

# URBAN DESIGN COMMISSION APPLICATION

# UDC

City of Madison  
Planning Division  
Madison Municipal Building, Suite 017  
215 Martin Luther King, Jr. Blvd.  
P.O. Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



## FOR OFFICE USE ONLY:

Paid \_\_\_\_\_ Receipt # \_\_\_\_\_

Date received \_\_\_\_\_

Received by \_\_\_\_\_

Aldermanic District \_\_\_\_\_

Zoning District \_\_\_\_\_

Urban Design District \_\_\_\_\_

Submittal reviewed by \_\_\_\_\_

Legistar # \_\_\_\_\_

3/14/22  
10:44 a.m.

RECEIVED

Complete all sections of this application, including the desired meeting date and the action requested.

*If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.*

## 1. Project Information

Address: \_\_\_\_\_

Title: \_\_\_\_\_

## 2. Application Type (check all that apply) and Requested Date

UDC meeting date requested \_\_\_\_\_

New development

Alteration to an existing or previously-approved development

Informational

Initial approval

Final approval

## 3. Project Type

Project in an Urban Design District

Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)

Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)

Planned Development (PD)

General Development Plan (GDP)

Specific Implementation Plan (SIP)

Planned Multi-Use Site or Residential Building Complex

### Signage

Comprehensive Design Review (CDR)

Signage Variance (i.e. modification of signage height, area, and setback)

Signage Exception

### Other

Please specify \_\_\_\_\_

## 4. Applicant, Agent, and Property Owner Information

**Applicant name** \_\_\_\_\_

Street address \_\_\_\_\_

Telephone \_\_\_\_\_

**Project contact person** \_\_\_\_\_

Street address \_\_\_\_\_

Telephone \_\_\_\_\_

**Property owner (if not applicant)** \_\_\_\_\_

Street address \_\_\_\_\_

Telephone \_\_\_\_\_

Company \_\_\_\_\_

City/State/Zip \_\_\_\_\_

Email \_\_\_\_\_

Company \_\_\_\_\_

City/State/Zip \_\_\_\_\_

Email \_\_\_\_\_

City/State/Zip \_\_\_\_\_

Email \_\_\_\_\_

## 5. Required Submittal Materials

- ☒ **Application Form**
- ☒ **Letter of Intent**
  - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
  - ~~For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.~~
- ☒ **Development Plans** (Refer to checklist on Page 4 for plan details)
- ☒ **Filing fee**
- ☒ **Electronic Submittal\***
- ☒ **Notification to the District Alder**
  - Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

~~\*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to [udcapplications@cityofmadison.com](mailto:udcapplications@cityofmadison.com). The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.~~

## 6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with #1 Kevin Furchow and #2 Kevin Furchow / Jessica Vaughn on #1 - 11/24/2021 and #2 - 02/18/2022.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Alan Theobald

Relationship to property Architect

Authorizing signature of property owner [Signature]

Date 3-11-22

## 7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000. **- No Fees are required - See attached email from City Staff at the end of this application -**

Please consult the schedule below for the appropriate fee for your request:

- ☒ ~~Urban Design Districts: \$350 (per §35.24(6) MGO).~~
- ☐ Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- ☐ Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- ☐ Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- ☐ All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission: **- None of the following apply -**

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

## Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

## Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

## Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**



# URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

## 1. Informational Presentation

- ☒ Locator Map
- ☒ Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☒ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☒ Site Plan
- ☒ Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

### Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**\*\* All plans must be legible, including the full-sized landscape and lighting plans (if required)**

## 2. Initial Approval

- ☒ Locator Map
- ☒ Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☒ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☒ Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- ☒ Landscape Plan and Plant List (*must be legible*)
- ☒ Building Elevations in both black & white and color for all building sides (include material callouts)
- ☐ PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

## 3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- ☒ Grading Plan
- ☐ Proposed Signage (if applicable)
- ☒ Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- ☒ Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- ☐ PD text and Letter of Intent (if applicable)
- ☐ Samples of the exterior building materials (presented at the UDC meeting)

Virtual meeting / electronic submittal so no samples are included with the submittal. We have samples that can be viewed upon request.

## 4. Comprehensive Design Review (CDR) and Variance Requests (*Signage applications only*)

- ☐ Locator Map
- ☐ Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- ☐ Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- ☐ Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- ☐ Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- ☐ Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- ☐ Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- ☐ Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit





Project Description  
Isthmus Montessori Academy  
March 14, 2022

**Project Description:**

The existing Isthmus Montessori Academy (IMA) facility sits on approximately 2.5 acres of land; they are in the process of acquiring the adjacent 2.4 acre parcel. Their existing building is two-stories and 24,405 s.f. (14,466 s.f. 1<sup>st</sup> Floor, 9,939 s.f. 2<sup>nd</sup> Floor) – the proposed two-story addition will be 44,435 s.f. (27,432 s.f. 1<sup>st</sup> Floor, 17,003 s.f. 2<sup>nd</sup> Floor). The addition will be home to additional academic learning spaces, administrative offices, a gymnasium, and a 300-seat theatre. The parking lot layout will be upgraded to improve the traffic flow of both parental traffic and bus traffic. The exterior fenced-in courtyard space will be home to some playground equipment and some exterior classroom learning spaces.

School hours are and will remain as follows: Staff arrive at 7:30am and most leave at 4:00pm. Children arrive at 8:00am and leave at 3:pm.

The project is located in Urban Design District No. 4 and is in Aldermanic District No. 12 (Alder Syed Abbas).

**Design:**

IMA and our design team have diligently worked to create an addition that seamlessly blends into the existing structure. The design intent for the addition is to become the main “front door” access to the facility and to provide a welcoming environment for the students, their families, and guests. A central courtyard pathway has been established for this arrival with the northern edge of the facility also containing a separate theatre entrance. The primary exterior building materials are consistent with the existing structure of masonry, glass and metal panel.

The site design is largely driven by establishing a safe and efficient method of student drop off by both car and bus. A new access point off of Pankratz Street has been added to aid in the arrival/departure traffic pattern for all.

**C.S.M.:**

MSA has been working closely with the County and the Airport Commission on the extended land lease. The location of the existing bike path that cuts down the center of the parcel is being finalized as well as a public sanitary access easement. We are proceeding with an concurrent approval process with the Airport Commission, the County, and the City. A working copy of the C.S.M. is included with this submittal.

**Project Schedule:**

Construction Start – Early Summer 2022  
Construction Completion – Fall 2023

**Organizational Structure:**

Owner: Isthmus Montessori Academy  
1802 Pankratz Street  
Madison, WI 53704  
Contact: Bill Walsh

Architect: Iconica  
901 Deming Way  
Madison, WI 53717  
608-664-3583  
Contact: Alan Theobald

Engineer: Iconica  
901 Deming Way  
Madison, WI 53717  
608-664-3535  
Contact: Chad Faber

Civil Design: MSA  
1702 Pankratz Street  
Madison, WI 53704  
Contact: Jamie Kurten Chmielewski, PE

Landscape Architect: MSA  
1702 Pankratz Street  
Madison, WI 53704

Signage: TBD

Thank you for your time in reviewing our proposal.

Sincerely,

A handwritten signature in black ink that reads "Alan Theobald". The signature is fluid and cursive, with the first name "Alan" and last name "Theobald" clearly distinguishable.

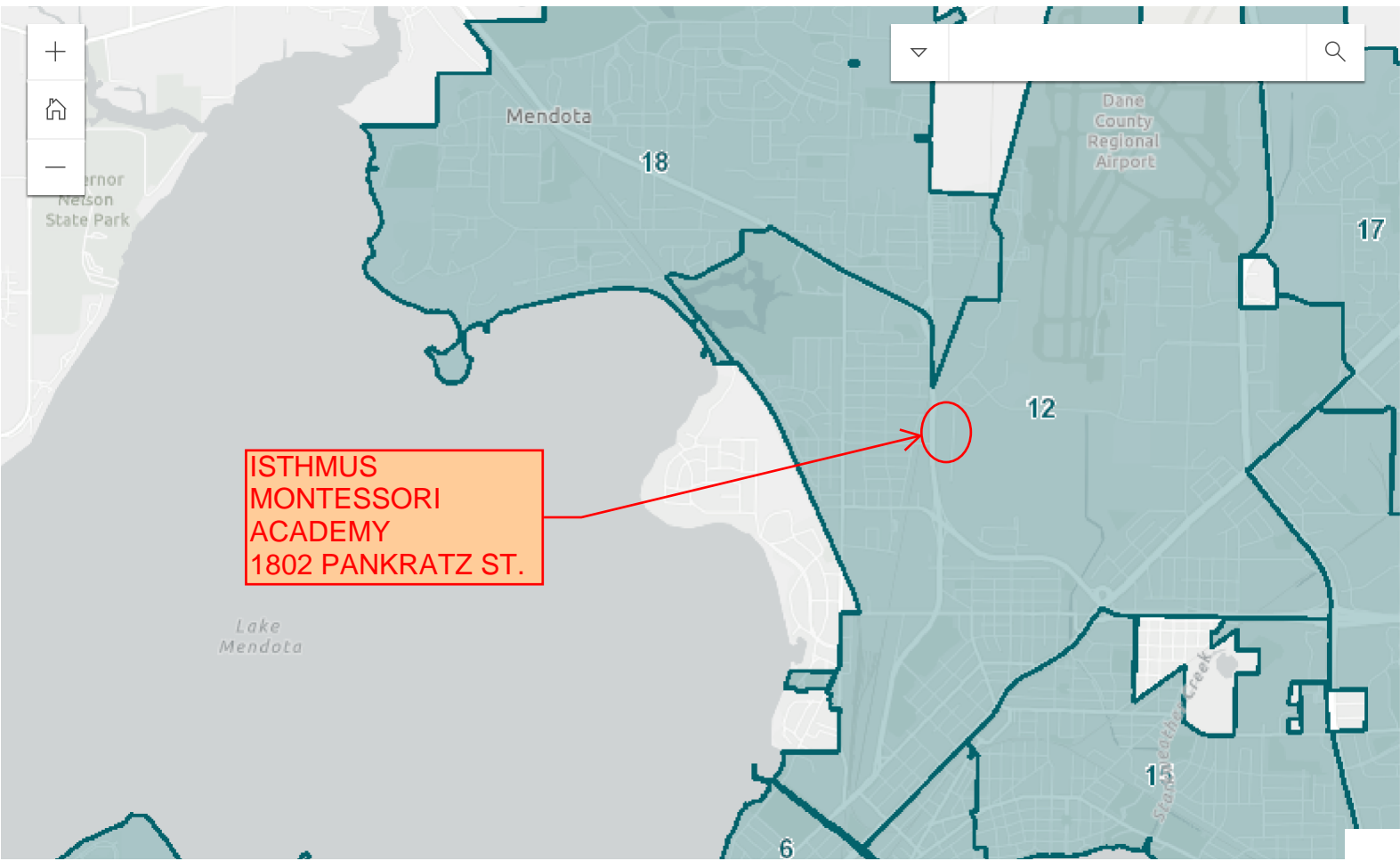
Alan Theobald  
Project Architect  
Iconica

901 Deming Way // Madison, WI 53717 // Ph: 608.664.3500 // Fx: 608.664.3535 //  
Iconiccreates.com



# COMMON COUNCIL

## Alder District Map



## Council Members

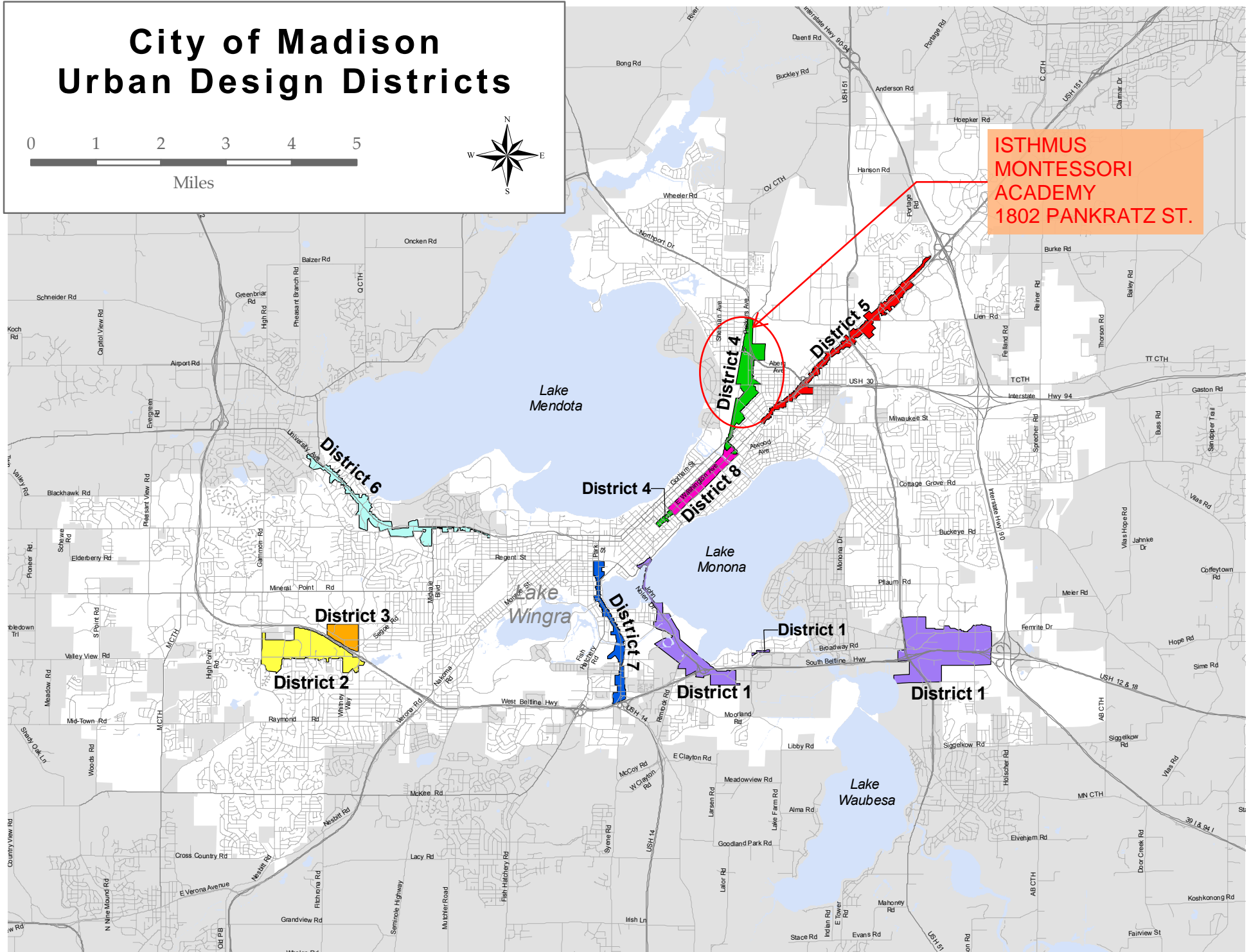
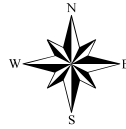
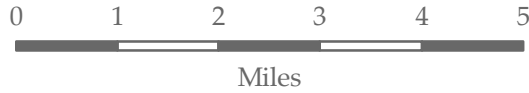
[Alders](#) **SYED ABBAS**

[Alder District Map](#)

[Redistricting](#)

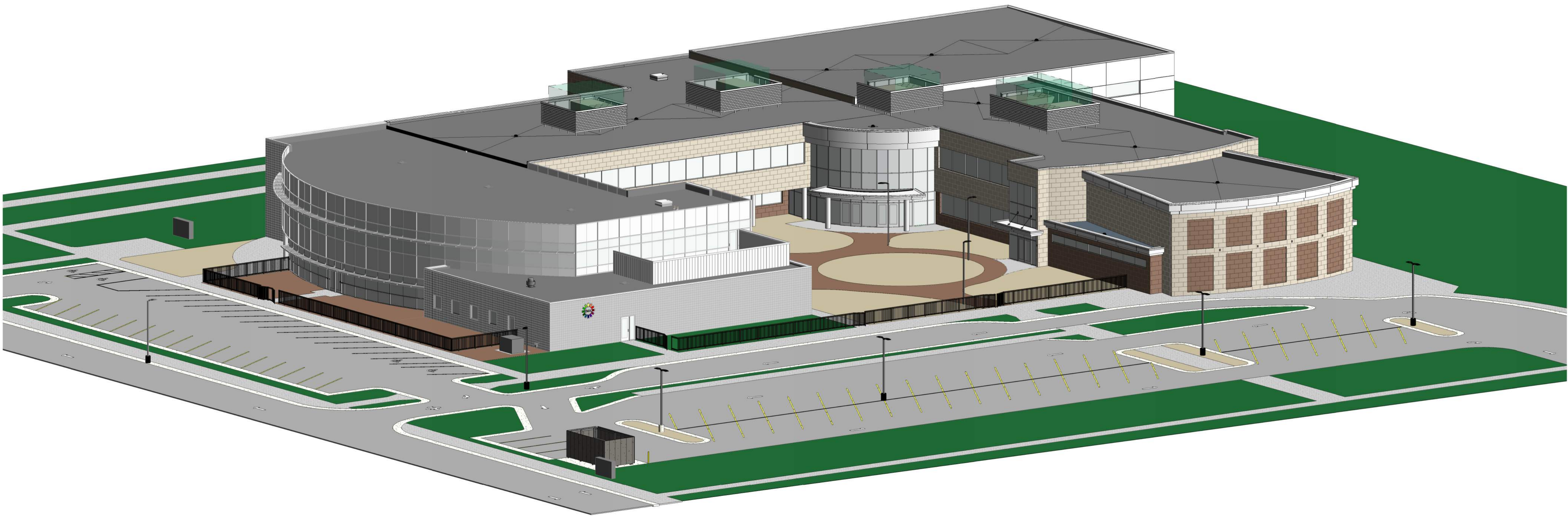
[Alder Ward Map ↗](#)

# City of Madison Urban Design Districts

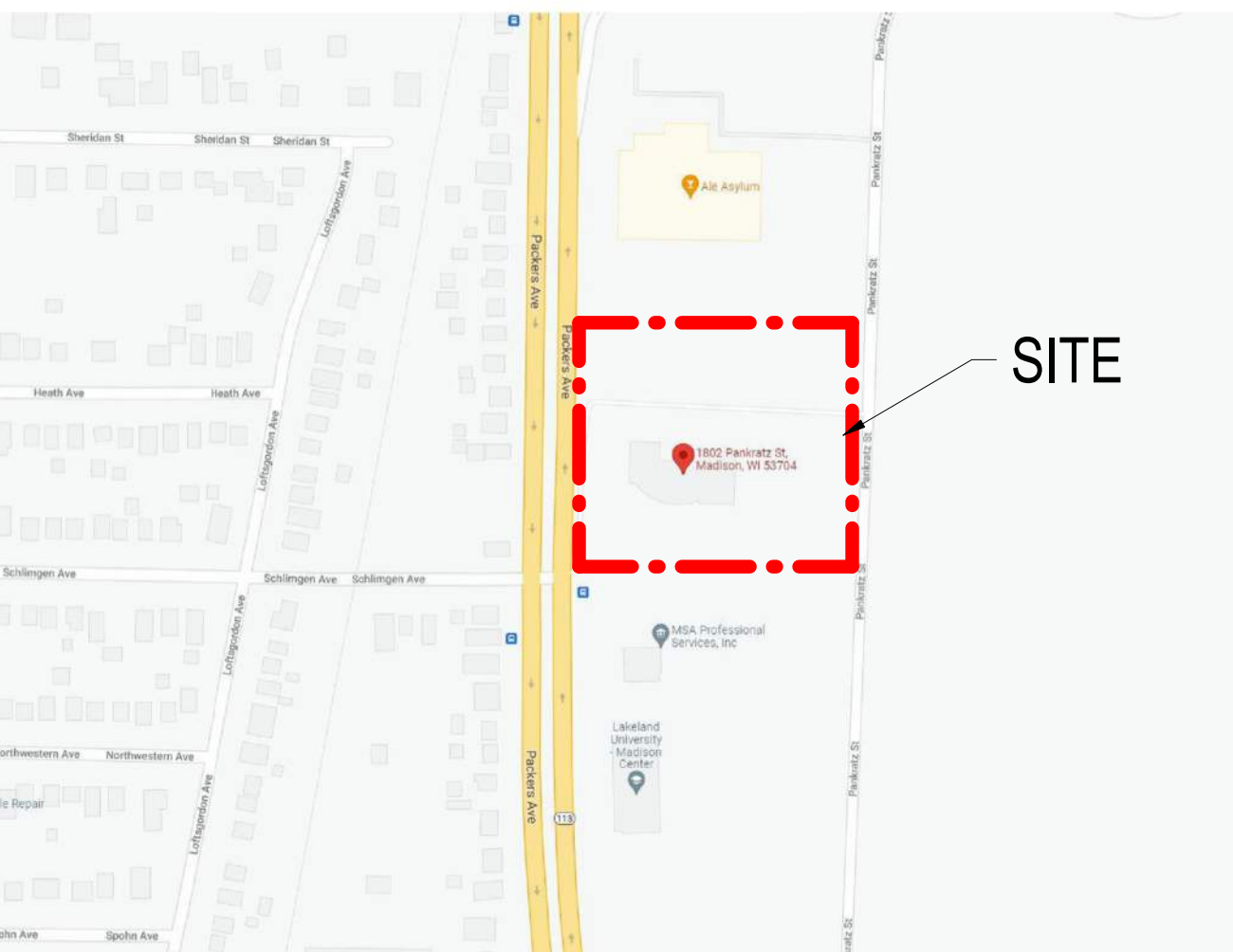




# ISTHMUS MONTESSORI ACADEMY



## SITE LOCATION MAP



1802 PANKRATZ  
STREET, MADISON, WI

## PROJECT DIRECTORY

**DESIGN-BUILDER**  
ICONICA, INC.  
901 DEMING WAY  
MADISON, WISCONSIN 53717  
PHONE: (608) 664-3500  
FAX : (608) 664-3535

**CIVIL ENGINEER**  
MSA PROFESSIONAL SERVICES, INC.  
1702 PANKRATZ STREET  
MADISON, WI 53704  
PHONE: (608) 242-7779

**OWNER**  
ISTHMUS MONTESSORI ACADEMY  
1802 PANKRATZ STREET  
MADISON, WI 53704

**LANDSCAPE DESIGNER**  
MSA PROFESSIONAL SERVICES, INC.  
1702 PANKRATZ STREET  
MADISON, WI 53704  
PHONE: (608) 242-7779

## SHEET INDEX

UDC / PLAN COMMISSION #	SHEET #	SHEET TITLE
General		
• G001		COVER SHEET
Code		
A011		FIRST FLOOR CODE PLAN
A012		SECOND FLOOR CODE PLAN
Civil & Landscaping		
• C100		EXISTING SITE & REMOVALS PLAN - EAST
• C101		EXISTING SITE & REMOVALS PLAN - WEST
• C102		PROPOSED SITE LAYOUT - EAST
• C103		PROPOSED SITE LAYOUT - WEST
• C104		PROPOSED SITE DIMENSIONS - EAST
• C105		PROPOSED SITE DIMENSIONS - WEST
• C106		GRADING PLAN - EAST
• C107		GRADING PLAN - WEST
• C108		UTILITY PLAN - EAST
• C109		UTILITY PLAN - WEST
• C110		EROSION CONTROL PLAN - EAST
• C111		EROSION CONTROL PLAN - WEST
• C112		LANDSCAPE PLAN - EAST
• C113		LANDSCAPE PLAN - WEST
• C114		FIRE ACCESS PLAN
• C200		UTILITY SERVICE DETAILS
• C201		STORM SEWER & POND DETAILS
• C202		EROSION CONTROL DETAILS
• C203		STREET DETAILS
• C204		MISCELLANEOUS DETAILS
• C205		MISCELLANEOUS DETAILS
• C206		CURB RAMP GRADING DETAILS
• C207		CURB RAMP GRADING DETAILS
• C208		VEHICLE TURNING MOVEMENT DETAIL
Demolition		
AD201		FIRST FLOOR PLAN DEMOLITION
AD202		SECOND FLOOR PLAN DEMOLITION
14-Presentation		
Z601		NORTHWEST PERSPECTIVE
Architecture		
A001		ABBREVIATIONS, SYMBOLS AND NOTES
• A101		SITE PLAN DETAILS
• A201		OVERALL FIRST FLOOR PLAN
A201A		FIRST FLOOR PLAN - AREA A
A201B		FIRST FLOOR PLAN - AREA B
• A202		OVERALL SECOND FLOOR PLAN
A202B		SECOND FLOOR PLAN - AREA B
A202E		SECOND FLOOR PLAN - AREA E
• A207		ROOF PLAN
• A301		BUILDING ELEVATIONS
• A301A		BUILDING ELEVATIONS
• A302		BUILDING ELEVATIONS
• A302A		BUILDING ELEVATIONS
• A303		EXISTING BUILDING PHOTOS
• A304		PERSPECTIVES
• A305		PERSPECTIVES
A306		PERSPECTIVES
A307		PERSPECTIVES

## SHEET INDEX

UDC / PLAN COMMISSION #	SHEET #	SHEET TITLE
Interior		
A308		PERSPECTIVES
• A400		BUILDING SECTIONS
• A401		BUILDING SECTIONS
A410		WALL SECTIONS
A500		PLAN DETAILS
A510		SECTION DETAILS
A520		EXTERIOR DOOR DETAILS
A521		WINDOW DETAILS
A530		MISC DETAILS
A540		ROOF DETAILS
A550		FLASHING DETAILS AND SCHEDULE
A600		ENLARGED SECOND FLOOR PLAN
A610		ENLARGED STAIR PLANS
A620		ENLARGED PLANS
A630		INTERIOR ELEVATIONS
A700		WALL TYPES
A710		DOOR AND HARDWARE SCHEDULES
A720		WINDOW TYPE ELEVATIONS
A801B		FIRST FLOOR REFLECTED CEILING PLAN - AREA B
A801C		FIRST FLOOR REFLECTED CEILING PLAN - AREA C
A802B		SECOND FLOOR REFLECTED CEILING PLAN AREA-B
A802E		SECOND FLOOR REFLECTED CEILING PLAN AREA-E
Plumbing		
P001		ABBREVIATIONS, SYMBOLS AND NOTES
P200B		FIRST FLOOR AREA B UNDERFLOOR PLUMBING
P201A		FIRST FLOOR AREA A PLUMBING
P201B		FIRST FLOOR AREA B PLUMBING
P801		PLUMBING TYPICAL DETAILS
P701		SCHEDULES
P902		AREA B PLUMBING DWV RISERS
P911		AREA A PLUMBING SUPPLY RISERS
P912		AREA B PLUMBING SUPPLY RISERS
P0201B		FIRST FLOOR AREA B PLUMBING DEMOLITION
Mechanical		
M001		ABBREVIATIONS, SYMBOLS AND NOTES
M201A		FIRST FLOOR AREA A MECHANICAL
M201B		FIRST FLOOR AREA B MECHANICAL
M601		MECHANICAL DETAILS
M701		MECHANICAL SCHEDULES
M201A		FIRST FLOOR AREA A MECHANICAL DEMOLITION
M201B		FIRST FLOOR AREA B MECHANICAL DEMOLITION
ME801		FIRST FLOOR AREA B - REFLECTED CEILING PLAN
Electrical		
E001		ABBREVIATIONS, SYMBOLS AND NOTES
E100P		SITE PHOTOMETRICS
E201AP		FIRST FLOOR AREA A POWER
E201B		FIRST FLOOR AREA B - DEMOLITION
E201BL		FIRST FLOOR AREA B LIGHTING
E201BP		FIRST FLOOR AREA B POWER
E501		ELECTRICAL DETAILS
E701		ELECTRICAL SCHEDULES

## BUILDING CODE

- Building Regulations: 2015 IBC with WI Amendments - LEVEL 2 ALTERATION  
ICC / ANSI A117.1 - 2009
- Use Group/Occupancy: Educational Group E - School (305.1)  
Educational Group E - Daycare (305.2)  
Business Group B - Administrative Offices (304.1)
- Non-Separated Occupancies: (508.3)
- Type of Construction: Type I-B (602.2)
- Protection of Elements: As determined by tabular values (Table 601 & Table 602)  
(Group E / Type I-B)  
Structural frame 0 hr  
Ext. bearing wall 0 hr where X ≥ 30' (all locations)  
Int. bearing walls 0 hr  
Ext. non-bearing walls 0 hr where X ≥ 30' (all locations)  
Int. non-bearing walls 0 hr  
Floor construction 0 hr  
Roof construction 0 hr
- Allowable Height & Area: As determined / allowed by tabular values  
Group E is most restrictive use type  
Type of construction is I-B  
Building is Fully Sprinklered, Two stories  
  
75' max. height (Table 504.3)  
3 Stories max. (Table 504.4)  
43,400 sq. ft. max. w/o modifications (Table 506.2)  
  
Actual building information:  
Height = 28' 4"  
2 Stories above grade plane  
First Floor:  
Existing = 14,466 sq. ft.  
Addition = 27,432 sq. ft.  
TOTAL = 41,898 sq. ft.  
  
Second Floor:  
Existing = 9,339 sq. ft.  
Addition = 12,003 sq. ft.  
TOTAL = 26,942 sq. ft.
- Sprinkler system: NFPA 13 - (803.3.1.1) and as required by Local Ordinance
- Fire Extinguishers: Type: 2A (General Building) - existing to remain  
Distance to Extinguisher: 75'  
Floor Area / Extinguisher: 11,250 sq. ft.  
Minimum Rating: Class B  
Type: K (Kitchen Area) - existing to remain  
Distance to Extinguisher: 30'
- Number of Occupants: As determined by tabular values (Table 1004.1.2)  
See Code Plan for calculations by room / area
- Exit: Exit width = 0.3 inches per person at stairways (1005.3.1)  
Exit width = 0.2 inches per person at other egress components (1005.3.2)  
Accessible means of egress provided per (1009.1)  
Spaces with one exit or exit access doorway (Table 1006.2.1) - Group E = 49 max. occupant load / room  
75' Maximum common path of egress travel (Table 1006.2.1)  
Minimum number of exits = 2 (Table 1009.3.1)  
Exit access doorway configuration (1007.1.1)  
Exit signs provided as required (1013)  
44" min. at corridors (Table 1020.2)  
Corridors not required to be rated (Table 1020.1) - Group E  
32" min. clear at exit doors  
50' Maximum dead end corridor (1020.4, Exception #2)  
250' Maximum exit access travel distance (Table 1017.2) - Group E fully sprinklered
- Accessibility: Provided per IBC Chapter 11 and ICC A117
- Plumbing: 500' maximum travel distance to toilet facilities. (See Code sheet on A011 for detailed info).
- Parking: (75) parking stalls (72 standard, 4 accessible)  
(Table 1106.1) - (3) Accessible stalls are required. (4) are provided.  
(1106.5) - (1) Van Accessible stall is required. (1) is provided.
- Marking Identification: Fire Walls, Fire Barriers, Fire Partitions, Smoke Barriers and Smoke Partitions shall be permanently identified with stenciling (703.6) except in areas where gypsum board ceilings are provided.  
1. Located in concealed floor, floor/ceiling or attic spaces.  
2. at intervals not exceeding 30' measured horizontally.  
3. Letters to be not less than 0.5" in height.

