope

Background

The YWCA building is a significant downtown Madison building, listed on the National Register of Historic Places since 1990. In 1993 the building was added to the local historic register and is designated a Madison Landmark.

In the spring of 2008, Isthmus Architecture, Inc. was retained by the YWCA of Madison to develop an Exterior & Partial Interior Rehabilitation Plan for the Mifflin Street facility at 101 East Mifflin Street, Madison, Wisconsin. The scope of this study involved an assessment of the exterior envelope of the building, development of scope of rehabilitation work and an estimate of probable costs. Relative to the interior, the scope included the entire first floor and isolated rooms on upper floors 3 - 12.

The proposed rehabilitation of this building will provide the YWCA with a stable, more sustainable, building and a greatly enhanced facility that provides greater comfort and amenities to residents. The completed rehabilitation project will enable the YWCA to more effectively address its mission for the next several decades.

Building Exterior

Due to the current condition, rehabilitation of the exterior of the building is required. The proposed exterior rehabilitation will be implemented in a phased approach over several years, 2009-2011. All proposed exterior work shall conform to the Secretary of the Interiors Standards for Rehabilitation and general standard of care for rehabilitation projects.

- 1) Work designated as "Immediate Needs" would be undertaken first followed by more comprehensive rehabilitation efforts. This immediate work is comprised of stabilization of at least two significant portions of brick masonry located on the exterior just below the roof parapet on the east and the south building elevations where there is visual evidence of deterioration. The brick facade between the 11th floor and 12th floor is bulging outward significantly at these locations and represents an immediate public safety concern.
- 2) Rehabilitation of all remaining exterior elements would be next, including additional work on all roof systems, masonry walls, exterior doors and windows to provide a weather tight enclosure. This scope of work will include the rehabilitation and replacement of all window units, rehabilitation of the entrance canopy, comprehensive masonry restoration including repointing of approximately 70% of the brick

exterior. Additionally, the failing flashing condition that exists at the basement and street sidewalk will be corrected.

Building Interior

The interior rehabilitations of the first floor and a portion of the twelfth floor focus on the business operations. This proposed work will maximize the number of offices and enhance efficiency of working space while retaining the historic character of what was once the first floor Lobby of the New Belmont Hotel.

The proposed interior work on the third through twelfth floors rehabilitates residential units and sleeping rooms. These floors, which are identical and have undergone earlier renovation, will be reconfigured to improve function.

- 1) The interior rehabilitation will focus on the reconfiguration of the first floor to improve efficiency, eliminate underutilized floor space and provide for accessibility to all spaces.
- 2) The recommendation for the living units on floors 3 and 4 is that they be rehabilitated into more desirable rental units, providing appropriate amenities, meeting minimum fair housing standards and creating some accessible units.
- 3) Two elevators exist in the building. The elevators will be upgraded to meet current building code and functional standards and the cab interior finishes will be upgraded.
- 4) All floors will be provided accessibility upgrades insofar as is possible within the limitations of the project, to increase the function and appeal of the facility.
- 5) Upgrade climate control on major portions of upper floors by the addition of air conditioning where it does not exist and upgrading the air conditioning systems already in place.
- 6) Upgrade building boiler and heating system including new controls.
- 7) Plumbing upgrade to toilet and bath rooms will include replacement of all plumbing fixtures and fittings with more efficient fixtures and universally accessible fittings.
- 8) Electrical upgrade to residential units and sleeping rooms will include the complete replacement of all fixtures and devices, as well as, increasing the level of service where lacking. Special consideration will be given to child safety devices in these areas. Public areas will be comprehensively upgraded. The goal of the project is to ensure an energy-wise and efficient system throughout the building.



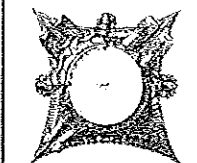
YWCA-MADISON BUILDING REHABILITATION

101 EAST MIFFLIN STREET
MADISON, WISCONSIN

DRAWINGS FOR THIS PROJECT CONSIST OF ARCHITECTURAL AND STRUCTURAL DRAWINGS. MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DRAWINGS AND SPECIFICATIONS ARE NOT INCLUDED, HOWEVER, PARTICULAR REQUIREMENTS OF THESE DISCIPLINES AS RELATED TO THIS PROJECT ARE INDICATED.

ISTHMUS
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SITE & BUILDING INFORMATION

LOT SIZE: 5,280 SQUARE FEET	BUILDING AREAS (GROSS SF)
ZONING: C4HS-L	Sub-basement 2,261
BUILDING LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES - 1990.	Basement 6,653
JURISDICTIONAL CODES: 2009 IBC AS ADOPTED BY THE STATE OF WISCONSIN and SECRETARY OF THE INTERIOR, STANDARDS FOR HISTORIC PRESERVATION	First Floor 5,183
ALTERATIONS - LEVEL 3, PER CHAPTERS 3, 6, 7, 8, 11 OF IBCO.	Second - Eleventh Floors 4,651
USE & OCCUPANCY: R2 (BC)	Twelfth Floor 4,415
FIRE PROTECTION SYSTEM: Per NFPA, FULLY SPRINKLERED	Total square footage 67,022

SELECTIVE REMOVAL

THIS PHASE ENCOMPASSES THE REMOVAL OF EXISTING BUILDING AND SITE ELEMENTS, COMPONENTS, SUB-COMPONENTS AND MATERIALS.

THE PROCESS INCLUDES: CAREFULLY IDENTIFYING, EXAMINING, DOCUMENTING, PROTECTING, DISASSEMBLING, TRANSPORTING AND STORING EXISTING BUILDING AND SITE ELEMENTS, COMPONENTS, SUB-COMPONENTS AND MATERIALS FOR THE PURPOSE OF REMOVAL, SALVAGE, REPLICATION, REINSTALLATION OR DISPOSAL.

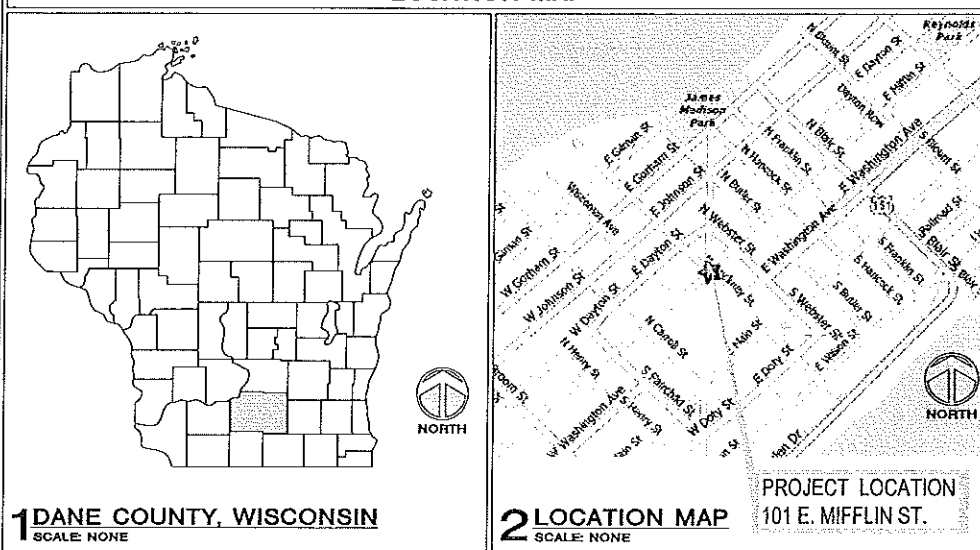
PROJECT TEAM

OWNER	ARCHITECT	CONTRACTOR
YWCA-MADISON 101 EAST MIFFLIN STREET MADISON, WI 53703 PHONE: 608-257-1439 FAX: 608-257-1439 CONTACT: EILEEN MERSHART EMAIL: mersharto@ywcamadison.org	ISTHMUS ARCHITECTURE INC. 613 WILLIAMSON STREET SUITE 203 MADISON, WISCONSIN 53703 PHONE: 608-294-0206 FAX: 608-294-0207 CONTACT: PETER ROTT, AIA EMAIL: rottele@isthmus.com	VOGEL BROTHERS BUILDING COMPANY 2701 PACKERS AVENUE MADISON, WISCONSIN 53707 PHONE: 608-241-5454 FAX: 608-241-5456 CONTACT: DAVID TORKELSON EMAIL: dtorkelson@vogelbig.com

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LOCATION MAP



YWCA
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Drawn By: JP

Date: 2/25/09

Rebid Date:

Rev. Date:

