

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____
Date received _____
Received by _____
Aldermanic District _____
Zoning District _____
Urban Design District _____
Submission reviewed by _____
Legistar # _____



Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: _____
Title: _____

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested _____
New development Alteration to an existing or previously-approved development
Informational Initial approval Final approval

3. Project Type

Project in an Urban Design District
Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
Planned Development (PD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
Planned Multi-Use Site or Residential Building Complex

Signage
Comprehensive Design Review (CDR)
Signage Variance (i.e. modification of signage height, area, and setback)
Signage Exception

Other
Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name _____ **Company** _____
Street address _____ **City/State/Zip** _____
Telephone _____ **Email** _____
Project contact person _____ **Company** _____
Street address _____ **City/State/Zip** _____
Telephone _____ **Email** _____
Property owner (if not applicant) _____
Street address _____ **City/State/Zip** _____
Telephone _____ **Email** _____

5. Required Submittal Materials

- Application Form
- Letter of Intent
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
 - ~~For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.~~
- Development Plans (Refer to checklist on Page 4 for plan details)
- Filing fee
- Electronic Submittal*
- Notification to the District Alder
 - Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

~~*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.~~

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with #1 Kevin Furchow and #2 Kevin Furchow / Jessica Vaughn on #1 - 11/24/2021 and #2 - 02/18/2022.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Alan Theobald Relationship to property Architect
 Authorizing signature of property owner  Date 3-11-22

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000. **- No Fees are required - See attached email from City Staff at the end of this application -**

Please consult the schedule below for the appropriate fee for your request:

- ~~Urban Design Districts: \$350 (per §35.24(6) MGO).~~
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission: **- None of the following apply -**

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**** All plans must be legible, including the full-sized landscape and lighting plans (if required)**

2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in both black & white and color for all building sides (include material callouts)
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus:**

- Grading Plan
- Proposed Signage (if applicable)
- Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials (presented at the UDC meeting)

Virtual meeting / electronic submittal so no samples are included with the submittal. We have samples that can be viewed upon request.

4. Comprehensive Design Review (CDR) and Variance Requests (Signage applications only)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit



Project Description
Isthmus Montessori Academy
March 14, 2022

Project Description:

The existing Isthmus Montessori Academy (IMA) facility sits on approximately 2.5 acres of land; they are in the process of acquiring the adjacent 2.4 acre parcel. Their existing building is two-stories and 24,405 s.f. (14,466 s.f. 1st Floor, 9,939 s.f. 2nd Floor) – the proposed two-story addition will be 44,435 s.f. (27,432 s.f. 1st Floor, 17,003 s.f. 2nd Floor). The addition will be home to additional academic learning spaces, administrative offices, a gymnasium, and a 300-seat theatre. The parking lot layout will be upgraded to improve the traffic flow of both parental traffic and bus traffic. The exterior fenced-in courtyard space will be home to some playground equipment and some exterior classroom learning spaces.

School hours are and will remain as follows: Staff arrive at 7:30am and most leave at 4:00pm. Children arrive at 8:00am and leave at 3:pm.

The project is located in Urban Design District No. 4 and is in Aldermanic District No. 12 (Alder Syed Abbas).

Design:

IMA and our design team have diligently worked to create an addition that seamlessly blends into the existing structure. The design intent for the addition is to become the main “front door” access to the facility and to provide a welcoming environment for the students, their families, and guests. A central courtyard pathway has been established for this arrival with the northern edge of the facility also containing a separate theatre entrance. The primary exterior building materials are consistent with the existing structure of masonry, glass and metal panel.

The site design is largely driven by establishing a safe and efficient method of student drop off by both car and bus. A new access point off of Pankratz Street has been added to aid in the arrival/departure traffic pattern for all.

C.S.M.:

MSA has been working closely with the County and the Airport Commission on the extended land lease. The location of the existing bike path that cuts down the center of the parcel is being finalized as well as a public sanitary access easement. We are proceeding with an concurrent approval process with the Airport Commission, the County, and the City. A working copy of the C.S.M. is included with this submittal.

Project Schedule:

Construction Start – Early Summer 2022

Construction Completion – Fall 2023

Organizational Structure:

Owner: Isthmus Montessori Academy
1802 Pankratz Street
Madison, WI 53704
Contact: Bill Walsh

Architect: Iconica
901 Deming Way
Madison, WI 53717
608-664-3583
Contact: Alan Theobald

Engineer: Iconica
901 Deming Way
Madison, WI 53717
608-664-3535
Contact: Chad Faber

Civil Design: MSA
1702 Pankratz Street
Madison, WI 53704
Contact: Jamie Kurten Chmielewski, PE

Landscape Architect: MSA
1702 Pankratz Street
Madison, WI 53704

Signage: TBD

Thank you for your time in reviewing our proposal.

Sincerely,



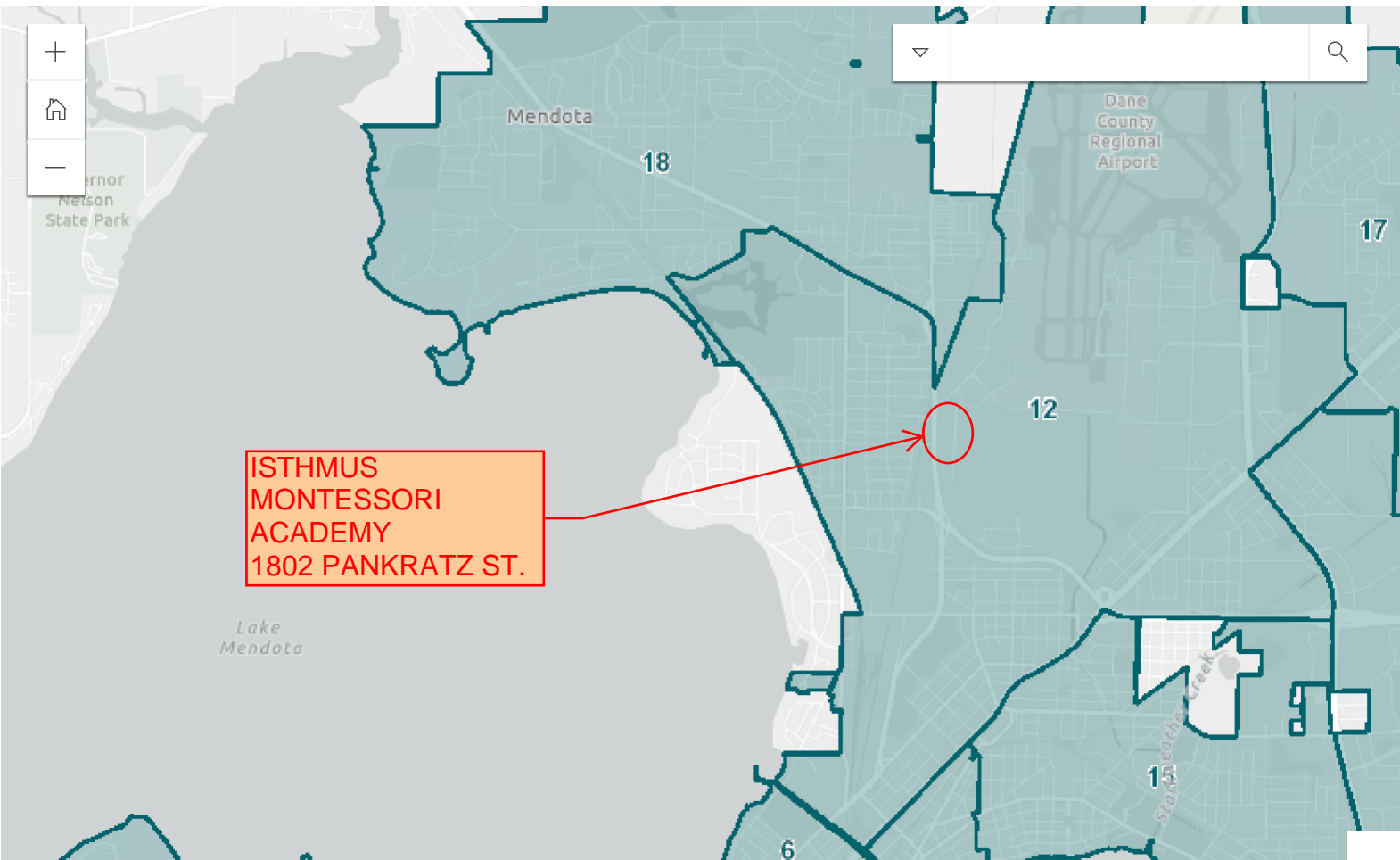
Alan Theobald
Project Architect
Iconica

901 Deming Way // Madison, WI 53717 // Ph: 608.664.3500 // Fx: 608.664.3535 //
Iconiccreates.com

COMMON COUNCIL

[Menu](#)

Alder District Map



Council Members

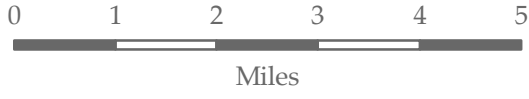
[Alders](#) **SYED ABBAS**

[Alder District Map](#)

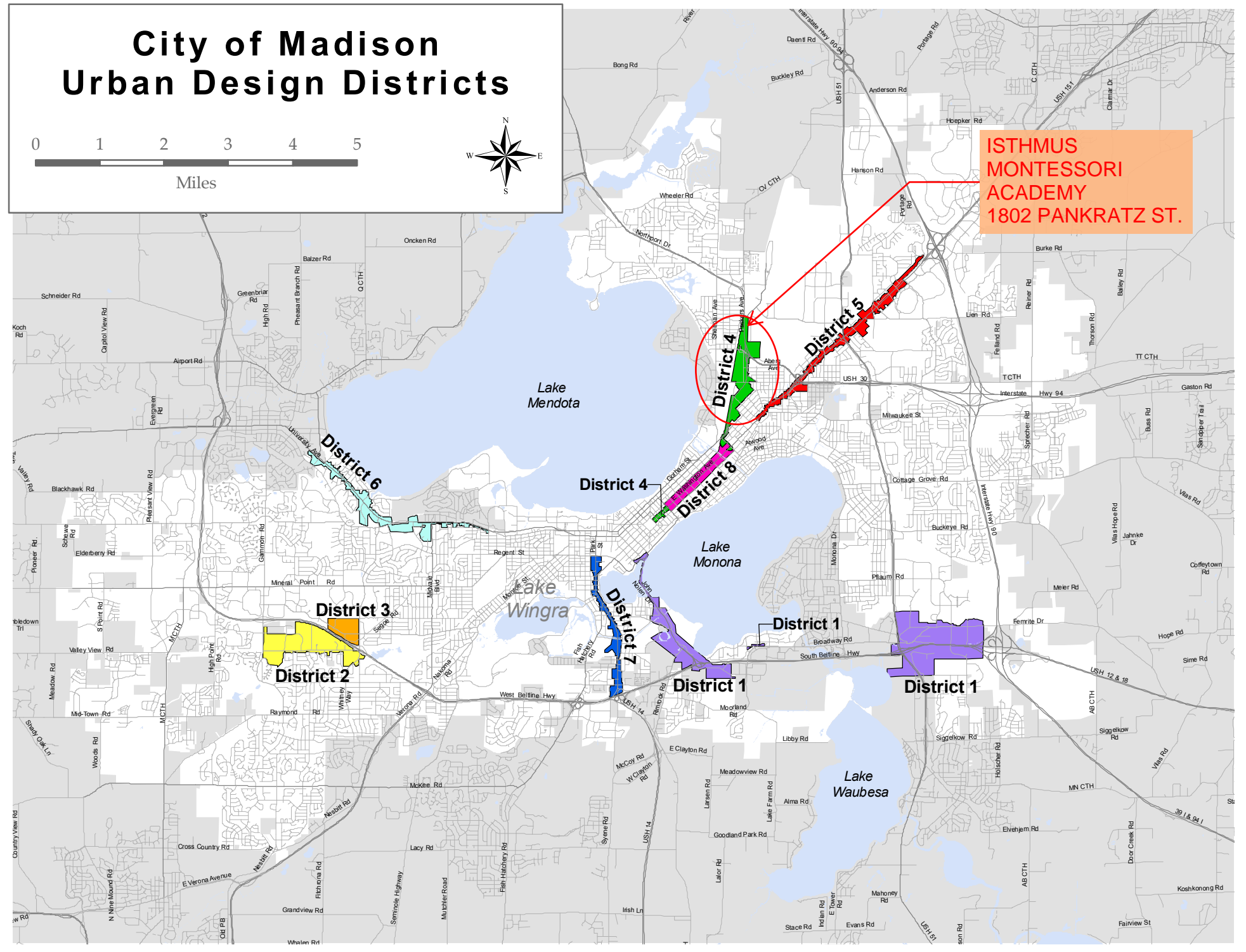
[Redistricting](#)

[Alder Ward Map ↗](#)

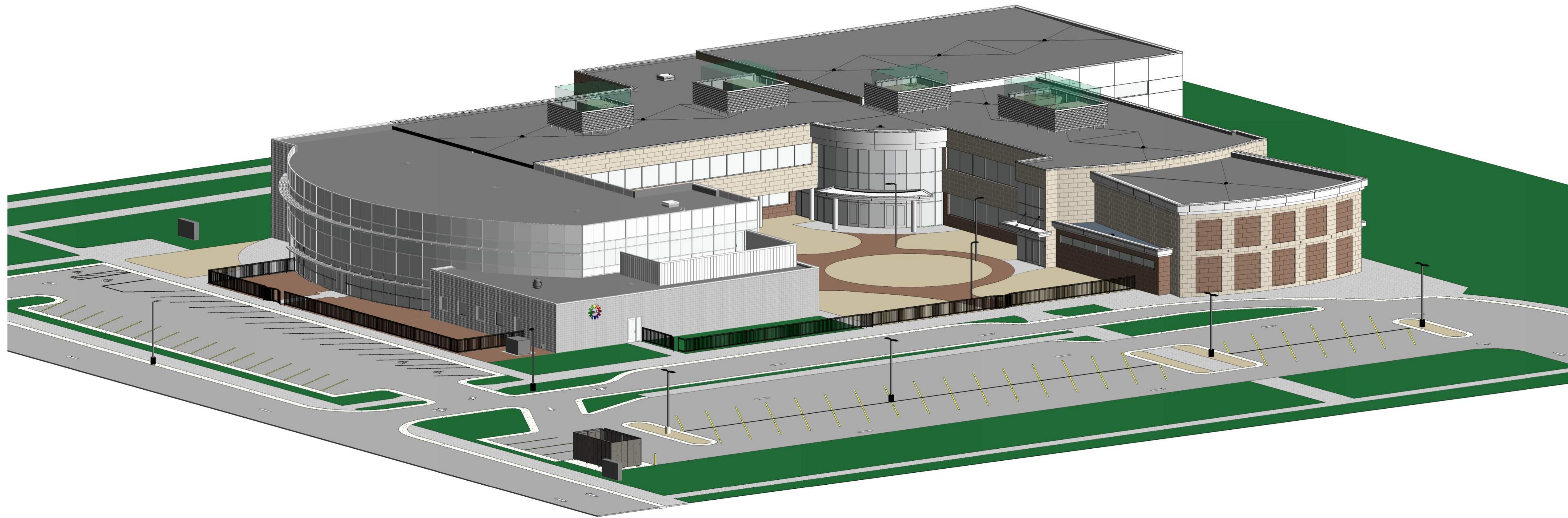
City of Madison Urban Design Districts



**ISTHMUS
MONTESSORI
ACADEMY
1802 PANKRATZ ST.**



ISTHMUS MONTESSORI ACADEMY



BUILDING CODE

- Building Regulations: 2015 IBC with WI Amendments - LEVEL 2 ALTERATION
ICC / ANSI A117.1 - 2009
- Use Group/Occupancy: Educational Group E - School (305.1)
Educational Group E - Daycare (305.2)
Business Group B - Administrative Offices (304.1)
- Non-Separated Occupancies: (508.3)
- Type of Construction: Type II-B (602.2)
- Protection of Elements: As determined by tabular values (Table 601 & Table 602)
(Group E / Type II-B)
Structural frame 0 hr
Ext. bearing wall 0 hr where X ≥ 30' (all locations)
Int. bearing walls 0 hr
Ext. non-bearing walls 0 hr where X ≥ 30' (all locations)
Int. non-bearing walls 0 hr
Floor construction 0 hr
Roof construction 0 hr
- Allowable Height & Area: As determined, allowed by tabular values:
Group E is most restrictive use type
Type of construction is II-B
Building is Fully Sprinklered, Two stories
75' max. height (Table 504.3)
3 Stories max. (Table 504.4)
43,400 sq. ft. max. w/o modifications (Table 506.2)
Actual building information:
Height = 28' 4"
2 Stories above grade plane
First Floor:
Existing = 14,466 sq. ft.
Addition = 27,432 sq. ft.
TOTAL = 41,898 sq. ft.
Second Floor:
Existing = 9,939 sq. ft.
Addition = 17,003 sq. ft.
TOTAL = 26,942 sq. ft.
- Sprinkler system: NFPA-13 - (903.3.1.1) and as required by Local Ordinance
- Fire Extinguishers: Type: 2A (General Building) - existing to remain
Distance to Extinguisher: 75'
Floor Area / Extinguisher: 11,250 sq. ft.
Minimum Rating: Class B
Type: K (Kitchen Area) - existing to remain
Distance to Extinguisher: 30'
- Number of Occupants: As determined by tabular values (Table 1004.1.2)
See Code Plan for calculations by room / area
- Exit: Exit width = 0.3 inches per person at stairways (1005.3.1)
Exit width = 0.2 inches per person at other egress components (1005.3.2)
Accessible means of egress provided per (1009.1)
Spaces with one exit or exit access doorway (Table 1006.2.1) - Group E = 49 max. occupant load / room
75' Maximum common path of egress travel (Table 1006.2.1)
Minimum number of exits = 2 (Table 1006.3.1)
Exit access doorway configuration (1007.1.1)
Exit signs provided as required (1013)
44" min. at corridors (Table 1002.2)
Corridors not required to be rated (Table 1002.1) - Group E
32" min. clear at exit doors
50' Maximum dead end corridor (1020.4, Exception #2)
250' Maximum exit access travel distance (Table 1017.2) - Group E fully sprinklered
- Accessibility: Provided per IBC Chapter 11 and ICC A117
- Plumbing: 500' maximum travel distance to toilet facilities. (See Code sheet on A011 for detailed info.)
- Parking: (76) parking stalls (72 standard, 4 accessible)
(Table 1106.1) - (3) Accessible stalls are required. (4) are provided.
(1106.5) - (1) Van Accessible stall is required. (1) is provided.
- Marking Identification: Fire Walls, Fire Barriers, Fire Partitions, Smoke Barriers and Smoke Partitions shall be permanently identified with stenciling (703.6) except in areas where gypsum board ceilings are provided.
1. Located in concealed floor, floor/ceiling or attic spaces.
2. at intervals not exceeding 30' measured horizontally.
3. Letters to be not less than 0.5" in height.

ISTHMUS MONTESSORI ACADEMY
 1802 PANKRATZ STREET, MADISON, WI
ISTHMUS MONTESSORI ACADEMY
 1802 PANKRATZ STREET
 MADISON, WI 53704

Issue	Description	Date
UDC	UDC / PLAN COMMISSION	03-14-22

BID PACKAGES

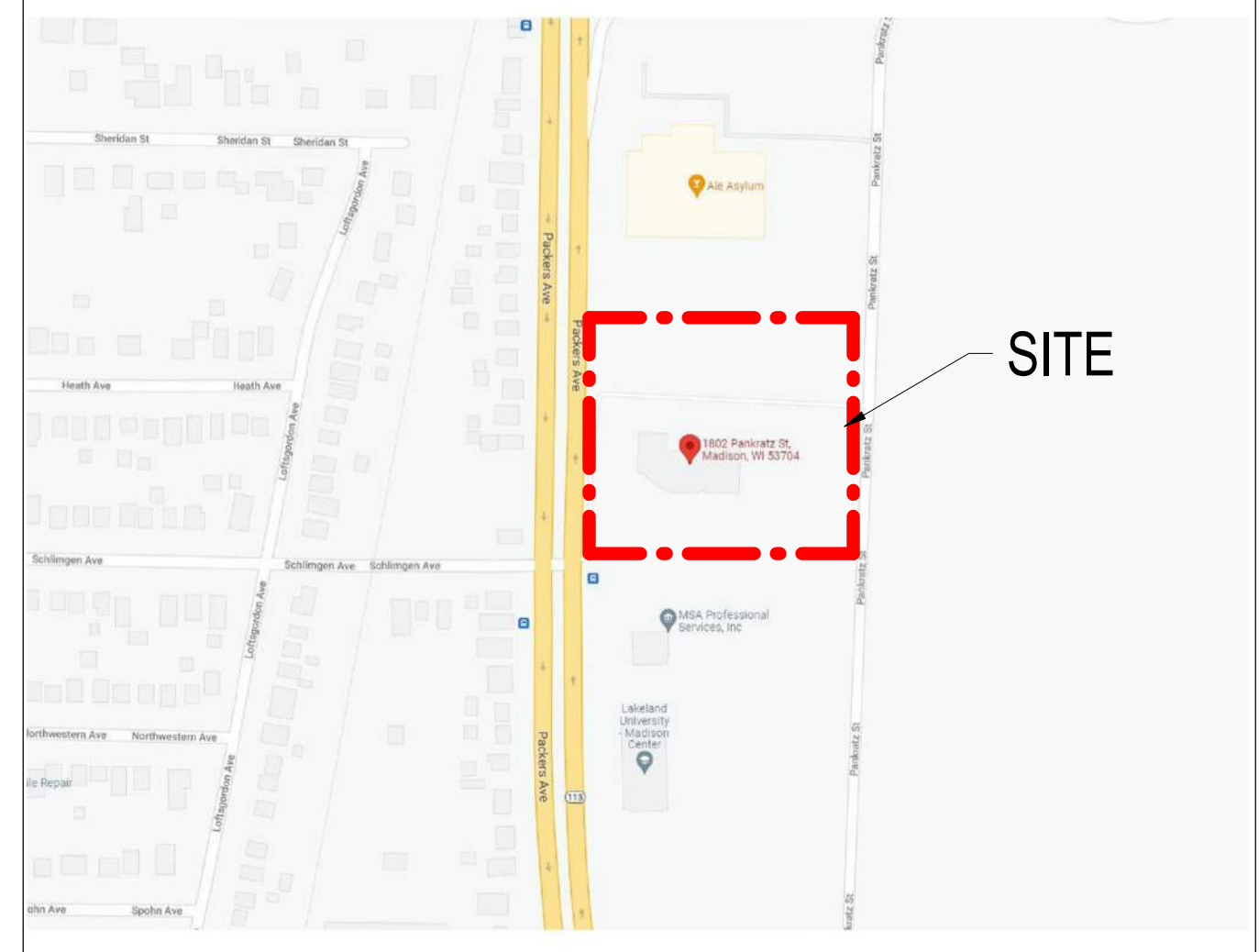
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Sheet Title
COVER SHEET

Project Number: 20210400
Sheet Number

G001

SITE LOCATION MAP



1802 PANKRATZ STREET, MADISON, WI

PROJECT DIRECTORY

DESIGN-BUILDER ICONICA, INC. 901 DEMING WAY MADISON, WISCONSIN 53717 PHONE: (608) 664-3500 FAX: (608) 664-3535	OWNER ISTHMUS MONTESSORI ACADEMY 1802 PANKRATZ STREET MADISON, WI 53704
CIVIL ENGINEER MSA PROFESSIONAL SERVICES, INC. 1702 PANKRATZ STREET MADISON, WI 53704 PHONE: (608) 242-7779	LANDSCAPE DESIGNER MSA PROFESSIONAL SERVICES, INC. 1702 PANKRATZ STREET MADISON, WI 53704 PHONE: (608) 242-7779

SHEET INDEX

UDC / PLAN COMMISSION #	SHEET #	SHEET TITLE
General	G001	COVER SHEET
Code	A011	FIRST FLOOR CODE PLAN
	A012	SECOND FLOOR CODE PLAN
Civil & Landscaping	C100	EXISTING SITE & REMOVALS PLAN - EAST
	C101	EXISTING SITE & REMOVALS PLAN - WEST
	C102	PROPOSED SITE LAYOUT - EAST
	C103	PROPOSED SITE LAYOUT - WEST
	C104	PROPOSED SITE DIMENSIONS - EAST
	C105	PROPOSED SITE DIMENSIONS - WEST
	C106	GRADING PLAN - EAST
	C107	GRADING PLAN - WEST
	C108	UTILITY PLAN - EAST
	C109	UTILITY PLAN - WEST
	C110	EROSION CONTROL PLAN - EAST
	C111	EROSION CONTROL PLAN - WEST
	C112	LANDSCAPE PLAN - EAST
	C113	LANDSCAPE PLAN - WEST
	C114	FIRE ACCESS PLAN
	C200	UTILITY SERVICE DETAILS
	C201	STORM SEWER & POND DETAILS
	C202	EROSION CONTROL DETAILS
	C203	STREET DETAILS
	C204	MISCELLANEOUS DETAILS
	C205	MISCELLANEOUS DETAILS
	C206	CURB RAMP GRADING DETAILS
	C207	CURB RAMP GRADING DETAILS
	C208	VEHICLE TURNING MOVEMENT DETAIL
Demolition	AD201	FIRST FLOOR PLAN DEMOLITION
	AD202	SECOND FLOOR PLAN DEMOLITION
14-Presentation	Z401	NORTHWEST PERSPECTIVE
Architectural	A001	ABBREVIATIONS, SYMBOLS AND NOTES
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	A201	OVERALL FIRST FLOOR PLAN
	A201A	FIRST FLOOR PLAN - AREA A
	A201B	FIRST FLOOR PLAN - AREA B
	A202	OVERALL SECOND FLOOR PLAN
	A202B	SECOND FLOOR PLAN - AREA B
	A202E	SECOND FLOOR PLAN - AREA E
	A207	ROOF PLAN
	A301	BUILDING ELEVATIONS
	A301A	BUILDING ELEVATIONS
	A302	BUILDING ELEVATIONS
	A302A	BUILDING ELEVATIONS
	A303	EXISTING BUILDING PHOTOS
	A304	PERSPECTIVES
	A305	PERSPECTIVES
	A306	PERSPECTIVES
	A307	PERSPECTIVES

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UDC / PLAN COMMISSION #	SHEET #	SHEET TITLE
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A401		BUILDING SECTIONS
A410		WALL SECTIONS
A500		PLAN DETAILS
A510		SECTION DETAILS
A530		EXTERIOR DOOR DETAILS
A521		WINDOW DETAILS
A530		MISC DETAILS
A540		ROOF DETAILS
A550		FLASHING DETAILS AND SCHEDULE
A600		ENLARGED SECOND FLOOR PLAN
A610		ENLARGED STAIR PLANS
A620		ENLARGED PLANS
A630		INTERIOR ELEVATIONS
A700		WALL TYPES
A710		DOOR AND HARDWARE SCHEDULES
A720		WINDOW TYPE ELEVATIONS
A801B		FIRST FLOOR REFLECTED CEILING PLAN - AREA B
A801C		FIRST FLOOR REFLECTED CEILING PLAN - AREA C
A802B		SECOND FLOOR REFLECTED CEILING PLAN AREA-B
A802E		SECOND FLOOR REFLECTED CEILING PLAN AREA-E
Interior	I201B	FIRST FLOOR FINISH PLAN - AREA B
	I701	FINISH SCHEDULES
Plumbing	P201	ABBREVIATIONS, SYMBOLS AND NOTES
	P200B	FIRST FLOOR AREA B UNDERFLOOR PLUMBING
	P201A	FIRST FLOOR AREA A PLUMBING
	P201B	FIRST FLOOR AREA B PLUMBING
	P801	PLUMBING TYPICAL DETAILS
	P701	SCHEDULES
	P902	AREA B PLUMBING DWV RISERS
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	P912	AREA B PLUMBING SUPPLY RISERS
	P2021B	FIRST FLOOR AREA B PLUMBING DEMOLITION
Mechanical	M001	ABBREVIATIONS, SYMBOLS AND NOTES
	M201A	FIRST FLOOR AREA A MECHANICAL
	M201B	FIRST FLOOR AREA B MECHANICAL
	M601	MECHANICAL DETAILS
	M701	MECHANICAL SCHEDULES
	MD201A	FIRST FLOOR AREA A MECHANICAL DEMOLITION
	MD201B	FIRST FLOOR AREA B MECHANICAL DEMOLITION
	ME801	FIRST FLOOR AREA B - REFLECTED CEILING PLAN
Electrical	E001	ABBREVIATIONS, SYMBOLS AND NOTES
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	E201AP	FIRST FLOOR AREA A POWER
	E201B	FIRST FLOOR AREA B - DEMOLITION
	E201BL	FIRST FLOOR AREA B LIGHTING
	E201BP	FIRST FLOOR AREA B POWER
	E501	ELECTRICAL DETAILS
	E701	ELECTRICAL SCHEDULES

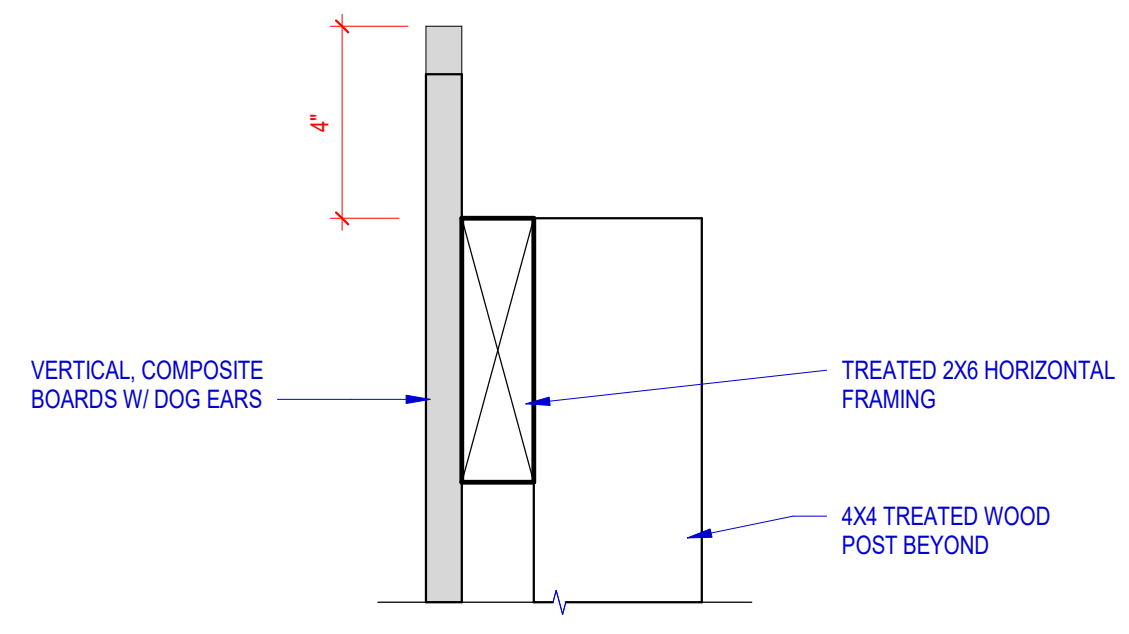
Issue	Description	Date
UDC	UDC / PLAN COMMISSION	03-14-22

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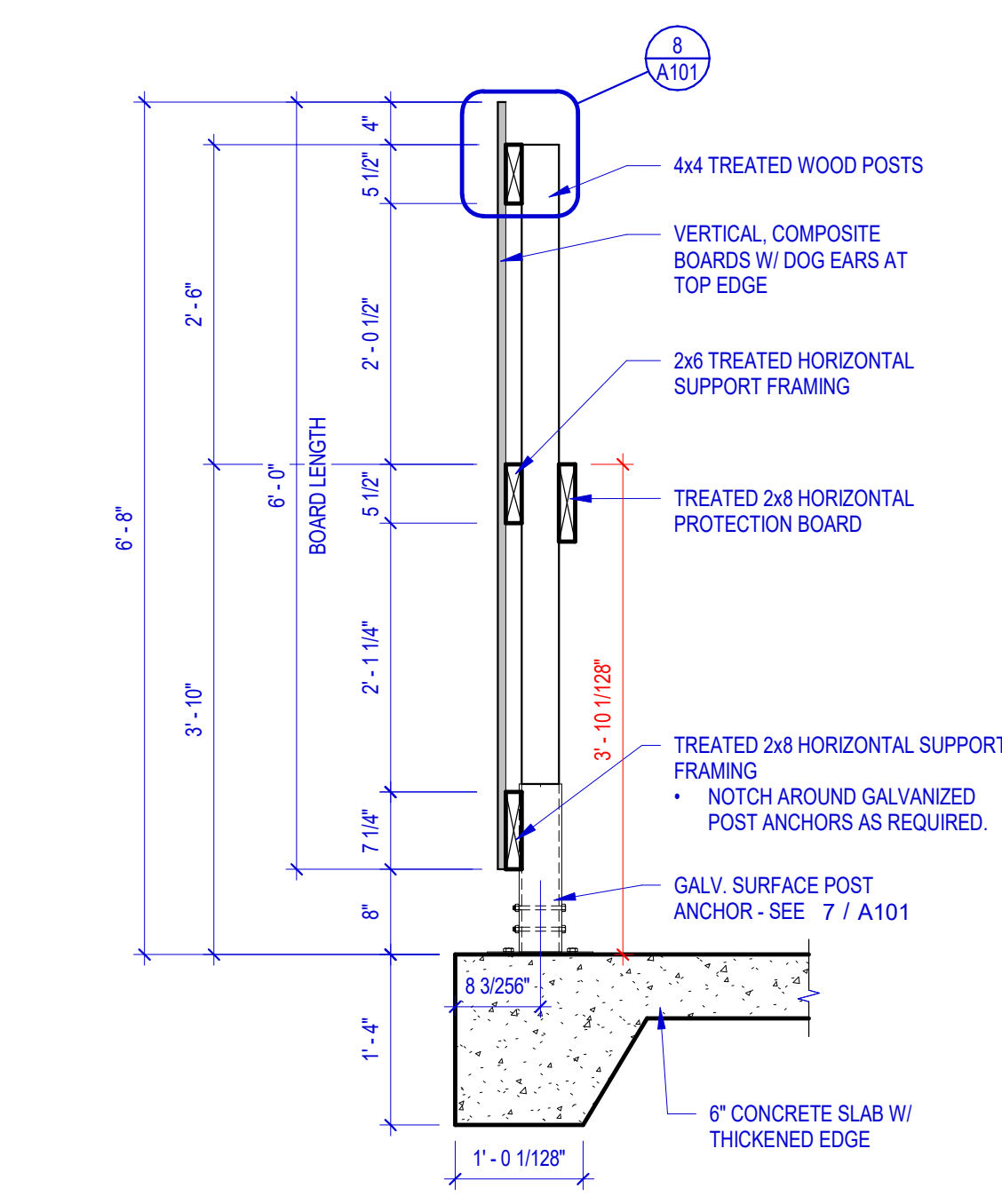
Sheet Title
SITE PLAN DETAILS

Project Number: 20210400
 Sheet Number

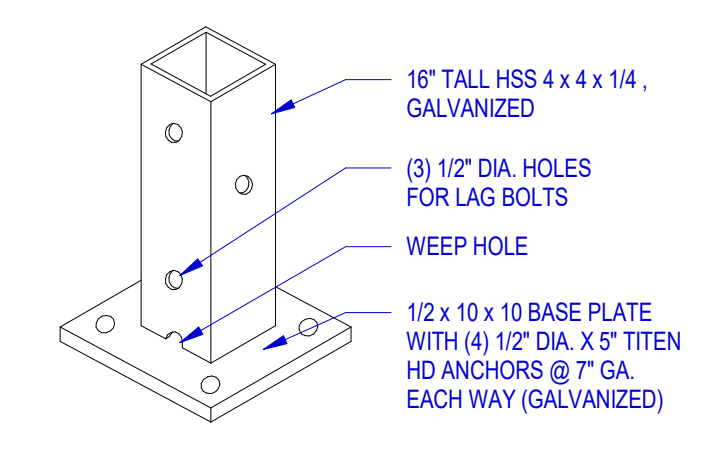
A101



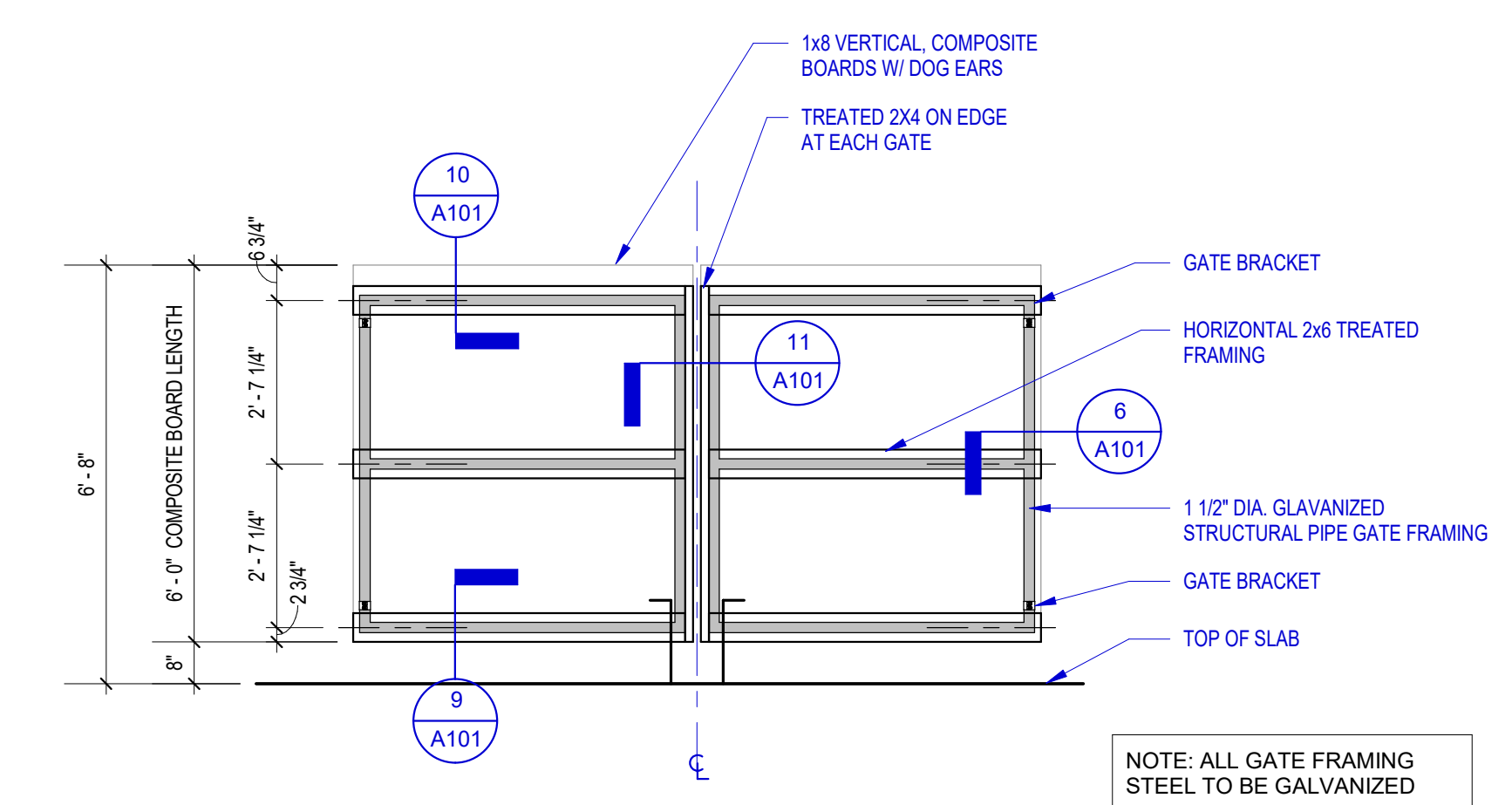
8 DUMPSTER ENCLOSURE - CAP DETAIL
 A101 3" = 1'-0"



