

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

AGENDA ITEM # _____

Project # _____

DATE SUBMITTED: <u>November 30, 2011</u>	Action Requested
UDC MEETING DATE: <u>December 7, 2011</u>	<input type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 3210 Maple Grove Drive

ALDERMANIC DISTRICT: Steve King- District #7

OWNER/DEVELOPER (Partners and/or Principals)

ARCHITECT/DESIGNER/OR AGENT:

Tim McKenzie

Knothe & Bruce Architects, LLC

1902 Hawks Ridge Drive Ste 322

7601 University Avenue, Suite 201

Verona, WI 53593

Middleton, Wisconsin 53562

CONTACT PERSON: J. Randy Bruce/Knothe & Bruce Architects, LLC

Address: 7601 University Avenue, Suite 201

Middleton, Wisconsin 53562

Phone: 608-836-3690

Fax: 608-836-6934

E-mail address: rbruce@knothebruce.com

TYPE OF PROJECT:

(See Section A For:)

- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District* (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel, or Motel Building Exceeding 50,000 Sq.Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review* (Fee required)
- Street Graphics Variance* (Fee Required)
- Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

October 5, 2011

Mr. Brad Murphy
Director of Planning
Department of Planning & Development
City of Madison
215 Martin Luther King Jr. Blvd
P.O. Box 2985
Madison, WI 53701

Re: Letter of Intent
SIP Submittal
3210 Maple Grove Drive

Dear Mr. Murphy:

The following is submitted together with the plans, application and zoning text for staff, Plan Commission and Common Council consideration of approval.

Organizational structure:

Owner: Stone Creek II
1902 Hawks Ridge Drive Ste 322
Verona, WI 53593
608-848-0111
608-848-6013 fax
Contact: Tim McKenzie

Landscape Design: Paul Skidmore
13 Red Maple Trail
Madison, WI 53717
(608) 826-0032
Contact: Paul Skidmore
paulskidmore@tds.net

Engineer: D'Onofrio & Kottke
7530 Westward Way
Madison, WI 53717
(608) 833-7530
(608) 833-1089 fax
Contact: Bruce Hollar
bhollar@donofrio.cc

Architect: Knothe & Bruce Architects, LLC
7601 University Avenue, Ste 201
Middleton, WI 53562
608-836-3690
608-836-6934 fax
Contact: Randy Bruce
rbruce@knothebruce.com

7601 University Ave, Ste 201
Middleton, Wisconsin 53562
p (608) 836-3690
f (608) 836-6934
www.knothebruce.com

Introduction:

This proposed development is located on the corner of Mader Drive and Maple Grove Drive on Lot 250 and 251 of the East Pass addition to Country Grove. The site is part of an approved General Development Plan that was approved in early 2010. This application is for a PUD-GDP-SIP which is consistent with the approved PUD-GDP. The developer for this proposal previously developed the Stone Creek Apartments to the south and west.

A portion of the site is occupied by a former school which will be deconstructed. It is assumed that the demolition of this building was addressed when the site obtained the PUD-GDP zoning. Photos of the building are included for reference and further documentation can be provided if needed.

Site Planning & Building Architecture:

The site plan was designed with the PUD-GDP to provide an integrated medium-density housing environment. The site design provides for a variety of vehicular and pedestrian connections to the surrounding public and private streets. This PUD-SIP plan provides an additional connection not envisioned in the PUD-GDP which provides vehicular and pedestrian access to the Stone Creek Apartments the southwest. Mader Drive is a private street that is traditionally designed with parallel parking, street terrace, sidewalk, street lighting and street trees.

The four apartment buildings are two to three stories in height with underground vehicle and bike parking. Additional surface parking is provided in smaller surface parking areas distributed throughout the site. The buildings have been designed to fit within the neighborhood context and use a palette of attractive, low-maintenance exterior materials including simulated stone masonry, horizontal siding and asphalt shingles. The three story buildings will include elevator access, encouraging a wider age range of residents.

Site Development Data:

Densities:

Lot Area	151,058 S.F. or 3.47 acres
Dwelling Units	106 units
Lot Area / D.U.	1,425 S.F./unit
Density	30 units/acre

Dwelling Unit Mix:

<u>Apartments</u>	<u>Bldg #1</u>	<u>Bldg #2</u>	<u>Bldg #3</u>	<u>Bldg #4</u>	<u>Total</u>
Efficiency	3	3	2	2	10
Studio + Loft	9	9	1	1	20
One Bedroom	9	9	14	14	46
Two Bedroom	4	4	6	6	20
Two Bed + Loft	1	1	4	4	10
Total	26	26	27	27	106

Building Height: 2-3 Stories

Floor Area Ratio:

Bldg #1	24,852 S.F.
Bldg #2	24,582 S.F.
Bldg #3	29,277 S.F.
<u>Bldg #4</u>	<u>29,335 S.F.</u>
Gross Floor Area (Excludes parking)	108,316 S.F.
F.A.R.	1.4

Vehicle Parking Stalls

Surface	78
<u>Underground</u>	<u>80</u>
Total	158
Ratio	1.5 stalls/unit

Bicycle parking Stalls

Surface	56
<u>Underground</u>	<u>22</u>
Total	78 (50 + .5(56) = 78 required)

Project Schedule:

This project will be a phased development with construction planned to start in spring of 2012. Construction will proceed as market conditions warrant with the entire project currently scheduled for completion in 2014.

Social & Economic Impacts:

This development will have a positive social and economic impact. In addition to providing immediate construction jobs the proposal will provide additional high quality, energy efficient housing within the fabric of the mixed use neighborhood.

Thank you for your time in reviewing our proposal.

Very Truly Yours,


J. Randy Bruce, AIA
Managing Member

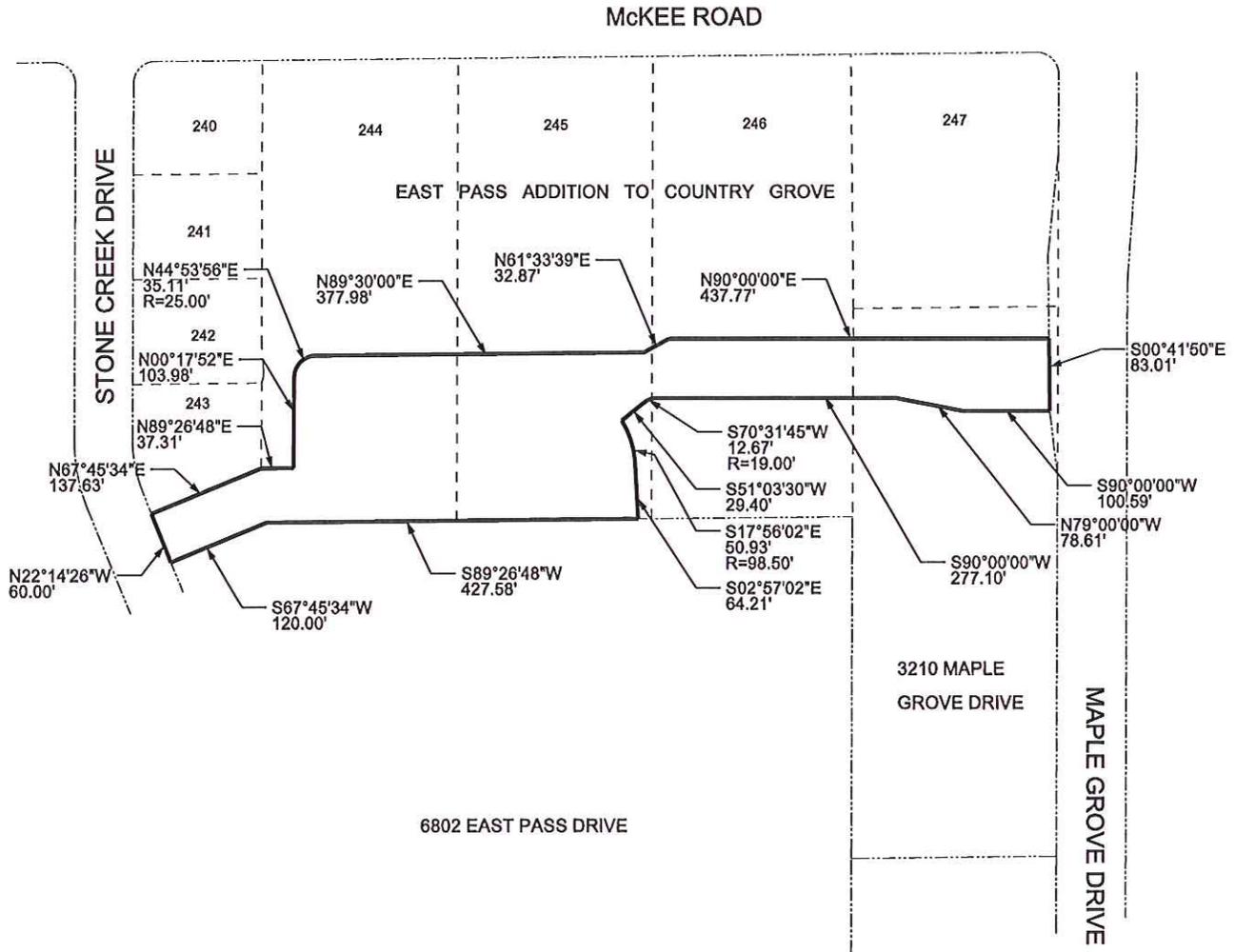
Legal Description: Lot 245 and 246 East Pass Addition to County Grove

- A. **Statement of Purpose:** This zoning district is established to allow for the construction of a 106 unit multifamily development.
- B. **Permitted Uses:** Following are permitted uses:
 - 1. Multifamily residential buildings.
 - 2. Accessory uses including but not limited to:
 - a. Accessory uses directly associated with those permitted uses including recreational facilities and parking for residents and guests.
 - b. Temporary buildings for storage of building materials and equipment for construction purposes when on the same lot as a principle use for a period not to exceed the duration of such construction.
- C. **Lot Area:** As shown on the approved plans.
- D. **Height Regulations:** As shown on the approved plans.
- E. **Yard Regulations:** As shown on the approved plans.
- F. **Landscaping:** Site Landscaping will be provided as shown on the approved plans.
- G. **Usable Open Space Requirements:** Usable open space will be provided as shown on the approved plans.
- H. **Parking & Loading:** Off-street and surface parking shall be provided as shown on the approved plans.
- I. **Family Definition:** The family definition shall coincide with the definition given in M.G.O. 28.03 for the R- 5 zoning district.
- J. **Signage:** Signage will be allowed as per Chapter 31 of the Madison General Ordinances as compared to the R-5 district or signage will be provided as approved on the S.I.P. plans or as a minor alteration to the approved SIP. Signage shall be approved by the Urban Design Commission and zoning.
- K. **Alterations and Revisions:** No alteration or revision of this Planned Unit Development shall be permitted unless approved by the City Planning Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Architectural Review Committee, Director Of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Planning Commission.