TITLE SHEET

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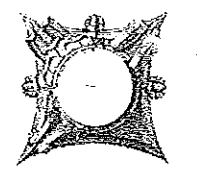
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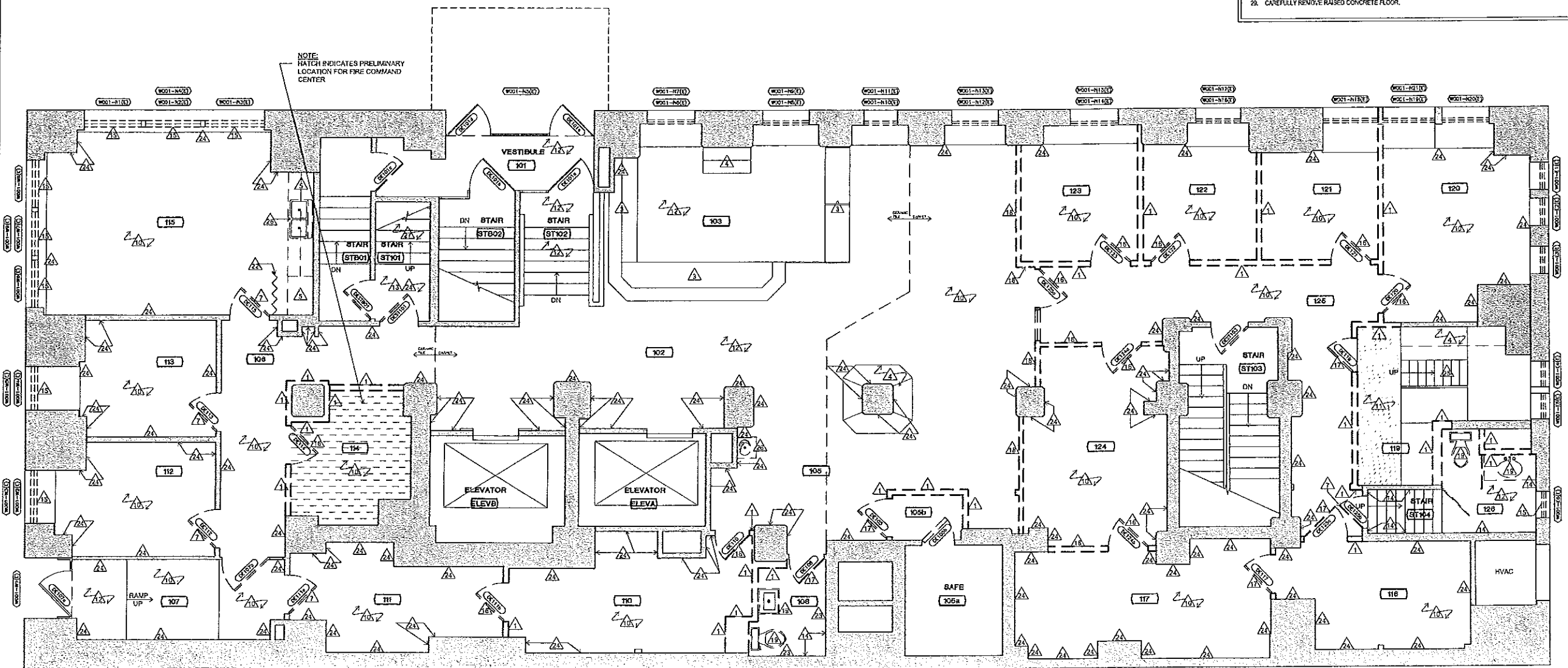
- SELECTIVE REMOVAL NOTES 1-50**
- CAREFULLY REMOVE & DISCARD INTERIOR PARTITION FROM FLOOR TO CEILING
 - CAREFULLY REMOVE & DISCARD ACOUSTICAL CEILING TILE, ACRYLIC PANELS, TRACK, SUPPORTS, LIGHT FIXTURES AND ALL ASSOCIATED COMPONENTS TO PLASTER CEILING
 - CAREFULLY REMOVE & SALVAGE CIRCULATION DESK. TURN OVER TO OWNER
 - CAREFULLY REMOVE ALL EXISTING FIXED AND BUILT-IN WOOD/METAL CASEWORK, SHELVING, EQUIPMENT, AND FURNITURE, AND ALL ASSOCIATED COMPONENTS, SUPPORTS AND ANCHORS. TURN OVER TO OWNER
 - CAREFULLY REMOVE & DISCARD BUILT-IN CABINETRY AND COUNTERTOPS AND ALL ASSOCIATED COMPONENTS, SUPPORTS, AND ANCHORS
 - ROUTE PLASTER CEILING FOR NEW ELECTRICAL CONDUIT & JUNCTION BOXES
 - IDENTIFY, TAG, AND CAREFULLY REMOVE WOOD DOOR FOR REUSE. PROTECT DOOR FRAME AND CASING IN PLACE. REFER TO DOOR SCHEDULE ON SHEET A1A1
 - CAREFULLY REMOVE & DISCARD STRIP LIGHT FIXTURES AND ASSOCIATED WIRING, CONDUIT AND JUNCTION BOXES
 - CAREFULLY REMOVE & DISCARD SURFACE MOUNTED LIGHT FIXTURE AND ASSOCIATED WIRING, CONDUIT AND JUNCTION BOXES
 - CAREFULLY REMOVE CARPET FROM FLOOR THROUGHOUT ENTIRE ROOM
 - CAREFULLY REMOVE CONCRETE SLABS AS INDICATED ON FLOOR PLAN. SEE POCKET KEY
 - CAREFULLY REMOVE & DISCARD CERAMIC TILE FLOORING AS INDICATED
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 - CAREFULLY REMOVE AND DISCARD FOLDING PARTITION
 - CAREFULLY REMOVE CERAMIC WALL BASE
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 - CAREFULLY REMOVE WOOD STAIR TREADS, STRINGERS AND HANDRAIL
 - CAREFULLY REMOVE AND RECYCLE PLUMBING FIXTURE AND FITTINGS TO BE REPLACED WITH NEW
 - CAREFULLY REMOVE RUBBER TREADS AND RISERS
 - CAREFULLY REMOVE WINDOW GUARD
 - CAREFULLY REMOVE RAISED CONCRETE FLOOR

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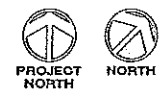
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FIRST FLOOR - SELECTIVE REMOVAL	
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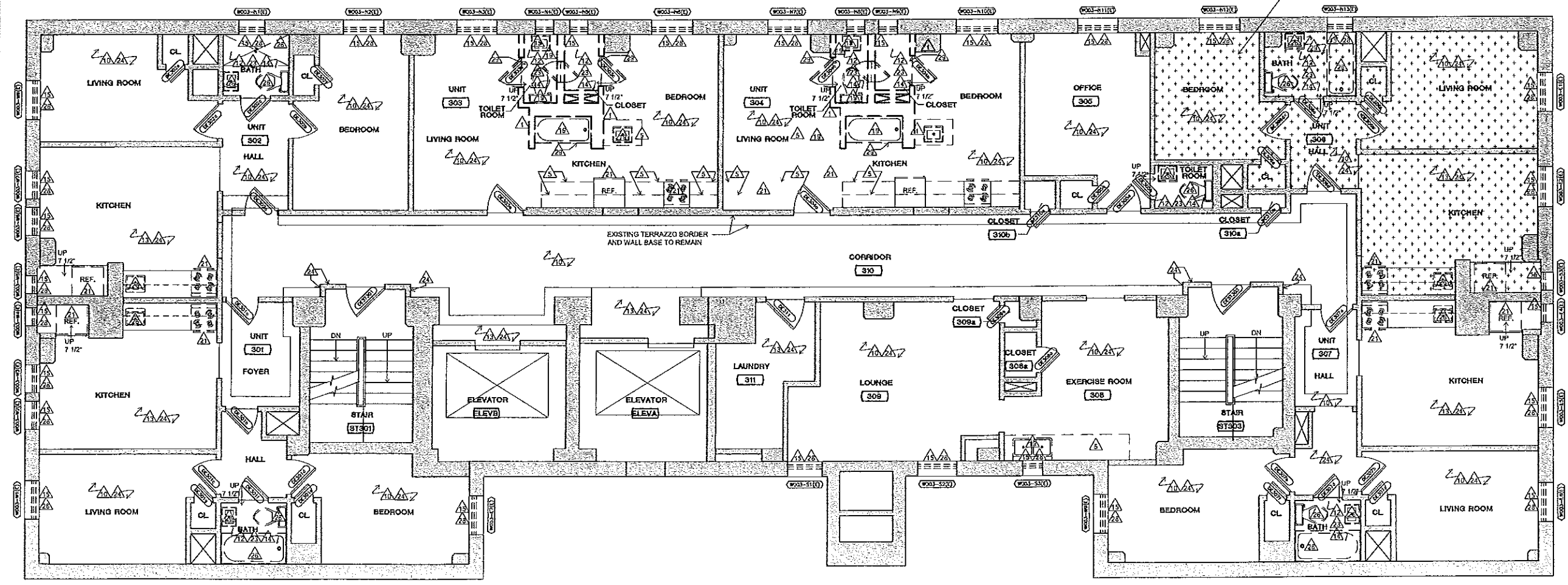
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SELECTIVE REMOVAL NOTES 1-50

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29. CAREFULLY REMOVE RAISED CONCRETE FLOOR.

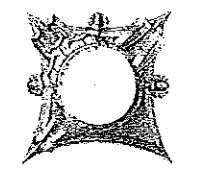
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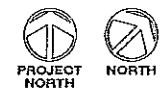
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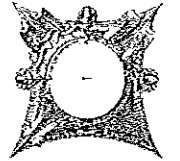
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REMOVAL
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Sheet No.

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THIRD FLOOR - SELECTIVE REMOVAL
Scale: 1/4"=1'-0"





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Date: 2/25/09

Rebid Date:

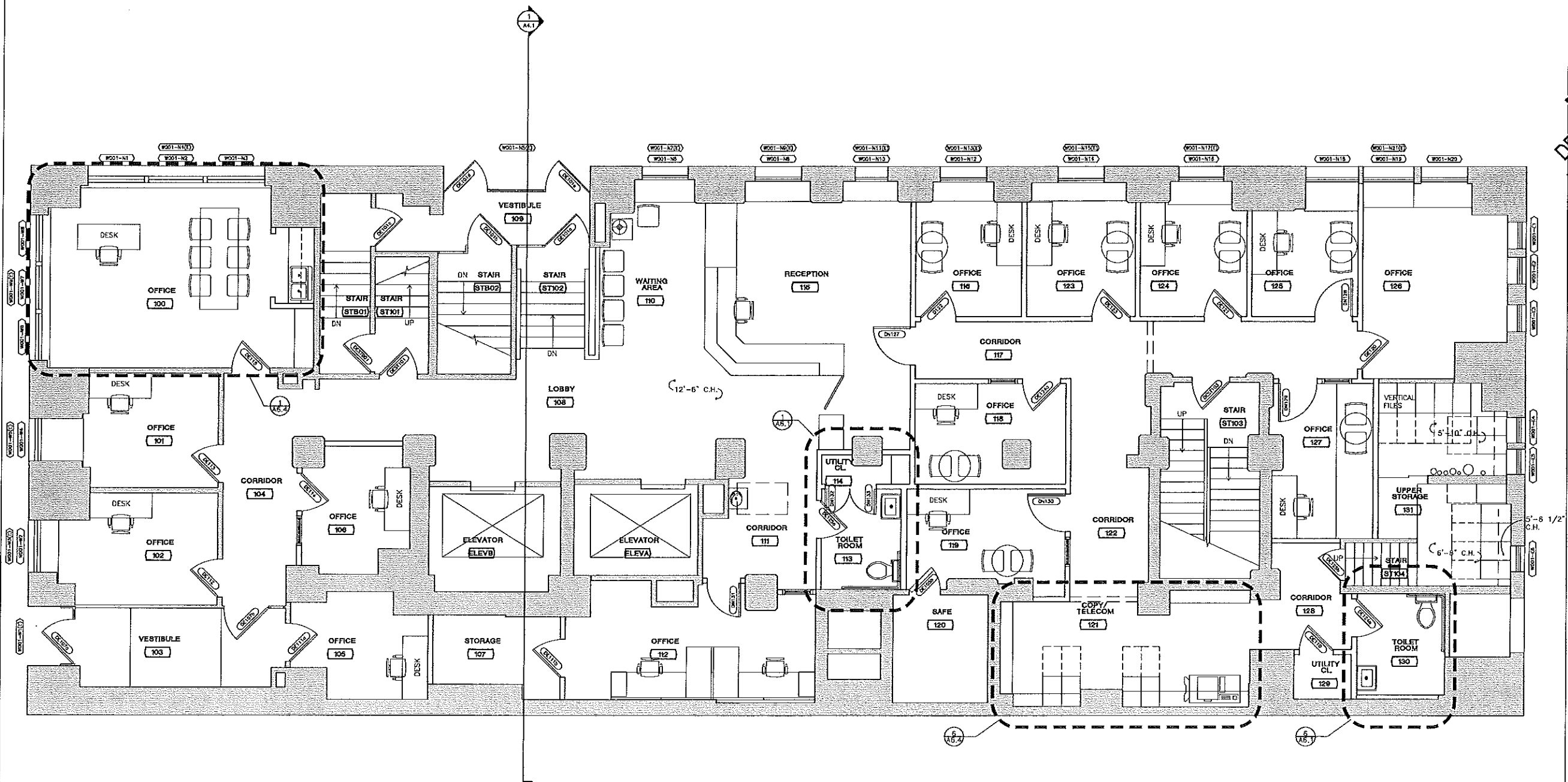
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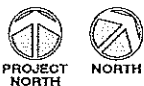
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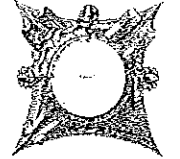
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1 FIRST FLOOR
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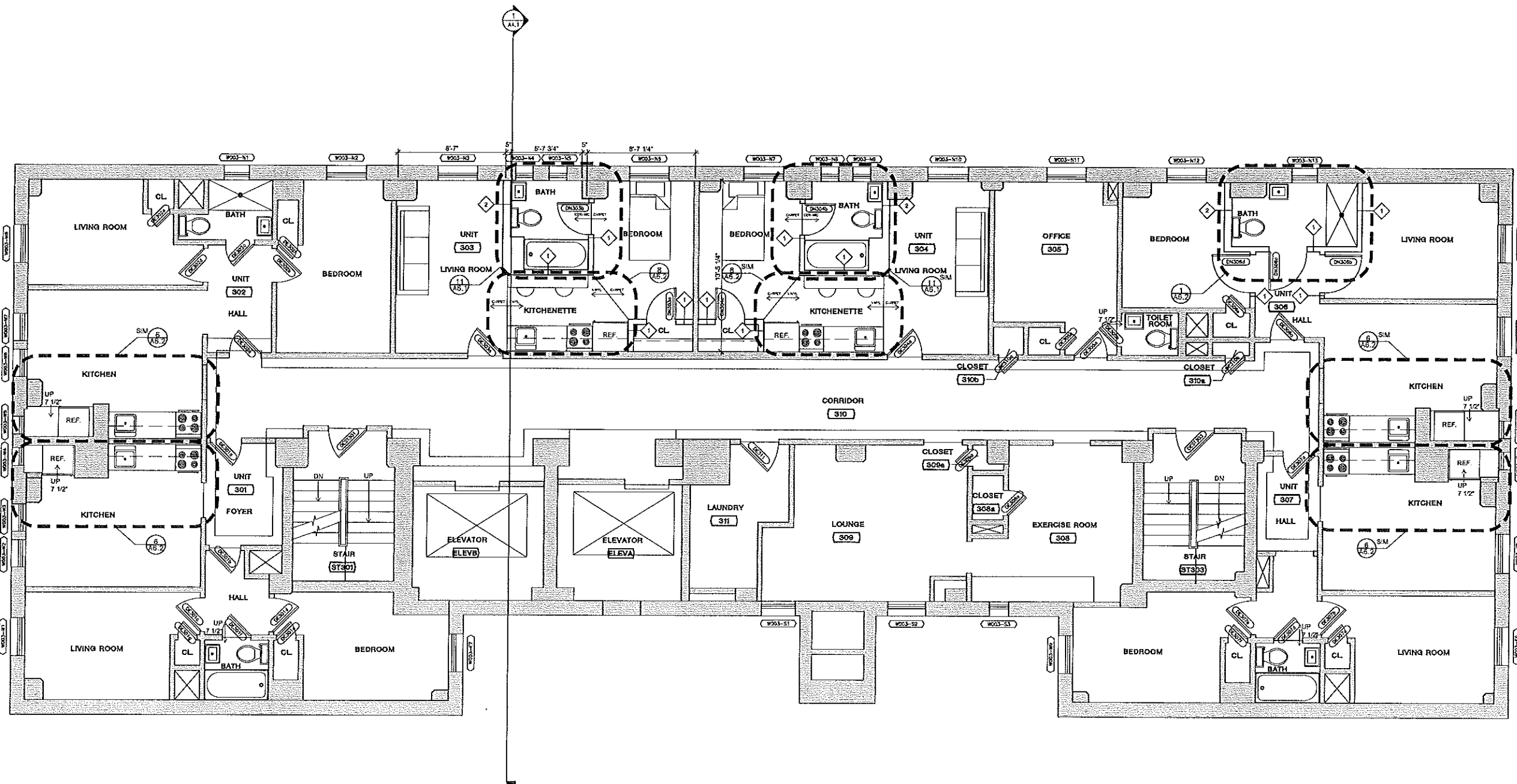
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Date: 2/25/09
Rebid Date:
Rcv. Date:

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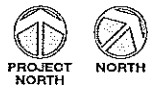
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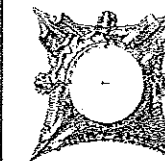
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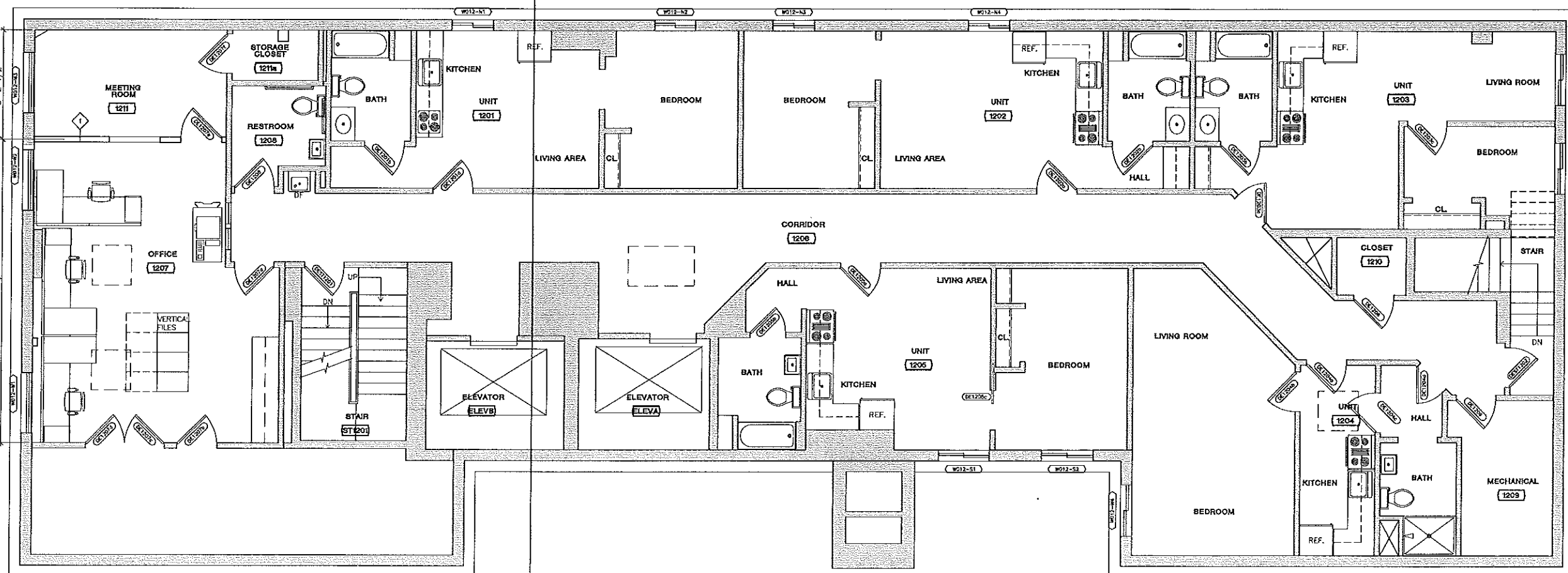
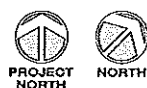
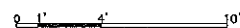
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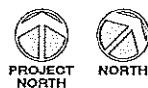


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2 PENTHOUSE
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1 TWELFTH FLOOR
Scale: 1/4"=1'-0"