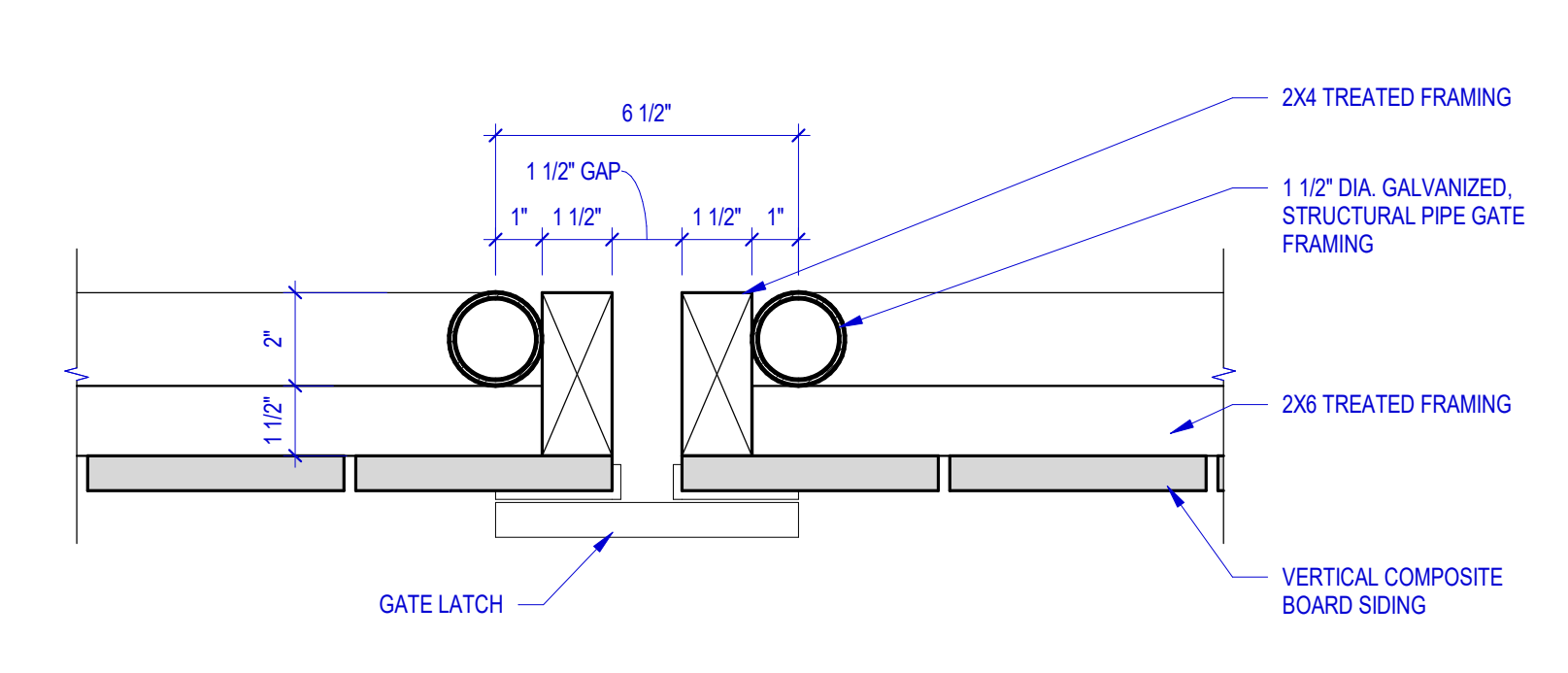
4 SECTION @ DUMPSTER ENCLOSURE
 A101 3/4" = 1'-0"



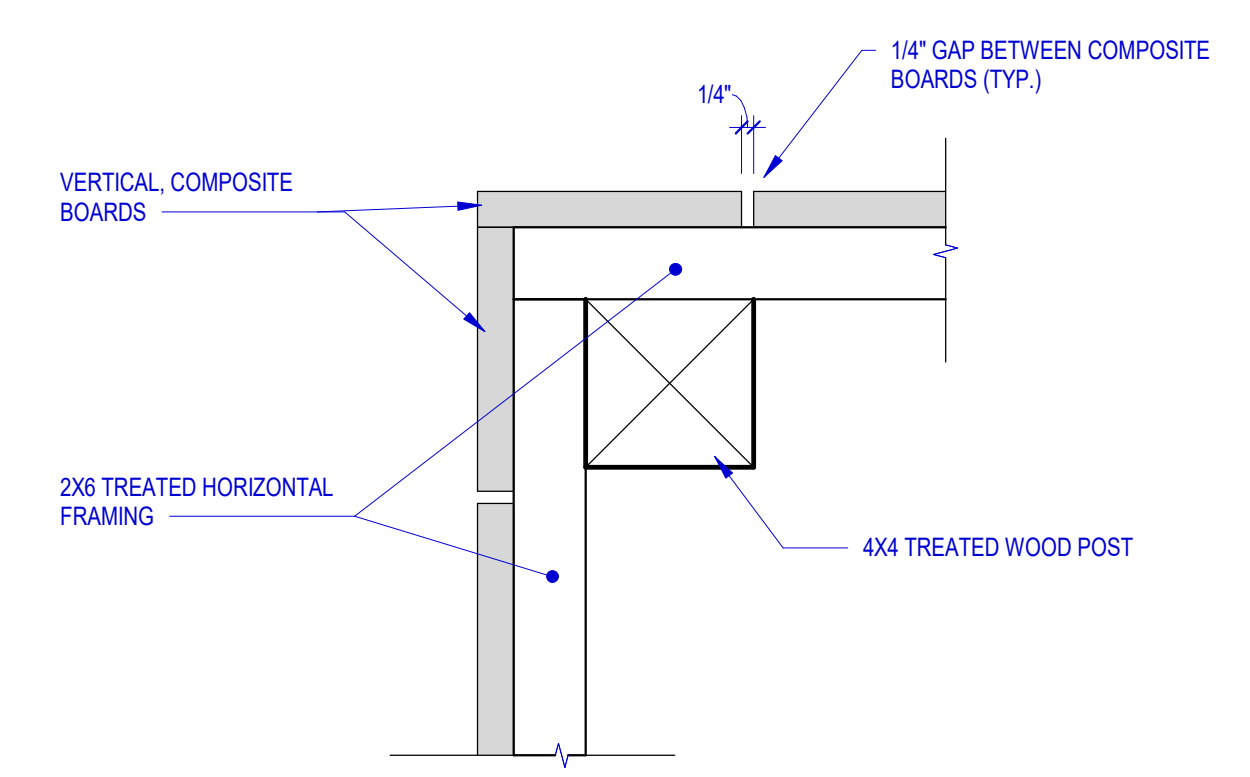
7 DUMPSTER ENCLOSURE - POST BRACKET
 A101 1/4" = 1'-0"



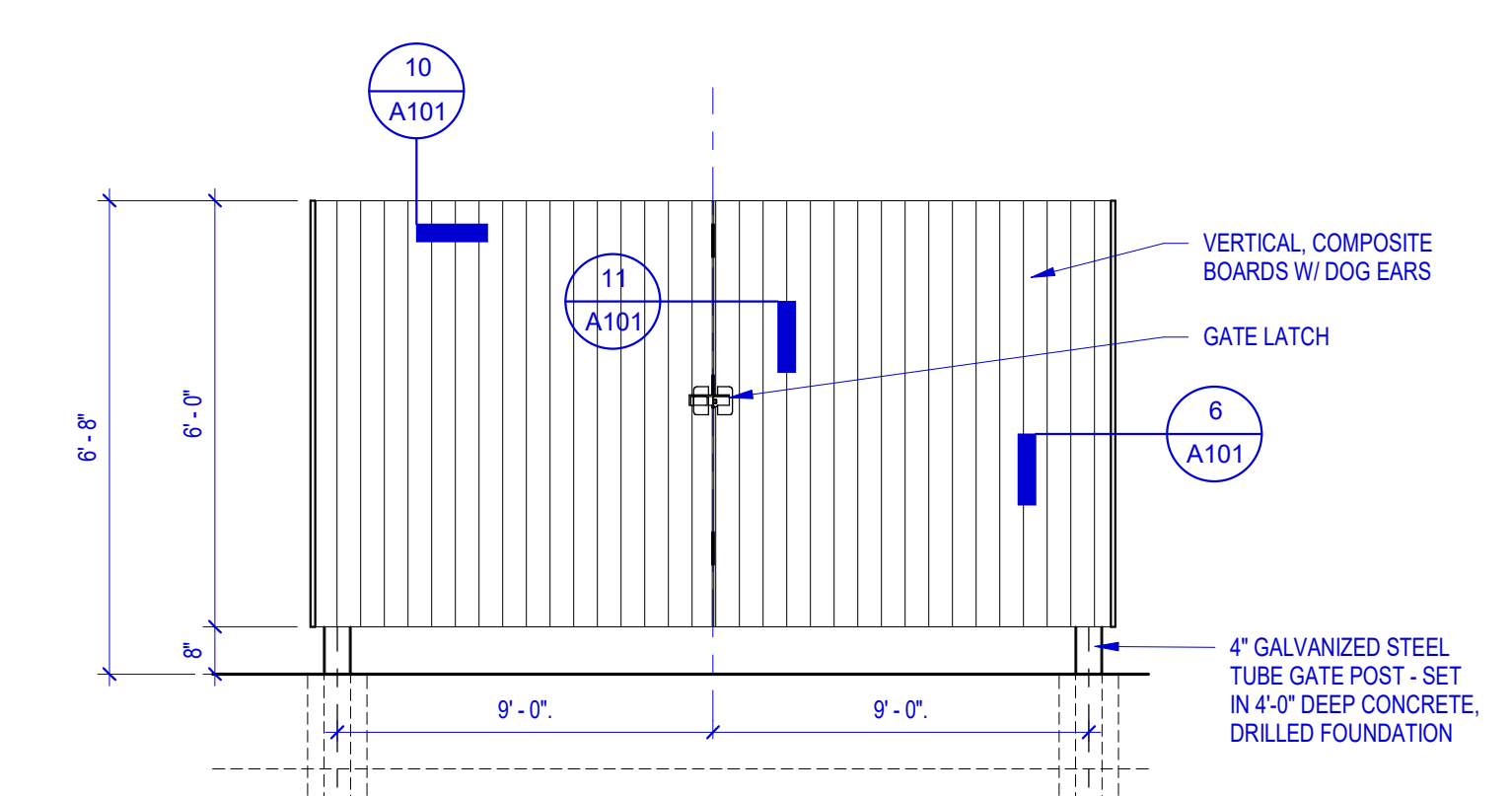
DUMPSTER ENCLOSURE INTERIOR GATE ELEVATION
 A101 3/8" = 1'-0"



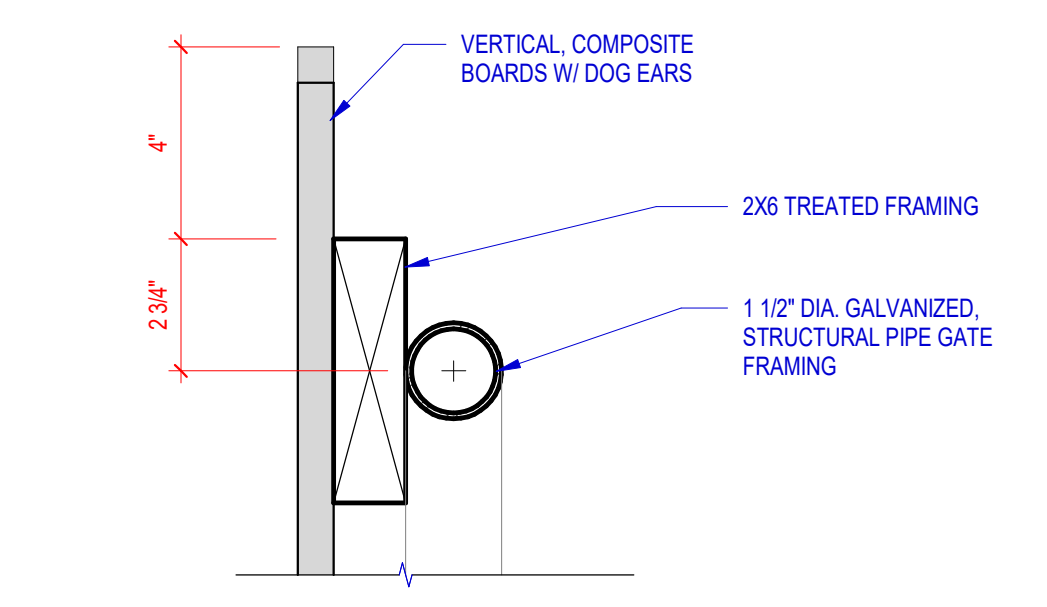
11 DUMPSTER ENCLOSURE - LATCH DETAIL
 A101 3" = 1'-0"



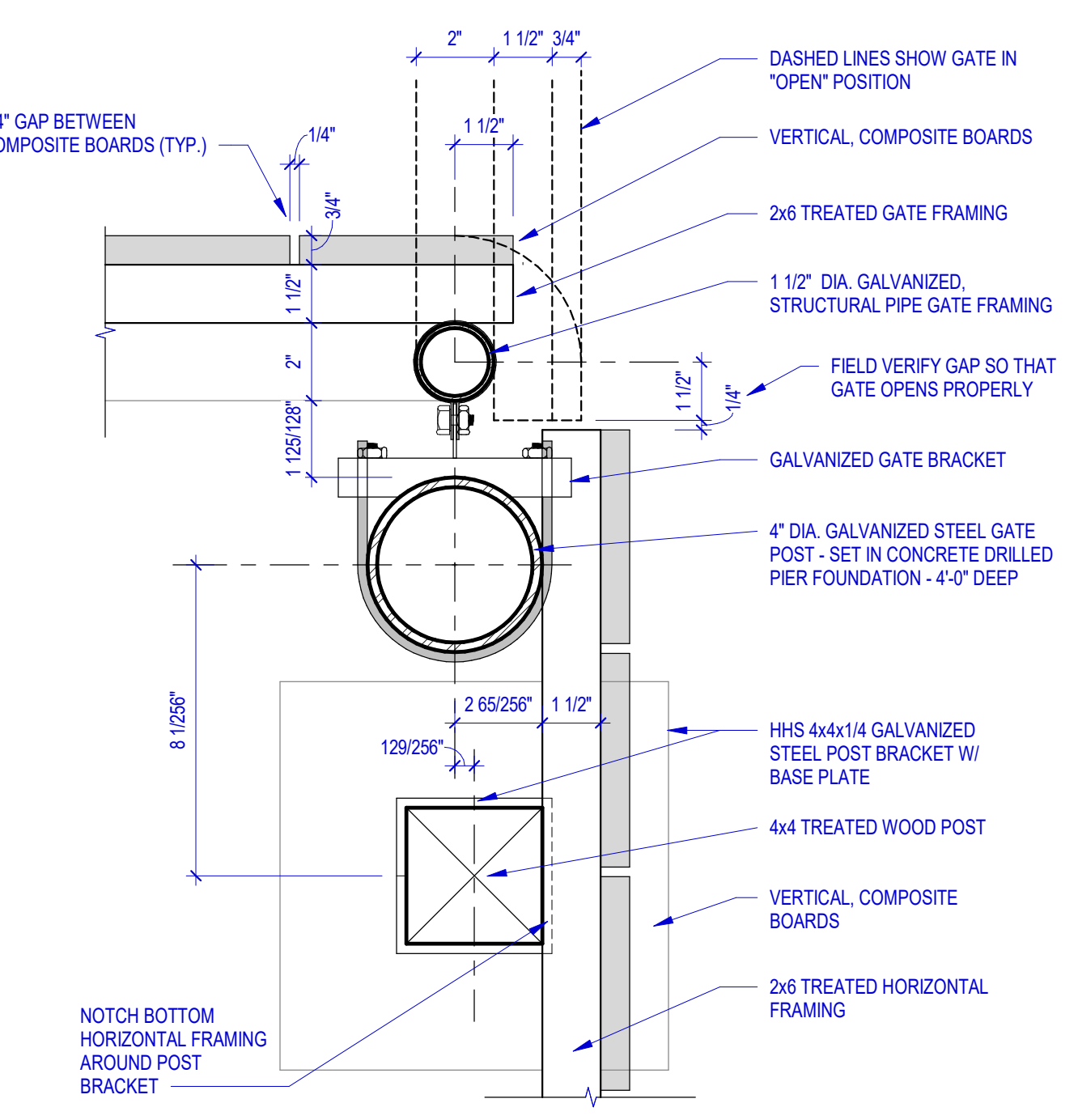
5 CORNER POST DETAIL
 A101 3" = 1'-0"



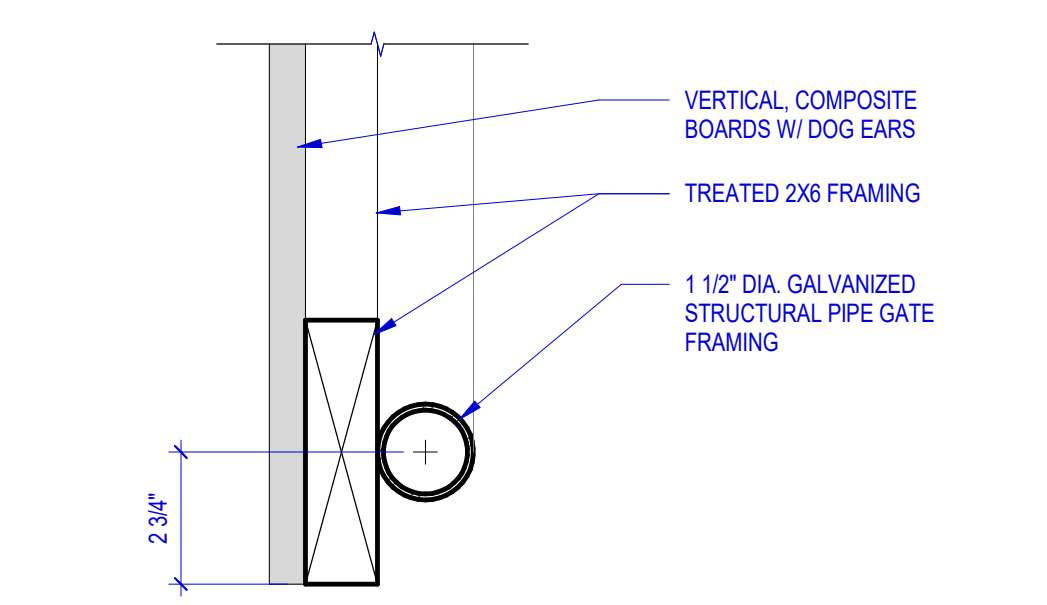
DUMPSTER ENCLOSURE EXTERIOR GATE ELEVATION
 A101 3/8" = 1'-0"



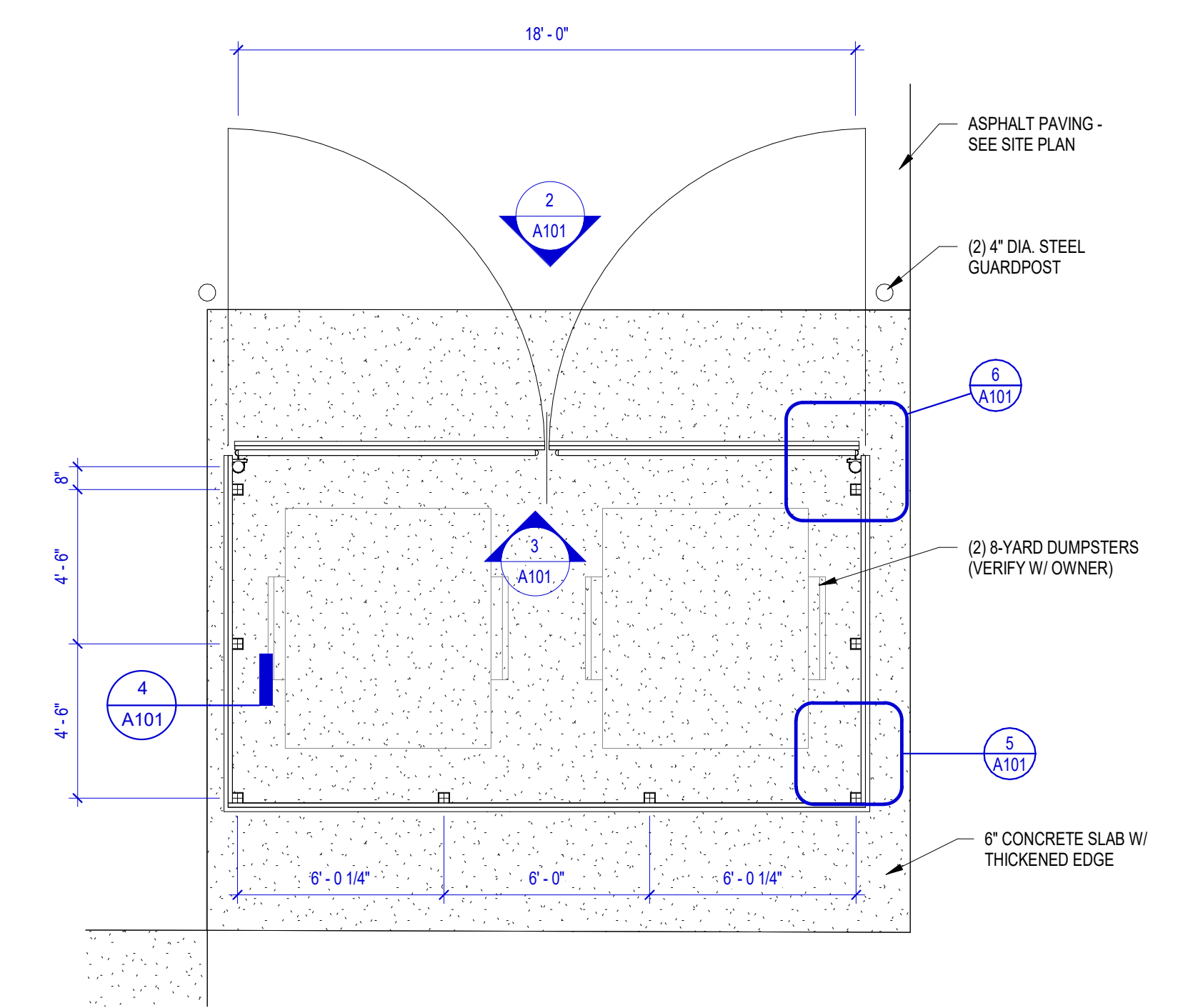
10 GATE FRAMING DETAIL AT TOP
 A101 3" = 1'-0"



6 DUMPSTER ENCLOSURE - GATE POST DETAIL
 A101 3" = 1'-0"



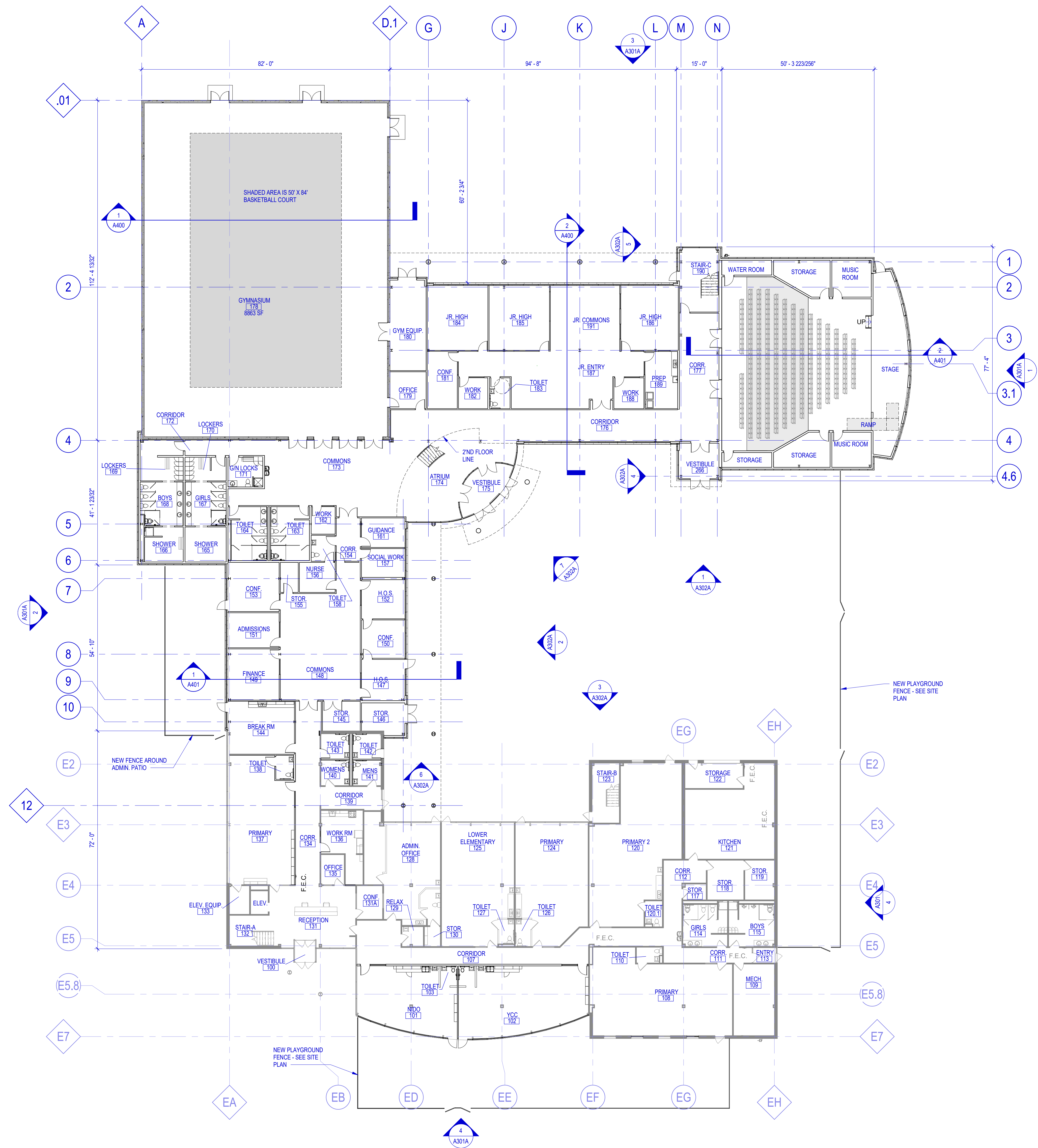
9 GATE FRAMING DETAIL AT BASE
 A101 3" = 1'-0"



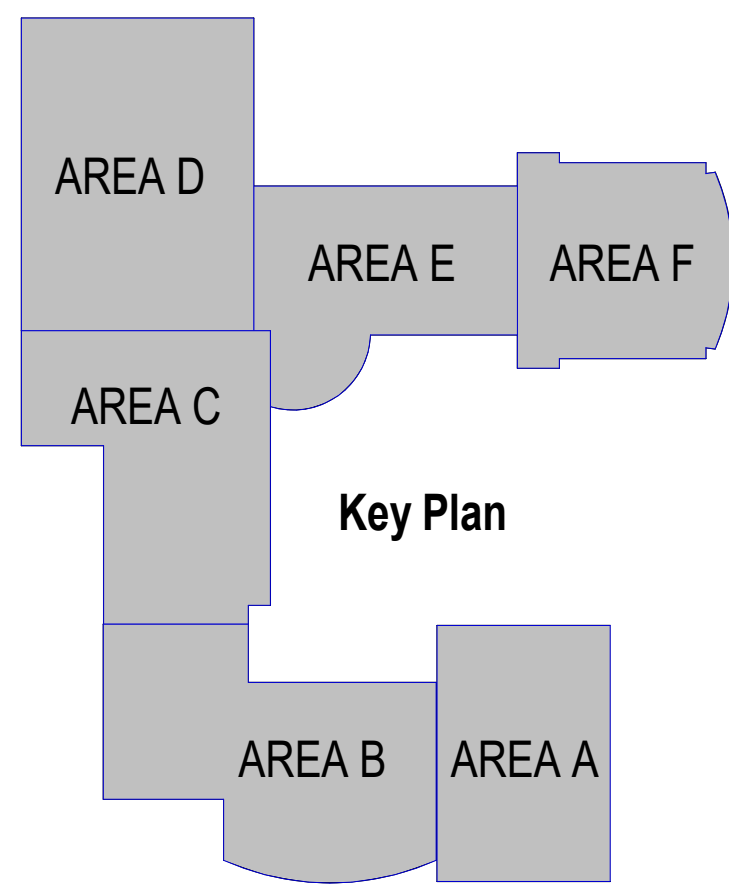
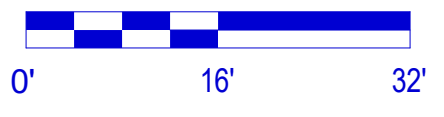
1 DUMPSTER ENCLOSURE PLAN
 A101 1/4" = 1'-0"

ISTHMUS MONTESSORI ACADEMY

1802 PANKRATZ STREET, MADISON, WI
ISTHMUS MONTESSORI ACADEMY
 1802 PANKRATZ STREET
 MADISON, WI 53704



OVERALL FIRST FLOOR PLAN
 1/16" = 1'-0"



ISSUE DATES:

Issue	Description	Date
UDC	UDC / PLAN COMMISSION	03-14-22

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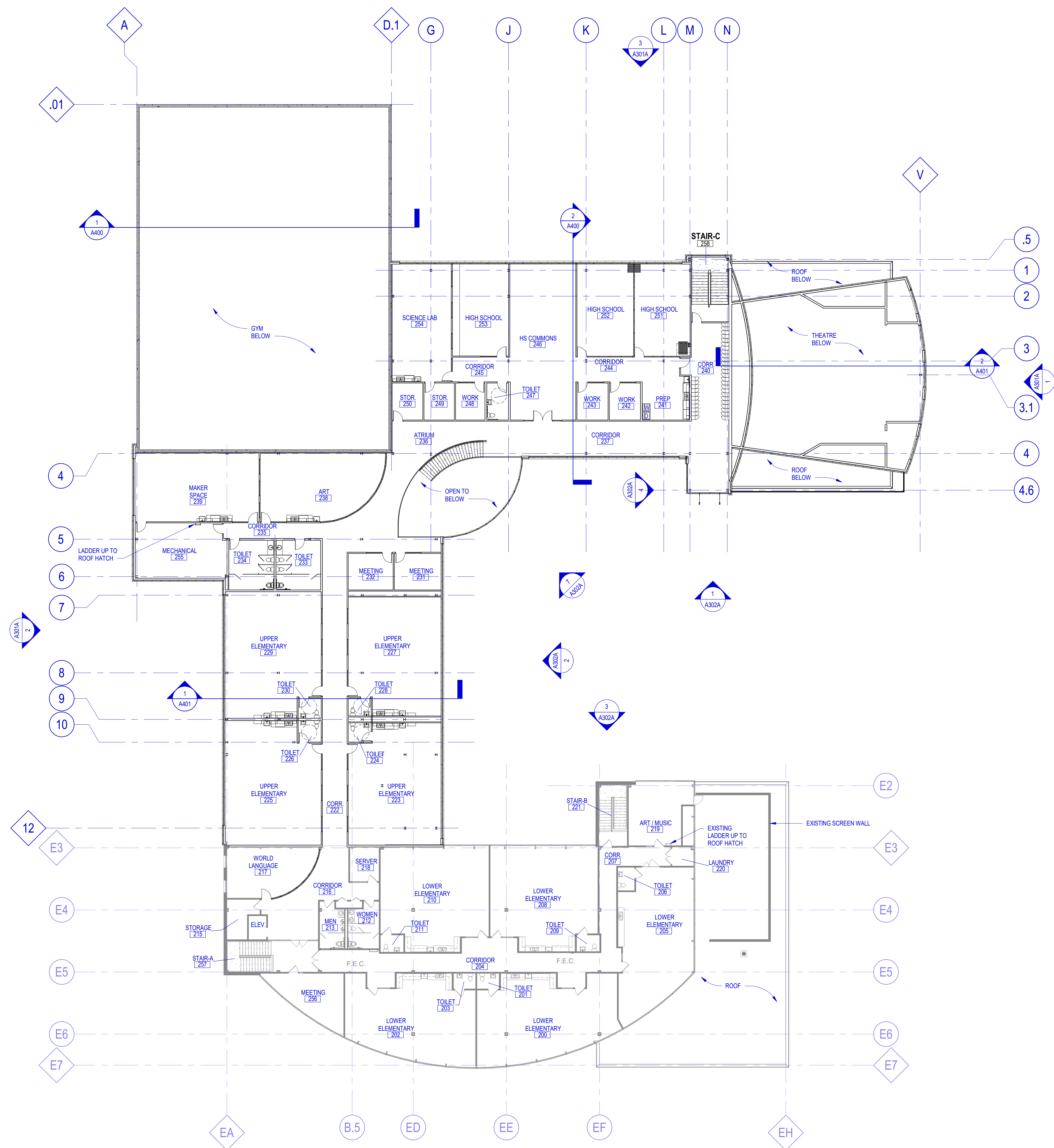
Sheet Title
OVERALL FIRST FLOOR PLAN

Project Number: 20210400
 Sheet Number

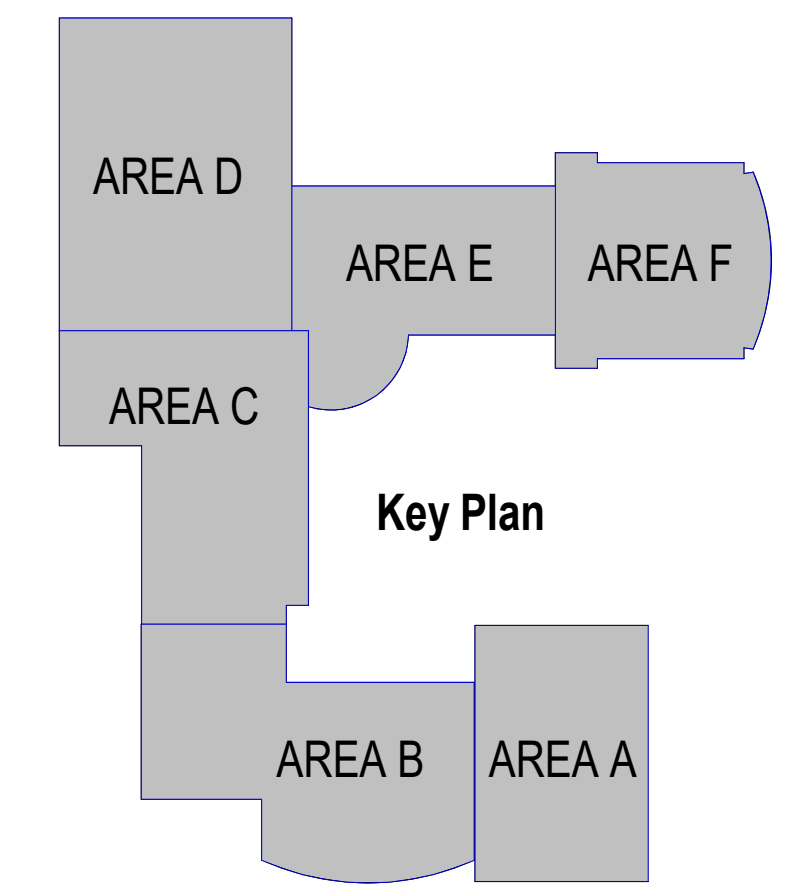
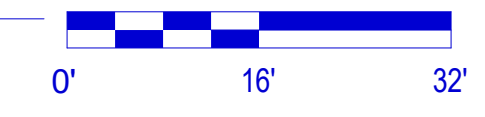
A201

ISTHMUS MONTESSORI ACADEMY
 1802 PANKRATZ STREET, MADISON, WI

ISTHMUS MONTESSORI ACADEMY
 1802 PANKRATZ STREET
 MADISON, WI 53704



PLAN NUMBER: **1 A202**
SECOND FLOOR PLAN
 1/16" = 1'-0"