LEGAL DESCRIPTION
MADER DRIVE PARCEL

Part of lots 244, 245 and 246 East Pass Addition to County Grove, recorded in Volume 57-057B of Plats on Pages 228 and 229 as Document No. 2781492, Dane County Register, and a parcel of land located in the NW1/4 of the NW1/4 of Section 12, T6N, R8E, City of Madison, Dane County, Wisconsin, to-wit: Commencing at the north quarter corner of said section 12; thence S89°26'48"W along the north line of said NW1/4 of Section 12, 1323.67 feet; thence S00°11'18"W, 471.82 feet; thence S90°00'00"W, 49.02 feet to the point of beginning; thence continuing S90°00'00"W, 100.59 feet; thence N79°00'00"W, 78.61 feet; thence S90°00'00"W, 277.10 feet to a point of curve; thence southwesterly on a curve to the left which has a radius of 19.00 feet and a chord which bears S70°31'45"W, 12.67 feet; thence S51°03'30"W, 29.40 feet to a point of curve; thence southwesterly on a curve to the right which has a radius of 98.50 feet and a chord which bears S17°56'02"E, 50.93 feet; thence S02°57'02"E, 64.21 feet to a point on the south line of said lot 245 East Pass Addition to County Grove; thence S89°26'48"W along the south line of lots 245 and 244, 427.58 feet; thence S67°45'34"W along the south line of lot 244, 120.00 feet to the northwest corner of lot 251 East Pass Addition to County Grove and a point on the east right-of-way line of Stonecreek Drive; thence N22°14'26"W along said east right-of-way line, 60.00 feet to the southwest corner of lot 243; thence N67°45'34"E, 137.63 feet to the southeast corner of lot 243; thence N89°26'48"E, 37.31 feet; thence N00°17'52"E, 103.98 feet to a point of curve; thence northeasterly on a curve to the right which has a radius of 25.00 feet and a chord which bears N44°53'56"E, 35.11 feet; thence N89°30'00"E, 377.98 feet; thence N61°33'39"E, 32.87 feet; thence N90°00'00"E, 437.77 feet; thence S00°41'50"E, 83.01 feet to the point of beginning. Containing 118,465 square feet (2.720 acres).

MADER DRIVE EXHIBIT



D'ONOFRIO KOTTKE AND ASSOCIATES, INC.

7530 Westward Way, Madison, WI 53717
 Phone: 608.833.7530 • Fax: 608.833.1089
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT



0 200

Scale 1" = 200'

DATE: 10-05-11
 F.N.: 11-05-131
 REV.

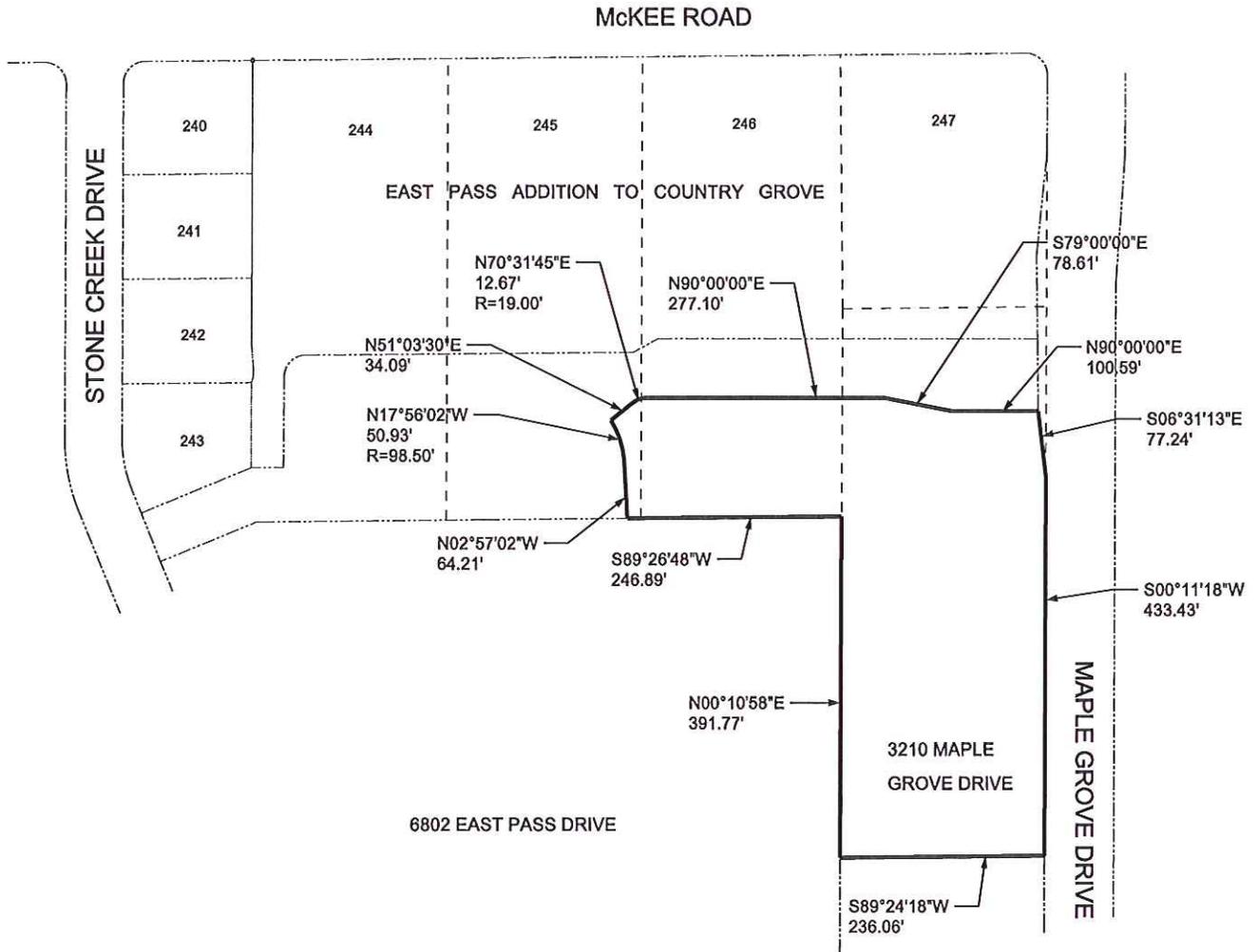
DRAWN BY:BJH

U:/USER/1105131/DRAWINGS/MADER DESCRIPTION SKETCH.DGN

LEGAL DESCRIPTION
STONE CREEK II PARCEL

Part of lots 245 and 246 East Pass Addition to County Grove, recorded in Volume 57-057B of Plats on Pages 228 and 229 as Document No. 2781492, Dane County Register, and a parcel of land located in the NW1/4 of the NW1/4 of Section 12, T6N, R8E, City of Madison, Dane County, Wisconsin, to-wit: Commencing at the north quarter corner of said section 12; thence S89°26'48"W along the north line of said NW1/4 of Section 12, 1323.67 feet; thence S00°11'18"W, 981.59 feet; thence S89°24'18"W, 40.00 feet to the northeast corner of lot 248 East Pass Addition to Country Grove and the point of beginning; thence continuing S89°24'18"W along the north line of lots 248 and 249 East Pass Addition to Country Grove, 236.06 feet to the northwest corner of lot 249 and a point on the east line of lot 250; thence N00°10'58"E along said east line of lot 250, 391.77 feet to the southeast corner of lot 246 East Pass Addition to Country Grove; thence S89°26'48"W along the south line of lots 246 and 245, 246.89 feet; thence N02°57'02"W, 64.21 feet to a point of curve; thence northwesterly on a curve to the left which has a radius of 98.50 feet and a chord which bears N17°56'02"W, 50.93 feet; thence N51°03'30"E, 34.09 feet to a point of curve; thence northeasterly on a curve to the right which has a radius of 19.00 feet and a chord which bears N70°31'45"E, 12.67 feet; thence N90°00'00"E, 277.10 feet; thence S79°00'00"E, 78.61 feet; thence N90°00'00"E, 100.59 feet; thence S06°31'13"E, 77.24 feet; thence S00°11'18"W, 433.43 feet to the point of beginning. Containing 156,160 square feet (3.585 acres).

STONE CREEK II EXHIBIT



D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
 7530 Westward Way, Madison, WI 53717
 Phone: 608.833.7530 • Fax: 608.833.1089
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT



0 200
 Scale 1" = 200'

DATE: 10-05-11
 F.N.: 11-03-105
 REV.

DRAWN BY:BJH

EXISTING SITE PHOTOS



EXISTING SITE PHOTOS



Consultant

Notes

SHEET INDEX:

SITE	OVERALL SITE PLAN
C-1.0	SITE PLAN
C-1.1	SITE LIGHTING PLAN
C-1.2	SITE FIRE ACCESS PLAN
C-1.3	GRADING & EROSION CONTROL PLAN
C-2.1	DETENTION POND GRADING & EROSION CONTROL PLAN
C-2.2	MADER DRIVE GRADING & EROSION CONTROL PLAN
C-2.3	SITE UTILITY PLAN
C-2.4	LANDSCAPE PLAN

ARCHITECTURAL

1	BASEMENT PLAN - BUILDING 1 & 2 - 26 UNIT
2	FIRST FLOOR PLAN - BUILDING 1 & 2 - 26 UNIT
3	SECOND FLOOR PLAN - BUILDING 1 & 2 - 26 UNIT
4	ELEVATIONS - BUILDING 1 & 2 - 26 UNIT
5	ELEVATIONS - BUILDING 3 - 27 UNIT
6	BASEMENT PLAN - BUILDING 3 - 27 UNIT
7	FIRST FLOOR PLAN - BUILDING 3 - 27 UNIT
8	SECOND FLOOR PLAN - BUILDING 3 - 27 UNIT
9	THIRD FLOOR PLAN - BUILDING 3 - 27 UNIT
10	ELEVATIONS - BUILDING 3 - 27 UNIT
11	ELEVATIONS - BUILDING 3 - 27 UNIT
12	BASEMENT PLAN - BUILDING 4 - 27 UNIT
13	FIRST FLOOR PLAN - BUILDING 4 - 27 UNIT
14	SECOND FLOOR PLAN - BUILDING 4 - 27 UNIT
15	THIRD FLOOR PLAN - BUILDING 4 - 27 UNIT
16	ELEVATIONS - BUILDING 4 - 27 UNIT
17	ELEVATIONS - BUILDING 4 - 27 UNIT

SITE DEVELOPMENT STATISTICS

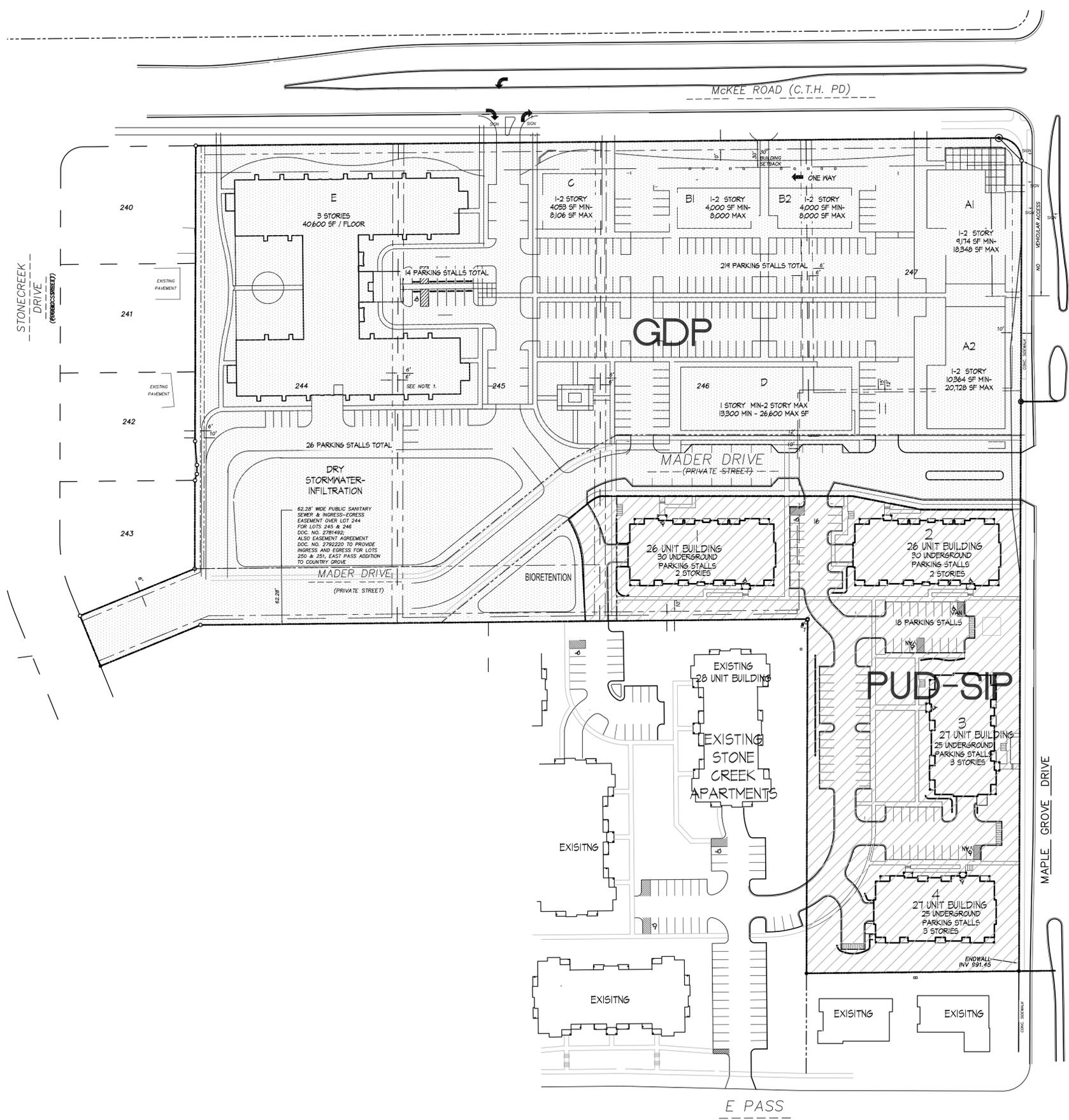
LOT AREA	151,058 SF / 3.41 ACRES
DWELLING UNITS	106 D.U.
LOT AREA / D.U.	1,425 SF / D.U.
DENSITY	30 UNITS / ACRE
BUILDING HEIGHT	2-3 STORIES

