

APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL

AGENDA ITEM # _____

Project # _____

03436

DATE SUBMITTED: <u>4/12/06</u>	<input type="checkbox"/> Action Requested
UDC MEETING DATE: <u>5/3/06</u>	<input type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 3434 E. WASHINGTON AVE.

ALDERMANIC DISTRICT: 17

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:
ACCESS COMMUNITY HEALTH CENTER MARSHALL ERDMAN & ASSOCIATES

3434 E. WASHINGTON AVE. 5117 UNIVERSITY AVE.

MADISON, WI. MADISON, WI 53705

CONTACT PERSON: BARB OHLSEN

Address: 5117 UNIVERSITY AVE.

MADISON, WI 53705

Phone: 608.218.6429

Fax: 608.218.4448

E-mail address: bohlseu@erdmman.com

TYPE OF PROJECT:

(See Section A for:)

- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 50,000 Sq. Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

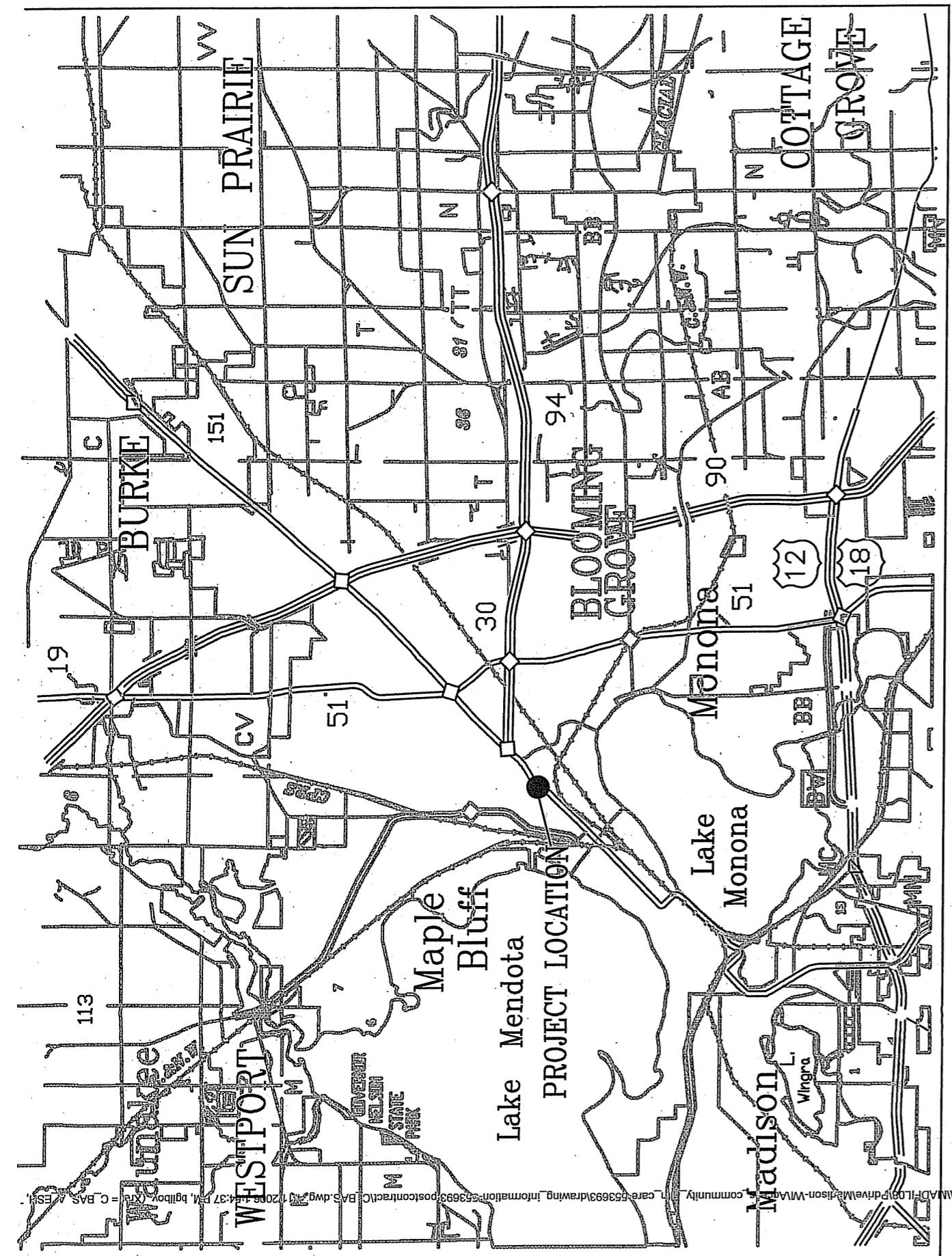
- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review* (Fee required)
- Street Graphics Variance* (Fee required)

Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)



VICINITY MAP

William T. Evjue Clinic Expansion

The Evjue Clinic is a non-profit community health care center serving the uninsured and under-insured. In 2005, the clinic occupied the facility vacated by Dean Clinic on East Washington Avenue. The rapid growth of their dental practice precipitated this expansion plan when attractive private funding became available.

The proposed expansion includes the addition of dental exam rooms, medical exam rooms and office/staff support spaces in the lower level. Another egress stair is included.

The parking lot is already larger than required by the 1 space/300 S.F. of building space. Even with the 8817 S.F. addition, the lot is still in excess of requirement.

There are no anticipated changes in the site signage or lighting.

This expansion program will greatly enhance the clinic's ability to serve the growing need for community health care. The facility is a modest yet functional building that can serve them for many years with the expanded size.