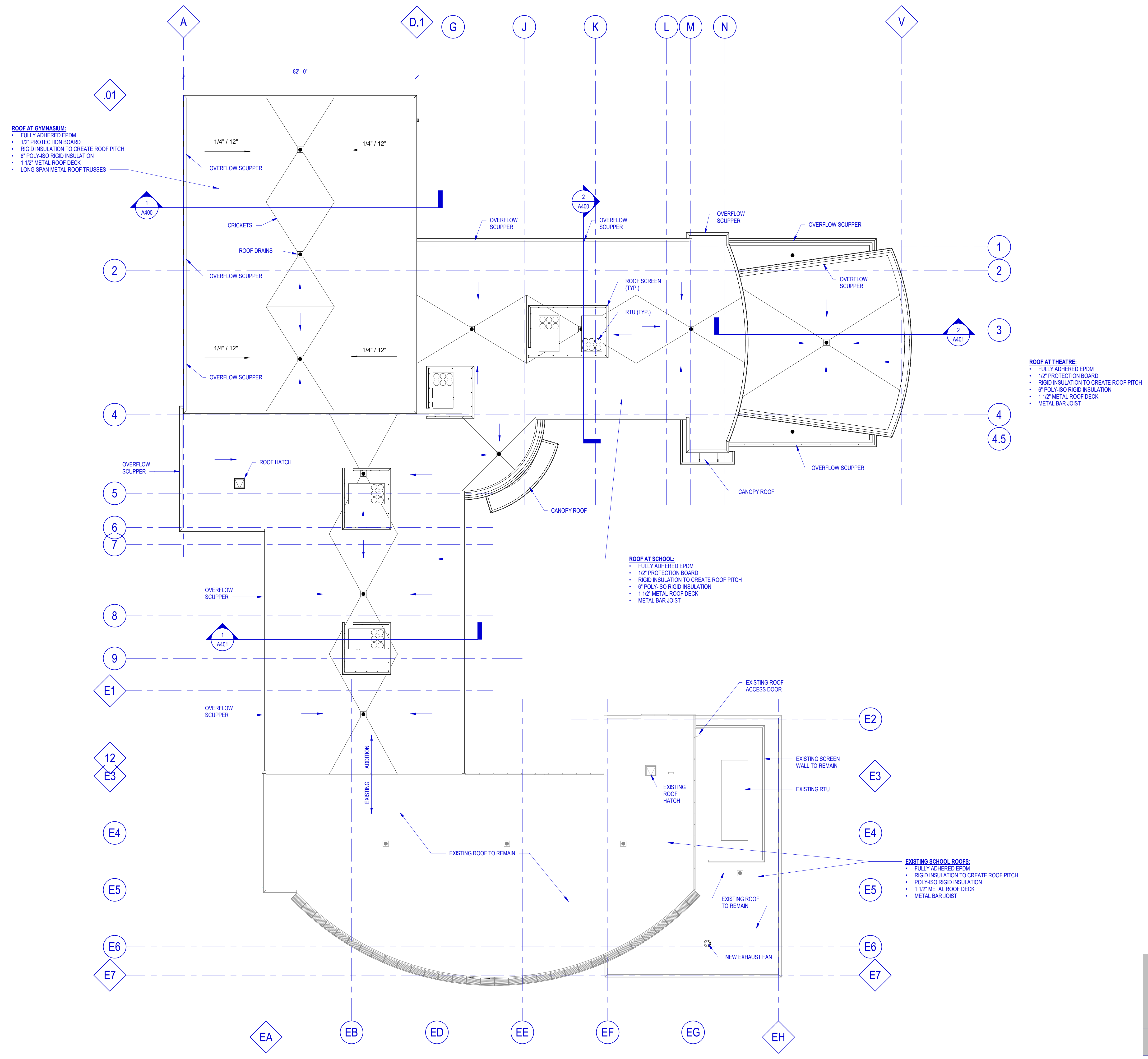
Issue	Description	Date
UDC	UDC / PLAN COMMISSION	03-14-22

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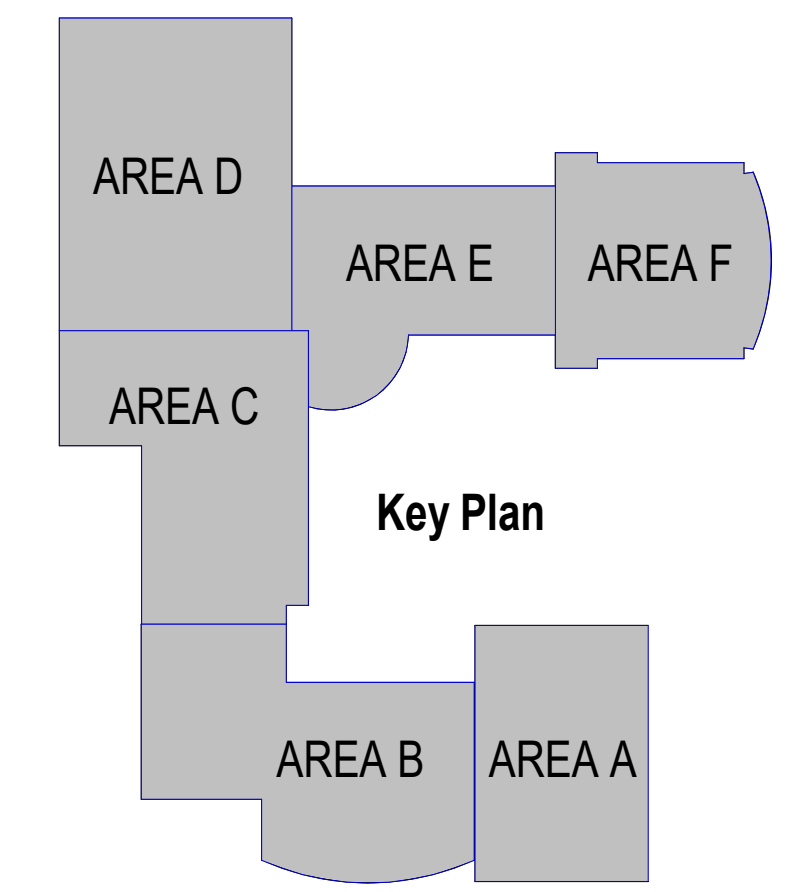
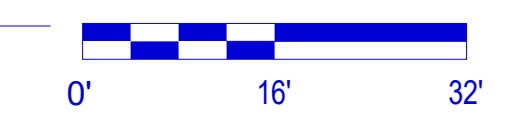
Sheet Title
OVERALL SECOND FLOOR PLAN

Project Number: 20210400
 Sheet Number

A202



PLAN NORTH
ROOF PLAN
 1/16" = 1'-0"



Issue	Description	Date
UDC	UDC / PLAN COMMISSION	03-14-22

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Sheet Title
ROOF PLAN

Project Number: 20210400
 Sheet Number

A207

Issue	Description	Date
UDC	UDC / PLAN COMMISSION	03-14-22



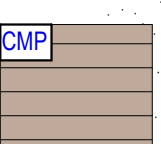
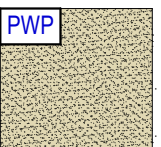
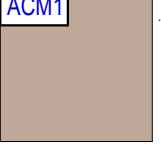
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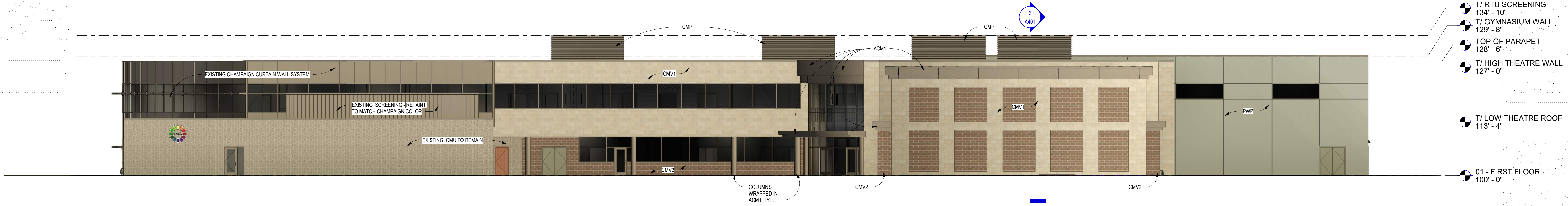
Sheet Title
BUILDING ELEVATIONS

Project Number: 20210400
 Sheet Number

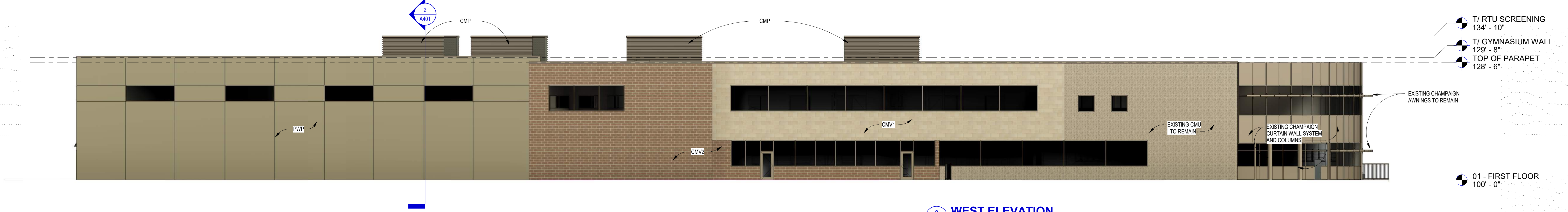
A301

EXTERIOR MATERIAL LEGEND

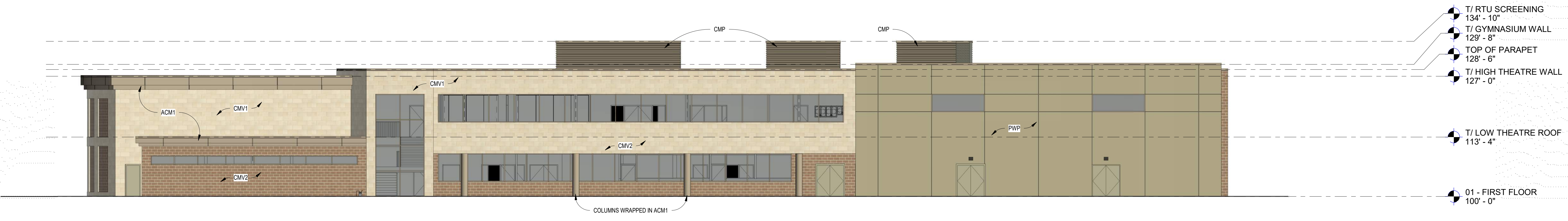
<p>CMV1  CONCRETE MASONRY VENEER MANUF: BUCKLEBSTONE CORP PRODUCT: HONEY STONES - LIMESTONE 12"x24" PANELS FINISH: SILVERDALE URL: https://bucklestone.com/products/silverdale-panels/</p> <p>CMV2  CONCRETE MASONRY VENEER MANUF: COUNTY MATERIALS PRODUCT: HERITAGE COLLECTION - SMOOTH NF 4"x8"x16" FULL VENEER FINISH: COFFEE URL: https://www.countymaterials.com/en/products/masonry/heritage-collection-designer-concrete-brick/gic-tab-0</p> <p>CMP  STEEL CORRUGATED METAL PANEL (RTU SCREENING) MANUF: CMG PRODUCT: ULTRA - RIB WALL PANEL FINISH: MATCH PREFINISHED CHAMPAIGN FLASHING COLOR</p> <p>PWP  PRECAST INSULATED CONCRETE WALL PANEL MANUF: TSD FINISH: EXPOSED AGGREGATE CONCRETE (TAN)</p> <p>ACM1  ALUMINUM COMPOSITE MATERIAL PANEL FINISH: CMR CHAMPAGNE (MATCH EXISTING ACM PANELS)</p>	<p>EXTERIOR DOOR PAINT COLORS: SHERWIN WILLIAMS - SW XXXX (EXTERIOR HOLLOW METAL DOORS - MATCH PRECAST PANEL AT GYMNASIUM)</p> <p>WALL PARAPET PREFINISHED METAL COPING: MATCH EXISTING CHAMPAIGN CURTAIN WALL SYSTEM</p> <p>CURTAIN WALL GLAZING: 1" GREY INSULATED LOW-E TEMPERED (TO MATCH EXISTING) 1/4" GREY TEMPERED OUTBOARD LITE 1/2" AIR SPACE 1/4" CLEAR TEMPERED SOLARBAN 60 LOW-E (#3) INBOARD LITE</p> <p>FENCING: Aluminum Commercial Grade MANUF: Alumi-Guard Commercial PRODUCT: Asst 3-Rail Design COLOR: Black</p> <p>NOTES: ALL FENCING NOT SHOWN IN ELEVATIONS FOR CLARITY. SEE SITE PLAN AND PERSPECTIVE VIEWS</p>
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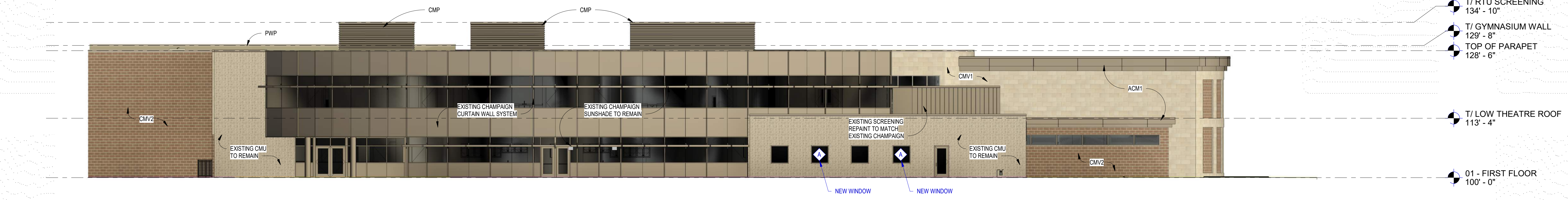
4 EAST ELEVATION
 A301 3/32" = 1'-0"



2 WEST ELEVATION
 A301 3/32" = 1'-0"



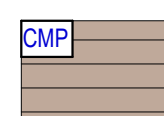




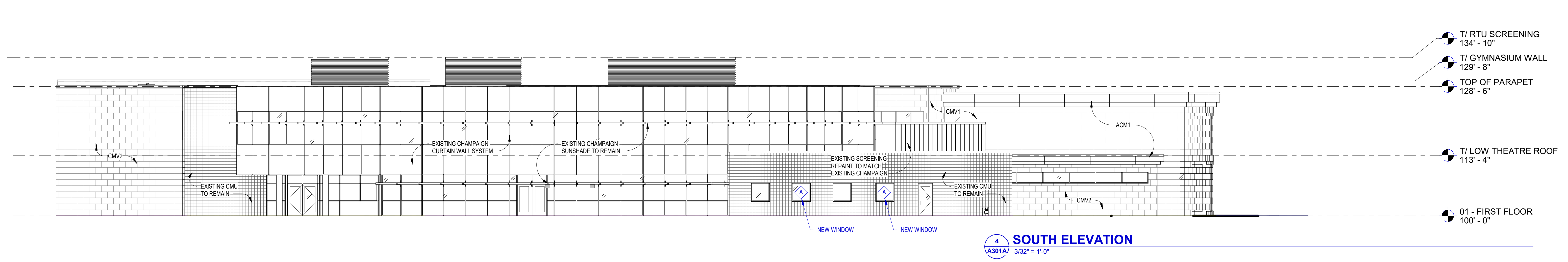
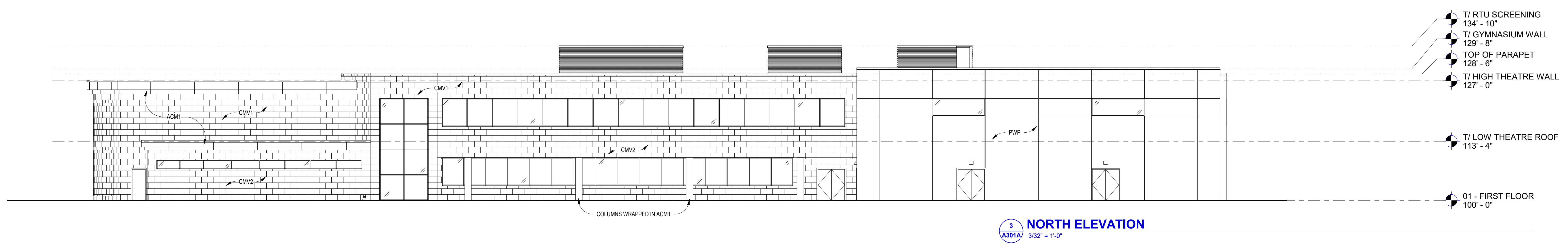
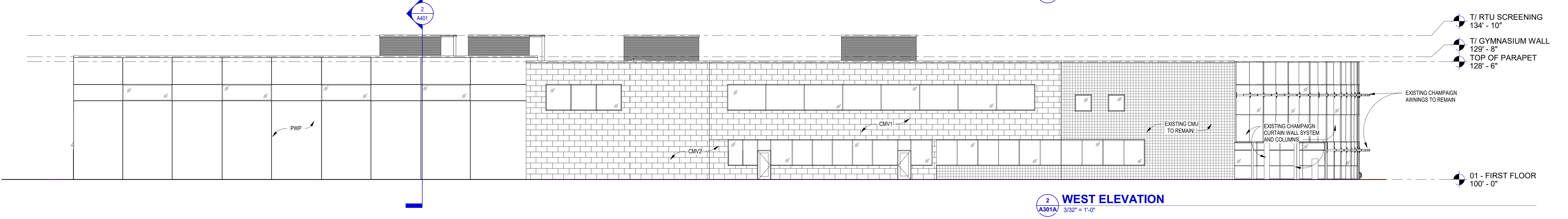
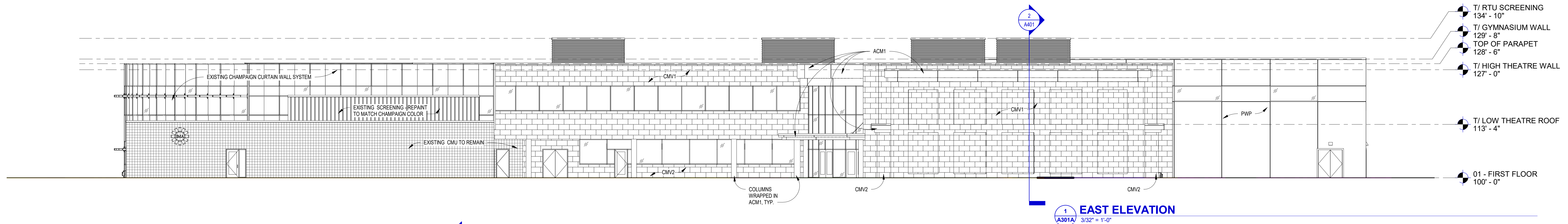
3 NORTH ELEVATION
 A301 3/32" = 1'-0"



1 SOUTH ELEVATION
 A301 3/32" = 1'-0"

EXTERIOR MATERIAL LEGEND

<p>CMV1  CONCRETE MASONRY VENEER MANUF: BUECHEL STONE CORP. PRODUCT: HONEY STONES - LIMESTONE 12"x24" PANELS FINISH: SILVERDALE URL: https://buechelstone.com/products/silverdale-panels/</p> <p>CMV2  CONCRETE MASONRY VENEER MANUF: COUNTY MATERIALS PRODUCT: HERITAGE COLLECTION - SMOOTH NF 4"x6"x16" FULL VENEER FINISH: COPPEE URL: https://www.countymaterials.com/en/products/masonry/heritage-collection-designer-concrete-brick/gc-lab-0</p> <p>CMP  STEEL CORRUGATED METAL PANEL (RTU SCREENING) MANUF: CMS PRODUCT: ULTRA - RIB WALL PANEL FINISH: MATCH PREFINISHED CHAMPAIGN FLASHING COLOR</p> <p>PWP  PRECAST INSULATED CONCRETE WALL PANEL MANUF: T&B FINISH: EXPOSED AGGREGATE CONCRETE (TAN)</p> <p>ACM1  ALUMINUM COMPOSITE MATERIAL PANEL MANUF: ALPOLIC FINISH: CHAMPAGNE (MATCH EXISTING ACM PANELS)</p>	<p>EXTERIOR DOOR PAINT COLORS: SHERWIN WILLIAMS - SW XXXX (EXTERIOR HOLLOW METAL DOORS - MATCH PRECAST PANEL AT GYMNASIUM)</p> <p>WALL PARAPET PREFINISHED METAL COPING: MATCH EXISTING CHAMPAIGN CURTAIN WALL SYSTEM</p> <p>CURTAIN WALL GLAZING: 1" GREY INSULATED LOW-E TEMPERED (TO MATCH EXISTING) 1/4" GREY TEMPERED OUTBOARD LITE 1/2" AIR SPACE 1/4" CLEAR TEMPERED SOLARBAN 60 LOW-E (R3) INBOARD LITE</p> <p>FENCING: Aluminum Commercial Grade MANUF: Alumi-Guard Commercial PRODUCT: Ascot 3-Rail Design COLOR: Black</p> <p>NOTES: ALL FENCING NOT SHOWN IN ELEVATIONS FOR CLARITY. SEE SITE PLAN AND PERSPECTIVE VIEWS</p>
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Issue	Description	Date
UDC	UDC / PLAN COMMISSION	03-14-22



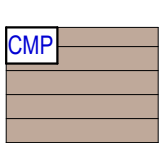
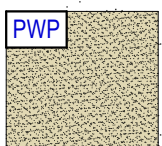

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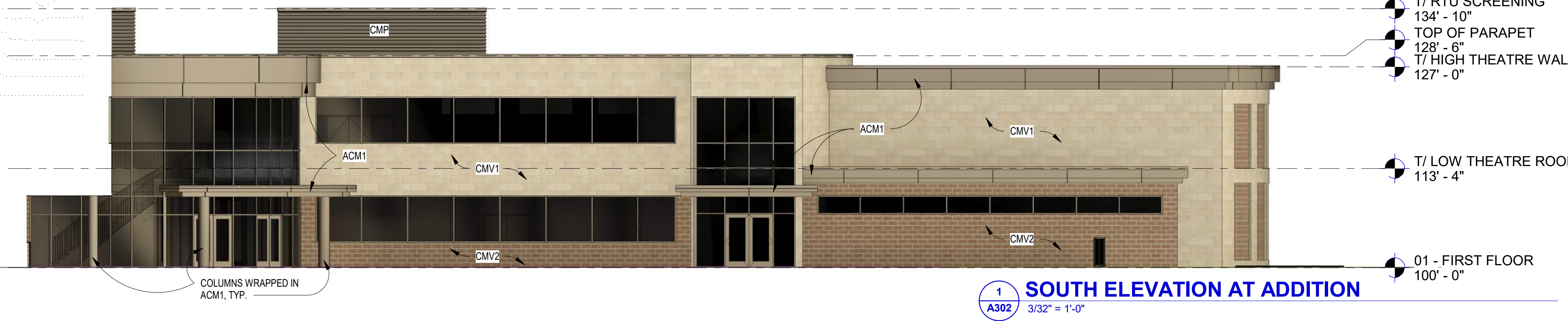
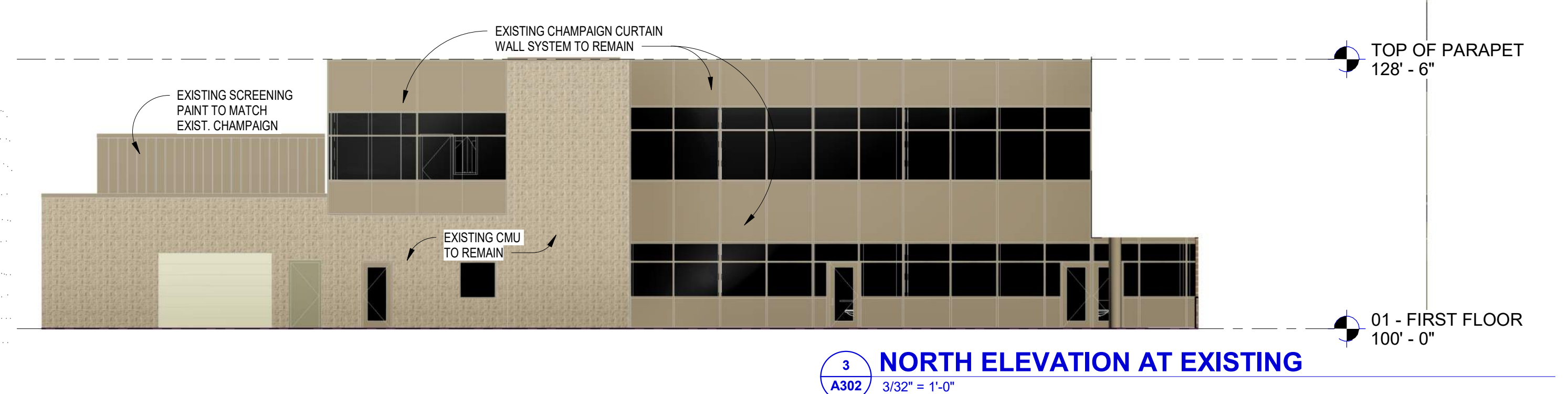
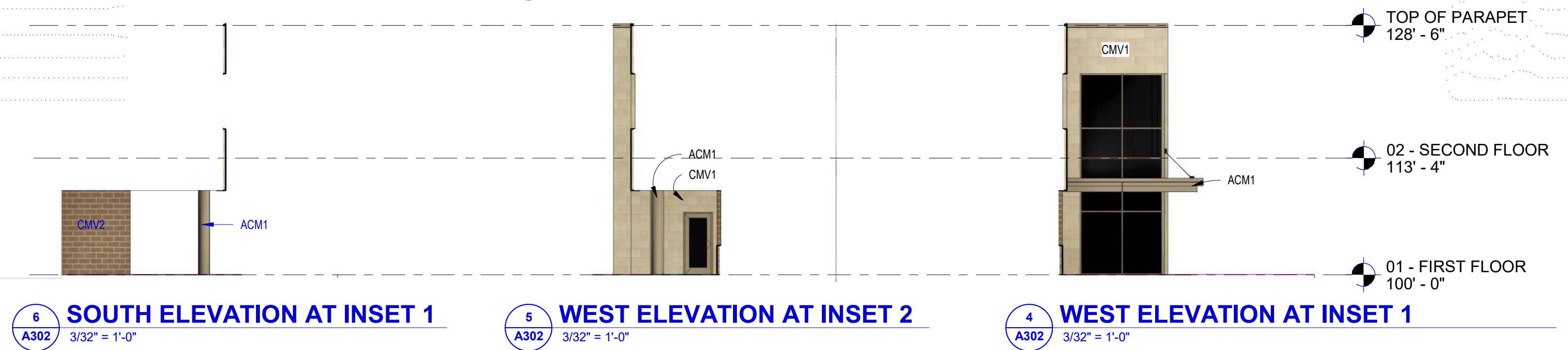
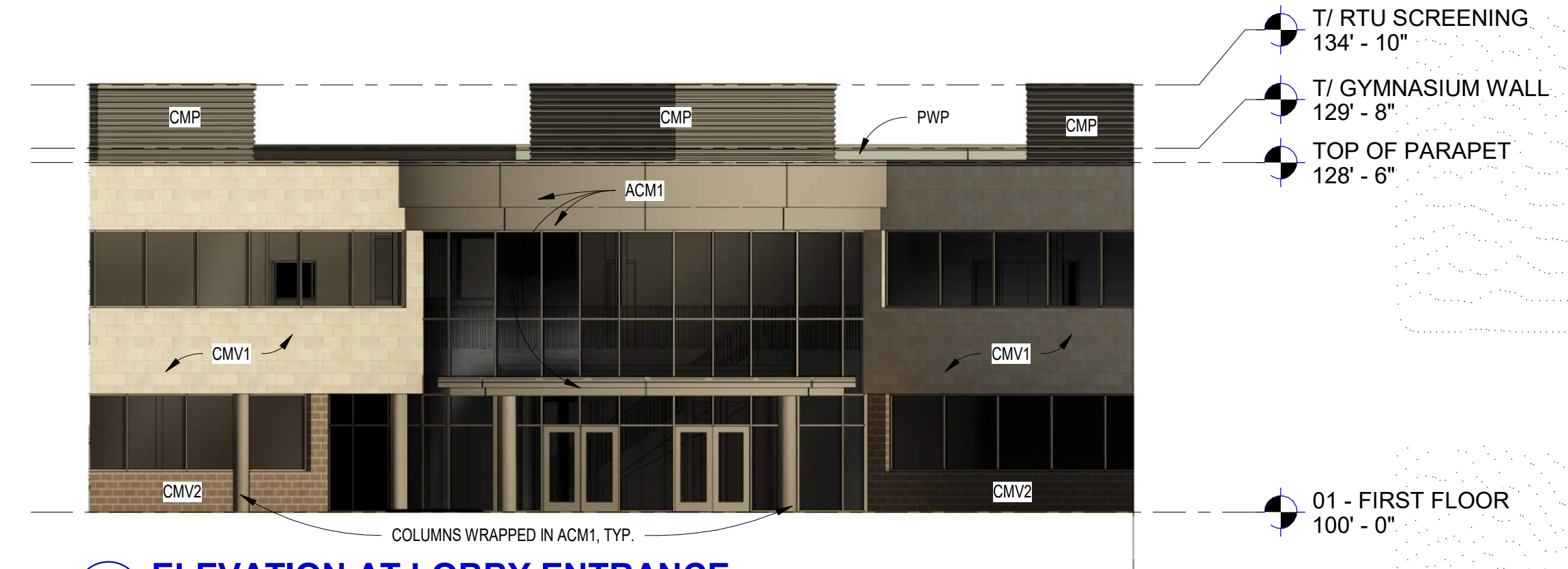
Sheet Title
BUILDING ELEVATIONS

Project Number: 20210400
 Sheet Number

A301A

EXTERIOR MATERIAL LEGEND

<p>CMV1  CONCRETE MASONRY VENEER MANUF: BUCHEL STONE CORP PRODUCT: HONEY STONES - LIMESTONE 12"x24" PANELS FINISH: SILVERDALE URL: https://bucelstone.com/products/silverdale-panels/</p> <p>CMV2  CONCRETE MASONRY VENEER MANUF: COUNTY MATERIALS PRODUCT: HERITAGE COLLECTION - SMOOTH NF 4"x8"x16" FULL VENEER FINISH: COFFEE URL: https://www.countymaterials.com/en/products/masonry/heritage-collection-designer-concrete-brick#gsc.tab=0</p> <p>CMP  STEEL CORRUGATED METAL PANEL (RTU SCREENING) MANUF: CMG PRODUCT: ULTRA - RIB WALL PANEL FINISH: MATCH PREFINISHED CHAMPAIGN FLASHING COLOR</p> <p>PWP  PRECAST INSULATED CONCRETE WALL PANEL MANUF: TSO FINISH: EXPOSED AGGREGATE CONCRETE (TAN)</p> <p>ACM1  ALUMINUM COMPOSITE MATERIAL PANEL MANUF: ALPOLIC FINISH: CMR CHAMPAGNE (MATCH EXISTING ACM PANELS)</p>	<p>EXTERIOR DOOR PAINT COLORS: SHERWIN WILLIAMS - SW XXXX (EXTERIOR HOLLOW METAL DOORS - MATCH PRECAST PANEL AT GYMNASIUM)</p> <p>WALL PARAPET PREFINISHED METAL COPING: MATCH EXISTING CHAMPAIGN CURTAIN WALL SYSTEM</p> <p>CURTAIN WALL GLAZING: 1" GREY INSULATED LOW-E TEMPERED (TO MATCH EXISTING) 1/4" GREY TEMPERED OUTBOARD LITE 1/2" AIR SPACE 1/4" CLEAR TEMPERED SOLARBAN 60 LOW-E (R3) INBOARD LITE</p> <p>FENCING: Alumi-Commercial MANUF: Alumi-Guard Commercial PRODUCT: Asot 3-Rail Design COLOR: Black</p> <p>NOTES: ALL FENCING NOT SHOWN IN ELEVATIONS FOR CLARITY. SEE SITE PLAN AND PERSPECTIVE VIEWS</p>
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ISSUE DATES:

Issue	Description	Date
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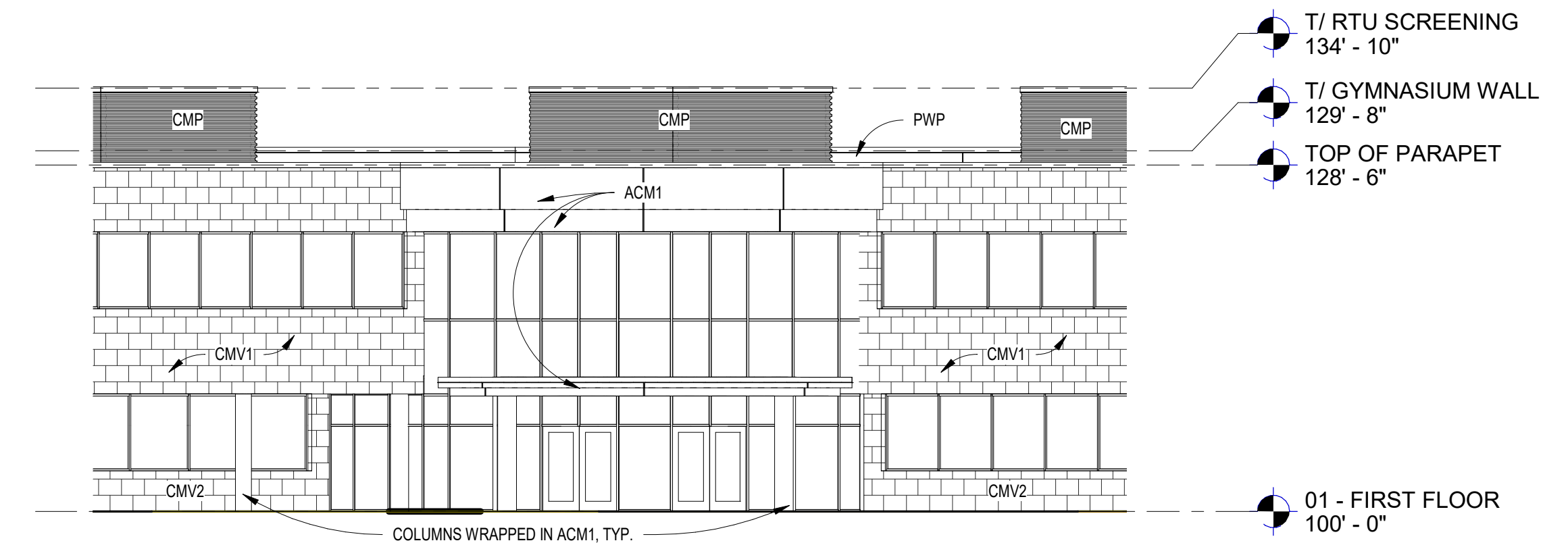
Sheet Title
BUILDING ELEVATIONS

Project Number: 20210400
 Sheet Number

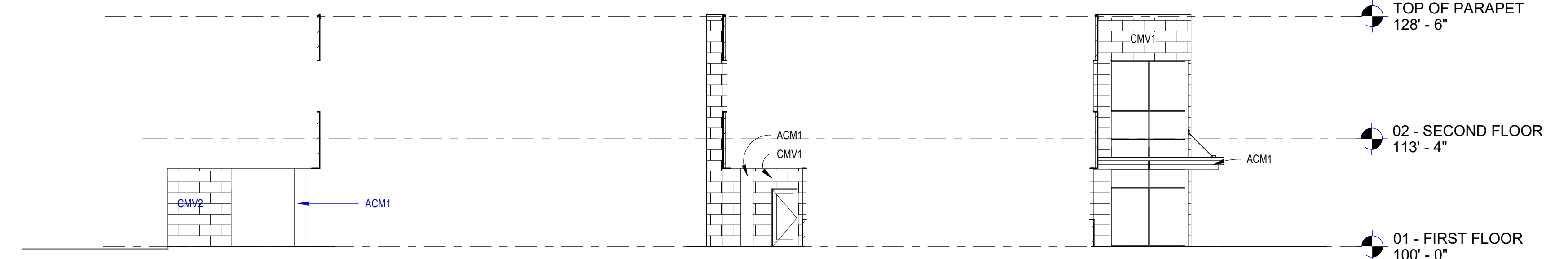
A302

EXTERIOR MATERIAL LEGEND

CMV1	CONCRETE MASONRY VENEER MANUF: BUECHEL STONE CORP. PRODUCT: HONEY STONES - LIMESTONE 12"x24" PANELS FINISH: SILVERDALE URL: https://buechelstone.com/products/silverdale-panels/	EXTERIOR DOOR PAINT COLORS: SHERWIN WILLIAMS - SW XXXX (EXTERIOR HOLLOW METAL DOORS - MATCH PRECAST PANEL AT GYMNASIUM)
CMV2	CONCRETE MASONRY VENEER MANUF: COUNTY MATERIALS PRODUCT: HERITAGE COLLECTION - SMOOTH NF 4"x8"x16" FULL VENEER FINISH: COFFEE URL: https://www.countymaterials.com/en/products/masonry/heritage-collection-designer-concrete-bricks#gsc.tab=0	WALL PARAPET PREFINISHED METAL COPING: MATCH EXISTING CHAMPAIGN CURTAIN WALL SYSTEM
CMP	STEEL CORRUGATED METAL PANEL (RTU SCREENING) MANUF: CMG PRODUCT: ULTRA - RIB WALL PANEL FINISH: MATCH PREFINISHED CHAMPAIGN FLASHING COLOR	CURTAIN WALL GLAZING: 1" GREY INSULATED LOW-E TEMPERED (TO MATCH EXISTING) 1/4" CLEAR TEMPERED OUTBOARD LITE 1/2" AIR SPACE 1/4" CLEAR TEMPERED SOLARBAN 60 LOW-E (#9) INBOARD LITE
PWP	PRECAST INSULATED CONCRETE WALL PANEL MANUF: TBO FINISH: EXPOSED AGGREGATE CONCRETE (TAN)	FENCING: Aluminum Commercial Grade MANUF: Alum-Guard Commercial PRODUCT: Ascot 3-Rail Design COLOR: Black
ACM1	ALUMINUM COMPOSITE MATERIAL PANEL MANUF: ALPOLIC FINISH: CMR CHAMPAGNE (MATCH EXISTING ACM PANELS)	NOTES: ALL FENCING NOT SHOWN IN ELEVATIONS FOR CLARITY. SEE SITE PLAN AND PERSPECTIVE VIEWS