GROSS FLOOR AREA	108,316 S.F.
(excluding underground parking)	
FLOOR AREA RATIO	1.4

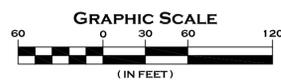
UNIT MIX	
EFFICIENCY	10
ONE BEDROOM	46
TWO BEDROOM	20
STUDIO LOFT	20
LOFTED 2 BED	10
TOTAL	106

VEHICLE PARKING	
SURFACE	78 (INCL. 3 VAN ACCESSIBLE)
UNDERGROUND	82 (INCL. 3 ACCESSIBLE)
TOTAL	158 (INCL. 6 ACCESSIBLE)

BIKE PARKING	
SURFACE	56
UNDERGROUND	22
TOTAL	78 (50 + 5/56) = 78 REQUIRED



SITE PLAN
1" = 60'-0"



Revisions

SIP Submittal - Oct. 8, 2011

Project Title

Stone Creek
Apartments II

Address

Drawing Title
Overall Site Plan

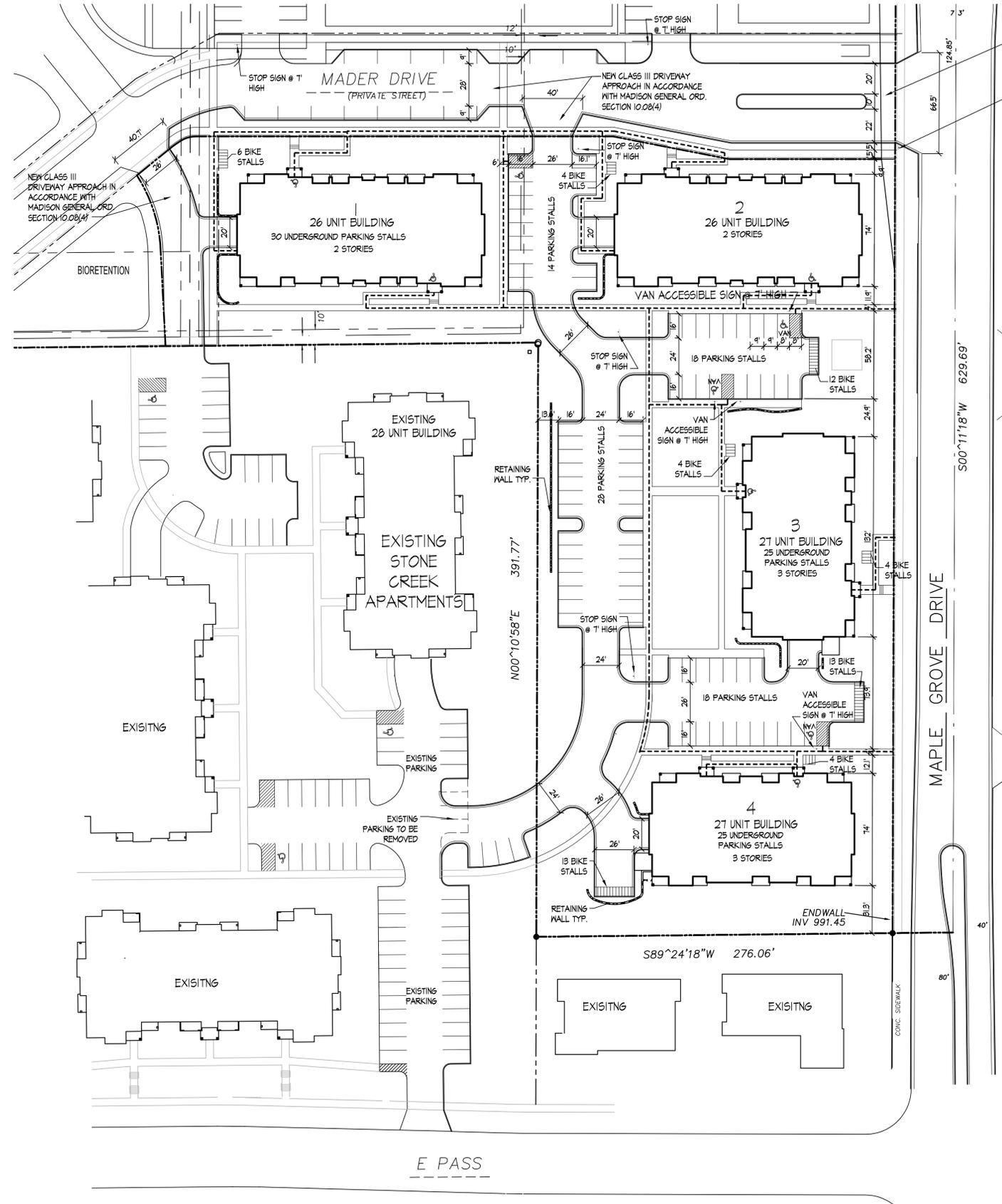
Project No.

0852

Drawing No.

C-1.0

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NEW CLASS III DRIVEWAY APPROACH IN ACCORDANCE WITH MADISON GENERAL ORD. SECTION 10.08(4)

STOP SIGN @ T HIGH

NOTE:
1. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR
2. ALL DAMAGE TO THE PAVEMENT ON MAPLE GROVE DRIVE ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA

Revisions
SIP Submittal - Oct. 8, 2011

Project Title
Stone Creek Apartments II

Address
Drawing Title
Site Plan

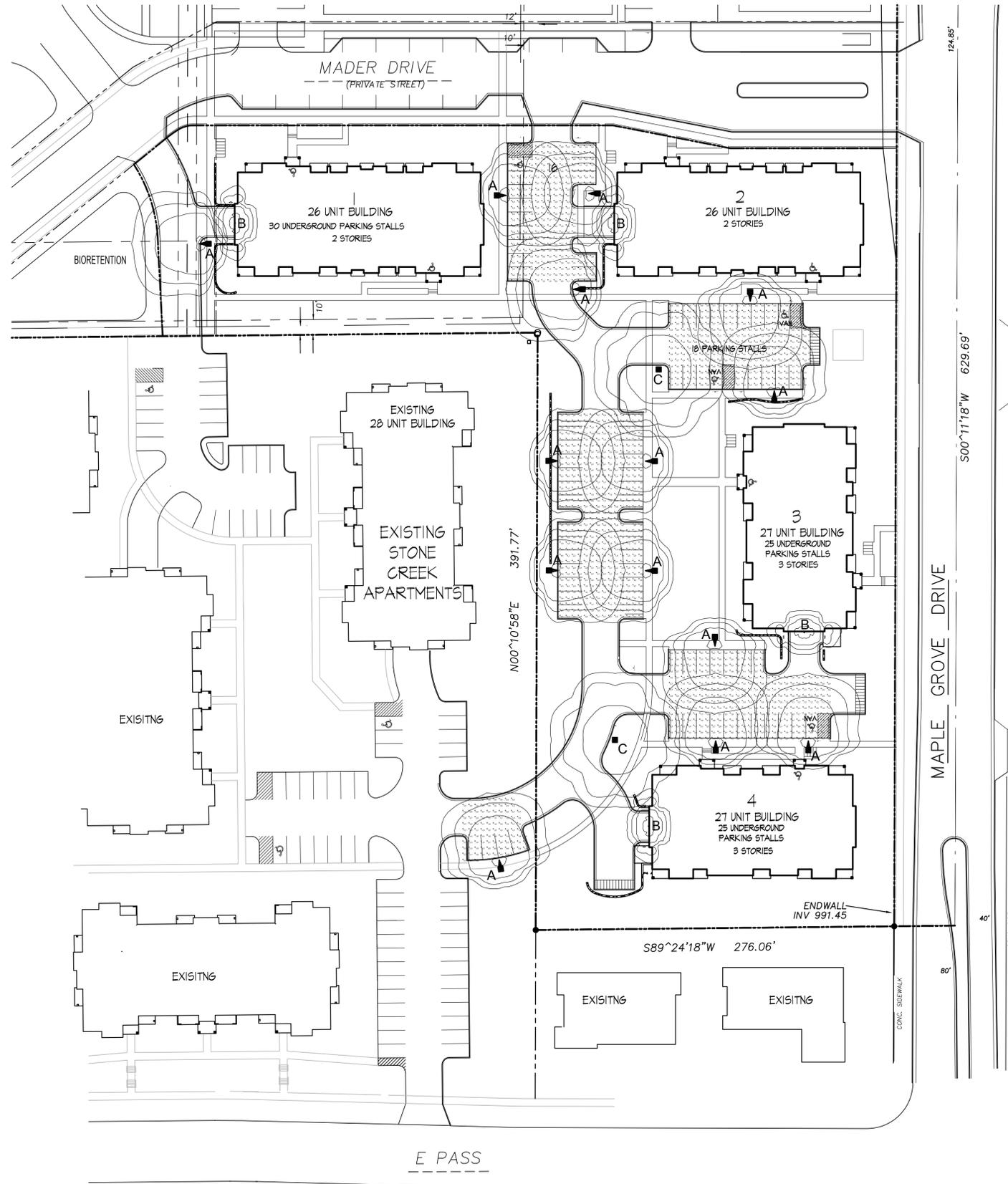
Project No. **0852** Drawing No. **C-1.1**



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Consultant

Notes



LIGHTING SCHEDULE								
Symbol	Label	Qty	Manufacturer	Catalog Number	Description	Lamp	File	Mounting
▲	A	14	RUUD LIGHTING	MAC410SBL	12' AREA CUTOFF / W/BACK LT. SHIELD	100 WATT MH	MAC417SBL.e	16' ABOVE GRADE ON POLE AND CONC. BASE
□	B	4	RUUD LIGHTING	E8405	RECTANGULAR SECURITY / DEEP SHIELDED	50 WATT MH	E8507.IES	8' ABOVE GRADE ON SIDE OF BUILDING
■	C	2	RUUD LIGHTING	QV410	16' QUADRATE VERTICAL / TYPE V	100 WATT MH	QV410.IES	16' ABOVE GRADE ON POLE AND CONC. BASE

ARROW INDICATES DIRECTION OF LIGHT, TYP.