Parking Stall Reduction Request Application

(To Be Accompanied With Site Plan)

FOR OFFICE USE ONLY	
Date:	
Received by:	
Zoning District:	
Parcel No.:	
GQ:	
Ald. District:	

Type or print, using pen, not pencil.

Address of Property: 3434 E. WASHINGTON AVE.	
Name & Address of Owner: ACCESS COMMUNITY HEALTH CENTER 3434 E. WASHINGTON AVE MADISON, WI	
Name & Address of Applicant (or owner's representative): BARBARA K. OHLSEN MARSHALL ERDMAN & ASSOCIATES 5117 UNIVERSITY AVE MADISON, WI 53705	
Existing Parking Requirements: 51	# Stalls Provided: 113
Brief Summary of Proposal: CURRENT LOT IS NEVER FULL; MAJORITY OF PATIENTS TAKE PUBLIC TRANSPORTATION OR USE TAXI VOUCHERS. PROPOSED ADDITION WILL REDUCE PARKING. NO EFFECT ANTICIPATED.	
Proposed Parking Requirements: 80	# Stalls Provided: 106
Percent Requested -6.2 %	
1) On bus route: <input checked="" type="radio"/> YES <input type="radio"/> NO	
2) Within 1000 feet of bicycle path: <input checked="" type="radio"/> YES <input type="radio"/> NO	
3) Bicycle rack: <input checked="" type="radio"/> YES <input type="radio"/> NO	
4) Hours of operation: 9 to 6	
5) Is this peak demand time for other uses: YES <input type="radio"/> NO <input checked="" type="radio"/>	
6) Change of use? NO	7) New Building: NO
8) Addition to existing building: YES	

9) Existing or potential shared parking: YES NO

If yes, address:

Number of stalls:

Applicant's Signature: *Barbara K. Alpen* Date: *4/11/06*

To Be Filled in by Zoning Staff

10) Availability & Accessibility of Alternative Parking [1=Plenty available, 5=Little available (bad)]:

a) On-street availability (Rate 1 to 5):

b) Public parking within 500 feet: _____ stalls

c) Other _____ stalls

11) Impact on adjacent residential neighborhoods. Rate 1 to 5 [1=Low impact, 5=High impact (bad)]:

12) Number of residential parking permits issued in the block (if applicable):

13) Anticipated increased demand. Rate 1 to 5 [1=Low, 5=high (bad)]:

Because of the diversity of situations and neighborhoods, some of the above criteria have greater influence on the parking stall reduction request. The following criteria are significant in this case.

1	4	7	10.a.	11
2	5	8	10.b.	12
3	6	9	10.c.	13

For Parking Reduction Requests From 1 to 9 Stalls

Zoning Administrator's Approval according to Section 28.11(2)(c):

For All Parking Reduction Requests Exceeding Five (5) Stalls

Parking Utility Manager Recommendation:

Traffic Engineer Recommendation:

For Parking Reduction Requests from 9-19 Stalls

Alder Recommendation:

Director of Planning & Development:

LANDSCAPE WORKSHEET
 Parking Lots, Storage Areas and Loading Areas
 (Section 28.04 Madison General Ordinance)

Project Location/Address:
Name of Project:
Owner/Contact:
Address:

FOR PARKING LOTS WITH GREATER THAN 20 STALLS, LANDSCAPE PLANS MUST BE STAMPED BY A REGISTERED LANDSCAPE ARCHITECT

I. Number of Trees Required

The number of trees required for a parking lot is based on the number of parking stalls. Using the Schedule for Required Trees on the reverse side of this worksheet, determine the number of trees required. (Example: One tree is required for 10 parking stalls).

∴ Landscape requirements for storage areas are determined by dividing the total square footage of the storage area by (300) square feet. This converts area to stalls.
 [Example: 10,000 square feet is equivalent to (33) stalls or (3) trees and (160) points].

Number of Parking Stalls _____	102
Total Square Footage of the Storage Area Divided by Three Hundred (300) Square Feet _____	
	TOTAL
Number of Canopy Shade Trees Required (2" - 2 1/2" Caliper) (See Schedule on reverse side) _____	8

II. Number of Landscape Points Required

The number of points required is also based on the number of parking stalls. Using the Point Schedule for Landscape Elements on the reverse side of this worksheet, determine the number of points required. (Example: 49.5 points are required for 10 stalls). A point fraction of (.5) or less may be disregarded, while a fraction in excess of (.5) must be counted as one point. Thus: 49.5 points would be rounded down to 49.0 points required.

The number of points required for loading areas is (75) points for each loading berth. (See Schedule on reverse side) _____	75
	TOTAL
Number of Points Required (See Schedule on reverse side) _____	538

Tabulation of Points and Credits

Indicate below the quantity and points for all pertinent landscape elements. Also, credit information for boundary screening and any existing elements to be retained.

ELEMENT	POINT VALUE	QUANTITY	POINTS ACHIEVED	CREDITS	
				QUANTITY	POINTS
Canopy Tree: 2" - 2 1/2"	35			9	315
Deciduous Shrub	2				
Evergreen Shrub	3				
Decorative Wall or Fence (per 10 L.F.)	5				
Earth Berm (per 10 L.F.) Avg. Height 30" Avg. Height 15"	5 2				
Evergreen Trees 3' height minimum	15			13	195
Canopy Tree or Small Tree 1 1/2" - 2" Caliper (i.e., Crab, Hawthorn)	15			2	30
Sub Totals				+	540
				TOTAL	540

= **540**
 Total No. of Points Provided
 (Equal to or greater than points required)

*Trees required in Part I above, are not to be included in the point count.