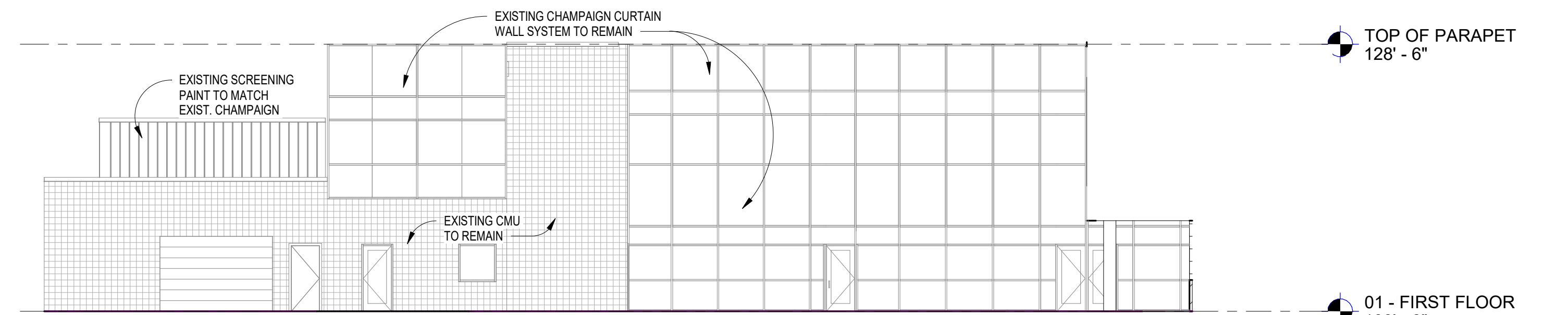
7 ELEVATION AT LOBBY ENTRANCE A302A
3/32" = 1'-0"



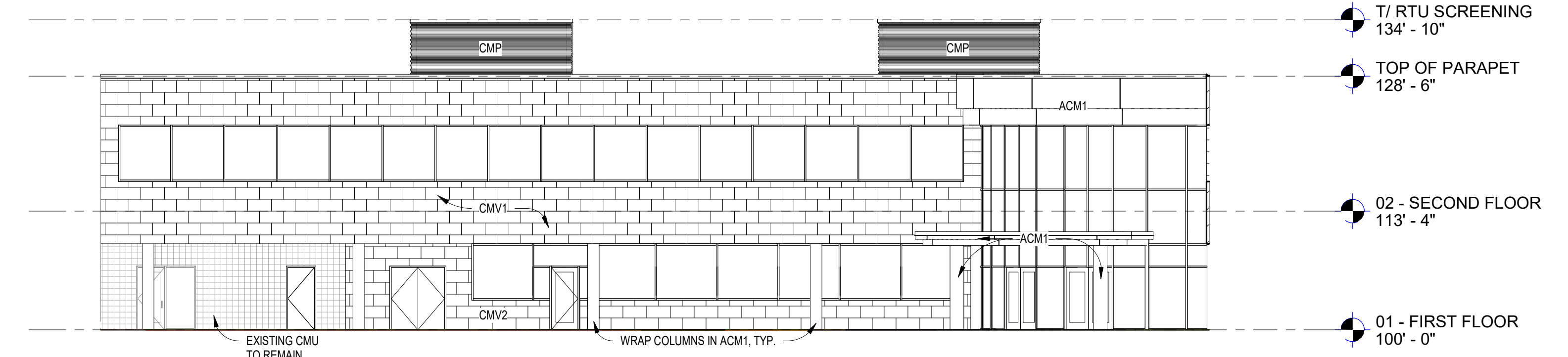
6 SOUTH ELEVATION AT INSET 1
3/32" = 1'-0"

5 WEST ELEVATION AT INSET 2
3/32" = 1'-0"

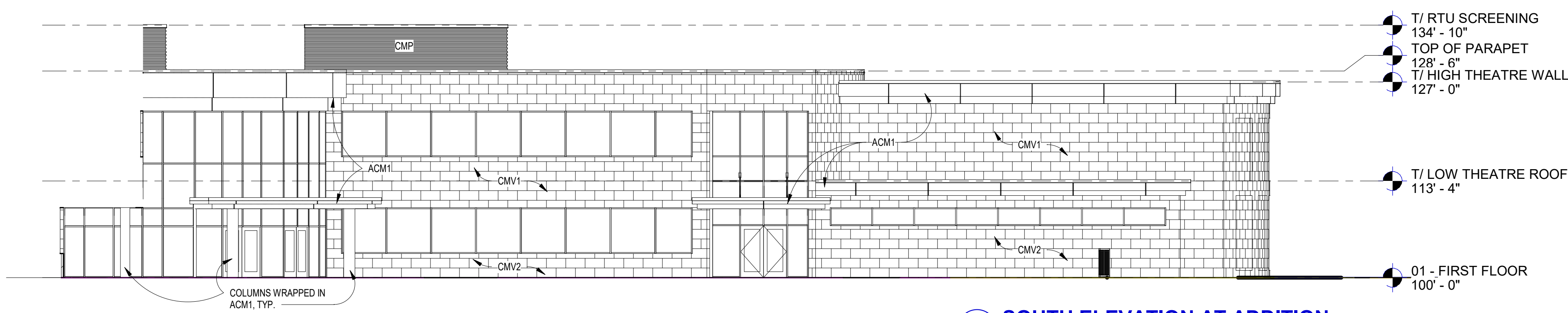
4 WEST ELEVATION AT INSET 3
3/32" = 1'-0"



3 NORTH ELEVATION AT EXISTING
3/32" = 1'-0"



2 EAST ELEVATION AT ADDITION
3/32" = 1'-0"



1 SOUTH ELEVATION AT ADDITION
3/32" = 1'-0"

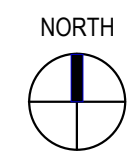
Issue	Description	Date
UDC	UDC / PLAN COMMISSION	03-14-22

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Sheet Title
BUILDING ELEVATIONS

Project Number: 20210400
Sheet Number

A302A



EXISTING BUILDING / SITE



ISTHMUS MONTESSORI ACADEMY
 1802 PANKRATZ STREET, MADISON, WI

ISTHMUS MONTESSORI ACADEMY
 1802 PANKRATZ STREET
 MADISON, WI 53704

ISSUE DATES:		
Issue	Description	Date
UDC	UDC / PLAN COMMISSION	03-14-22

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Sheet Title
EXISTING BUILDING PHOTOS

Project Number: 20210400
 Sheet Number

A303



1 NORTH WEST VIEW FROM PANKRATZ ST.
A304 1/2" = 1'-0"



2 SOUTH EAST VIEW FROM PACKERS AVE.
A304 1/2" = 1'-0"

ISTHMUS MONTESSORI ACADEMY

1802 PANKRATZ STREET, MADISON, WI
 ISTMUS MONTESSORI ACADEMY
 1802 PANKRATZ STREET
 MADISON, WI 53704

ISSUE DATES:		
Issue	Description	Date
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Sheet Title
PERSPECTIVES

Project Number: 20210400
 Sheet Number

A304



1 NORTH WEST AERIAL VIEW
A305 1/2" = 1'-0"



2 SOUTH WEST AERIAL VIEW
A305 1/2" = 1'-0"

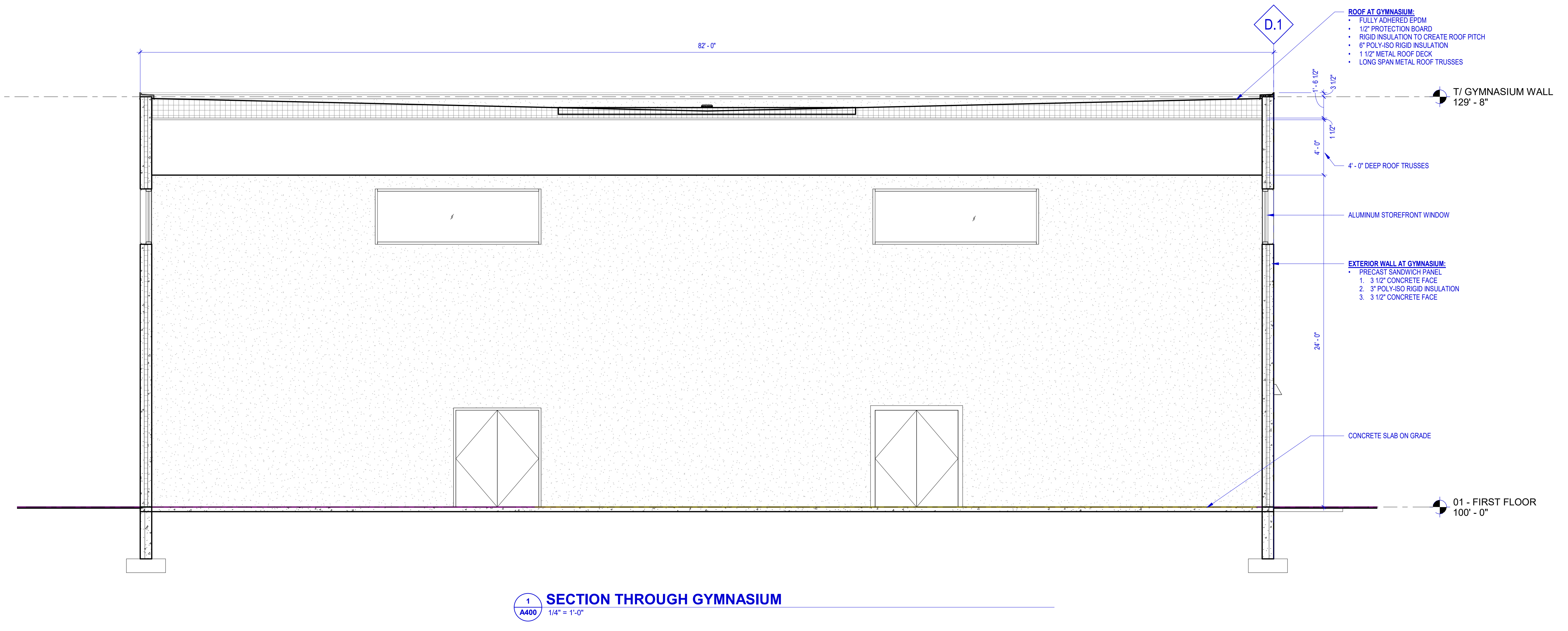
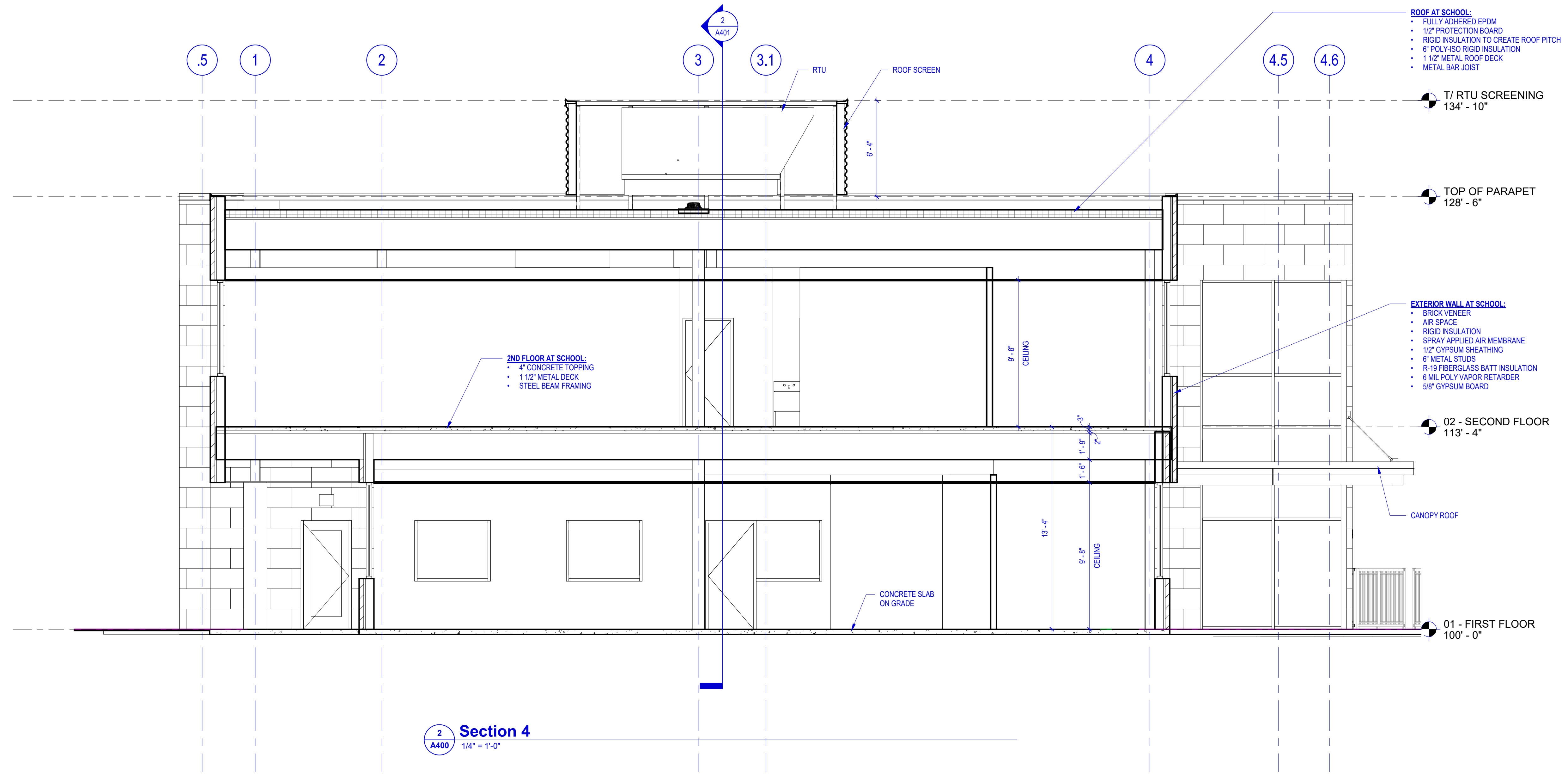
ISSUE DATES:		
Issue	Description	Date
UDC	UDC / PLAN COMMISSION	03-14-22

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Sheet Title
PERSPECTIVES

Project Number: 20210400
Sheet Number

A305



ISSUE DATES:

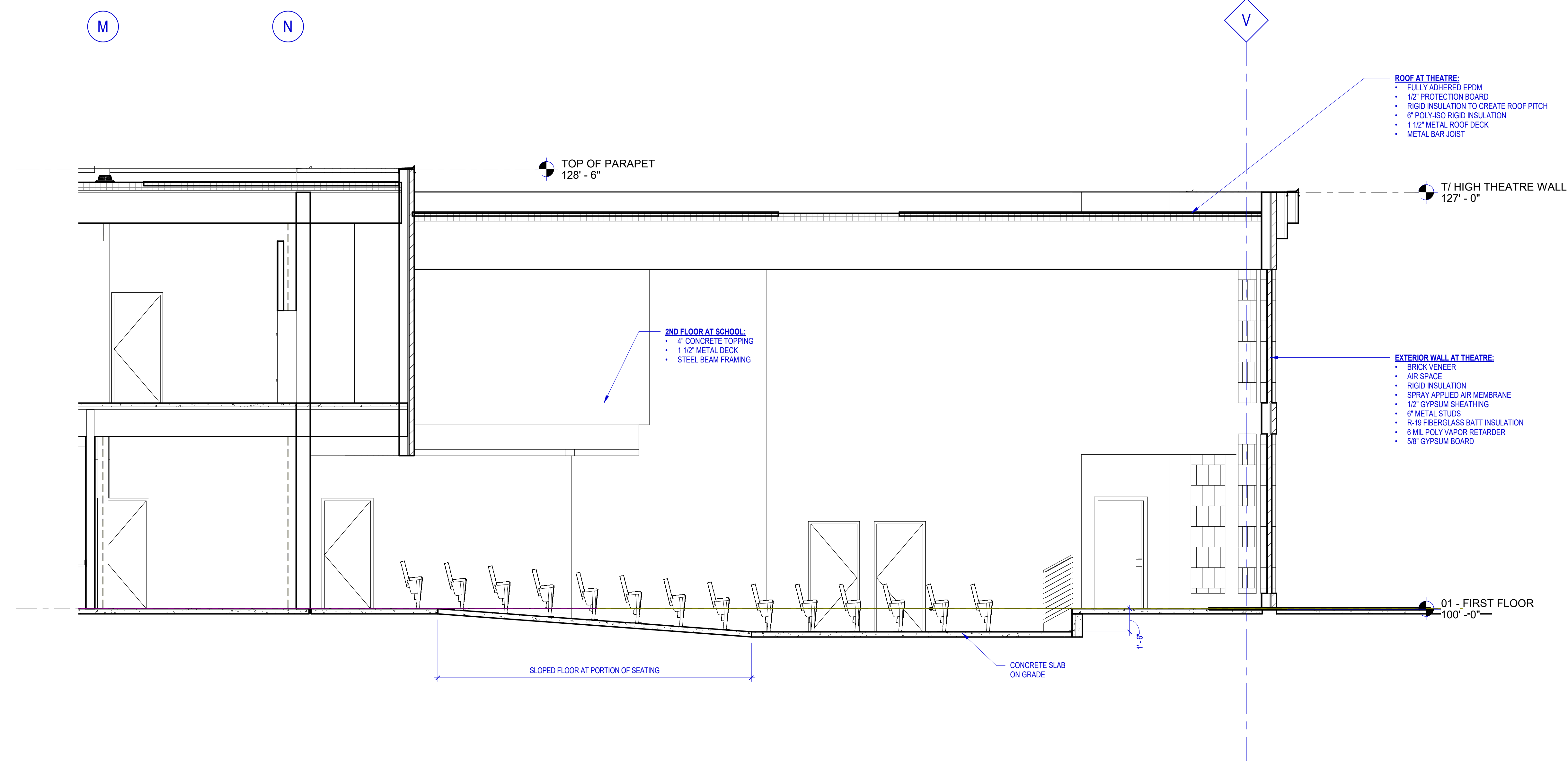
Issue	Description	Date
UDC	UDC / PLAN COMMISSION	03-14-22

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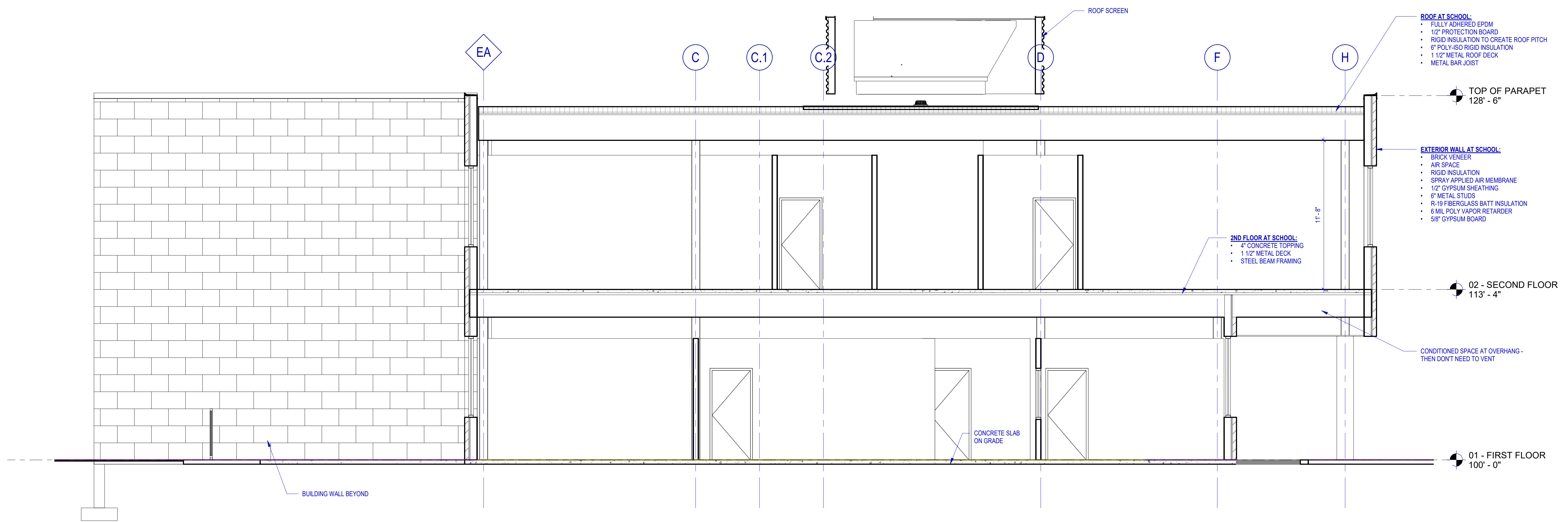
Sheet Title
BUILDING SECTIONS

Project Number: 20210400
 Sheet Number

A400



2 BUILDING SECTION AT THEATRE
 A401 1/4" = 1'-0"



1 BUILDING SECTION AT ADDITION 2
 A401 1/4" = 1'-0"

ISSUE DATES:

Issue	Description	Date
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Sheet Title
BUILDING SECTIONS

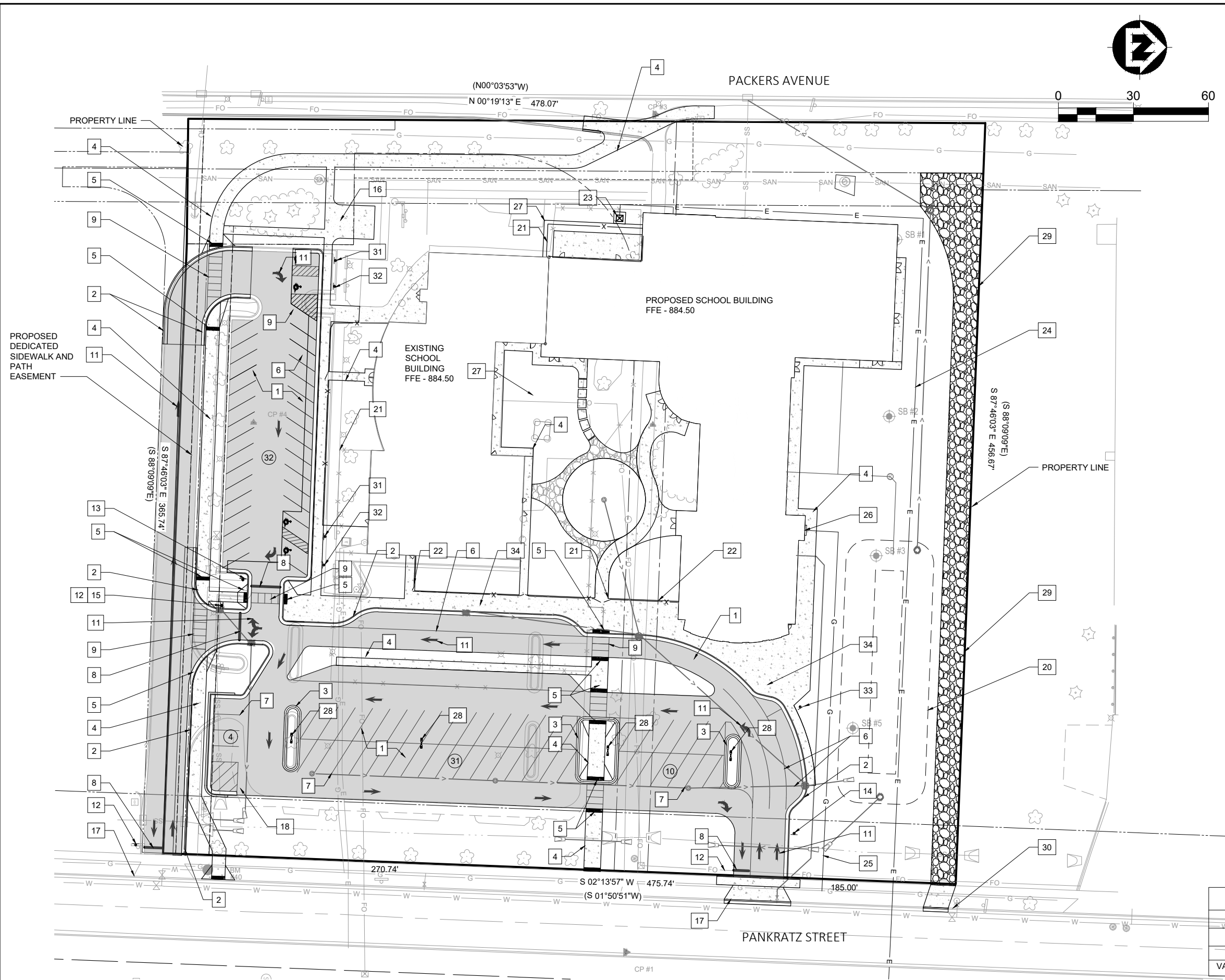
Project Number: 20210400
 Sheet Number

A401



LEGEND

1. ASPHALT PARKING LOT/DRIVEWAY
2. CONCRETE CURB AND GUTTER, 30-INCH
3. CONCRETE CURB AND GUTTER, 24 INCH
4. CONCRETE SIDEWALK, 5-INCH
5. DETECTABLE WARNING FIELD
6. PAVEMENT MARKING, EPOXY, 4" YELLOW
7. PAVEMENT MARKING, EPOXY, 6" WHITE
8. PAVEMENT MARKING, EPOXY, STOP BAR, 18" WHITE
9. PAVEMENT MARKINGS, EPOXY, LADDER CROSSWALK, 24" WHITE
10. PAVEMENT MARKING, EPOXY, ACCESSIBLE PARKING SYMBOL, YELLOW
11. PAVEMENT MARKING, EPOXY, ARROW SYMBOL (VARIOUS), YELLOW
12. SIGN, STOP
13. SIGN, YIELD
14. SIGN, BUSES ONLY
15. SIGN, DO NOT ENTER
16. BICYCLE RACK PAD, 20' X 19'. SEE SPACING DETAIL.
17. CONCRETE DRIVEWAY, 6-INCH
18. DUMPSTER ENCLOSURE, 16' X 20'. SEE ARCHITECTURE PLANS FOR ENCLOSURE DETAILS.
19. NOT USED
20. STORM WATER / BIOFILTRATION LOCATIONS
21. FENCE
22. FENCE GATE
23. ELECTRIC TRANSFORMER AND CONCRETE PAD
24. PROPOSED ELECTRIC SERVICE
25. NATURAL GAS SERVICE
26. NATURAL GAS METER
27. LANDSCAPING
28. PARKING LOT POLE LIGHT
29. SANITARY SEWER EASEMENT ACCESS ROAD, SEE TYPICAL SECTION
30. PROFILE CUT EXISTING CURB AND GUTTER FOR EASEMENT ACCESS ROAD
31. ACCESSIBLE PARKING SIGN
32. ACCESSIBLE PARKING SIGN W/ VAN LOADING PLAQUE
33. SIGN, FIRE LANE, NO PARKING
34. FIRE LANE, CONCRETE SIDEWALK, 7-INCH THICK



LAND USE SUMMARY	
TOTAL AREA	4.91 ACRES
EXISTING BUILDING	0.32 ACRES
PROPOSED BUILDING	0.63 ACRES
ASPHALT PAVEMENT	1.13 ACRES
CONCRETE PAVEMENT	0.46 ACRES
LANDSCAPING	0.25 ACRES
STORM WATER POND	0.17 ACRES
GRASS	1.95 ACRES

PARKING SUMMARY	
TOTAL PARKING	76 SPACES
STANDARD PARKING	72 SPACES
ACCESSIBLE PARKING	2 SPACES
VAN ACCESSIBLE PARKING	2 SPACES

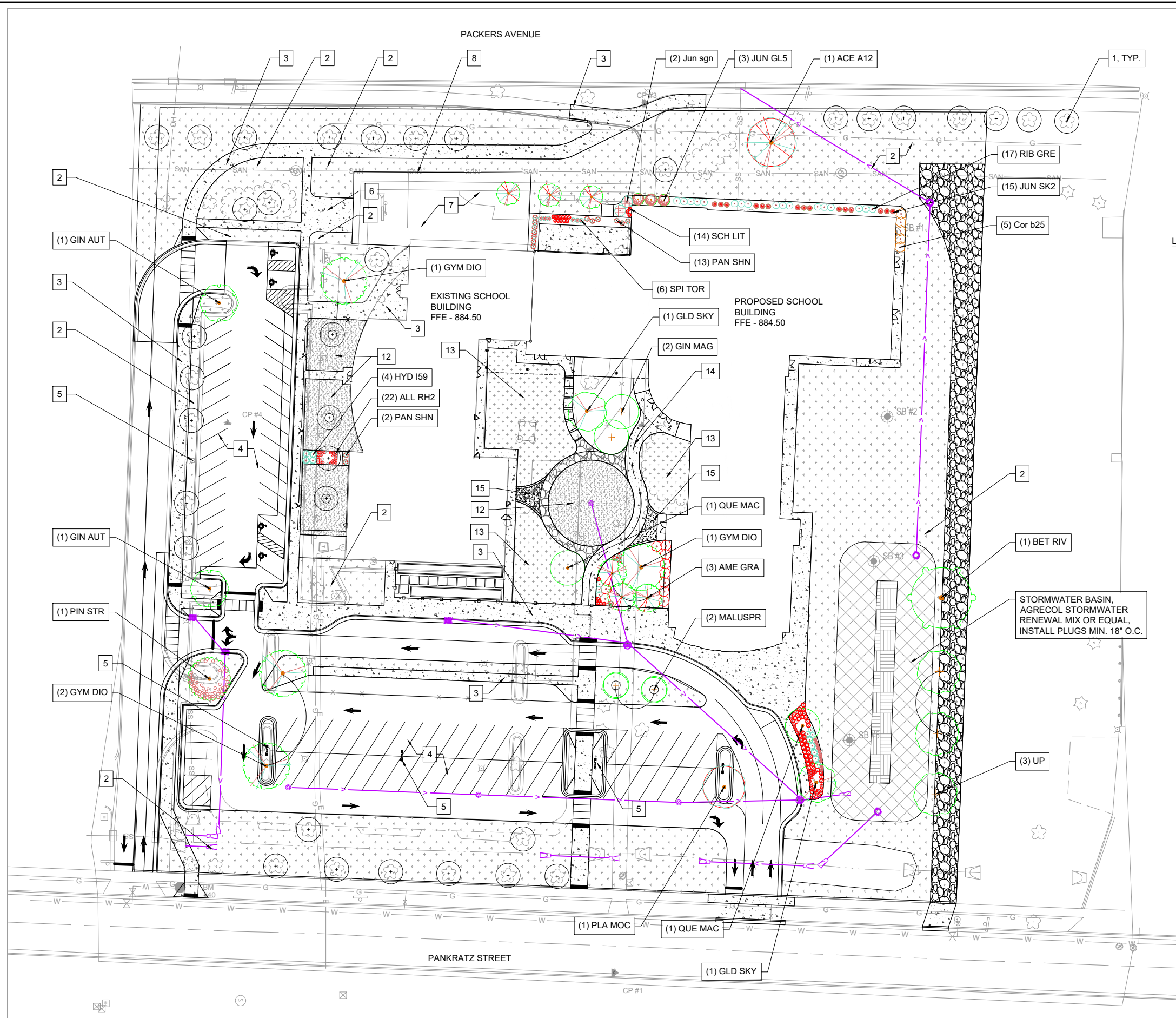
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EXHIBIT - PROPOSED SITE PLAN - OVERALL

PROJECT NO.
21586000
 SHEET
C300



LEGEND

1. EXISTING TREE, TO REMAIN
2. LAWN
3. CONCRETE SIDEWALK
4. ASPHALT PAVEMENT
5. LAMP POLE
6. BIKE RACKS
7. GARDEN
8. FENCE
9. DUMPSTER ENCLOSURE, 16' X 20'. SEE ARCHITECTURE PLANS FOR ENCLOSURE DETAILS.
10. STORM WATER / BIOFILTRATION LOCATIONS
11. ELECTRIC TRANSFORMER AND CONCRETE PAD
12. PLAY SURFACING (UNITARY)
13. PLAY SURFACING (MULCH/GRAVEL)
14. STAMPED CONCRETE
15. CRUSHED GRAVEL

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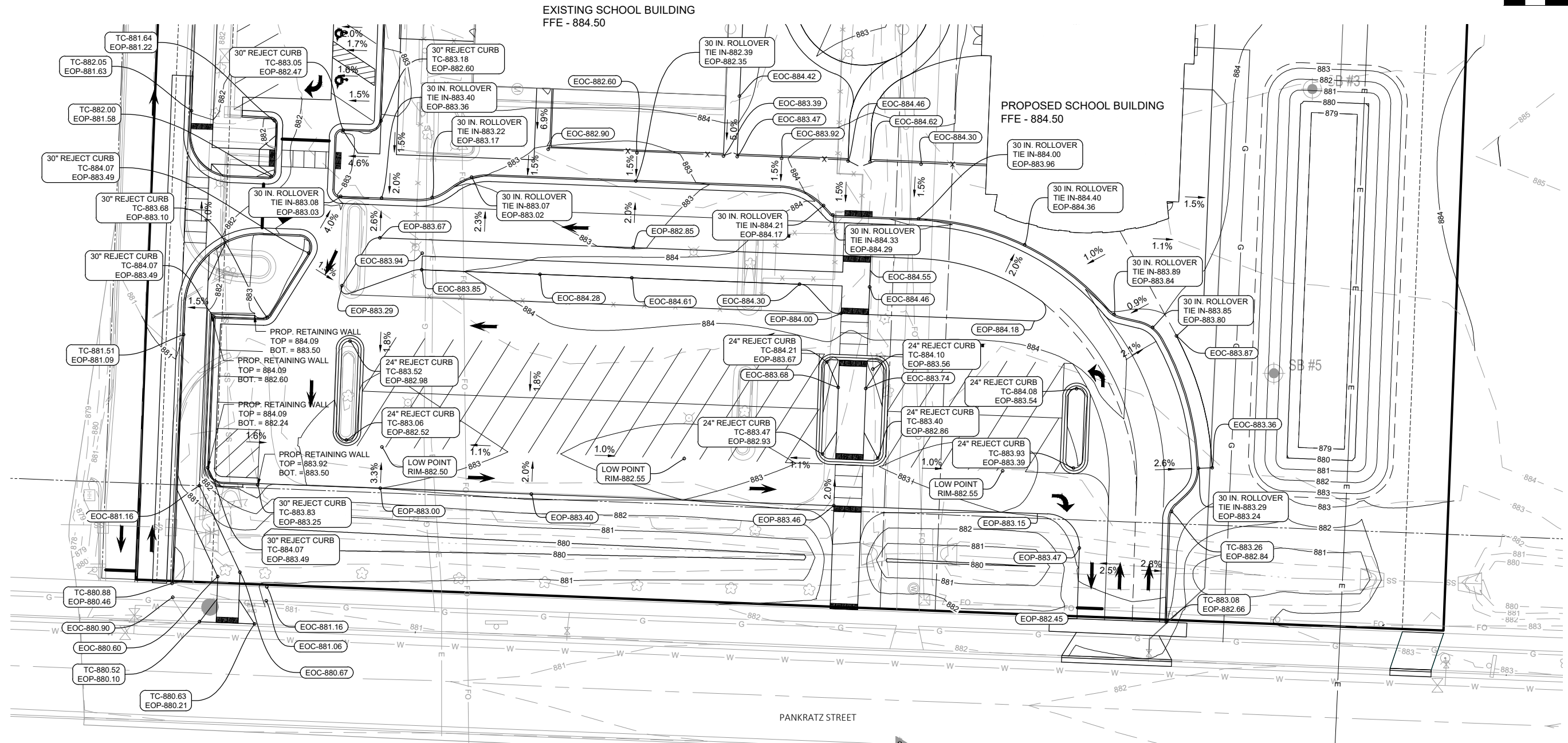
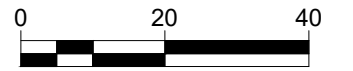


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EXHIBIT - LANDSCAPING PLAN - OVERALL