LIGHTING STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Lots	+	1.5 fc	5.4 fc	0.4 fc	13.5:1	3.8:1

Revisions
SIP Submittal - Oct. 8, 2011

Project Title
Stone Creek Apartments II

Address
Drawing Title
Site Plan - Lighting

Project No. **0852** Drawing No. **C-1.2**

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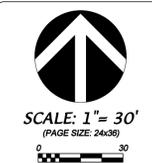
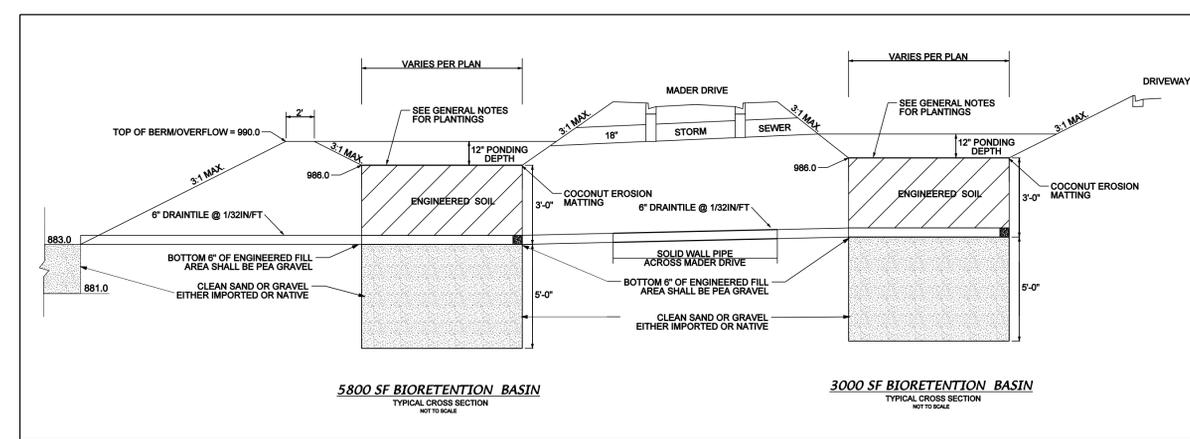
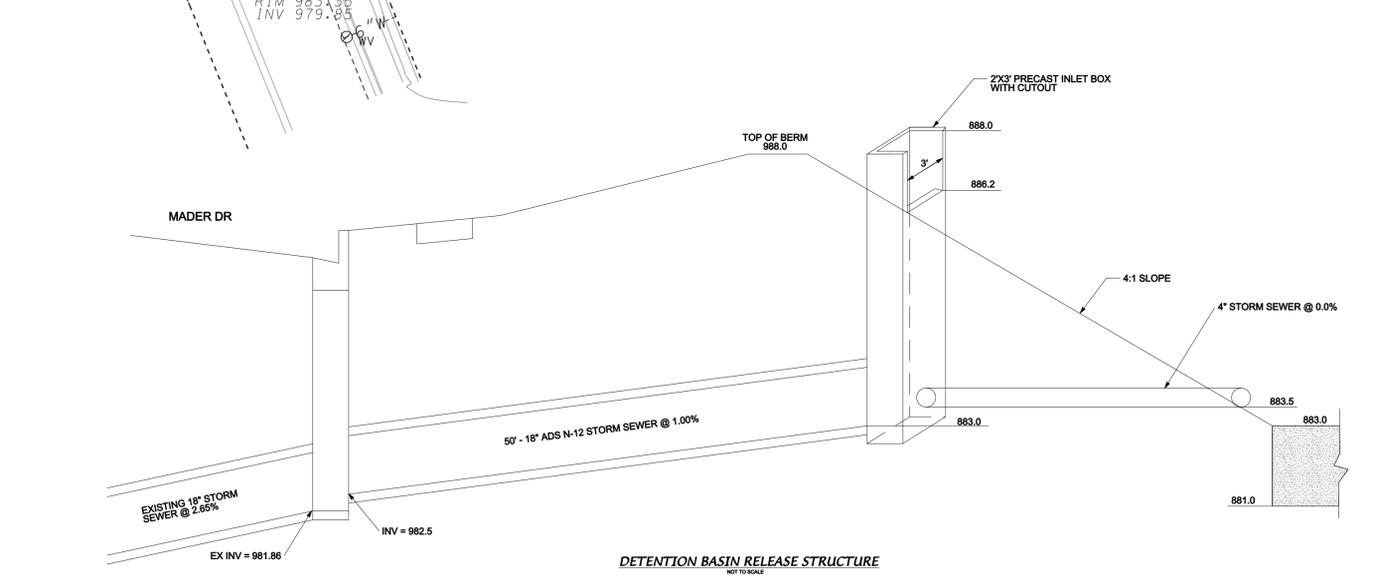
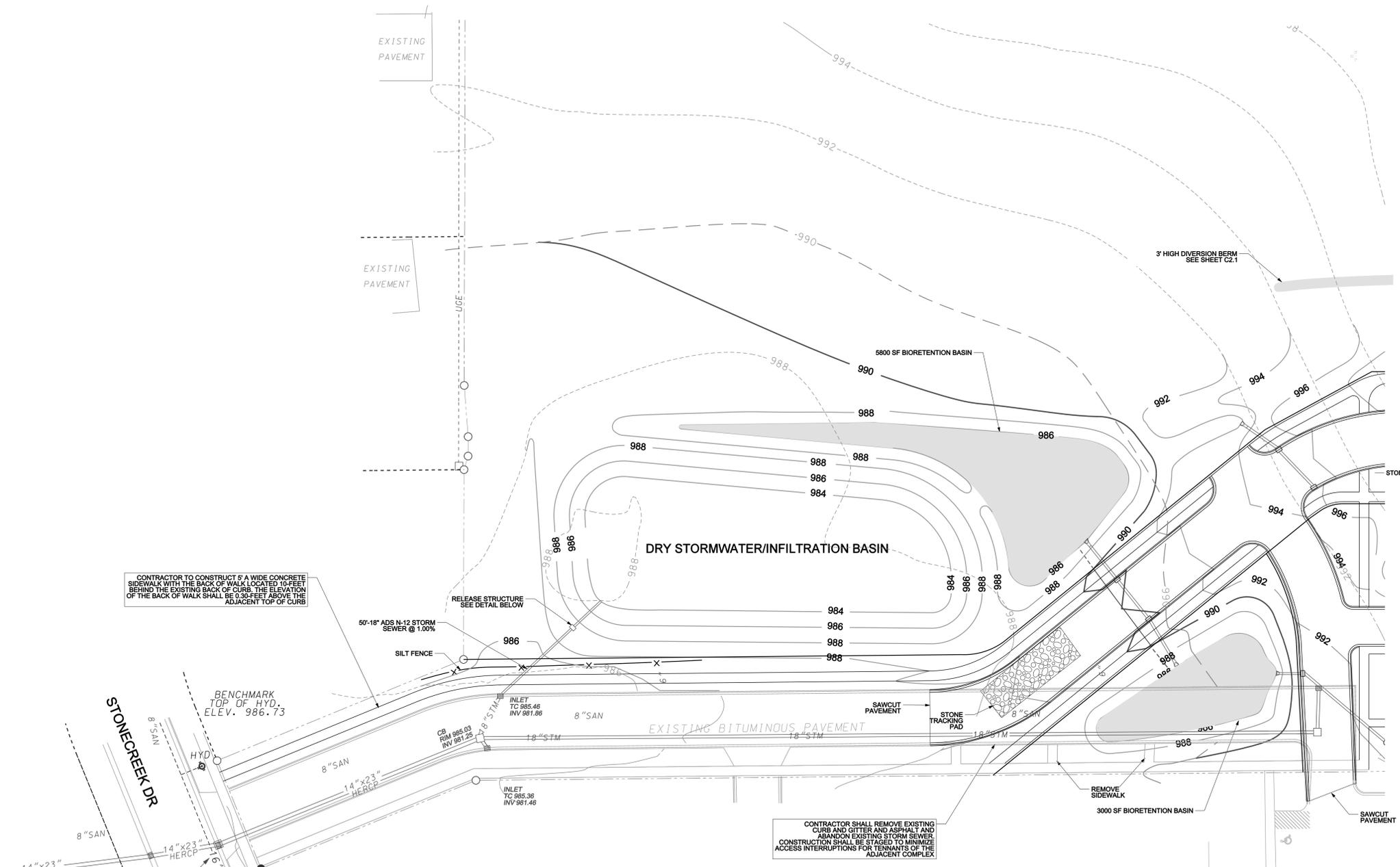
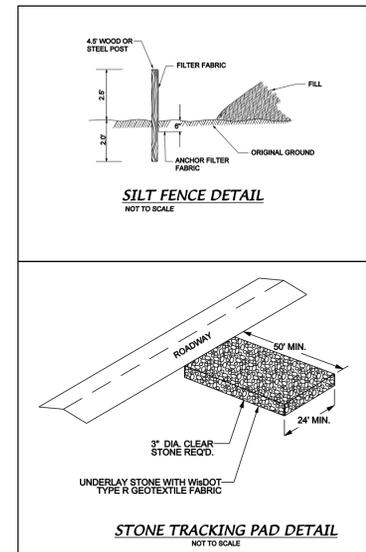
SITE LIGHTING PLAN