Approved by: _____ Date: _____

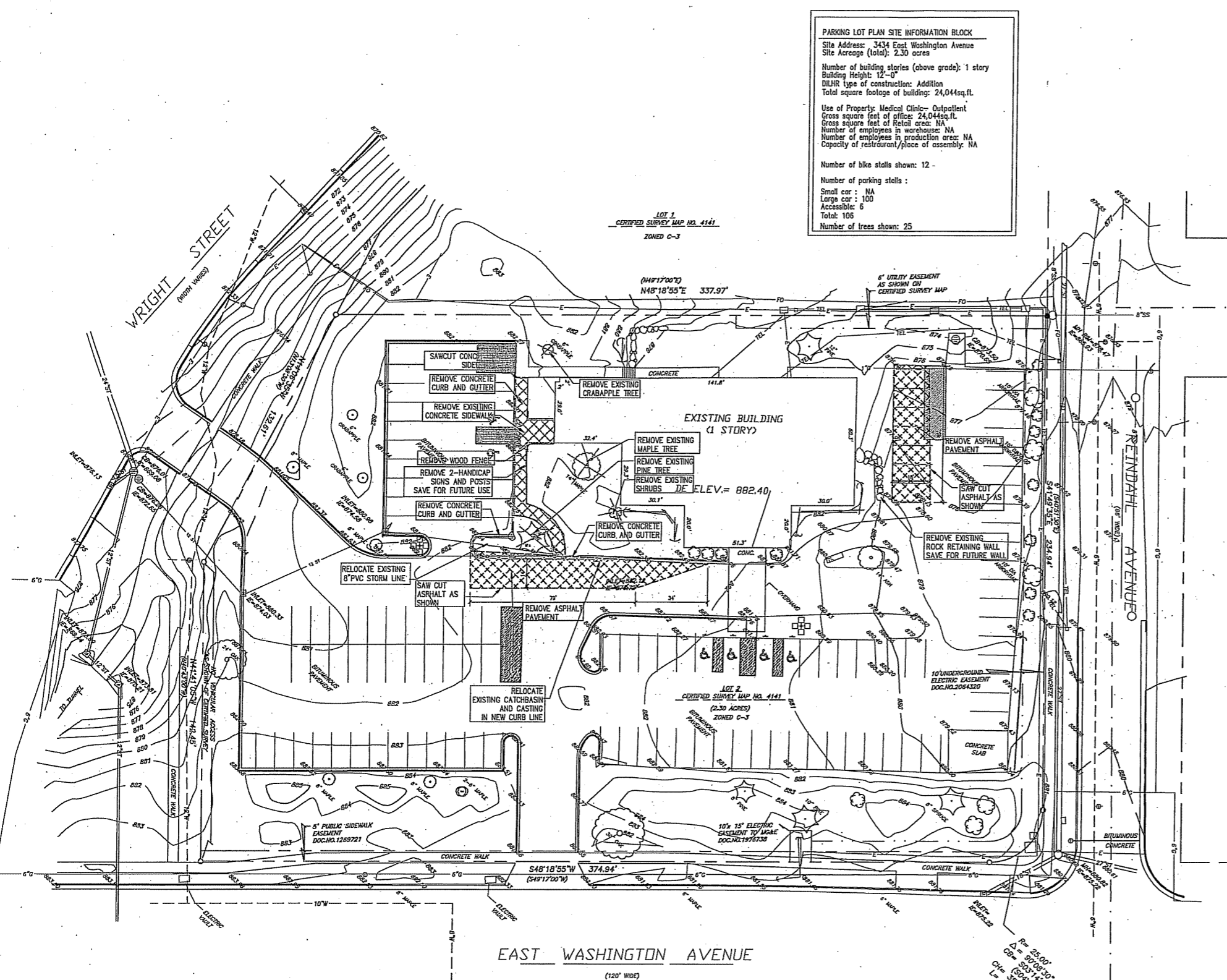


Marshall Erdman & Associates
 5125 University Ave. P.O. Box 5649
 Madison, Wisconsin 53705
 Phone: (608) 238-4230
 Fax: (608) 238-6533

PARKING LOT PLAN SITE INFORMATION BLOCK
 Site Address: 3434 East Washington Avenue
 Site Acreage (total): 2.30 acres
 Number of building stories (above grade): 1 story
 Building Height: 12'-0"
 DLHR type of construction: Addition
 Total square footage of building: 24,044sq.ft.
 Use of Property: Medical Clinic- Outpatient
 Gross square feet of office: 24,044sq.ft.
 Gross square feet of Retail area: NA
 Number of employees in warehouse: NA
 Number of employees in production area: NA
 Capacity of restaurant/office of assembly: NA
 Number of bike stalls shown: 12
 Number of parking stalls:
 Small car: NA
 Large car: 100
 Accessible: 6
 Total: 106
 Number of trees shown: 25

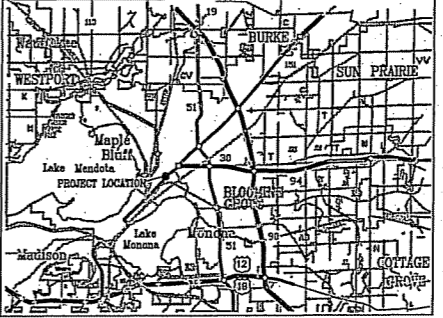
LEGEND

○	FILED 3/4" IRON PEG
○	PLACED 3/4" IRON ROAD MARK STAKE
○	MEASUREMENT MARK
○	WALK
—	UNDERGROUND ELECTRIC
—	UTILITY SERVICE
—	WIRE MAN
—	COE MAN
—	UNDERGROUND ELECTRIC
—	UNDERGROUND FIBER OPTIC
—	STEEL DRIVE
—	ELECTRIC TRANSFORMER
○	MANHOLE
○	POWER POLE
—	TELEPHONE PENETRATION
—	LOW POLE GAS METER
—	MANHOLE
—	SEW
—	TRCE
—	IRON
—	PKC TREE
—	CONCRETE WALL
—	CONC. CURB
—	DOORWAY ELEVATION
—	EXIST. CONTOUR
—	SPOT ELEVATION (IN DECIMAL FEET)
—	GRID ELEVATIONS ARE IN USED DATUM
—	STEEL LIME
—	TRUCKED AS INFORMATION
—	SPUR-WALL FENCE