## BID PACKAGES

## ISTHMUS MONTESSORI ACADEMY

1802 PANKRATZ STREET, MADISON, WI

ISTHMUS MONTESSORI ACADEMY

1802 PANKRATZ STREET  
MADISON, WI 53704

ISSUE DATES:		
Issue	Description	Date
UDC	UDC / PLAN COMMISSION	03-14-22

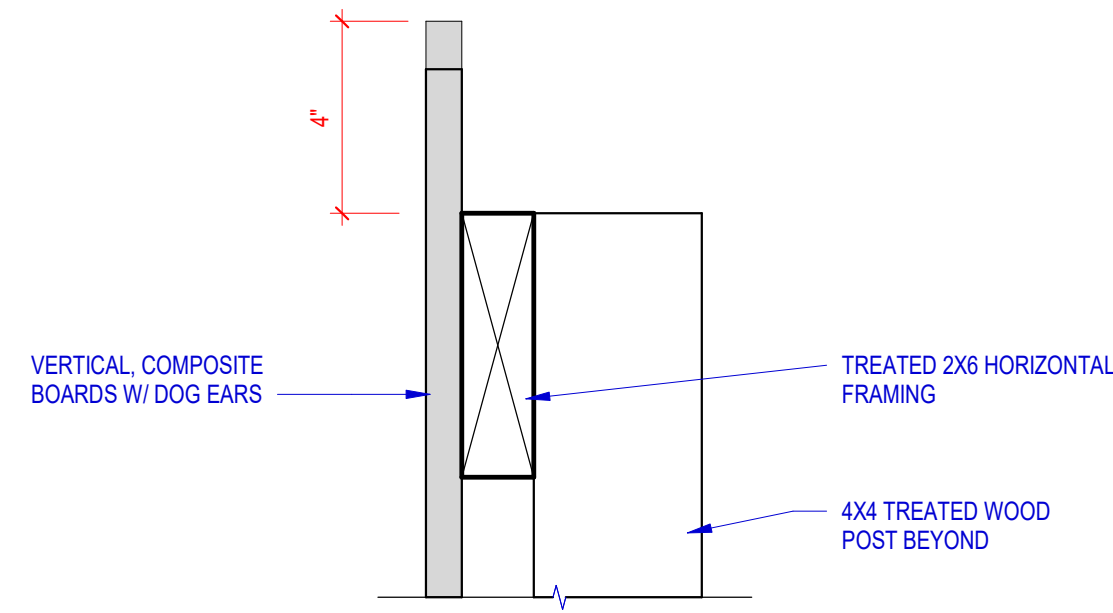
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Sheet Title  
**COVER SHEET**

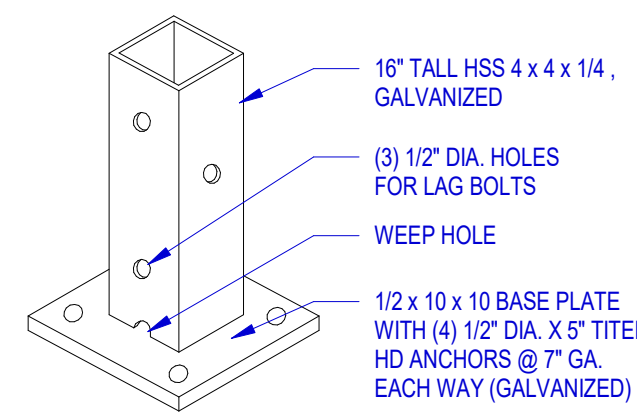
Project Number: 20210400  
Sheet Number

# G001

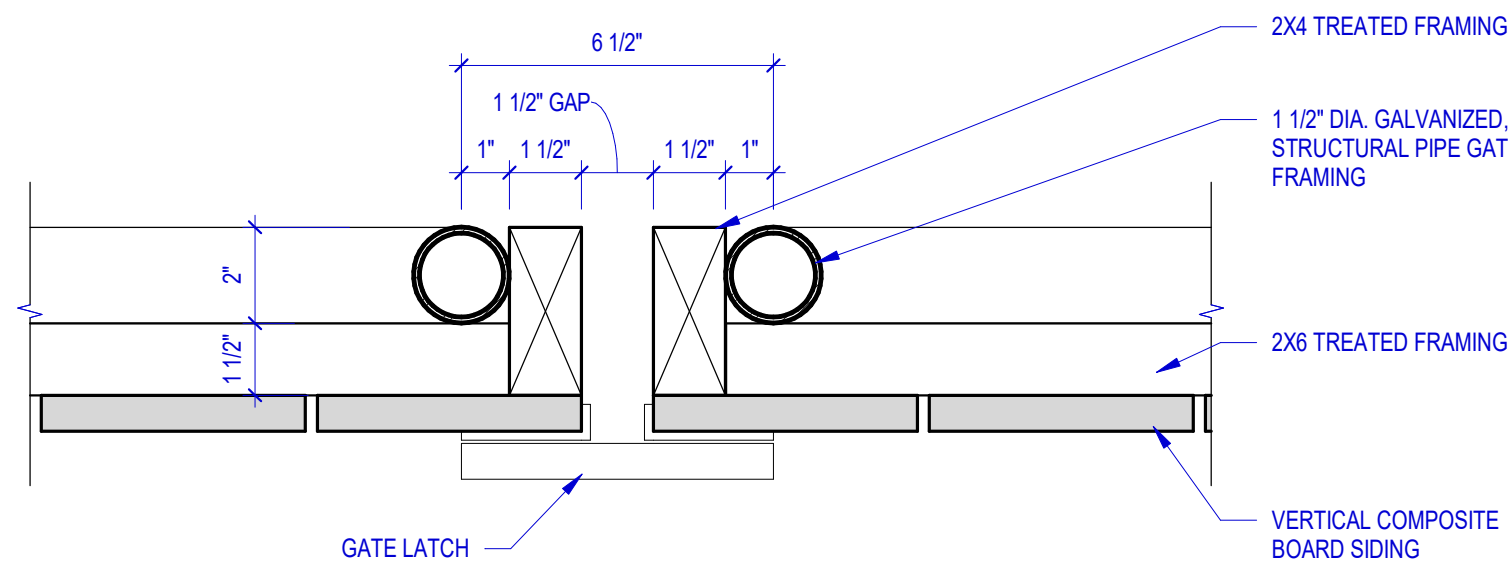




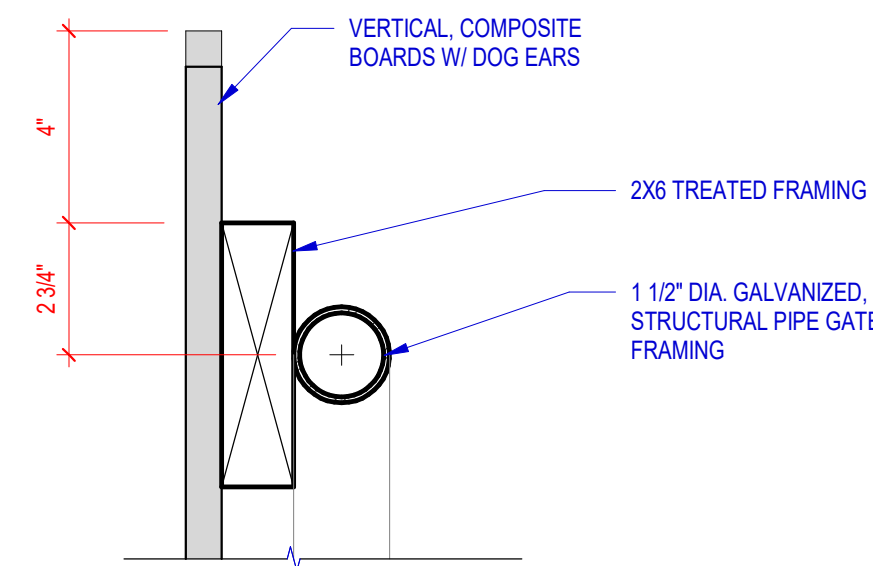
8 DUMPSTER ENCLOSURE - CAP DETAIL  
3" = 1'-0"



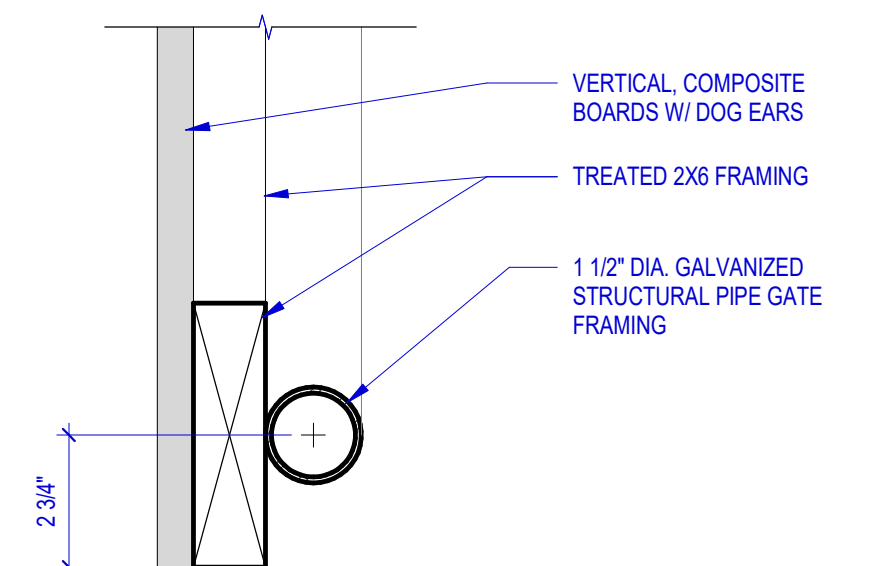
7 DUMPSTER ENCLOSURE - POST BRACKET  
1/4" = 1'-0"



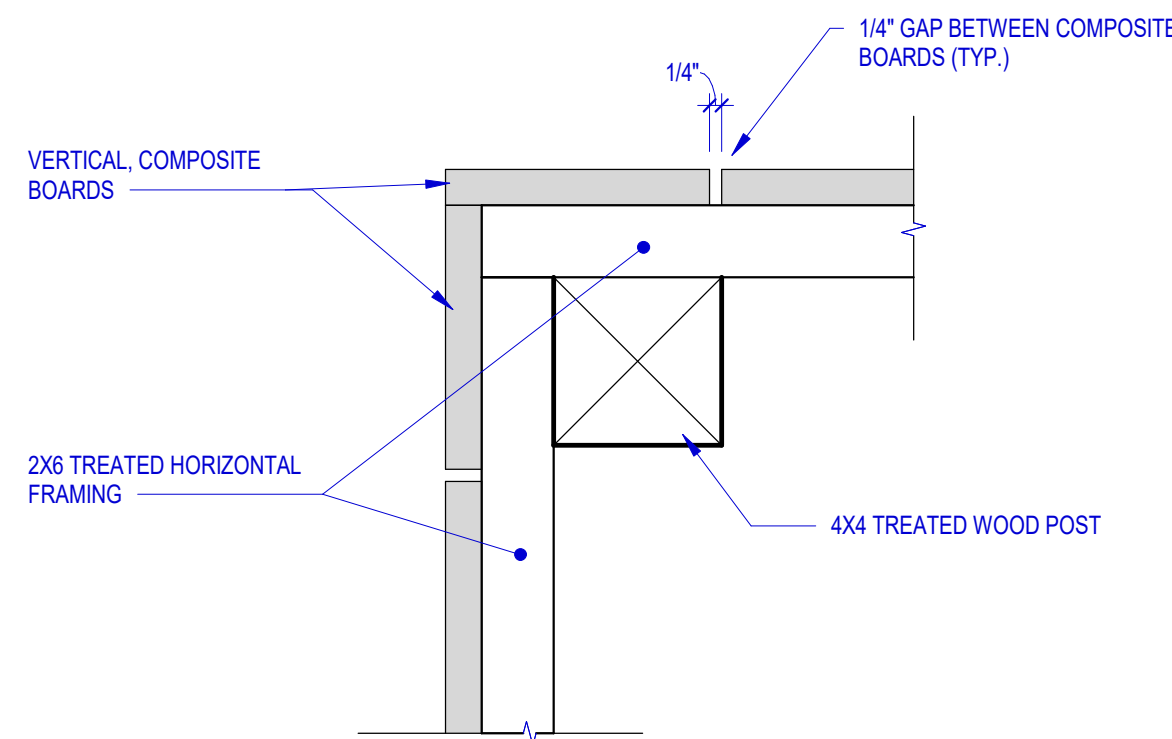
11 DUMPSTER ENCLOSURE - LATCH DETAIL  
3" = 1'-0"



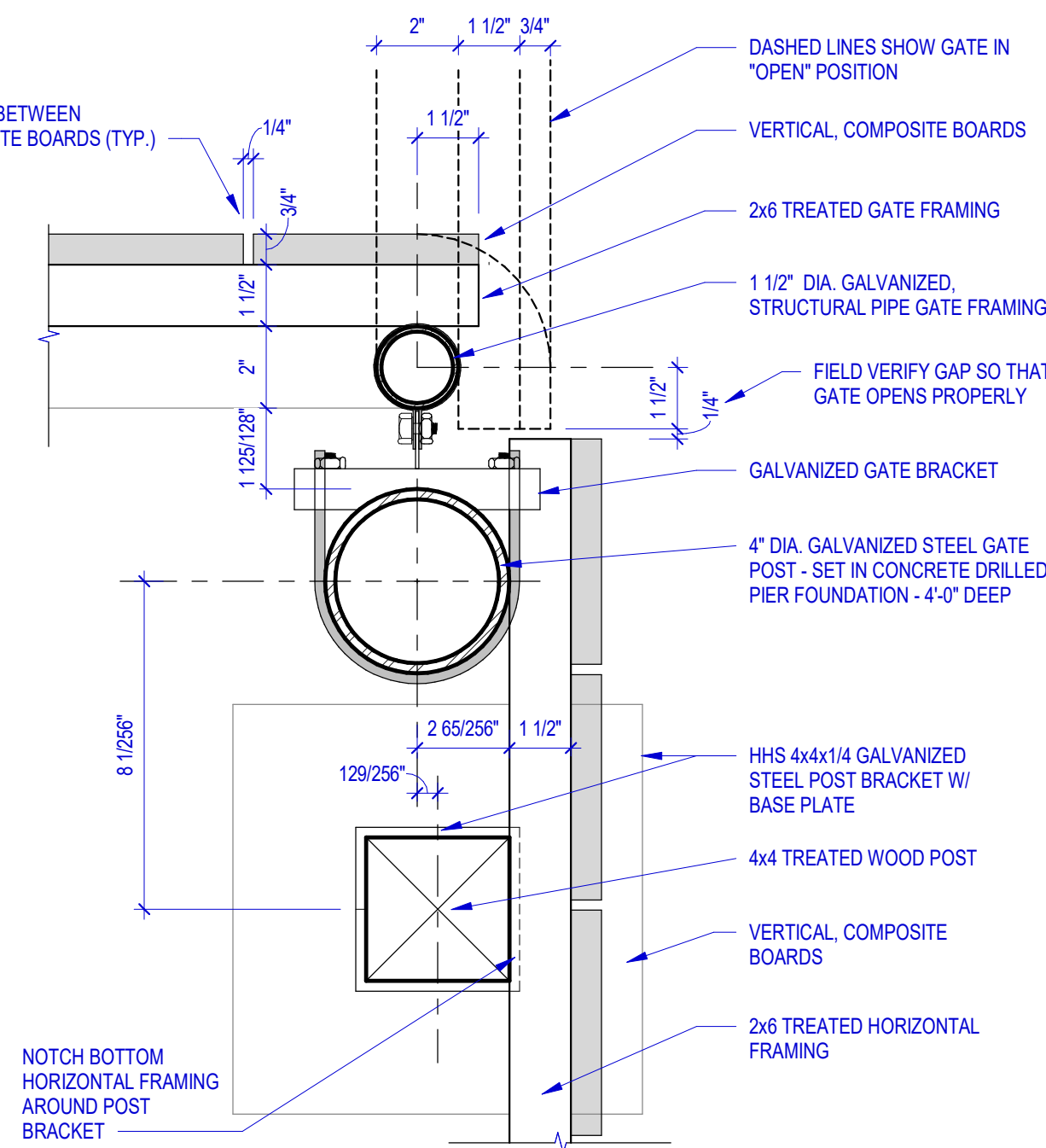
10 GATE FRAMING DETAIL AT TOP  
3" = 1'-0"



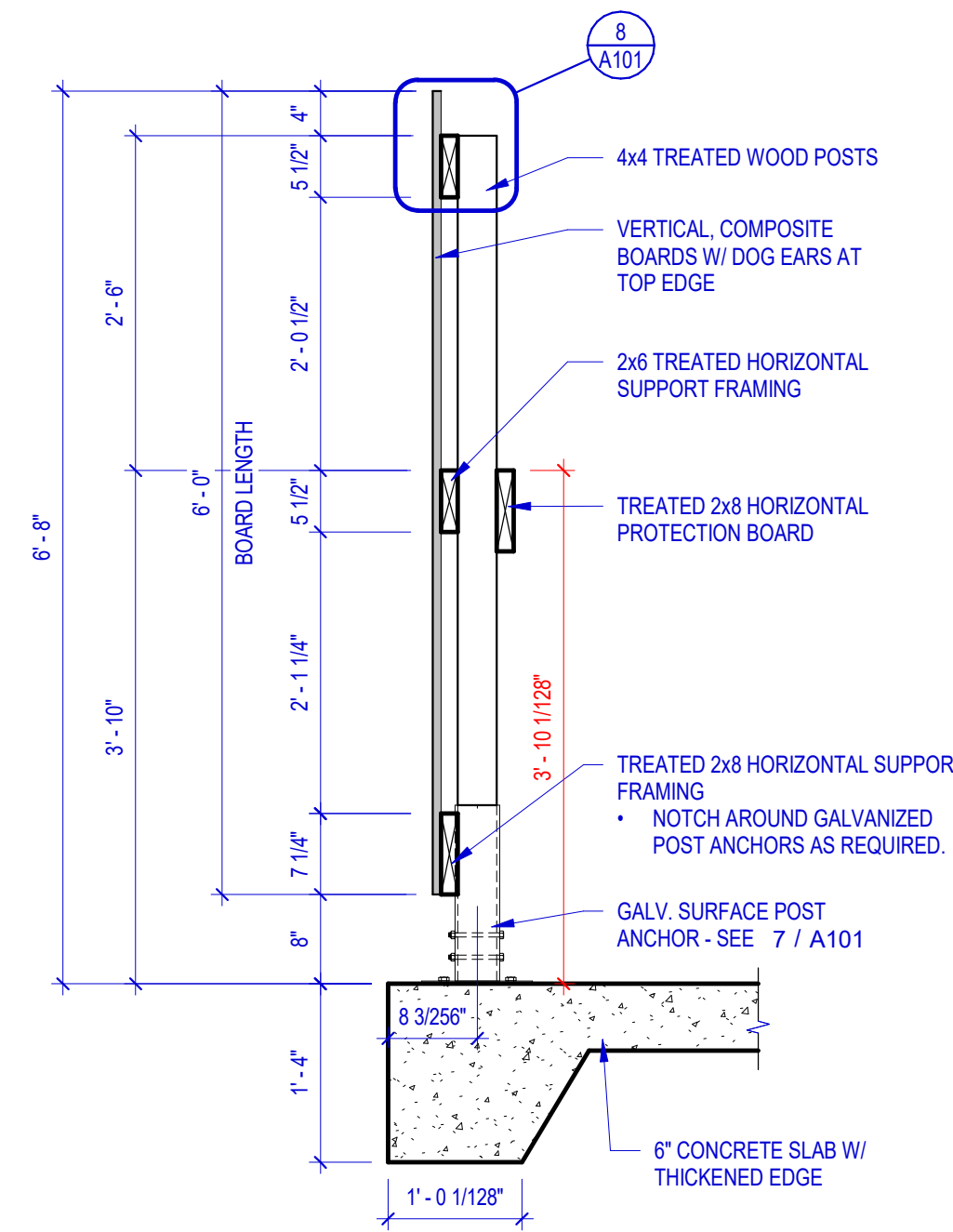
9 GATE FRAMING DETAIL AT BASE  
3" = 1'-0"



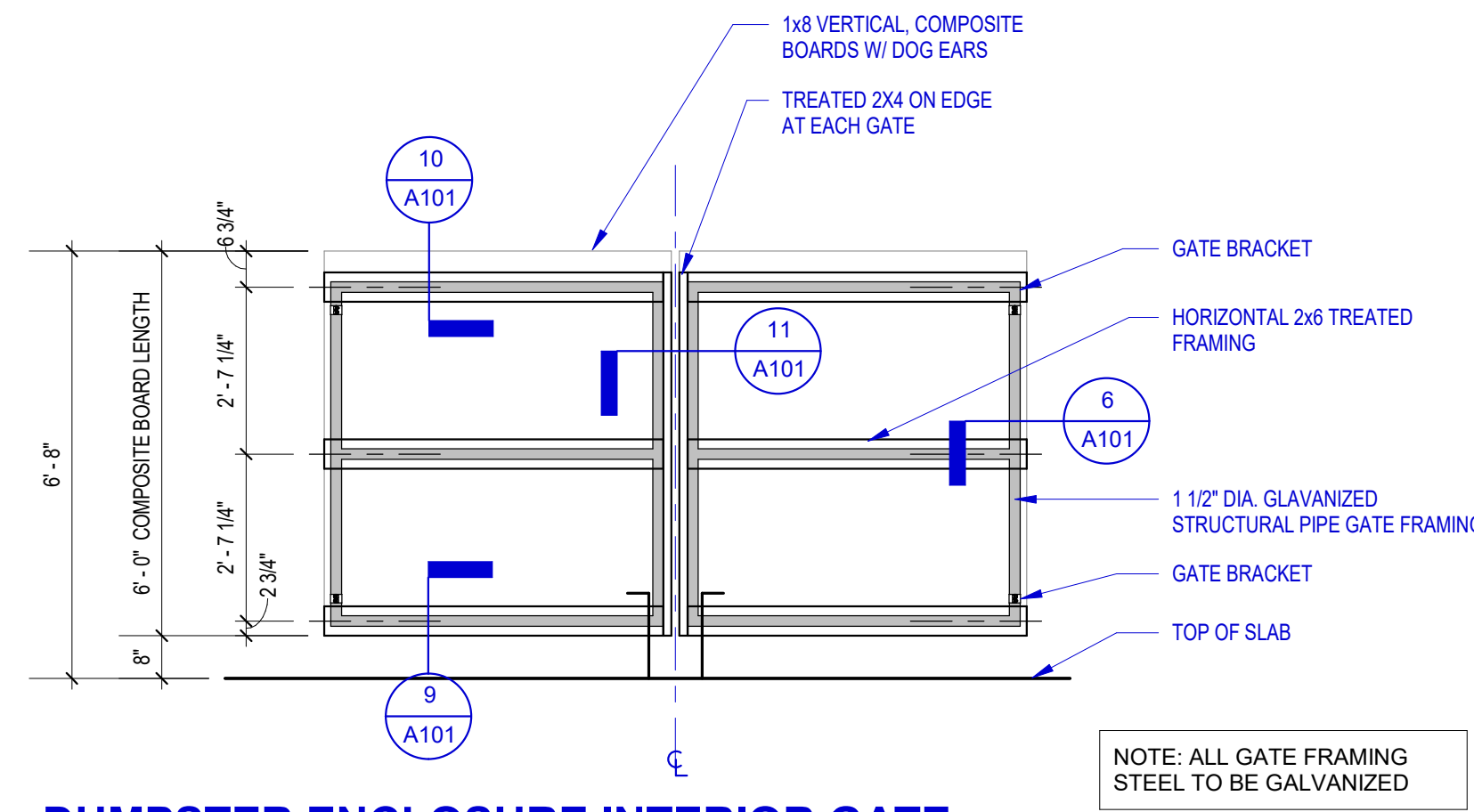
5 CORNER POST DETAIL  
3" = 1'-0"



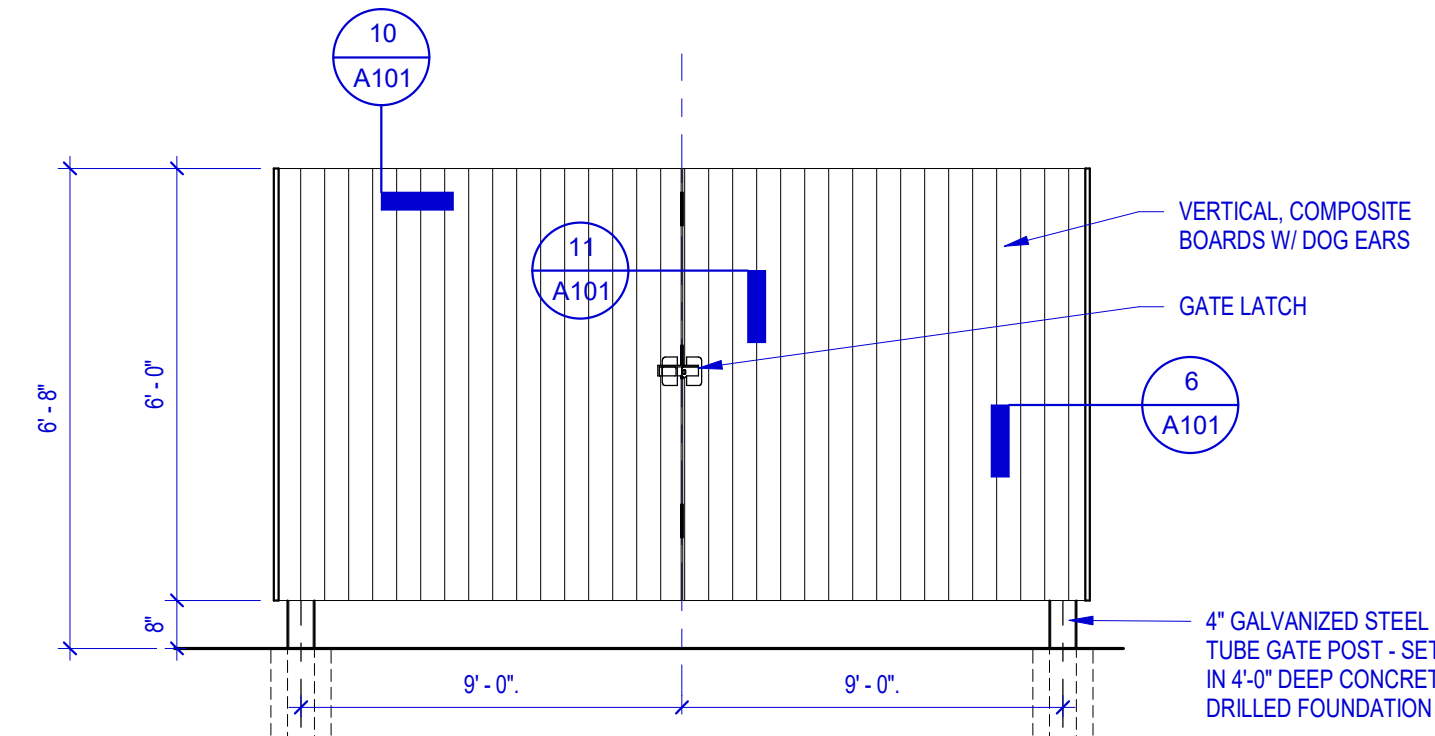
6 DUMPSTER ENCLOSURE - GATE POST DETAIL  
1/4" = 1'-0"



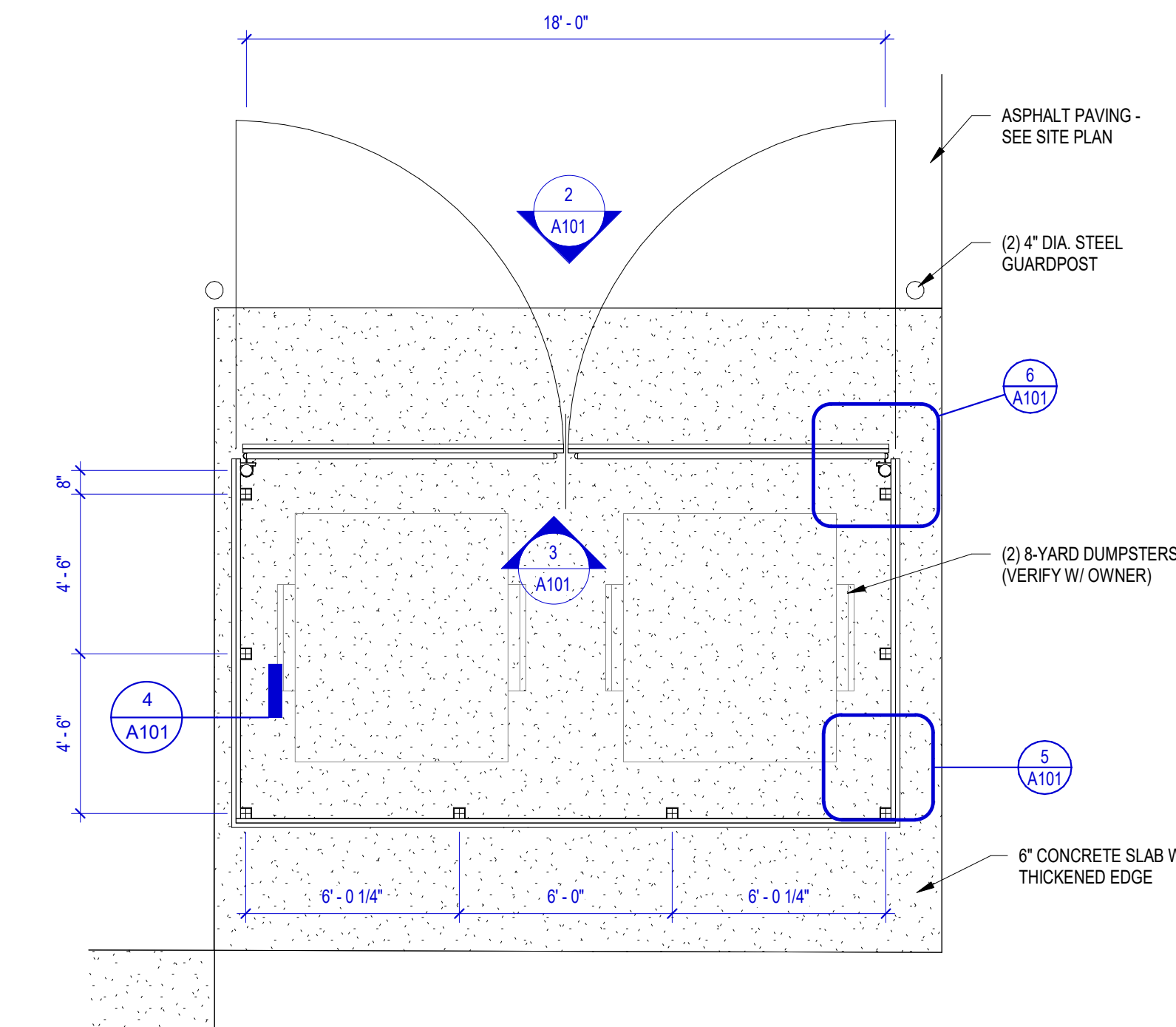
4 SECTION @ DUMPSTER ENCLOSURE  
3/4" = 1'-0"



3 DUMPSTER ENCLOSURE INTERIOR GATE ELEVATION  
3/8" = 1'-0"



2 DUMPSTER ENCLOSURE EXTERIOR GATE ELEVATION  
3/8" = 1'-0"



1 DUMPSTER ENCLOSURE PLAN  
1/4" = 1'-0"

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1802 PANKRATZ STREET  
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ISSUE DATES:		
Issue	Description	Date
UDC	UDC / PLAN COMMISSION	03-14-22

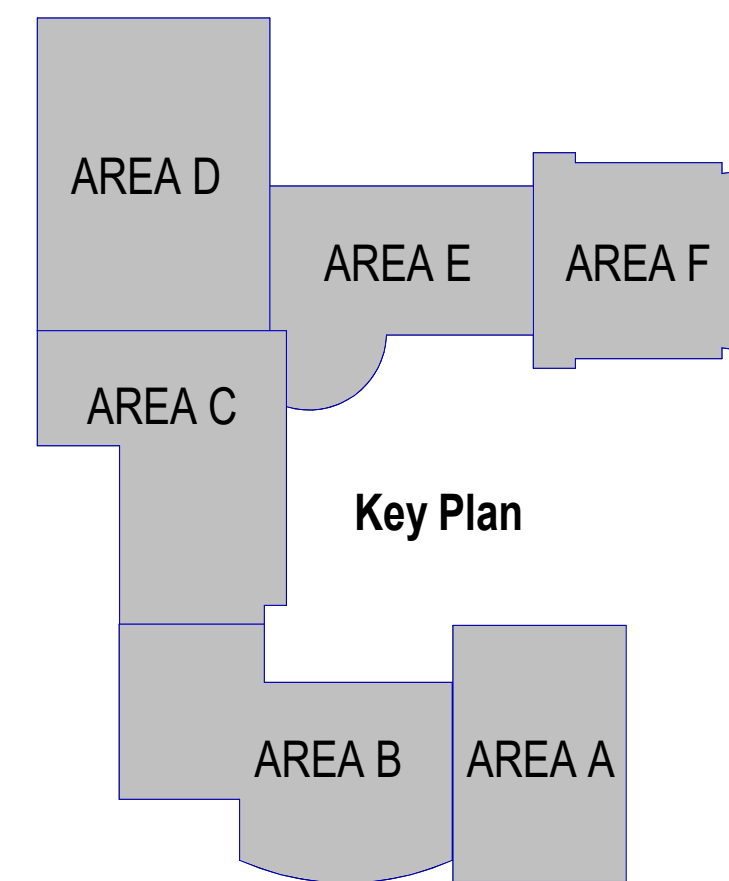
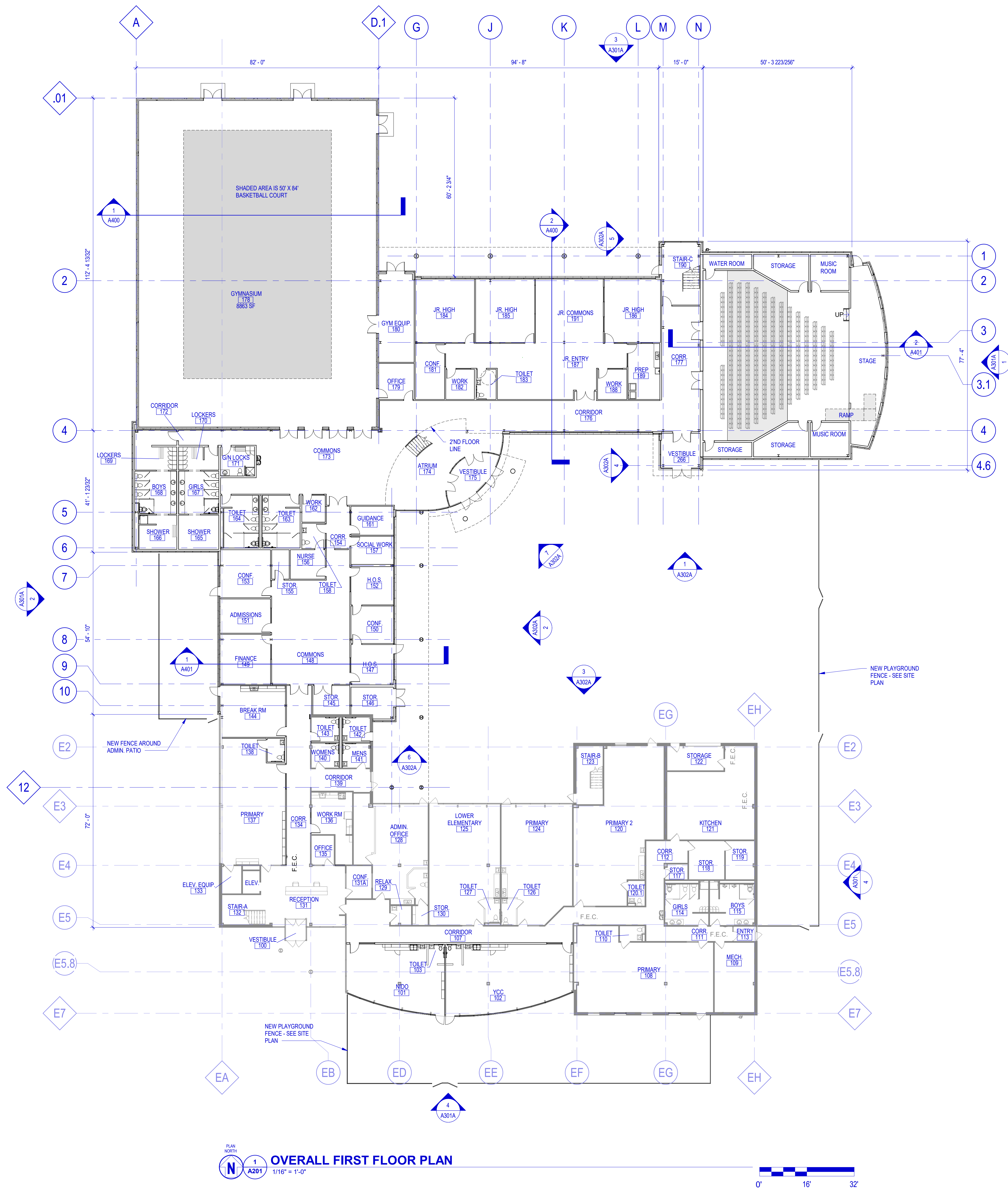
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Sheet Title  
OVERALL FIRST FLOOR PLAN

Project Number: 20210400  
Sheet Number

A201

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Issue	Description	Date
UDC	UDC / PLAN COMMISSION	03-14-22