STONE CREEK II

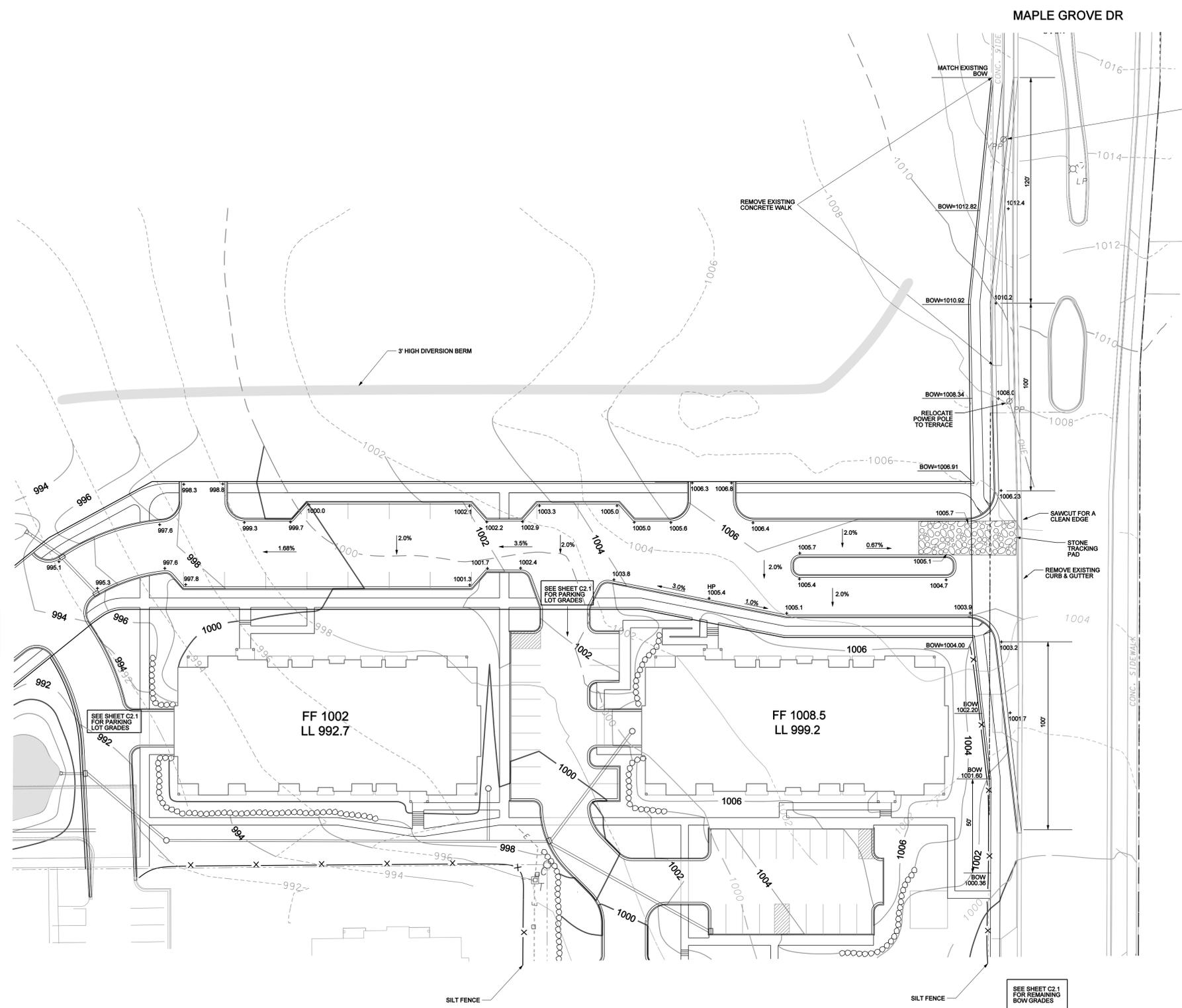
MADER DRIVE
MADISON, WISCONSIN

- SITE GRADING AND EROSION CONTROL NOTES**
- All site grading and erosion control shall conform with the City of Madison Chapter 37 Ordinance, and any addendums issued prior to the contract bid date.
 - Silt fence and the stone tracking pad shall be installed at the start of site grading and maintained until the site has been stabilized.
 - Area disturbed within any street right-of-way shall be restored with 4" topsoil, fertilizer, seed, and mulch.
 - Disturbed areas outside the street right-of-way shall be restored with seed, fertilizer and mulch or in accordance with an approved landscape plan.
 - Public streets shall be cleaned daily as necessary. Hydraulic flushing will not be allowed.
 - Erosion control shall be the responsibility of the Earthwork Contractor until the site has been stabilized. Erosion measures as listed shall be the minimum measures that will be acceptable.
 - The Contractor shall install additional erosion measures as requested in writing by the project superintendent or the City of Madison within 24 hours of notification.
 - Once the site has undergone final restoration and vegetation has established, the silt fence shall be removed and if necessary, restored with fertilizer, seed and mulch. Alternatively, if vegetation has not established, erosion matting must be placed on all disturbed areas that may drain toward the silt fence.
 - Type D Inlet filter bags shall be installed in all inlets receiving runoff immediately upon placement of structure. They shall be cleaned/maintained throughout construction and removed after a satisfactory stand of grass has been achieved.

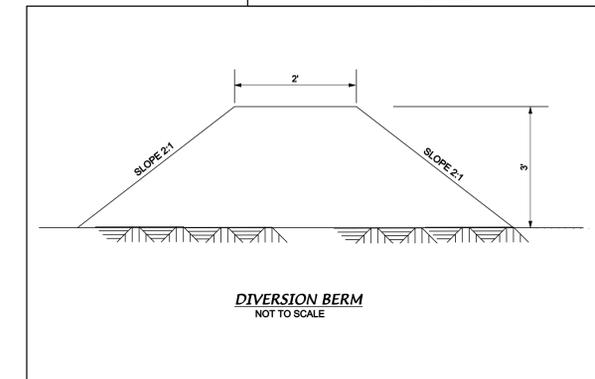
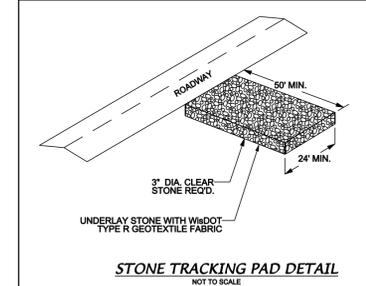
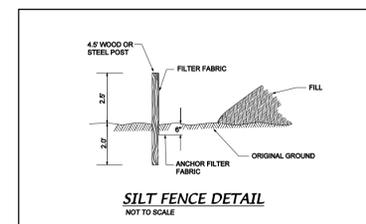
- BIORETENTION NOTES**
- The basin shall be constructed per the Wisconsin DNR Conservation Practice Standard 1004.
 - The basin shall be installed after the parking lots and drives are paved and a satisfactory stand of vegetation on the pond banks and site has occurred.
 - The basins shall be excavated to within 1 foot of final grade at the time the site is rough graded to allow sediment to be captured during site work. Once the site is paved and being restored, the basin shall be excavated to finished grade and the engineered soil placed at that time.
 - During construction, basin area shall be kept free of compaction by heavy equipment and materials.
 - The engineered fill shall be a mixture of 70-85% coarse sand and 15-30% compost meeting the following requirements:
 Sand - USDA coarse sand 0.02 to 0.04 inch diameter pre-washed and well drained or dry prior to mixing
 Compost - shall meet the requirements of Wisconsin DNR S100
 - The engineered soil mix shall be free of rock, roots, and debris over 1" in diameter.
 - Contractor shall place engineered fill in a manner that minimizes compaction of fill and subgrade and allows for natural settlement of the fill.
 - Restoration of the bioretention basin shall include placement of a layer of coconut fabric followed by the planting of native prairie plugs spaced 18" on center. Landscape architect shall provide the appropriate plug types that will provide optimum survivability and blend in well with adjoining flora.



DATE: 10-04-11
 REVISED:
 X
 DRAWN BY: BJH
 FN: 11-05-131
 Sheet Number:
C2.2



ADJUST LOCATION OF TAPER AS NECESSARY TO PROVIDE 2' SEPARATION BETWEEN BACK OF WALK AND FRONT OF POWER POLE



SEE SHEET C2.2 FOR CONTINUATION OF POND AND STREET GRADES

SEE SHEET C2.1 FOR PARKING LOT GRADES

SEE SHEET C2.1 FOR PARKING LOT GRADES

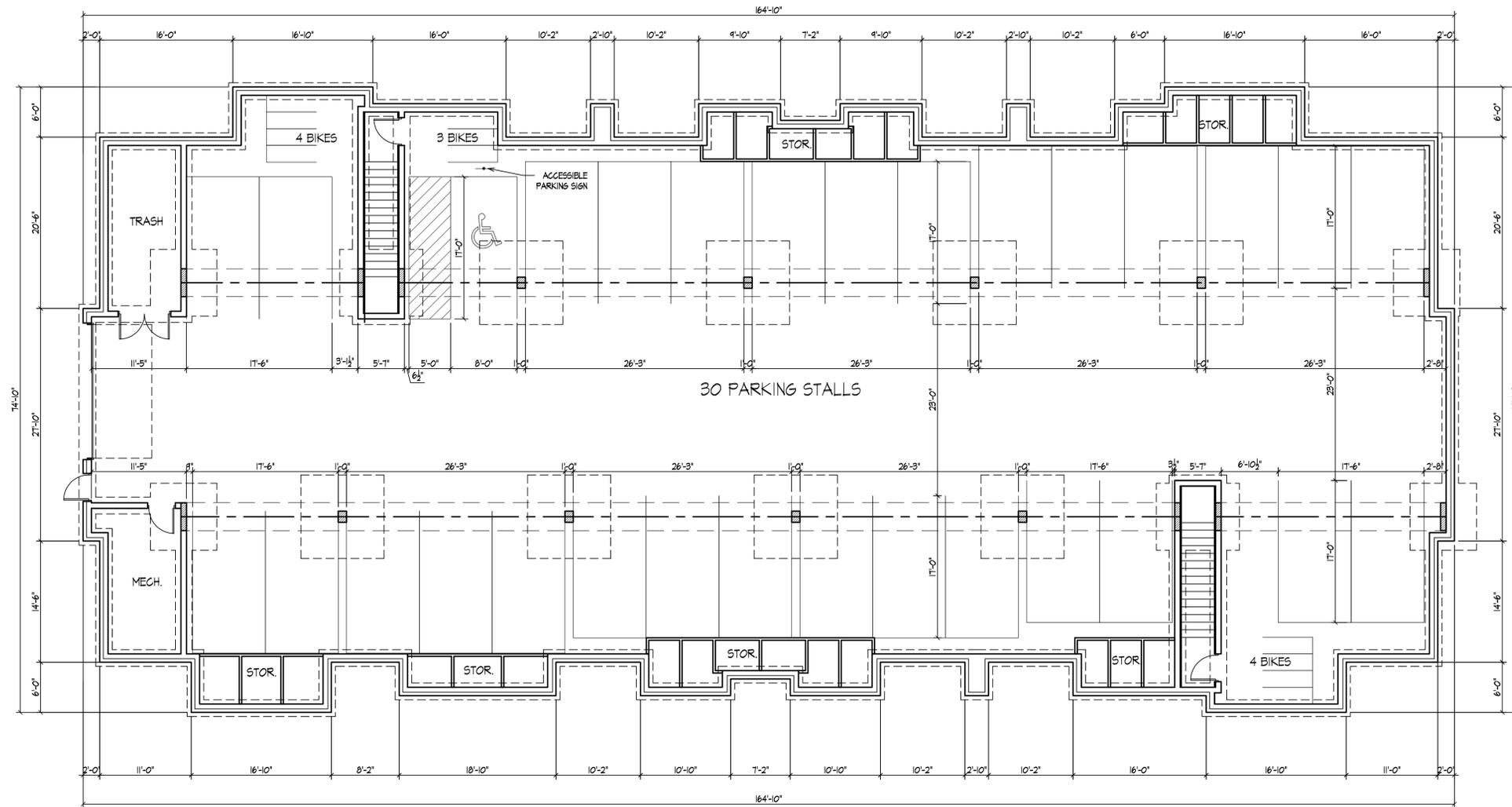
SEE SHEET C2.1 FOR REMAINING BOW GRADES

- SITE GRADING AND EROSION CONTROL NOTES**
- All site grading and erosion control shall conform with the City of Madison Chapter 37 Ordinance, and any addendums issued prior to the contract bid date.
 - Silt fence and the stone tracking pad shall be installed at the start of site grading and maintained until the site has been stabilized.
 - Area disturbed within any street right-of-way shall be restored with 4" topsoil, fertilizer, seed, and mulch.
 - Disturbed areas outside the street right-of-way shall be restored with seed, fertilizer and mulch or in accordance with an approved landscape plan.
 - Public streets shall be cleaned daily as necessary. Hydraulic flushing will not be allowed.
 - Erosion control shall be the responsibility of the Earthwork Contractor until the site has been stabilized. Erosion measures as listed shall be the minimum measures that will be acceptable.
 - The Contractor shall install additional erosion measures as requested in writing by the project superintendent or the City of Madison within 24 hours of notification.
 - Once the site has undergone final restoration and vegetation has established, the silt fence shall be removed and if necessary, restored with fertilizer, seed and mulch. Alternatively, if vegetation has not established, erosion matting must be placed on all disturbed areas that may drain toward the silt fence.
 - Type D inlet filter bags shall be installed in all inlets receiving runoff immediately upon placement of structure. They shall be cleaned/maintained throughout construction and removed after a satisfactory stand of grass has been achieved.
 - Diversion berm to be created using the topsoil stripped from the site and may be larger than 3' high. Diversion berm to remain in place after site restoration for post construction erosion control and runoff diversion.