TOPOGRAPHIC SURVEY BY:
 D'ONOFRIO, KOTTKE AND ASSOCIATES, INC.
 7530 WESTWARD WAY
 MADISON, WISCONSIN 53717
 TEL: 608-833-7530
 FAX: 608-833-1089

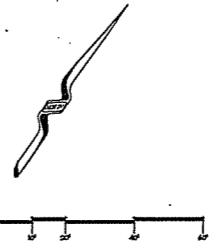
- NOTES**
- Elevations based on NAVD 88
 - This parcel is zoned C-3
 - Yard requirement per the City of Madison Zoning Ordinance:
 a. A yard shall be provided where a rear lot line coincides with an alley right-of-way line or a side lot line or rear lot line of an adjacent parcel. Such yard along any rear lot line shall be ten (10) feet in depth for buildings less than two stories in height, and thirty (30) feet for buildings two (2) stories or more in height.
 - This parcel is subject to restrictions within deed of release #1746273



**ACCESS
 COMMUNITY
 HEALTH
 CARE**

Document Reference	4-07-08 FOR CONSTRUCTION

Dr: bgilboy Cbc:
 Sheet Name
**EXISTING SITE
 AND DEMOLITION
 PLAN**
 Scale
 Sheet Number
C.1
 MADISON, WI
 653693





Marshall Erdman
& Associates

6105 University Ave., P.O. Box 6649
Madison, Wisconsin 53706
Phone: (608) 238-4230
Fax: (608) 238-6535

GENERAL NOTES

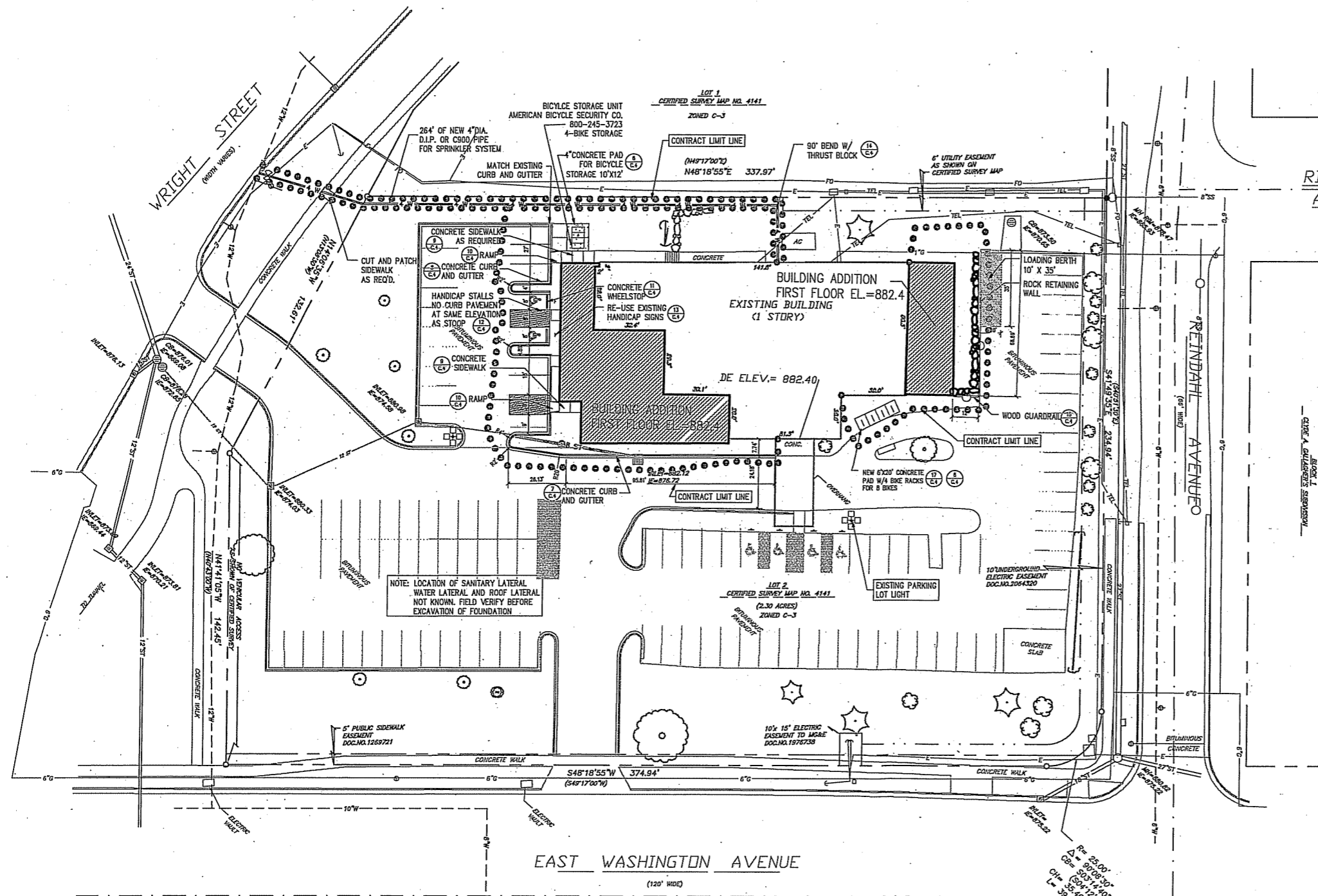
1. Parking lot dimensions are from face of curb to face of curb unless noted otherwise.
2. It shall be the responsibility of the subcontractors to notify all applicable utility companies who may be affected by the proposed work. The subcontractor shall make every effort to protect existing utility lines and shall repair any damages of their own expense. The subcontractors shall also coordinate their activities with other subcontractors to ensure compliance with the project schedule.
3. All site concrete shall have a minimum 28 day compressive strength of 4000 psi. a slump of 4", an air content of 6% and a maximum water to cement ratio of 0.48.
4. Spot elevations denote pavement surface unless otherwise noted.
5. Unless directed otherwise, all site preparation measures shall be in accordance with the soil report prepared by J.C.C.S., Inc. and dated 3-30-08.