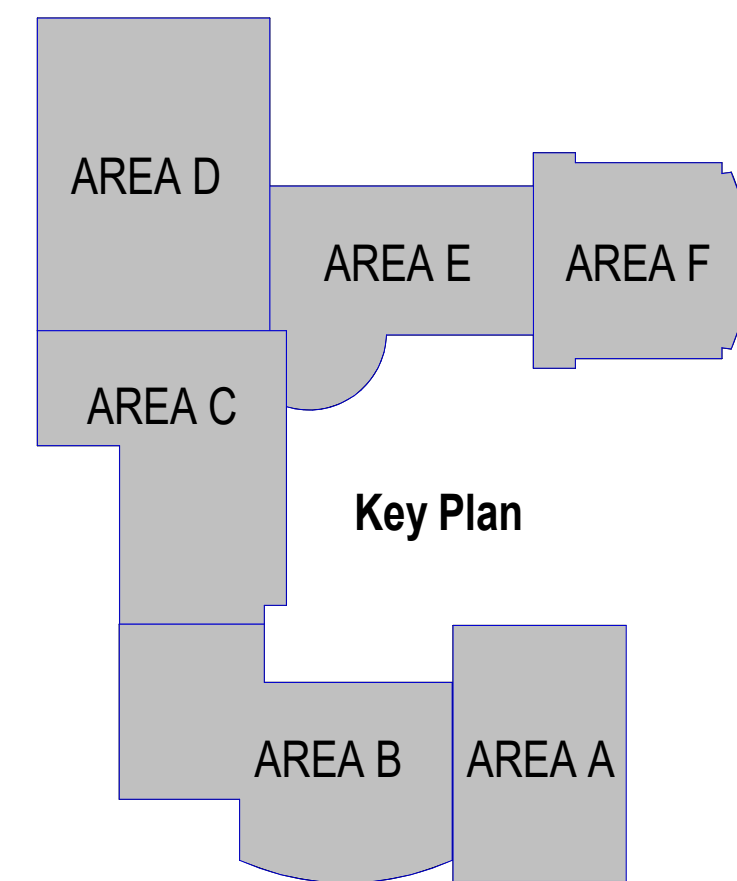
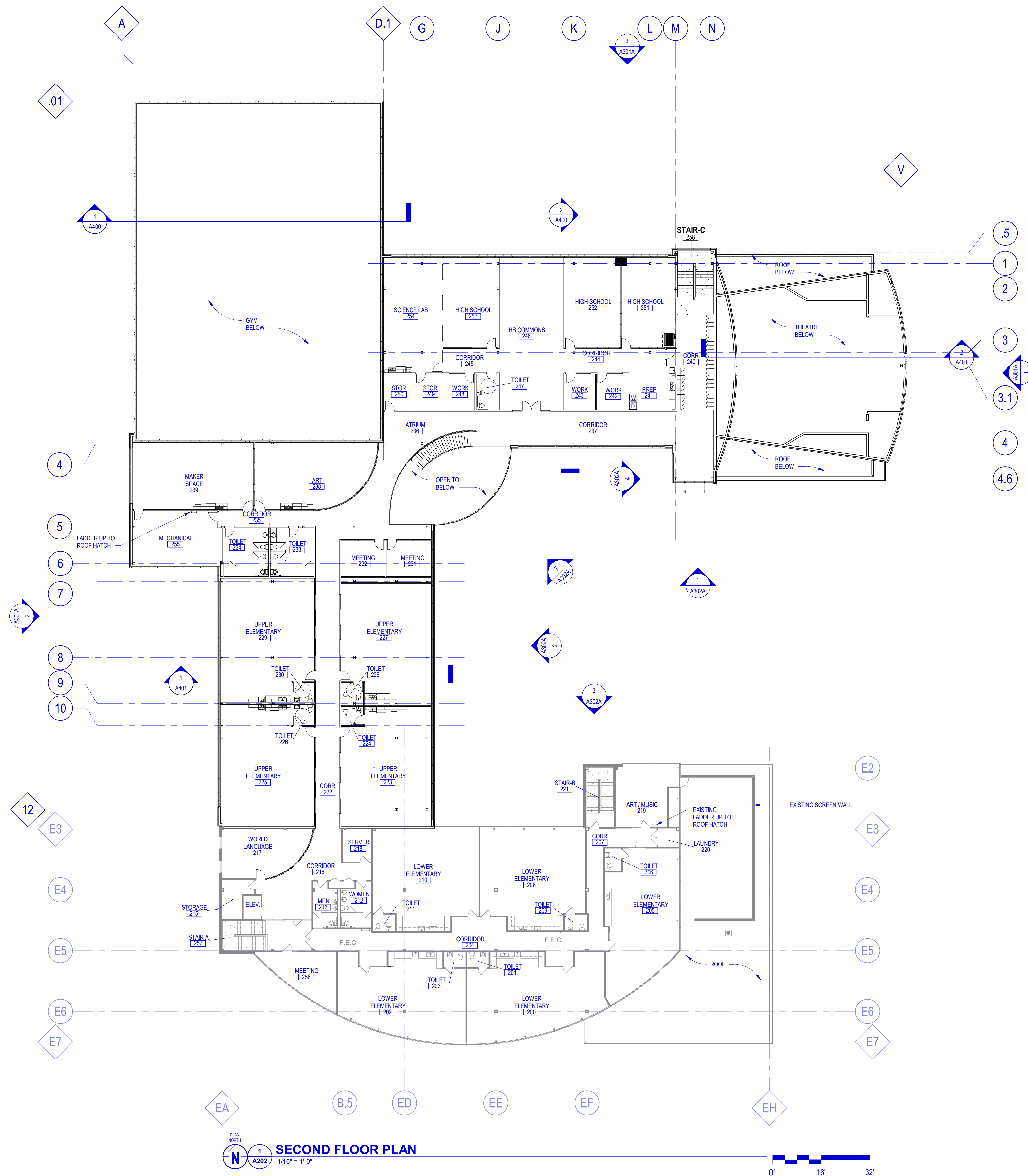
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Sheet Title  
OVERALL SECOND FLOOR PLAN

Project Number: 20210400  
Sheet Number

A202

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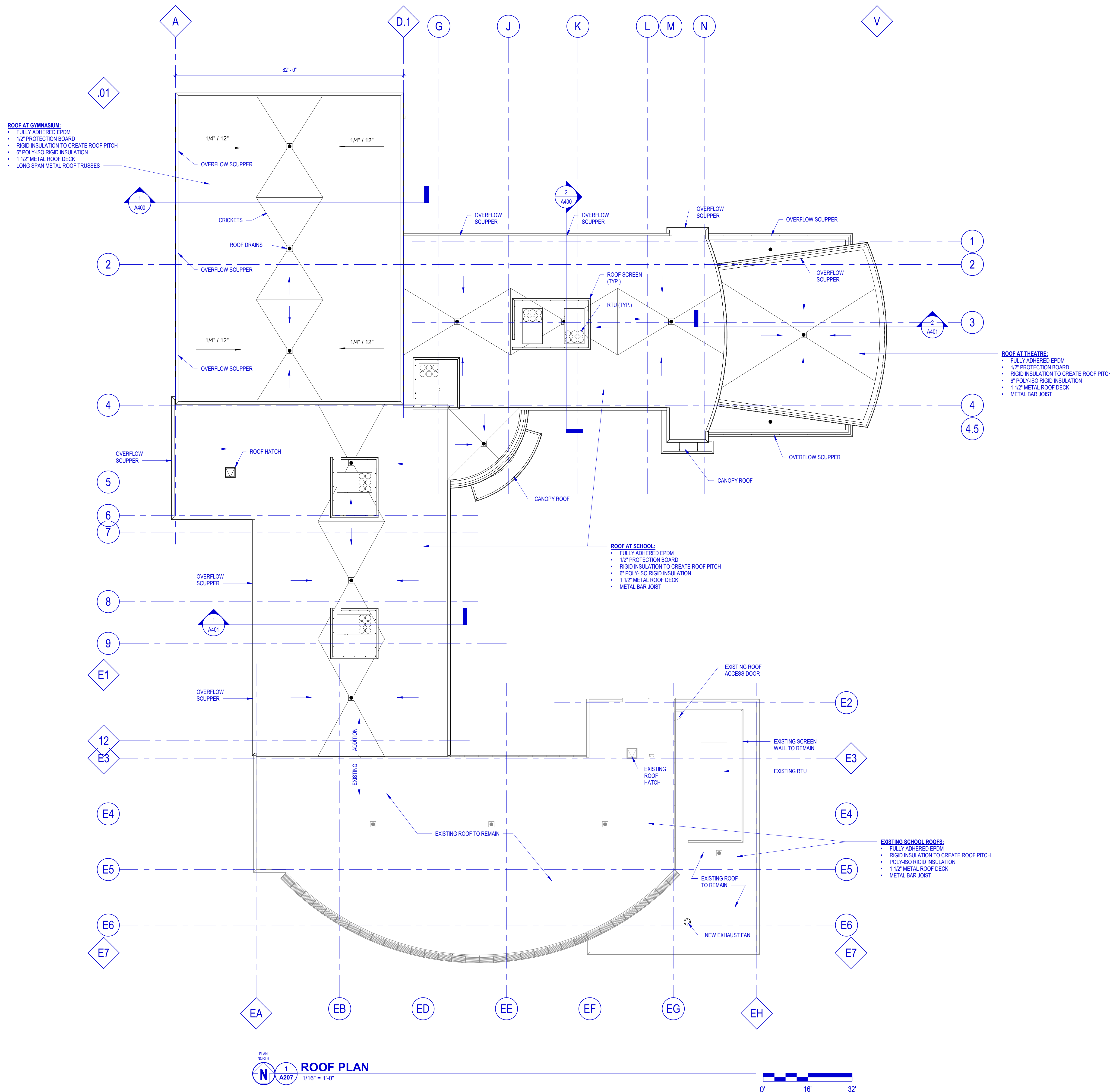
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Sheet Title  
ROOF PLAN

Project Number: 20210400  
Sheet Number

A207





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Sheet Title  
BUILDING  
ELEVATIONS

Project Number: 20210400  
Sheet Number

A301

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EXTERIOR MATERIAL LEGEND

CMV1	CONCRETE MASONRY VENEER MANUF: BUCKLE STONE C&P PRODUCT: HONEY STONES - LIMESTONE 12"x24" PANELS FINISH: SILVERDALE URL: <a href="https://bucklestone.com/product/silverdale-panels/">https://bucklestone.com/product/silverdale-panels/</a>
CMV2	CONCRETE MASONRY VENEER MANUF: COUNTY MATERIALS PRODUCT: HERITAGE COLLECTION - SMOOTH NF 4"x8"x16" FULL VENEER FINISH: COFFEE URL: <a href="https://www.countymaterials.com/en/products/masonry/heritage-collection-designer-concrete-brick/gsc-lab-0">https://www.countymaterials.com/en/products/masonry/heritage-collection-designer-concrete-brick/gsc-lab-0</a>
CMP	STEEL CORRUGATED METAL PANEL (RTU SCREENING) MANUF: CMG PRODUCT: ULTRA - RIB WALL PANEL FINISH: MATCH PREFINISHED CHAMPAIGN FLASHING COLOR
PWP	PRECAST INSULATED CONCRETE WALL PANEL MANUF: TBD FINISH: EXPOSED AGGREGATE CONCRETE (TAN)
ACM1	ALUMINUM COMPOSITE MATERIAL PANEL FINISH: CMR CHAMPAIGNE (MATCH EXISTING ACM PANELS)

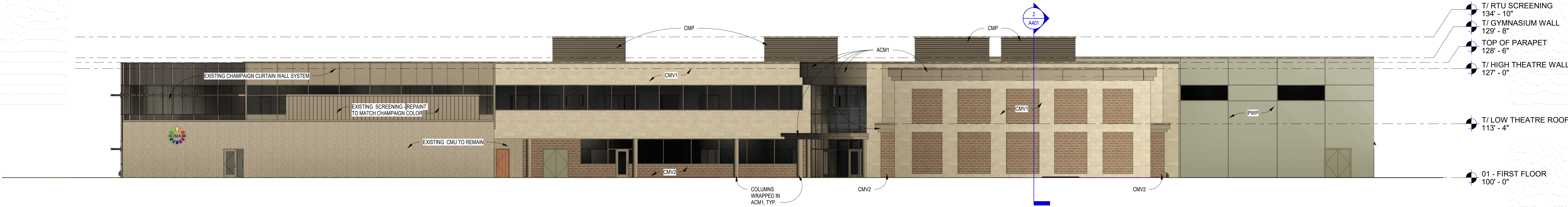
EXTERIOR DOOR PAINT COLORS:  
SHERWIN WILLIAMS - SW XXXX  
(EXTERIOR HOLLOW METAL DOORS - MATCH PRECAST PANEL AT GYMNASIUM)

WALL PARAPET PREFINISHED METAL COPING:  
MATCH EXISTING CHAMPAIGN CURTAIN WALL SYSTEM

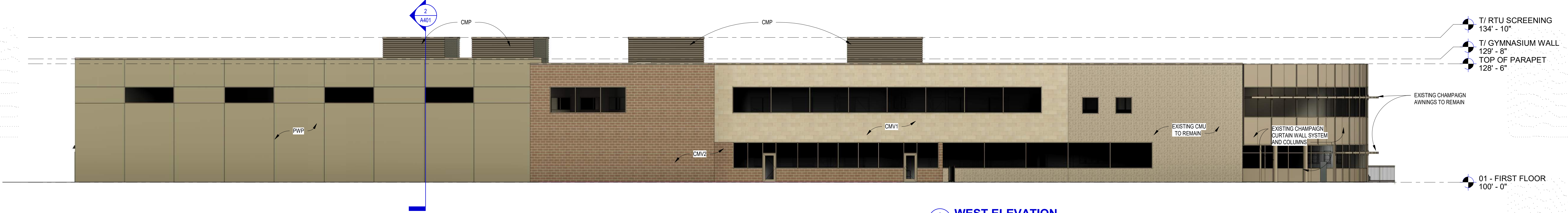
CURTAIN WALL GLAZING:  
1" GREY INSULATED LOW-E TEMPERED (TO MATCH EXISTING)  
1/4" GREY TEMPERED OUTBOARD LITE  
12" AIR SPACE  
1/4" CLEAR TEMPERED SOLARBAN 60 LOW-E (#3) INBOARD LITE

FENCING: Aluminum Commercial Grade  
MANUF: Alumi-Guard Commercial  
PRODUCT: Anod 3-Rail Design  
COLOR: Black

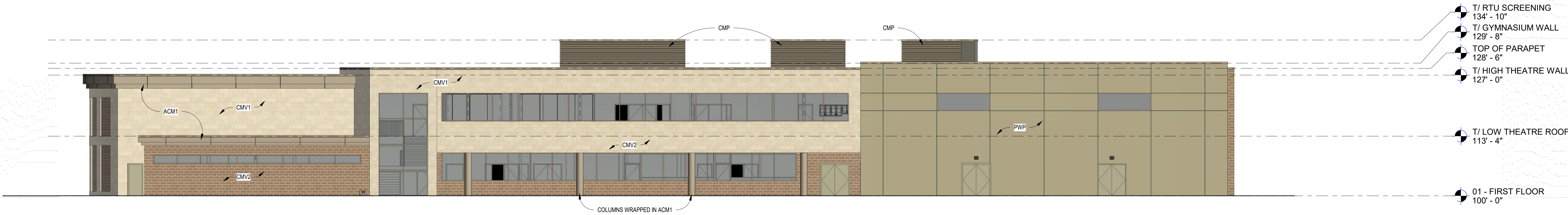
NOTES:  
ALL FENCING NOT SHOWN IN ELEVATIONS FOR CLARITY. SEE SITE PLAN AND PERSPECTIVE VIEWS



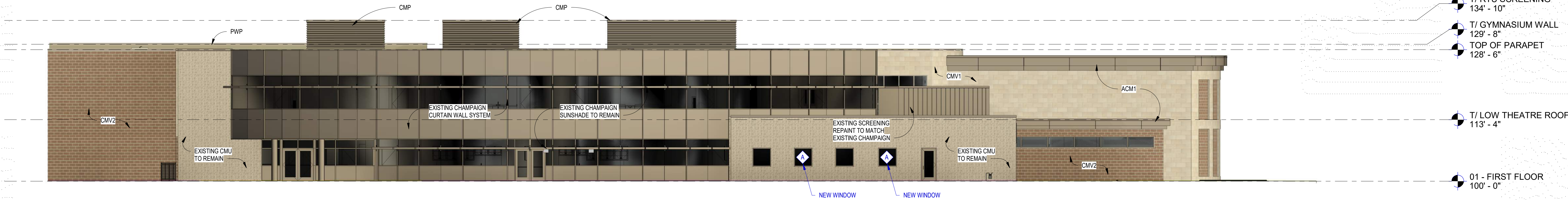
4 EAST ELEVATION  
3/32" = 1'-0"



2 WEST ELEVATION  
3/32" = 1'-0"



3 NORTH ELEVATION  
3/32" = 1'-0"



1 SOUTH ELEVATION  
3/32" = 1'-0"



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Issue	Description	Date
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Sheet Title  
**BUILDING ELEVATIONS**

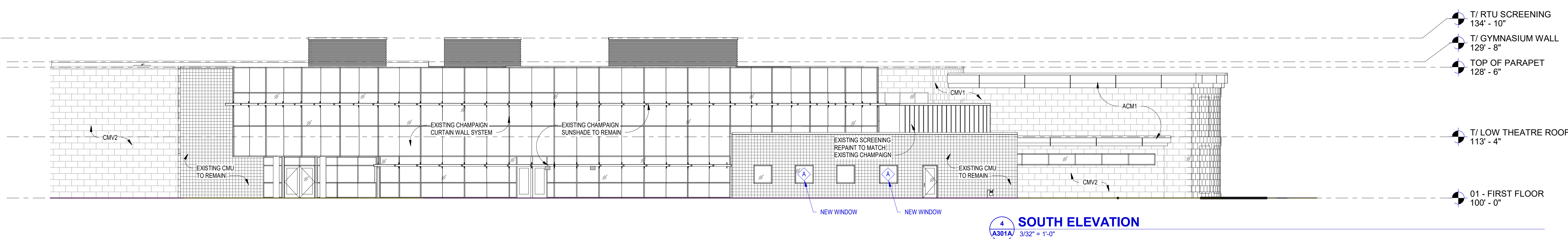
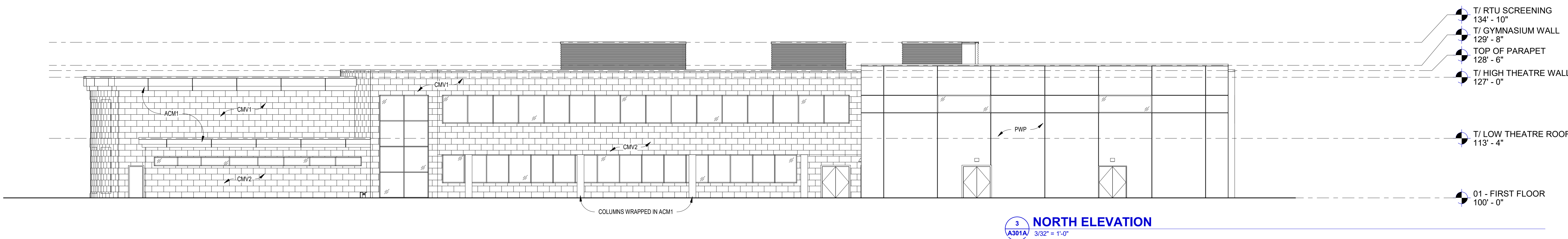
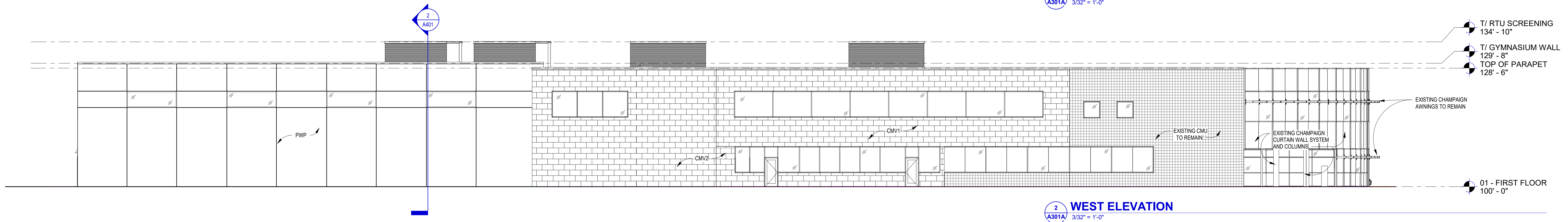
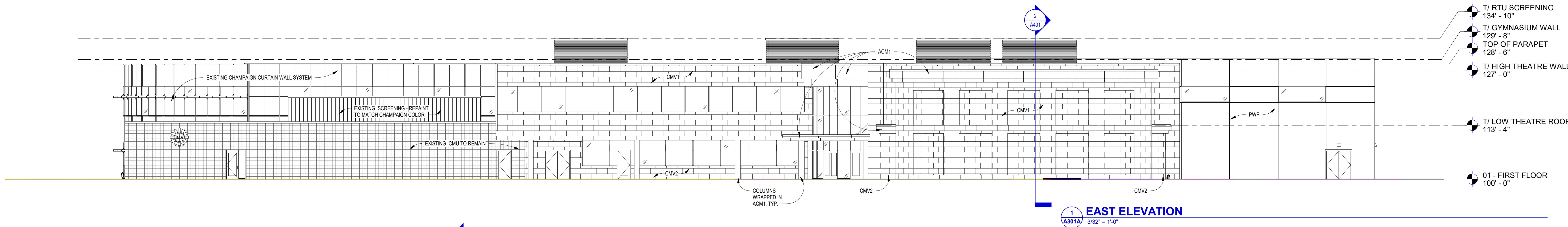
Project Number: 20210400  
Sheet Number

**A301A**

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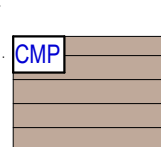
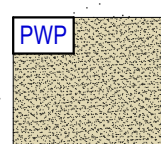
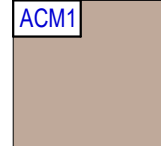
EXTERIOR MATERIAL LEGEND

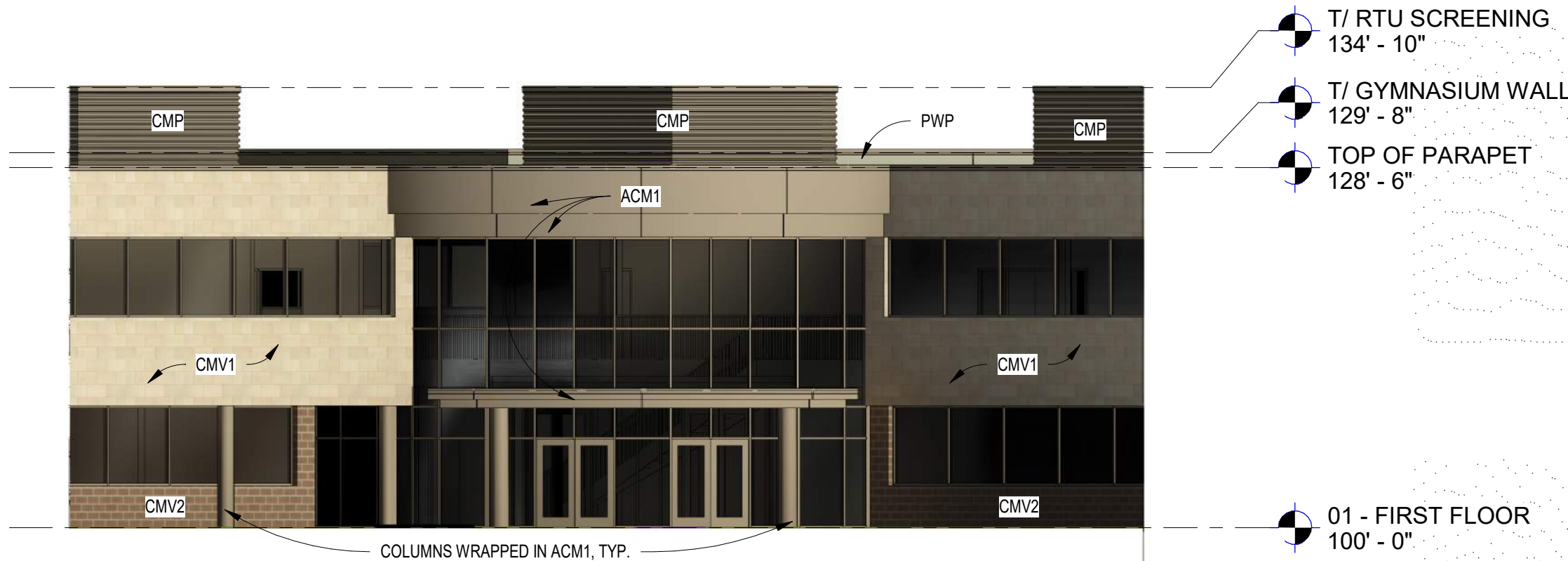
	<b>CONCRETE MASONRY VENEER</b> MANUF: BUECHEL STONE CORP. PRODUCT: HONEY STONES - LIMESTONE 12"x24" PANELS FINISH: SILVERDALE URL: <a href="https://buechelstone.com/product/silverdale-panels/">https://buechelstone.com/product/silverdale-panels/</a>	<b>EXTERIOR DOOR PAINT COLORS:</b> SHERWIN WILLIAMS - SW XXXX (EXTERIOR HOLLOW METAL DOORS - MATCH PRECAST PANEL AT GYMNASIUM)
	<b>CONCRETE MASONRY VENEER</b> MANUF: COUNTY MATERIALS PRODUCT: HERITAGE COLLECTION - SMOOTH NF 4"x8"x16" FULL VENEER FINISH: COFFEE URL: <a href="https://www.countymaterials.com/en/products/masonry/heritage-collection-designer-concrete-brickdgsc-tab=0">https://www.countymaterials.com/en/products/masonry/heritage-collection-designer-concrete-brickdgsc-tab=0</a>	<b>WALL PARAPET PREFINISHED METAL COPING:</b> MATCH EXISTING CHAMPAIGN CURTAIN WALL SYSTEM
	<b>STEEL CORRUGATED METAL PANEL (RTU SCREENING)</b> MANUF: CMS PRODUCT: ULTRA - RB WALL PANEL FINISH: MATCH PREFINISHED CHAMPAIGN FLASHING COLOR	<b>CURTAIN WALL GLAZING:</b> 1" GREY INSULATED LOW-E TEMPERED (TO MATCH EXISTING) 1/4" GREY TEMPERED OUTBOARD LITE 1/2" AIR SPACE 1/4" CLEAR TEMPERED SOLARBAN 60 LOW-E (R3) INBOARD LITE
	<b>PRECAST INSULATED CONCRETE WALL PANEL</b> MANUF: TSD FINISH: EXPOSED AGGREGATE CONCRETE (TAN)	<b>FENCING:</b> Aluminum Commercial Grade MANUF: Alumi-Guard Commercial PRODUCT: Ascot 3-Rail Design COLOR: Black
	<b>ALUMINUM COMPOSITE MATERIAL PANEL</b> MANUF: ALPOLIC FINISH: CMS CHAMPAGNE (MATCH EXISTING ACM PANELS)	<b>NOTES:</b> ALL FENCING NOT SHOWN IN ELEVATIONS FOR CLARITY. SEE SITE PLAN AND PERSPECTIVE VIEWS



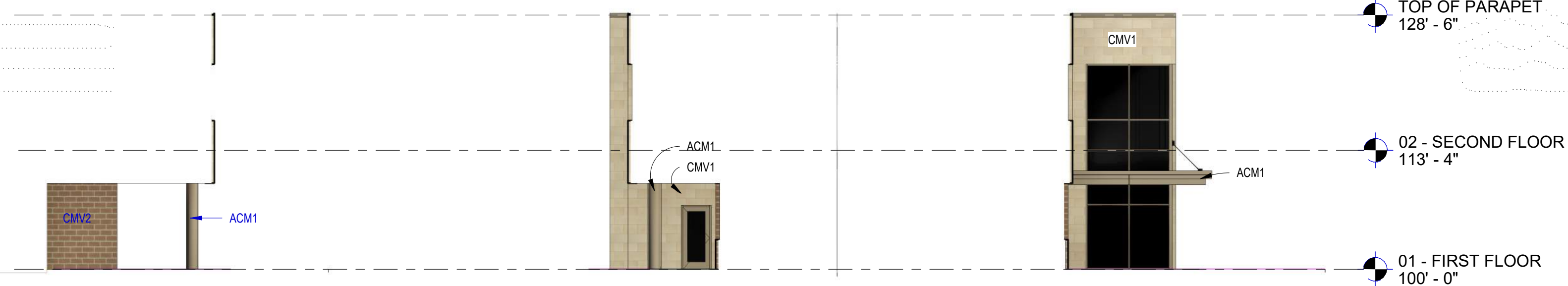


EXTERIOR MATERIAL LEGEND

	<b>CONCRETE MASONRY VENEER</b> MANUF: BUECHEL STONE CORP. PRODUCT: HONEY STONES - LIMESTONE 12"x24" PANELS FINISH: SILVERDALE URL: <a href="https://buechelstone.com/products/silverdale-panels/">https://buechelstone.com/products/silverdale-panels/</a>	<b>EXTERIOR DOOR PAINT COLORS:</b> SHERWIN WILLIAMS - SW XXXX (EXTERIOR HOLLOW METAL DOORS - MATCH PRECAST PANEL AT GYMNASIUM)
	<b>CONCRETE MASONRY VENEER</b> MANUF: COUNTY MATERIALS PRODUCT: HERITAGE COLLECTION - SMOOTH NF 4"x8"x16" FULL VENEER FINISH: COFFEE URL: <a href="https://www.countymaterials.com/en/products/masonry/heritage-collection-designer-concrete-bricks/gsc-tab-0">https://www.countymaterials.com/en/products/masonry/heritage-collection-designer-concrete-bricks/gsc-tab-0</a>	<b>WALL PARAPET PREFINISHED METAL COPING:</b> MATCH EXISTING CHAMPAIGN CURTAIN WALL SYSTEM
	<b>STEEL CORRUGATED METAL PANEL (RTU SCREENING)</b> MANUF: CMG PRODUCT: ULTRA - RIB WALL PANEL FINISH: MATCH PREFINISHED CHAMPAIGN FLASHING COLOR	<b>CURTAIN WALL GLAZING:</b> 1" GREY INSULATED LOW-E TEMPERED (TO MATCH EXISTING) 1/4" GREY TEMPERED OUTBOARD LITE 1/2" AIR SPACE 1/4" CLEAR TEMPERED SOLARBAN 60 LOW-E (#3) INBOARD LITE
	<b>PRECAST INSULATED CONCRETE WALL PANEL</b> MANUF: TBS FINISH: EXPOSED AGGREGATE CONCRETE (TAN)	<b>FENCING:</b> Aluminum Commercial Grade MANUF: Alumi-Guard Commercial PRODUCT: Jascot 3-Rail Design COLOR: Black
	<b>ALUMINUM COMPOSITE MATERIAL PANEL</b> FINISH: CMR CHAMPAGNE (MATCH EXISTING ACM PANELS)	<b>NOTES:</b> ALL FENCING NOT SHOWN IN ELEVATIONS FOR CLARITY. SEE SITE PLAN AND PERSPECTIVE VIEWS



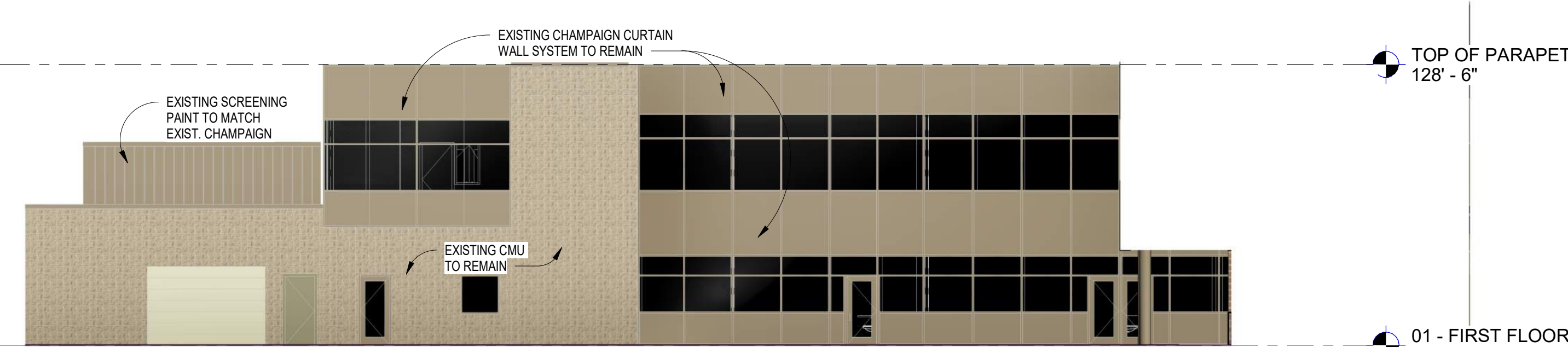
7 ELEVATION AT LOBBY ENTRANCE  
A302 3/32" = 1'-0"



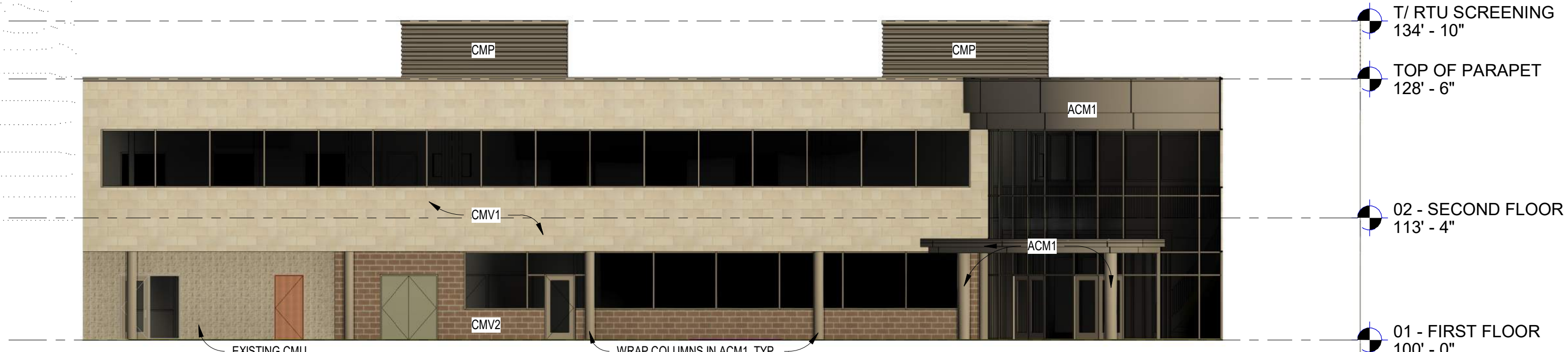
6 SOUTH ELEVATION AT INSET 1  
A302 3/32" = 1'-0"

5 WEST ELEVATION AT INSET 2  
A302 3/32" = 1'-0"

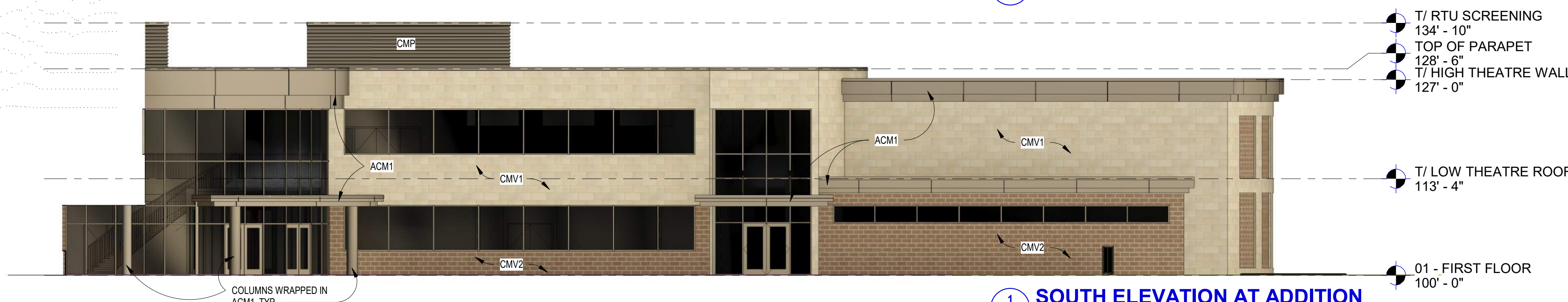
4 WEST ELEVATION AT INSET 1  
A302 3/32" = 1'-0"



