

BAUER BUILDERS SPORTS COMPLEX

4845 TRADEWINDS PARKWAY,
MADISON, WI



3D VIEW



CITY MAP



STATE MAP

PROJECT/BUILDING DATA	
NEW 1 STORY FUTSAL SPORTING COMPLEX WITH MEZZANINE LEVEL	
FIRST FLOOR AREA	= 25,927 GSF
FIRST FLOOR PATIO AREA	= 280 GSF
MEZZANINE FLOOR AREA	= 3,942 GSF
TOTAL BUILDING AREA	= 29,769 GSF
PARKING COUNTS	
TOTAL PARKING SPACES = 96	
TOTAL ACCESSIBLE PARKING SPACES = 6	

- G1 - COVER SHEET
- G2 - SITE PHOTOS
- G3 - SITE PLAN CONTEX
- C100
- C200
- C300
- LANDSCAPE PLAN
- LIGHTING LAYOUT
- LIGHTING LAYOUT
- AS1.1 - SITE PLAN
- A1 - FIRST FLOOR PLAN
- A2 - MEZZANINE PLAN
- A3a - EXTERIOR ELEVATION
- A3b - EXTERIOR ELEVATION
- A4 - EXTERIOR RENDERINGS
- A5 - EXTERIOR RENDERINGS
- A6 - MATERIAL BOARD
- COVRIT CUTSHEETS
- AS1.1 - COVRIT LOCATIONS
- M103 - ROOF HVAC

Architecture : Dimension IV - Madison Design Group

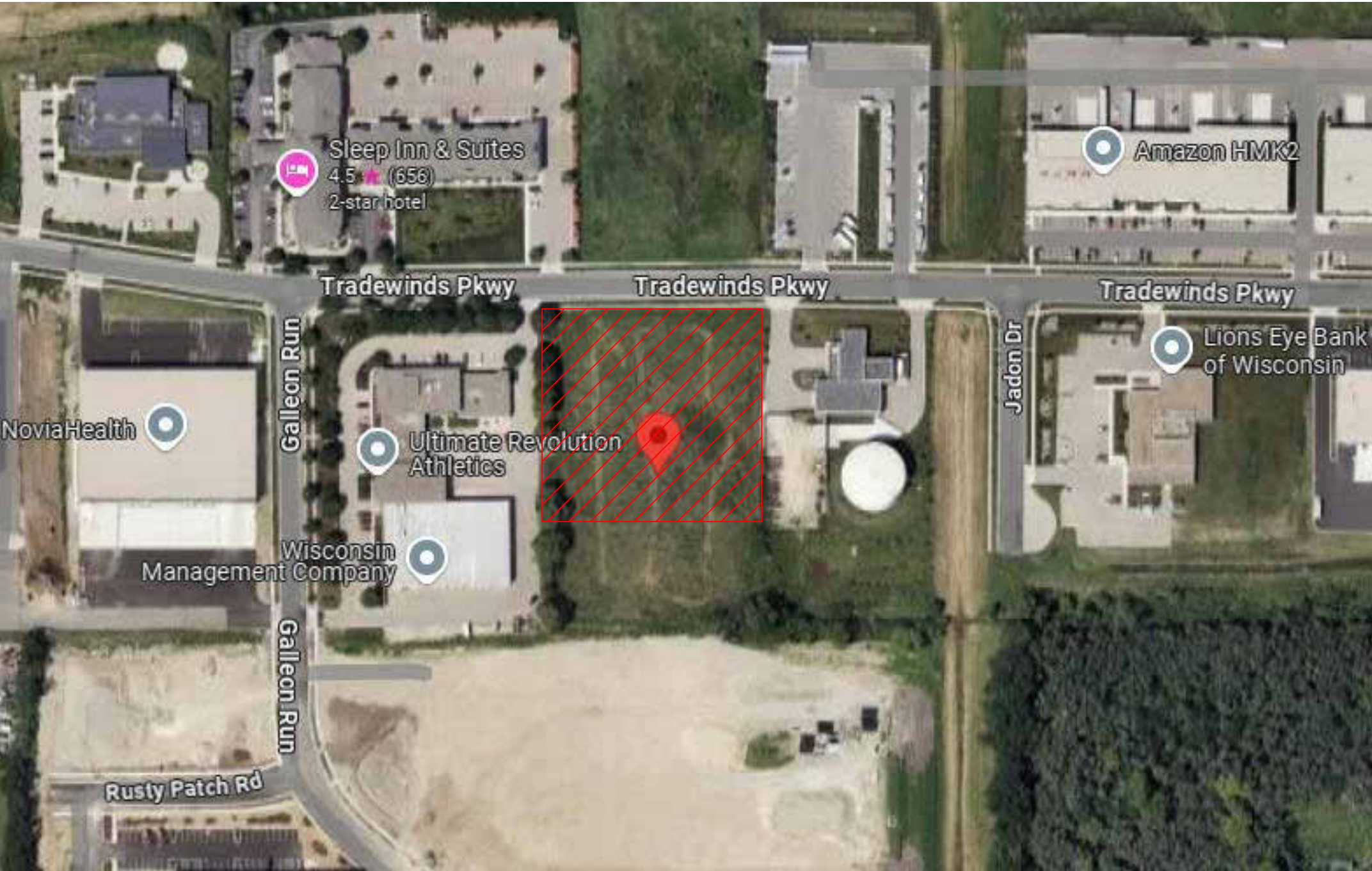
6515 Grand Teton Plaza, Suite 120, Madison, WI 53719