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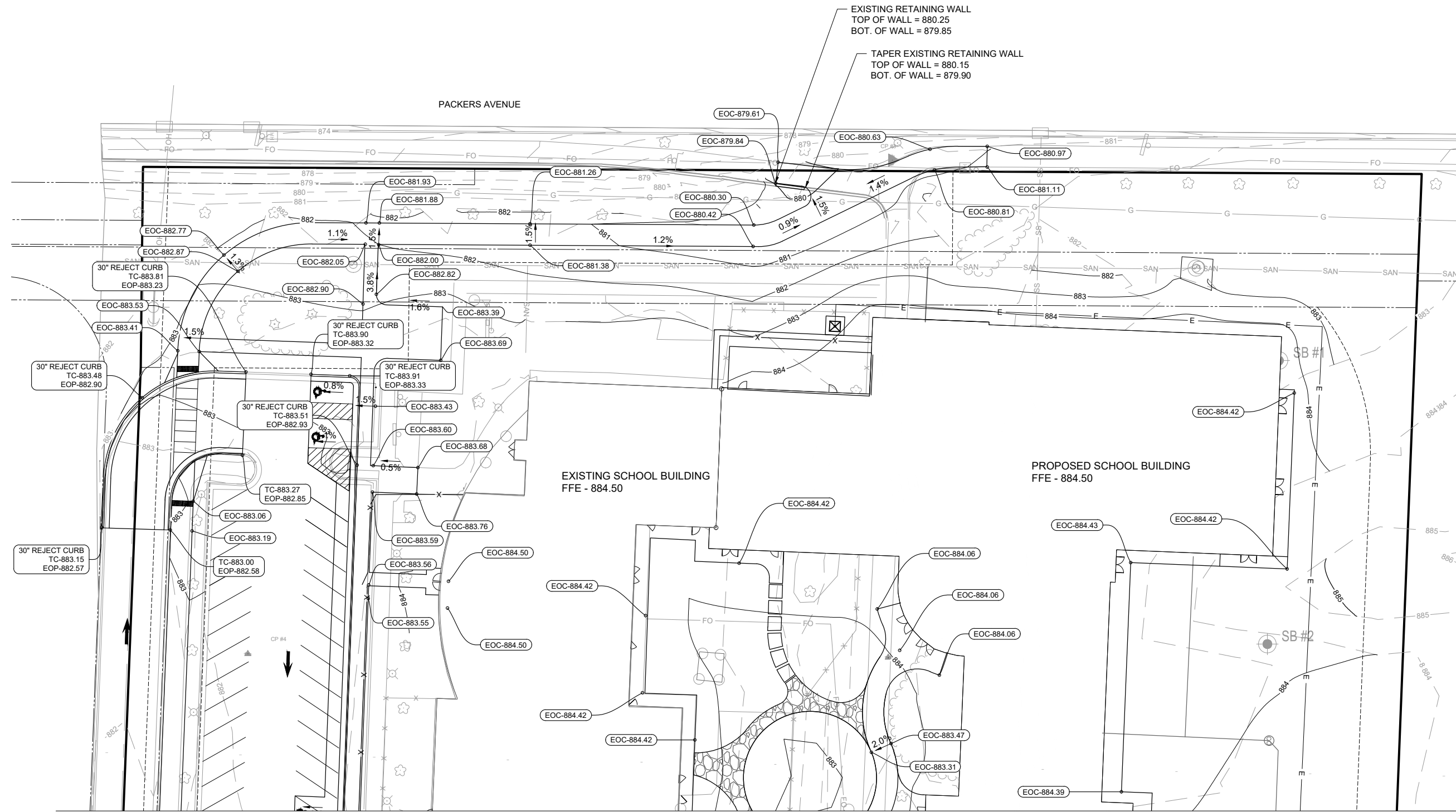
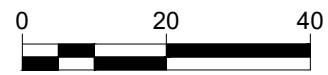


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GRADING PLAN - EAST

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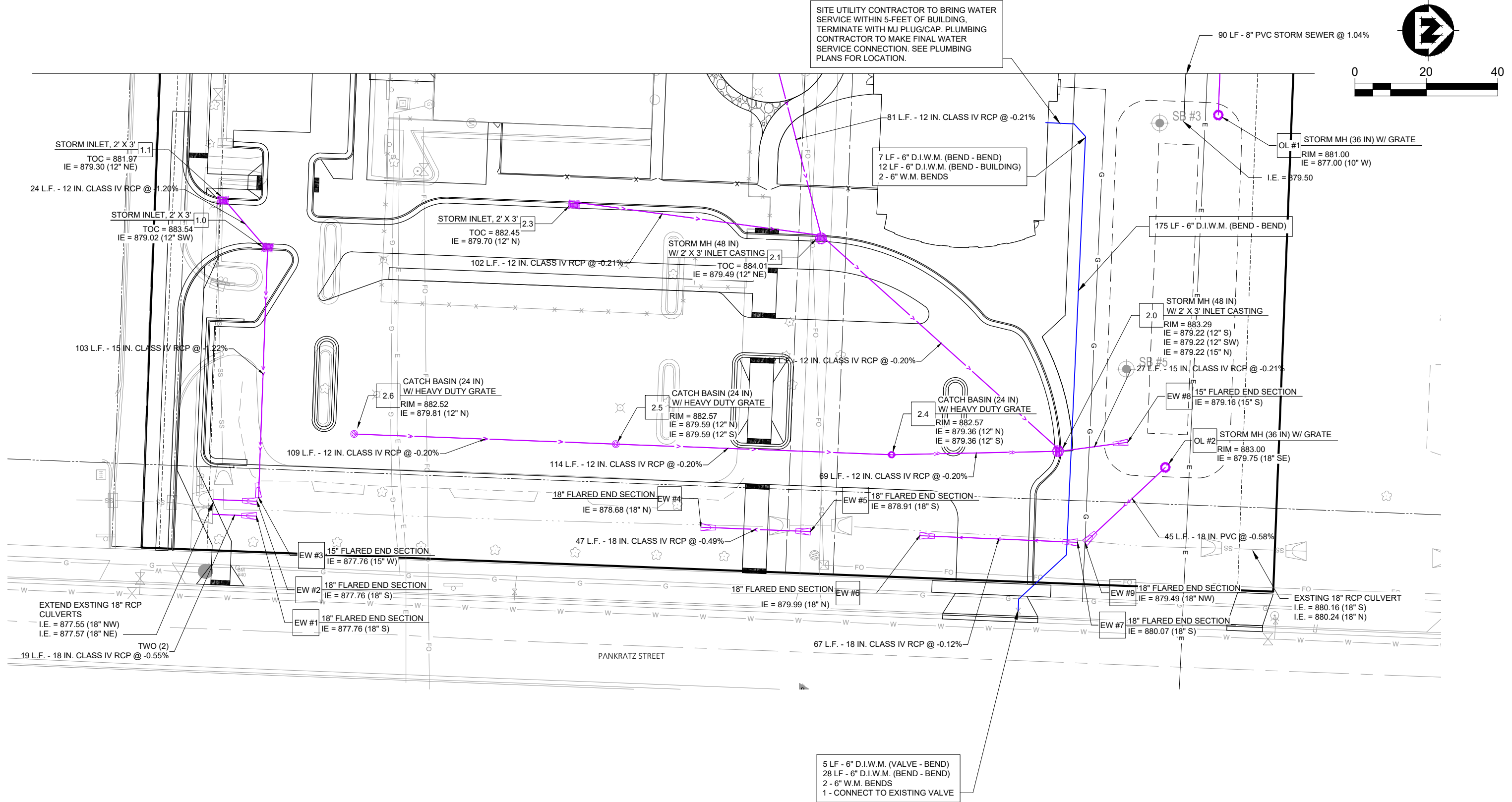
GRADING PLAN - WEST

PROJECT NO.
21586000
 SHEET
C107

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SITE UTILITY CONTRACTOR TO BRING WATER SERVICE WITHIN 5-FOOT OF BUILDING, TERMINATE WITH MJ PLUG/CAP. PLUMBING CONTRACTOR TO MAKE FINAL WATER SERVICE CONNECTION. SEE PLUMBING PLANS FOR LOCATION.



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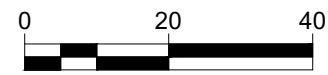


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UTILITY PLAN - EAST

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SHEET
C108



CONNECT TO EXISTING SANITARY MAIN.
1 - UTILITY LINE LOCATE (ULO)
I.E. APPROX. = 874.80

CONNECT TO EXISTING STORM INLET
I.E. = 876.30

PACKERS AVENUE

21 LF - 6" SANITARY LATERAL @ 2.00%

127 L.F. - 10 IN. PVC @ -0.20%

STORM MH (36 IN)
RIM = 882.60
IE = 876.56 (10" E)
IE = 876.56 (10" SW)

SITE UTILITY CONTRACTOR TO BRING SANITARY SEWER SERVICE
WITHIN 5- FEET OF BUILDING, TERMINATE WITH CAP. PLUMBING
CONTRACTOR TO MAKE FINAL CONNECTION. SEE PLUMBING PLANS
FOR LOCATION, TYP.
I.E. = 875.22

SITE UTILITY CONTRACTOR TO BRING STORM SEWER WITHIN
5- FEET OF BUILDING, TERMINATE WITH CAP. PLUMBING
CONTRACTOR TO MAKE FINAL CONNECTION. SEE PLUMBING
PLANS FOR LOCATION, TYP.
I.E. = 881.50

68 LF - 8" PVC STORM SEWER @
1.04%

PROPOSED SCHOOL
BUILDING
FFE - 884.50

CATCH BASIN (24 IN)
W/ LIGHT DUTY GRATE
RIM = 882.72
IE = 879.66 (12" E)

62 LF - 8" PVC STORM SEWER @
1.04%

STORM CLEAN OUT
RIM = 883.25
I.E. = 880.47

EXISTING SCHOOL BUILDING
FFE - 884.50

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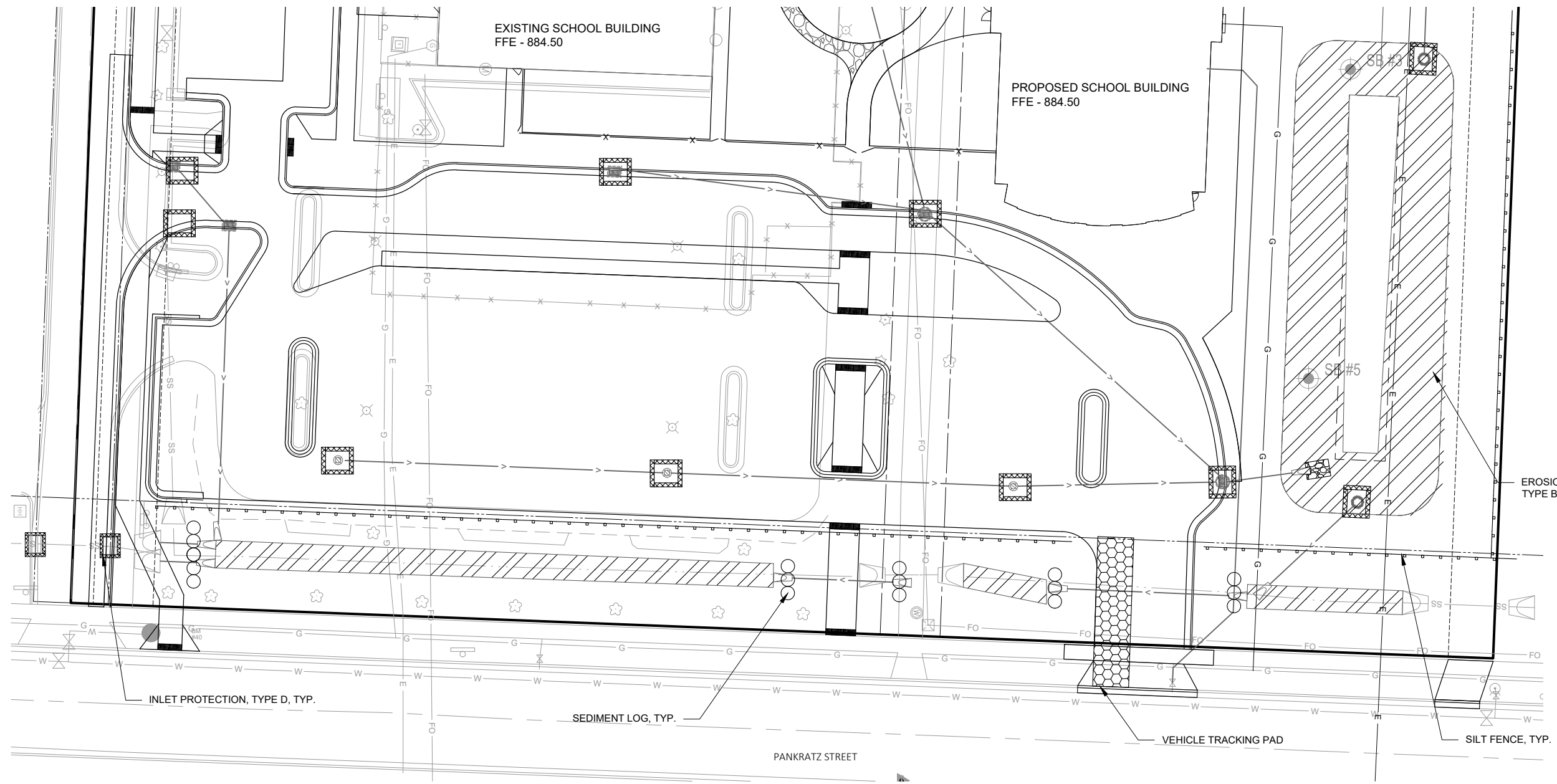
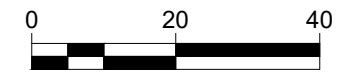
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UTILITY PLAN - WEST

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EXISTING SCHOOL BUILDING
FFE - 884.50

PROPOSED SCHOOL BUILDING
FFE - 884.50

EROSION MAT CLASS 1,
TYPE B, URBAN, TYP.

INLET PROTECTION, TYPE D, TYP.

SEDIMENT LOG, TYP.

PANKRATZ STREET

VEHICLE TRACKING PAD

SILT FENCE, TYP.

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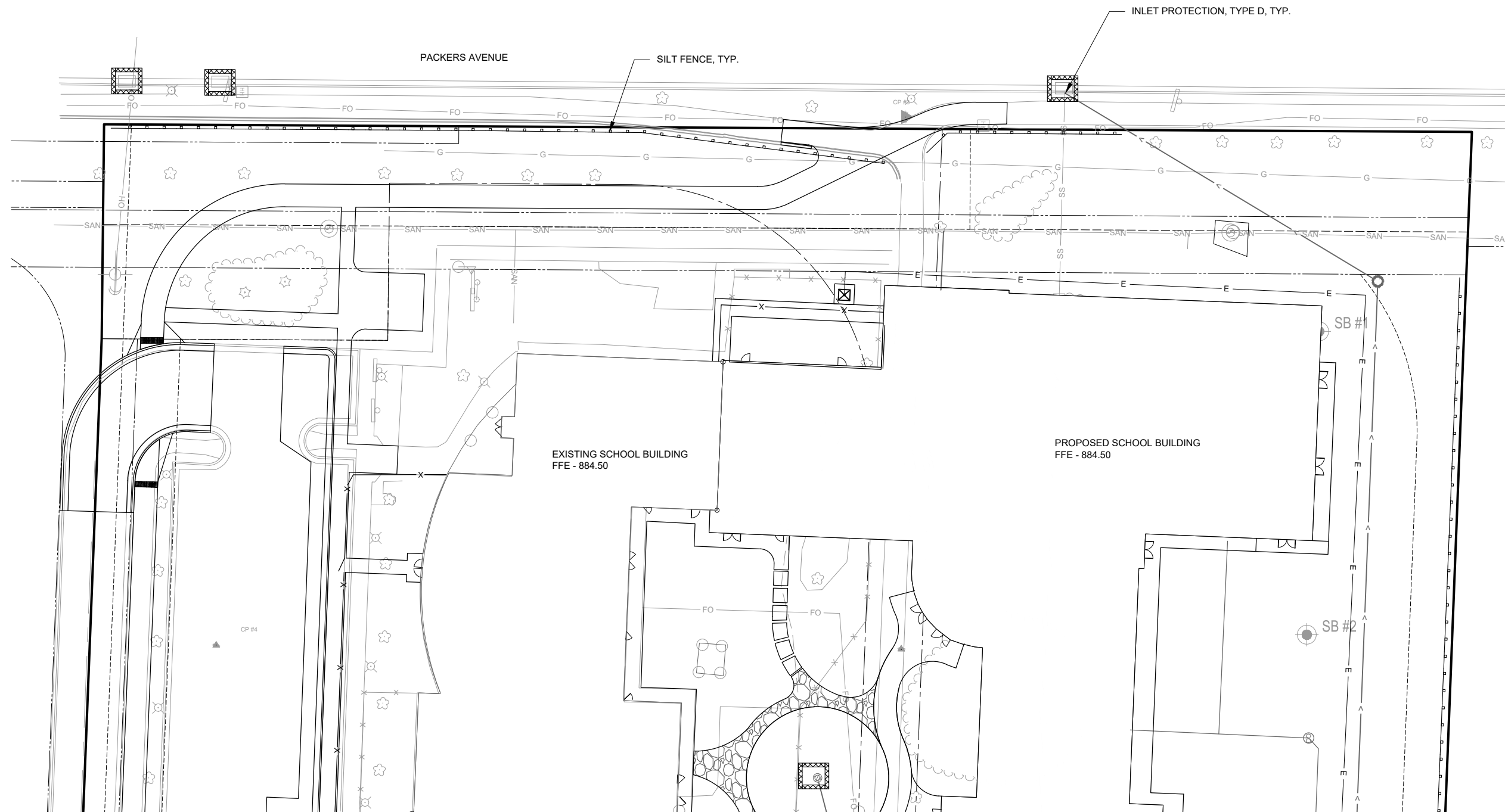
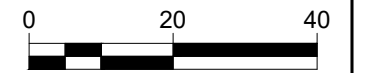


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EROSION CONTROL PLAN - EAST

PROJECT NO.
21586000
SHEET
C110



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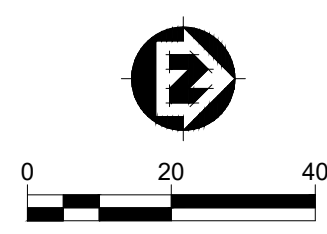
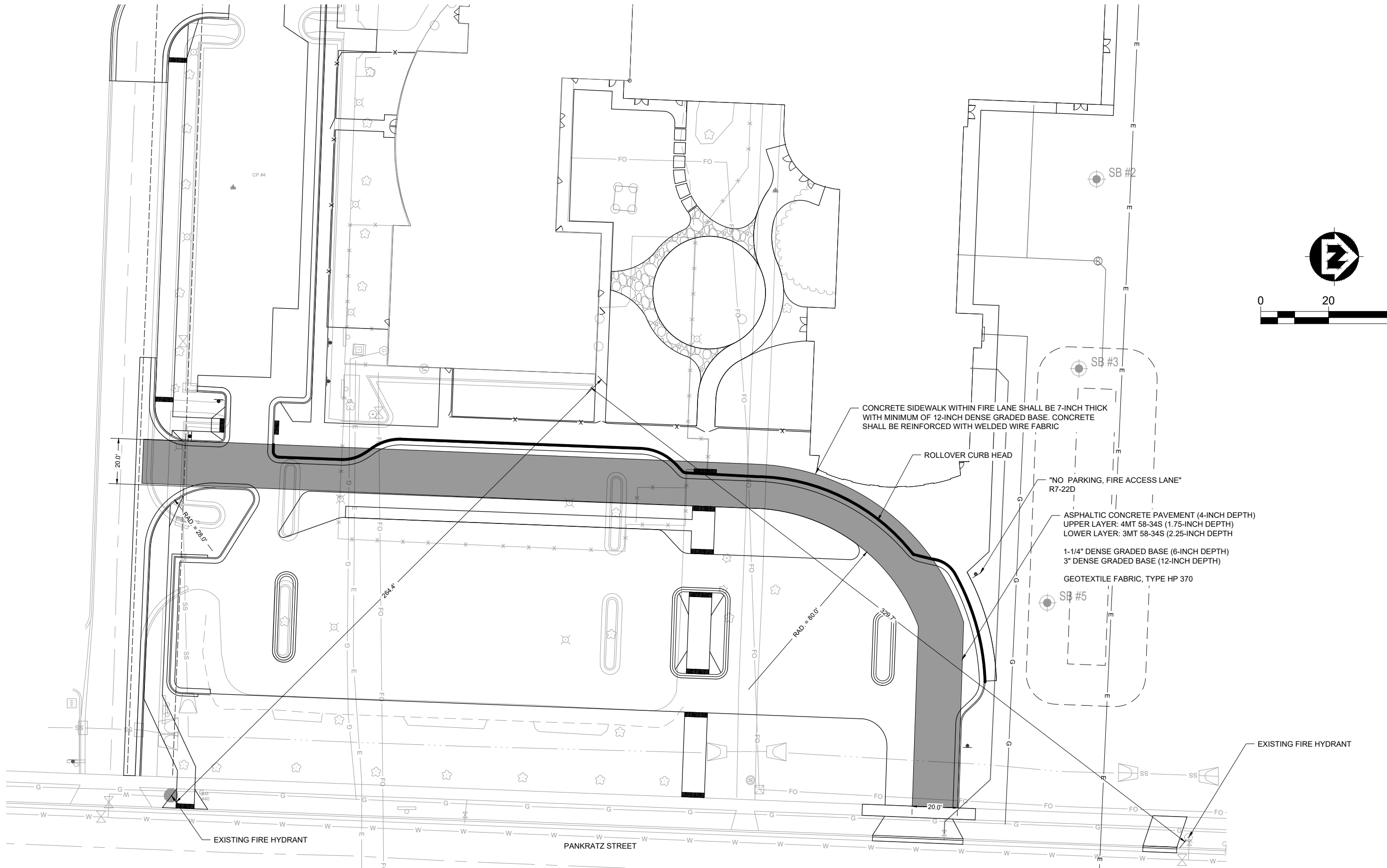


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EROSION CONTROL PLAN - WEST

PROJECT NO.
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C111



CONCRETE SIDEWALK WITHIN FIRE LANE SHALL BE 7-INCH THICK WITH MINIMUM OF 12-INCH DENSE GRADED BASE. CONCRETE SHALL BE REINFORCED WITH WELDED WIRE FABRIC

ROLLOVER CURB HEAD

"NO PARKING, FIRE ACCESS LANE" R7-22D

ASPHALTIC CONCRETE PAVEMENT (4-INCH DEPTH)
UPPER LAYER: 4MT 58-34S (1.75-INCH DEPTH)
LOWER LAYER: 3MT 58-34S (2.25-INCH DEPTH)

1-1/4" DENSE GRADED BASE (6-INCH DEPTH)
3" DENSE GRADED BASE (12-INCH DEPTH)

GEOTEXTILE FABRIC, TYPE HP 370

EXISTING FIRE HYDRANT

EXISTING FIRE HYDRANT

PANKRATZ STREET

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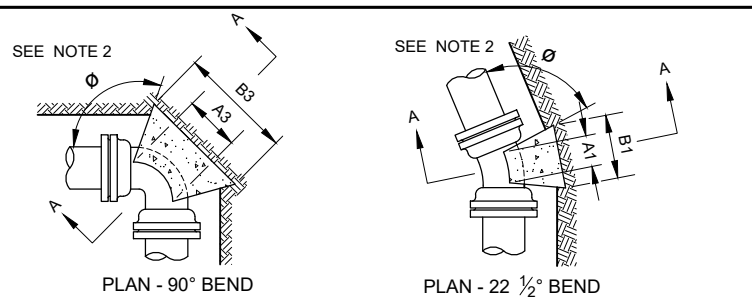
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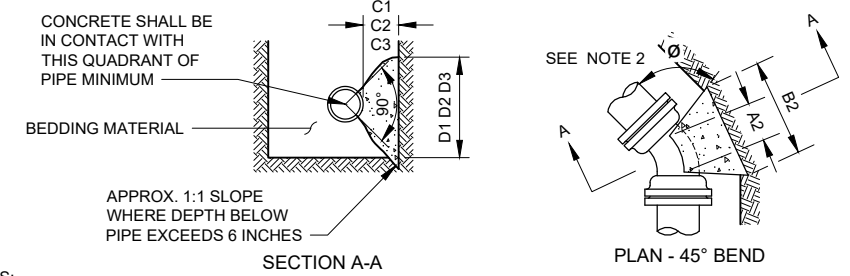
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FIRE ACCESS PLAN

PROJECT NO.
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SHEET
C114



PLAN - 90° BEND
PLAN - 22 1/2° BEND

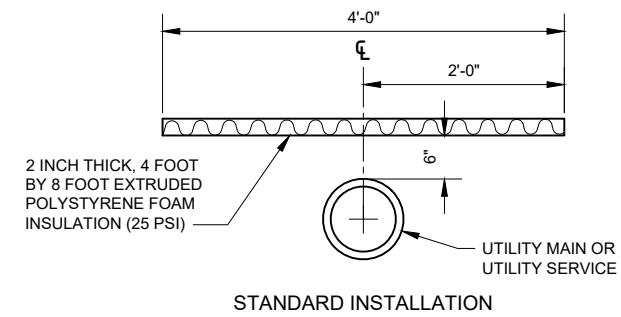


SECTION A-A
PLAN - 45° BEND

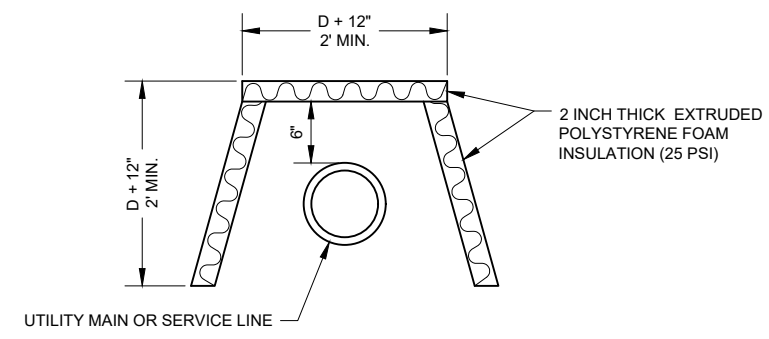
- NOTES:
- DIMENSIONS IN TABLE ARE BASED ON A WATER PRESSURE OF 150 P.S.I. AND AN EARTH RESISTANCE OF 2 TONS PER SQ. FT. INFORM THE ENGINEER IF PRESSURES EXCEED 150 PSI, OR ON-SITE SOIL DOES NOT MEET THIS CONDITION.
 - DIMENSION C1 C2 C3 SHOULD BE LARGE ENOUGH TO MAKE ANGLE Ø EQUAL TO OR LARGER THAN 45°.
 - DIMENSION A1 A2 A3 SHOULD BE AS LARGE AS POSSIBLE WITHOUT INTERFERING WITH THE MECHANICAL JOINT.
 - BUTTRESS TO BE POURED AGAINST FIRM UNDISTURBED SOIL, OR DISTURBED SOIL COMPACTED TO 95% OF MODIFIED PROCTOR DENSITY, ASTM D1557.
 - ALL BUTTRESSED FITTINGS SHALL BE WRAPPED IN POLYETHYLENE.
 - CONCRETE SHALL HAVE A MINIMUM 7-DAY COMPRESSIVE STRENGTH OF 2000 PSI.
 - IN ADDITION TO BUTTRESS, ALL JOINTS SURROUNDING BENDS SHALL BE RESTRAINED WITH WEDGE ACTION RESTRAINING GLANDS.

PIPE SIZE	BUTTRESS DIMENSIONS					
	22 1/2° BENDS		45° BENDS		90° BENDS	
	B1	D1	B2	D2	B3	D3
6"	1'-0"	1'-0"	1'-0"	1'-0"	1'-4"	1'-2"
8"	1'-0"	1'-0"	1'-4"	1'-2"	1'-10"	1'-6"
10"	1'-2"	1'-2"	1'-7"	1'-7"	2'-3"	1'-10"
12"	1'-4"	1'-4"	1'-10"	1'-10"	2'-8"	2'-3"
16"	1'-10"	1'-8"	2'-6"	2'-4"	3'-10"	2'-10"
20"	2'-4"	2'-0"	3'-3"	2'-10"	5'-0"	3'-4"
24"	2'-10"	2'-4"	4'-0"	3'-3"	6'-4"	3'-10"

BUTTRESS FOR BENDS DETAIL
NO SCALE



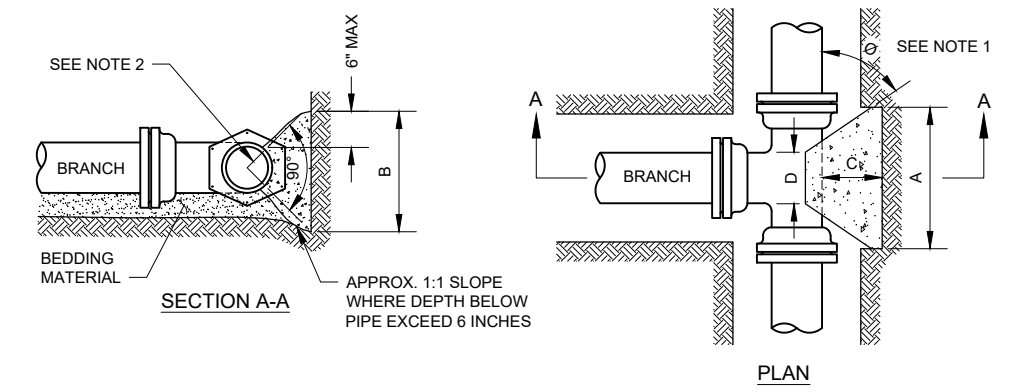
STANDARD INSTALLATION



SIDE PROTECTION INSTALLATION

- GENERAL NOTES:
- THE SIDE PROTECTION INSTALLATION SHALL BE USED WHERE FROST WILL PENETRATE BELOW THE PIPE INVERT.

PIPE INSULATION DETAIL
NO SCALE

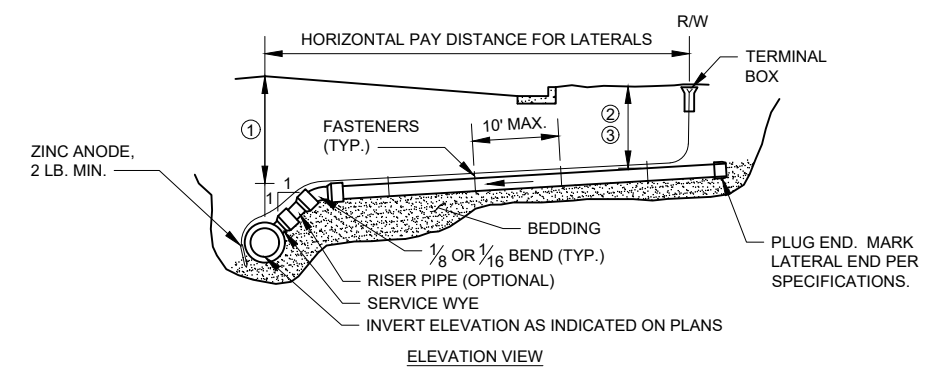


- NOTES:
- DIMENSION 'C' SHOULD BE LARGE ENOUGH TO MAKE ANGLE Ø GREATER THAN OR EQUAL TO 45°.
 - CONCRETE SHOULD BEAR ON THIS QUADRANT OF PIPE AT A MINIMUM.
 - DIMENSION 'D' SHOULD BE AS LARGE AS POSSIBLE BUT CONCRETE SHOULD NOT INTERFERE WITH MECHANICAL JOINTS.
 - BUTTRESS DIMENSIONS ARE BASED ON A SOIL RESISTANCE OF TWO TONS PER SQ. FT. AND A WATER PRESSURE OF 150 PSI. INFORM THE ENGINEER IF ON-SITE SOIL DOES NOT MEET THIS CONDITION OR PRESSURES EXCEED 150 PSI.
 - BUTTRESS TO BE PLACED AGAINST FIRM UNDISTURBED SOIL, OR DISTURBED SOIL COMPACTED TO 95% OF MODIFIED PROCTOR DENSITY, ASTM D1557.
 - CONCRETE SHALL HAVE A MINIMUM 7-DAY COMPRESSIVE STRENGTH OF 2000 PSI.
 - ALL POURED BUTTRESSED FITTINGS SHALL BE WRAPPED IN POLYETHYLENE.
 - IN ADDITION TO BUTTRESSES, ALL JOINTS SURROUNDING TEES SHALL BE RESTRAINED WITH WEDGE ACTION RESTRAINING GLANDS.

BUTTRESS DIMENSIONS				
DIA.	A	B	C	D
6"	1'-3"	1'-0"		
8"	1'-6"	1'-4"		
10"	1'-10"	1'-8"	SEE NOTE NO. 1	SEE NOTE NO. 3
12"	2'-3"	2'-0"		
16"	3'-2"	2'-6"		
20"	4'-0"	3'-0"		
24"	5'-3"	3'-4"		

DIA. = BRANCH DIAMETER

BUTTRESS FOR TEES DETAIL
NO SCALE

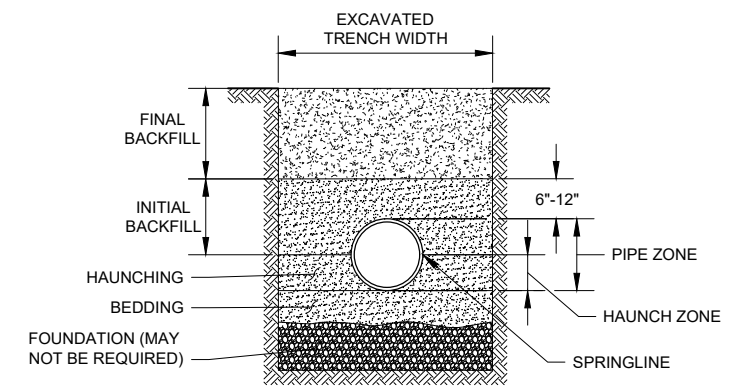


ELEVATION VIEW

- NOTES FOR LATERAL INSTALLATION:
- MINIMUM DEPTH OF COVER UNDER ROADWAY = 7 FEET.
 - MINIMUM DEPTH OF COVER UNDER GRASS AREAS = 5 1/2 FEET.
 - MINIMUM DEPTH OF COVER UNDER GRASS AREAS WITH FROST PROTECTION = 3 FEET 6 INCHES.
 - LATERAL SLOPES SHALL BE 1/8 INCH PER FOOT MINIMUM AND 1/2 INCH PER FOOT MAXIMUM.

- NOTES FOR TRACER WIRE INSTALLATION:
- THE TRACER WIRE SHALL REMAIN CONTINUOUS TO THE GREATEST EXTENT POSSIBLE.
 - NO. 12 GAUGE GREEN INSULATED COPPER TRACER WIRE SHALL BE INSTALLED WITH THE NON-CONDUCTIVE SERVICE. PIPE TRACER WIRE TERMINAL BOXES SHALL BE INSTALLED DIRECTLY ABOVE THE SEWER MAIN OR AS DETERMINED BY THE ENGINEER OR OWNER. TRACER WIRE INSTALLATION REQUIRES ACCESS POINTS AT LEAST EVERY 300 FEET.
 - TRACER WIRE SHALL BE RESTRAINED BY CABLE-TIES, TAPE, OR BY NON-CORROSIVE FASTENER APPROVED BY THE OWNER, INSTALLED EVERY 10 FEET ALONG SERVICE. DO NOT WRAP TRACER WIRE AROUND THE PIPE.
 - TRACER WIRE SHALL RUN FROM THE WYE AND TERMINATED IN A FLUSH MOUNTED TERMINAL BOX WITH A CAST IRON LOCKABLE TOP. SPLICES IN TRACER WIRE SHOULD BE MADE WITH SPLIT BOLT OR COMPRESSION-TYPE CONNECTORS. WIRE NUTS SHALL NOT BE USED. A WATER-PROOF CONNECTION IS NECESSARY TO PREVENT CORROSION. TERMINAL BOX SHALL BE VALVCO, OR APPROVED EQUAL.

SANITARY SEWER LATERAL DETAIL
NO SCALE



- GENERAL NOTES:
- DETAILS OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO ASTM D2321.
 - CLASS II EMBEDMENT MATERIAL SHALL BE CLEAN, COARSE-GRAINED SOILS WITH LITTLE TO NO FINES. NO PARTICLES LARGER THAN 1 1/2 -INCHES SHALL BE USED IN THE PIPE EMBEDMENT.
 - WHERE HYDRAULIC GRADIENT EXISTS USE A WELL-GRADED MIXTURE TO MINIMIZE MIGRATION OF FINES FROM ADJACENT SOIL.
 - CLASS II MATERIAL IS SUITABLE AS A FOUNDATION AND FOR REPLACING OVER- EXCAVATED AND UNSTABLE TRENCH BOTTOM. INSTALL AND COMPACT IN 6-INCH MAXIMUM LAYERS.
 - INSTALL AND COMPACT BEDDING IN 6-INCH MAXIMUM LAYERS. LEVEL FINAL GRADE BY HAND. MINIMUM DEPTH 4 INCH (6 INCH IN ROCK CUTS.)
 - INSTALL AND COMPACT HAUNCHING IN 6-INCH MAXIMUM LAYERS. WORK IN AROUND PIPE BY HAND TO PROVIDE UNIFORM SUPPORT.
 - INSTALL AND COMPACT INITIAL BACKFILL TO A MINIMUM OF 6 INCH ABOVE PIPE CROWN.
 - EMBEDMENT COMPACTION:
MINIMUM DENSITY 85% STANDARD PROCTOR. USE HAND TAMPERS OR VIBRATORY COMPACTORS.
 - EMBEDMENT INCLUDES BEDDING, HAUNCHING, AND INITIAL BACKFILL.