3 NORTH ELEVATION AT EXISTING  
A302 3/32" = 1'-0"



2 EAST ELEVATION AT ADDITION  
A302 3/32" = 1'-0"

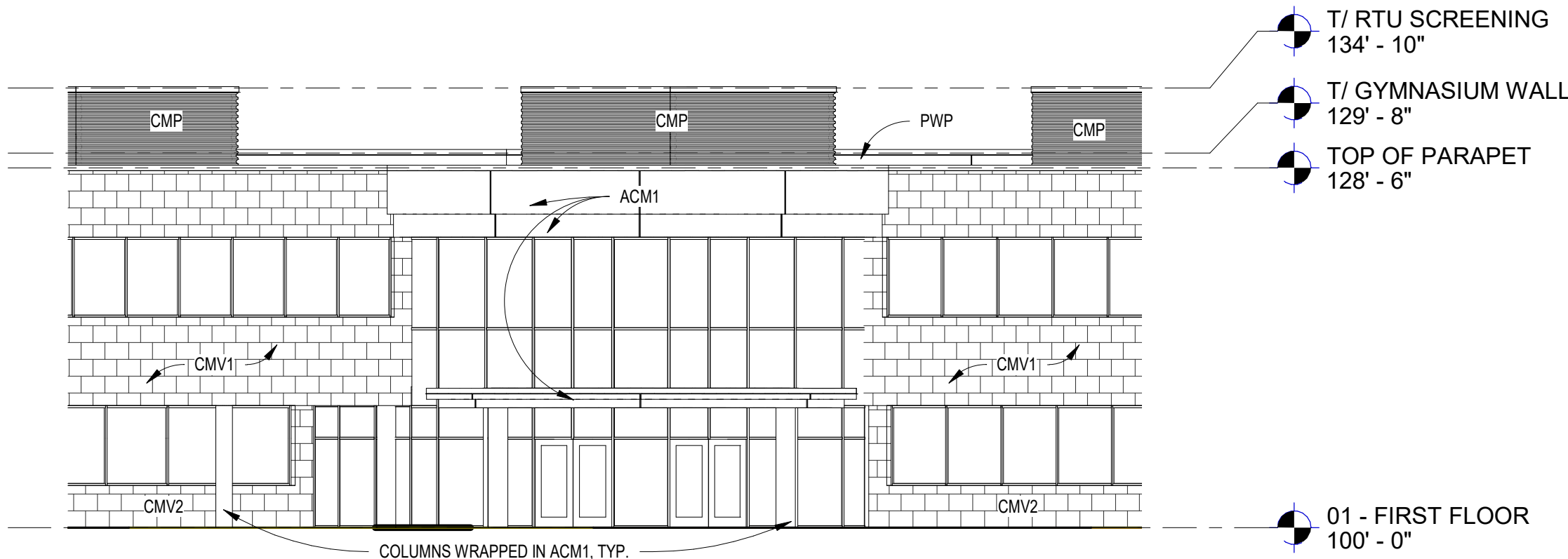


1 SOUTH ELEVATION AT ADDITION  
A302 3/32" = 1'-0"

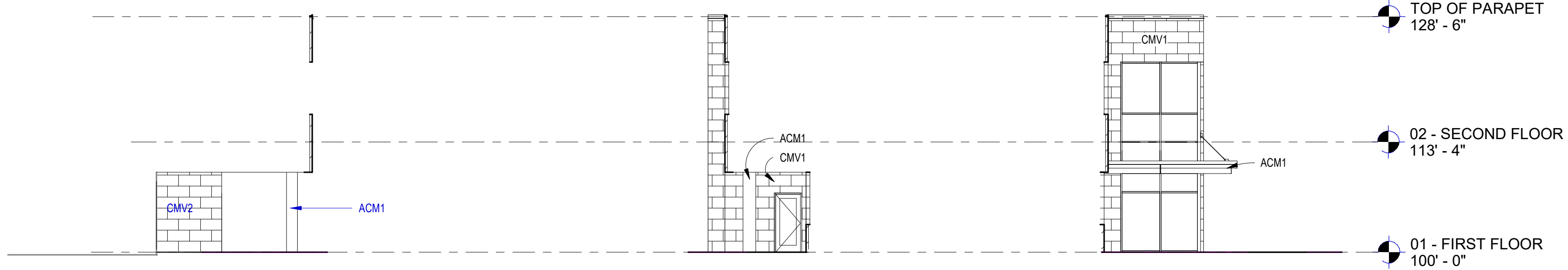


EXTERIOR MATERIAL LEGEND

<b>CMV1</b>	<b>CONCRETE MASONRY VENEER</b> MANUF: BUECHEL STONE CORP. PRODUCT: HONEY STONES - LIMESTONE 12"x24" PANELS FINISH: SILVERDALE URL: <a href="https://buechelstone.com/product/silverdale-panels/">https://buechelstone.com/product/silverdale-panels/</a>	<b>EXTERIOR DOOR PAINT COLORS:</b> SHERWIN WILLIAMS - SW XXXX (EXTERIOR HOLLOW METAL DOORS - MATCH PRECAST PANEL AT GYMNASIUM)
<b>CMV2</b>	<b>CONCRETE MASONRY VENEER</b> MANUF: COUNTY MATERIALS PRODUCT: HERITAGE COLLECTION - SMOOTH NF 4"x8"x16" FULL VENEER FINISH: COFFEE URL: <a href="https://www.countymaterials.com/en/products/masonry/heritage-collection-designer-concrete-bricks&amp;gsc_tab=0">https://www.countymaterials.com/en/products/masonry/heritage-collection-designer-concrete-bricks&amp;gsc_tab=0</a>	<b>WALL PARAPET PREFINISHED METAL COPING:</b> MATCH EXISTING CHAMPAIGN CURTAIN WALL SYSTEM
<b>CMP</b>	<b>STEEL CORRUGATED METAL PANEL (RTU SCREENING)</b> MANUF: CMG PRODUCT: ULTRA - RIB WALL PANEL FINISH: MATCH PREFINISHED CHAMPAIGN FLASHING COLOR	<b>CURTAIN WALL GLAZING:</b> 1" GREY INSULATED LOW-E TEMPERED (TO MATCH EXISTING) 1/4" GREY TEMPERED OUTBOARD LITE 1/2" AIR SPACE 1/4" CLEAR TEMPERED SOLARBAN 60 LOW-E (#5) INBOARD LITE
<b>PWP</b>	<b>PRECAST INSULATED CONCRETE WALL PANEL</b> MANUF: TBO FINISH: EXPOSED AGGREGATE CONCRETE (TAN)	<b>FENCING:</b> Aluminum Commercial Grade MANUF: Alum-Guard Commercial PRODUCT: Ascot 3-Rail Design COLOR: Black
<b>ACM1</b>	<b>ALUMINUM COMPOSITE MATERIAL PANEL</b> MANUF: ALPOLIC FINISH: CMR CHAMPAGNE (MATCH EXISTING ACM PANELS)	<b>NOTES:</b> ALL FENCING NOT SHOWN IN ELEVATIONS FOR CLARITY. SEE SITE PLAN AND PERSPECTIVE VIEWS



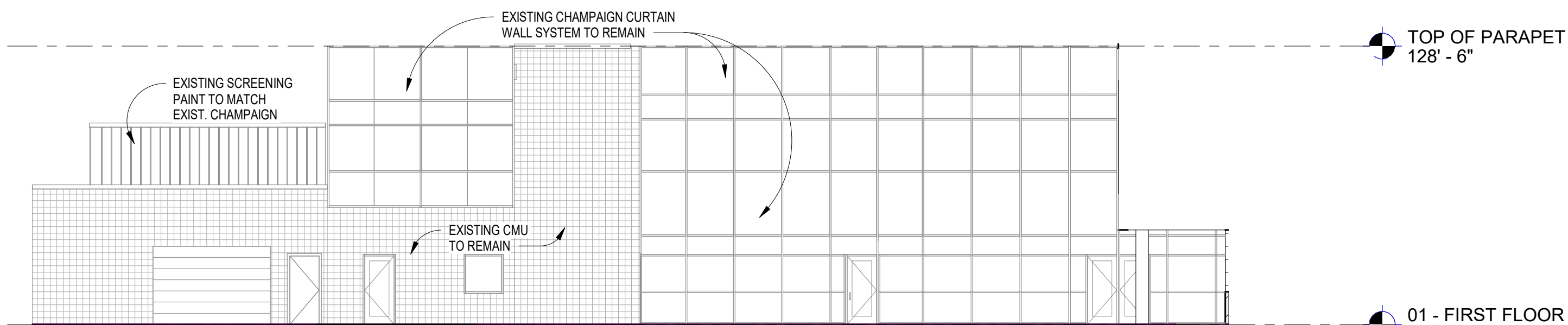
7 ELEVATION AT LOBBY ENTRANCE A302A  
3/32" = 1'-0"



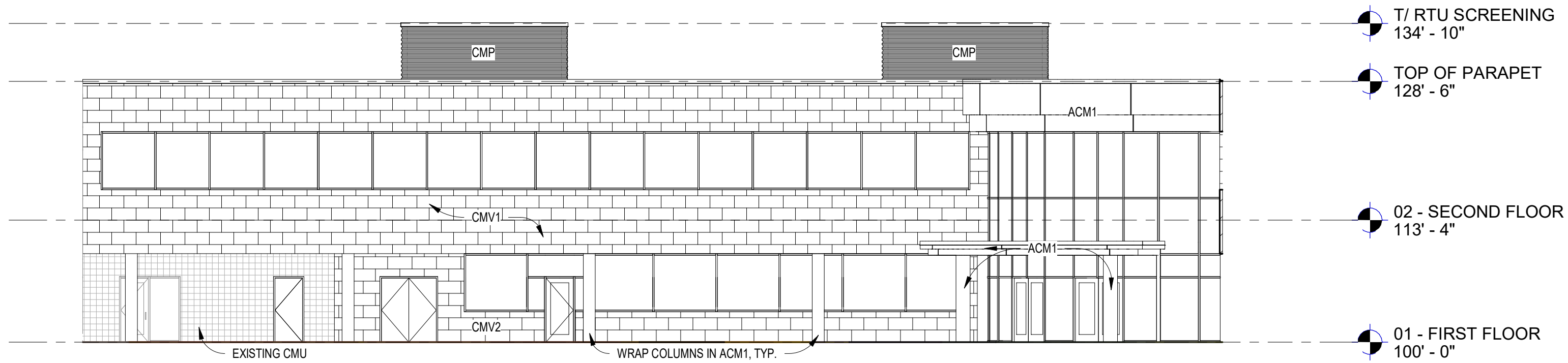
6 SOUTH ELEVATION AT INSET 1  
3/32" = 1'-0"

5 WEST ELEVATION AT INSET 2  
3/32" = 1'-0"

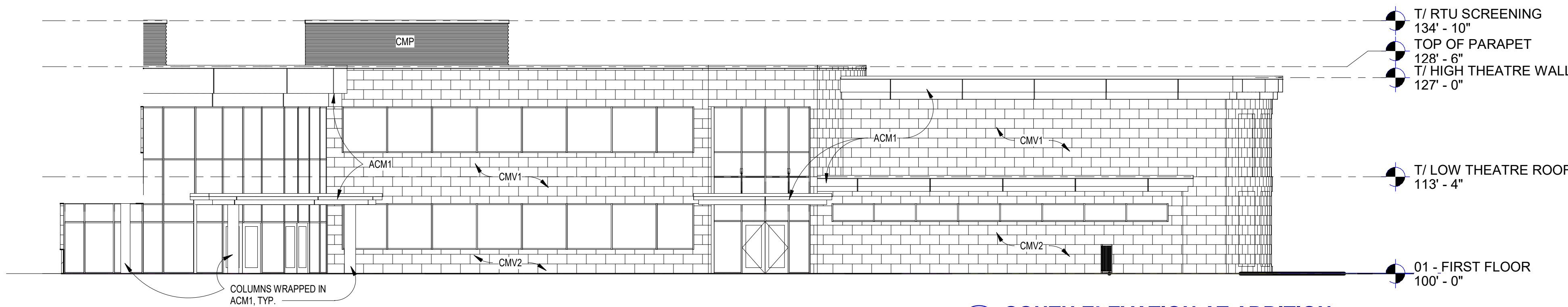
4 WEST ELEVATION AT INSET 1  
3/32" = 1'-0"



3 NORTH ELEVATION AT EXISTING  
3/32" = 1'-0"

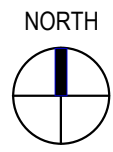


2 EAST ELEVATION AT ADDITION  
3/32" = 1'-0"



1 SOUTH ELEVATION AT ADDITION  
3/32" = 1'-0"





EXISTING BUILDING / SITE



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MADISON, WI 53704

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Sheet Title  
EXISTING BUILDING PHOTOS

Project Number: 20210400  
Sheet Number

A303





1 NORTH WEST VIEW FROM PANKRATZ ST.  
A304 12" = 1'-0"



2 SOUTH EAST VIEW FROM PACKERS AVE.  
A304 12" = 1'-0"

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Sheet Title  
PERSPECTIVES

Project Number: 20210400  
Sheet Number

A304





1 NORTH WEST AERIAL VIEW  
A305 12" = 1'-0"



2 SOUTH WEST AERIAL VIEW  
A306 12" = 1'-0"

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1802 PANKRATZ STREET, MADISON, WI

**ISTHMUS MONTESSORI ACADEMY**  
1802 PANKRATZ STREET  
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ISSUE DATES:		
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Sheet Title  
**PERSPECTIVES**

Project Number: 20210400  
Sheet Number

**A305**



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**ISTHMUS MONTESSORI ACADEMY**  
1802 PANKRATZ STREET  
MADISON, WI 53704

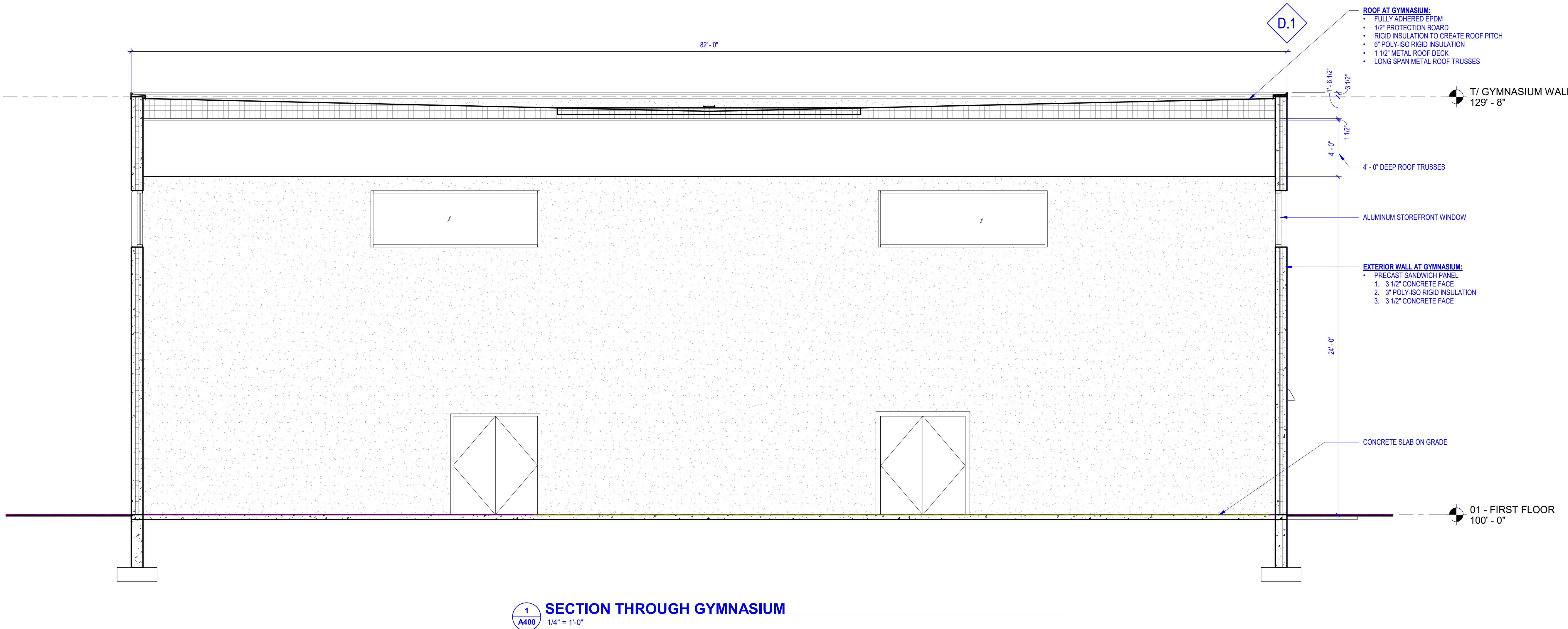
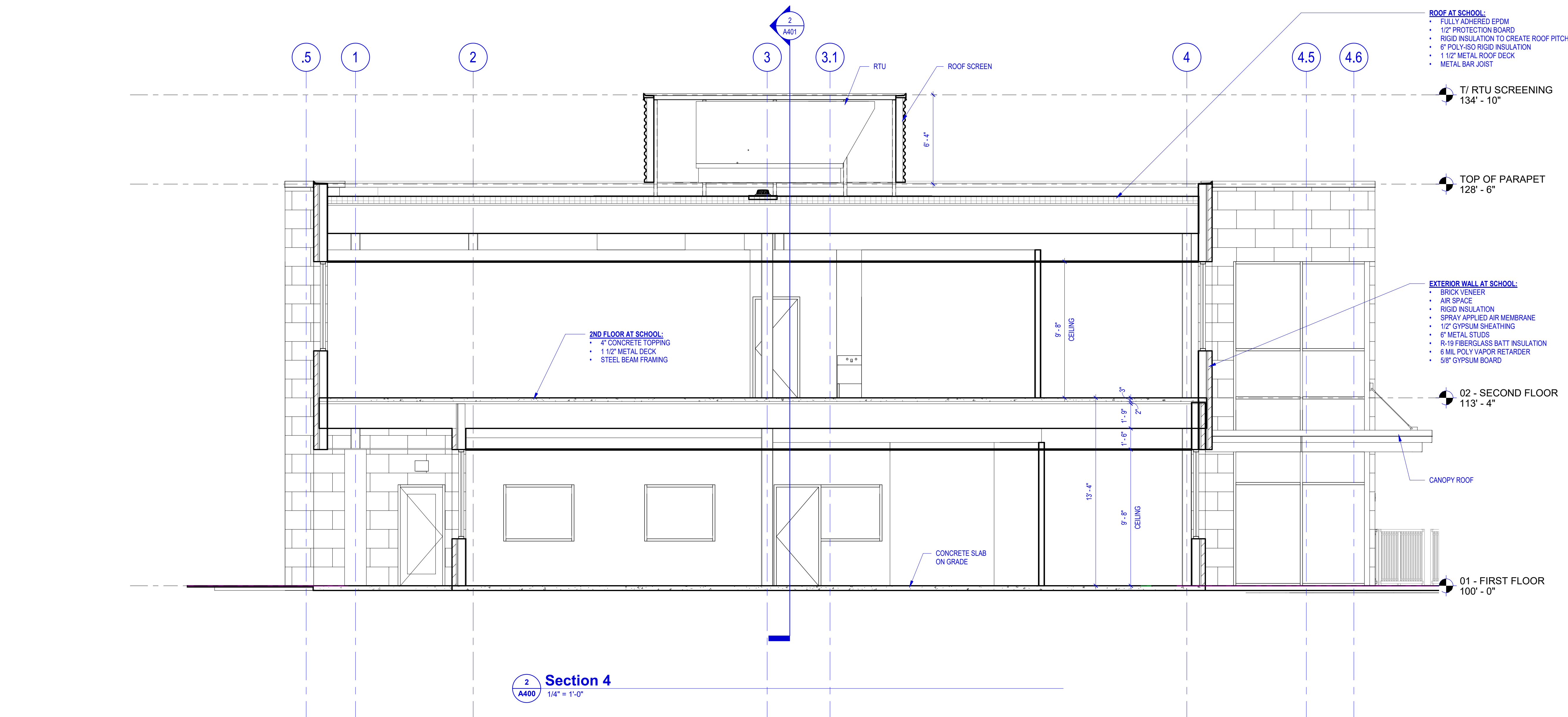
ISSUE DATES:		
Issue	Description	Date
UDC	UDC / PLAN COMMISSION	03-14-22

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Sheet Title  
**BUILDING SECTIONS**

Project Number: 20210400  
Sheet Number

**A400**



**ISTHMUS MONTESSORI ACADEMY**

1802 PANKRATZ STREET, MADISON, WI  
**ISTHMUS MONTESSORI ACADEMY**  
1802 PANKRATZ STREET  
MADISON, WI 53704

ISSUE DATES:		
Issue	Description	Date
UDC	UDC / PLAN COMMISSION	03-14-22

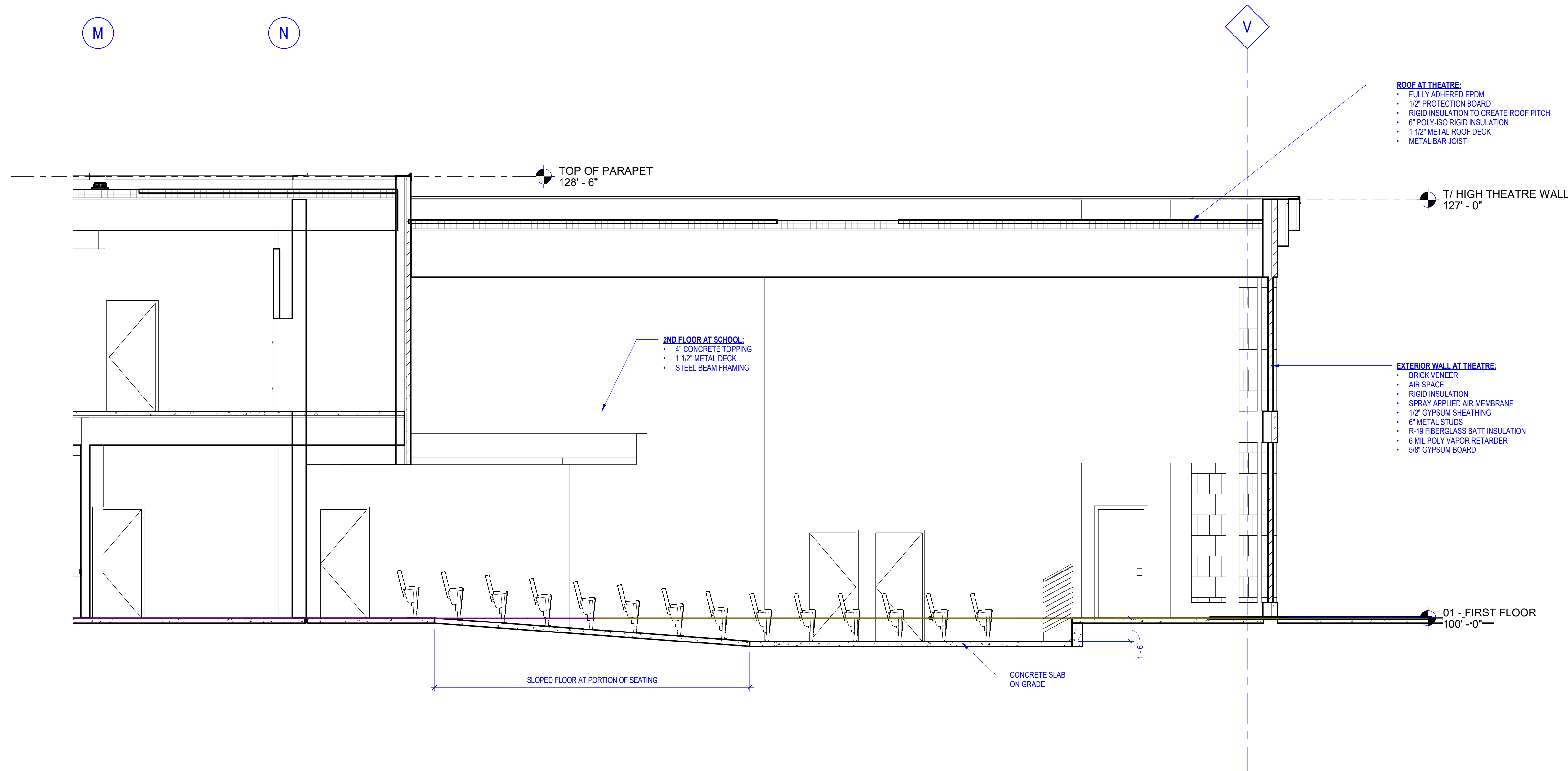
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Sheet Title  
**BUILDING SECTIONS**

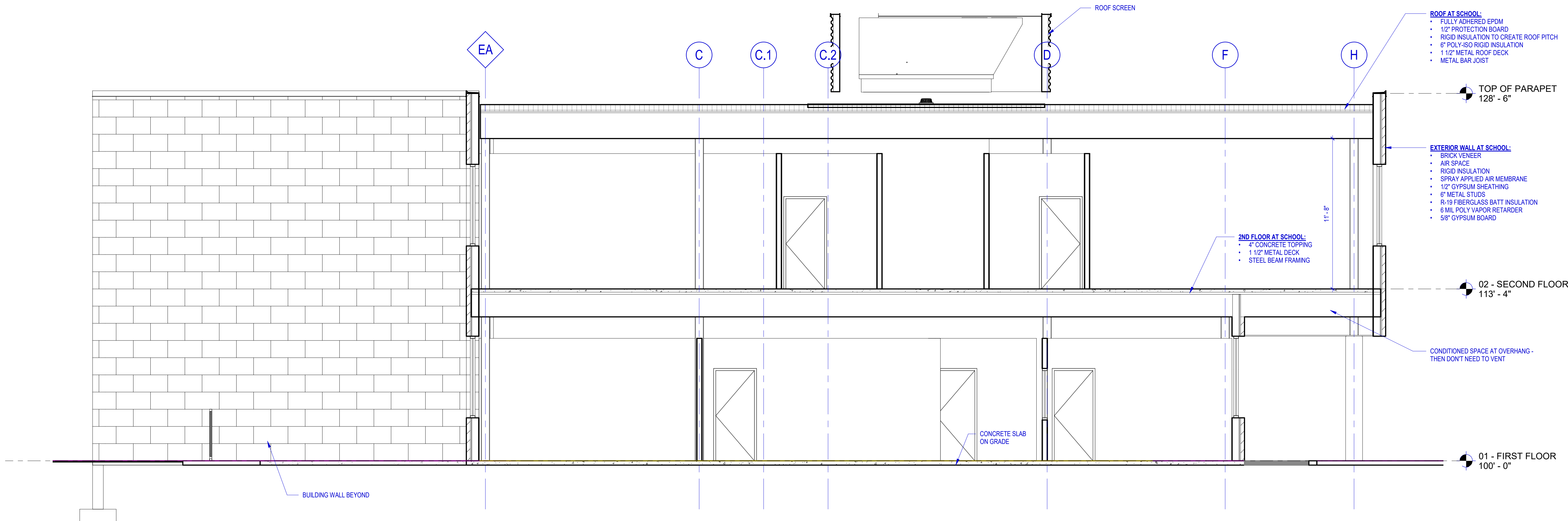
Project Number: 20210400  
Sheet Number

**A401**

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**2 BUILDING SECTION AT THEATRE**  
A401 1/4" = 1'-0"



**1 BUILDING SECTION AT ADDITION 2**  
A401 1/4" = 1'-0"





LEGEND

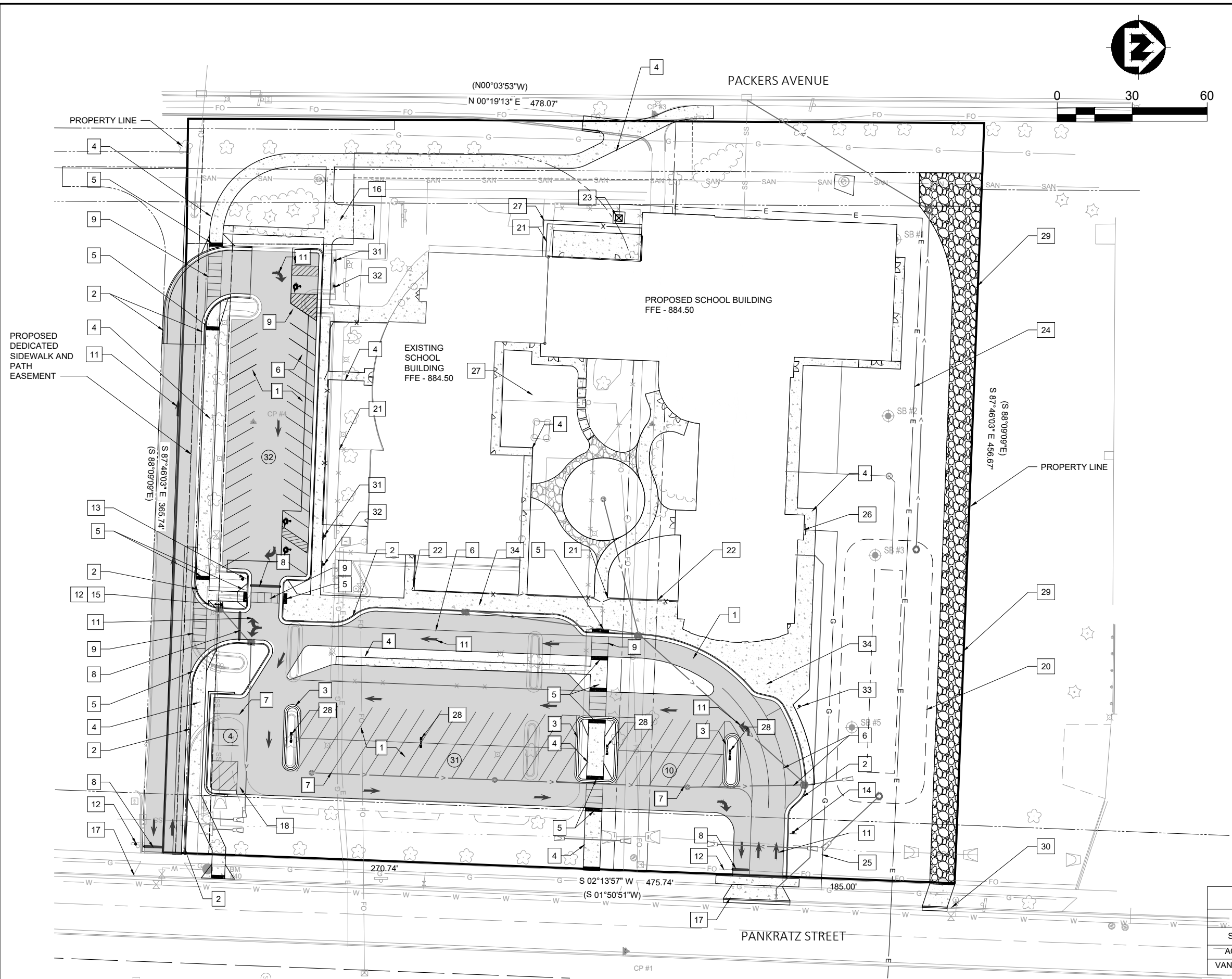
1. ASPHALT PARKING LOT/DRIVEWAY
2. CONCRETE CURB AND GUTTER, 30-INCH
3. CONCRETE CURB AND GUTTER, 24 INCH
4. CONCRETE SIDEWALK, 5-INCH
5. DETECTABLE WARNING FIELD
6. PAVEMENT MARKING, EPOXY, 4" YELLOW
7. PAVEMENT MARKING, EPOXY, 6" WHITE
8. PAVEMENT MARKING, EPOXY, STOP BAR, 18" WHITE
9. PAVEMENT MARKINGS, EPOXY, LADDER CROSSWALK, 24" WHITE
10. PAVEMENT MARKING, EPOXY, ACCESSIBLE PARKING SYMBOL, YELLOW
11. PAVEMENT MARKING, EPOXY, ARROW SYMBOL (VARIOUS), YELLOW
12. SIGN, STOP
13. SIGN, YIELD
14. SIGN, BUSES ONLY
15. SIGN, DO NOT ENTER
16. BICYCLE RACK PAD, 20' X 19'. SEE SPACING DETAIL.
17. CONCRETE DRIVEWAY, 6-INCH
18. DUMPSTER ENCLOSURE, 16' X 20'. SEE ARCHITECTURE PLANS FOR ENCLOSURE DETAILS.
19. NOT USED
20. STORM WATER / BIOFILTRATION LOCATIONS
21. FENCE
22. FENCE GATE
23. ELECTRIC TRANSFORMER AND CONCRETE PAD
24. PROPOSED ELECTRIC SERVICE
25. NATURAL GAS SERVICE
26. NATURAL GAS METER
27. LANDSCAPING
28. PARKING LOT POLE LIGHT
29. SANITARY SEWER EASEMENT ACCESS ROAD, SEE TYPICAL SECTION
30. PROFILE CUT EXISTING CURB AND GUTTER FOR EASEMENT ACCESS ROAD
31. ACCESSIBLE PARKING SIGN
32. ACCESSIBLE PARKING SIGN W/ VAN LOADING PLAQUE
33. SIGN, FIRE LANE, NO PARKING
34. FIRE LANE, CONCRETE SIDEWALK, 7-INCH THICK

LAND USE SUMMARY

TOTAL AREA	4.91 ACRES
EXISTING BUILDING	0.32 ACRES
PROPOSED BUILDING	0.63 ACRES
ASPHALT PAVEMENT	1.13 ACRES
CONCRETE PAVEMENT	0.46 ACRES
LANDSCAPING	0.25 ACRES
STORM WATER POND	0.17 ACRES
GRASS	1.95 ACRES


PARKING SUMMARY

TOTAL PARKING	76 SPACES
STANDARD PARKING	72 SPACES
ACCESSIBLE PARKING	2 SPACES
VAN ACCESSIBLE PARKING	2 SPACES



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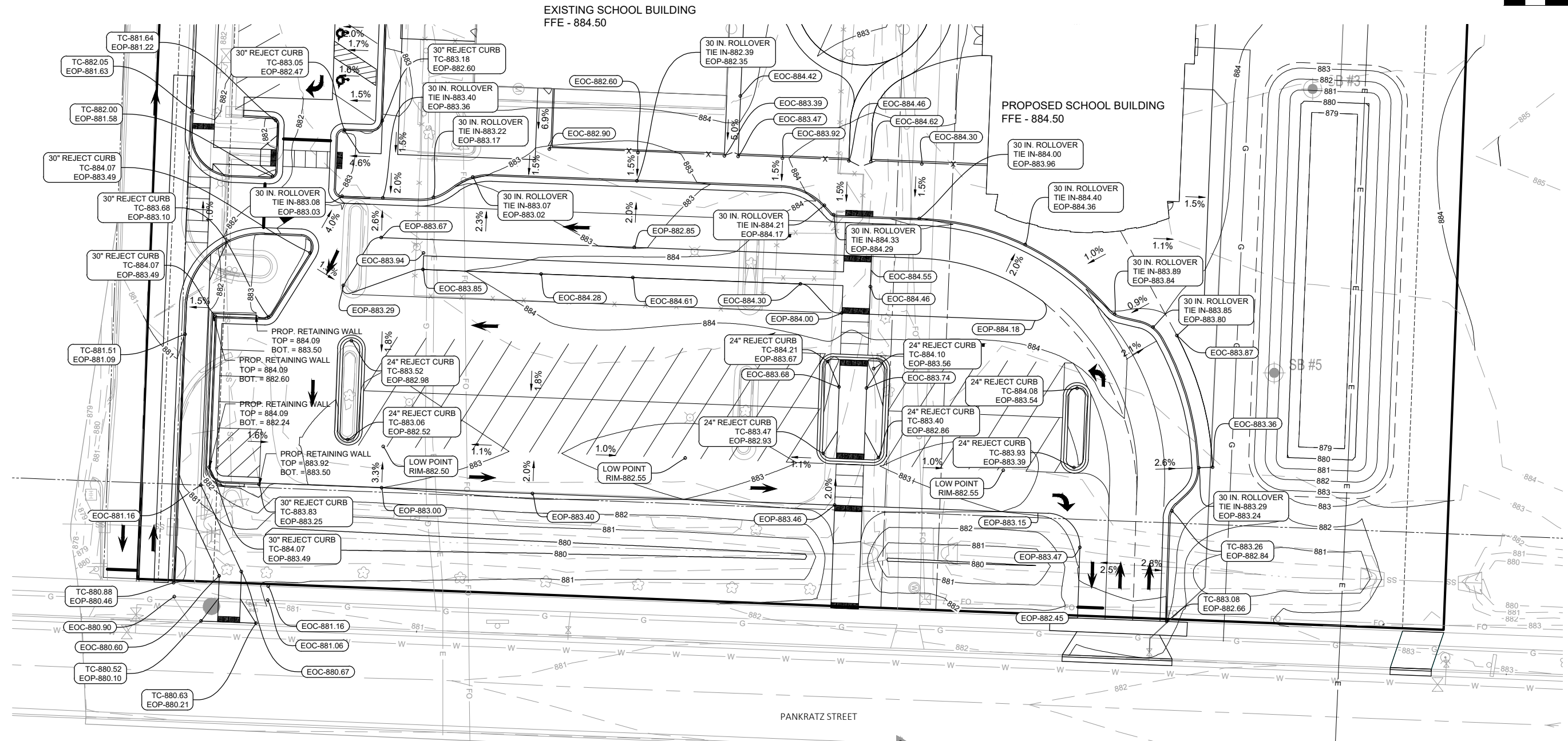
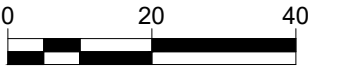
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MADISON, WISCONSIN