p: 608.829.4444 www.dimensionivmadison.com

General Contractor: Bauer Builders

2866 Agriculture Dr, Madison, WI 53718

p: 608.222.8941 bauerbuildersinc.com



NEIGHBORHOOD MAP

UDC APPROVAL

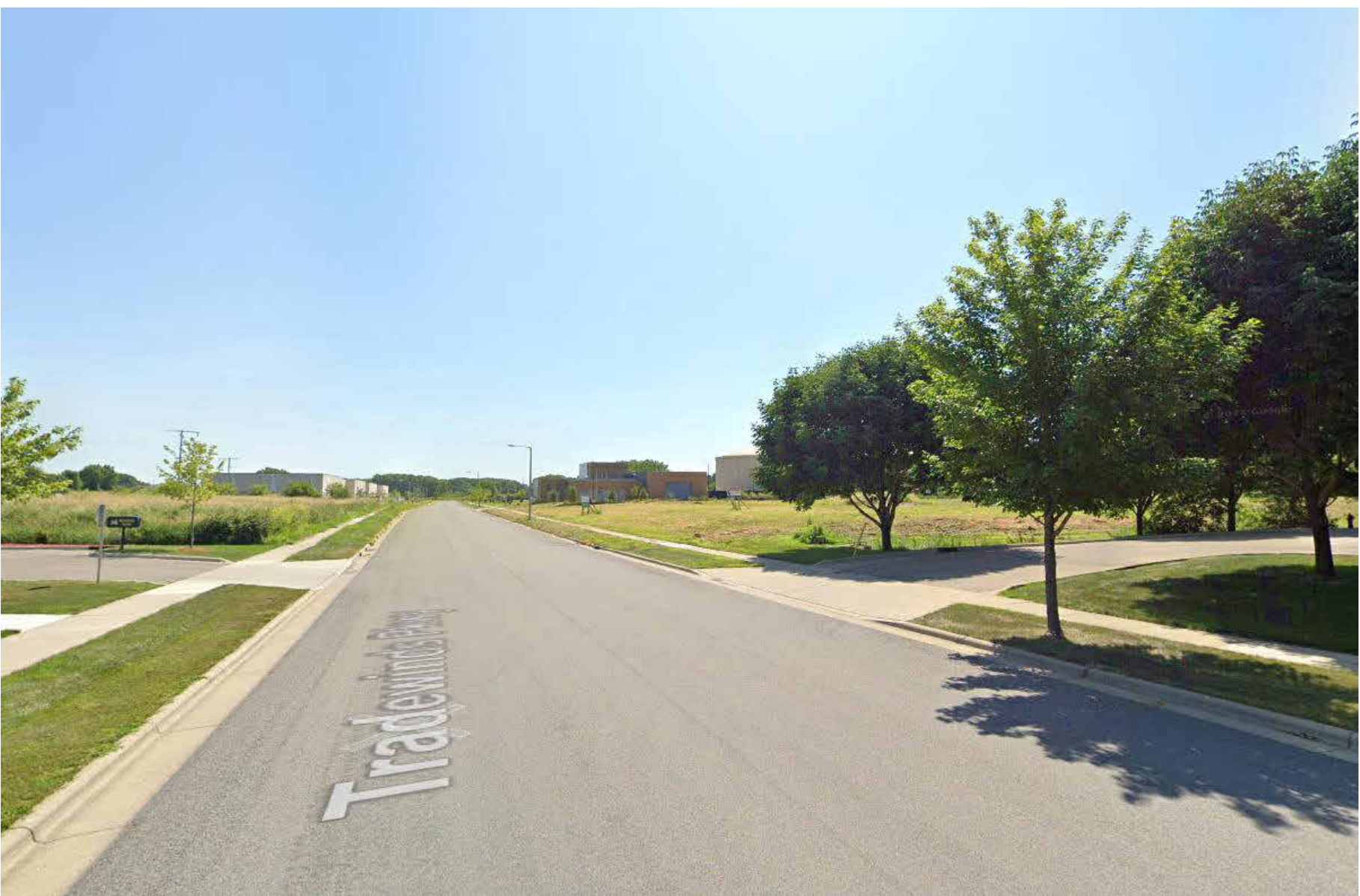
10/21/2024

PROJECT # 23078

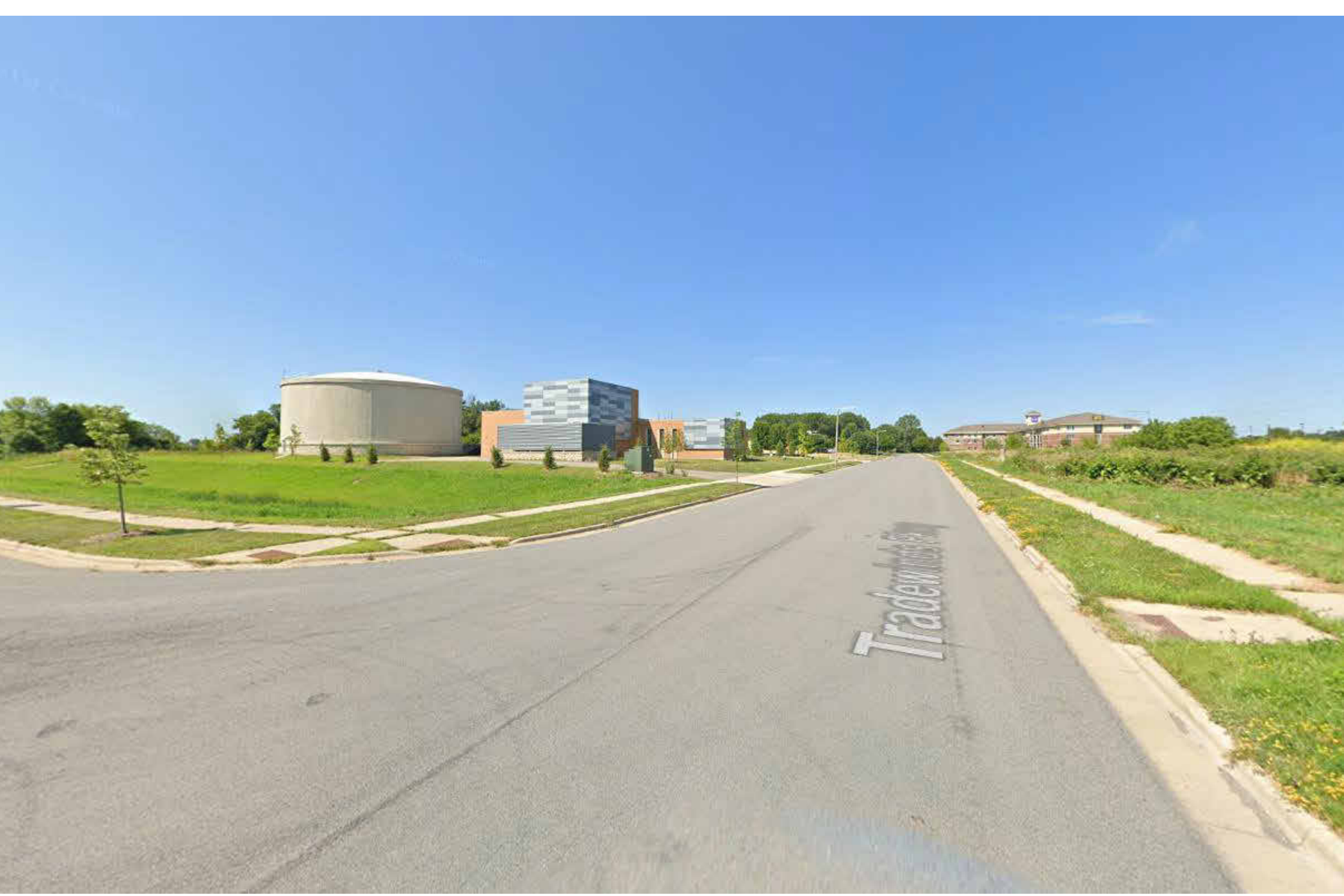
G1



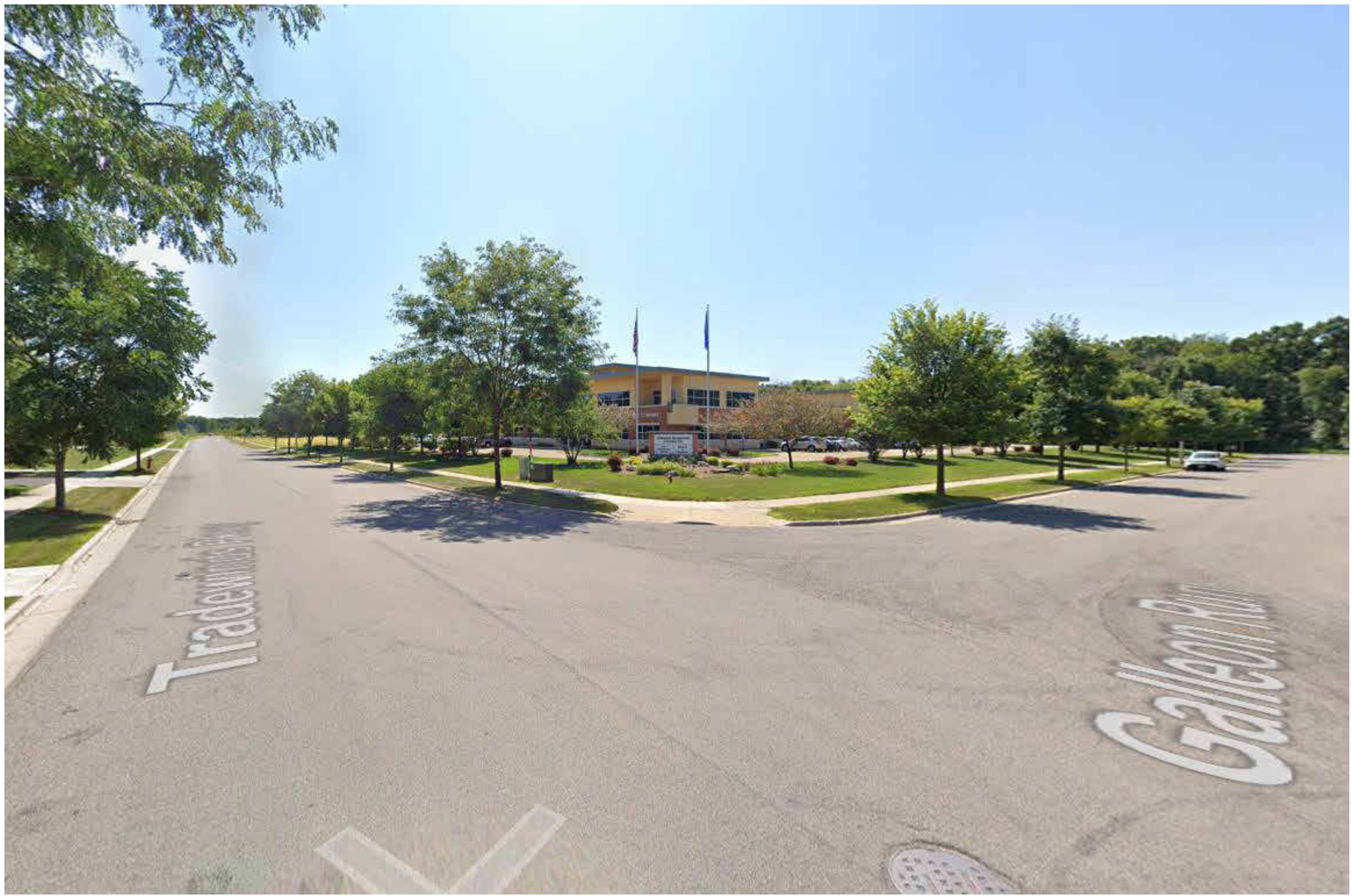
GENERAL VIEW FROM TRADEWINDS PKWY N



VIEW FROM TRADEWINDS PKWY NW



VIEW FROM TRADEWINDS PKWY NE



VIEW FROM GALLEON RUN NW



VIEW FROM GALLEON RUN SW



AERIAL VIEW LOOKING NORTH WEST

**BAUER BUILDERS
SPORTS COMPLEX**

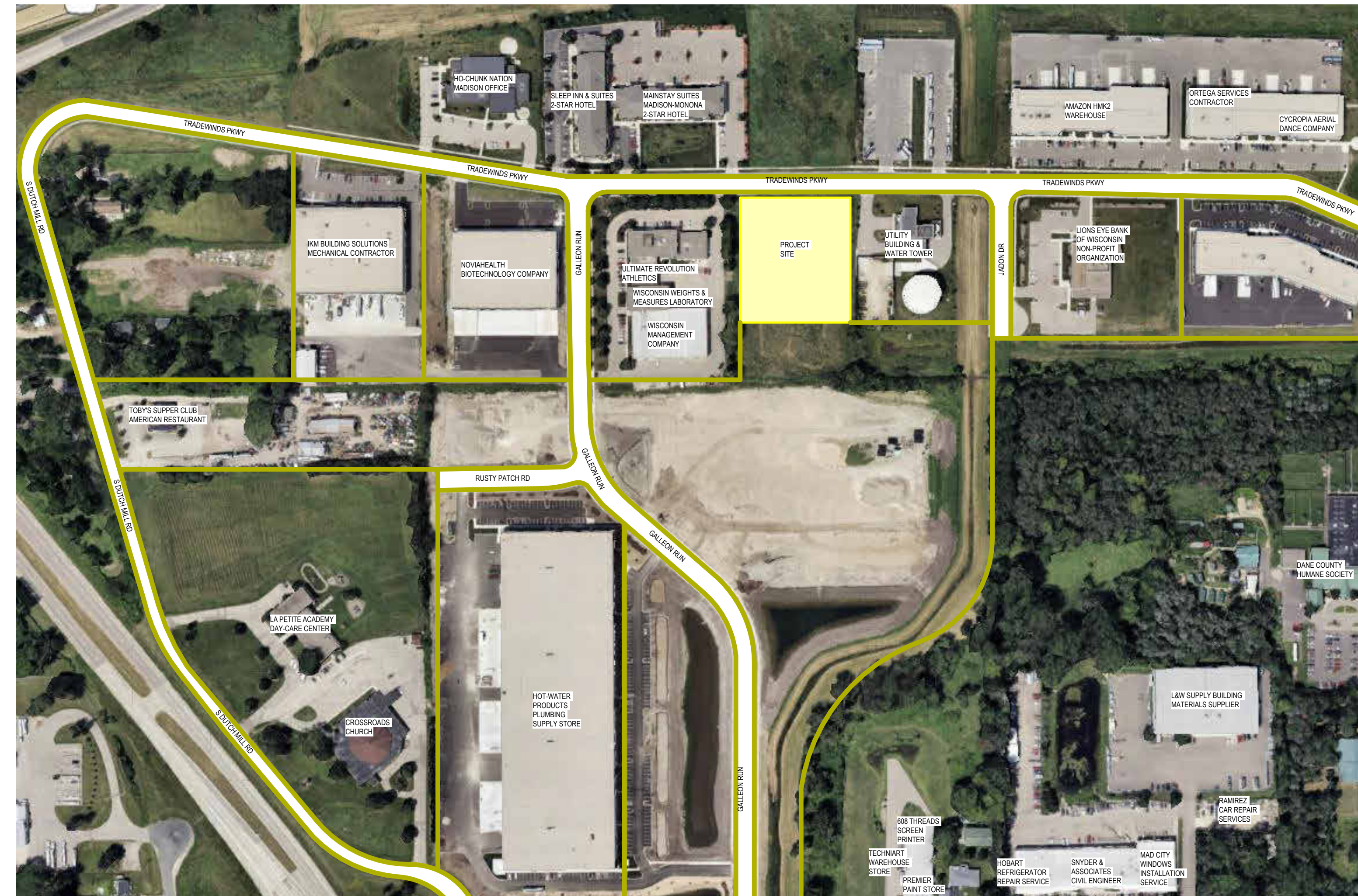
4845 TRADEWINDS PARKWAY,
MADISON, WI

DATE OF ISSUE: 10/21/2024

REVISIONS:

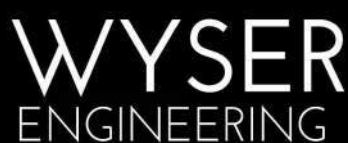
PROJECT # 23078

SITE PHOTOS



FLOOD ELEVATION ON THIS LOT IS APPROXIMATELY 856.9.

PROPOSED PROPERTY BOUNDARY
 EASEMENT
 BUILDING FOOTPRINT
 18" CURB AND GUTTER
 ASPHALT PAVEMENT
 CONCRETE PAVEMENT
 STORMWATER TREATMENT FACILITY



1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSER ENGINEERING ON THE WEEK OF JULY 13, 2022. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
2. THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARK SHALL BE VALIDATED BY LIGHT FORD LAND SURVEY PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
3. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
4. WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
5. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
6. ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

SITE ADDRESS: 4845 TRADEWINDS PARKWAY