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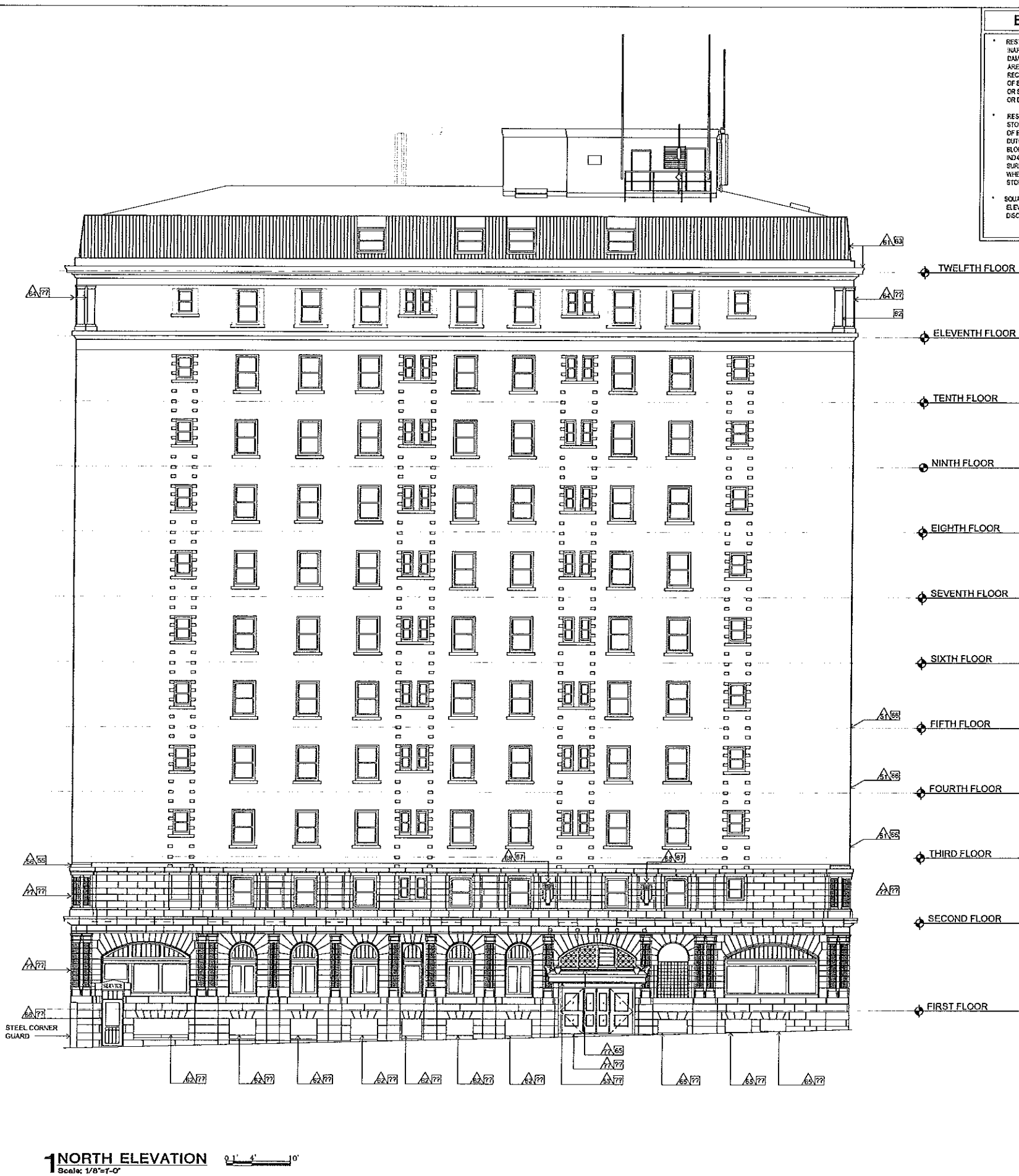
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Drawn By:	JP
Date:	2/25/09
Rebid Date:	
Rev. Date:	

TWELFTH FLOOR

Sheet Title

Sheet No:

A2.12



EXTERIOR GENERAL NOTES

- RESTORE ALL BRICK MASONRY. REPOINT JOINTS WITH MISSING, DETERIORATED OR INAPPROPRIATE MORTAR (SEVENTY FIVE PERCENT). USE RECYCLED BRICK TO REPLACE DAMAGED BRICK AND INAPPROPRIATE REPLACEMENT BRICK. RECYCLE BRICK FROM AREAS IDENTIFIED ON THE ELEVATION SHEETS. PROVIDE NEW BRICK TO REPLACE THE RECYCLED BRICK. THE NEW BRICK WILL MATCH COLOR, TEXTURE, AND ABSORPTION RATE OF EXISTING BRICK. REMOVE ALL UNUSED METAL FASTENERS OR ANCHORS EMBEDDED OR SURFACE MOUNTED. REBUILD AREAS WHERE EXISTING BRICK IS SEVERELY CRACKED OR DISPLACED. PATCH MISCELLANEOUS SMALL HOLES. CLEAN ALL BRICKWORK.
- RESTORE ALL STONE MASONRY. REPOINT ALL MORTAR JOINTS. REPLACE EXISTING STONE BLOCKS WITH NEW STONE BLOCKS THAT MATCH COLOR, TEXTURE AND PROFILE OF EXISTING WHERE INDICATED. REPAIR PORTIONS OF STONE BLOCKS WITH STONE OUTCHISEN TO MATCH ADJACENT STONE WHERE INDICATED. CONSOLIDATE STONE BLOCKS WHERE INDICATED. CONSOLIDATE AND PATCH STONE BLOCKS WHERE INDICATED. REMOVE ALL UNUSED METAL FASTENERS OR ANCHORS EMBEDDED OR SURFACE MOUNTED. REBUILD FACES. FILL CRACKS AND PATCH HOLES IN EXISTING STONE WHERE INDICATED. RESET DISPLACED STONE BLOCKS WHERE INDICATED. CLEAN ALL STONEWORK.
- SQUARE FEET OR DIMENSIONS SHOWN IN AREAS OF WORK INDICATED ON THE ELEVATIONS ARE APPROXIMATE. THE NEED FOR MORE OR LESS WORK MAY BE DISCOVERED ONCE WORK HAS BEGUN IN EACH AREA.

SELECTIVE REMOVAL NOTES 51-100

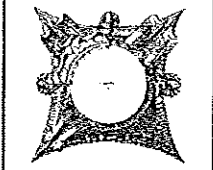
- REMOVE AND DISCARD ALL UNUSED METAL FASTENERS, ANCHORS AND STRAPS EMBEDDED OR SURFACE MOUNTED.
- CAREFULLY REMOVE EXISTING BRICK FROM AREAS IDENTIFIED ON EXTERIOR ELEVATION SHEETS. DO NOT REMOVE HEADER COURSES. REMOVE ALL MORTAR AND SET ASIDE FOR REUSE.
- CAREFULLY REMOVE AND DISCARD SEVERELY DAMAGED BRICK WITHOUT DAMAGING SURROUNDING MASONRY.
- CAREFULLY REMOVE AND DISCARD INAPPROPRIATE REPLACEMENT BRICK.
- CAREFULLY REMOVE EXISTING FACE BRICK THAT HAS BECOME LOOSE OR DISPLACED. REMOVE ALL MORTAR AND SET ASIDE FOR REUSE.
- CAREFULLY REMOVE EXISTING DAMAGED STONE.
- REMOVE AND DISCARD EXISTING LOUVER.
- CAREFULLY REMOVE EXISTING CAST IRON AND PRESSED METAL CANOPY. SET ASIDE AND PROTECT FOR RESTORATION.
- COMPLETELY REMOVE ALL SEALANT FROM STEEL LINTELS ABOVE WINDOWS.
- COMPLETELY REMOVE SEALANT FROM MASONRY WALLS WHERE SEALANT HAS BEEN USED OVER EXISTING MORTAR.
- REMOVE EXISTING METAL PANELS TO EXPOSE THRU WALL FLASHING.
- REMOVE EXISTING CEMENTITIOUS FINISH TO SUBSTRATE MATERIAL.
- REMOVE EXISTING DOWN SPOUT AND SCRAPER.
- REMOVE EXISTING SHEET METAL COLUMN.
- REMOVE PLYWOOD INFILL.
- REMOVE EXISTING WOOD DOOR.
- REMOVE EXISTING METAL PANEL, COPING FLASHING AND INTERIOR FINISHES FOR NEW WINDOW OPENING.
- REMOVE EXISTING COPPER MEDALLION.

REPAIR NOTES 51-100

- REPLACE EXISTING BRICK WITH NEW BRICK THAT MATCHES COLOR, TEXTURE AND ABSORPTION RATE OF EXISTING BRICK AS SELECTED BY THE ARCHITECT. TOOTH NEW BRICK INTO EXISTING.
- REPLACE SEVERELY DAMAGED BRICK WITH BRICK RECYCLED FROM AREA IDENTIFIED ON ELEVATIONS.
- REINSTALL BRICK THAT HAS BEEN REMOVED BECAUSE BRICK HAS BEEN DISPLACED OR THE MORTAR WAS SEVERELY DETERIORATED. RETURN WALL TO ORIGINAL MASONRY DESIGN.
- INSTALL BRICK RECYCLED FROM AREA IDENTIFIED ON ELEVATIONS.
- REPLACE STONE BLOCK WITH NEW STONE BLOCK THAT MATCHES COLOR AND TEXTURE OF EXISTING STONE.
- REPAIR PORTIONS OF STONE BLOCK WITH NEW STONE OUTCHISEN TO MATCH COLOR AND TEXTURE OF EXISTING STONE.
- TREAT STONE WITH CONSOLIDATION TREATMENT WHERE INDICATED.
- FILL CRACKS AND PATCH STONE WHERE INDICATED.
- REBUILD FACE OF EXISTING STONE BLOCK WHERE INDICATED.
- RESET STONE BLOCKS AND REANCHOR AS NECESSARY WHERE INDICATED.
- PROVIDE NEW STONE SILL.
- PROVIDE NEW SHEET METAL COLUMN TO MATCH EXISTING SHEET METAL COLUMN AT THE NORTH WEST CORNER OF THE BUILDING WHERE THE ORIGINAL COLUMN IS MISSING.
- REPAIR OR REPLACE EXISTING THROUGH WALL FLASHING AS REQUIRED FOR A FUNCTIONAL WATER MANAGEMENT SYSTEM. REPAIR, REFINISH OR REPLACE AND INSTALL METAL PANELS, METAL COPING, METAL FLASHING AND METAL CORNICE CUTTER LNER AS REQUIRED FOR A WEATHER TIGHT BUILDING ENVELOPE.
- REPAIR OR REPLACE EXISTING THROUGH WALL FLASHING AS REQUIRED FOR A FUNCTIONAL WATER MANAGEMENT SYSTEM. REPAIR, REFINISH OR REPLACE AND INSTALL METAL PANELS, METAL COPING AND METAL FLASHING AS REQUIRED FOR A WEATHER TIGHT BUILDING ENVELOPE.
- EXISTING TRANSOM WINDOW SASH TO REMAIN. STRIP WOOD AND GLASS OF PAINT. REBUILD SASH AND FRAME AS NEEDED TO ACHIEVE A TIGHT FITTING WEATHER PROOF JOINT. PROVIDE A NEW WOOD SASH IN OPENING CREATED BY REMOVING EXISTING LOUVER. MATCH CONSTRUCTION OF ADJOINING SASH. REGLAZE BROKEN OR MISSING GLASS.
- FILL CRACKS IN BRICKWORK. PATCH MISCELLANEOUS SMALL HOLES.
- CLEAN AND REINSTALL COPPER MEDALLION AFTER MASONRY WORK IS COMPLETED.