EXHIBIT - PROPOSED SITE PLAN - OVERALL

PROJECT NO:  
21586000  
SHEET  
C300







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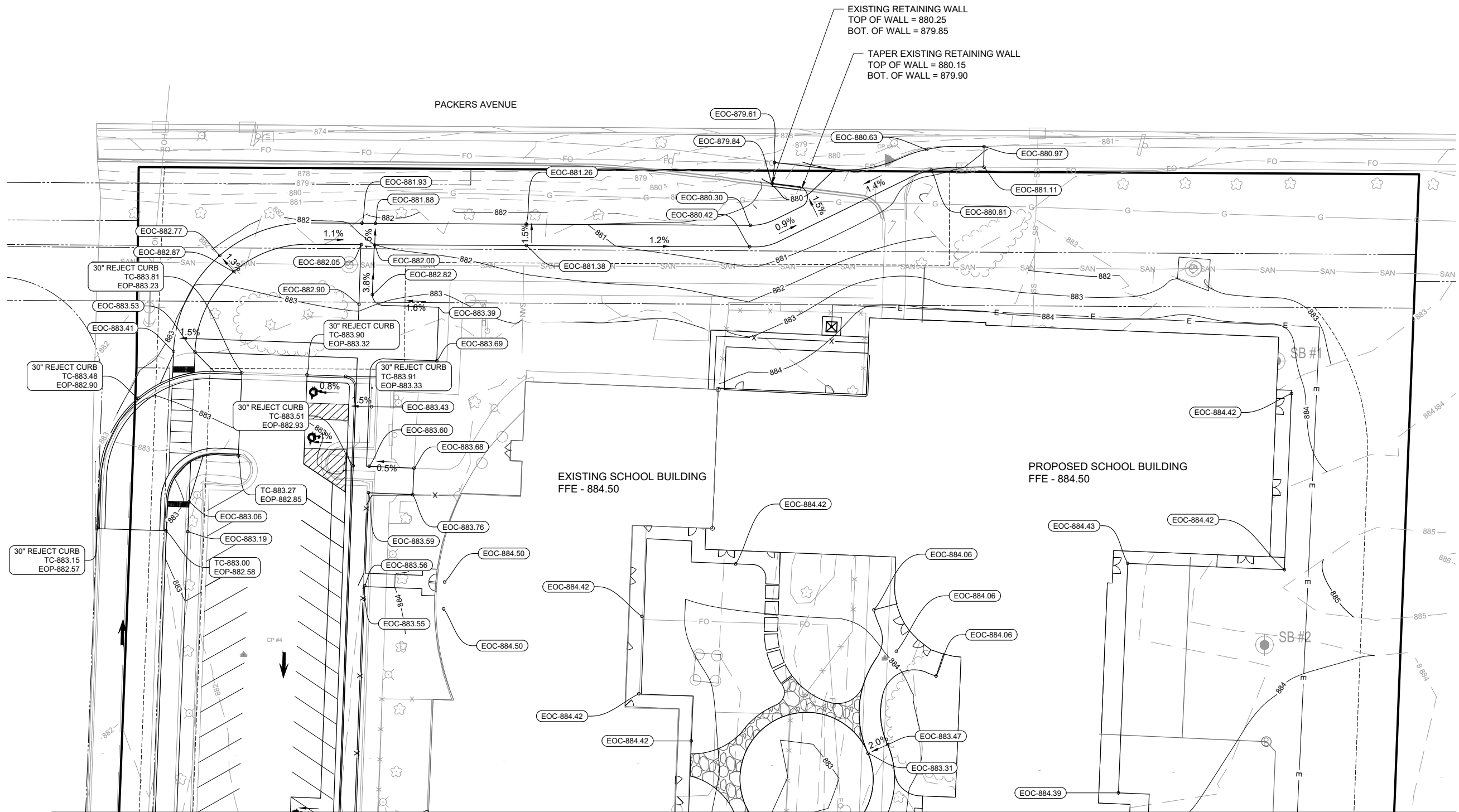
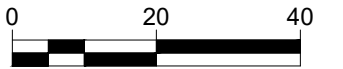


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GRADING PLAN - EAST

PROJECT NO.  
21586000  
SHEET  
C106



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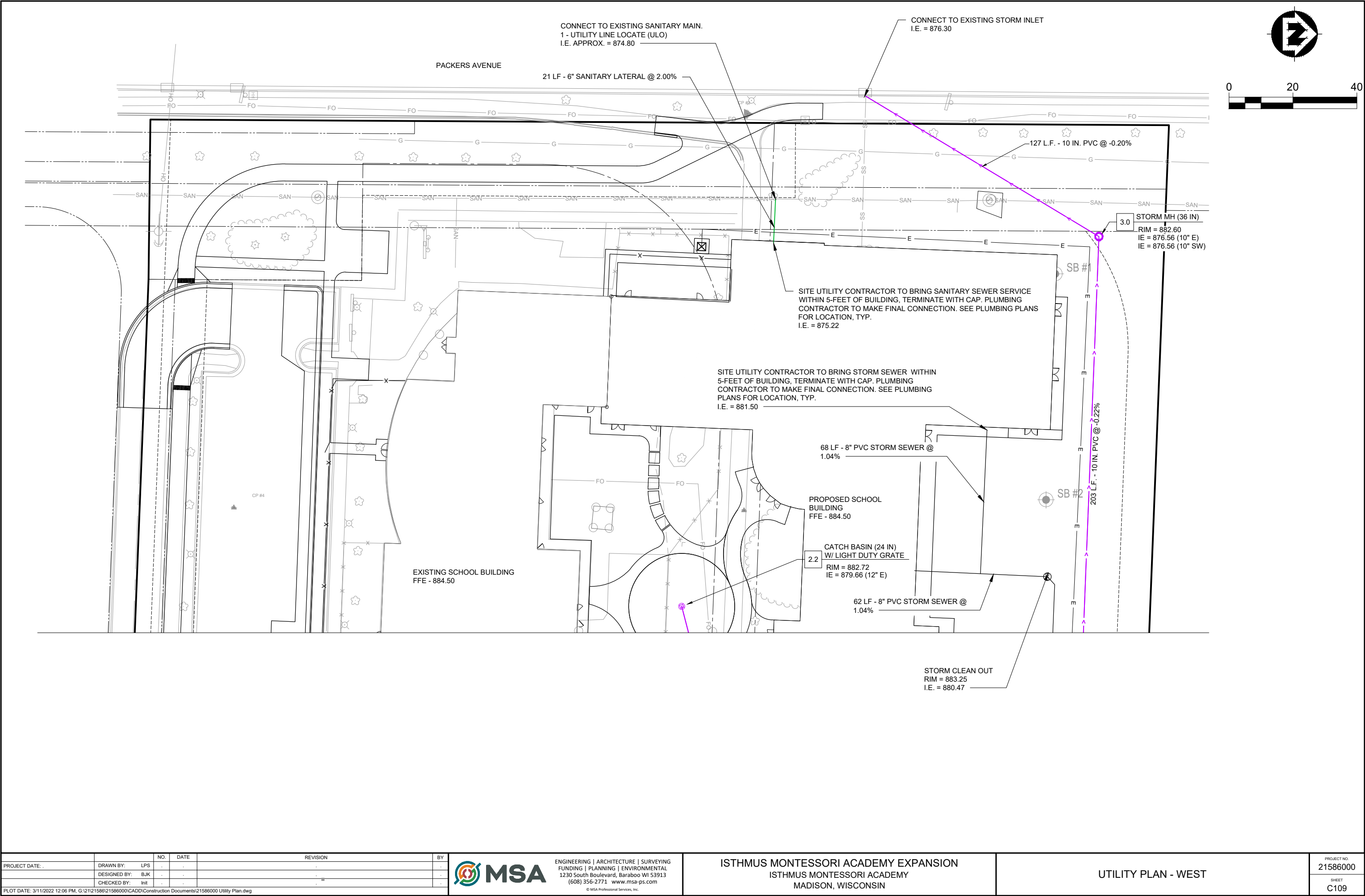
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MADISON, WISCONSIN

GRADING PLAN - WEST

PROJECT NO.  
21586000  
SHEET  
C107







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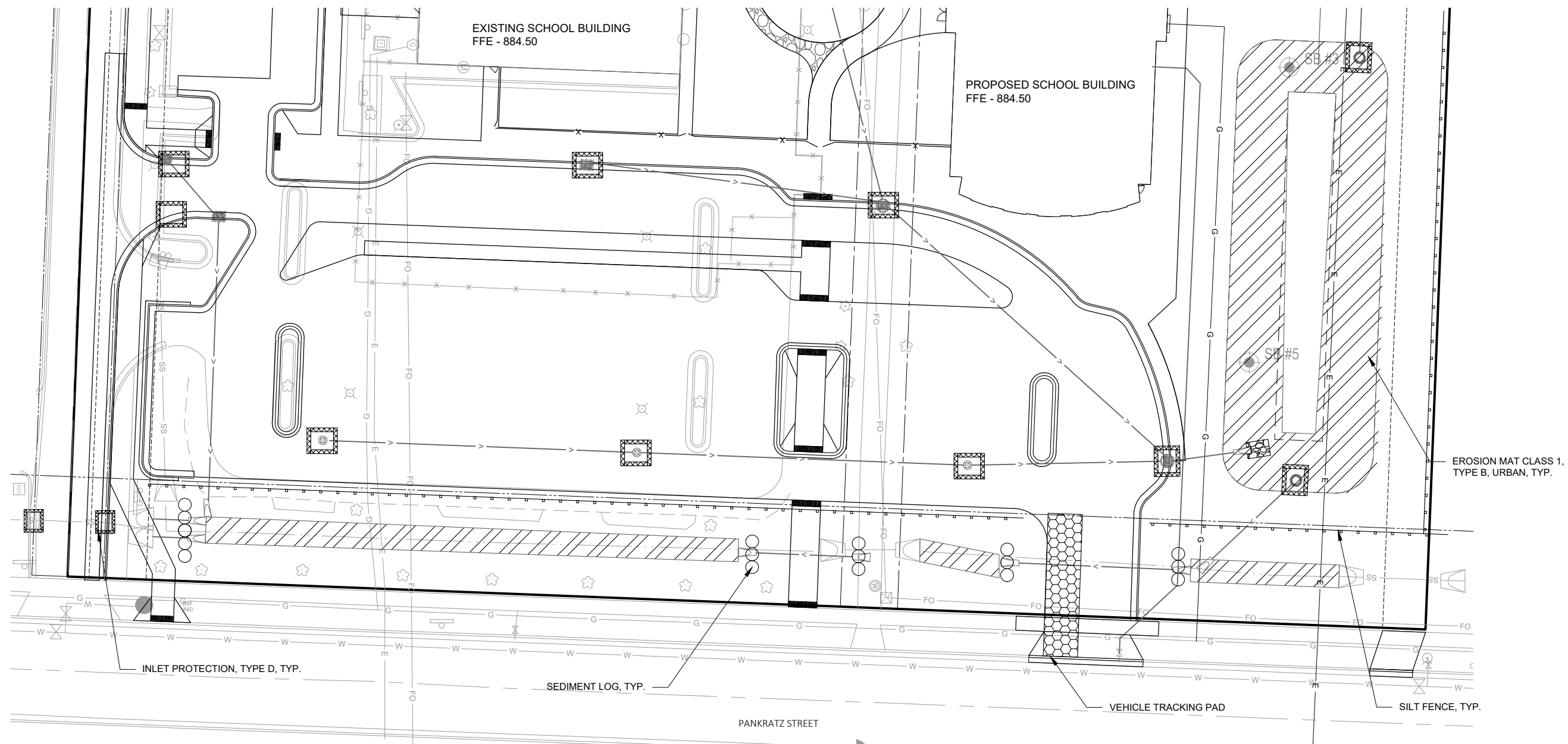
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UTILITY PLAN - WEST

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SHEET  
C109





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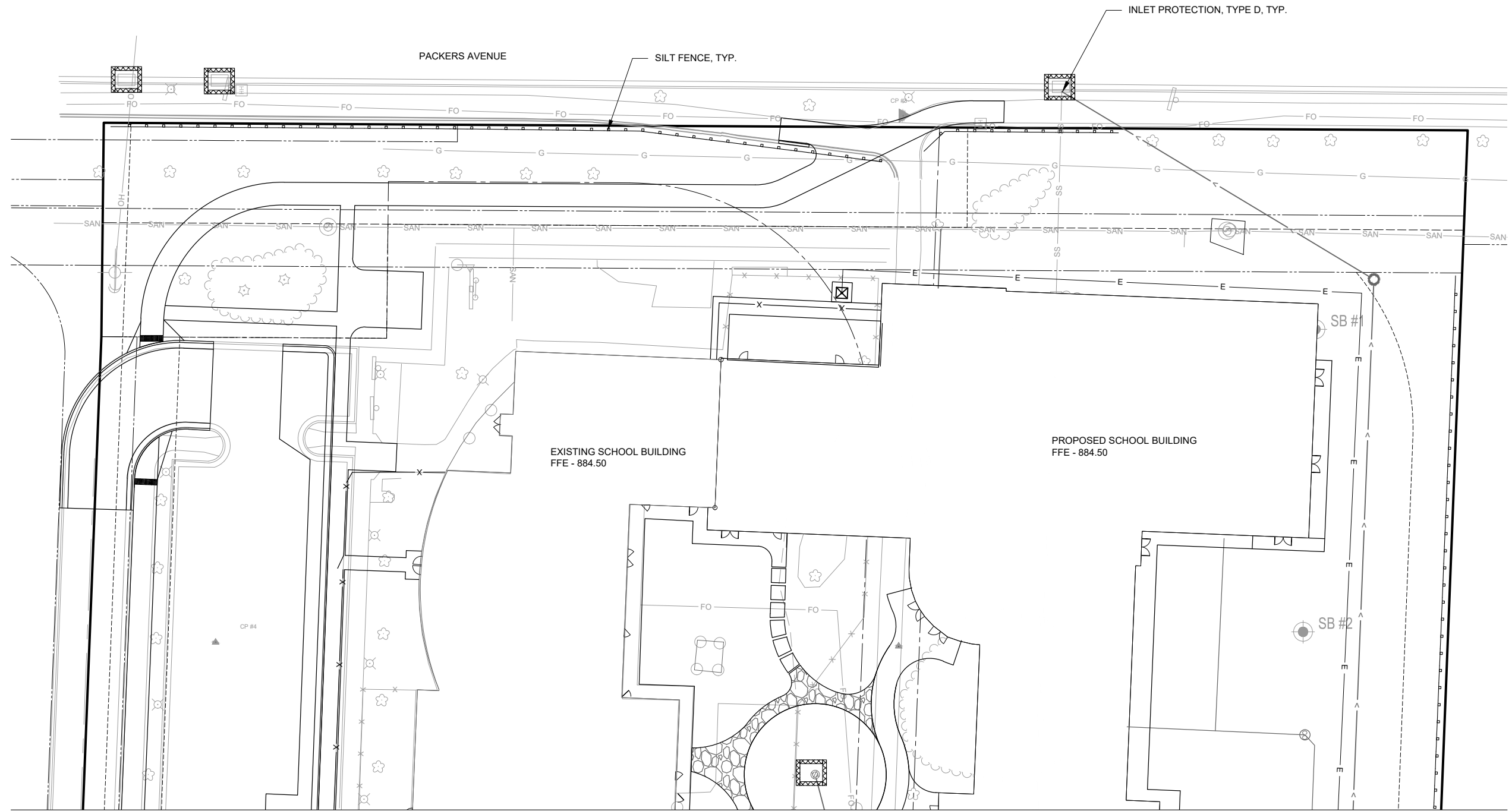
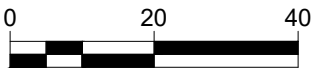


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EROSION CONTROL PLAN - EAST

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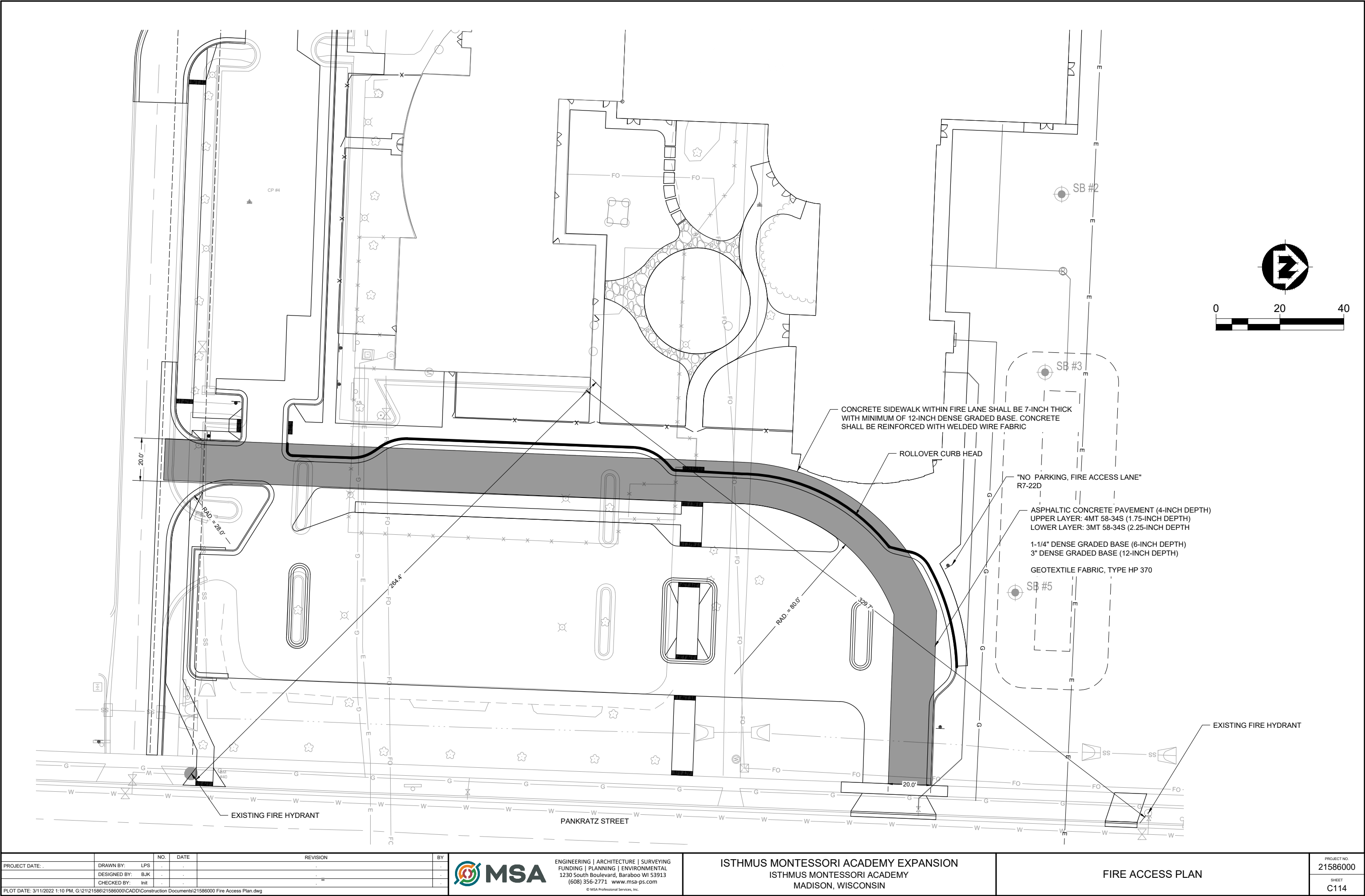
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EROSION CONTROL PLAN - WEST

PROJECT NO:  
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C111





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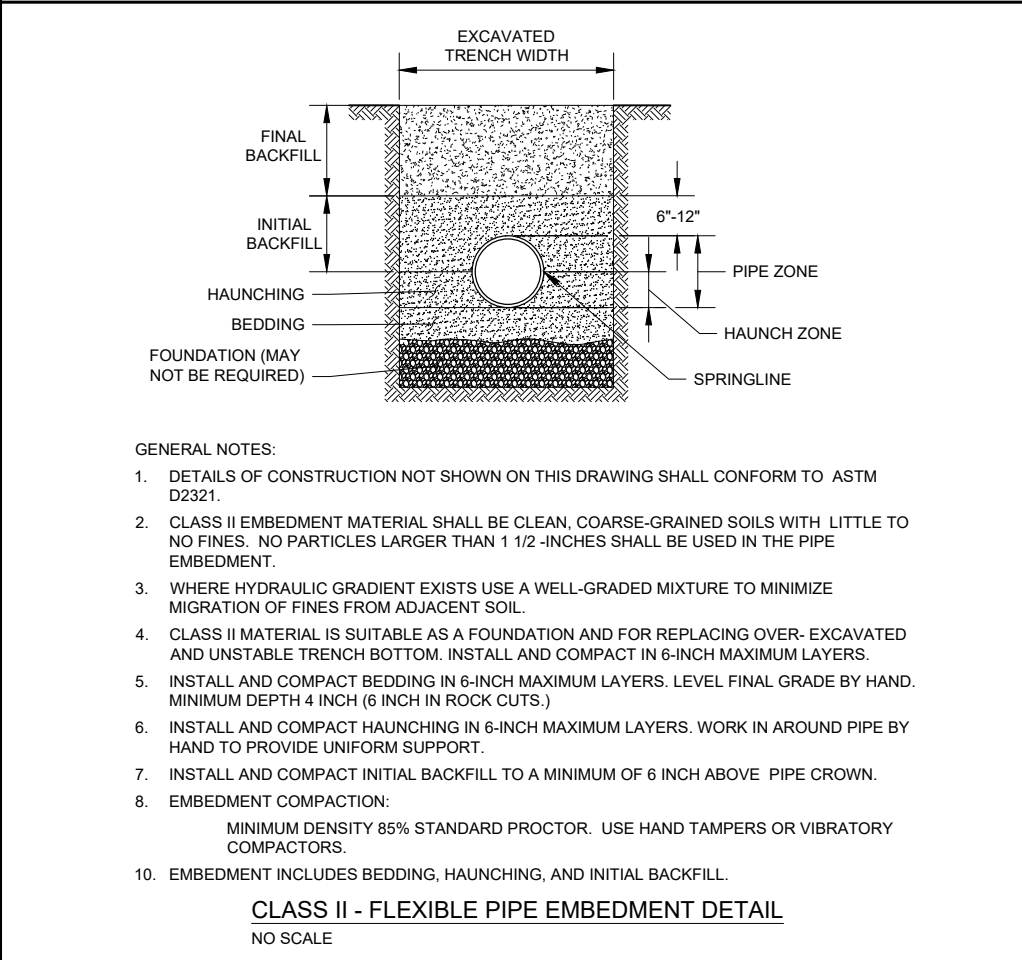
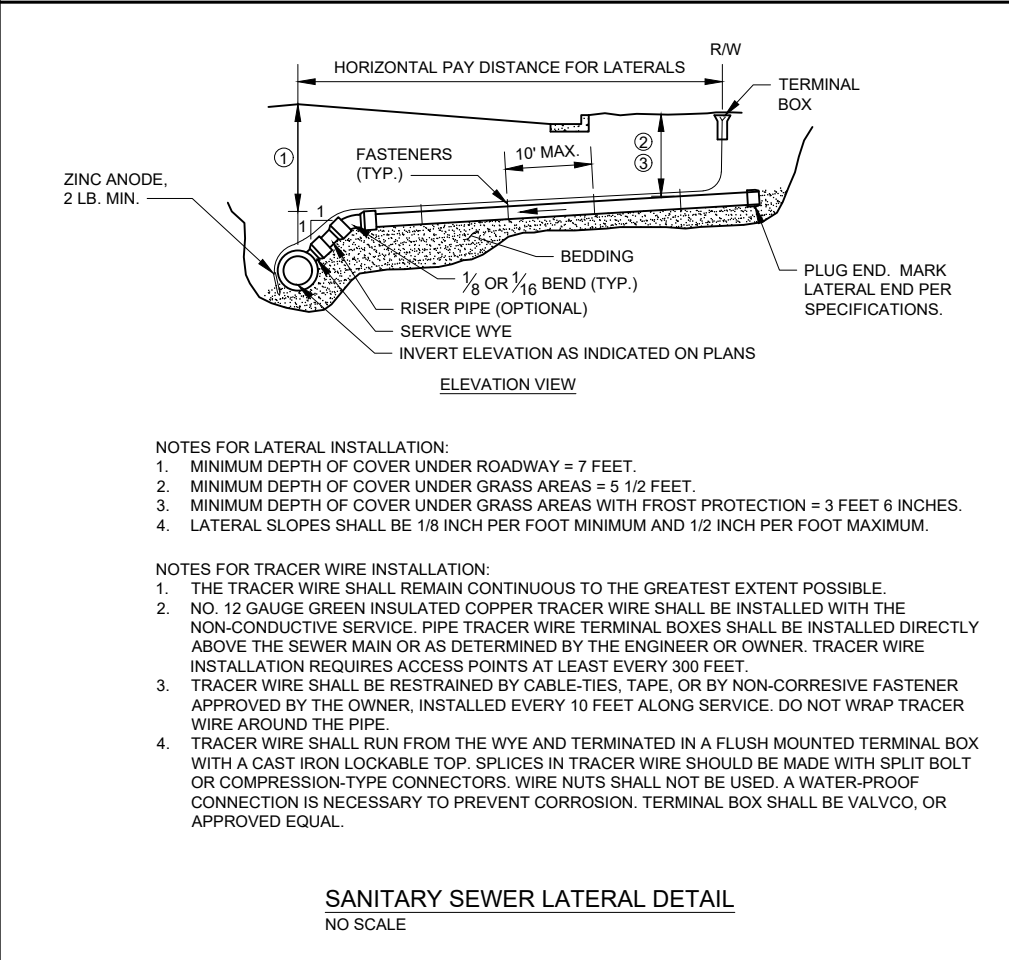
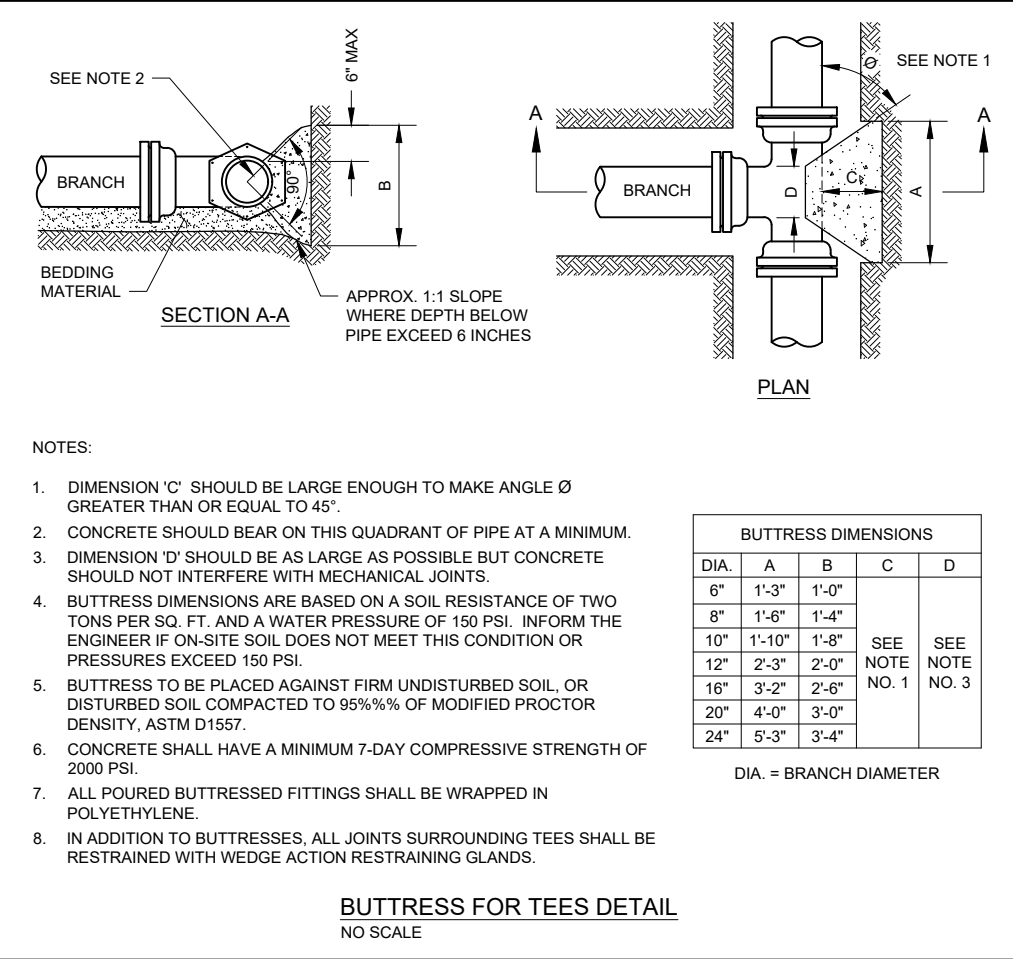
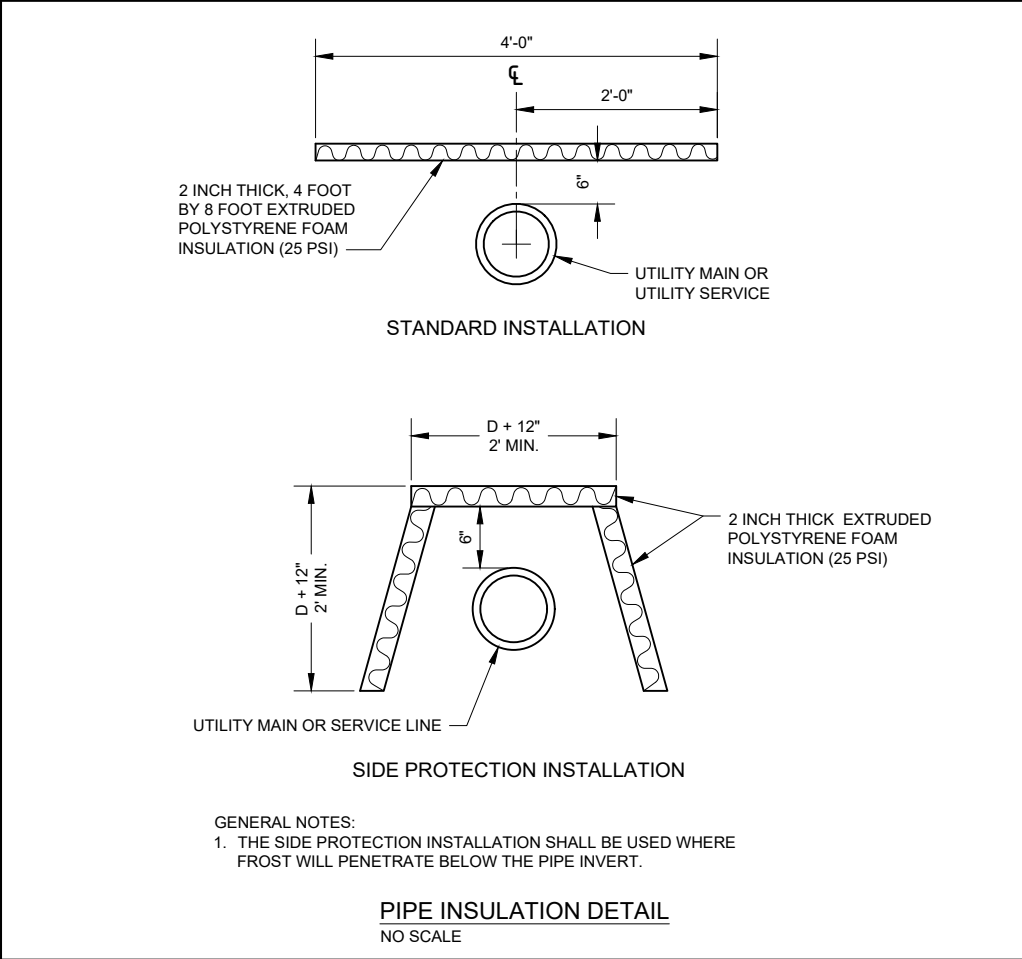
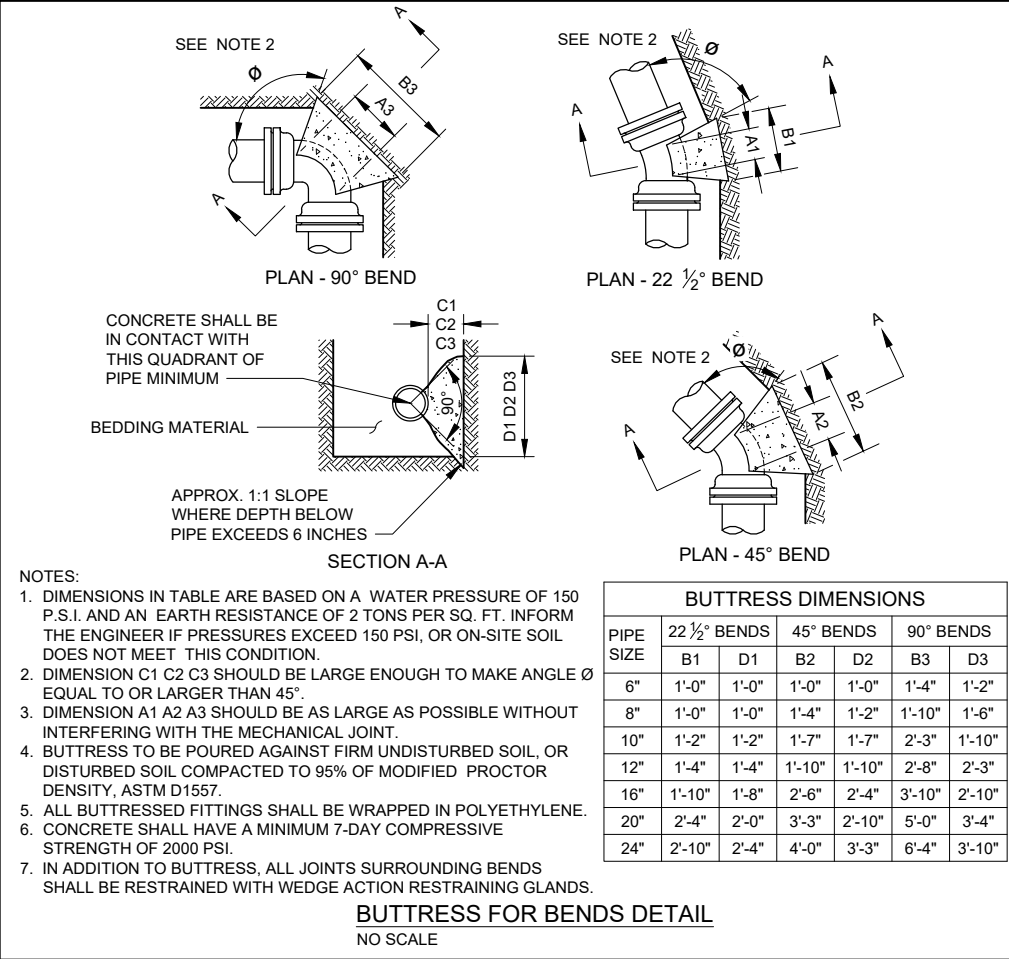