SITE ACREAGE (LOT 6 - TRADEWINDS BUSINESS CENTER): 129.536
SQ.FT. (2.97 AC)
USE OF PROPERTY: SPORTS COMPLEX
ZONING: INDUSTRIAL LIMITED (IL)

FRONT YARD: 5-FEET
REAR YARD: 30-FEET
SIDE YARD: 0-FEET

TOTAL NUMBER OF PARKING STALLS: 92
NUMBER OF STALLS DESIGNATED ACCESSIBLE: 4

TOTAL NUMBER OF BIKE STALLS: 22

EXISTING IMPERVIOUS SURFACE AREA: 0 SQ.FT.

NEW IMPERVIOUS SURFACE AREA: 65,475 SQ.FT. (80,475 SQ.FT.)

FUTURE: 15,000 SQ.

PAVED: 39,216 SQ.FT.

MAXIMUM IMPERVIOUS SURFACE: 75% (97,152 SQ.FT.)
 IMPERVIOUS SURFACE AREA ON THE LOT: 65,475 SQ.FT. (80,475 SQ.FT.)
 PERCENT IMPERVIOUS WITHIN DISTURBANCE LIMITS: 50.5% (62.1%)

DISTURBANCE LIMITS: 120,000 SQ. FT.

PARCEL A:

LOT 6 OF TRADEWINDS BUSINESS CENTRE, RECORDED ON JULY 22, 2003
IN VOLUME 58-033B OF PLATS, ON PAGES 179 - 180, AS DOCUMENT NO.
3764226, LOCATED IN PART OF THE NORTHEAST QUARTER OF THE
NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 7 NORTH, RANGE 10
EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

SAID PARCEL CONTAINS 129,536 SQUARE FEET OR 2.97 ACRES.

4845 TRADEWINDS PARKWAY
MADISON, WI 53718

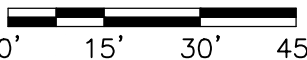
BAUER BUILDERS
SPORTS COMPLEX
CITY OF MADISON, DANE COUNTY, WI

Sheet Title:
SITE PLAN

No.	Date:	Description:
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24-1260

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Type

REVIEW

Date
Issued

10/16/2024

Sheet
Number

C100

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EXISTING 20-FOOT DRAINAGE
EASEMENT.

ENCLOSED 23'X18' DUMPSTER PAD.