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613 Williamson Street
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Madison, WI 53703
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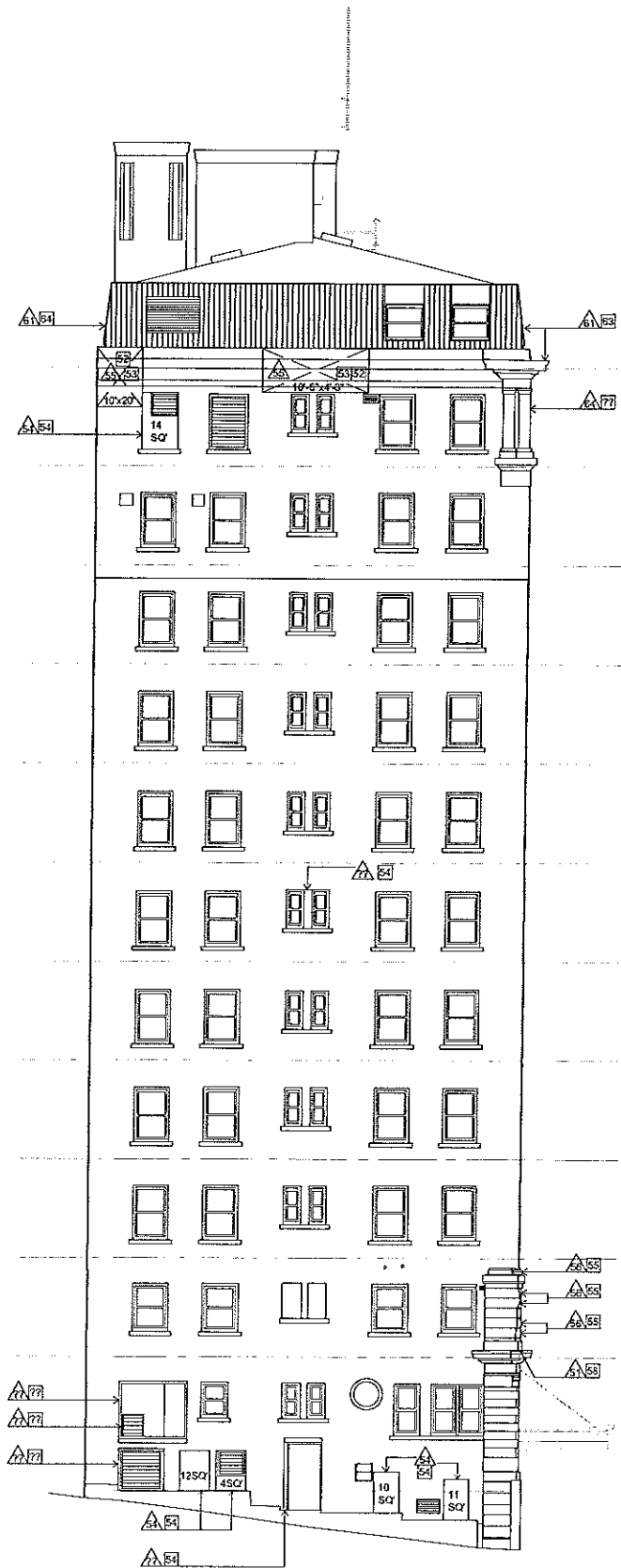
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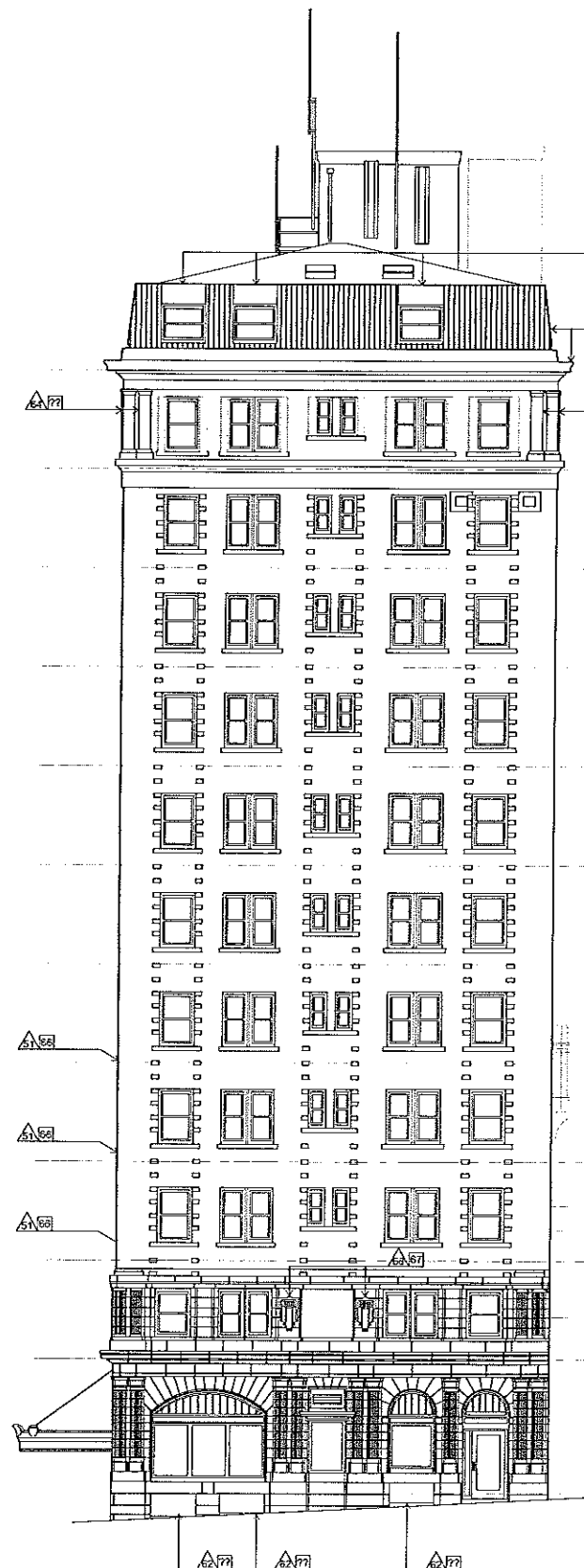
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Date: 2/25/09
Rebid Date:
Rev. Date:
EXTERIOR ELEVATION
Sheet Title

Sheet No:
A3.0

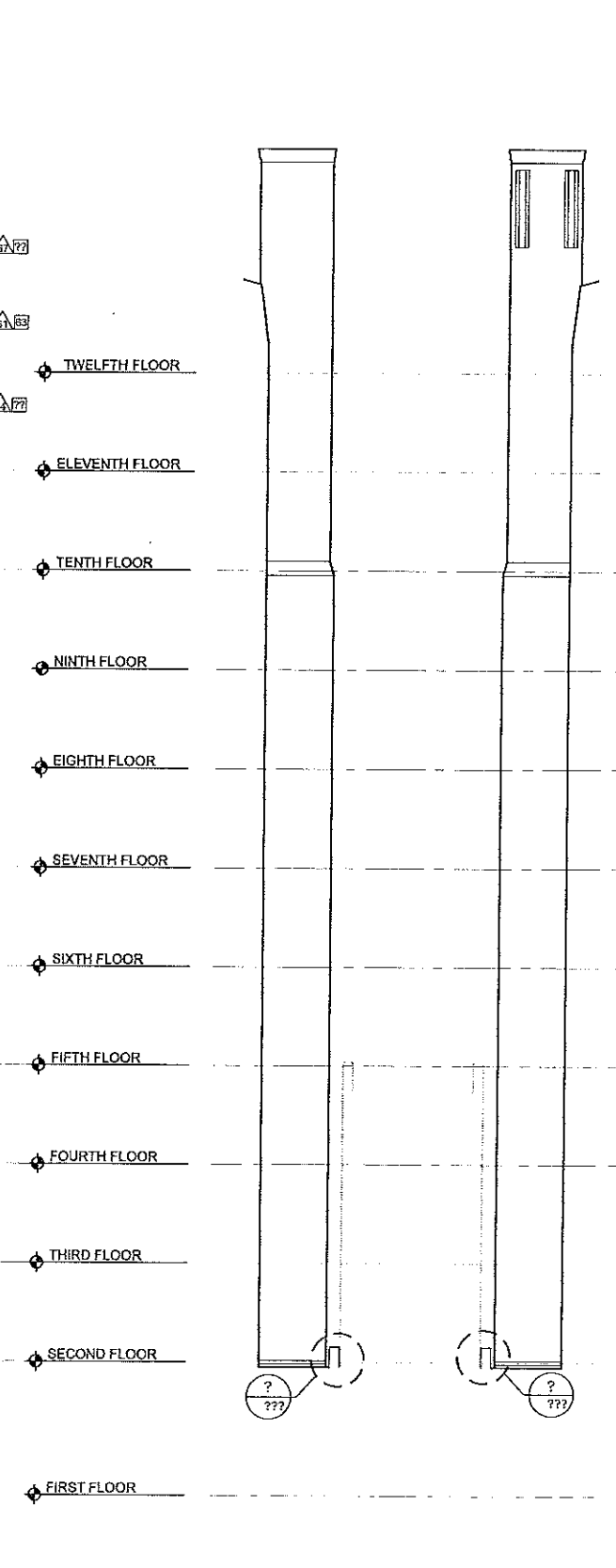
↑ NORTH ELEVATION
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1 EAST ELEVATION
Scale: 1/8"=1'-0"