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FIRE ACCESS PLAN

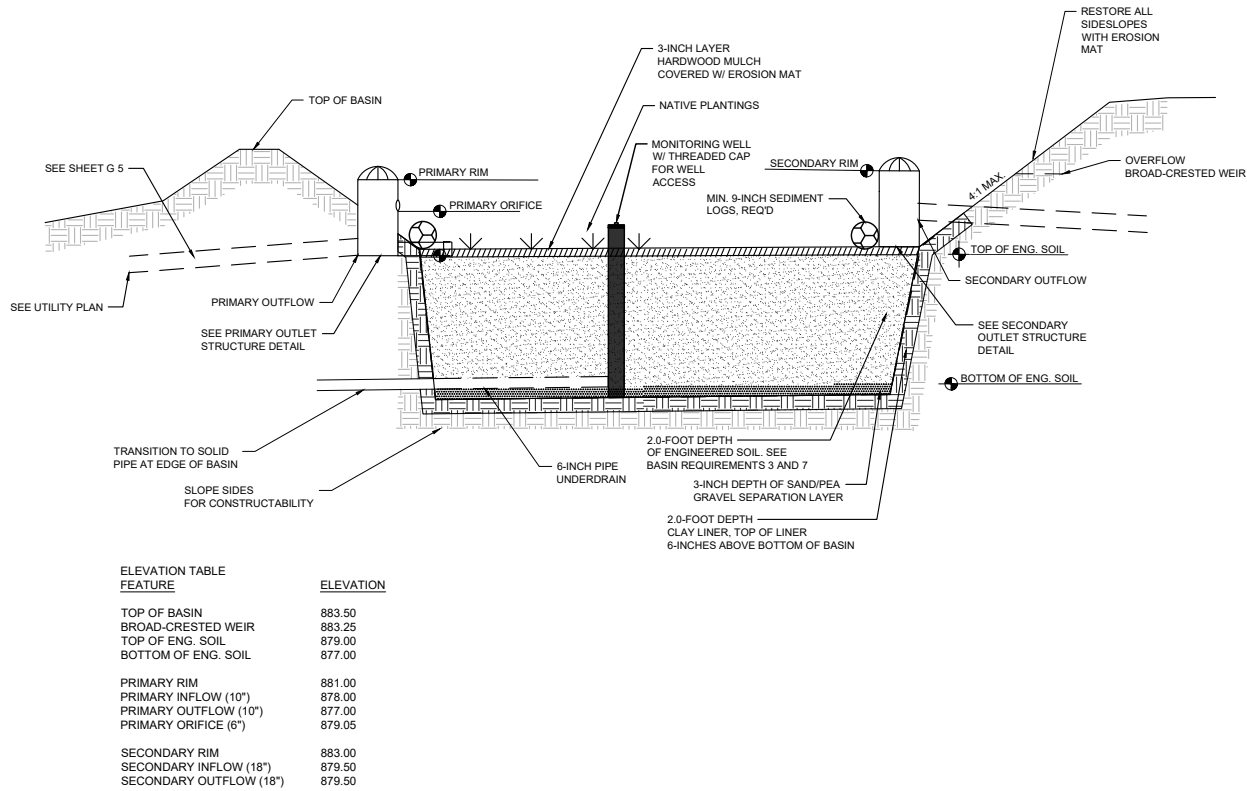
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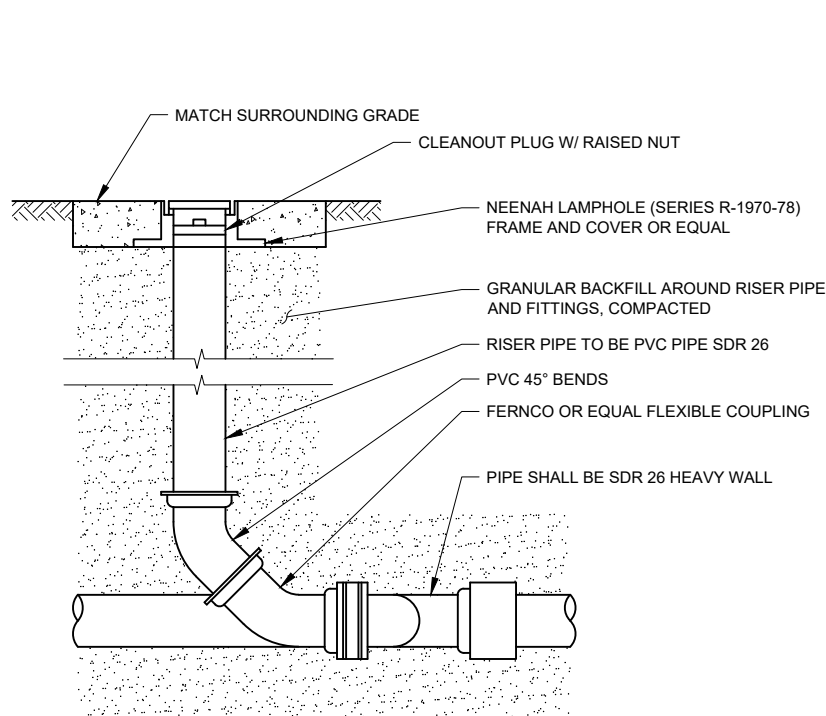


BIOFILTRATION BASINS CONSTRUCTION REQUIREMENTS



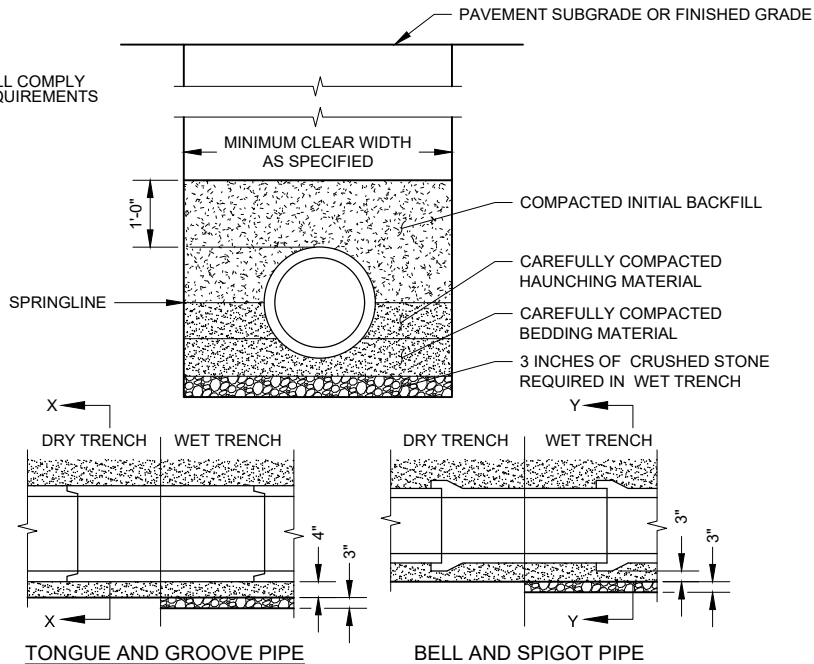
1 BIO-INFILTRATION BASIN DETAIL  
NTS

1. PRIOR TO EXCAVATING OF THE BIOFILTRATION BASINS, ALL UPSTREAM AREAS SHALL BE RESTORED, 70% OF THE TURF SEED GERMINATED, AND ALL HARD SURFACE AREAS PAVED.
2. AFTER ALL UPSTREAM AREAS ARE STABILIZED PER THE REQUIREMENTS ABOVE, THE BASINS SHALL BE EXCAVATED TO ELEVATIONS AS SHOWN. A 3-INCH LAYER OF CLEAN SAND OR PEA GRAVEL, AND A 2.0-FOOT LAYER OF ENGINEERED SOIL SHALL BE PLACED. TWO 6-INCH DIAMETER OBSERVATION WELLS SHALL BE INSTALLED TO THE BOTTOM OF THE NO. 2 CLEAR STONE. THE OBSERVATION WELL SHALL BE SET ON A FLAT, SMOOTH, 1' X 1' PIECE OF TREATED WOOD OR SOLID BLOCK. THE WELL SHALL BE PERFORATED AND HAVE A SCREW CAP AT THE SURFACE FOR ACCESS WITH A 2" BY 2" TOP NUT. CONTRACTOR SHALL FABRICATE AND SUPPLY THE OWNER WITH A TOOL TO OPEN THE WELL.
3. THE ENGINEERED SOIL SHALL BE COMPOSED OF 70%-80% SAND/GRANULAR FILL AND 20%-30% COMPOST CONFORMING TO WDNR CPS S100. PLEASE NOTE, THE SAND/COMPOST COMPOSITION FOR THIS PROJECT IS SLIGHTLY CHANGED TO ACCOMMODATE THE NATIVE PLANTINGS.
4. THE BIOFILTRATION BASINS SHALL BE EXCAVATED WITH ONLY WIDE-TRACKED CONSTRUCTION EQUIPMENT. ACTIVITY WITHIN THE BASINS SHALL BE MINIMIZED PRIOR TO EXCAVATION AND ELIMINATED AFTER EXCAVATION TO CONTROL UNNECESSARY COMPACTION OF SOILS.
5. AFTER INITIAL EXCAVATION AND FINAL GRADING, THE BIOFILTRATION BASINS SHALL BE SECURED SO NO OTHER CONSTRUCTION EQUIPMENT USES THE AREA.
6. PLANTINGS - THE BIOFILTRATION BASINS SHALL BE RESTORED WITH THE FOLLOWING BULB PLANTINGS AT AN APPROXIMATE SPACING OF 18-INCHES ON CENTER:  
650-675 EA. - COMMON OAK SEDGE, 240-260 EA. LAVENDER ANISE HYSSOP, 160-180 EA. LITTLE BLUE STEM, 400-425 EA. BLACK EYED SUSAN.  
CONTRACTOR SHALL SUBMIT PROPOSED PLANT LAYOUT TO OWNER AND ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
7. THE SIDE SLOPES OF THE BASINS SHALL BE SEEDED WITH A TURF LAWN MIX.
8. CONTRACTOR SHALL WEED THE BIOFILTRATION BASINS ONCE AFTER PLANTS HAVE BEEN INSTALLED. THIS WEEDING SHALL OCCUR ONE MONTH AFTER PLANT INSTALLATION, BY SEPTEMBER 15 (YEAR 1) OR BY JUNE 15 (YEAR 2).
9. AFTER THE BULBS ARE PLANTED, COVER THE BOTTOM AND SIDES OF THE BASIN WITH CLASS I, TYPE A EROSION MAT.
10. CONTRACTOR SHALL WATER THE BIOFILTRATION BASINS WEEKLY THRU THE FIRST GROWING SEASON UNTIL THE PLANTS ARE ESTABLISHED. WATERING IS ONLY REQUIRED IF THE EQUIVALENT OF 0.50" OF RAIN DOES NOT FALL AT THE SITE WEEKLY.
11. REFER TO WDNR CONSERVATION PRACTICE STANDARD: BIORETENTION FOR INFILTRATION (1004) FOR MAINTENANCE REQUIREMENTS ON THE BIORETENTION AREA.



STORM SEWER CLEANOUT  
NO SCALE

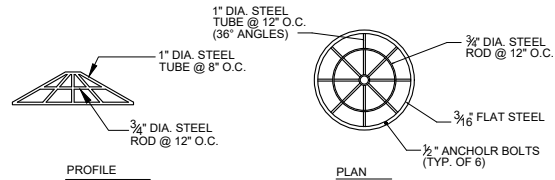
TRENCHES SHALL COMPLY WITH OSHA REQUIREMENTS



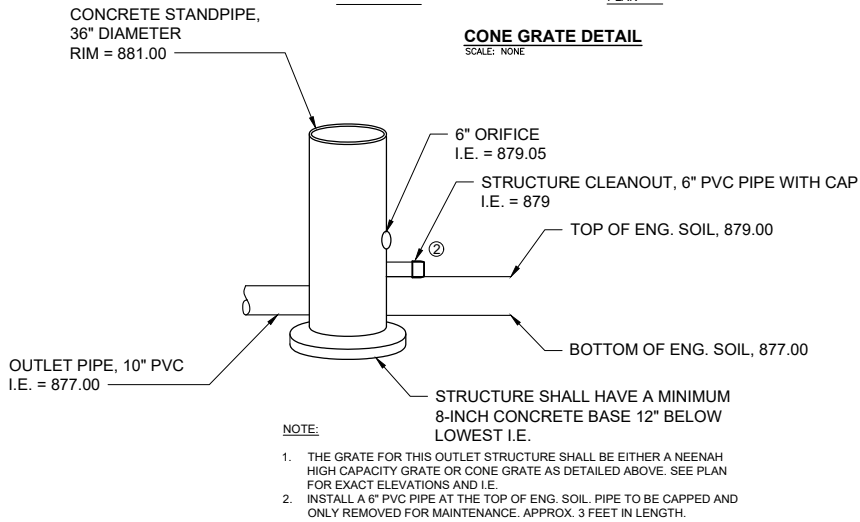
GENERAL NOTES:

1. BEDDING AND HAUNCHING MATERIAL SHALL BE WELL-GRADED 3/4 TO 1/4 INCH CRUSHED STONE OR OTHER NON-COHESIVE MATERIAL NOT SUBJECT TO MIGRATION AND FREE OF DEBRIS, ORGANIC MATERIAL, AND LARGE STONES.
2. BEDDING MATERIAL TO BE PLACED BEFORE SETTING PIPE, 4 INCH MINIMUM UNDER BARREL WITH 3 INCH MINIMUM UNDER BELL.
3. INITIAL BACKFILL SHALL BE DENSELY COMPACTED, NON-COHESIVE FINELY DIVIDED MATERIAL FREE OF DEBRIS, ORGANIC MATERIAL, AND LARGE STONES.
4. IN ROCK OR OTHER UNCOMPRESSIBLE MATERIALS, THE TRENCH SHALL BE OVEREXCAVATED A MINIMUM OF 6-INCHES AND REFILLED WITH GRANULAR MATERIAL.

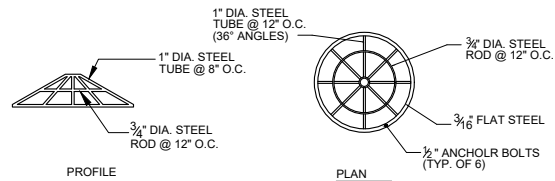
CLASS "B" EMBEDMENT FOR RIGID PIPE DETAIL  
NO SCALE



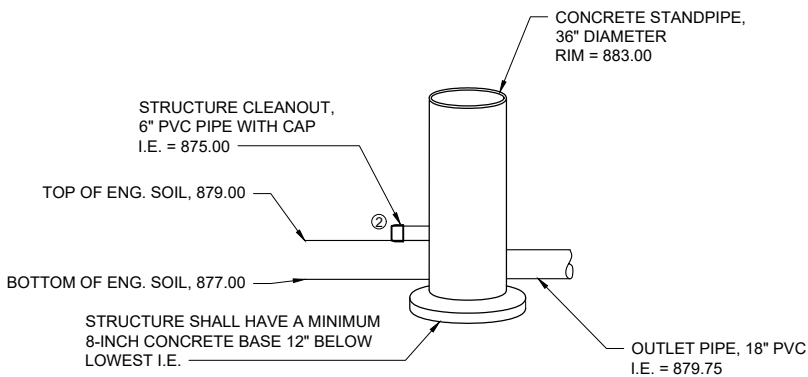
CONE GRATE DETAIL  
SCALE: NONE



2 PRIMARY OUTLET STRUCTURE DETAIL  
NTS



CONE GRATE DETAIL  
SCALE: NONE



2 SECONDARY OUTLET STRUCTURE DETAIL  
NTS

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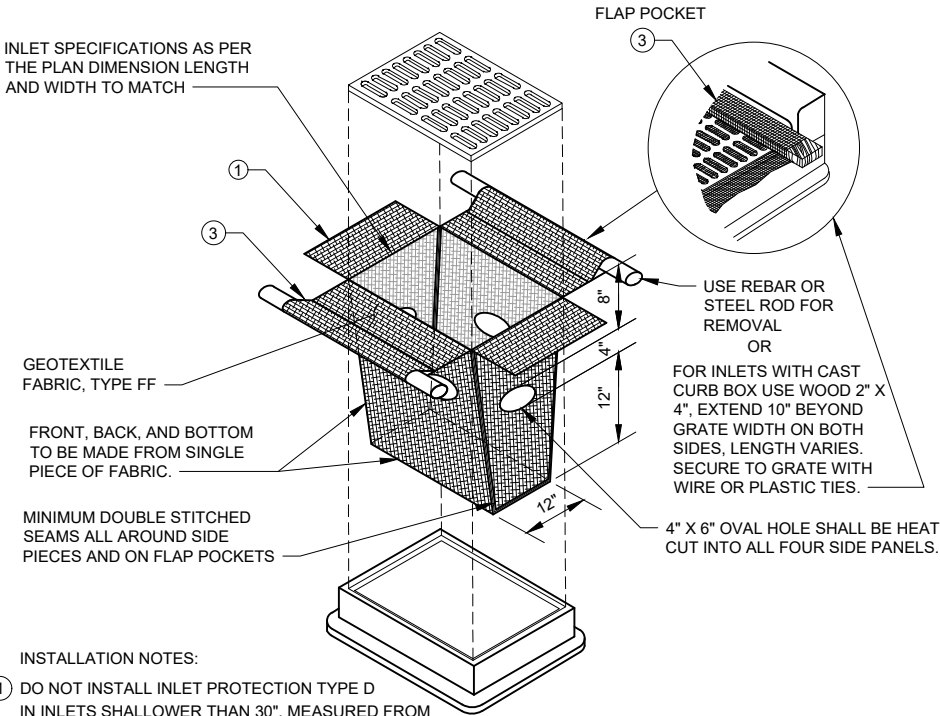
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STORM SEWER & POND DETAILS

PROJECT NO.  
21586000  
SHEET  
C201

CONSTRUCTION SITE  
EROSION CONTROL REQUIREMENTS

- SECTION NR216.46 OF WISCONSIN STATE ADMINISTRATIVE CODE IDENTIFIES REQUIREMENTS FOR CONSTRUCTION SITE AND POST-CONSTRUCTION EROSION CONTROL. IT IS THE INTENT OF THESE PLANS TO SATISFY THESE REQUIREMENTS. THE METHODS AND STRUCTURES USED TO CONTROL EROSION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL IMPLEMENT AN APPROPRIATE MEANS OF CONTROLLING EROSION DURING SITE OPERATION AND UNTIL THE VEGETATION IS RE-ESTABLISHED. ADJUSTMENTS TO THE CONTROL SYSTEM SHALL BE MADE AS REQUIRED.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE WISCONSIN DNR'S CONSERVATION PRACTICE STANDARDS. THESE STANDARDS ARE PERIODICALLY UPDATED AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND REFERENCE THE MOST RECENTLY RELEASED STANDARD.
- THIS INFORMATION IS ONLY ONE PART OF THE OVERALL EROSION CONTROL REQUIREMENTS. ADDITIONAL REQUIREMENTS MAY ALSO BE SHOWN ON THE CONTRACT DRAWINGS AND IN THE ACCOMPANYING SPECIFICATIONS.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE OWNER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- THE AREA OF EROSION LAND EXPOSED TO THE ELEMENTS BY GRUBBING, EXCAVATION, TRENCHING, BORROW AND FILL OPERATIONS AT ANY ONE TIME SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE. FOR ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 WORKING DAYS, OR WHERE GRADING WORK EXTENDS BEYOND THE PERMANENT SEEDING DEADLINES, THE SITE MUST BE TREATED WITH TEMPORARY STABILIZATION MEASURES SUCH AS SOIL TREATMENT, TEMPORARY SEEDING AND/OR MULCHING. ALL DISTURBED AREAS SHALL BE TREATED WITH PERMANENT STABILIZATION MEASURES WITHIN 3 WORKING DAYS OF FINAL GRADING.
- ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF THE TIME 0.5 INCHES OF RAIN HAS OCCURRED. ALL NECESSARY REPAIR AND MAINTENANCE WILL BE DONE AT THIS INSPECTION TIME.
- ALL EROSION CONTROL DEVICES AND/OR STRUCTURES SHALL BE PROPERLY INSTALLED PRIOR TO CLEARING AND GRUBBING OPERATIONS WITHIN THEIR RESPECTIVE DRAINAGE AREAS. THESE SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS RE-ESTABLISHED.
- ALL EROSION CONTROL DEVICES SHALL BE PROPERLY INSTALLED PRIOR TO ANY SOIL DISTURBANCE.
- ANY SLOPES STEEPER THAN 3H:1V SHALL BE STAKED WITH EROSION CONTROL FABRIC UNLESS INDICATED ON THE PLAN.
- ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
- WIND EROSION SHALL BE KEPT TO A MINIMUM DURING CONSTRUCTION. WATERING, MULCH, OR A TACKING AGENT MAY BE REQUIRED TO PROTECT NEARBY RESIDENCES AND WATER RESOURCES.
- CHANNELIZED RUNOFF ENTERING THE PROJECT SITE FROM ADJOINING LANDS SHALL BE DIVERTED THROUGH NATURALLY OR ARTIFICIALLY EROSION-RESISTANT CONVEYANCES. IF CHANNELIZED RUNOFF CANNOT BE DIVERTED, SITE BEST MANAGEMENT PRACTICES MUST ACCOUNT FOR THE ADDITIONAL FLOW RATES AND EROSION POTENTIAL THAT SUCH RUNOFF PRESENTS.
- THE CONTRACTOR SHALL TAKE ALL POSSIBLE PRECAUTIONS TO PREVENT SOILS FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEPED AND/OR SCRAPPED (NOT FLUSHED) PERIODICALLY TO REMOVE SOIL, DIRT, AND/OR DUST.
- EROSION CONTROLS SHALL BE INSTALLED ON THE DOWNSTREAM SIDE OF TEMPORARY STOCKPILES. ANY SOIL STOCKPILE THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING. ALL STOCK PILES SHALL BE PLACED AT LEAST 75 FEET FROM STREAMS OR WETLANDS.
- ADDITIONAL EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.) SHALL INCLUDE THE FOLLOWING:
  - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
  - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
  - DISCHARGE OF TRENCH WATER OR DEWATERING EFFLUENT MUST BE PROPERLY TREATED TO REMOVE SEDIMENT IN ACCORDANCE WITH THE WDNR CONSERVATION PRACTICE STANDARD 1061 - DEWATERING OR A SUBSEQUENT WDNR DEWATERING STANDARD PRIOR TO DISCHARGE INTO A STORM SEWER, DITCH, DRAINAGEWAY, OR WETLAND OR LAKE.
- ALL DRAINAGE CULVERTS, STORM DRAIN INLETS, MANHOLES, OR ANY OTHER EXISTING STRUCTURES THAT COULD BE DAMAGED BY SEDIMENTATION SHALL BE PROTECTED ACCORDING TO THE VARIOUS METHODS PROVIDED IN THE PRINTED CONSERVATION PRACTICE STANDARDS.
- ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR STABILIZATION MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
- THE FIRST SIX WEEKS AFTER INITIAL STABILIZATION, ALL NEWLY SEEDED AND MULCHED AREAS SHALL WATERED WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY BMP'S SUCH AS SILT FENCES, STRAW BALES, AND SEDIMENT TRAPS SHALL BE REMOVED AND THESE AREAS STABILIZED.
- ALL TEMPORARY BEST MANAGEMENT PRACTICES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED.
- ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITH SEED AND MULCH UNLESS OTHERWISE SPECIFIED. A MINIMUM OF FOUR INCHES OF TOPSOIL SHALL BE APPLIED TO ALL AREAS TO BE SEEDED OR SODDED.

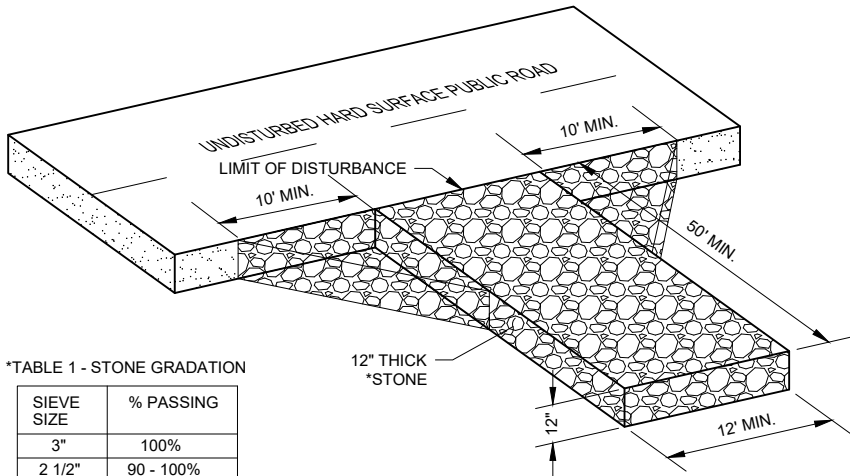


INSTALLATION NOTES:

- DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
- TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
- THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINC THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

**INLET PROTECTION, TYPE D**

NO SCALE  
CAN BE INSTALLED IN ANY INLET TYPE WITH OR WITHOUT A CURB BOX AS PER NOTE



\*TABLE 1 - STONE GRADATION

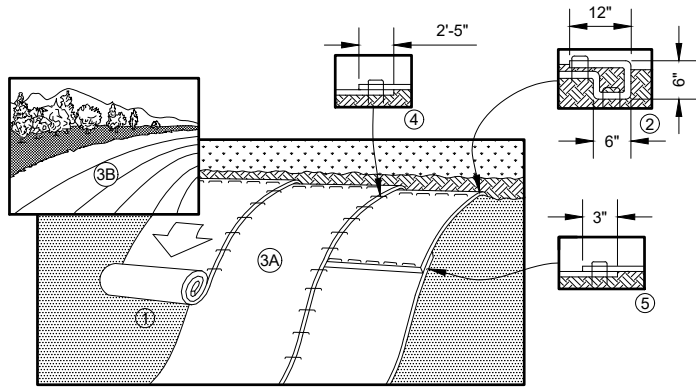
SIEVE SIZE	% PASSING
3"	100%
2 1/2"	90 - 100%
1 1/2"	25 - 60%
3/4"	0 - 20%
3/8"	0 - 5%

NOTES:

- TRACKING PAD WIDTH SHALL BE AT LEAST THE FULL WIDTH OF HTE EGRESS POINT OR 12' WIDE MINIMUM.
- TRACKING PAD LENGTH SHALL BE 50' FOR CONSTRUCTION SITES, 30' FOR SINGLE FAMILY RESIDENTIAL, OR AS SPECIFIED IN THE CONTRACT DOCUMENTS. LENGTH OF TRACKING PAD MAY NEED TO BE INCREASE OR ADDITIONAL SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED BY THE CONTRACTOR IS SEDIMENT TRACK-OUT OCCURS.
- GEOTEXTILE FABRIC TYPE R SHALL BE INSTALLED BETWEEN THE STONE AND SUBGRADE ON SITES WHERE HIGH GROUND WATER IS OBSERVED.
- CONTRACTOR SHALL CLEAN STREET/ROADWAY ADJACENT TO ALL CONSTRUCTION ACCESS POINTS AT THE END OF EACH WORKDAY OR MORE FREQUENTLY IF REQUESTED.

**STONE TRACKING PAD**

NO SCALE



- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" (5 CM-12.5 CM) OVERLAP DEPENDING ON BLANKET TYPE.
- CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE BLANKET WIDTH.

NOTE:

\*IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

**EROSION CONTROL BLANKET DETAIL**

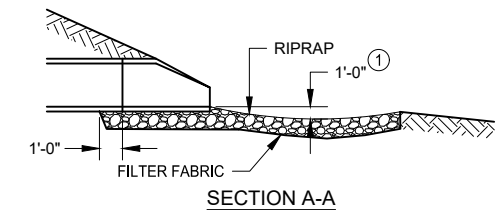
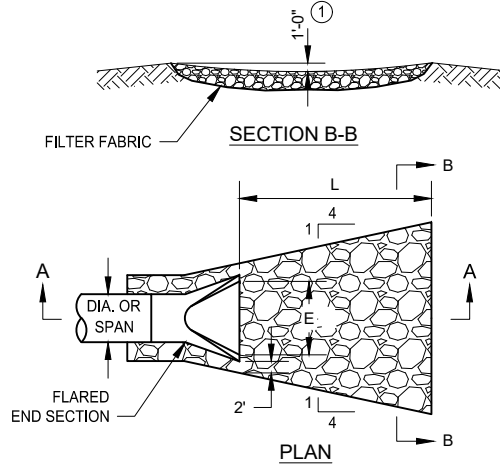
NO SCALE

TABLE OF QUANTITIES  
RIPRAP AT RCP OUTLETS

DIA. OF ROUND PIPE (IN.)	L (FT.)	12" DEPTH RIPRAP (CU.YDS.)	18" DEPTH RIPRAP (CU.YDS.)	24" DEPTH RIPRAP (CU.YDS.)
12	8	2.8	4.1	5.5
15	8	2.9	4.4	5.8
18	10	3.9	5.9	7.8
21	10	4.2	6.3	8.4
24	12	5.5	8.3	11.0
27	12	5.8	8.7	11.6
30	14	7.3	10.9	14.5
36	16	9.2	13.8	18.3
42	18	10.9	16.3	21.7
48	20	12.9	19.4	25.8

TABLE OF QUANTITIES  
RIPRAP AT HERCP OUTLETS  
OR BOXES OF EQUIVALENT SPAN WIDTH

SPAN OF HERCP (IN.)	L (FT.)	LIGHT d50=6" DEPTH RIPRAP (CU.YDS.)	MEDIUM d50=9" DEPTH RIPRAP (CU.YDS.)	HEAVY d50=12" DEPTH RIPRAP (CU.YDS.)
22	10	3.9	5.9	7.8
30	12	5.5	8.2	10.9
38	14	7.2	10.8	14.3
45	16	9.2	13.7	18.3
53	18	10.9	16.3	21.7
60	20	12.7	19.0	25.4



NOTES:

PIPE SIZES LARGER THAN THOSE SHOWN REQUIRE A SPECIAL DESIGN.

LIGHT RIPRAP SHALL BE UNDERLAIN WITH TYPE R FABRIC. MEDIUM AND HEAVY SHALL BE UNDERLAIN W/ TYPE HR FABRIC.

① FOR PIPES GREATER THAN OR EQUAL TO 30" USE 1.5'.

**RIP RAP AT OUTLETS**

NO SCALE

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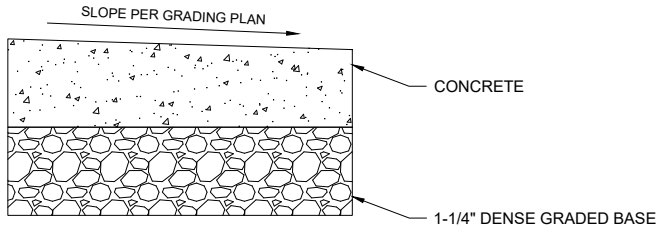
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MADISON, WISCONSIN

EROSION CONTROL DETAILS

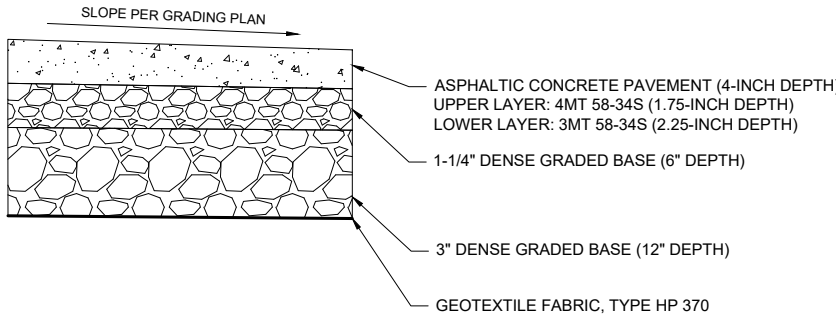
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21586000  
SHEET  
C202



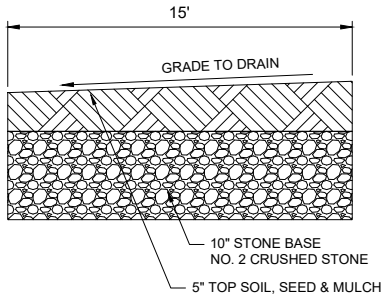


- GENERAL NOTES:
1. CONCRETE SIDEWALK SHALL BE 5-INCH THICK WITH A MINIMUM OF 5-INCH OF DENSE GRADED BASE.
  2. CONCRETE FOR DUMPSTER PAD SHALL BE 7-INCH THICK WITH A MINIMUM OF 8-INCH OF DENSE GRADED BASE. CONCRETE SHALL ALSO BE REINFORCED WITH WELDED WIRE FABRIC.
  3. CONCRETE FOR SIDEWALK FIRE LANE SHALL BE 7-INCH THICK WITH A MINIMUM OF 12-INCH DENSE GRADED BASE. CONCRETE SHALL ALSO BE REINFORCED WITH WELDED WIRE FABRIC.
  4. SLOPE FOR CONCRETE SIDEWALK SHALL NOT EXCEED 2% CROSS SLOPE.