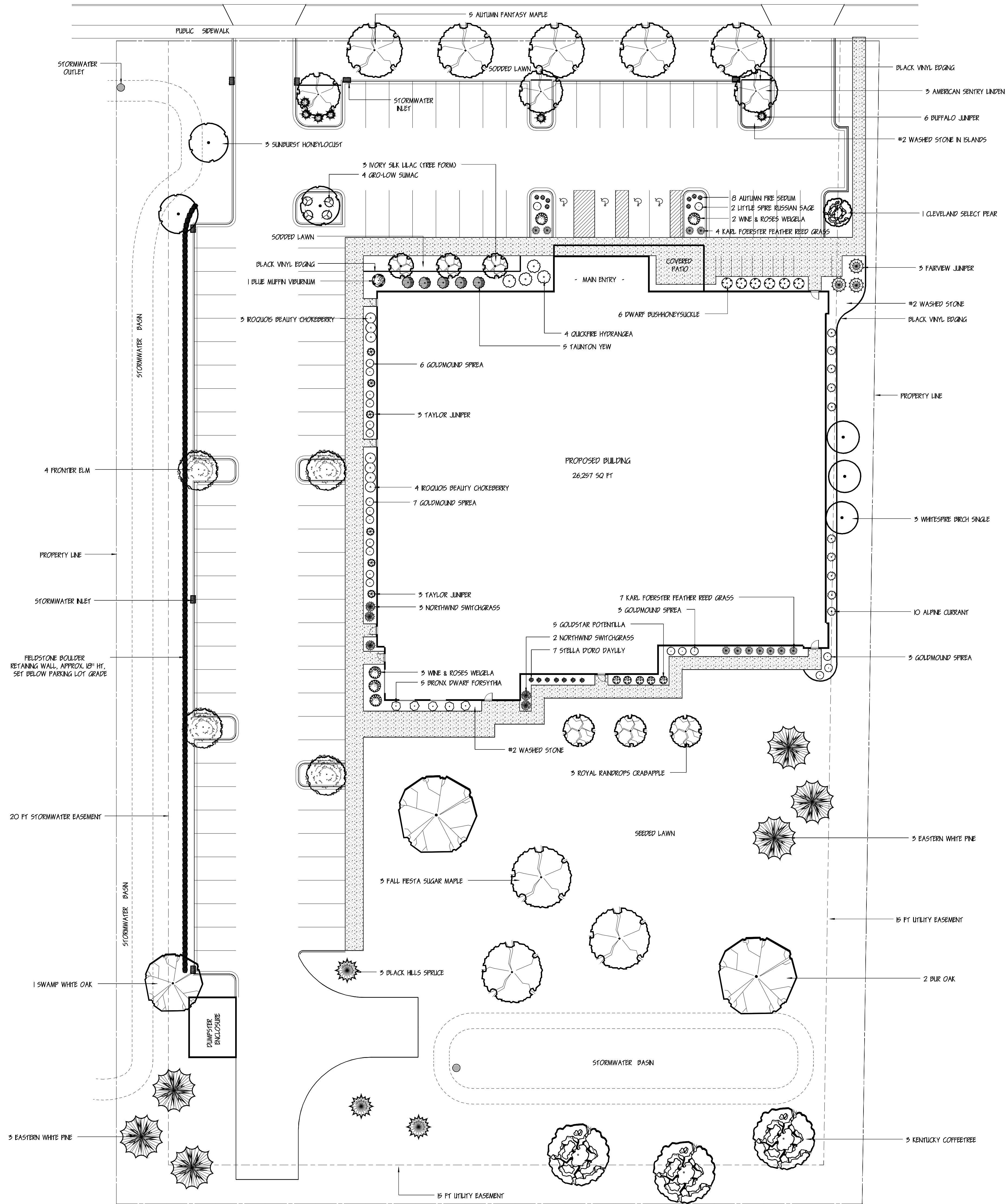
STORMWATER MANAGEMENT

FIRE TRUCK TURN-AROUND

EXISTING 15-FOOT UTILITY
EASEMENT. NOT OCCUPIED.

DIGGERS HOTLINE

Toll Free (800) 242-8511 -or- 811
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com



Qty	Botanical Name	Common Name	Size/Condition
Trees			
3	Acer saccharum 'Rubra'	FALL FIESTA SUGAR MAPLE	25' in DB
5	Acer x Freemannii 'Autumn Fantasy'	AUTUMN FANTASY MAPLE	25' in DB
3	Betula populifolia 'Whitespire'	WHITESPIRE BIRCH SINGLE	25' in DB
3	Gleditsia triacanthos 'Suncoke'	SUNBURST HONEYLOCUST	25' in DB
3	Gymnocladus dioica	KENTUCKY COFFEE TREE	25' in DB
3	Malus transitoria 'Royal Randrops'	ROYAL RANDROPS CRABAPPLE	15' in DB
3	Picea glauca densata	BLACK HILLS SPRUCE	5' ft BB
6	Pinus strobus	EASTERN WHITE PINE	5' ft BB
1	Pinus californiana 'Cleveland Select'	CLEVELAND SELECT PEAR	25' in DB
1	Quercus bicolor	SWAMP WHITE OAK	25' in DB
2	Quercus macrocarpa	BUR OAK	25' in DB
3	Quercus reticulata 'Ivory Silk'	IVORY SILK LLAC (TREE FORM)	15' in DB
3	Tilia americana 'McSemin'	AMERICAN SENTRY LINDEN	25' in DB
4	Ulmus x 'Frontier'	FRONTIER ELM	25' in DB
Shrubs			
7	Aronia melanocarpa 'Morton'	ROQUOIS BEAUTY CHOKEBERRY	#3 CG
6	Diervilla lonicera	DWARF BUSH HONEYSUCKLE	#3 CG
5	Forsythia viridissima 'Bronzeleaf'	BRONX DWARF FORSYTHIA	#3 CG
4	Hydrangea paniculata 'Pink'	QUICKFREE HYDRANGEA	#3 CG
3	Juniperus chinensis 'Fairview'	FAIRVIEW JUNIPER	5' ft BB
6	Juniperus sabina 'Buffalo'	BUFFALO JUNIPER	#3 CG
6	Juniperus virginiana 'Taylor'	TAYLOR JUNIPER	5' ft BB
5	Potentilla fruticosa 'Goldstar'	GOLDSTAR POTENTILLA	#3 CG
4	Rhus aromatica 'Gro-Low'	GRO-LOW SUMAC	#3 CG
10	Ribes alpinum	ALPINE CURRANT	#3 CG
19	Spiraea japonica 'Goldmound'	GOLDMOUND SPIREA	#3 CG
5	Taxus x media 'Taunton'	TAUNTON YEW	15' in DB
1	Viburnum dentatum 'Blue Muffin'	BLUE MUFFIN VIBURNUM	#3 CG
5	Weigela florida 'Alexandra'	WINE & ROSES WEIGELA	#3 CG
Ornamental Grasses			
11	Calamagrostis acutiflora 'Karl Foerster'	KARL FOERSTER FEATHER REED GRASS	#1 CG
5	Panicum virgatum 'Northwind'	NORTHWIND SWITCHGRASS	#1 CG
Perennials and Annuals			
7	Heimerocallis Stella D'Oro	STELLA D'ORO DAYLILY	#1 CG
2	Perovskia atriplicifolia 'Little Spire'	LITTLE SPIRE RUSSIAN SAGE	#1 CG
Succulents			
8	Sedum x 'Autumn Fire'	AUTUMN FIRE SEDUM	#1 CG

CITY OF MADISON LANDSCAPING REQUIREMENTS

Total developed square footage	103,379
Required landscape units (Total/300 sq ft)	345
Required landscape points (Units X Spts)	1725

LANDSCAPE POINTS CALCULATION

PLANT TYPE (MINIMUM SIZE)	NEW/ PROPOSED		
	POINT VALUE	QUANTITY	POINTS ACHIEVED
Overstory deciduous trees (25" caliper)	35	27	945
Evergreen trees (5' tall)	35	9	315
Ornamental trees (15" caliper)	15	7	105
Upright evergreen shrub (3-4' tall)	10	9	90
Shrub, deciduous	3	66	198
Shrub, evergreen	4	11	44
Ornamental grasses/perennials	2	33	66
TOTAL			1763