LEGEND

(Symbol: Circle with cross)	24" RIGID POLYMER PLACED 3/4" 40' GRID BEARING FROM EXISTING ROADWAY LAYOUT
(Symbol: Circle with dot)	MISC
(Symbol: Circle with 'E')	UNDERGROUND ELECTRIC
(Symbol: Circle with 'S')	SEWER
(Symbol: Circle with 'W')	WATER
(Symbol: Circle with 'T')	TELEPHONE
(Symbol: Circle with 'C')	CABLE TELEVISION
(Symbol: Circle with 'G')	OVERHEAD ELECTRICAL
(Symbol: Circle with 'U')	UNDERGROUND ELECTRIC
(Symbol: Circle with 'O')	OVERHEAD TELEPHONE
(Symbol: Circle with 'X')	UNDERGROUND TELEPHONE
(Symbol: Circle with 'I')	UTILITY
(Symbol: Circle with 'P')	POWER POLE
(Symbol: Circle with 'H')	HYDRO-PNEUMATIC
(Symbol: Circle with 'L')	LEAD PIPE
(Symbol: Circle with 'R')	RIGID POLYMER
(Symbol: Circle with 'M')	MISC
(Symbol: Circle with 'S')	SEWER
(Symbol: Circle with 'W')	WATER
(Symbol: Circle with 'T')	TELEPHONE
(Symbol: Circle with 'C')	CABLE TELEVISION
(Symbol: Circle with 'G')	OVERHEAD ELECTRICAL
(Symbol: Circle with 'U')	UNDERGROUND ELECTRIC
(Symbol: Circle with 'O')	OVERHEAD TELEPHONE
(Symbol: Circle with 'X')	UNDERGROUND TELEPHONE
(Symbol: Circle with 'I')	UTILITY
(Symbol: Circle with 'P')	POWER POLE
(Symbol: Circle with 'H')	HYDRO-PNEUMATIC
(Symbol: Circle with 'L')	LEAD PIPE
(Symbol: Circle with 'R')	RIGID POLYMER
(Symbol: Circle with 'M')	MISC

PROPOSED:

(Symbol: Dashed line)	CONTRACT LIMIT LINE
(Symbol: Dotted line)	Spot elevations
(Symbol: Circle with 'X')	Trees
(Symbol: Circle with 'X')	Shrubs
(Symbol: Circle with 'S')	Storm sewer main / lateral
(Symbol: Circle with 'SA')	Sanitary sewer main / lateral
(Symbol: Circle with 'W')	Water main / lateral
(Symbol: Circle with 'G')	Gas main / lateral
(Symbol: Circle with 'E')	Overhead Electrical service
(Symbol: Circle with 'UG/E')	Underground Electrical service
(Symbol: Circle with 'OH/T')	Overhead Telephone service
(Symbol: Circle with 'UG/T')	Underground Telephone service
(Symbol: Circle with 'CTV')	Cable Television service
(Symbol: Circle with 'N 90° 0' 0" E 11.32°')	MISCELLANEOUS: Property line
(Symbol: Dashed line)	Setback line
(Symbol: Dashed line)	20' fence
(Symbol: Dashed line)	Contract limit line