CONCRETE SIDEWALK TYPICAL SECTION  
NOT TO SCALE

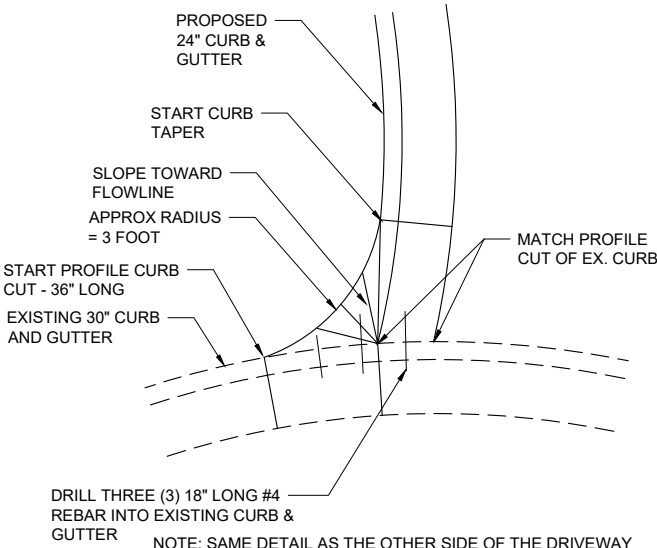


ASPHALTIC CONCRETE PAVEMENT TYPICAL SECTION  
NOT TO SCALE

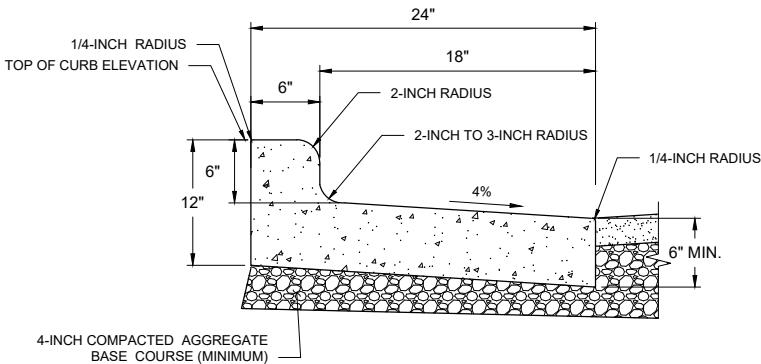


- GENERAL NOTES:
1. SUBGRADE SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS.
  2. SIDE SLOPES SHALL BE TOPSOILED, SEEDED, & MULCHED ON ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS.

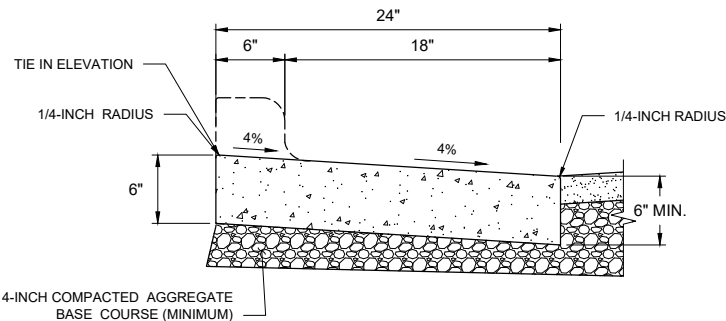
SANITARY SEWER EASEMENT ACCESS TYPICAL SECTION  
NOT TO SCALE



CURB CONNECTION DETAIL  
NO SCALE

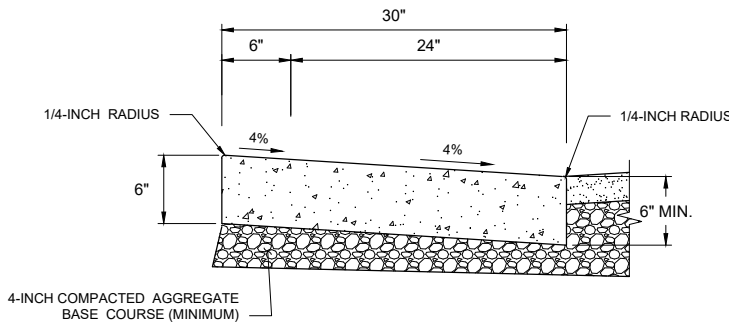


STANDARD SECTION

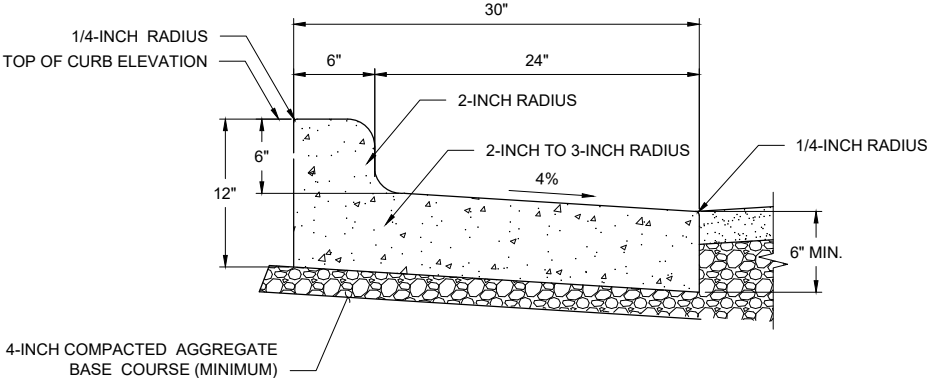


ROLLOVER SECTION

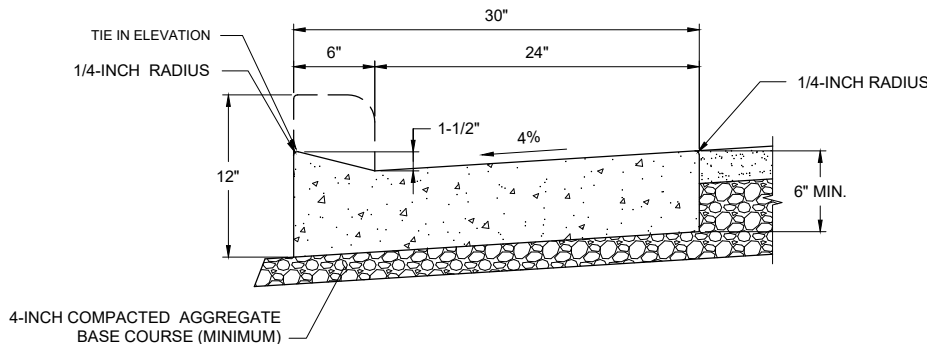
24" CURB AND GUTTER, REJECT DETAIL  
NO SCALE



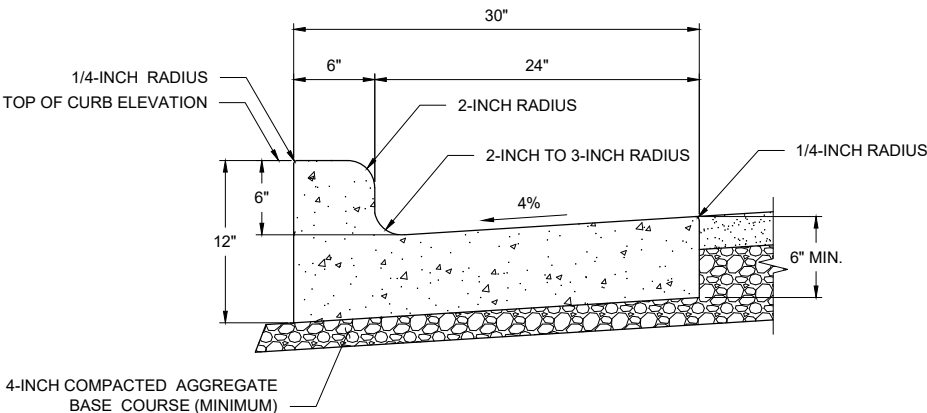
REJECT, ROLLOVER SECTION



REJECT SECTION



STANDARD, ROLLOVER SECTION



STANDARD SECTION

TYPE L CURB AND GUTTER DETAIL  
NO SCALE

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3/11/2022 1:10 PM	LPS	-	-	-	-
	DESIGNED BY:	BJK	-	-	-
	CHECKED BY:	Init	-	-	-

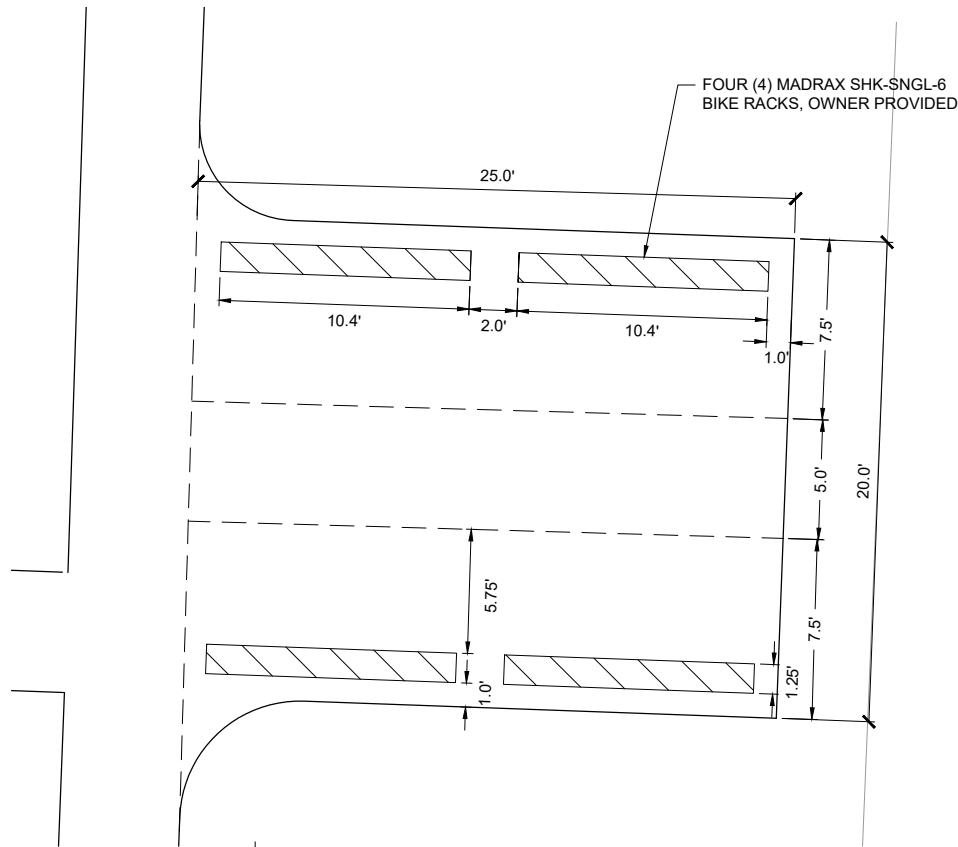


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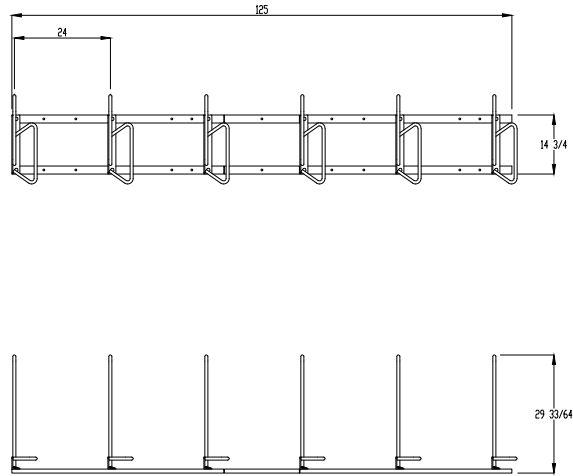
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MADISON, WISCONSIN

STREET DETAILS

PROJECT NO:  
21586000  
SHEET  
C203

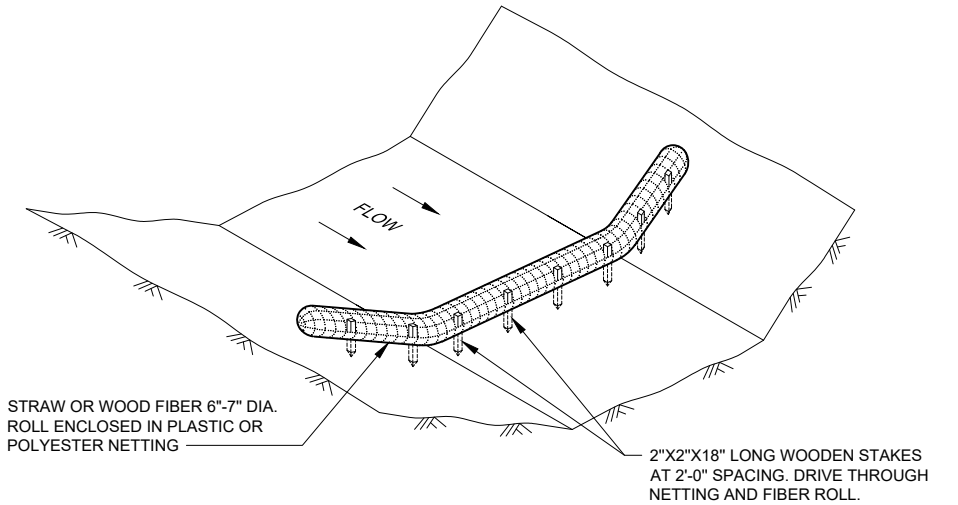


**BIKE PARKING PAD SPACING DETAIL**  
1" = 4'

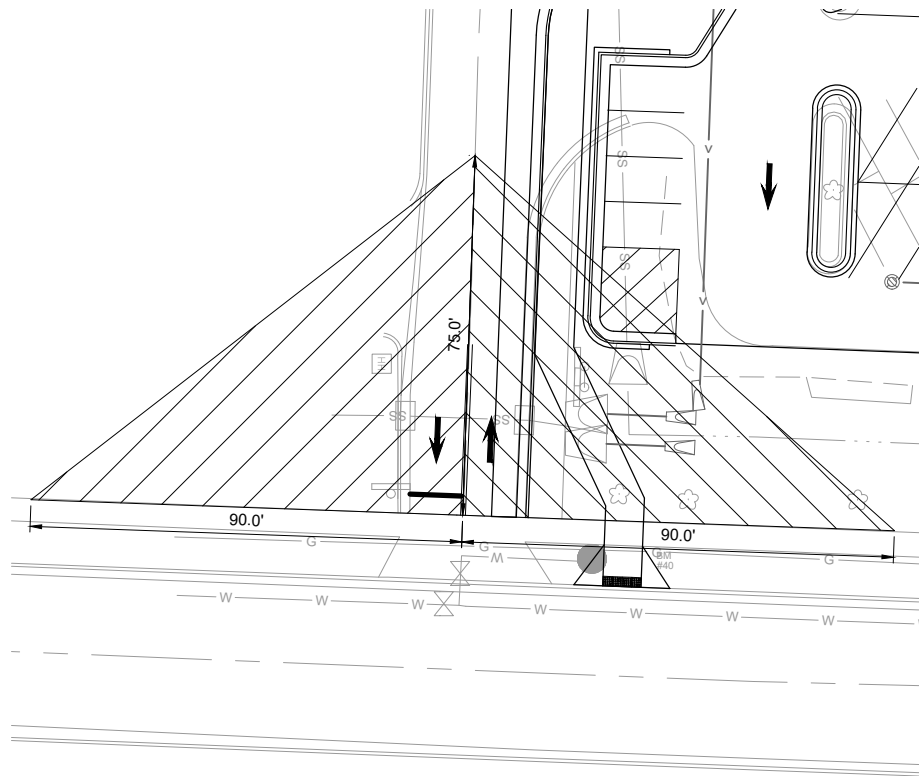


- GENERAL NOTES:  
1. BIKE RACK SHALL BE MADRAX SHK-SNG-6, OWNER PROVIDED.  
2. TOTAL OF FOUR (4) BIKE RACKS REQUIRED

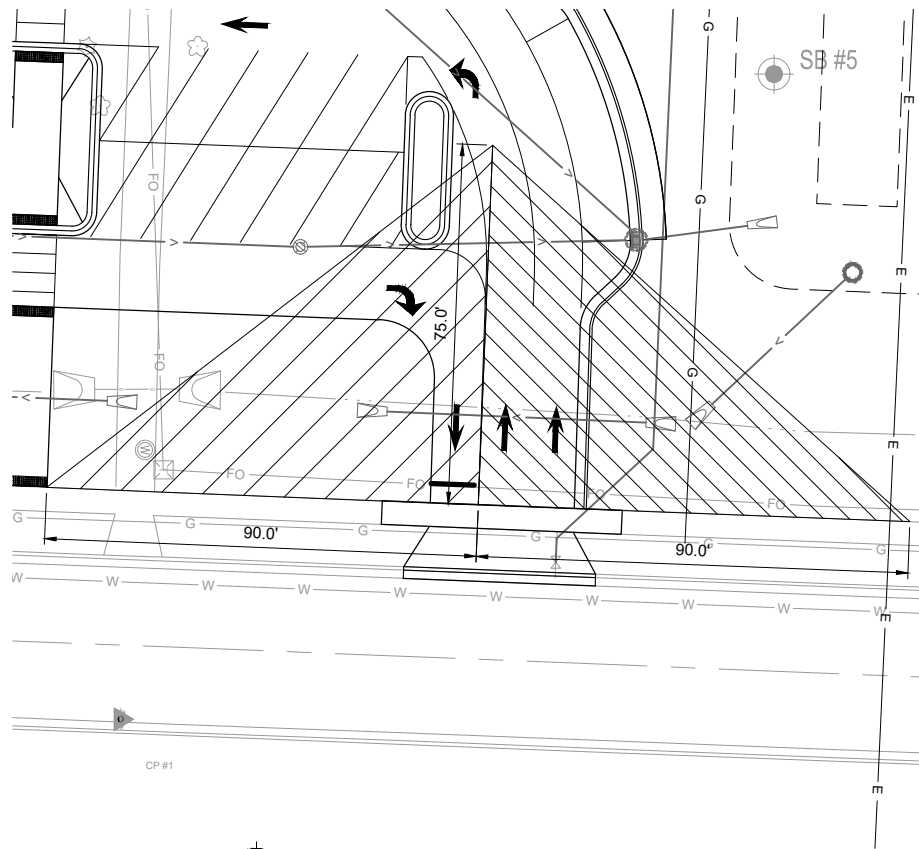
**BIKE RACK DIMENSIONING DETAIL**  
NO SCALE



**SEDIMENT LOG DETAIL**  
NO SCALE



**SOUTH DRIVEWAY VISION TRIANGLES DETAIL**  
1" = 20'



**NORTH DRIVEWAY VISION TRIANGLES DETAIL**  
1" = 20'

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	LPS	-	-		-
	DESIGNED BY: BJK	-	-		-
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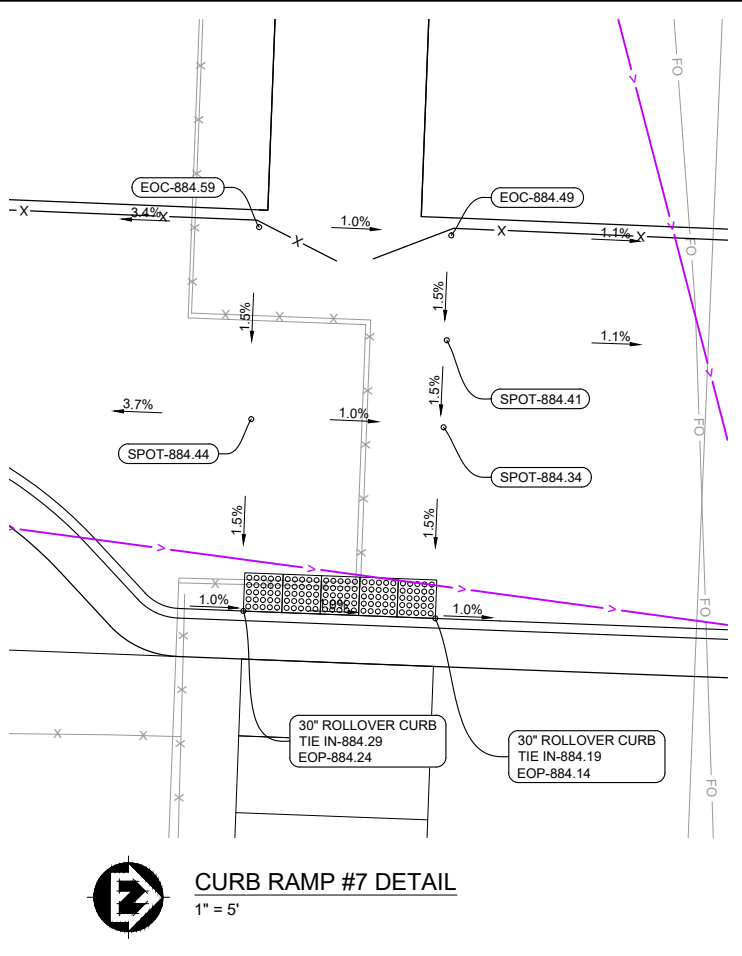
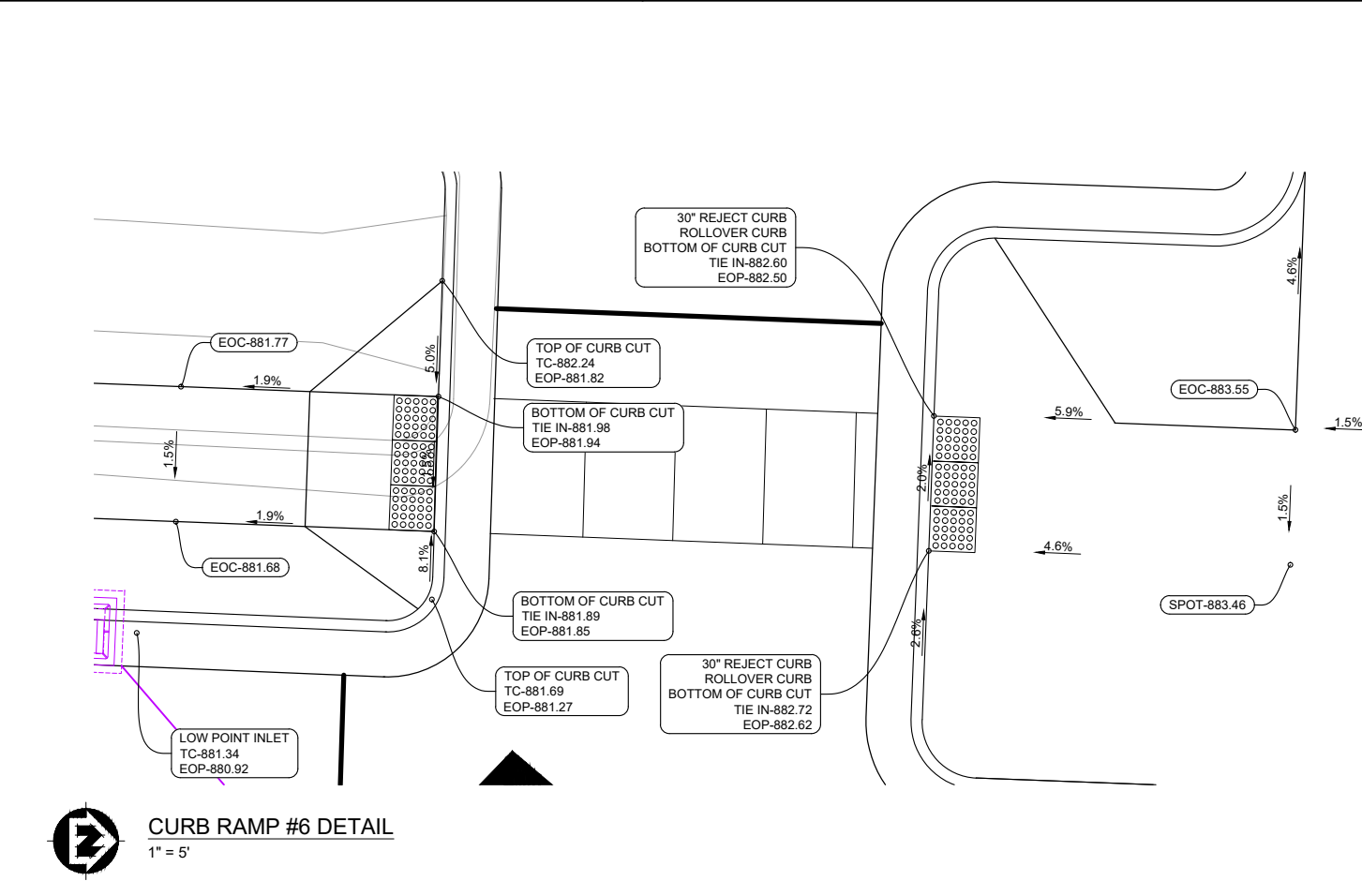
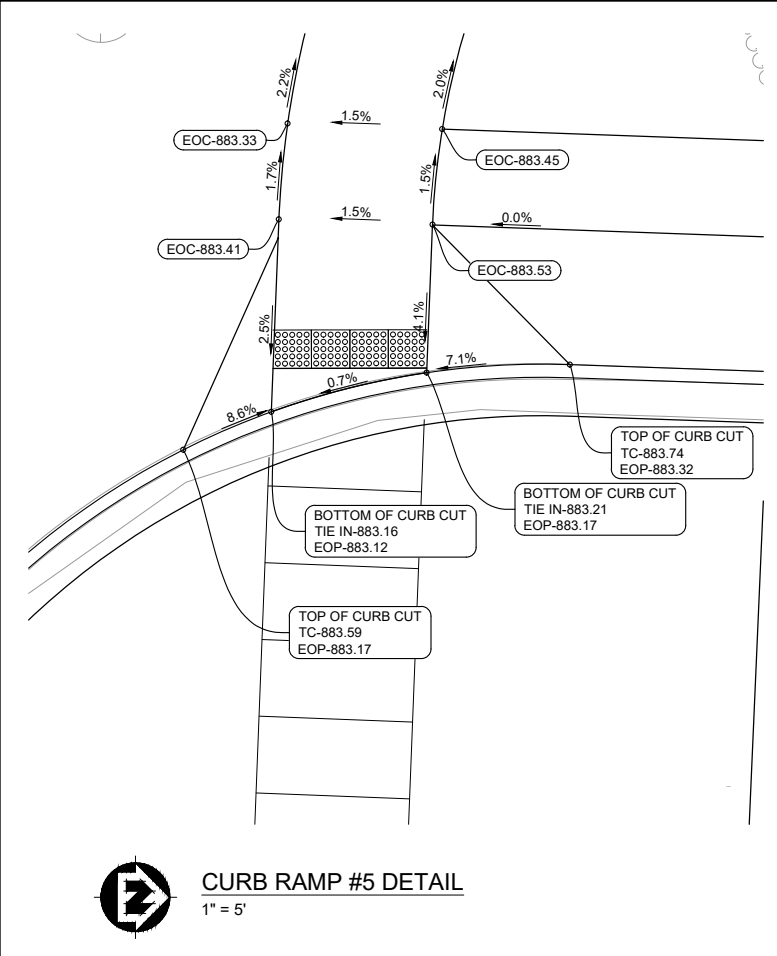
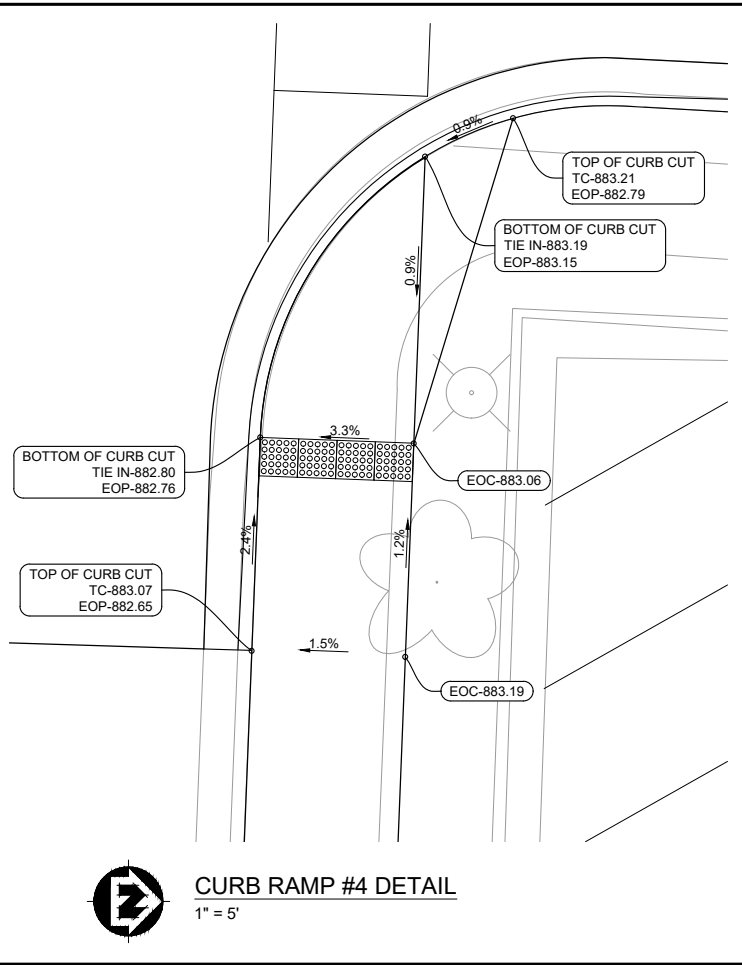
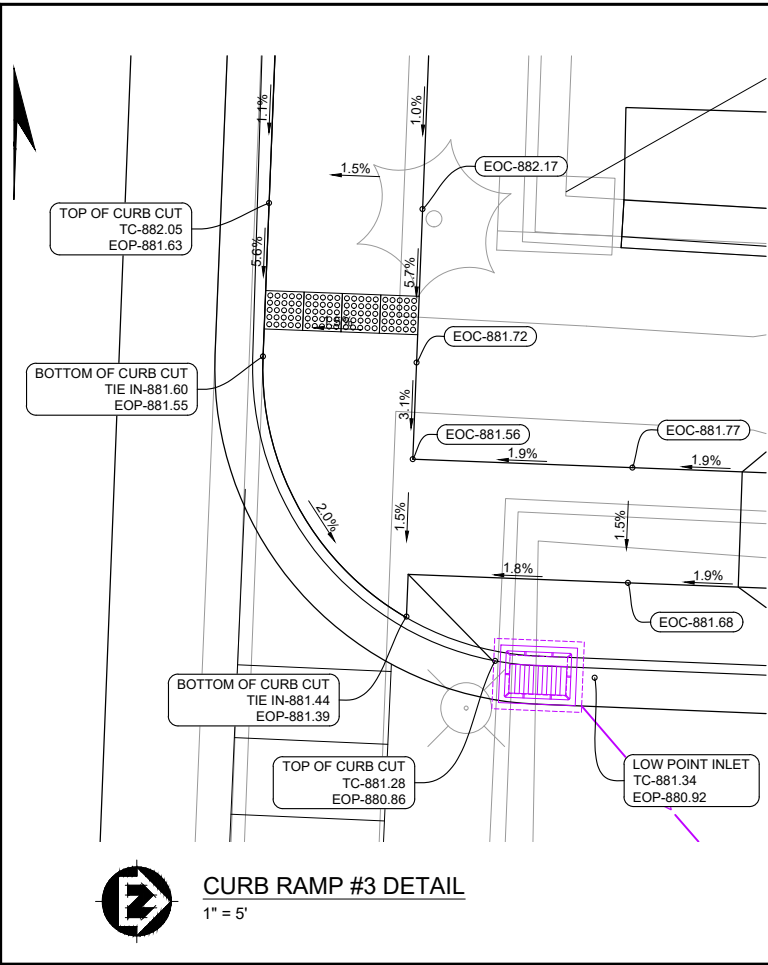
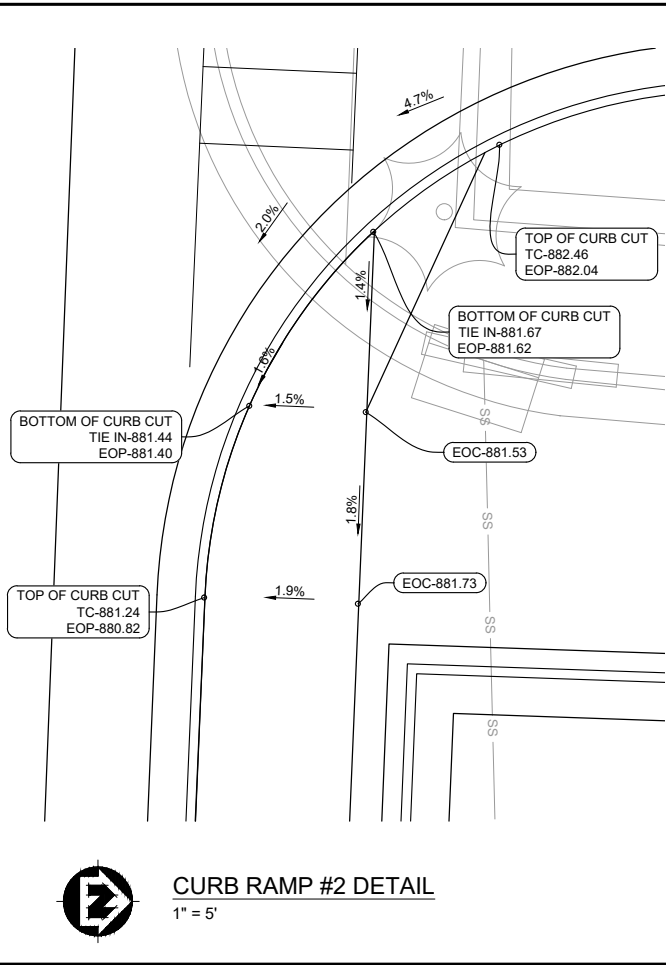
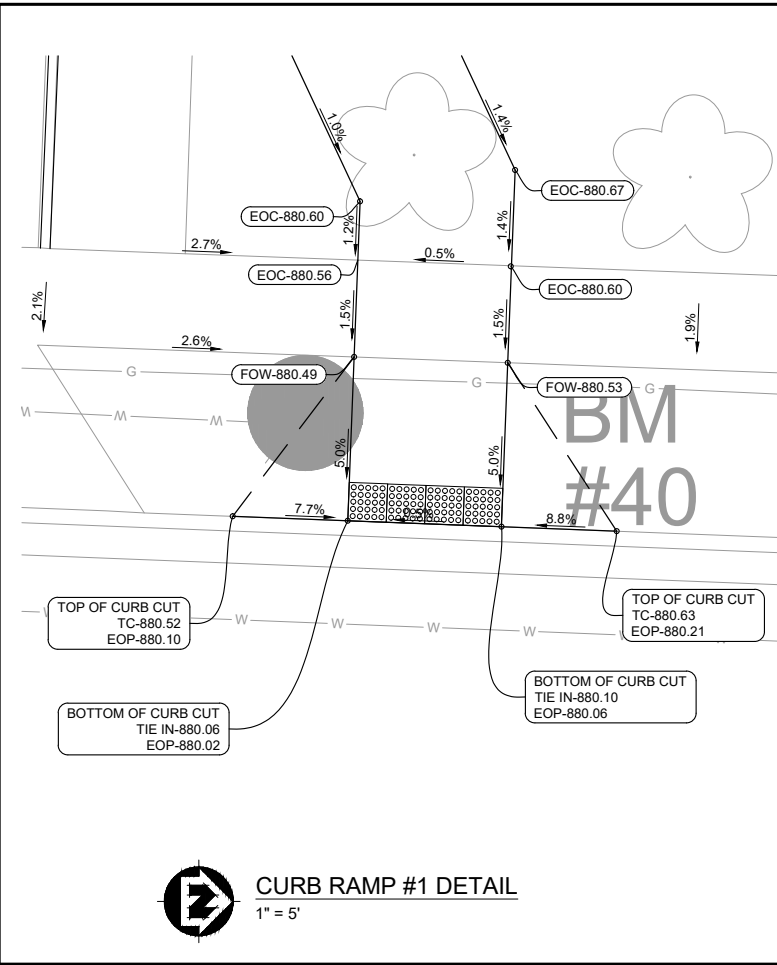
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MISCELLANEOUS DETAILS