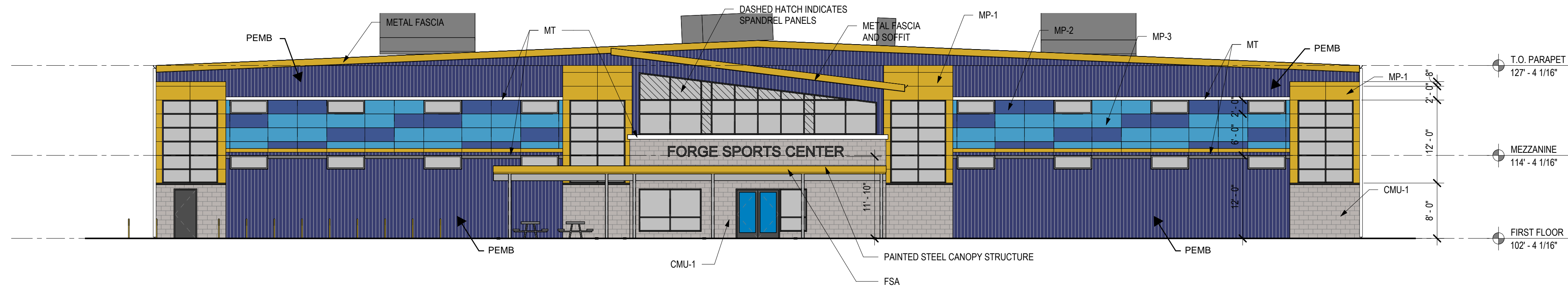
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SCALE IN FEET

DESIGN BY:

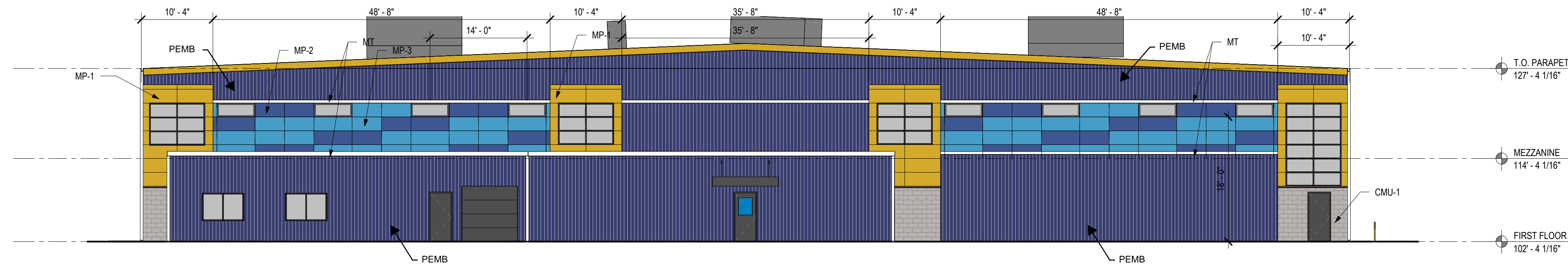
HERMAN
LANDSCAPE SERVICE, INC

6606 SEYBOLD ROAD
MADISON, WI 53744 PH: 608/288-9400

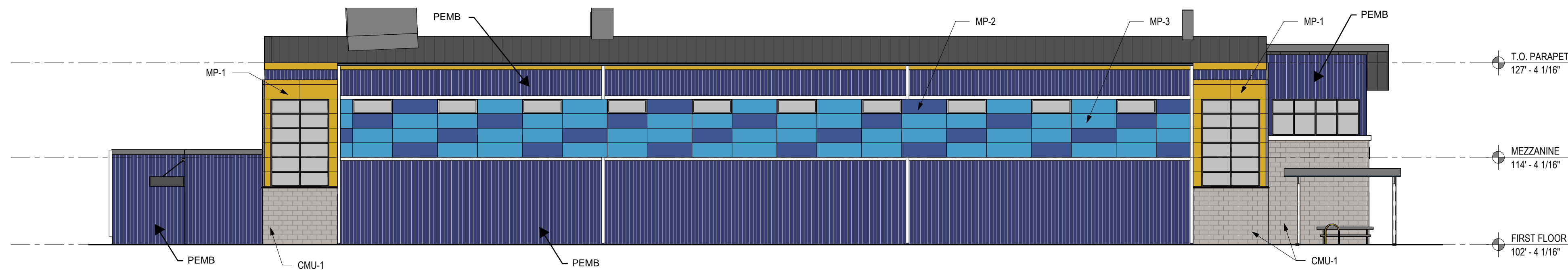
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10/17/24



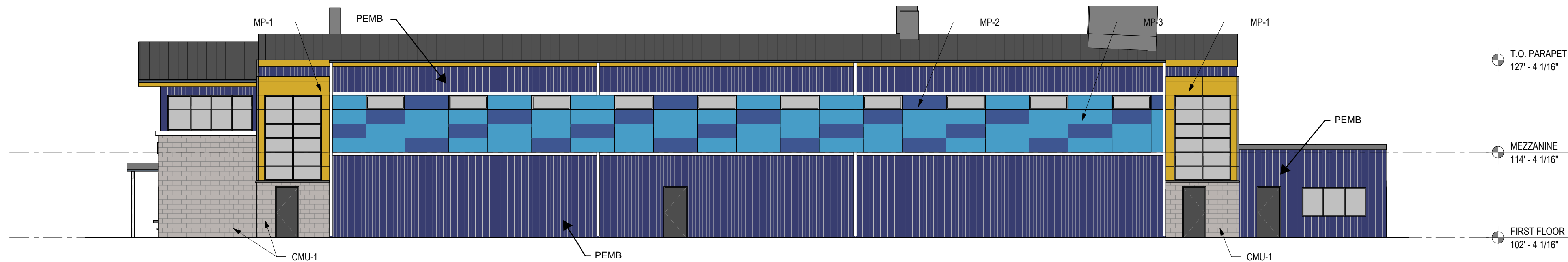
4 NORTH ELEVATION COLOR
3/32" = 1'-0"



3 SOUTH ELEVATION COLOR
3/32" = 1'-0"



2 EAST ELEVATION COLOR
3/32" = 1'-0"



1 WEST ELEVATION COLOR
3/32" = 1'-0"

ELEVATION LEGEND & NOTES			
MASONRY	COLOR	MORTAR	
CMU-1	SPLIT-FACE CMU	CONCRETE	DESERT EDGE
CNC	CONCRETE	CONTROL JOINT	
CJ	CONTROL JOINT		
SIDING & TRIM		COLOR	
MP-1	METAL PANEL	SW 6684 BRITTLEBUSH	
MP-2	METAL PANEL	SW 6965 HYPER BLUE	
MP-3	METAL PANEL	SW 6968 DYNAMIC BLUE	
MT	METAL TRIM	WHITE	
FSA	METAL FASCIA	SW 6684 BRITTLEBUSH	
SFT	METAL SOFFIT	SW 6524 COMMODORE	
PRE-FINISHED METAL	MANUFACTURER (COATED METALS GROUP)		
CPG	COPING	WHITE	
SCR	SCUPPER	COLOR	
CANOPY ACCESSORIES	COLOR		
CSY	CABLE STAY	CLEAR ANODIZED	
STOREFRONT	COLOR		
ANODIZED ALUMINUM		CLEAR ANODIZED	
OTHER	COLOR		
PEMB		SW 6524 COMMODORE	
EXTERIOR BEAM & COLUMNS		LIGHT GRAY	
BIKE RACKS		SW 6684 BRITTLEBUSH	
GENERAL NOTES			
A.	NOT ALL MASONRY PENETRATIONS SHOWN, COORDINATE WITH MEP CONTRACTORS.		
B.	AT 135 DEGREE OUTSIDE CORNERS PROVIDE 135 DEGREE BRICK CORNER UNITS.		
C.	REFER TO WINDOW TYPE SHEET A6.2 FOR MORE WINDOW INFORMATION.		
D.	REFER TO SHEET A8.0 FOR ARCHITECTURAL WALL PANEL DETAIL.		
E.	CONTROL JOINTS CONTINUOUS FROM TOP OF FOUNDATION TO TOP OF WALL.		