CLASS II - FLEXIBLE PIPE EMBEDMENT DETAIL
NO SCALE

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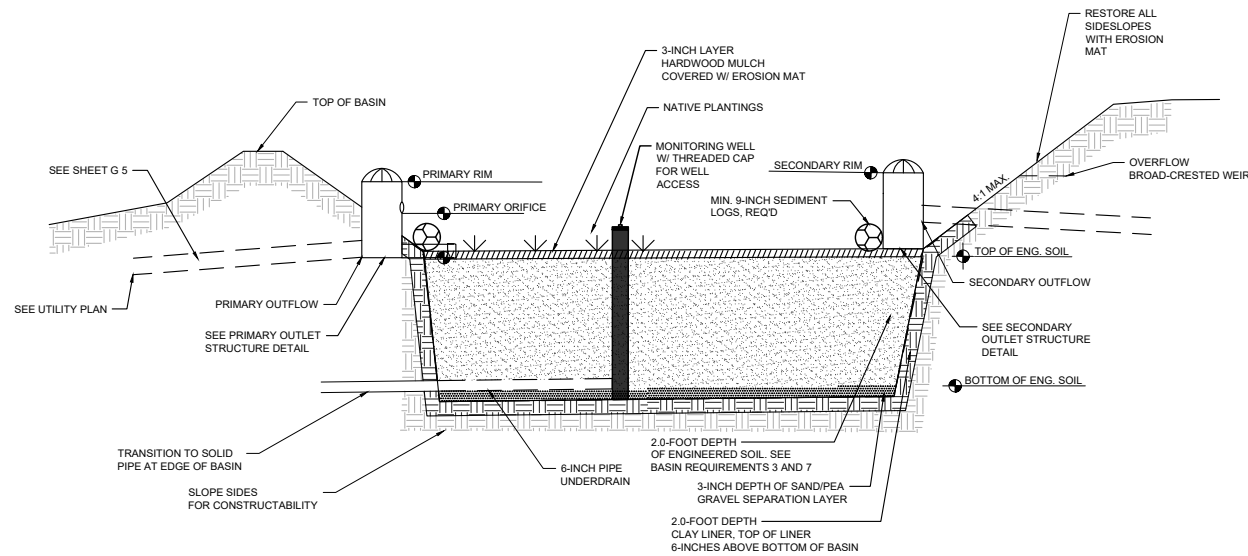
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UTILITY SERVICE DETAILS
PROJECT NO. 21586000
SHEET C200

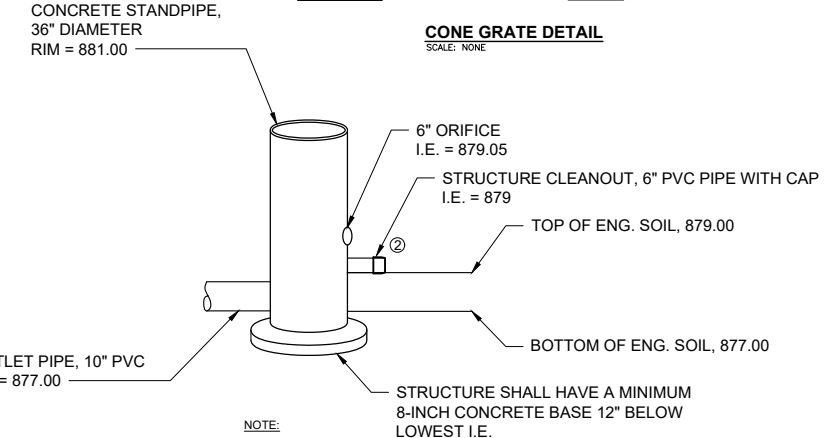
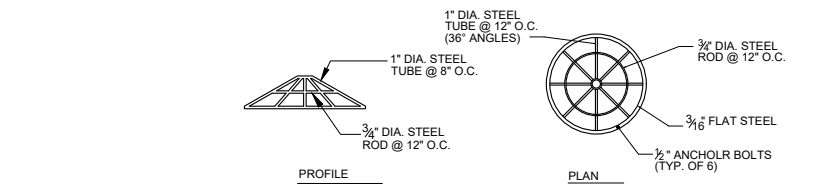
BIOFILTRATION BASINS CONSTRUCTION REQUIREMENTS



ELEVATION TABLE	ELEVATION
TOP OF BASIN	883.50
BROAD-CRESTED WEIR	883.25
TOP OF ENG. SOIL	879.00
BOTTOM OF ENG. SOIL	877.00
PRIMARY RIM	881.00
PRIMARY INFLOW (10")	878.00
PRIMARY OUTFLOW (10")	877.00
PRIMARY ORIFICE (6")	879.05
SECONDARY RIM	883.00
SECONDARY INFLOW (18")	879.50
SECONDARY OUTFLOW (18")	879.50

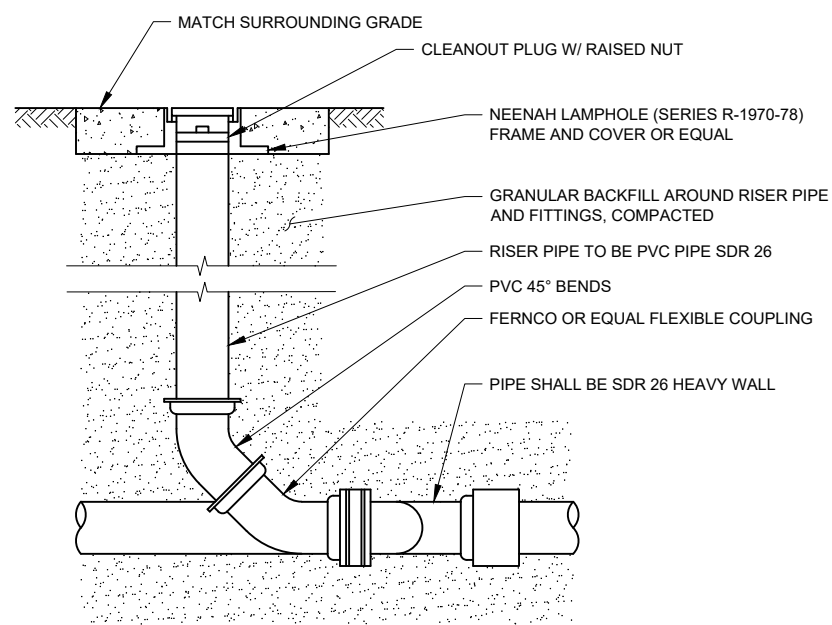
1 BIO-INFILTRATION BASIN DETAIL
NTS

- PRIOR TO EXCAVATING OF THE BIOFILTRATION BASINS, ALL UPSTREAM AREAS SHALL BE RESTORED, 70% OF THE TURF SEED GERMINATED, AND ALL HARD SURFACE AREAS PAVED.
- AFTER ALL UPSTREAM AREAS ARE STABILIZED PER THE REQUIREMENTS ABOVE, THE BASINS SHALL BE EXCAVATED TO ELEVATIONS AS SHOWN. A 3-INCH LAYER OF CLEAN SAND OR PEA GRAVEL, AND A 2.0-FOOT LAYER OF ENGINEERED SOIL SHALL BE PLACED. TWO 6-INCH DIAMETER OBSERVATION WELLS SHALL BE INSTALLED TO THE BOTTOM OF THE NO. 2 CLEAR STONE. THE OBSERVATION WELL SHALL BE SET ON A FLAT, SMOOTH, 1' X 1' PIECE OF TREATED WOOD OR SOLID BLOCK. THE WELL SHALL BE PERFORATED AND HAVE A SCREW CAP AT THE SURFACE FOR ACCESS WITH A 2" BY 2" TOP NUT. CONTRACTOR SHALL FABRICATE AND SUPPLY THE OWNER WITH A TOOL TO OPEN THE WELL.
- THE ENGINEERED SOIL SHALL BE COMPOSED OF 70%-80% SAND/GRANULAR FILL AND 20%-30% COMPOST CONFORMING TO WDNR CPS S100. PLEASE NOTE, THE SAND/COMPOST COMPOSITION FOR THIS PROJECT IS SLIGHTLY CHANGED TO ACCOMMODATE THE NATIVE PLANTINGS.
- THE BIOFILTRATION BASINS SHALL BE EXCAVATED WITH ONLY WIDE-TRACKED CONSTRUCTION EQUIPMENT. ACTIVITY WITHIN THE BASINS SHALL BE MINIMIZED PRIOR TO EXCAVATION AND ELIMINATED AFTER EXCAVATION TO CONTROL UNNECESSARY COMPACTION OF SOILS.
- AFTER INITIAL EXCAVATION AND FINAL GRADING, THE BIOFILTRATION BASINS SHALL BE SECURED SO NO OTHER CONSTRUCTION EQUIPMENT USES THE AREA.
- PLANTINGS - THE BIOFILTRATION BASINS SHALL BE RESTORED WITH THE FOLLOWING BULB PLANTINGS AT AN APPROXIMATE SPACING OF 18-INCHES ON CENTER:
650-675 EA. - COMMON OAK SEDGE, 240-260 EA. LAVENDER ANISE HYSSOP, 160-180 EA. LITTLE BLUE STEM, 400-425 EA. BLACK EYED SUSAN.
CONTRACTOR SHALL SUBMIT PROPOSED PLANT LAYOUT TO OWNER AND ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
- THE SIDE SLOPES OF THE BASINS SHALL BE SEEDED WITH A TURF LAWN MIX.
- CONTRACTOR SHALL WEED THE BIOFILTRATION BASINS ONCE AFTER PLANTS HAVE BEEN INSTALLED. THIS WEEDING SHALL OCCUR ONE MONTH AFTER PLANT INSTALLATION, BY SEPTEMBER 15 (YEAR 1) OR BY JUNE 15 (YEAR 2).
- AFTER THE BULBS ARE PLANTED, COVER THE BOTTOM AND SIDES OF THE BASIN WITH CLASS I, TYPE A EROSION MAT.
- CONTRACTOR SHALL WATER THE BIOFILTRATION BASINS WEEKLY THRU THE FIRST GROWING SEASON UNTIL THE PLANTS ARE ESTABLISHED. WATERING IS ONLY REQUIRED IF THE EQUIVALENT OF 0.50" OF RAIN DOES NOT FALL AT THE SITE WEEKLY.
- REFER TO WDNR CONSERVATION PRACTICE STANDARD: BIORETENTION FOR INFILTRATION (1004) FOR MAINTENANCE REQUIREMENTS ON THE BIORETENTION AREA.

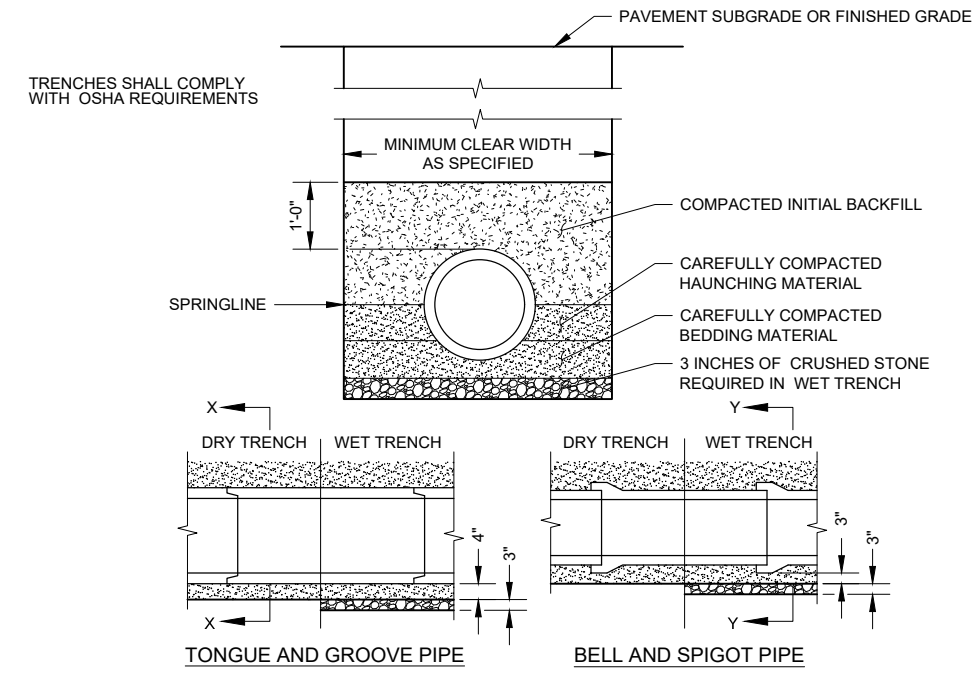


- NOTE:
- THE GRATE FOR THIS OUTLET STRUCTURE SHALL BE EITHER A NEENAH HIGH CAPACITY GRATE OR CONE GRATE AS DETAILED ABOVE. SEE PLAN FOR EXACT ELEVATIONS AND I.E.
 - INSTALL A 6" PVC PIPE AT THE TOP OF ENG. SOIL. PIPE TO BE CAPPED AND ONLY REMOVED FOR MAINTENANCE. APPROX. 3 FEET IN LENGTH.

2 PRIMARY OUTLET STRUCTURE DETAIL
NTS

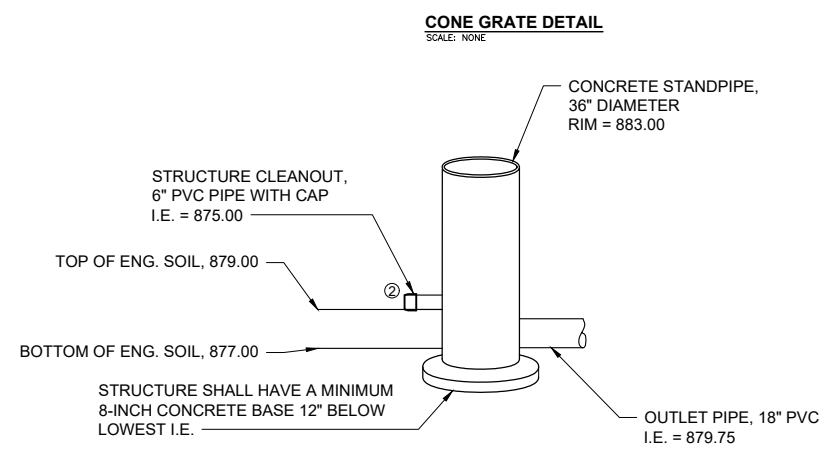
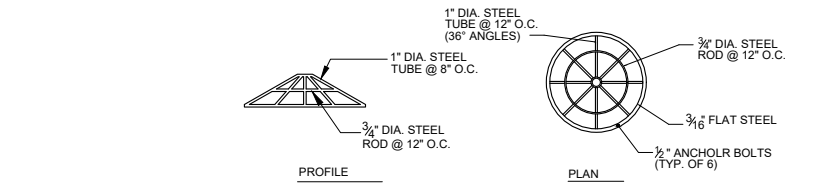


STORM SEWER CLEANOUT
NO SCALE



- GENERAL NOTES:
- BEDDING AND HAUNCHING MATERIAL SHALL BE WELL-GRADED 3/4 TO 1/4 INCH CRUSHED STONE OR OTHER NON-COHESIVE MATERIAL NOT SUBJECT TO MIGRATION AND FREE OF DEBRIS, ORGANIC MATERIAL, AND LARGE STONES.
 - BEDDING MATERIAL TO BE PLACED BEFORE SETTING PIPE, 4 INCH MINIMUM UNDER BARREL WITH 3 INCH MINIMUM UNDER BELL.
 - INITIAL BACKFILL SHALL BE DENSELY COMPACTED, NON-COHESIVE FINELY DIVIDED MATERIAL FREE OF DEBRIS, ORGANIC MATERIAL, AND LARGE STONES.
 - IN ROCK OR OTHER UNCOMPRESSIBLE MATERIALS, THE TRENCH SHALL BE OVEREXCAVATED A MINIMUM OF 6-INCHES AND REFILLED WITH GRANULAR MATERIAL.

CLASS "B" EMBEDMENT FOR RIGID PIPE DETAIL
NO SCALE



- NOTE:
- THE GRATE FOR THIS OUTLET STRUCTURE SHALL BE EITHER A NEENAH HIGH CAPACITY GRATE OR CONE GRATE AS DETAILED ABOVE. SEE PLAN FOR EXACT ELEVATIONS AND I.E.
 - INSTALL A 6" PVC PIPE AT THE TOP OF ENG. SOIL. PIPE TO BE CAPPED AND ONLY REMOVED FOR MAINTENANCE. APPROX. 3 FEET IN LENGTH.

2 SECONDARY OUTLET STRUCTURE DETAIL
NTS

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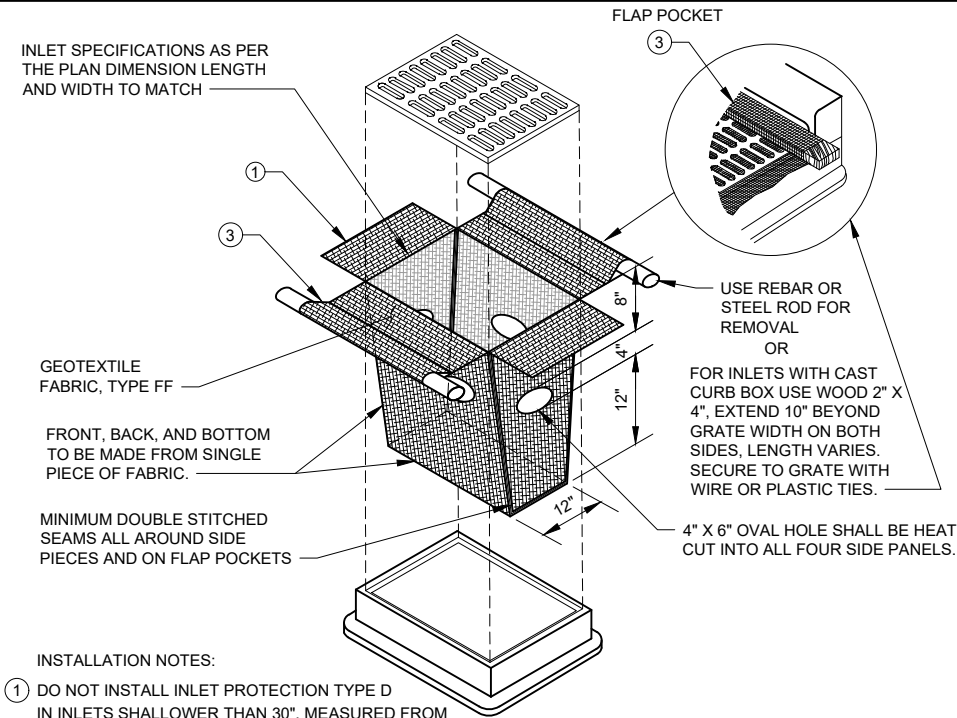
ISTHMUS MONTESSORI ACADEMY EXPANSION
ISTHMUS MONTESSORI ACADEMY
MADISON, WISCONSIN

STORM SEWER & POND DETAILS

PROJECT NO.
21586000
SHEET
C201

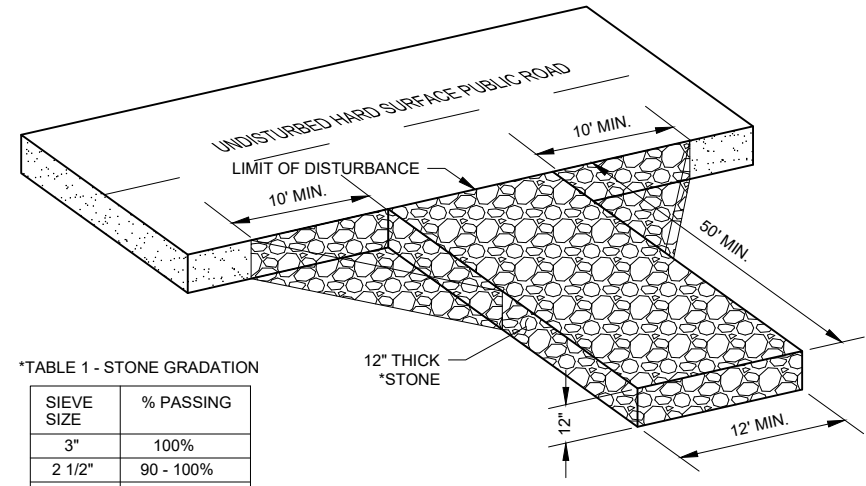
**CONSTRUCTION SITE
EROSION CONTROL REQUIREMENTS**

- SECTION NR216.46 OF WISCONSIN STATE ADMINISTRATIVE CODE IDENTIFIES REQUIREMENTS FOR CONSTRUCTION SITE AND POST-CONSTRUCTION EROSION CONTROL. IT IS THE INTENT OF THESE PLANS TO SATISFY THESE REQUIREMENTS. THE METHODS AND STRUCTURES USED TO CONTROL EROSION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL IMPLEMENT AN APPROPRIATE MEANS OF CONTROLLING EROSION DURING SITE OPERATION AND UNTIL THE VEGETATION IS RE-ESTABLISHED. ADJUSTMENTS TO THE CONTROL SYSTEM SHALL BE MADE AS REQUIRED.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE WISCONSIN DNR'S CONSERVATION PRACTICE STANDARDS. THESE STANDARDS ARE PERIODICALLY UPDATED AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND REFERENCE THE MOST RECENTLY RELEASED STANDARD.
- THIS INFORMATION IS ONLY ONE PART OF THE OVERALL EROSION CONTROL REQUIREMENTS. ADDITIONAL REQUIREMENTS MAY ALSO BE SHOWN ON THE CONTRACT DRAWINGS AND IN THE ACCOMPANYING SPECIFICATIONS.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE OWNER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- THE AREA OF EROSION CONTROL ELEMENTS BY GRUBBING, EXCAVATION, TRENCHING, BORROW AND FILL OPERATIONS AT ANY ONE TIME SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE. FOR ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 WORKING DAYS, OR WHERE GRADING WORK EXTENDS BEYOND THE PERMANENT SEEDING DEADLINES, THE SITE MUST BE TREATED WITH TEMPORARY STABILIZATION MEASURES SUCH AS SOIL TREATMENT, TEMPORARY SEEDING AND/OR MULCHING. ALL DISTURBED AREAS SHALL BE TREATED WITH PERMANENT STABILIZATION MEASURES WITHIN 3 WORKING DAYS OF FINAL GRADING.
- ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF THE TIME 0.5 INCHES OF RAIN HAS OCCURRED. ALL NECESSARY REPAIR AND MAINTENANCE WILL BE DONE AT THIS INSPECTION TIME.
- ALL EROSION CONTROL DEVICES AND/OR STRUCTURES SHALL BE PROPERLY INSTALLED PRIOR TO CLEARING AND GRUBBING OPERATIONS WITHIN THEIR RESPECTIVE DRAINAGE AREAS. THESE SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS RE-ESTABLISHED.
- ALL EROSION CONTROL DEVICES SHALL BE PROPERLY INSTALLED PRIOR TO ANY SOIL DISTURBANCE.
- ANY SLOPES STEEPER THAN 3H:1V SHALL BE STAKED WITH EROSION CONTROL FABRIC UNLESS INDICATED ON THE PLAN.
- ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
- WIND EROSION SHALL BE KEPT TO A MINIMUM DURING CONSTRUCTION. WATERING, MULCH, OR A TACKING AGENT MAY BE REQUIRED TO PROTECT NEARBY RESIDENCES AND WATER RESOURCES.
- CHANNELIZED RUNOFF ENTERING THE PROJECT SITE FROM ADJOINING LANDS SHALL BE DIVERTED THROUGH NATURALLY OR ARTIFICIALLY EROSION-RESISTANT CONVEYANCES. IF CHANNELIZED RUNOFF CANNOT BE DIVERTED, SITE BEST MANAGEMENT PRACTICES MUST ACCOUNT FOR THE ADDITIONAL FLOW RATES AND EROSION POTENTIAL THAT SUCH RUNOFF PRESENTS.
- THE CONTRACTOR SHALL TAKE ALL POSSIBLE PRECAUTIONS TO PREVENT SOILS FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEP AND/OR SCRAPED (NOT FLUSHED) PERIODICALLY TO REMOVE SOIL, DIRT, AND/OR DUST.
- EROSION CONTROLS SHALL BE INSTALLED ON THE DOWNSTREAM SIDE OF TEMPORARY STOCKPILES. ANY SOIL STOCKPILE THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING. ALL STOCK PILES SHALL BE PLACED AT LEAST 75 FEET FROM STREAMS OR WETLANDS.
- ADDITIONAL EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.) SHALL INCLUDE THE FOLLOWING:
 - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - DISCHARGE OF TRENCH WATER OR DEWATERING EFFLUENT MUST BE PROPERLY TREATED TO REMOVE SEDIMENT IN ACCORDANCE WITH THE WDNR CONSERVATION PRACTICE STANDARD 1061 - DEWATERING OR A SUBSEQUENT WDNR DEWATERING STANDARD PRIOR TO DISCHARGE INTO A STORM SEWER, DITCH, DRAINAGEWAY, OR WETLAND OR LAKE.
- ALL DRAINAGE CULVERTS, STORM DRAIN INLETS, MANHOLES, OR ANY OTHER EXISTING STRUCTURES THAT COULD BE DAMAGED BY SEDIMENTATION SHALL BE PROTECTED ACCORDING TO THE VARIOUS METHODS PROVIDED IN THE PRINTED CONSERVATION PRACTICE STANDARDS.
- ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR STABILIZATION MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
- THE FIRST SIX WEEKS AFTER INITIAL STABILIZATION, ALL NEWLY SEEDED AND MULCHED AREAS SHALL WATERED WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY BMP'S SUCH AS SILT FENCES, STRAW BALES, AND SEDIMENT TRAPS SHALL BE REMOVED AND THESE AREAS STABILIZED.
- ALL TEMPORARY BEST MANAGEMENT PRACTICES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED.
- ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITH SEED AND MULCH UNLESS OTHERWISE SPECIFIED. A MINIMUM OF FOUR INCHES OF TOPSOIL SHALL BE APPLIED TO ALL AREAS TO BE SEEDED OR SODDED.



- INSTALLATION NOTES:**
- DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
 - TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
 - THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

INLET PROTECTION, TYPE D
NO SCALE
CAN BE INSTALLED IN ANY INLET TYPE WITH OR WITHOUT A CURB BOX AS PER NOTE

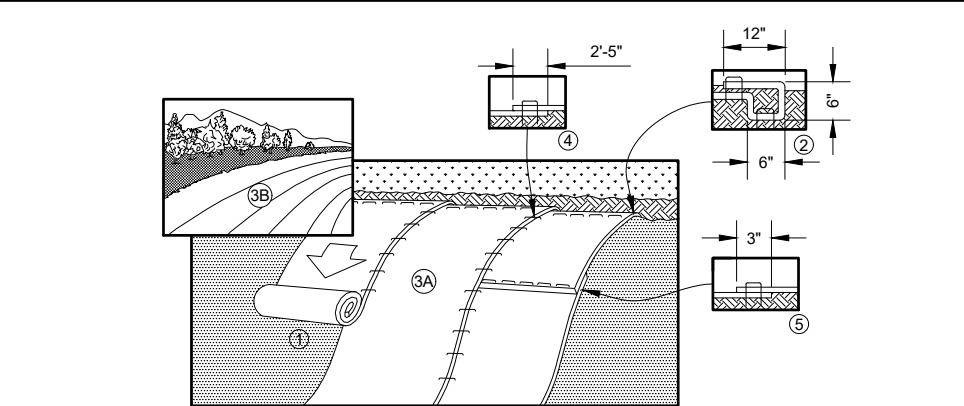


***TABLE 1 - STONE GRADATION**

SIEVE SIZE	% PASSING
3"	100%
2 1/2"	90 - 100%
1 1/2"	25 - 60%
3/4"	0 - 20%
3/8"	0 - 5%

- NOTES:**
- TRACKING PAD WIDTH SHALL BE AT LEAST THE FULL WIDTH OF HTE EGRESS POINT OR 12' WIDE MINIMUM.
 - TRACKING PAD LENGTH SHALL BE 50' FOR CONSTRUCTION SITES, 30' FOR SINGLE FAMILY RESIDENTIAL, OR AS SPECIFIED IN THE CONTRACT DOCUMENTS. LENGTH OF TRACKING PAD MAY NEED TO BE INCREASE OR ADDITIONAL SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED BY THE CONTRACTOR IS SEDIMENT TRACK-OUT OCCURS.
 - GEOTEXTILE FABRIC TYPE R SHALL BE INSTALLED BETWEEN THE STONE AND SUBGRADE ON SITES WHERE HIGH GROUND WATER IS OBSERVED.
 - CONTRACTOR SHALL CLEAN STREET/ROADWAY ADJACENT TO ALL CONSTRUCTION ACCESS POINTS AT THE END OF EACH WORKDAY OR MORE FREQUENTLY IF REQUESTED.

STONE TRACKING PAD
NO SCALE



- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" (5 CM-12.5 CM) OVERLAP DEPENDING ON BLANKET TYPE.
- CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE BLANKET WIDTH.

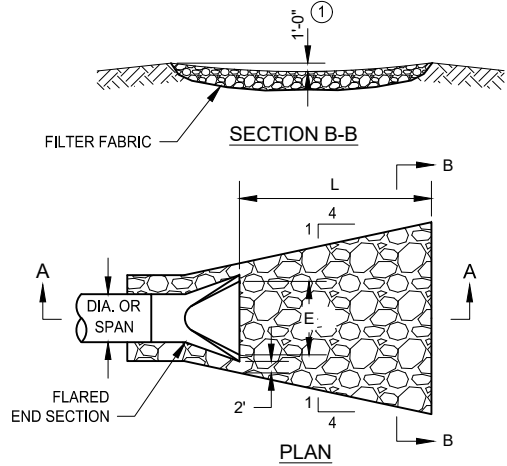
EROSION CONTROL BLANKET DETAIL
NO SCALE

**TABLE OF QUANTITIES
RIPRAP AT RCP OUTLETS**

DIA. OF ROUND PIPE (IN.)	L (FT.)	12"	18"	24"
		DEPTH RIPRAP (CU.YDS.)	DEPTH RIPRAP (CU.YDS.)	DEPTH RIPRAP (CU.YDS.)
12	8	2.8	4.1	5.5
15	8	2.9	4.4	5.8
18	10	3.9	5.9	7.8
21	10	4.2	6.3	8.4
24	12	5.5	8.3	11.0
27	12	5.8	8.7	11.6
30	14	7.3	10.9	14.5
36	16	9.2	13.8	18.3
42	18	10.9	16.3	21.7
48	20	12.9	19.4	25.8

**TABLE OF QUANTITIES
RIPRAP AT HERCP OUTLETS
OR BOXES OF EQUIVALENT SPAN WIDTH**

SPAN OF HERCP (IN.)	L (FT.)	LIGHT	MEDIUM	HEAVY
		d50=6"	d50=9"	d50=12"
22	10	3.9	5.9	7.8
30	12	5.5	8.2	10.9
38	14	7.2	10.8	14.3
45	16	9.2	13.7	18.3
53	18	10.9	16.3	21.7
60	20	12.7	19.0	25.4



- NOTES:**
- PIPE SIZES LARGER THAN THOSE SHOWN REQUIRE A SPECIAL DESIGN.
 - LIGHT RIPRAP SHALL BE UNDERLAIN WITH TYPE R FABRIC. MEDIUM AND HEAVY SHALL BE UNDERLAIN W/ TYPE HR FABRIC.
 - ① FOR PIPES GREATER THAN OR EQUAL TO 30" USE 1.5'.

RIP RAP AT OUTLETS
NO SCALE

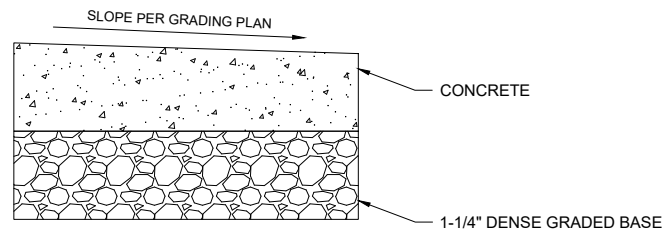
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MADISON, WISCONSIN

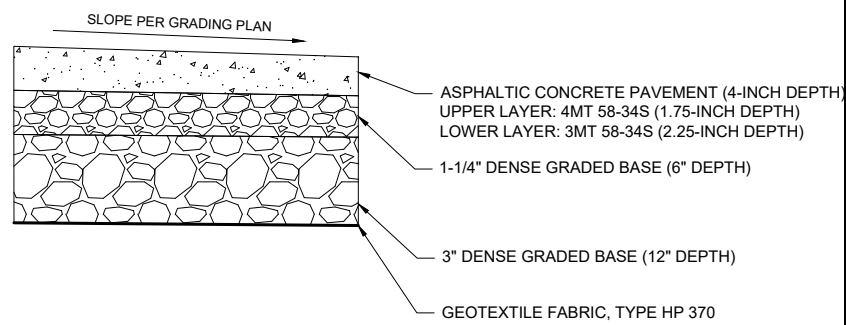
EROSION CONTROL DETAILS

PROJECT NO. 21586000
SHEET C202

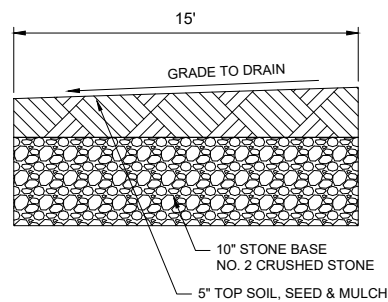


- GENERAL NOTES:**
1. CONCRETE SIDEWALK SHALL BE 5-INCH THICK WITH A MINIMUM OF 5-INCH OF DENSE GRADED BASE.
 2. CONCRETE FOR DUMPSTER PAD SHALL BE 7-INCH THICK WITH A MINIMUM OF 8-INCH OF DENSE GRADED BASE. CONCRETE SHALL ALSO BE REINFORCED WITH WELDED WIRE FABRIC.
 3. CONCRETE FOR SIDEWALK FIRE LANE SHALL BE 7-INCH THICK WITH A MINIMUM OF 12-INCH DENSE GRADED BASE. CONCRETE SHALL ALSO BE REINFORCED WITH WELDED WIRE FABRIC.
 4. SLOPE FOR CONCRETE SIDEWALK SHALL NOT EXCEED 2% CROSS SLOPE.

CONCRETE SIDEWALK TYPICAL SECTION
NOT TO SCALE

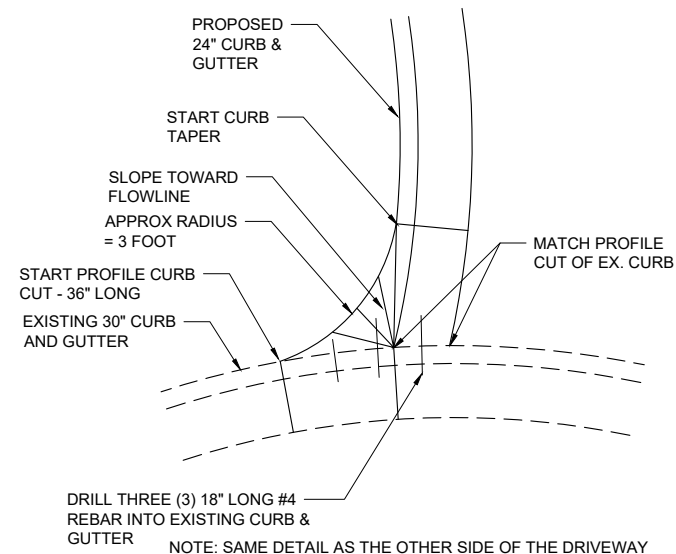


ASPHALTIC CONCRETE PAVEMENT TYPICAL SECTION
NOT TO SCALE

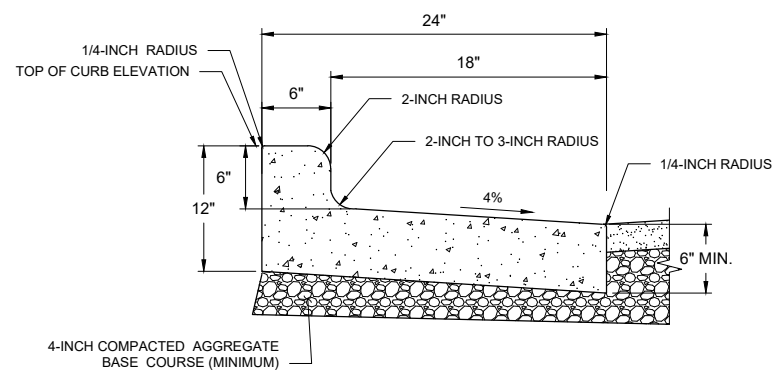


- GENERAL NOTES:**
1. SUBGRADE SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS.
 2. SIDE SLOPES SHALL BE TOPSOILED, SEED, & MULCHED ON ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS.