DATE: 10-04-11
 REVISED:

DRAWN BY: B.J.H.
 FN: 11-05-131
 Sheet Number:
C2.3



Revisions
SIP Submittal - October 5, 2011

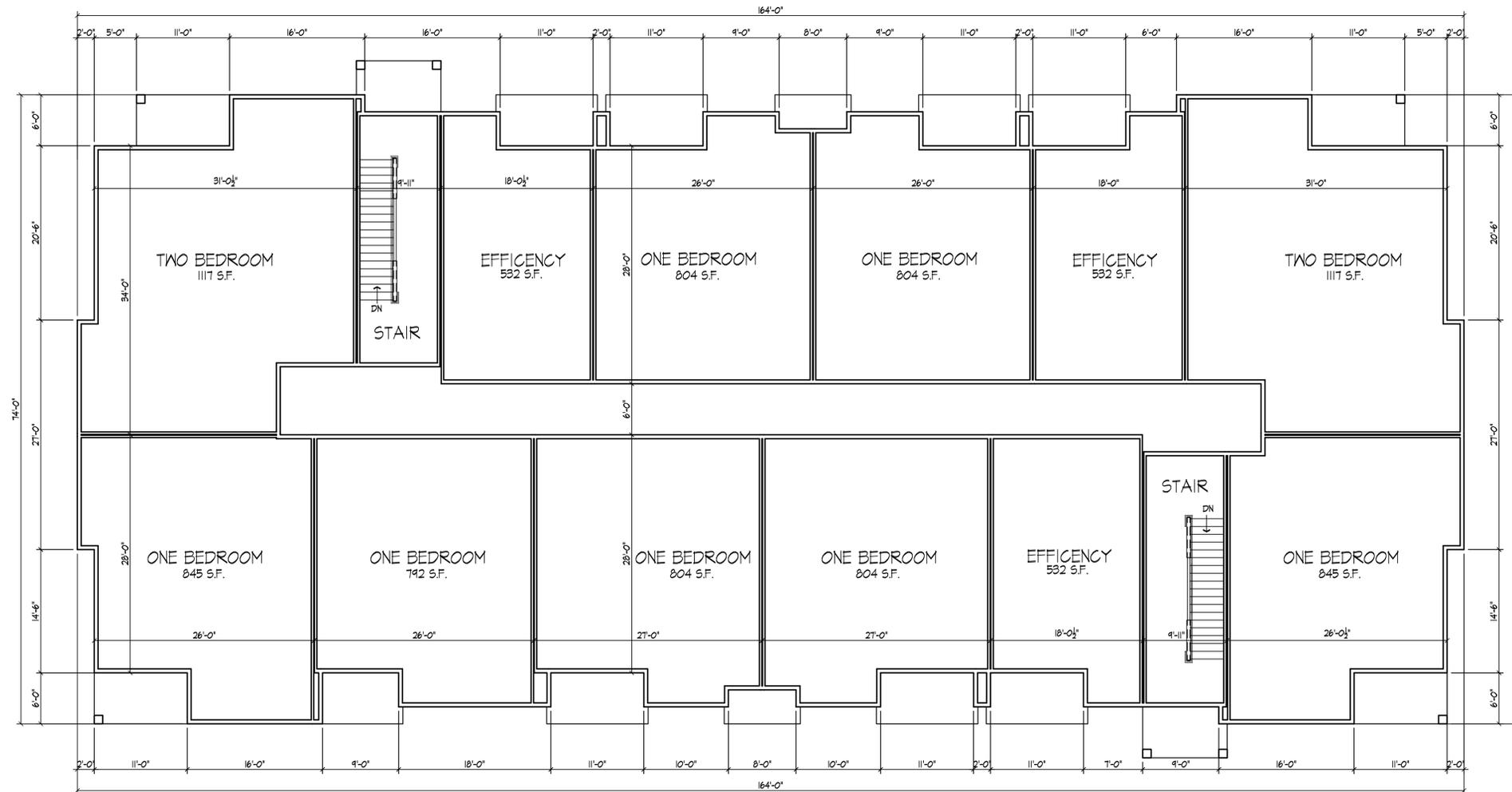
Project Title
**Stone Creek
Apartments II**

BASEMENT PLAN
1/8" = 1'-0"

Drawing Title
**Basement Plan
Building 1 & 2 - 26 Unit**

Project No. Drawing No.

0852



Revisions
SIP Submittal - October 5, 2011

Project Title
**Stone Creek
Apartments II**

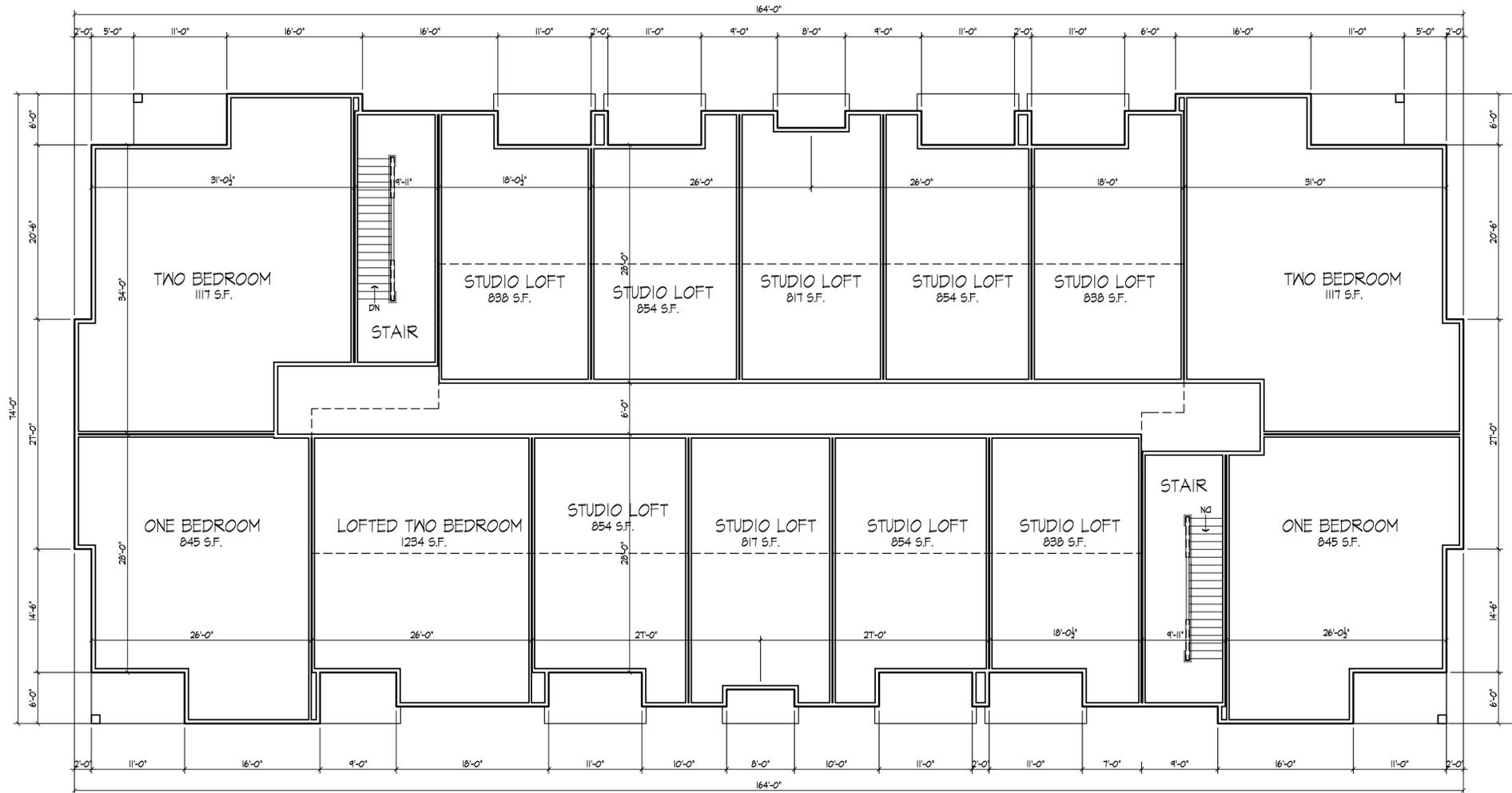
FIRST FLOOR PLAN
1/8" = 1'-0"

Drawing Title
**First Floor Plan
Building 1 & 2 - 26 Unit**

Project No. Drawing No.

0852

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Revisions
SIP Submittal - October 5, 2011

SECOND FLOOR PLAN
1/8" = 1'-0"

Project Title
**Stone Creek
Apartments II**

Drawing Title
**Second Floor Plan
Building 1 & 2 - 26 Unit**

Project No. Drawing No.

0852

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Notes



- TYPICAL MATERIALS
- ASPHALT SHINGLES
- STANDING SEAM METAL ROOF
- ALUM. WRAPPED FASCIA
- ALUM. RAILING
- COMPOSITE TRIM
- HORIZONTAL SIDING
- 6" PRECAST SILL
- PRECAST HEADS AND SILLS
- SIMULATED STONE VENEER

NORTH ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"

Revisions
SIP Submittal - October 5, 2011

Project Title
**Stone Creek
Apartments II**

Drawing Title
**Elevations
Building 1 & 2 - 26 Unit**

Project No. Drawing No.

0852

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Notes



EAST ELEVATION
1/8" = 1'-0"



WEST ELEVATION
1/8" = 1'-0"

Revisions
SIP Submittal - October 5, 2011

Project Title
**Stone Creek
Apartments II**

Drawing Title
**Elevations
Building 1 & 2 - 26 Unit**

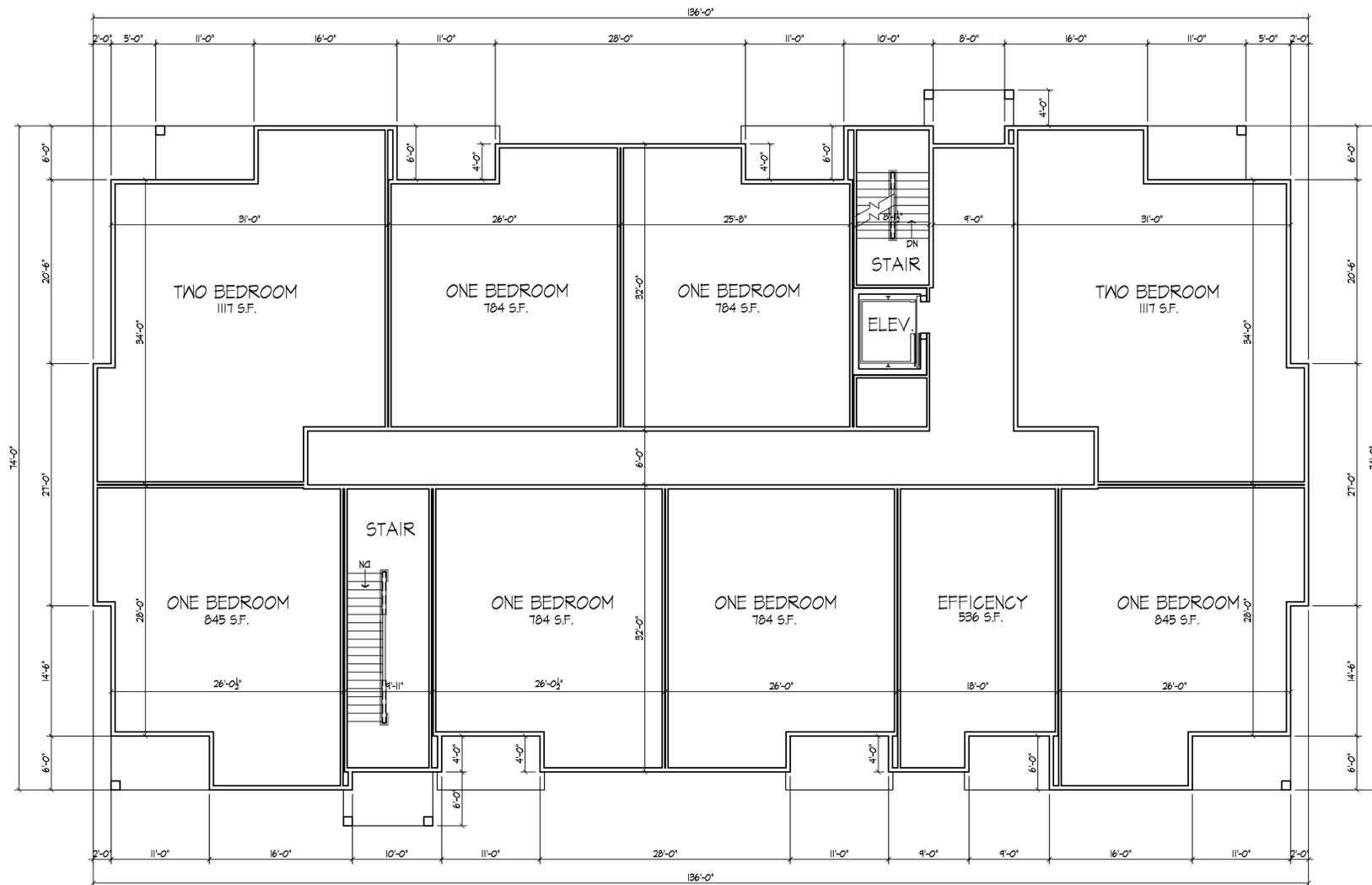
Project No. Drawing No.