DIMENSION 
Madison Design Group

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Madison, Wisconsin 53719

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99% REVIEW SET

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EXTERIOR
ELEVATIONS
(COLOR)

A3.b

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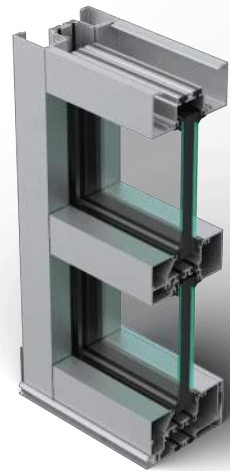
TYPICAL PEMB WALL PANEL - NOT USED



PEMB WALL PANEL



ROOF PANEL



STOREFRONT/WINDOWS -
KAWNEER 541UT CLEAR
ANODIZED

R-Panel

The R-Panel provides an even-shadowed appearance and are reinforced between the ribs for added strength. This panel offers a 36" width coverage with major ribs on 12" centers. It is available in 24 & 26 gauge.

[R-Panel Specifications](#)

A-Panel

The A-Panel provides an excellent choice for decorative wall designs with an attractive shadow pattern and semi-concealed fasteners. These panels offer 36" of coverage with ribs on 12" centers. The A-Panel is made of 26 gauge steel, with 24 gauge available by special order. [A-Panel Specifications](#)

Standing Seam II & Standing Seam 360

The American Buildings Standing Seam II & Standing Seam 360 roof systems are designed to float on a system of sliding clips that prevent damage from thermal expansion and contraction. This standing seam design eliminates 80% of through-fasteners found in other systems, offering greater weathertightness. These panel systems provide 24" width coverage with 3" high ribs. Standing Seam 360 panels are joined by an electric seaming machine, developing a full 360° rolled seam – preferred by many architects and specifiers.

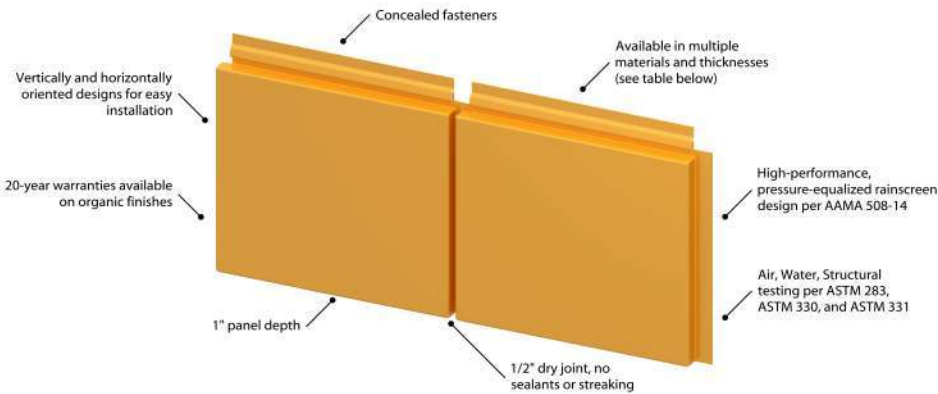
[Standing Seam II Specifications](#) [Standing Seam 360 Specifications](#)

PEMB CUSTOM COLOR



SW6524 COMMODORE

ARCHITECTURAL METAL WALL PANELS



MCELROY METAL - ARCHITECTURAL WALL PANELS - CUSTOM COLORS



MP-2

MP-3

MP-1



CAST STONE - LIGHT
GUNPOWDER
STOREFRONT SILLS

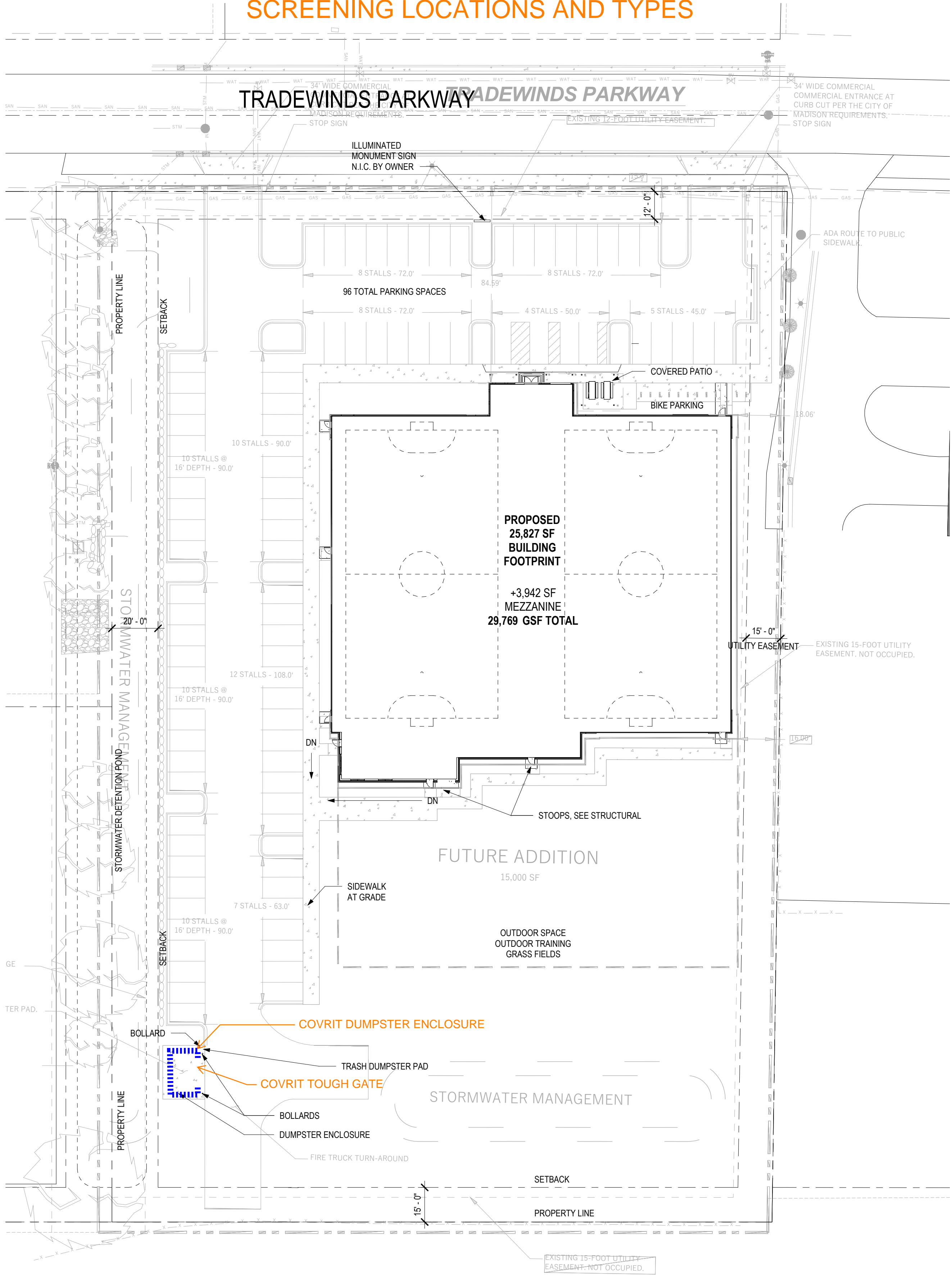


SPLIT-FACE CMU DESERT
EDGE - COUNTY MATERIALS
CORPORATION

10/21/2024 8:30:20 AM Autodesk Docs/23078 - Bauer Builders Sports Complex/23078 - Bauer Builders Sports Complex - Building.v4

FOR ALL SITE IMPROVEMENTS, SEE CIVIL

TRASH ENCLOSURES, GATES,
SCREENING LOCATIONS AND TYPES



1 ARCHITECTURAL SITE PLAN
1" = 30'-0"

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SITE PLAN

AS1.1

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covrit®

SCREENING SYSTEMS



CityScapes®
ARCHITECTURAL INNOVATIONS



Pepper Construction HQ
Dublin, OH

COVRIT®

COVER ALL YOUR BASES

For any enclosure needs, Covrit® has your back, front, and sides. Covrit walls, gates, and dumpster enclosures redefine any space and are the go-to solution for hiding, protecting, or partitioning anything on your property.