2 WEST ELEVATION
Scale: 1/8"=1'-0"



3 EAST & WEST CHIMNEY RETURNS
Scale: 1/8"=1'-0"

SELECTIVE REMOVAL NOTES
51-100

- 51 REMOVE AND DISCARD ALL UNUSED METAL FASTENERS, ANCHORS AND STRIPS EMBEDDED OR SURFACE MOUNTED
- 52 CAREFULLY REMOVE EXISTING BRICK FROM AREAS IDENTIFIED ON EXTERIOR ELEVATION SHEETS. DO NOT REMOVE HEADER COURSES. REMOVE ALL MORTAR AND SET ASIDE FOR REUSE
- 53 CAREFULLY REMOVE AND DISCARD SEVERELY DAMAGED BRICK WITHOUT DAMAGING SURROUNDING MASONRY
- 54 CAREFULLY REMOVE AND DISCARD INAPPROPRIATE REPLACEMENT BRICK
- 55 CAREFULLY REMOVE EXISTING FACE BRICK THAT HAS BECOME LOOSE OR DISPLACED. REMOVE ALL MORTAR AND SET ASIDE FOR REUSE
- 56 CAREFULLY REMOVE EXISTING DAMAGED STONE
- 57 REMOVE AND DISCARD EXISTING LOUVER
- 58 CAREFULLY REMOVE EXISTING CAST IRON AND PRESSED METAL CANOPY. SET ASIDE AND PROTECT FOR RESTORATION
- 59 COMPLETELY REMOVE ALL SEALANT FROM STEEL LATELS ABOVE WINDOWS
- 60 COMPLETELY REMOVE SEALANT FROM MASONRY WALLS WHERE SEALANT HAS BEEN USED OVER EXISTING MORTAR
- 61 REMOVE EXISTING METAL PANELS TO EXPOSE THRU WALL FLASHING
- 62 REMOVE EXISTING CEMENTITIOUS FINISH TO SUBSTRATE MATERIAL
- 63 REMOVE EXISTING DOWN SPOUT AND SCUPPER
- 64 REMOVE EXISTING SHEET METAL COLUMN
- 65 REMOVE PLYWOOD INFILL
- 66 REMOVE EXISTING WOOD DOOR
- 67 REMOVE EXISTING METAL PANEL, CAP, FLASHING AND INTERIOR FINISHES FOR NEW WINDOW OPENING
- 68 REMOVE EXISTING COPPER MEDALLION

REPAIR NOTES 51-100

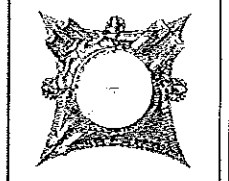
- 51 REPLACE EXISTING BRICK WITH NEW BRICK THAT MATCHES COLOR, TEXTURE AND ABSORPTION RATE OF EXISTING BRICK AS SELECTED BY THE ARCHITECT. TOOTH NEW BRICK INTO EXISTING
- 52 REPLACE SEVERELY DAMAGED BRICK WITH BRICK RECYCLED FROM AREA IDENTIFIED ON ELEVATIONS
- 53 REINSTALL BRICK THAT HAS BEEN REMOVED BECAUSE BRICK HAS BEEN DISPLACED OR THE MORTAR WAS SEVERELY DETEIORATED. RETURN WALL TO ORIGINAL MASONRY DESIGN
- 54 INSTALL BRICK RECYCLED FROM AREA IDENTIFIED ON ELEVATIONS
- 55 REPLACE STONE BLOCK WITH NEW STONE BLOCK THAT MATCHES COLOR AND TEXTURE OF EXISTING STONE
- 56 REPAIR PORTIONS OF STONE BLOCK WITH NEW STONE DUTCHMEN TO MATCH COLOR AND TEXTURE OF EXISTING STONE
- 57 TREAT STONE WITH CONSOLIDATION TREATMENT WHERE INDICATED
- 58 FILL CRACKS AND PATCH STONE WHERE INDICATED
- 59 RETOOL FACE OF EXISTING STONE BLOCK WHERE INDICATED
- 60 RESET STONE BLOCKS AND RE-ANCHOR AS NECESSARY WHERE INDICATED
- 61 PROVIDE NEW STONE SILL
- 62 PROVIDE NEW SHEET METAL COLUMN TO MATCH EXISTING SHEET METAL COLUMN AT THE NORTH WEST CORNER OF THE BUILDING WHERE THE ORIGINAL COLUMN IS MISSING
- 63 REPAIR OR REPLACE EXISTING THROUGH WALL FLASHING AS REQUIRED FOR A FUNCTIONAL WATER MANAGEMENT SYSTEM. REPAIR, REFRESH OR REPLACE AND INSTALL METAL PANELS, METAL COPING, METAL FLASHING AND METAL CORNICE GUTTER LINER AS REQUIRED FOR A WEATHER TIGHT BUILDING ENVELOPE
- 64 REPAIR OR REPLACE EXISTING THROUGH WALL FLASHING AS REQUIRED FOR A FUNCTIONAL WATER MANAGEMENT SYSTEM. REPAIR, REFRESH OR REPLACE AND INSTALL METAL PANELS, METAL COPING AND METAL FLASHING AS REQUIRED FOR A WEATHER TIGHT BUILDING ENVELOPE
- 65 EXISTING TRANSOM WINDOW SASH TO REPAIR. STRIP WOOD AND GLASS OF PAINT. REBUILD SASH AND FRAME AS NEEDED TO ACHIEVE A TIGHT FITTING WEATHER PROOF JOINT. PROVIDE A NEW WOOD SASH IN OPENING CREATED BY REMOVING EXISTING LOUVER. MATCH CONSTRUCTION OF ADJOINING SASH. REGULATE BROKEN OR MISSING GLASS
- 66 FILL CRACKS IN BRICKWORK. PATCH MISCELLANEOUS SMALL HOLES
- 67 CLEAN AND REINSTALL COPPER MEDALLION AFTER MASONRY WORK IS COMPLETED

EXTERIOR GENERAL NOTES

- RESTORE ALL BRICK MASONRY. REPOINT JOINTS WITH MISSING, DETEIORATED OR INAPPROPRIATE MORTAR (50% DRY MIX PERCENT). USE RECYCLED BRICK TO REPLACE DAMAGED BRICK AND INAPPROPRIATE REPLACEMENT BRICK. RECYCLE BRICK FROM AREAS IDENTIFIED ON THE ELEVATION SHEETS. PROVIDE NEW BRICK TO REPLACE THE RECYCLED BRICK. THE NEW BRICK WILL MATCH COLOR, TEXTURE, AND ABSORPTION RATE OF EXISTING BRICK. REMOVE ALL UNUSED METAL FASTENERS OR ANCHORS EMBEDDED OR SURFACE MOUNTED. REBUILD AREAS WHERE EXISTING BRICK IS SEVERELY CRACKED OR DISPLACED. PATCH MISCELLANEOUS SMALL HOLES. CLEAN ALL BRICKWORK
- RESTORE ALL STONE MASONRY. REPOINT ALL MORTAR JOINTS. REPLACE EXISTING STONE BLOCKS WITH NEW STONE BLOCKS THAT MATCH COLOR, TEXTURE AND PROFILE OF EXISTING WHERE INDICATED. REPAIR PORTIONS OF STONE BLOCKS WITH STONE DUTCHMEN TO MATCH ADJACENT STONE WHERE INDICATED. CONSOLIDATE STONE BLOCKS WHERE INDICATED. CONSOLIDATE AND PATCH STONE BLOCKS WHERE INDICATED. REMOVE ALL UNUSED METAL FASTENERS OR ANCHORS EMBEDDED OR SURFACE MOUNTED. RETOOL FACES. FILL CRACKS AND PATCH HOLES IN EXISTING STONE WHERE INDICATED. RESET DISPLACED STONE BLOCKS WHERE INDICATED. CLEAN ALL STONEMWORK
- SQUARE FEET OR DIMENSIONS SHOWN IN AREAS OF WORK INDICATED ON THE ELEVATIONS ARE APPROXIMATE. THE NEED FOR MORE OR LESS WORK MAY BE DISCOVERED ONCE WORK HAS BEGUN IN EACH AREA

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Date: 2/25/09

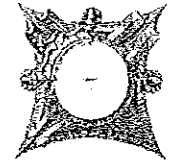
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Rev. Date:

EXTERIOR ELEVATIONS

Sheet Title

Sheet No:

A3.2



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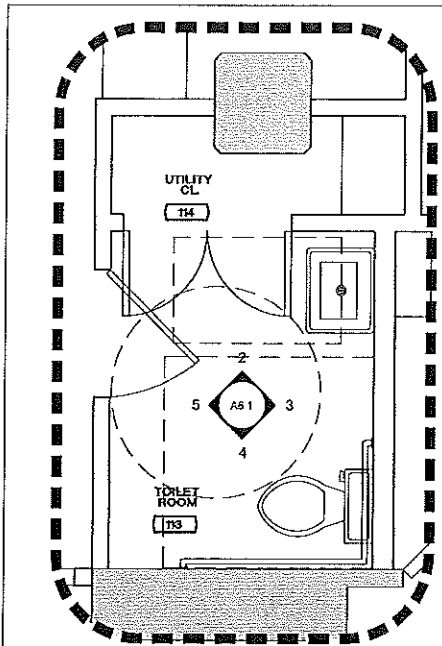
ENLARGED PLANS & INTERIOR
ELEVATIONS

Sheet Title

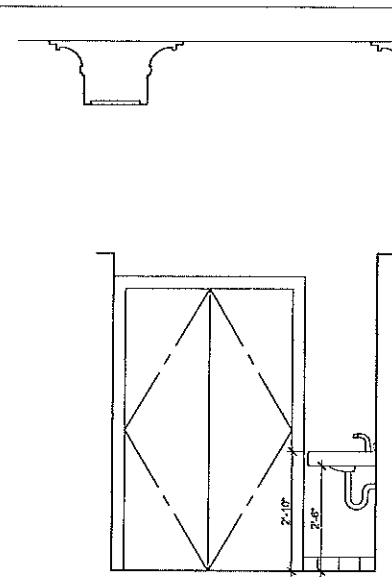
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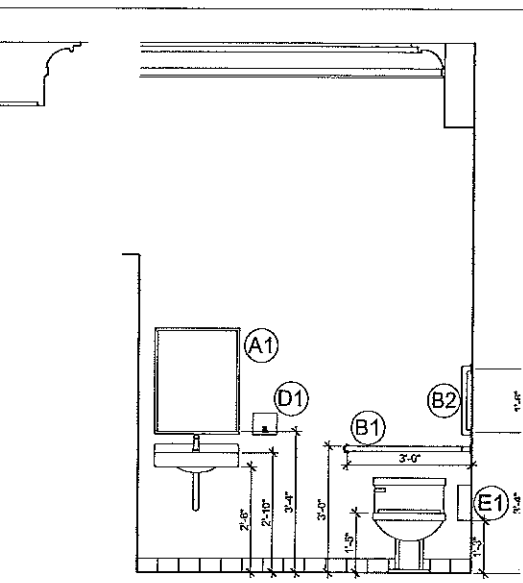
NOTE:
UNIT 304, 403,
404, 503, AND 504
BATHS SIMILAR
TO UNIT 303
BATH.