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C204







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3/11/2022 1:11 PM, G:\21586000\CADD\Construction Documents\21586000 Curb Ramp Details.dwg	LPS	-	-	-	-
	DESIGNED BY: BJK	-	-	-	-
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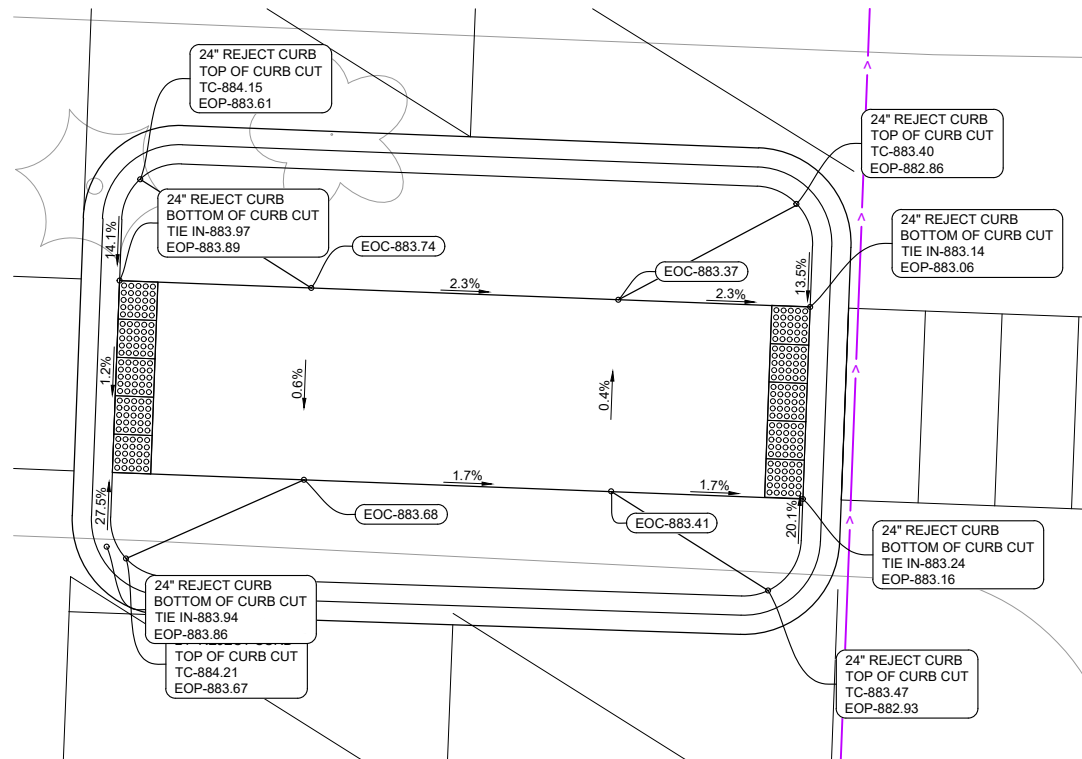
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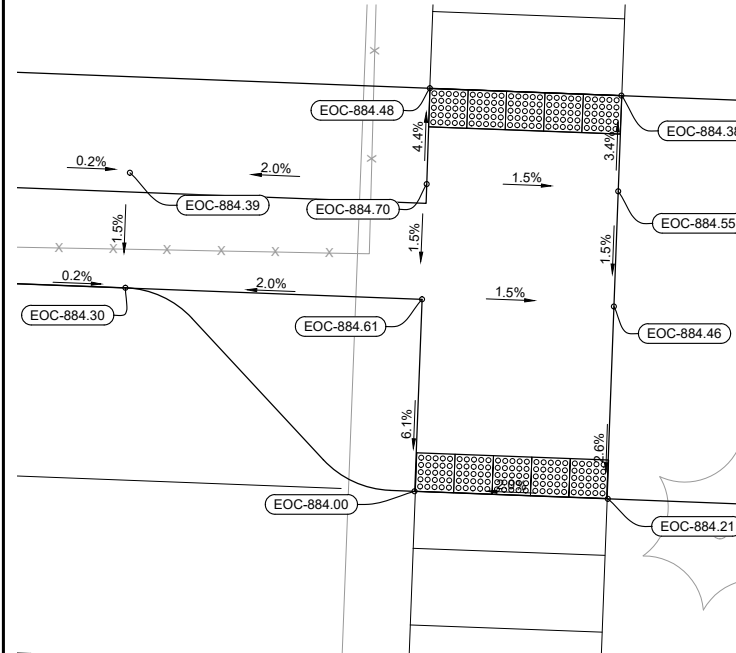
CURB RAMP GRADING DETAILS

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21586000  
SHEET  
C206

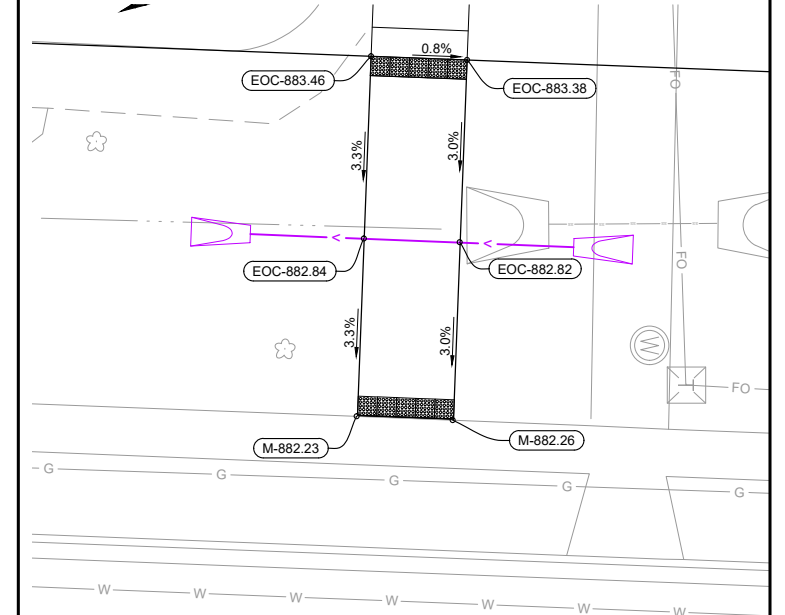




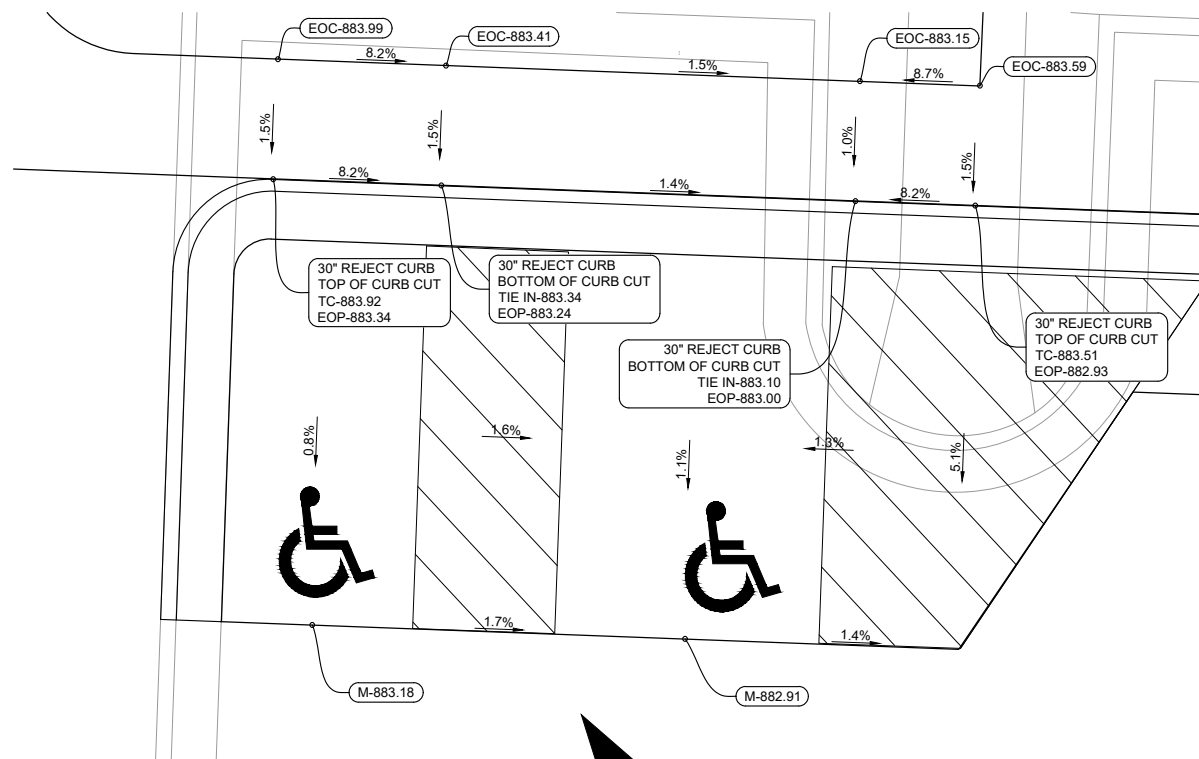
**CURB RAMP #8 DETAIL**  
1" = 5'



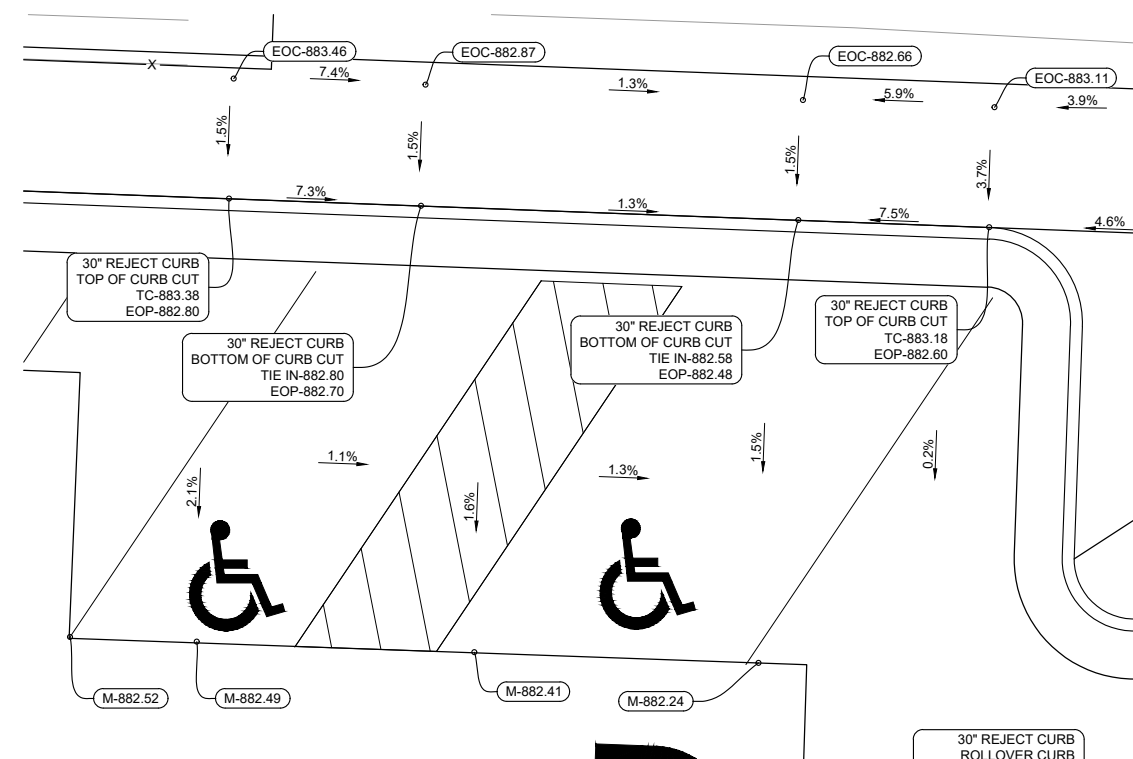
**CURB RAMP #9 DETAIL**  
1" = 5'



**CURB RAMP #10 DETAIL**  
1" = 5'



**ACCESSIBLE PARKING #1 DETAIL**  
1" = 4'



**ACCESSIBLE PARKING #1 DETAIL**  
1" = 4'

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	CHECKED BY:	Init	-	-	-

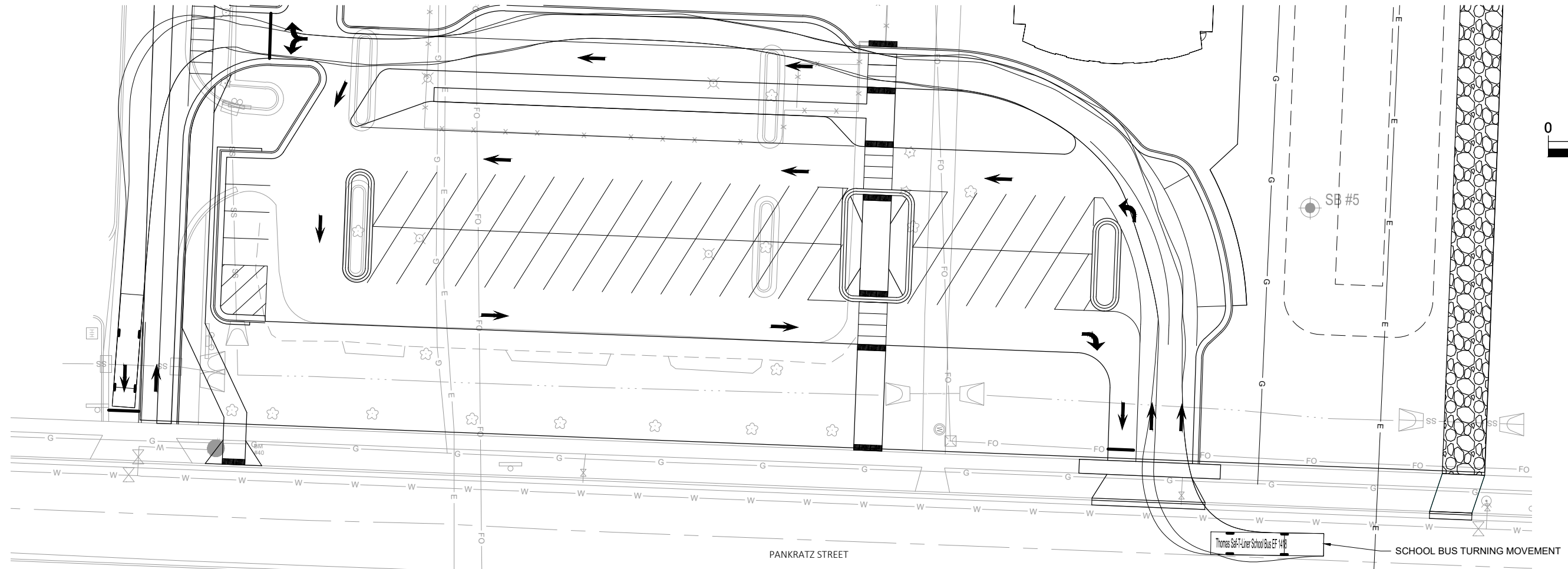
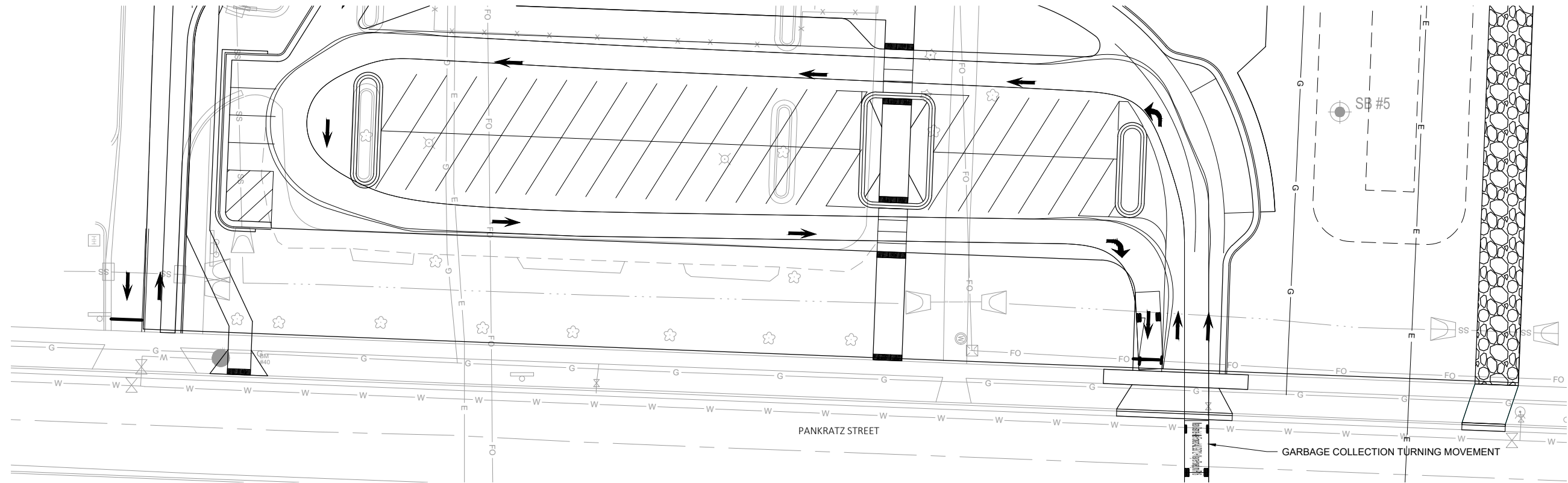


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CURB RAMP GRADING DETAILS

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C207



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3/11/2022 1:12 PM, G:\21586000\CADD\C3D\21586000 Design - Turning Movements.dwg	LPS	-	-	-	-
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VEHICLE TURNING MOVEMENT DETAIL

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# City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506  
Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: [fire@cityofmadison.com](mailto:fire@cityofmadison.com)

Project Address:

Contact Name & Phone #:

## FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? <b>If non-sprinklered</b> , fire lanes extend to within 150-feet of all portions of the exterior wall? <b>If sprinklered</b> , fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant? <i>Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.</i>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2015 Edition Chapter 5 and Appendix D**; please see the codes for further information.

# The Commercial & Industrial Collection



Beauty.  
Durability.  
Functionality.  
Security.







ASCOT  
3 RAIL



## Steps #1 & #4 The Commercial & Industrial Grades

### 5 Quick Steps to Design Your Fence

Grade Size	#1
Style of Fence	#2
Color Choice	#3
Post Size	#4
Fence Options	#5

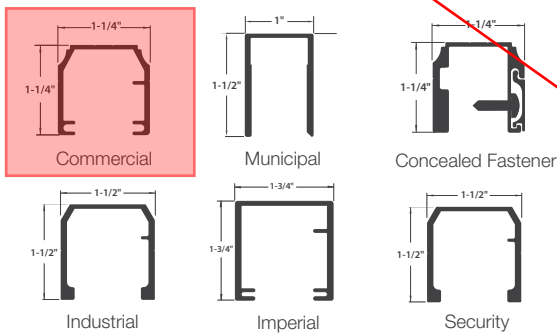
BLACK

The Commercial & Industrial Collection by Alumi-Guard offers six alternatives for you to consider regarding the individual rail and picket dimensions of your fencing system. Choose the option that meets your budget and priorities.

**Commercial** — The Alumi-Guard Commercial, Concealed Fastener and Municipal panels have an elegant appearance with superior performance, providing protection for any outdoor space.

- Commercial and Concealed — 1¼" x 1¼" rail
- Municipal — 1½" x 1" rail
- ¾" picket and 2" or 2½" posts
- Commercial 6' wide sections
- Municipal and Concealed Fastener 6' and 8' wide sections

### Grade Choices

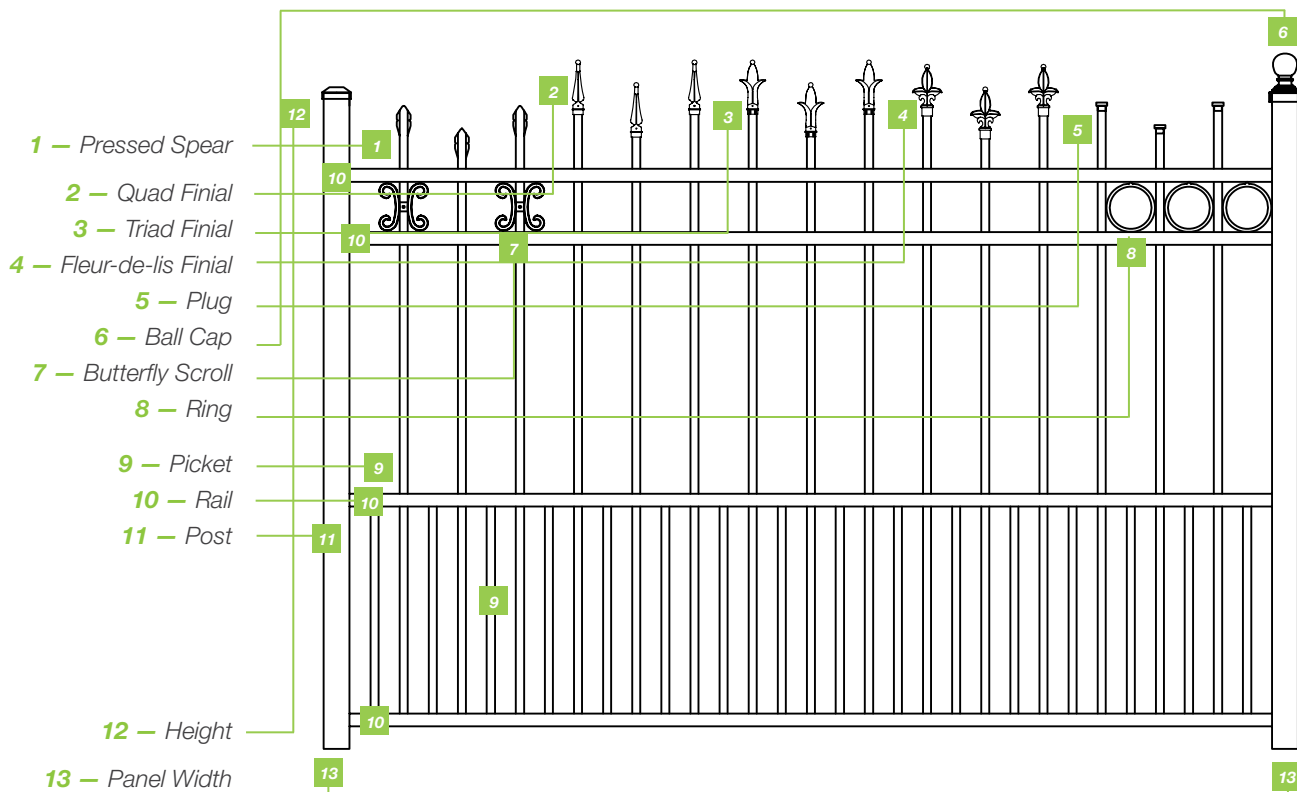


**Industrial** — The Alumi-Guard Industrial, Imperial and Security grade panels provide additional strength and protection. Imperial rails are available with the security grade pickets when additional strength is needed.

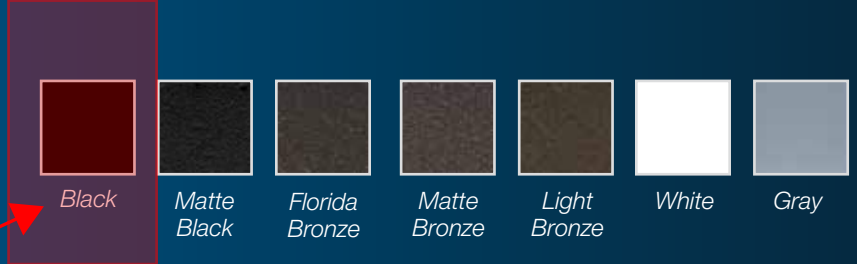
- Industrial and Security 1½" x 1½" rail
- Imperial 1¾" x 1¾" rail
- 1" x 1" picket and 2½" posts or 3" posts
- 6' and 8' wide sections with Industrial, Imperial and Security grades

**NEED GATES. NEED TO VERIFY  
HARDWARE W/ OWNER**

### Step #5 Fence Options

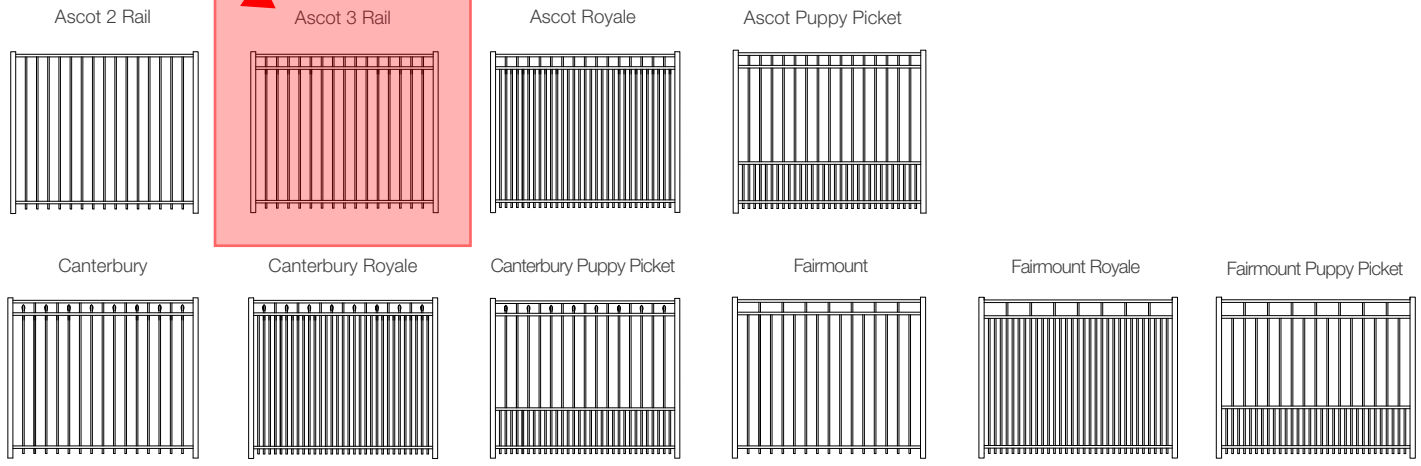


# #2 — #3 Fencing Collection Styles & Colors

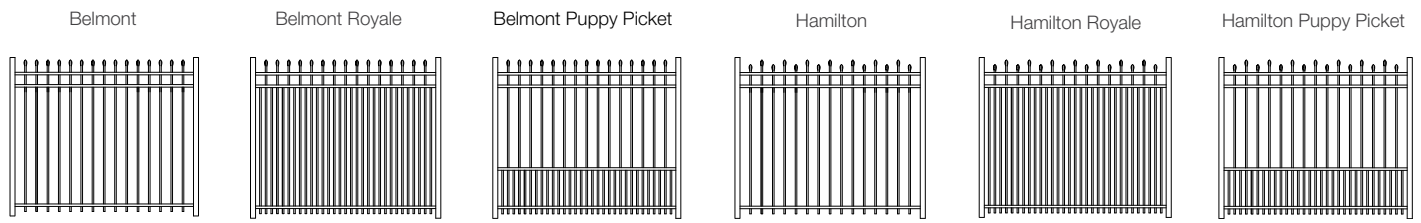


Colors may vary in catalog. Please refer to color chips for actual color.

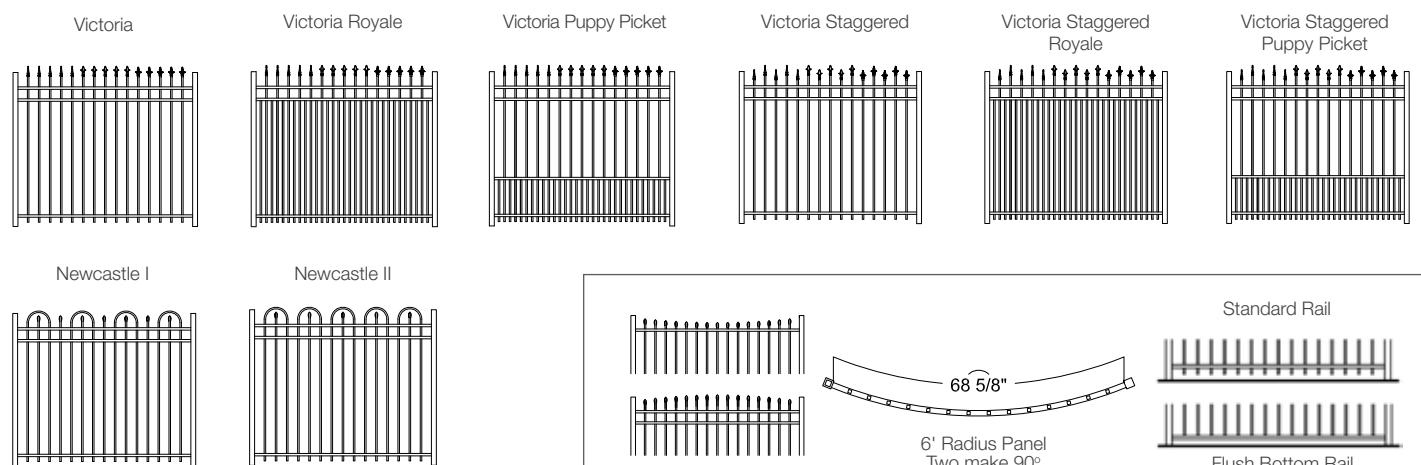
## Flat Top Ascot • Canterbury • Fairmount



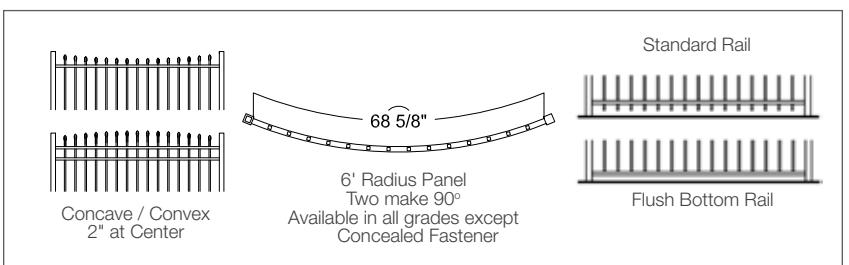
## Pressed Spear Belmont • Hamilton



## Premier Victoria • Newcastle I • Newcastle II

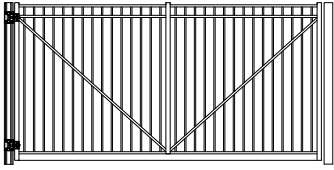


\*Newcastle I and Newcastle II are available in Residential/Squire Grade Only

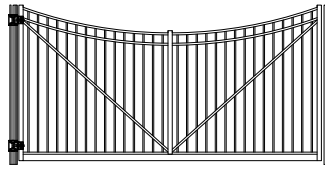




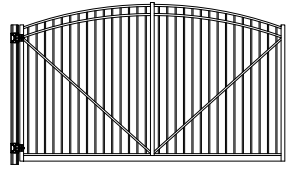
Swing Arch 1



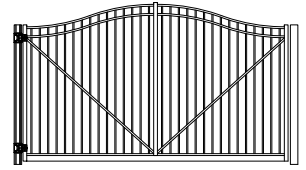
Swing Arch 2



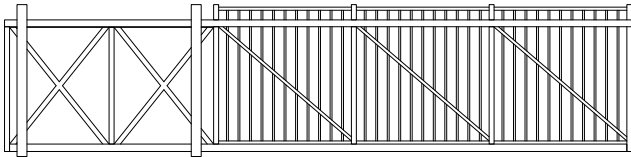
Swing Arch 3



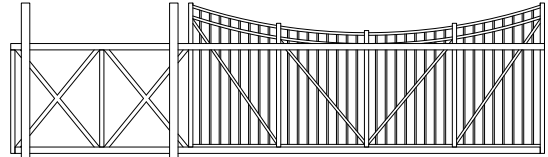
Swing Arch 4



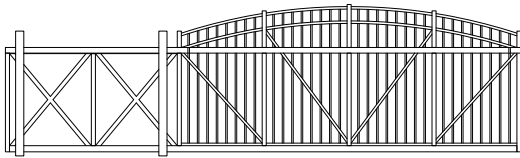
Cantilever Arch 1



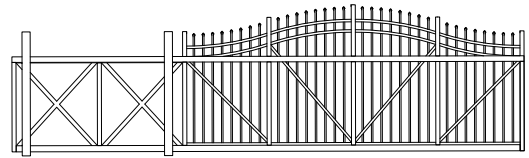
Cantilever Arch 2



Cantilever Arch 3

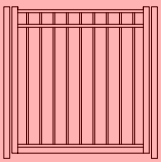


Cantilever Arch 4

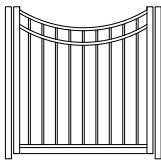


## Walk Gates

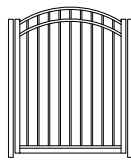
Arch 1



Arch 2

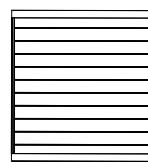


Arch 3

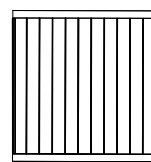


## Mélange

Horizontal Panel

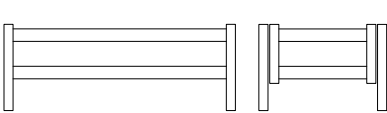


Vertical Panel

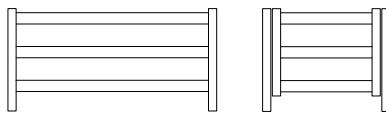


## Chariot Post & Rail

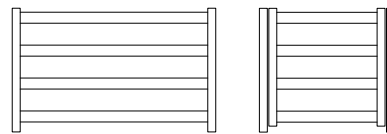
2 Rail Panel/Gate



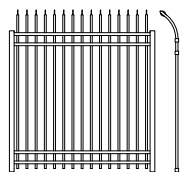
Rail 3 Rail Panel/Gate



4 Rail Panel/Gate

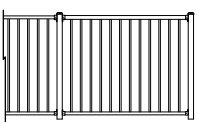


## Security

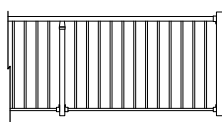


## Guardrail/Handrail

Post/Panel Railing

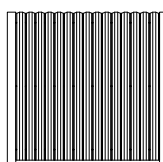


Continuous Top Cap Railing

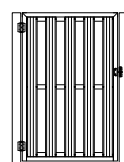
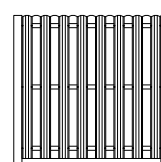
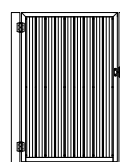


## Fortress

Board on Board



Shadowbox



- Pre-Built Panels Available Post/Panel or Continuous
- Boxed Kits only Available Post/Panel
- Colors: Matte Black, Matte Bronze and White