HIGH-QUALITY CONSTRUCTION

Professional grade extruded aluminum frames with powder-coated finishes

TAILORED DIMENSIONS

Crafting Distinctive Spaces with Both Standard and Customized Designs

STREAMLINED INSTALLATION

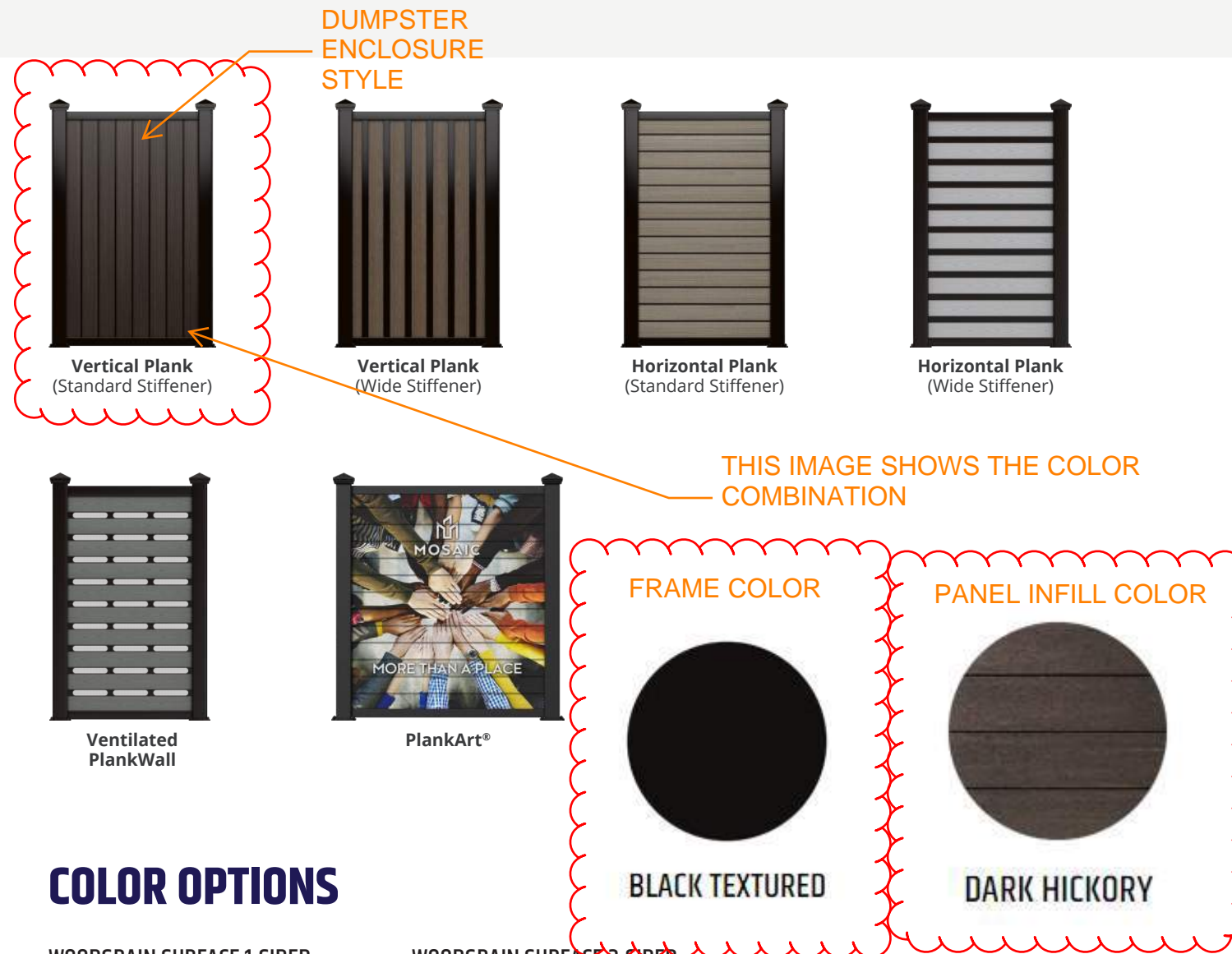
Directly mounting to concrete slabs without the need for footings

TOUGHGATE™ INTEGRATION

ToughGate™ doors & gates used on every Covrit® enclosure

ENGINEERED WOOD INFILLS

- Frames are 6063 T6 extruded aluminum
- Woodgrain surface planks are 1" thick 100% cellular PVC or composite LLDPE
- 1/2" or 2 1/2" Extruded Aluminum Stiffeners
- Sherwin Williams 4000 Series Powder-Coated Components
- Optional digitally printed graphics with UV resistant Nazdar ink



COLOR OPTIONS

WOODGRAIN SURFACE 1-SIDED

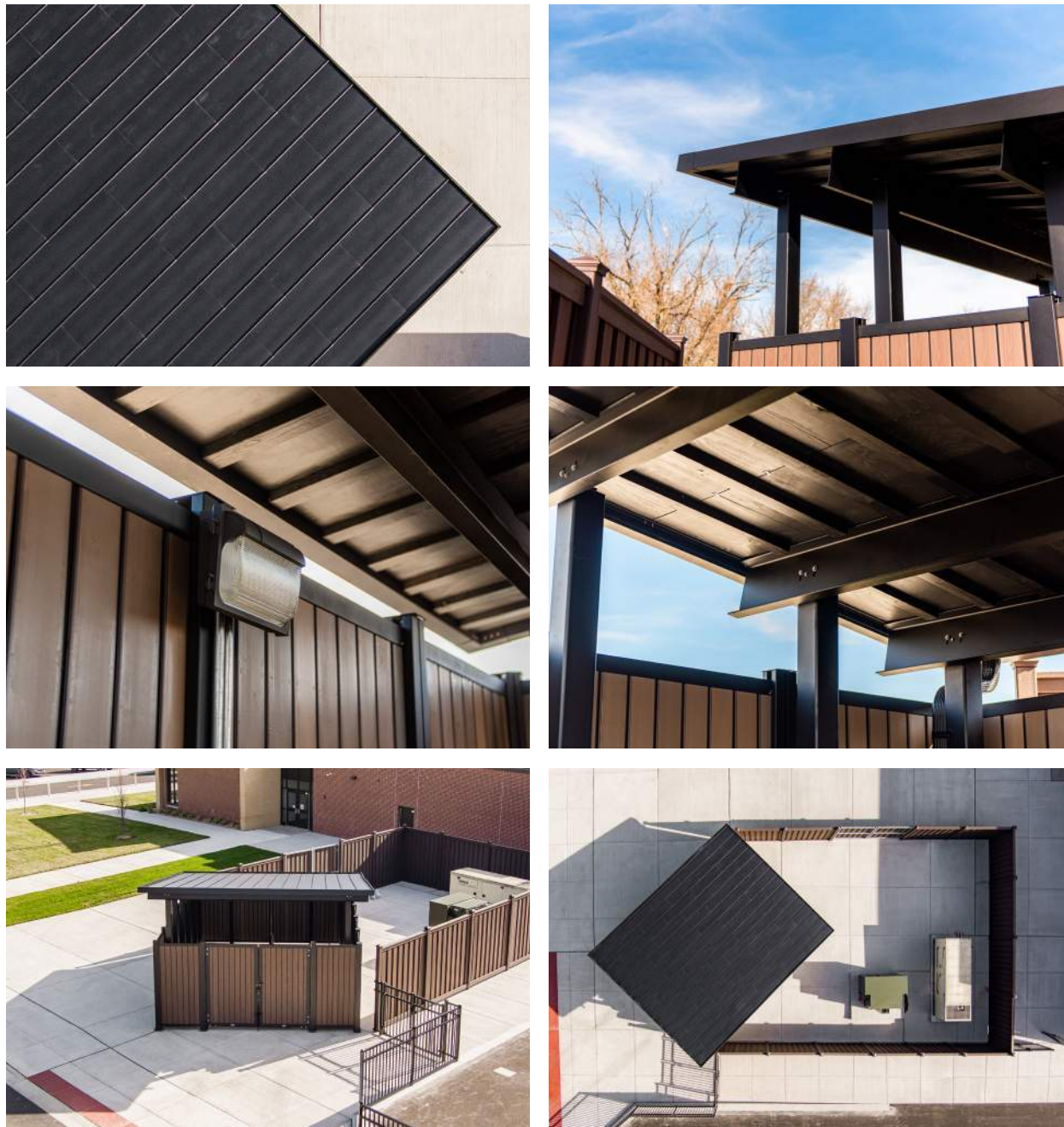


WOODGRAIN SURFACE 2-SIDED



ROOFTOP SOLUTIONS

Covrit® Roof Tops are engineered to excel in any weather. Its innovative design seamlessly allows rain, snow, and wind to pass through, ensuring the integrity of your rooftop and access to your dumpster enclosures. Crafted from robust ABS and extruded aluminum, it withstands the harshest weather elements while maintaining its visual allure.