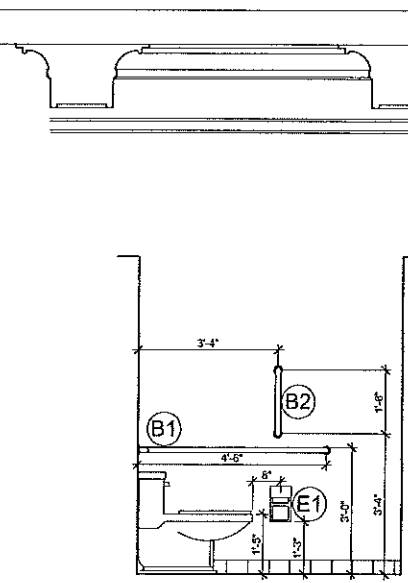
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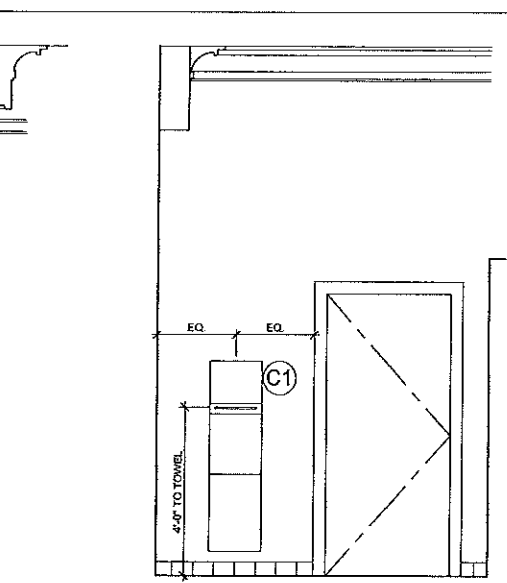
2 NORTH TOILET ROOM 113
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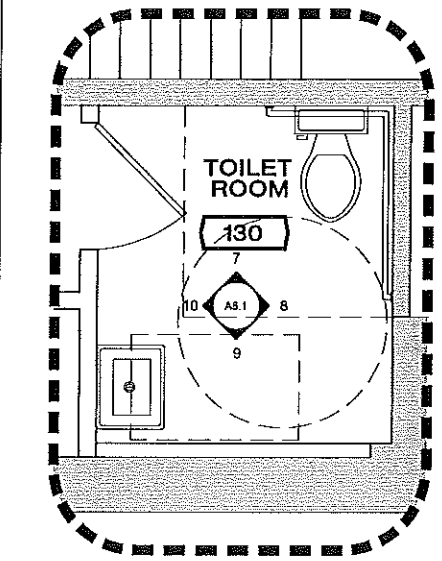
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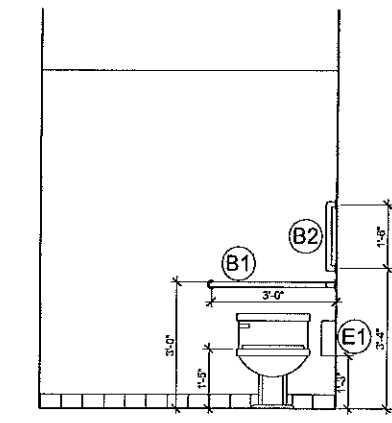
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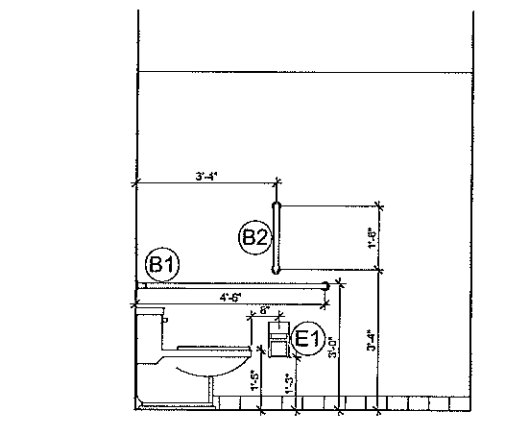
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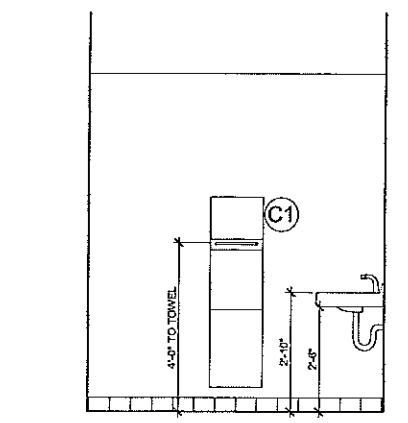
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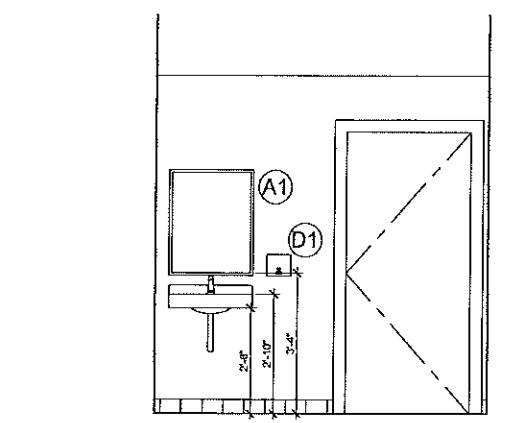
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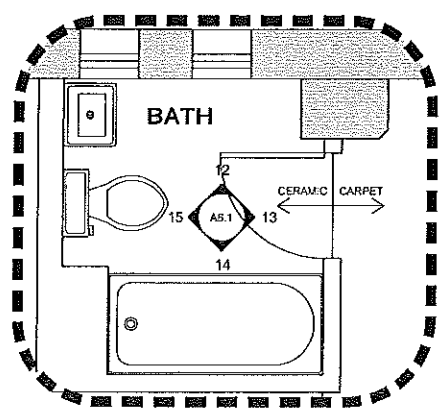
8 EAST TOILET ROOM 130
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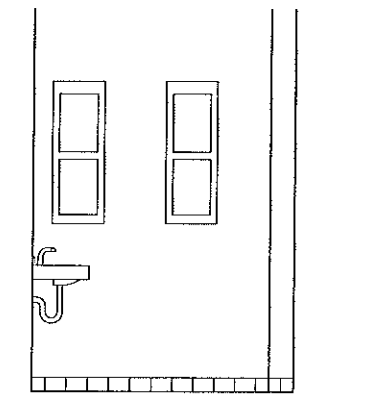
9 SOUTH TOILET ROOM 130
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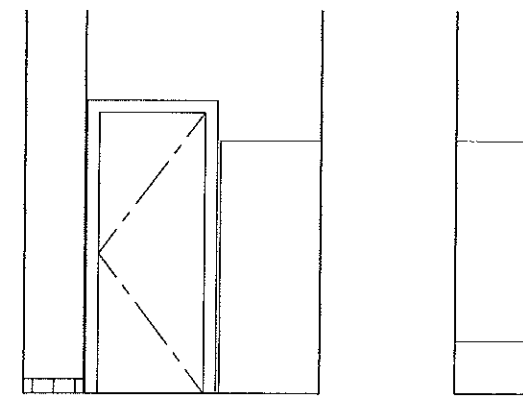
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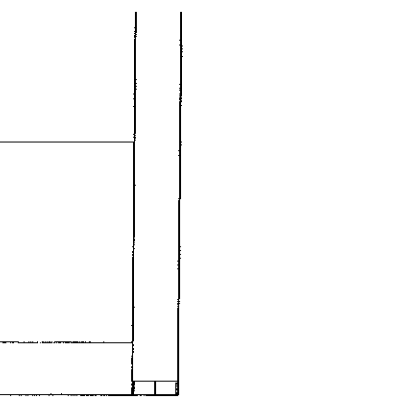
11 UNIT 303 BATH PLAN
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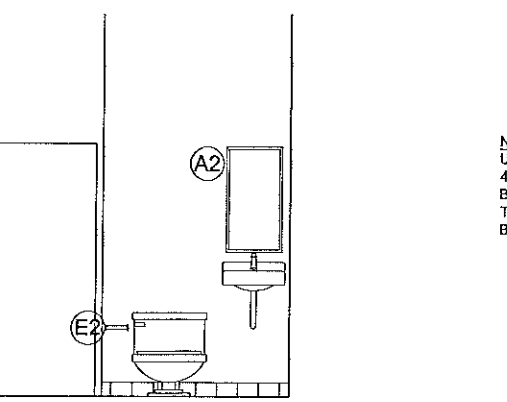
12 NORTH UNIT 303 BATH
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13 EAST UNIT 303 BATH
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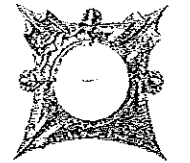


14 SOUTH UNIT 303 BATH
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15 WEST UNIT 303 BATH
Scale: 1/2"=1'-0"





NOTE:
UNIT 406 AND
506 BATH SIM TO
UNIT 306 BATH.
BATH 612b, 714b,
814b, AND 1014b
ALSO SIM TO
UNIT 306 BATH.

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This work was prepared by me or under my direct supervision and I am a duly Licensed Professional Architect in the State of Wisconsin. I am a duly Licensed Professional Engineer in the State of Wisconsin. I am a duly Licensed Professional Surveyor in the State of Wisconsin. I am a duly Licensed Professional Geomatics Engineer in the State of Wisconsin. I am a duly Licensed Professional Environmental Engineer in the State of Wisconsin. I am a duly Licensed Professional Environmental Scientist in the State of Wisconsin. I am a duly Licensed Professional Environmental Planner in the State of Wisconsin. I am a duly Licensed Professional Environmental Scientist in the State of Wisconsin. I am a duly Licensed Professional Environmental Planner in the State of Wisconsin.