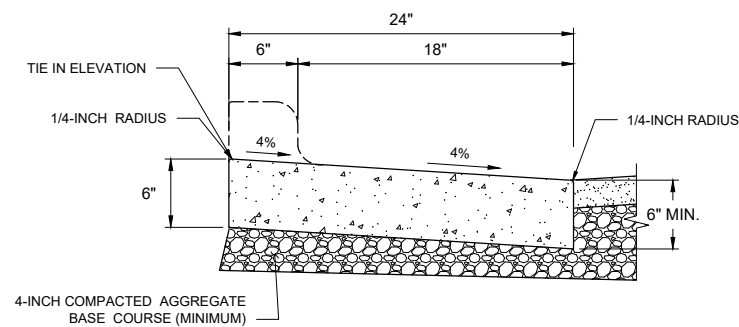
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NOT TO SCALE



CURB CONNECTION DETAIL
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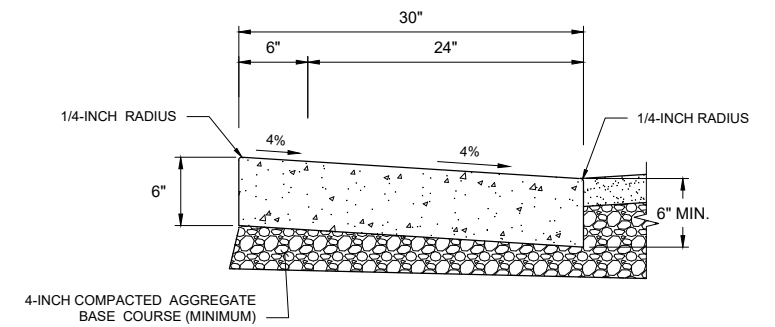


STANDARD SECTION

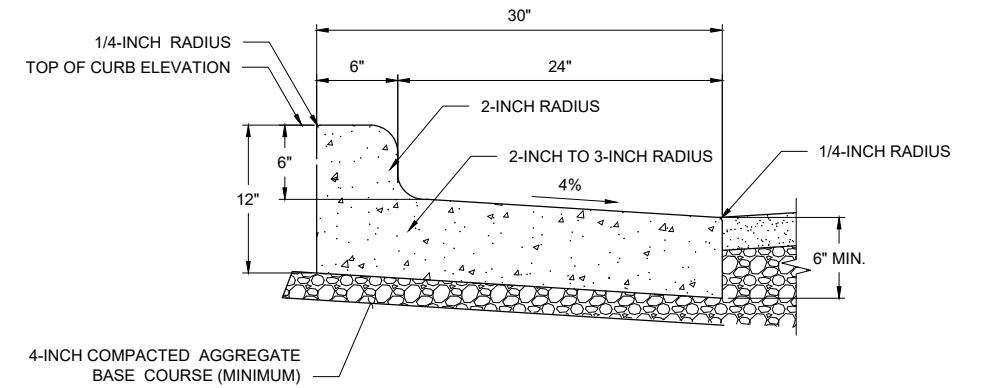


ROLLOVER SECTION

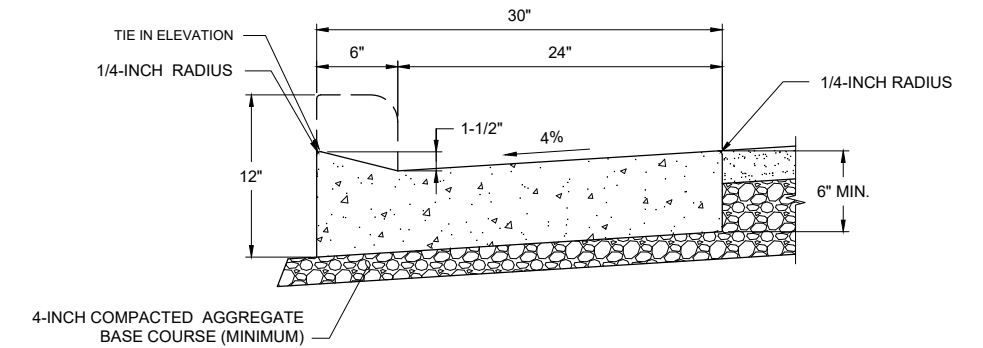
24" CURB AND GUTTER, REJECT DETAIL
NO SCALE



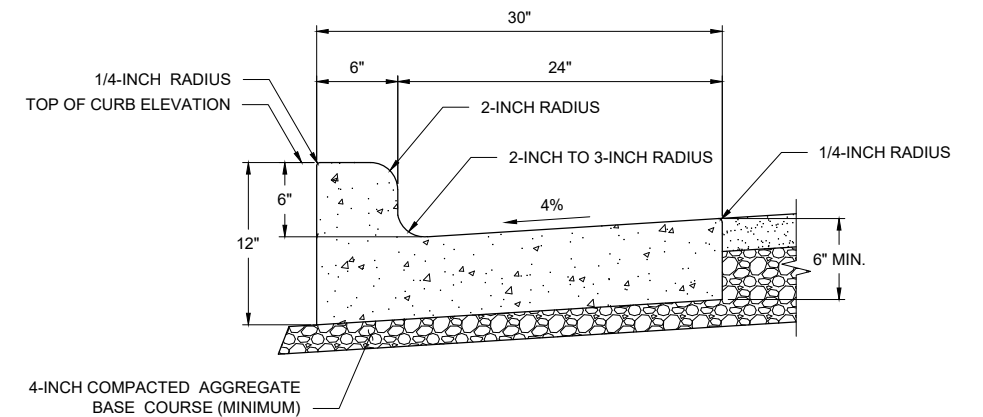
REJECT, ROLLOVER SECTION



REJECT SECTION



STANDARD, ROLLOVER SECTION



STANDARD SECTION

TYPE L CURB AND GUTTER DETAIL
NO SCALE

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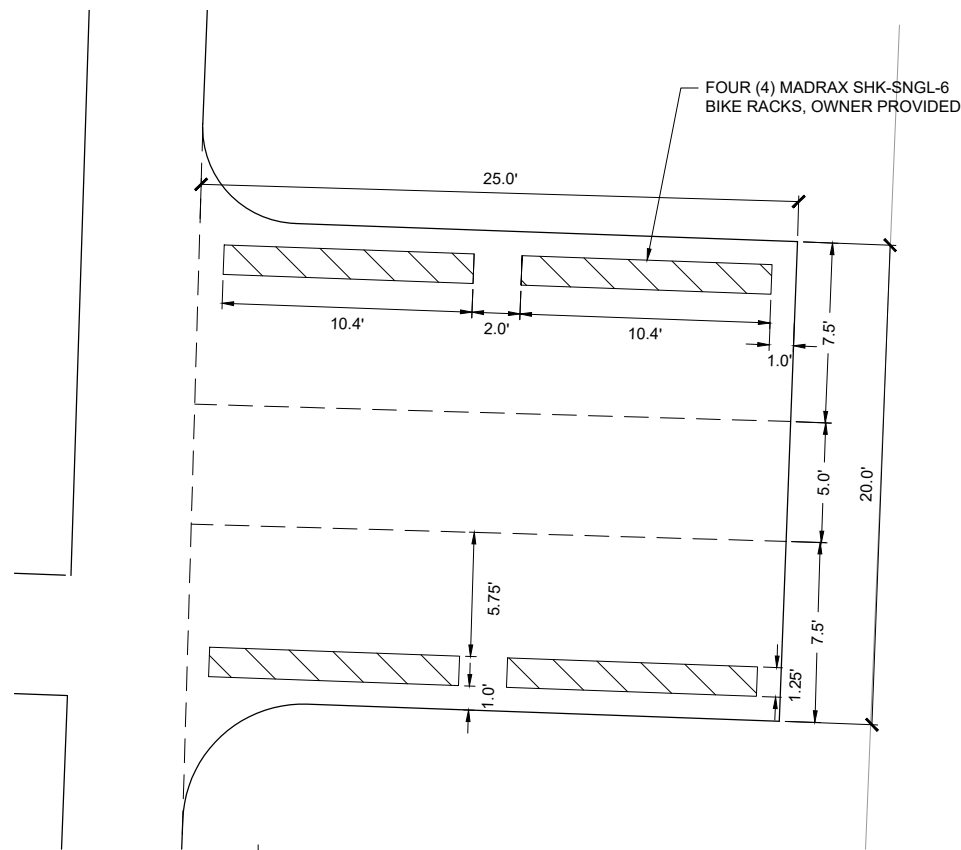


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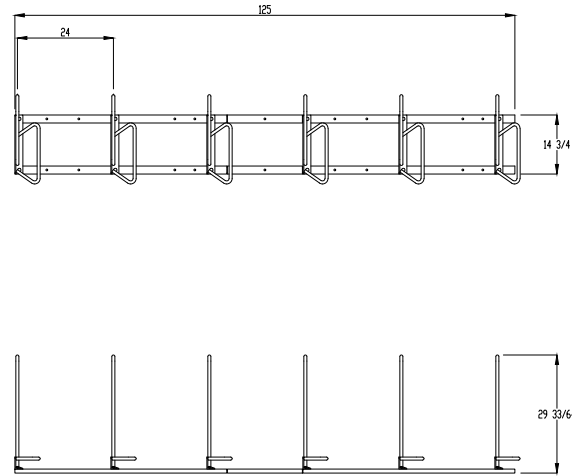
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ISTHMUS MONTESSORI ACADEMY
MADISON, WISCONSIN

STREET DETAILS

PROJECT NO.
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SHEET
C203

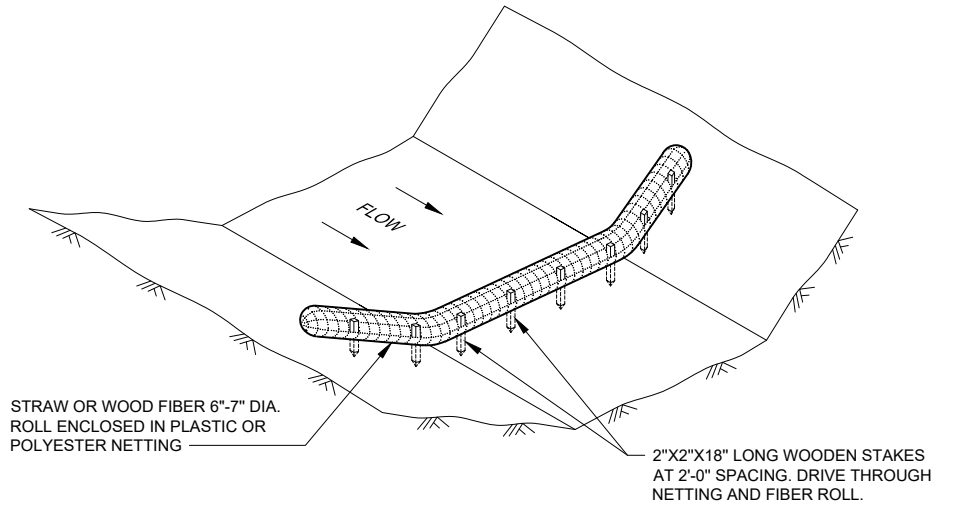


BIKE PARKING PAD SPACING DETAIL
1" = 4'

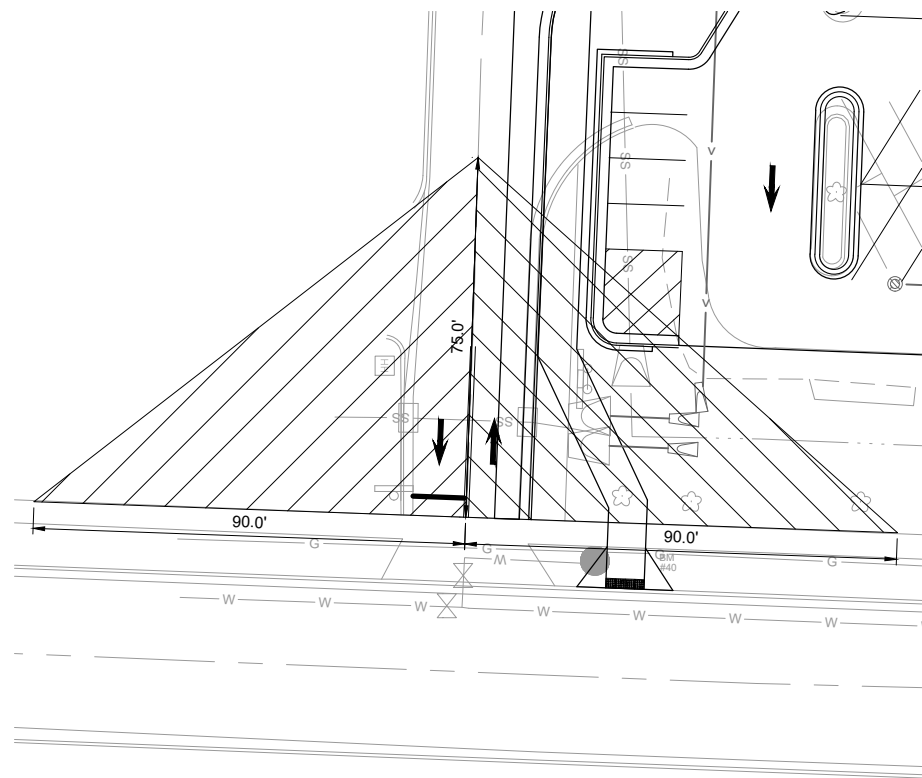


- GENERAL NOTES:
 1. BIKE RACK SHALL BE MADRAX SHK-SNG-6, OWNER PROVIDED.
 2. TOTAL OF FOUR (4) BIKE RACKS REQUIRED

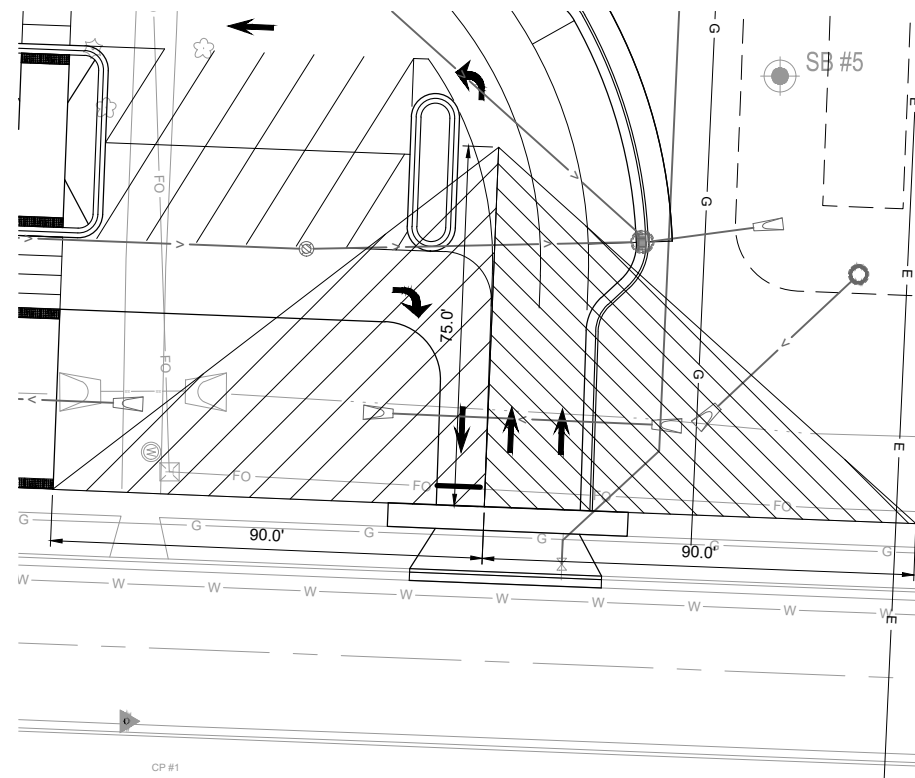
BIKE RACK DIMENSIONING DETAIL
NO SCALE



SEDIMENT LOG DETAIL
NO SCALE



SOUTH DRIVEWAY VISION TRIANGLES DETAIL
1" = 20'



NORTH DRIVEWAY VISION TRIANGLES DETAIL
1" = 20'

PROJECT DATE:	DRAWN BY:	LPS	NO.	DATE	REVISION	BY:
	DESIGNED BY:	BJK				
	CHECKED BY:	Init				

PLOT DATE: 3/11/2022 1:10 PM, G:\2121586\21586000\CADD\Construction Documents\21586000 Details.dwg

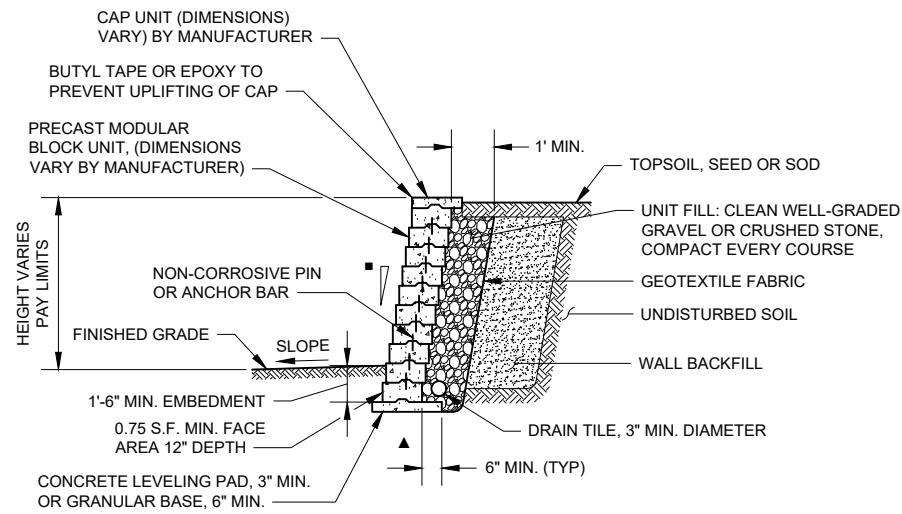


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ISTHMUS MONTESSORI ACADEMY EXPANSION
 ISTHMUS MONTESSORI ACADEMY
 MADISON, WISCONSIN

MISCELLANEOUS DETAILS

PROJECT NO.
21586000
SHEET
C204

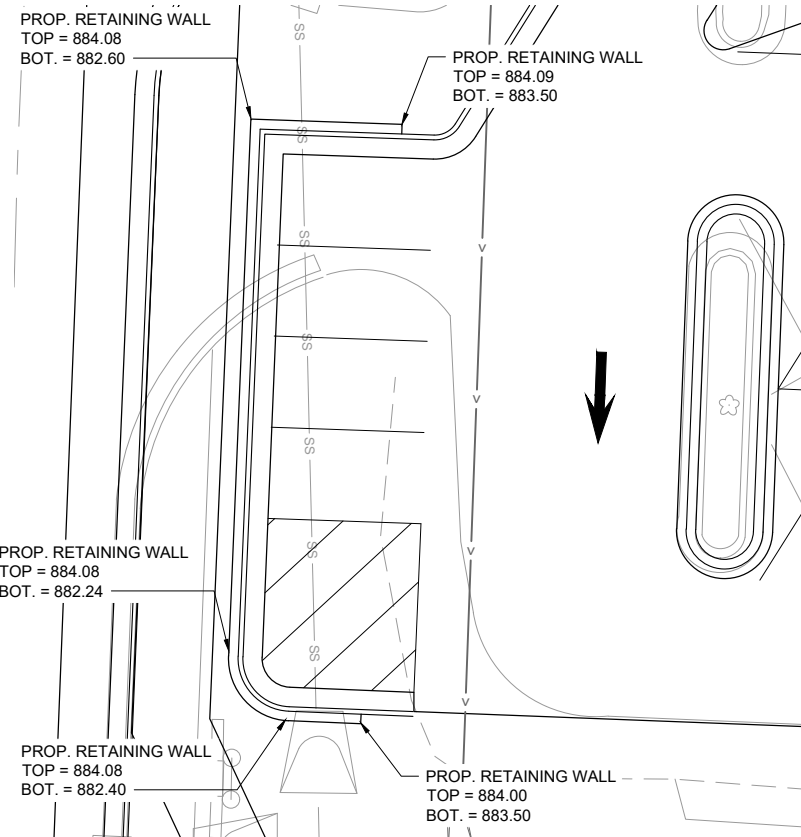


- NOTES:
- PAYMENTS SHALL BE BASED ON EXPOSED FACE ONLY.
 - SLOPE WALL TERMINALS NECESSARY TO BLEND INTO ADJACENT TERRAIN.

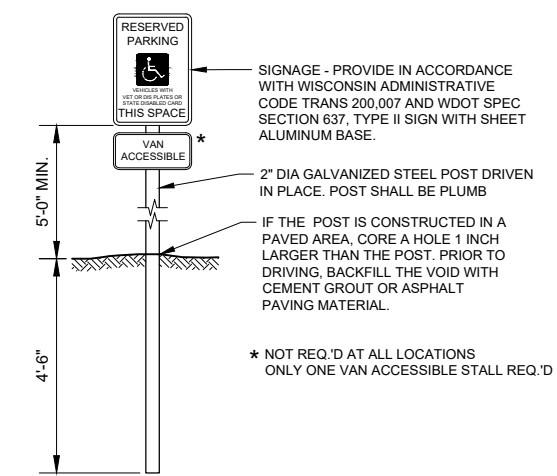
TABLE OF EXTERNAL STABILITY SAFETY FACTORS	
SLIDING	≥ 1.5
OVERTURNING	≥ 2.0
GEOGRID LONG TERM STRENGTH	≥ 1.5
GEOGRID CONNECTION STRENGTH	≥ 1.5
GLOBAL ROTATION	≥ 1.3
BEARING CAPACITY	≥ 2.0

SEGMENTAL RETAINING WALL DETAIL
NO SCALE

- SETBACK VARIES BY MANUFACTURER. MAXIMUM FRONT FACE SLOPE FROM VERTICAL IS 1 HORIZONTAL TO 4 VERTICAL.
- BASE SOIL PARAMETERS: SEE GEOTECHNICAL REPORT INCLUDED IN PROJECT MANUAL.

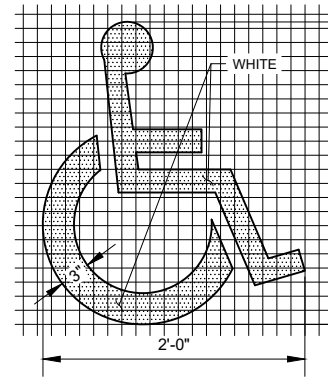


NORTH DRIVEWAY VISION TRIANGLES DETAIL
1" = 20'

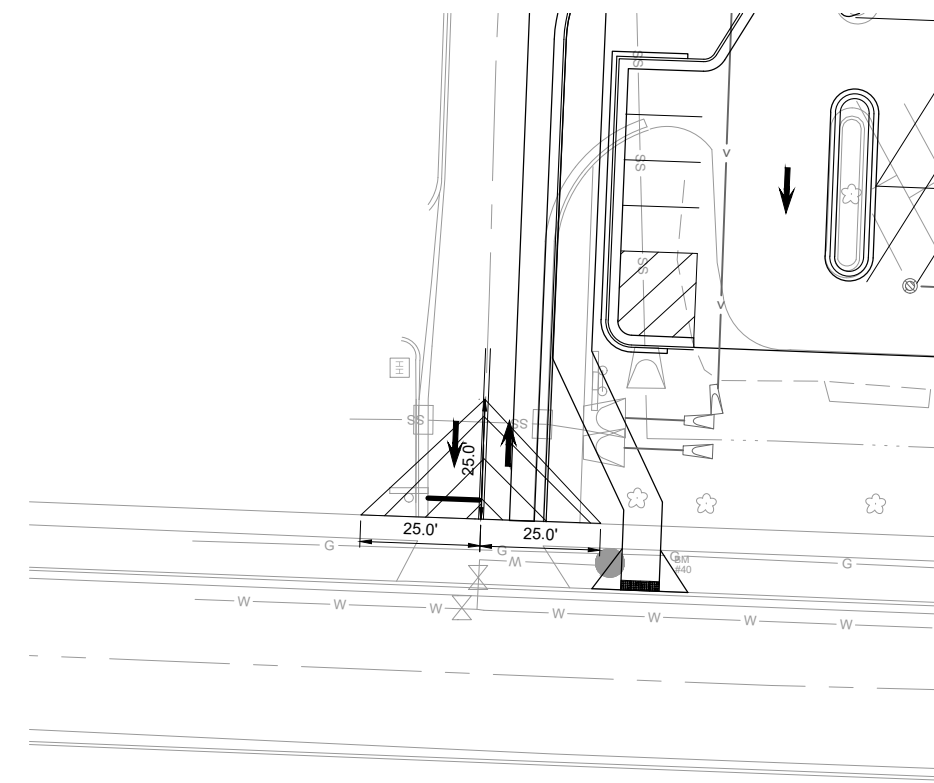


BARRIER FREE SIGNAGE
NO SCALE

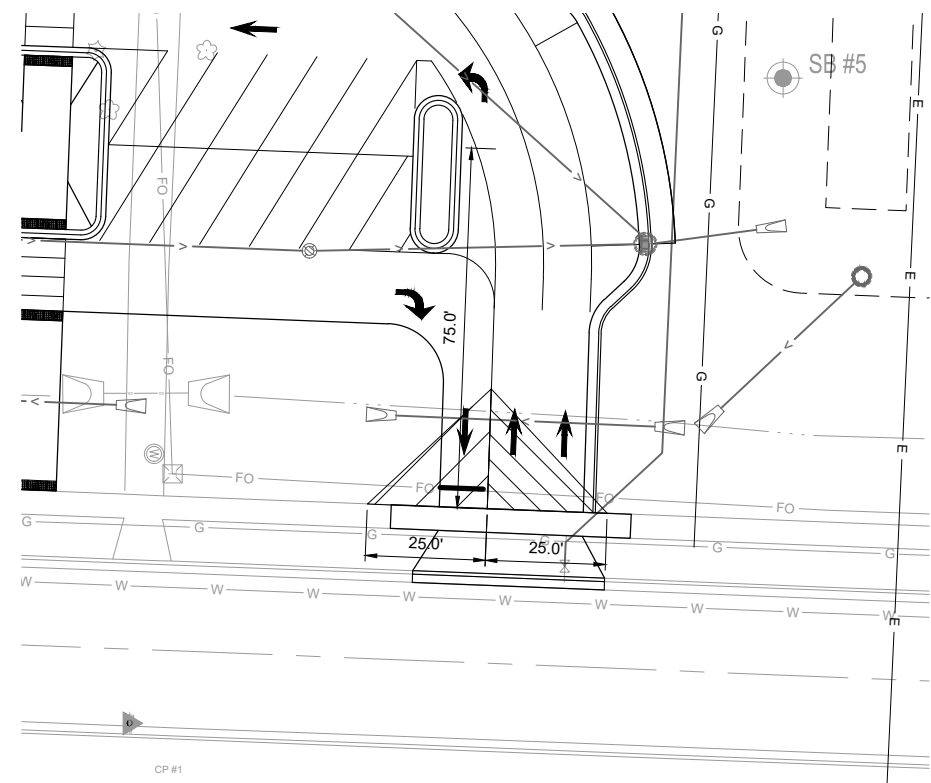
- GENERAL NOTES:
- DETAILS OF INSTALLATION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE SPECIFICATIONS.
 - A DETAILED DRAWING OF THE DISABLED PARKING SYMBOL IS ILLUSTRATED IN THE "STANDARD HIGHWAY SIGNS MANUAL" BY THE FEDERAL HIGHWAY ADMINISTRATION.
 - WDOT SPEC. MEANS THE STATE OF WISCONSIN STANDARD SPECIFICATION FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, AS AMENDED BY THE MOST CURRENT INTERIM SUPPLEMENTAL SPECIFICATION.
 - PROVIDE DISABLED PARKING STALLS AT LOCATIONS SHOWN ON THE DRAWINGS. STALL AND ACCESS ISLE DIMENSIONS SHALL BE AS SHOWN ON THE DETAIL UNLESS INDICATED OTHERWISE ON THE DRAWING.
 - PROVIDE A DISABLED SYMBOL AND BARRIER FREE SIGNAGE FOR EACH STALL SHOWN ON THE DRAWING.
 - PROVIDE WHEEL STOPS WHEN SHOWN ON THE DRAWINGS.
 - THE MAXIMUM SURFACE SLOPE, ACROSS STALLS OR ACCESSIBLE ROUTES, IN ANY DIRECTION, SHALL BE 2%.



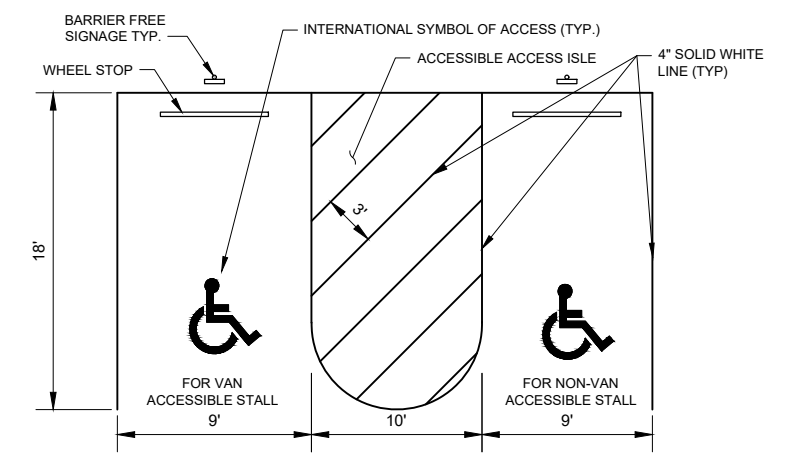
INTERNATIONAL SYMBOL OF ACCESS
NO SCALE



SOUTH DRIVEWAY VISION TRIANGLES DETAIL
1" = 20'



NORTH DRIVEWAY VISION TRIANGLES DETAIL
1" = 20'



ACCESSIBLE PARKING STALL
NO SCALE

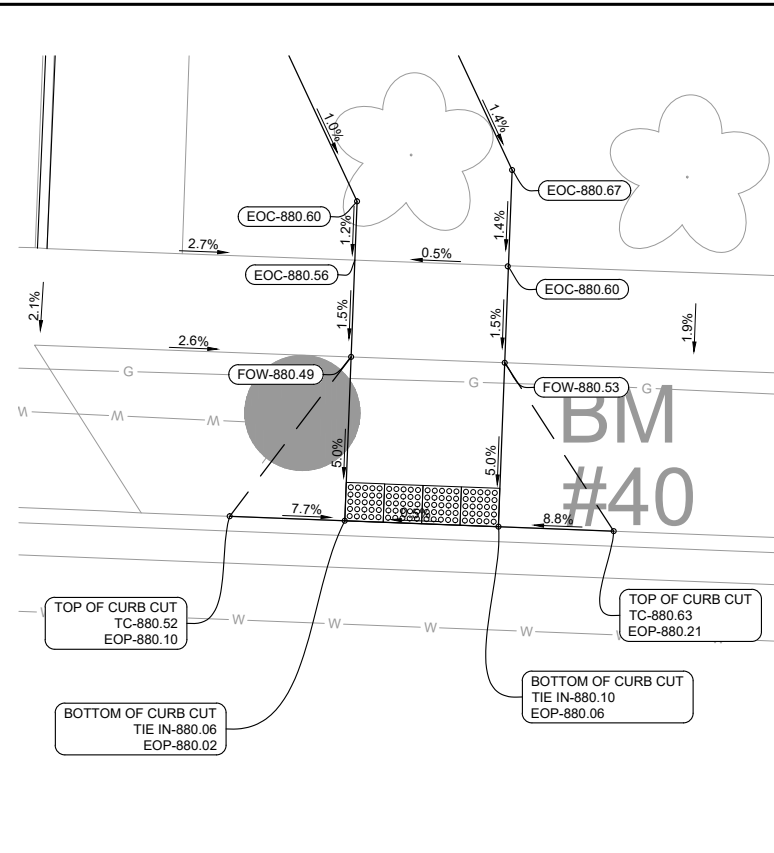
PROJECT DATE:	DRAWN BY:	NO.	DATE	REVISION	BY:
	LPS				
	BJK				
	Init				

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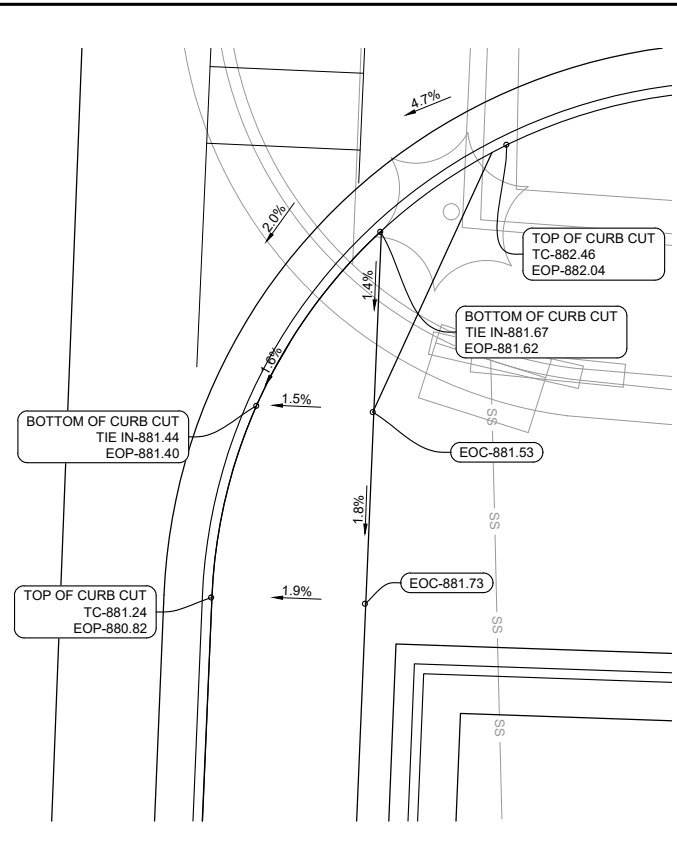
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ISTHMUS MONTESSORI ACADEMY
MADISON, WISCONSIN

MISCELLANEOUS DETAILS

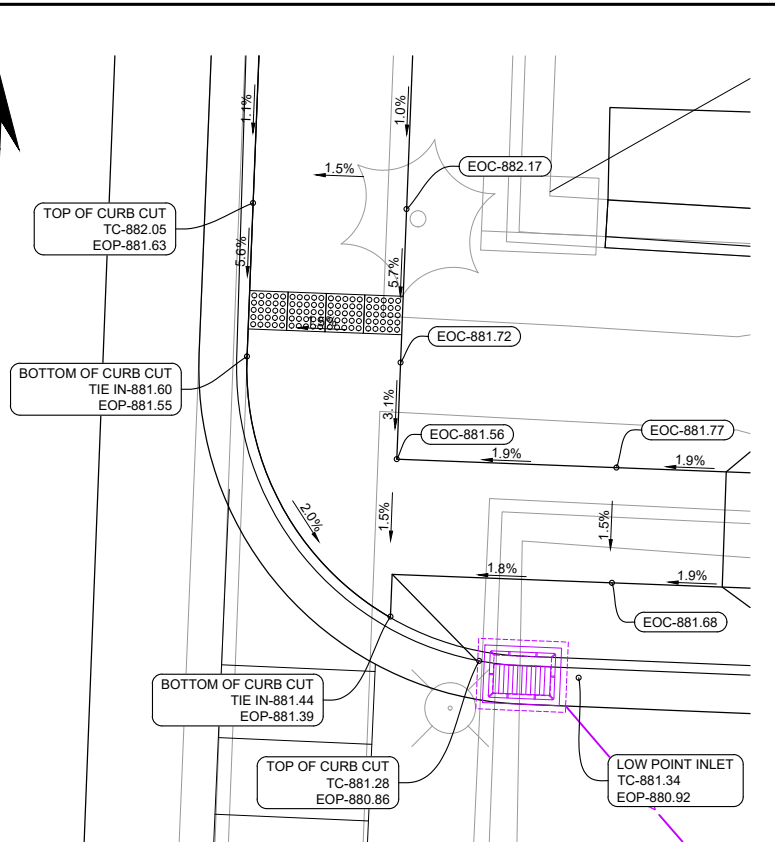
PROJECT NO.
21586000
SHEET
C205



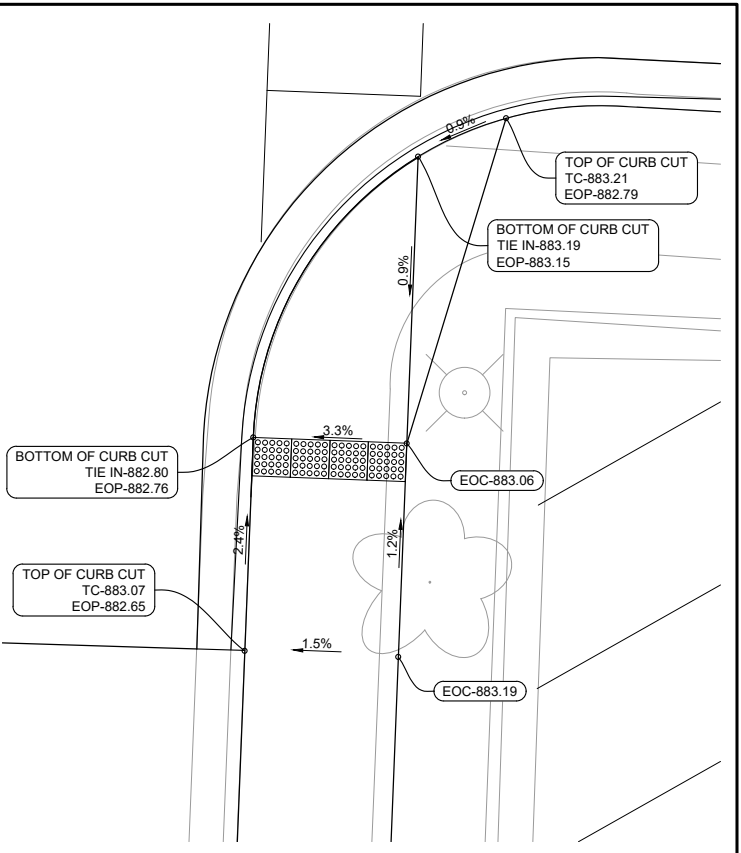
CURB RAMP #1 DETAIL
1" = 5'



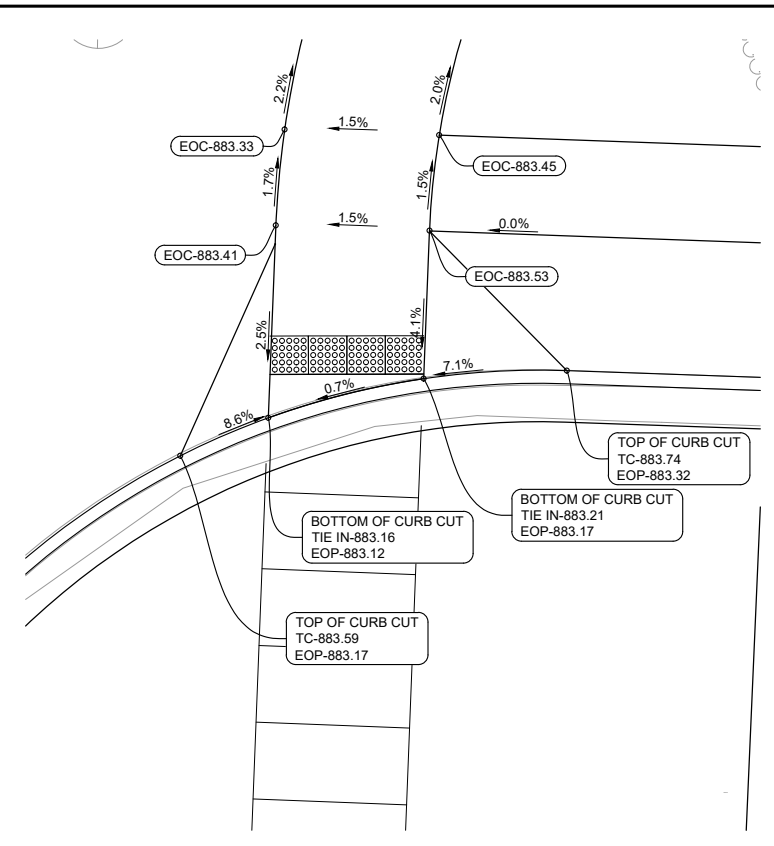
CURB RAMP #2 DETAIL
1" = 5'