ACCESS COMMUNITY HEALTH CARE

Document Release	3-07-08 FOR CONSTRUCTION

Dwg: bgl/bjy
Sheet Name
SITE LAYOUT AND UTILITY PLAN

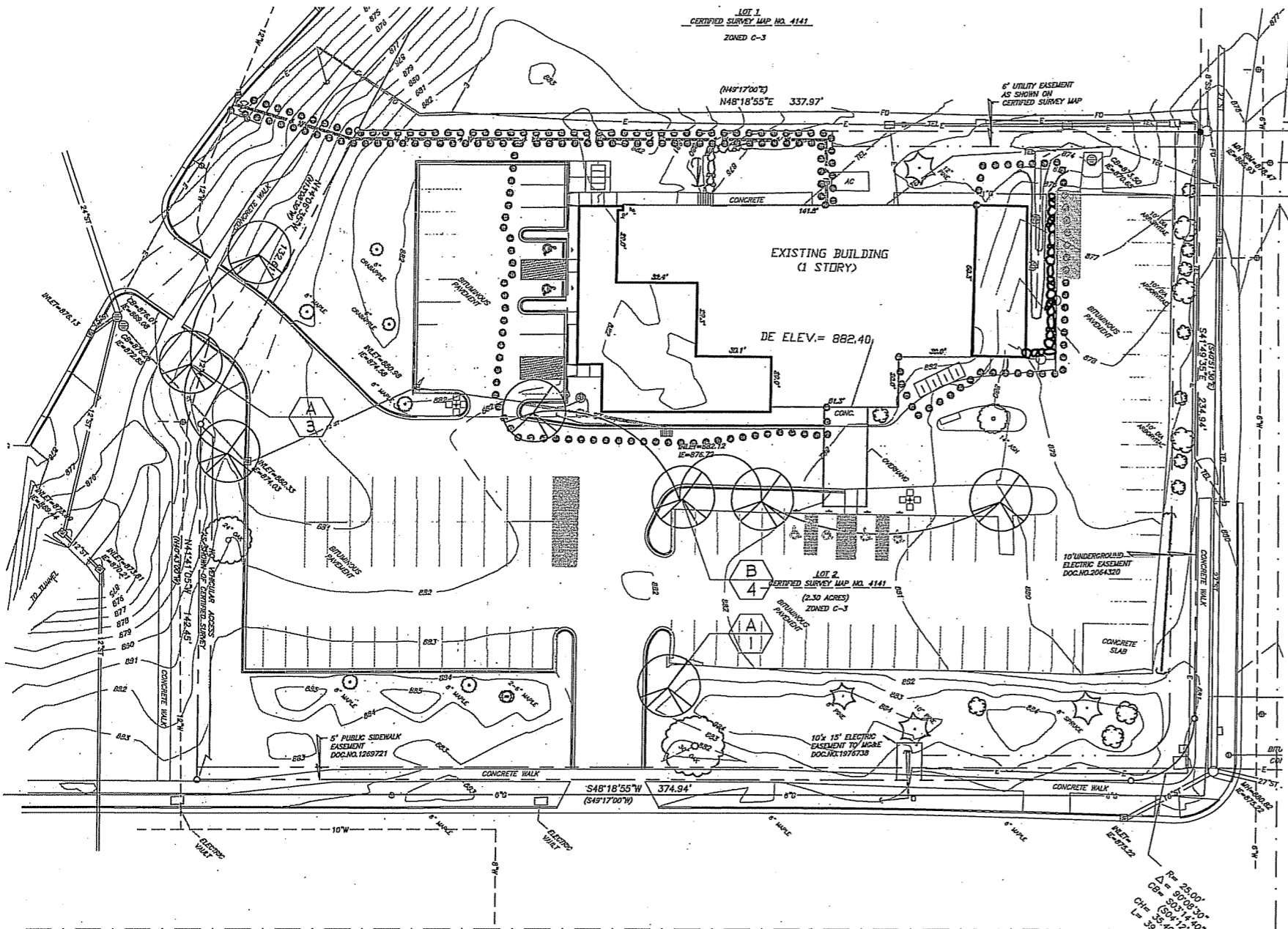
Scale: 1" = 20'
Sheet Number

C.2
MADISON, WI
653693



Marshall Erdman & Associates

5105 University Ave. P.O. Box 5649
Madison, Wisconsin 53705
Phone: (608) 238-4230
FAX: (608) 238-6535



1. Number of Trees Retained
The number of trees retained for existing site is based on the number of existing trees. Refer to Schedule for Proposed Plantings for the retention status of existing trees. Retain the number of trees required. (Landscape Code type is required for all planting codes.)

Landscape requirements for existing trees are determined by dividing the least square radius of the crown by the (50) square foot. This radius also is used to determine the number of trees to be retained for (25) square feet (25' x 25') and (50) square feet (50' x 50').

Number of Existing Trees Retained (See Schedule on reverse side) **102**

Total Square Footage of the Existing Area Covered by Trees (Based on 100 Square Feet) **102**

Number of Existing Trees Retained (See Schedule on reverse side) **0**

2. Number of Landscaping Plants Retained
The number of plants retained is determined by the number of existing plants. Refer to the Schedule for Proposed Plantings for the retention status of existing plants. Retain the number of plants required. (Landscape Code type is required for all planting codes.)

Number of Existing Plants Retained (See Schedule on reverse side) **463**

Number of Existing Plants Retained (See Schedule on reverse side) **75**

Total **538**

3. Tabulation of Plants and Credits
Indicate the quantity and position for all proposed landscape elements. Also, credit information for existing retaining walls and any existing structures to be retained.

Item	Plant	Quantity	Notes	Quantity	Notes
Planting Code - 2.5"		35		0	315
Dutchman Elm		2			
Green Ginkgo		2			
Japanese Maple		4			
Red Maple		2			
Red Oak		2			
White Oak		2			
White Birch		2			
White Pine		2			
White Spruce		2			
White Fir		2			
White Cedar		2			
White Pine		2			
Sub-Totals					
					540

Total Number of Plants Retained (Credit to or greater than zero quantity)

*Trees retained in Part 1 above, are not to be included in the plant count.