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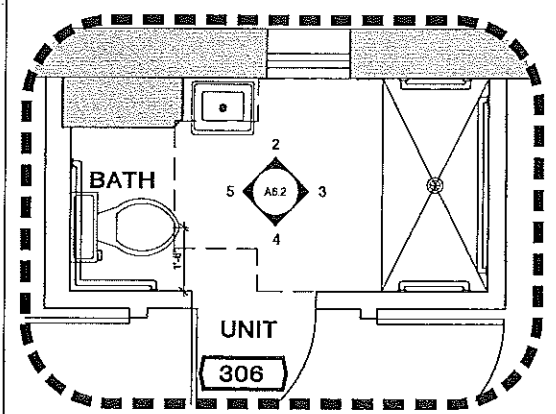
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Drawn By: JP
Date: 2/25/09
Rebid Date:
Rev. Date:

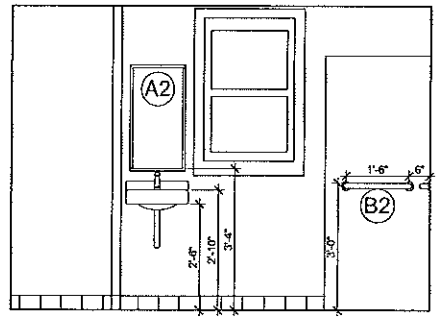
ENLARGED PLANS & INTERIOR
ELEVATIONS
Sheet Title

Sheet No:

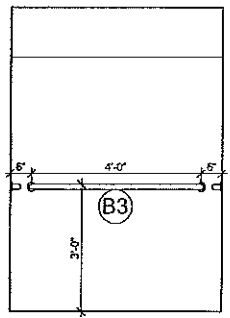
A6.2



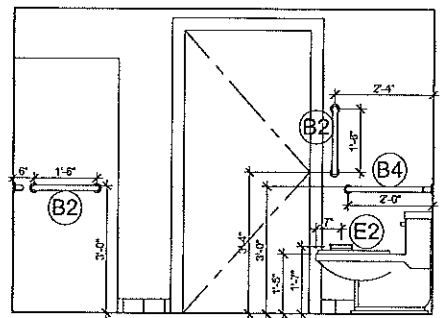
1 ADA UNIT 306 BATH PLAN
Scale: 1/2"=1'-0"



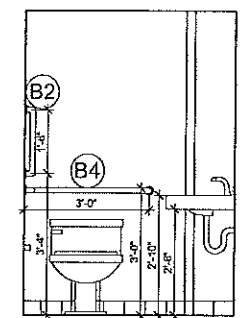
2 NORTH ADA UNIT 306 BATH
Scale: 1/2"=1'-0"



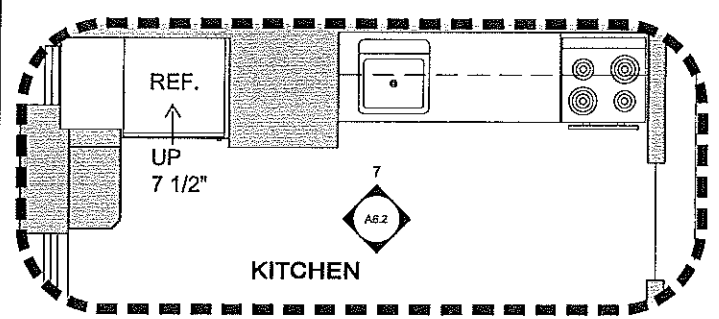
3 EAST ADA UNIT 306 BATH
Scale: 1/2"=1'-0"



4 SOUTH ADA UNIT 306 BATH
Scale: 1/2"=1'-0"



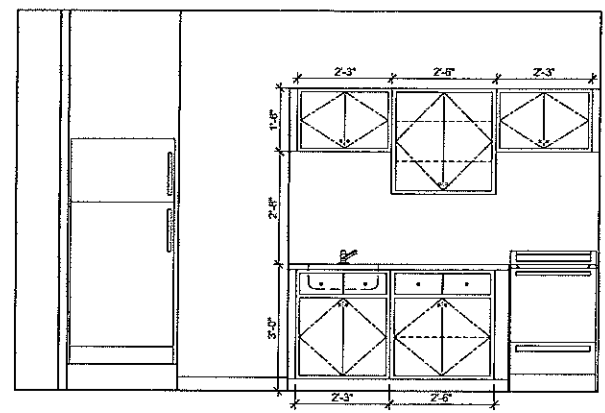
5 WEST ADA UNIT 306 BATH
Scale: 1/2"=1'-0"



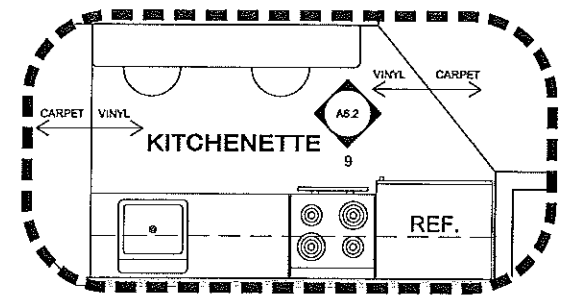
6 UNIT 301 KITCHEN PLAN
Scale: 1/2"=1'-0"



NOTE:
KITCHENS IN UNITS 302, 307, 401,
402, 406, AND 407 ARE SIMILAR
TO UNIT 301 KITCHEN.



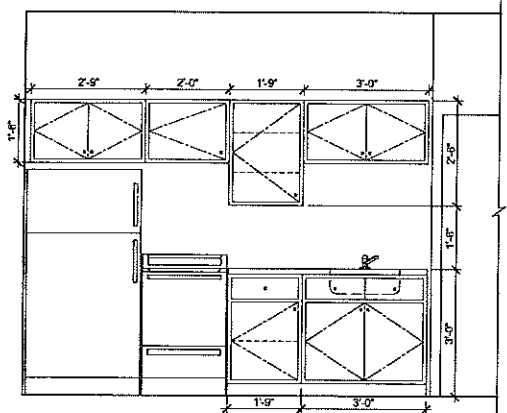
7 NORTH UNIT 301 KITCHEN
Scale: 1/2"=1'-0"



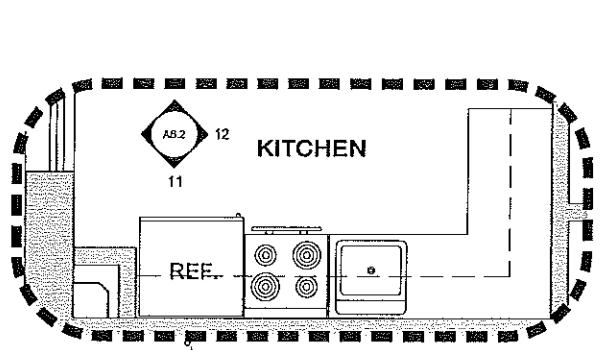
8 UNIT 303 KITCHENETTE PLAN
Scale: 1/2"=1'-0"



NOTE:
KITCHENETTES IN UNITS
304, 403, 404, 503, AND
504 ARE SIMILAR TO
UNIT 303 KITCHENETTE



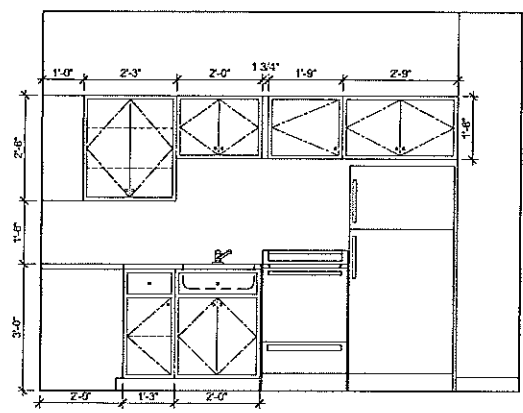
9 SOUTH UNIT 303 KITCHENETTE
Scale: 1/2"=1'-0"



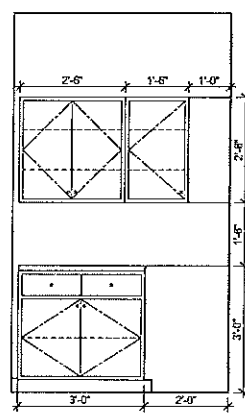
10 UNIT 501 KITCHEN PLAN
Scale: 1/2"=1'-0"



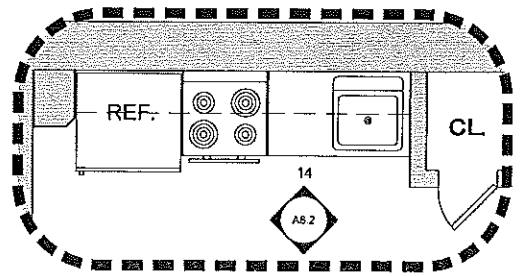
NOTE:
KITCHENS IN UNITS
507, 717, AND 817
ARE SIMILAR TO
UNIT 501 KITCHEN.



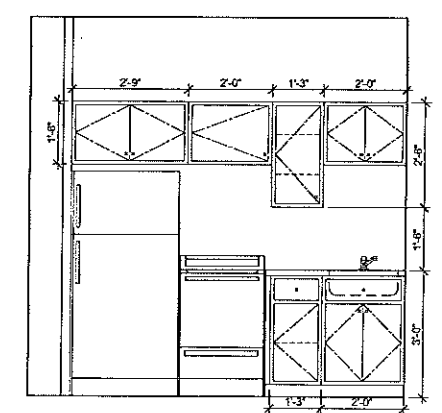
11 SOUTH UNIT 501 KITCHEN
Scale: 1/2"=1'-0"



12 EAST UNIT 501 KITCHEN
Scale: 1/2"=1'-0"



13 UNIT 502 KITCHENETTE PLAN
Scale: 1/2"=1'-0"



14 NORTH UNIT 502 KITCHENETTE
Scale: 1/2"=1'-0"