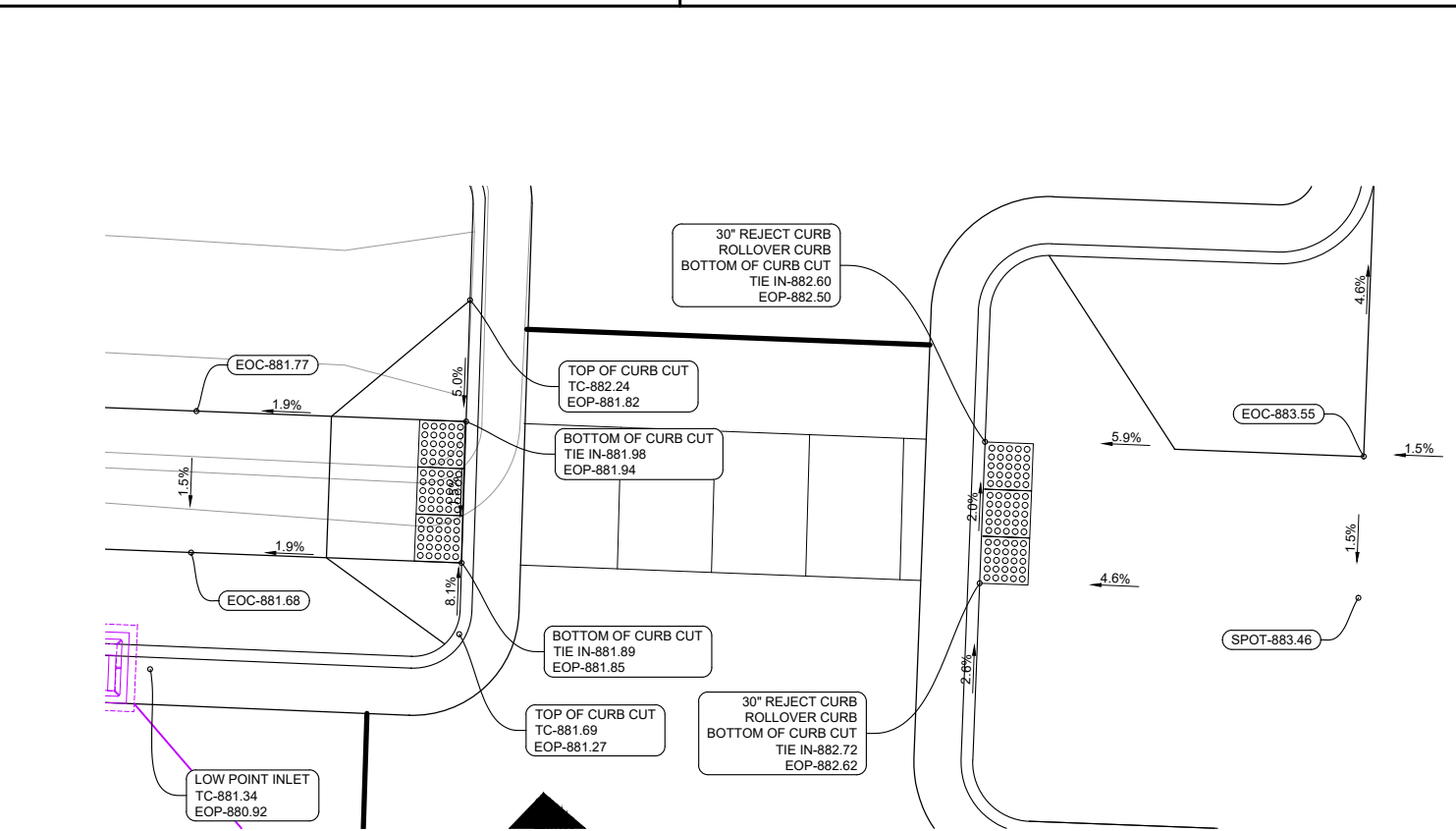
CURB RAMP #3 DETAIL
1" = 5'



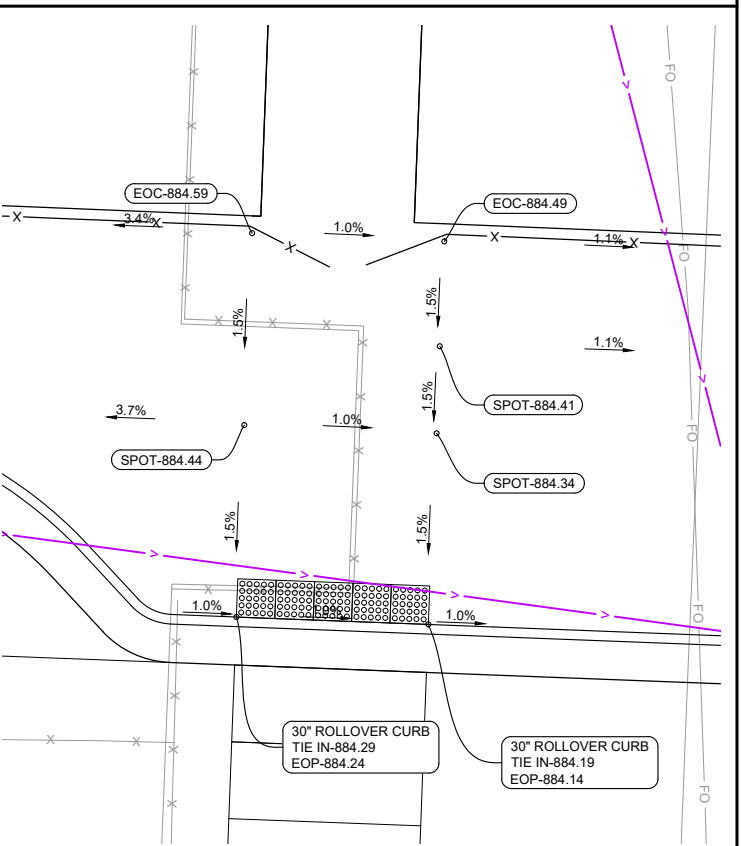
CURB RAMP #4 DETAIL
1" = 5'



CURB RAMP #5 DETAIL
1" = 5'



CURB RAMP #6 DETAIL
1" = 5'



CURB RAMP #7 DETAIL
1" = 5'

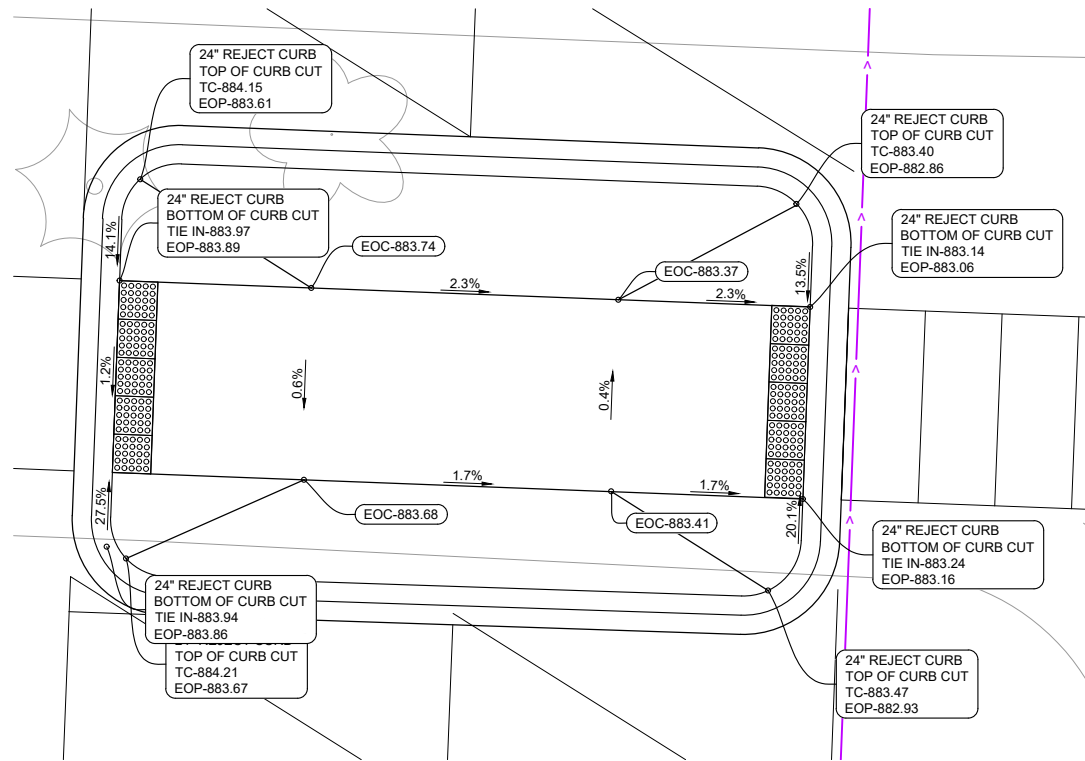
PROJECT DATE:	NO.	DATE	REVISION	BY
3/11/2022 1:11 PM, G:\2121586\21586000\CADD\Construction Documents\21586000 Curb Ramp Details.dwg				

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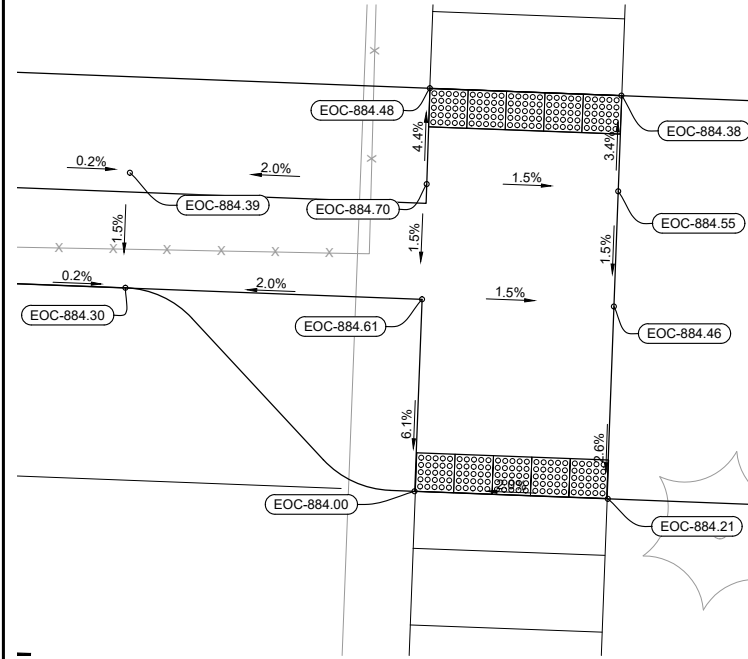
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ISTHMUS MONTESSORI ACADEMY
MADISON, WISCONSIN

CURB RAMP GRADING DETAILS

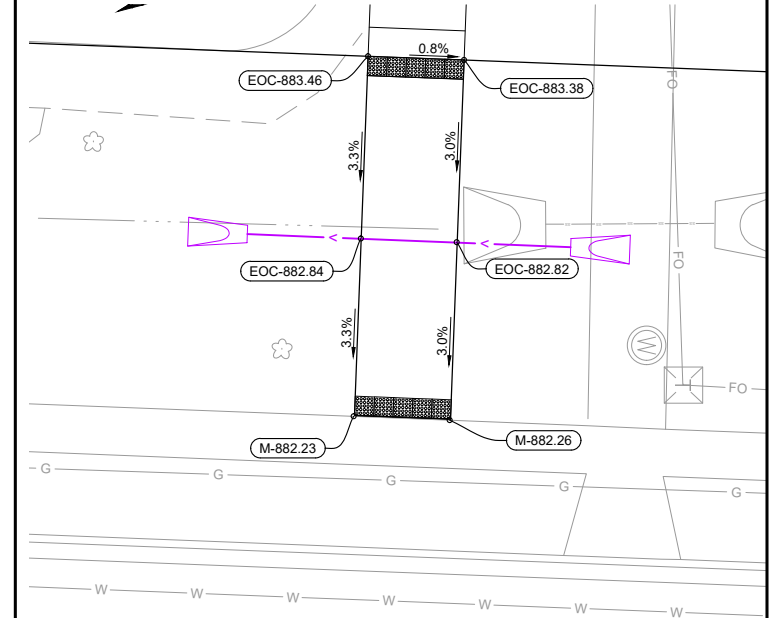
PROJECT NO.
21586000
SHEET
C206




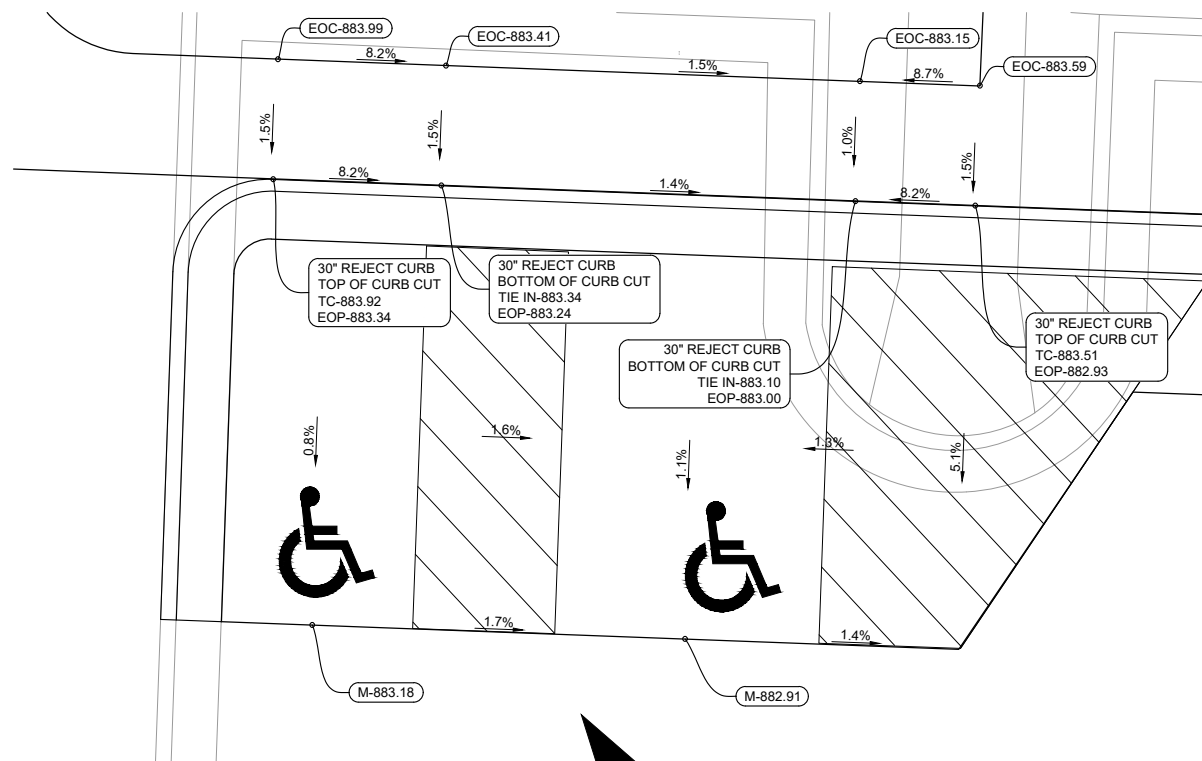
 CURB RAMP #8 DETAIL
1" = 5'




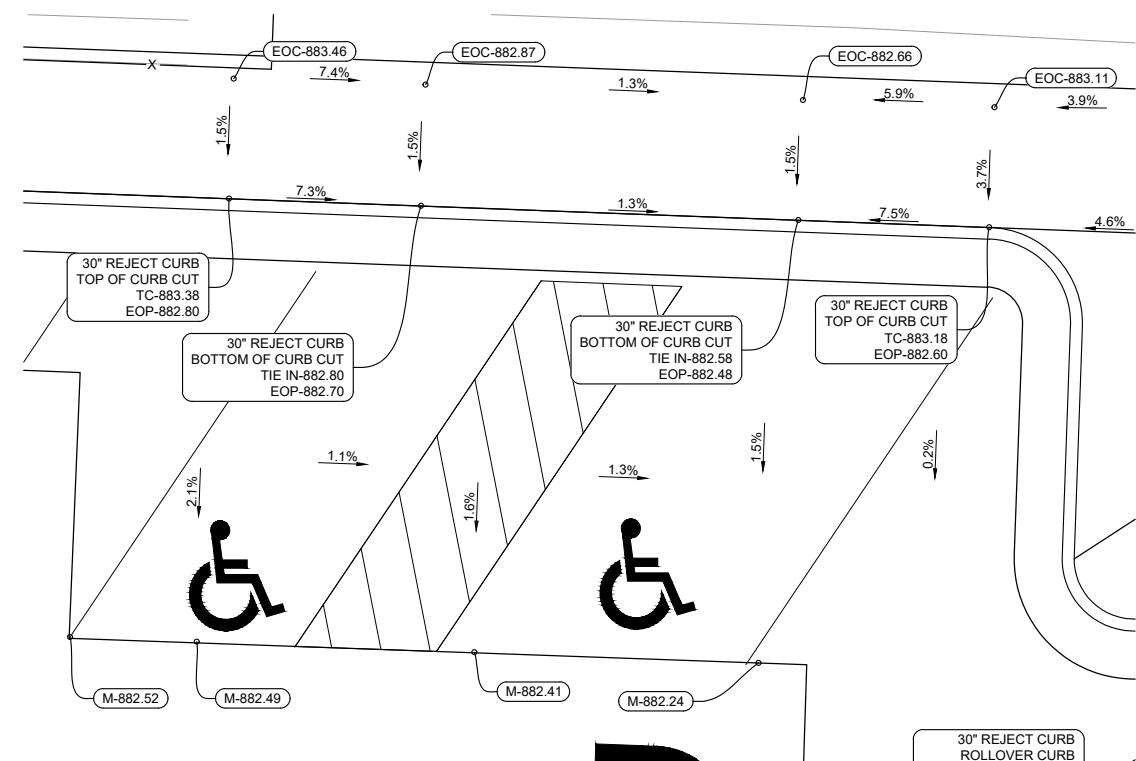
 CURB RAMP #9 DETAIL
1" = 5'




 CURB RAMP #10 DETAIL
1" = 5'



 ACCESSIBLE PARKING #1 DETAIL
1" = 4'



 ACCESSIBLE PARKING #1 DETAIL
1" = 4'

PROJECT DATE:	DRAWN BY:	NO.	DATE	REVISION	BY:
	LPS				
	BJK				
	Init				

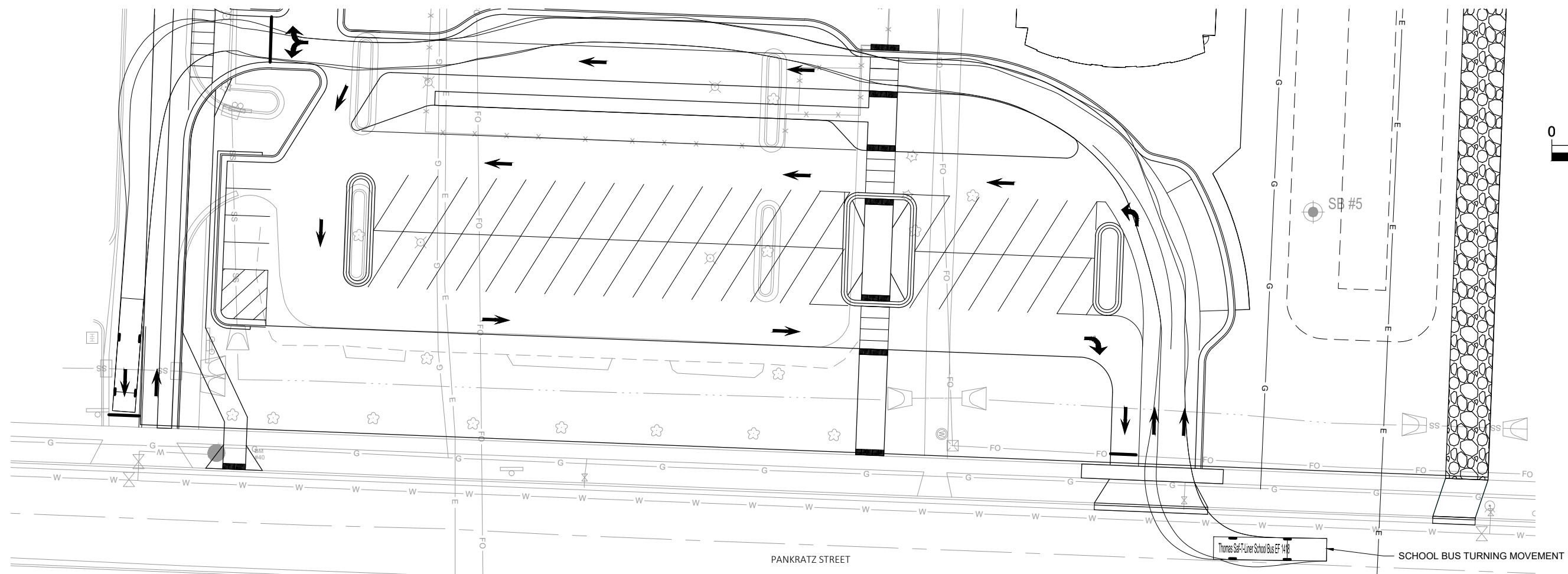
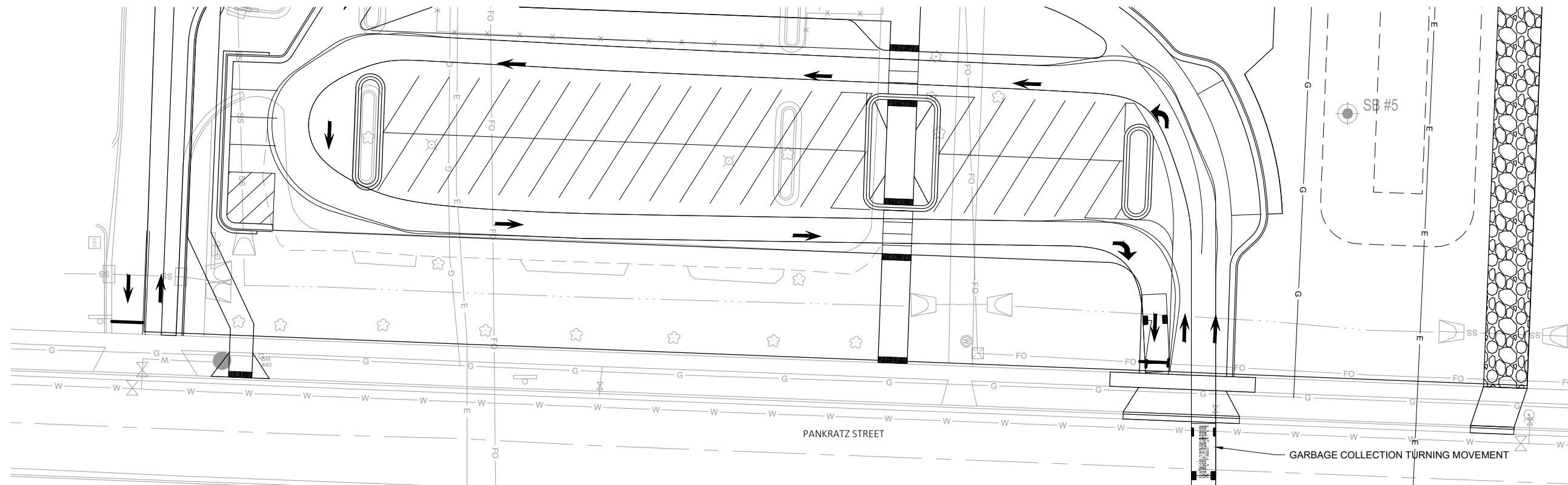


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CURB RAMP GRADING DETAILS

PROJECT NO.
21586000
SHEET
C207



PROJECT DATE:	NO.	DATE	REVISION	BY
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DESIGNED BY: BJK				
CHECKED BY: Init				



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VEHICLE TURNING MOVEMENT DETAIL

PROJECT NO.
21586000
 SHEET
C208

PLOT DATE: 3/11/2022 1:12 PM, G:\2121586\21586000\CADD\C3D\21586000 Design - Turning Movements.dwg



City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506
 Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address:

Contact Name & Phone #:

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered , fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered , fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A

Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.

Attach an additional sheet if further explanation is required for any answers.

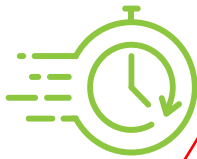
This worksheet is based on **MGO 34.503** and **IFC 2015 Edition Chapter 5 and Appendix D**; please see the codes for further information.

The Commercial & Industrial Collection



Beauty.
Durability.
Functionality.
Security.





**ASCOT
3 RAIL**



Steps #1 & #4 The Commercial & Industrial Grades

5 Quick Steps to Design Your Fence

Grade Size	#1
Style of Fence	#2
Color Choice	#3
Post Size	#4
Fence Options	#5

BLACK

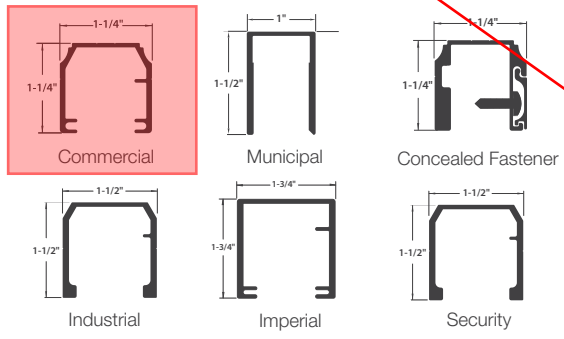
The Commercial & Industrial Collection by Alumi-Guard offers six alternatives for you to consider regarding the individual rail and picket dimensions of your fencing system. Choose the option that meets your budget and priorities.

Commercial — The Alumi-Guard Commercial, Concealed Fastener and Municipal panels have an elegant appearance with superior performance, providing protection for any outdoor space.

- Commercial and Concealed — 1¼" x 1¼" rail
- Municipal — 1½" x 1" rail

- ¾" picket and 2" or 2½" posts
- Commercial 6' wide sections
- Municipal and Concealed Fastener 6' and 8' wide sections

Grade Choices

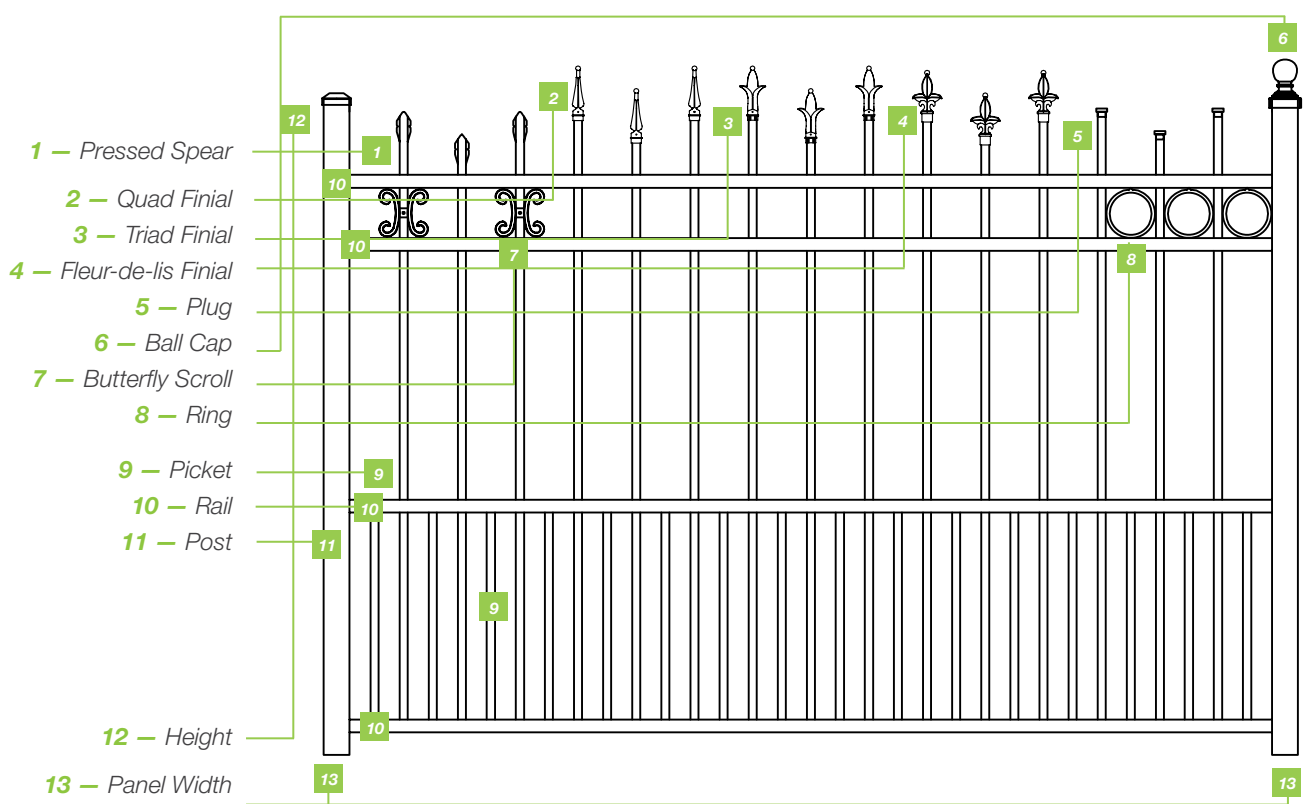


Industrial — The Alumi-Guard Industrial, Imperial and Security grade panels provide additional strength and protection. Imperial rails are available with the security grade pickets when additional strength is needed.

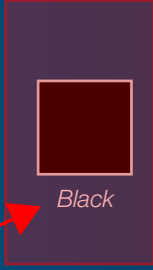
- Industrial and Security 1½" x 1½" rail
- Imperial 1¾" x 1¾" rail
- 1" x 1" picket and 2½" posts or 3" posts
- 6' and 8' wide sections with Industrial, Imperial and Security grades

**NEED GATES. NEED TO VERIFY
HARDWARE W/ OWNER**

Step #5 Fence Options



#2 — #3 Fencing Collection Styles & Colors



Black



Matte Black



Florida Bronze



Matte Bronze



Light Bronze



White

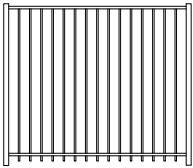


Gray

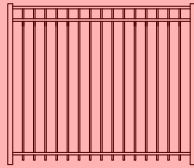
Colors may vary in catalog. Please refer to color chips for actual color.

Flat Top Ascot • Canterbury • Fairmount

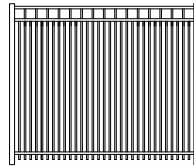
Ascot 2 Rail



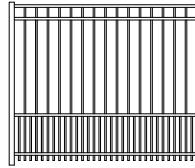
Ascot 3 Rail



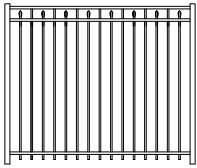
Ascot Royale



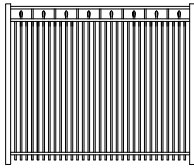
Ascot Puppy Picket



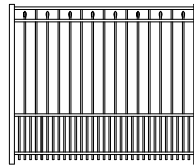
Canterbury



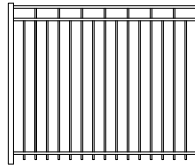
Canterbury Royale



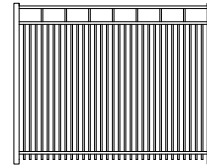
Canterbury Puppy Picket



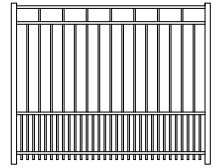
Fairmount



Fairmount Royale

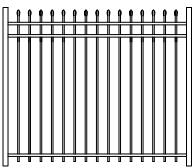


Fairmount Puppy Picket

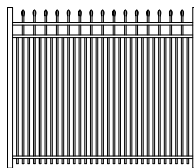


Pressed Spear Belmont • Hamilton

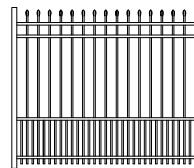
Belmont



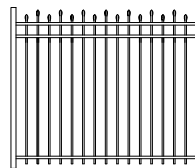
Belmont Royale



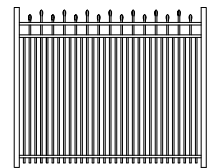
Belmont Puppy Picket



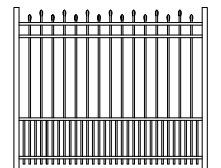
Hamilton



Hamilton Royale

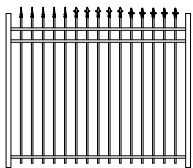


Hamilton Puppy Picket

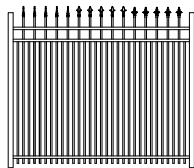


Premier Victoria • Newcastle I • Newcastle II

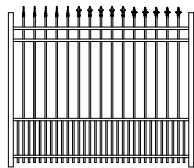
Victoria



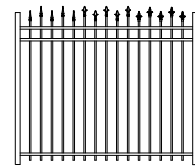
Victoria Royale



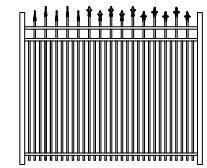
Victoria Puppy Picket



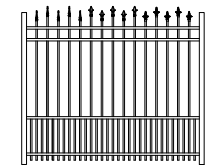
Victoria Staggered



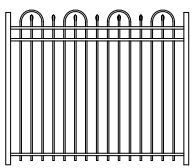
Victoria Staggered Royale



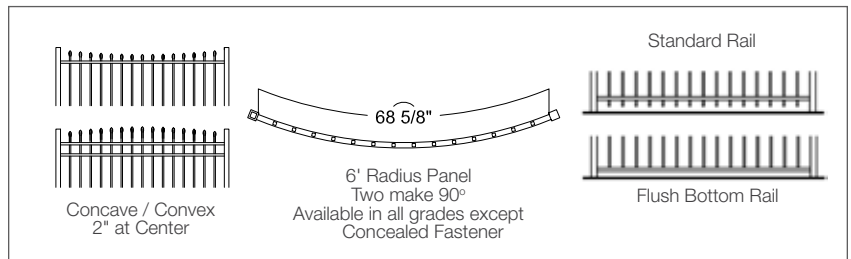
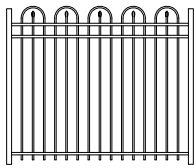
Victoria Staggered Puppy Picket



Newcastle I

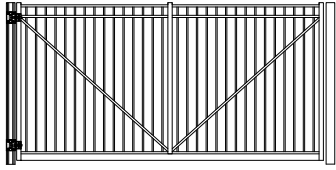


Newcastle II

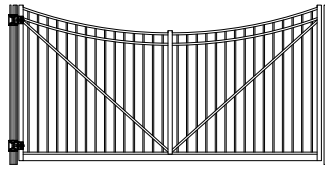


*Newcastle I and Newcastle II are available in Residential/Squire Grade Only

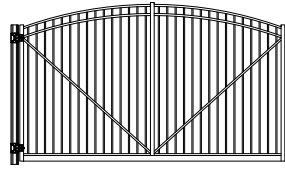
Swing Arch 1



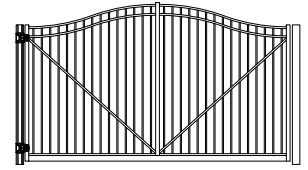
Swing Arch 2



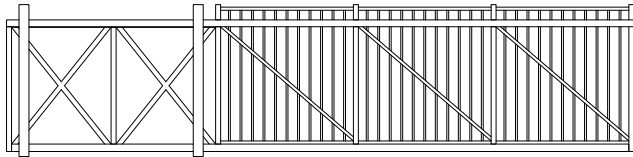
Swing Arch 3



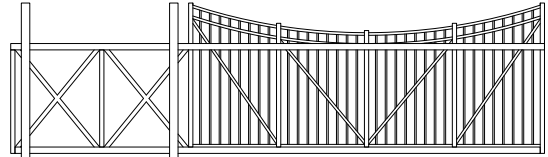
Swing Arch 4



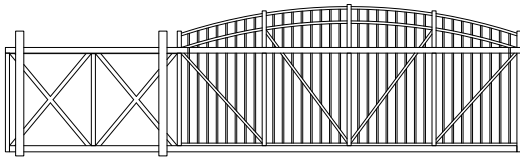
Cantilever Arch 1



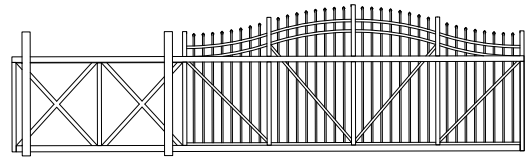
Cantilever Arch 2



Cantilever Arch 3



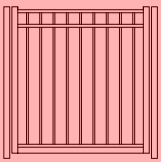
Cantilever Arch 4



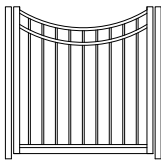
Walk Gates

Mélange

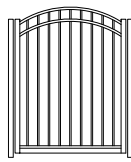
Arch 1



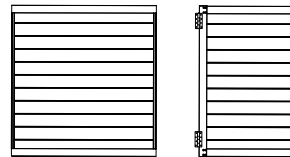
Arch 2



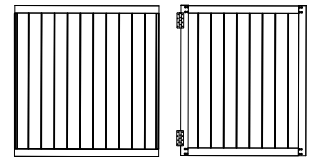
Arch 3



Horizontal Panel



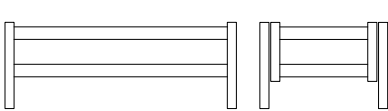
Vertical Panel



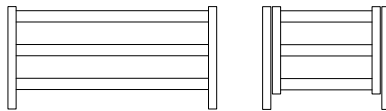
Chariot Post & Rail

Security

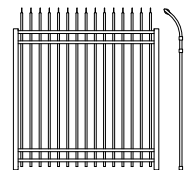
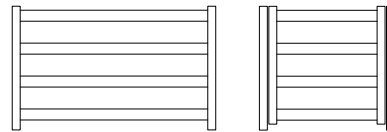
2 Rail Panel/Gate



Rail 3 Rail Panel/Gate



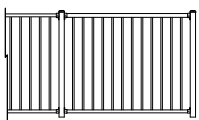
4 Rail Panel/Gate



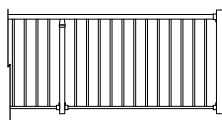
Guardrail/Handrail

Fortress

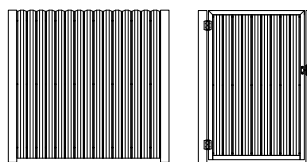
Post/Panel Railing



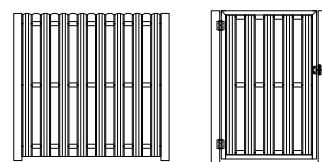
Continuous Top Cap Railing



Board on Board



Shadowbox



- Pre-Built Panels Available Post/Panel or Continuous
- Boxed Kits only Available Post/Panel
- Colors: Matte Black, Matte Bronze and White