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Notes



FIRST FLOOR PLAN
1/8" = 1'-0"

Revisions
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Project Title
**Stone Creek
Apartments II**

Drawing Title
**First Floor Plan
Building 3 - 27 Unit**

Project No. Drawing No.

0852

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Notes



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SIP Submittal - October 5, 2011

Project Title
**Stone Creek
Apartments II**

SECOND FLOOR PLAN
1/8" = 1'-0"

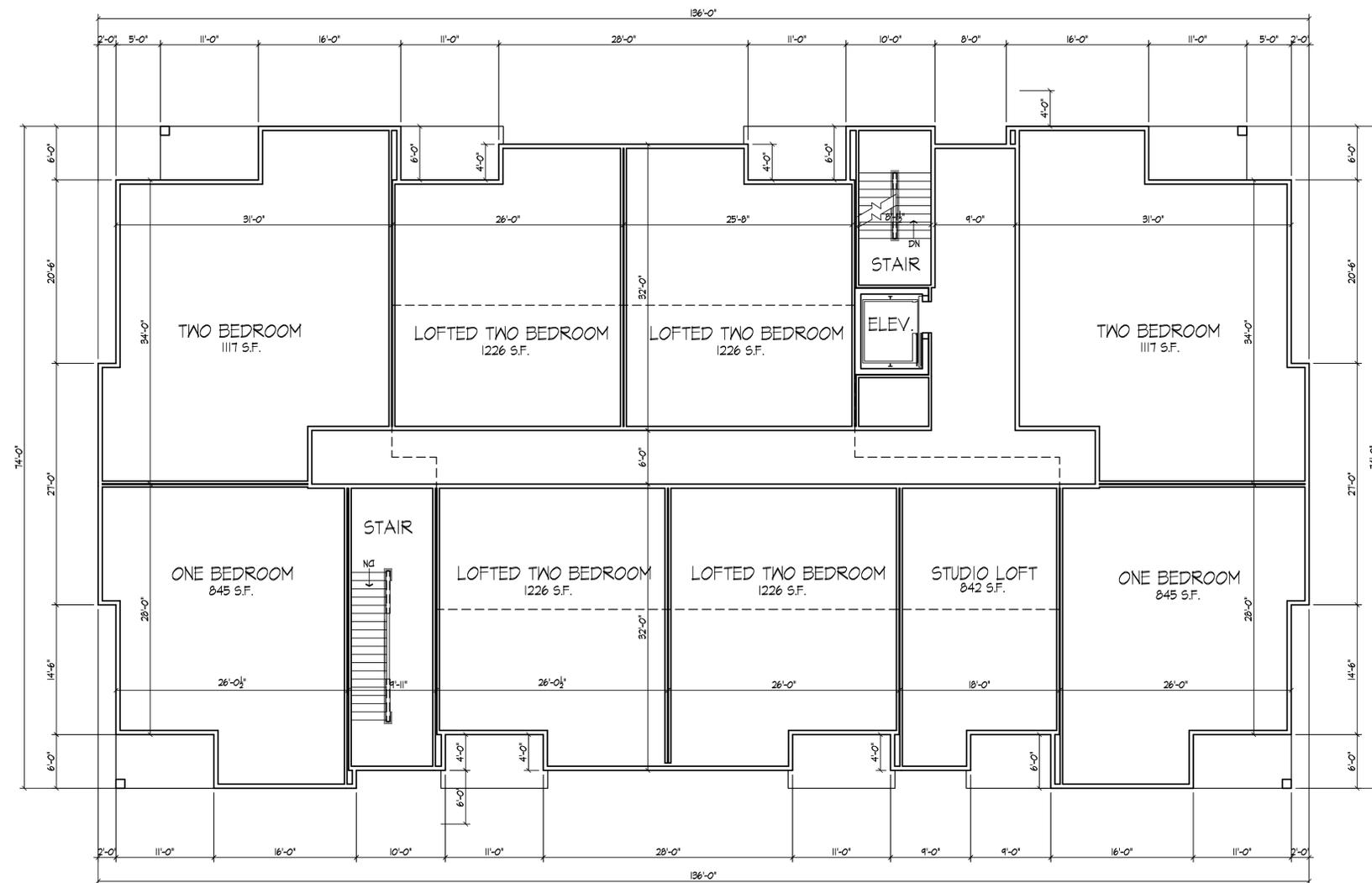
Drawing Title
**Second Floor Plan
Building 3 - 27 Unit**

Project No. Drawing No.

0852

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THIRD FLOOR PLAN
1/8" = 1'-0"

Revisions
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Project Title
**Stone Creek
Apartments II**

Drawing Title
**Third Floor Plan
Building 3 - 27 Unit**

Project No. Drawing No.

0852

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Notes



WEST ELEVATION
1/8" = 1'-0"



EAST ELEVATION
1/8" = 1'-0"

Revisions
SIP Submittal - October 5, 2011

Project Title
**Stone Creek
Apartments II**

Drawing Title
**Elevations
Building 3 - 27 Unit**

Project No. Drawing No.

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Notes



 **NORTH ELEVATION**
1/8" = 1'-0"



 **SOUTH ELEVATION**
1/8" = 1'-0"

Revisions
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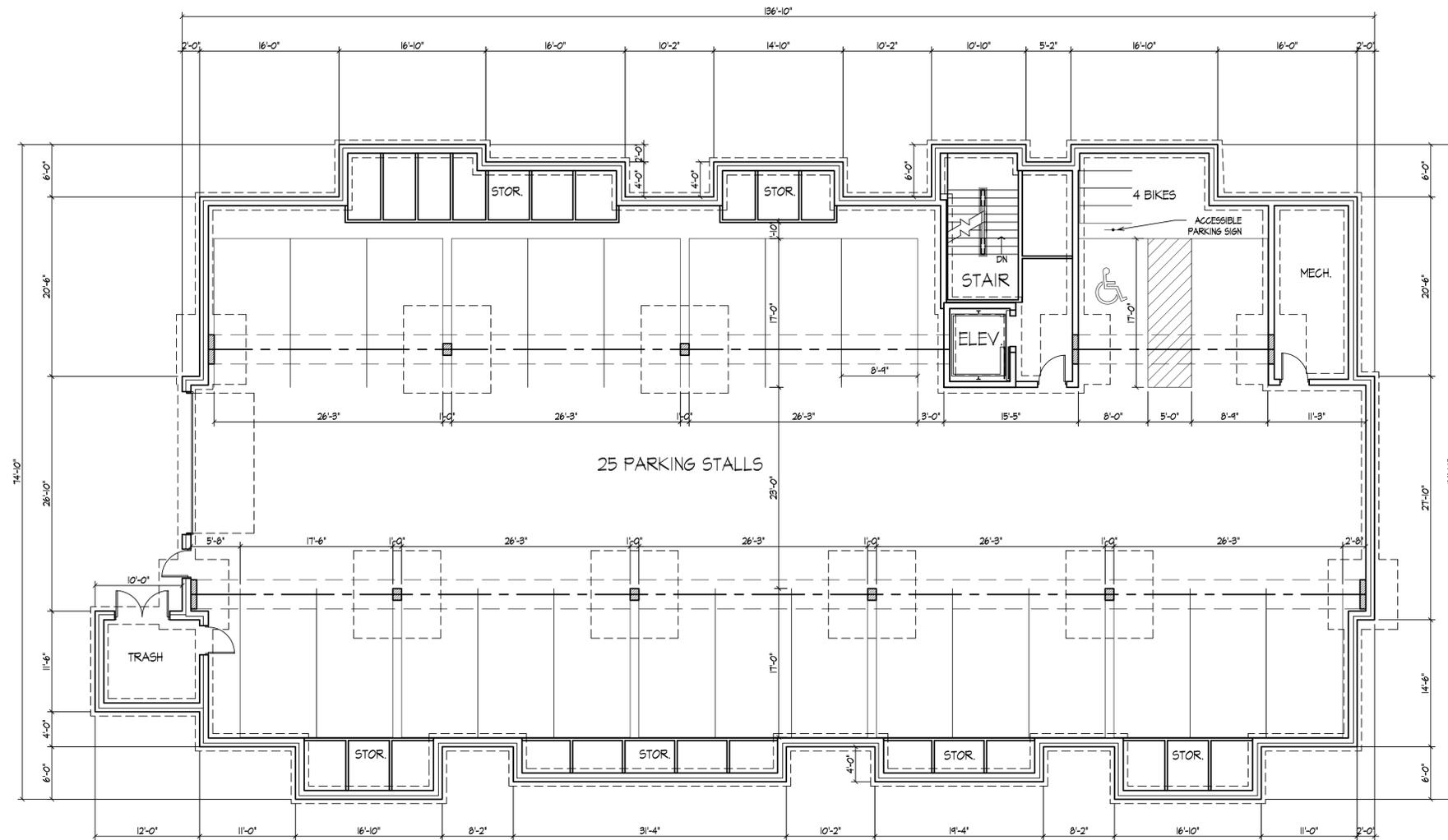
Project Title
**Stone Creek
Apartments II**

Drawing Title
**Elevations
Building 3 - 27 Unit**

Project No. Drawing No.