LANDSCAPE NOTES

- The Contractor shall locate and verify the existence of all utilities prior to starting work.
- The grade area as indicated in the Grading Plan. Ground level in parking lots 6" higher in center from curb elevation. Preserve existing trees and plants as indicated.
- Coordinate landscape work with other contractors of utility and irrigation work and irrigation planning.
- Refer to separate manual for the Landscape Specifications Section 02310 - Underground Irrigation, 02330 - Finish Grading, Sealing & Sealing and 02350 - Trees, Shrubs, Vines, Groundcovers & Foliage.
- Prepare soil test as called for in the specifications and submit soil test and recommendations to the Project Landscape Architect or Marshall Erdman & Associates' representative. Apply soil amendments for law areas to correct acid or alkali soils that adjust pH between 6.0 to 6.8. Evenly distribute ground limestone or sulfur and incorporate thoroughly into soil.
- Refer to specification Section 02350, Part 2, Materials for seed & soil types and installation.
- Install premixed planting mixtures as indicated in the specification Section 02350, Part 3, Execution.
- Refer to specification Section 02350, Part 3, Execution for hot-weather planting procedure when temperatures exceed 85 degrees F.
- Mulch all areas of trees, shrubs vines and groundcovers with type indicated on plans to a 3" depth. Refer to specification Section 02350, Part 2, Products for mulch types. Stippled areas indicate stone mulch, provide SAMPLE with bid.
- Install 1/2" x 4" steel edging or equivalent where indicated with a dashed line in modified black color.
- The Contractor shall provide maintenance for the plantings and lawn areas as indicated in the specifications:
Lawn - 30 Days
Trees, shrubs, Vines, groundcovers & perennials - 60 Days
Bulbs - 30 Days
Annuals - 30 Days
- Upon completion of the maintenance and approval for final acceptance, the Contractor shall apply the Owner and the Project Landscape Architect or Marshall Erdman & Associates' representative written maintenance instructions, for maintenance during and after the guarantee period.
- Warranty periods as indicated in the specification are:
Lawn - 60 Days
Trees, shrubs, Vines, groundcovers & perennials - 1 year
Bulbs - 90 Days
Annuals - 30 Days
- Provide BASIC BID of all lawn, plants, mulches and edgings. Include separate irrigation cost for irrigation of lawn and plants. Submit UNIT COSTS for all plant materials. (Unit costs include all labor).
- Refer to Landscape Details & Entry Details. Plant List quantities include plants from all sheets and detail plans.
- Provide ADD Alternate Bid for detailing lawn areas and installing plant beds, trees and mulches as indicated on the plan for plant labels in a dashed boxes.

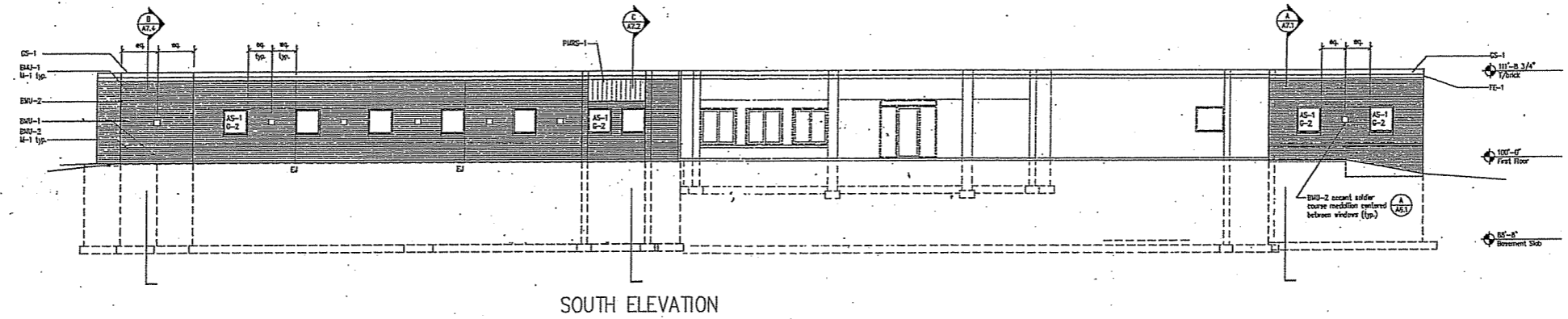
PLANT LIST - OVERALL PLAN

Code	Scientific Name	Common Name	Quantity	Size	Root	Remarks
			Base Bid /			
			Alternate Bid			
TREES						
A	<i>Acer platanoides</i> 'Emerald Green'	Emerald Green Norway Spruce	4	2.5"	B&B	
B	<i>Fragaria virginiana</i> 'Vilmorin'	Patience Green Ash	4	2.5"	B&B	