Westbrook School
Glenview, IL

ELEGANT. DURABLE. DISTINCTIVE.

ToughGate™ by CityScapes® offers expertly crafted gates and doors built to your specifications, budget and job site demands. We use only professional grade materials for years of maintenance free operation.

For stunning good looks, amazing longevity, and extraordinary first impressions, choose ToughGate™.

- MAINTENANCE FREE MATERIALS
- SHIPPED PRE-ASSEMBLED FOR FAST INSTALLATION
- WIDE VARIETY OF DESIGN OPTIONS



ToughGate™

ToughGate's™ innovative design makes field assembly fast and easy. All of our gates are shipped pre-assembled directly to your project site, accompanied by all required installation hardware. Our complete installation guides provide a clearly-defined process from start to finish.

Gates are available in heights of up to 14 ft* and widths of up to 20 ft** to accommodate almost any opening dimension.

* Maximum height determined by infill material and style selected.

** Contact a CityScapes® representative for details on our newest MegaGate options. Certain Height x Width limitations apply.



DOOR HANDLES

All ToughGate™ and Covrit® handles and hardware are powder coated and color-matched to the coordinating gate frame for superior aesthetics.



Bridge



Modern



Classic

MODERN LATCH

Our color matched, lockable latches are designed for years of maintenance free use.



Modern

CUSTOM DESIGNS

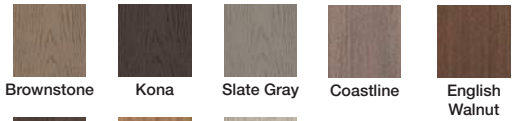
Don't see a style or color that fits our plan? No problem. We can color match many of our gate options or allow you to create a fully custom design. Print your image directly onto the gate or laser cut an intricate design into your gate. Have another idea? Let us know. We love a challenge.

PVC PLANK INFILL SERIES



1-INCH PVC PLANK INFILL COLOR OPTIONS

Textured Woodgrain Surface On One Side Only



Textured Woodgrain Surface On Both Sides



ENGINEERED WOOD INFILL SERIES SPECS

- Woodgrain surface 2 sided planks are 1" thick 100% cellular PVC
- Woodgrain surface 1 sided planks are 1" thick composite LLDPE

MILLED PVC INFILL SERIES

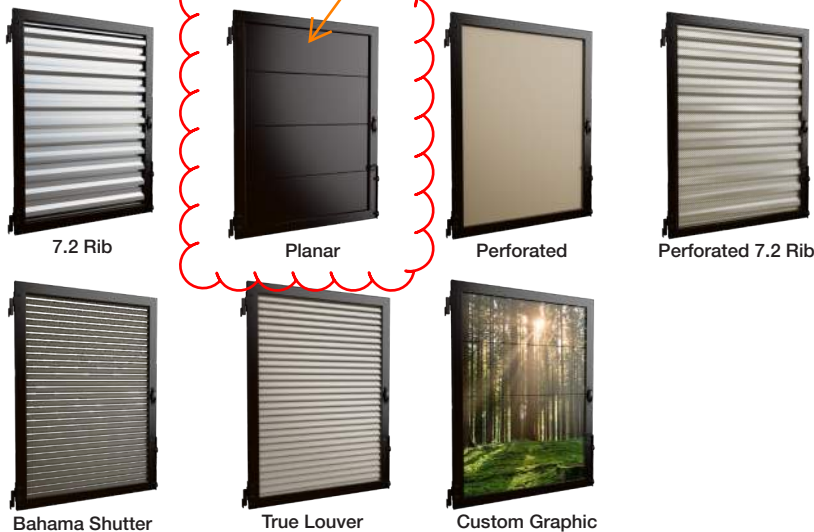


ACRYLICAP® ABS INFILL SERIES SPECS

- Acrylicap® uses a thermoformed .187 acrylic-capped ABS for UV protection

ALL GATES
- DUMPSTER ENCLOSURE GATES

METAL INFILL SERIES



METAL SERIES SPECS

- Structural material thickness varies depending on infill choice
- Typical 7.2 Rib Metal Panels - .040", .050" Precoated aluminum
- Typical Perforated Metal Panels - .063" Aluminum, 1/8" holes, 1/4" staggered centers, 23% open area

For current color availability for metal wall styles, contact a CityScapes® representative.

SLAT WALL INFILL SERIES



SLAT SERIES SPECS

- Powder coated aluminum slats
- 1"x 4" - .080" Wall thickness
- 1"x 6" - .100" Wall thickness
- 6063 T6 Aluminum
- 4000 Series powder coated

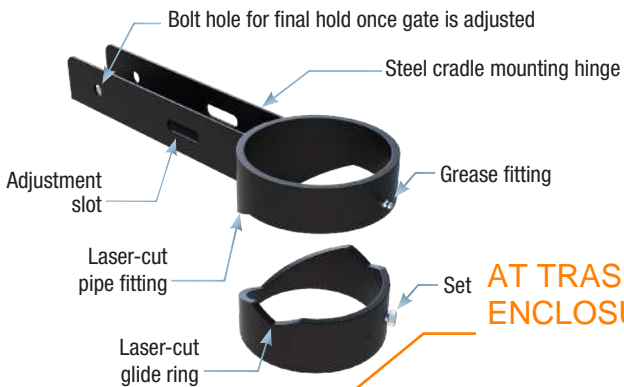
For current color availability for slat wall styles, contact a CityScapes® representative.

CRADLE HINGE OPTIONS - New and Retrofitted Installations

Choose from our fully adjustable hinge options. We recommend installation using our hold-open pipe hinge which offers a convenient and enhanced safety feature to “hold open” your gate; reducing injuries as well as damage to your property. Alternative hinge options to retrofit to your existing post or wall are shown below.

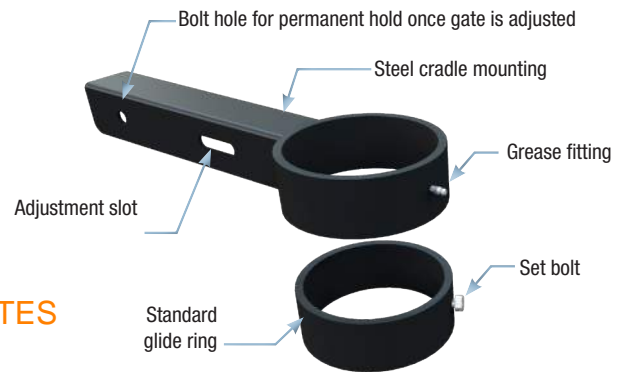
HOLD-OPEN PIPE HINGE

- Pre-welded steel construction
- Laser-cut rings nest and work together to provide a 100° hold-open gate position. Gate will automatically close prior to 100°.
- Adjustment slot in cradle to help level door on pipe.
- Grease fitting included
- Powder coated to match frame



ADJUSTABLE PIPE HINGE

- Pre-welded steel construction
- Adjustment slot in cradle to help level door on pipe.
- Grease fittings included
- Powder coated to match frame



BARREL HINGE

(retrofit for square post or wall mount)

- Set bolts in post included for setting gate height off grade.
- Pre-welded steel gate frame saddle to barrel hinge. Barrel hinge leaf side requires field welding to structure or can be made to bolt onto structure after engineering review.
- Powder coated to match gate frame
- Steel or Aluminum construction available (Material used is determined by weight)

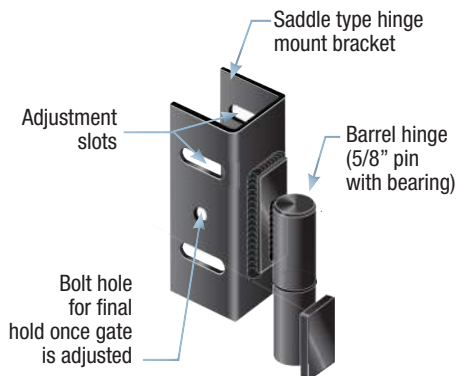


PLATE HINGE

(retrofit for square post or wall mount)

- Set bolts in post included for setting gate height off grade.
- Pre-welded steel gate frame saddle to barrel hinge. Barrel hinge leaf side requires field welding to structure or can be made to bolt onto structure after engineering review.
- Powder coated to match gate frame
- Steel or Aluminum construction available (Material used is determined by weight)