0852 **11**

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BASEMENT PLAN
1/8" = 1'-0"

Revisions
SIP Submittal - October 5, 2011

Project Title
**Stone Creek
Apartments II**

Drawing Title
**Basement Plan
Building 4 - 21 Unit**

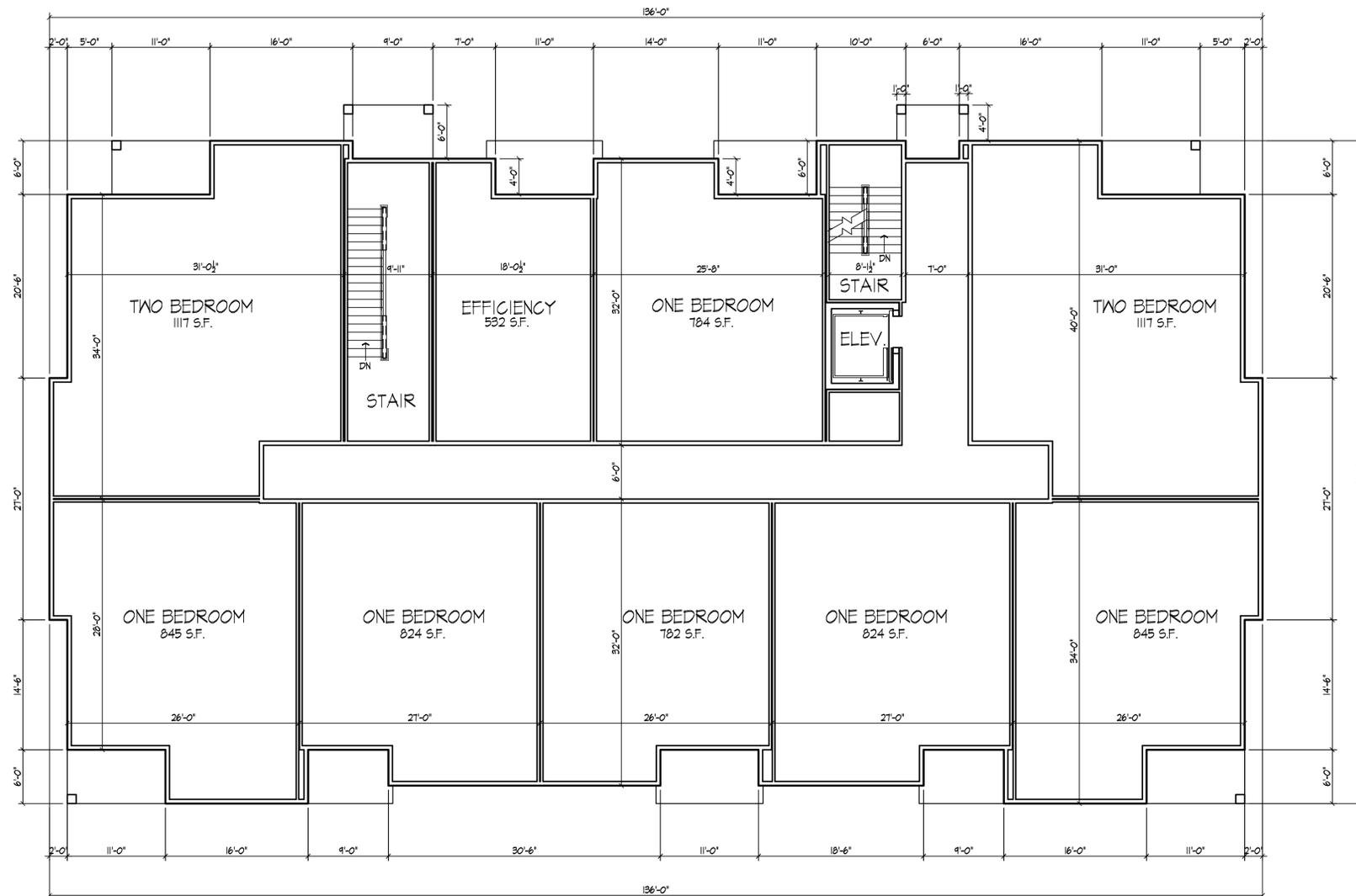
Project No. Drawing No.

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Notes



FIRST FLOOR PLAN
1/8" = 1'-0"

Revisions
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Project Title
**Stone Creek
Apartments II**

Drawing Title
**First Floor Plan
Building 4 - 27 Unit**

Project No. Drawing No.

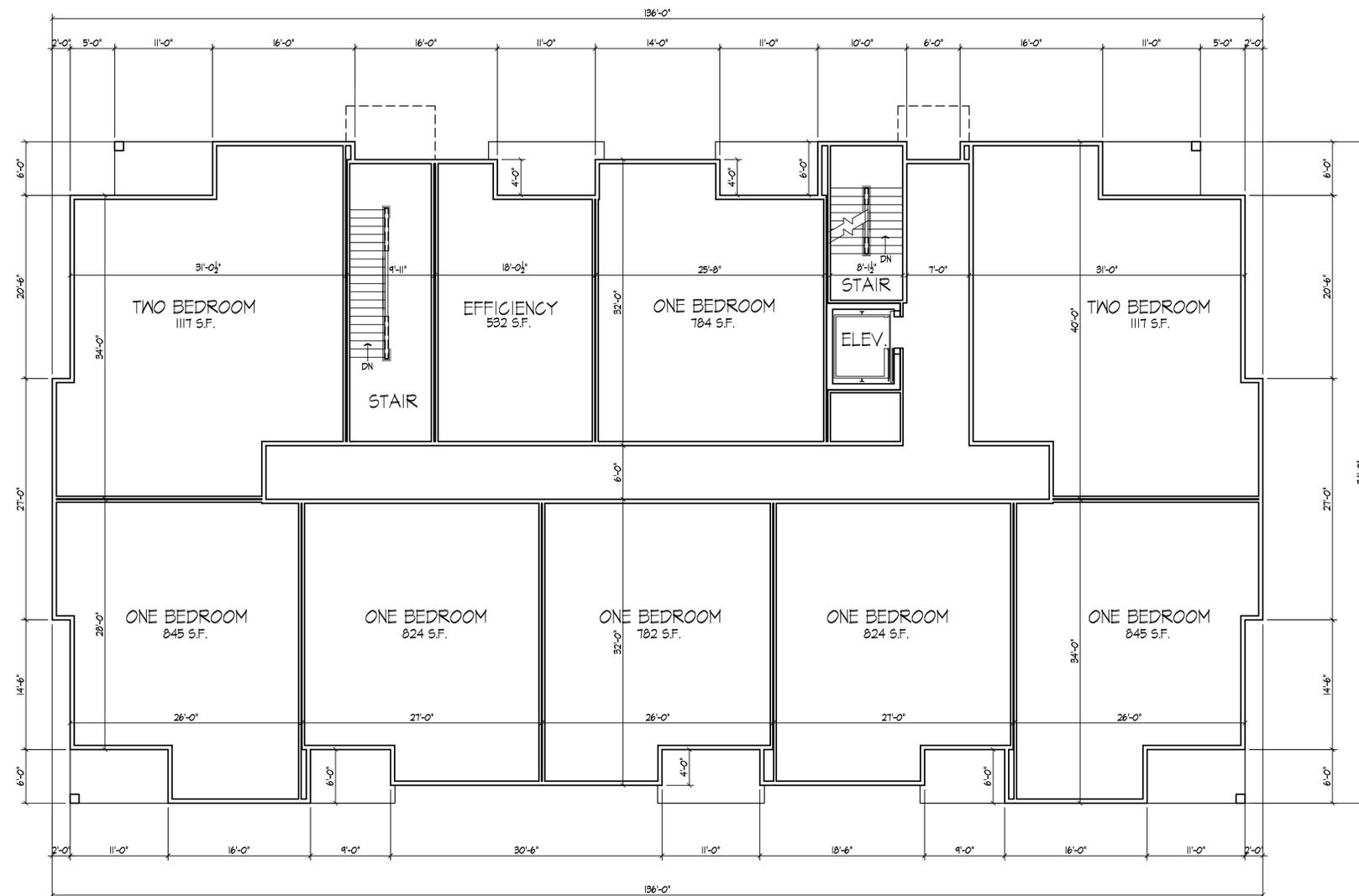
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Notes



Revisions
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Project Title
**Stone Creek
Apartments II**

SECOND FLOOR PLAN
1/8" = 1'-0"

Drawing Title
**Second Floor Plan
Building 4 - 21 Unit**

Project No. Drawing No.

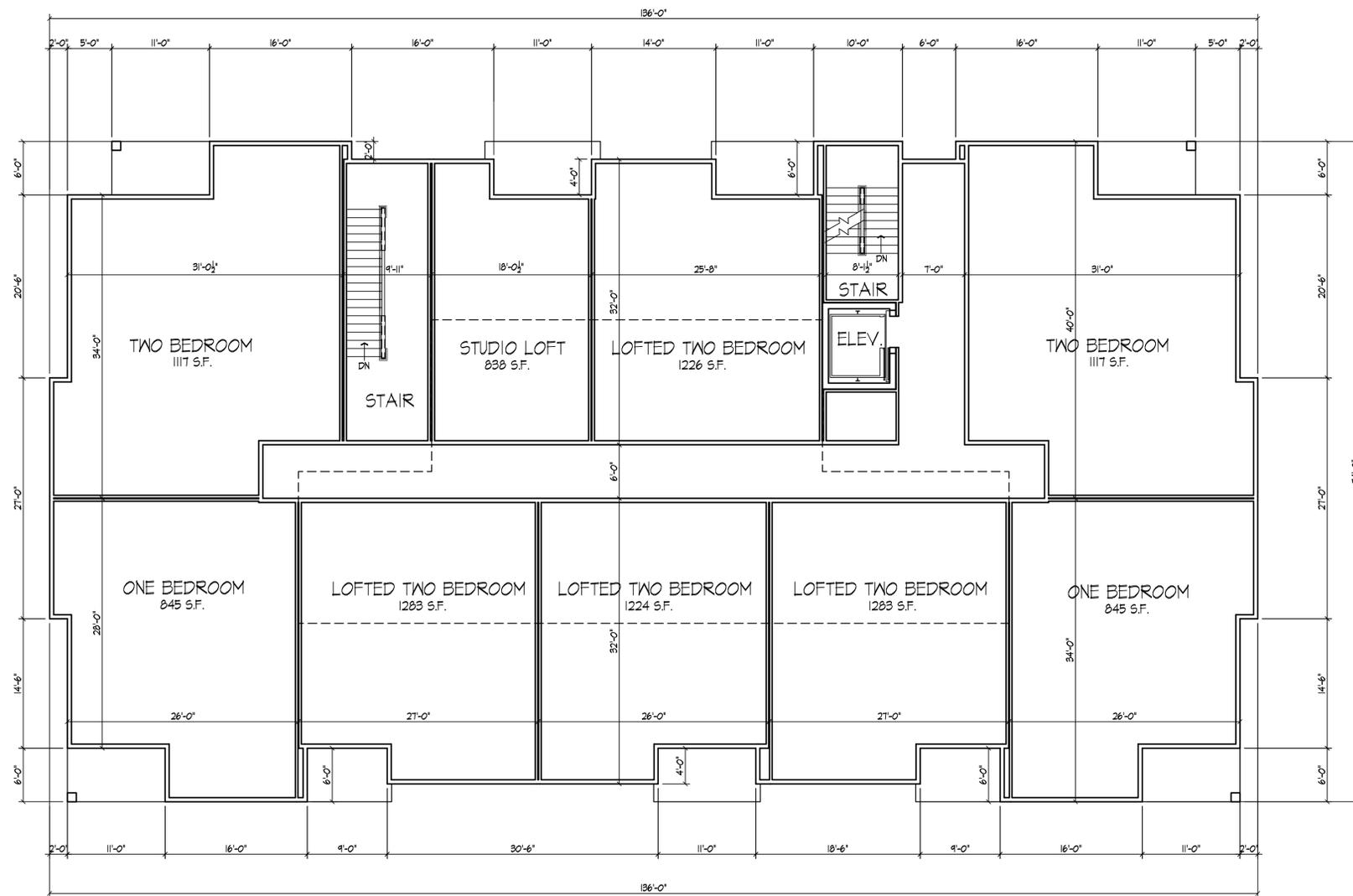
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Notes



THIRD FLOOR PLAN
1/8" = 1'-0"

Revisions
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Project Title
**Stone Creek
Apartments II**

Drawing Title
**Third Floor Plan
Building 4 - 27 Unit**

Project No. Drawing No.

0852

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Notes



NORTH ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"

Revisions
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Project Title
**Stone Creek
Apartments II**

Drawing Title
**Elevations
Building 4 - 27 Unit**

Project No.

Drawing No.

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Consultant

Notes



EAST ELEVATION
1/8" = 1'-0"



WEST ELEVATION
1/8" = 1'-0"

Revisions
SIP Submittal - October 5, 2011

Project Title
**Stone Creek
Apartments II**

Drawing Title
**Elevations
Building 4 - 27 Unit**

Project No. Drawing No.
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