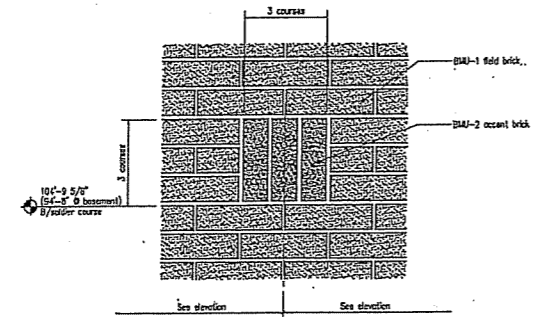
ACCESS COMMUNITY HEALTH CARE

Document Release
04/07/06 For Construction

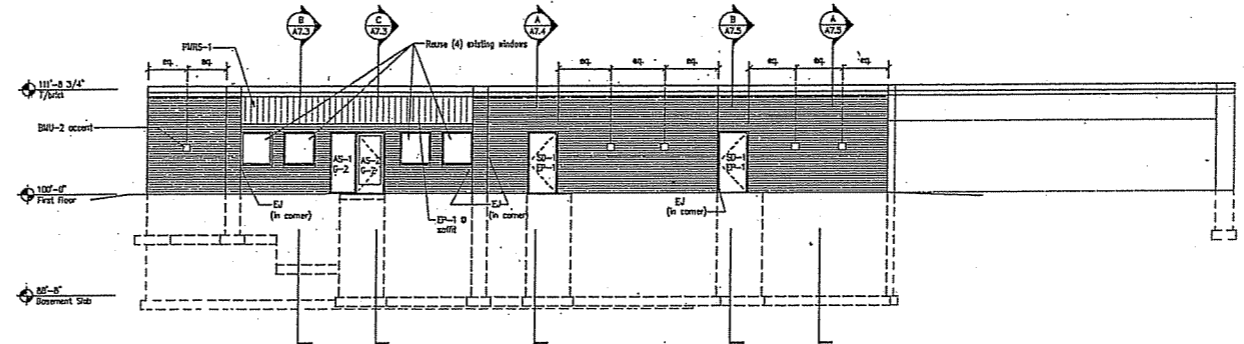
Doc: eelakamp Oic
Sheet Name
LANDSCAPE



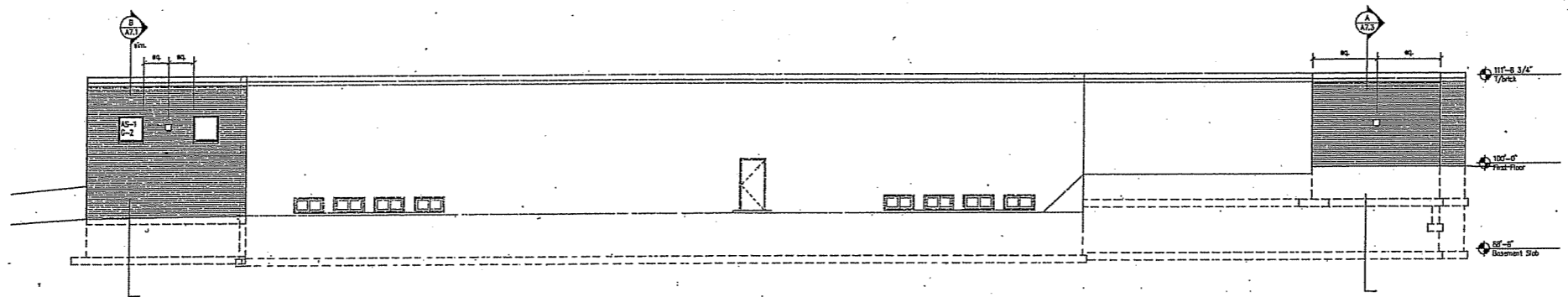
SOUTH ELEVATION



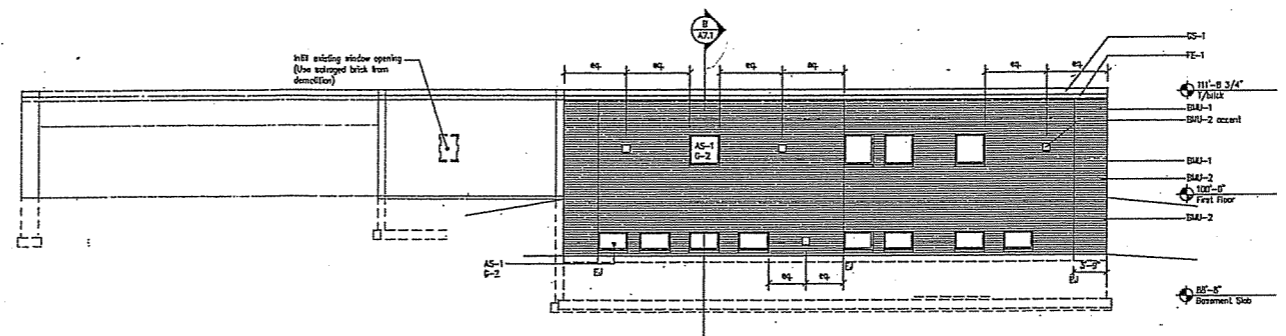
A SOLDIER COURSE MEDALLION
Scale: 1 1/2\"/>



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION

EXTERIOR MATERIAL SCHEDULE

Mortar	04060
M-1	Portland cement/lime mortar; color to match existing
Brick Masonry Units	04210
BUU-1	To match existing. Verify color/finish with Project Architect
BUU-2	TBD when BUU-1 is determined
Preformed Metal Roofing Siding and Soffits	07410
FRMS-1	Dark Bronze aluminum to match existing-flashed fascia pieces
Flashing Extension	07710
FE-1	Metal-EMA, Inc. "Fascia Extender - Standard" roof edge flashing; color: Dark bronze to match existing
Roof Edge Gutter Slope	07715
GS-1	Metal-EMA, Inc. Gutter slope roof edge flashing; color: Dark bronze to match existing
Seals	07320
S-1	See 8-1/2\"/>
Steel Doors	08110
SD-1	Stelcraft "LJS-4", flush door; color to match existing
Aluminum Entrances and Storefront	08410
AS-1	Kowee Company Inc. "ASIT System", thermally broken; dark bronze anodized frame
AS-2	Kowee Company Inc. "SSO Door", medium stile; dark bronze anodized frame
AS-3	Kowee Company Inc. "ASD System", and thermally broken; dark bronze anodized frame. Refer Storefront-See Plans
Glass and Glazing	08900
Note:	Safety glazing per code compliance.
C-1	Clear, 1/4\"/>
C-2	Clear Low-E, 1\"/>

Exterior Paints 09900

EP-1	Dark bronze to match existing fascia. Verify color; match with Project Architect
------	----------------------------------------------------------------------------------

General Notes

- Refer to project specifications for product submitted requirements.
- Existing building shown with lighter lines and unshaded. New construction shown dark and shaded.

Marshall Erdman & Associates

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 Madison, Wisconsin 53705
 Phone: (608) 239-4250
 FAX: (608) 239-6335

**ACCESS
COMMUNITY
HEALTH
CARE**

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04-07-06 FOR CONSTRUCTION
