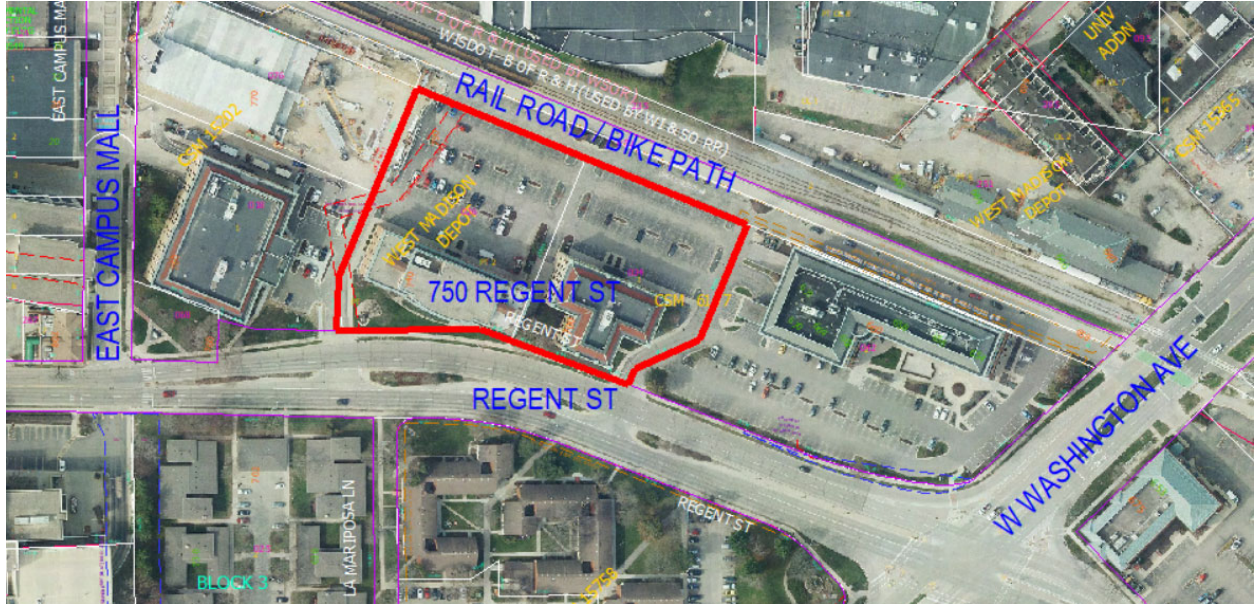


**750 Regent Street
Contract 9182
MUNIS 14191
Developer: WI-UW Holdings LLC**

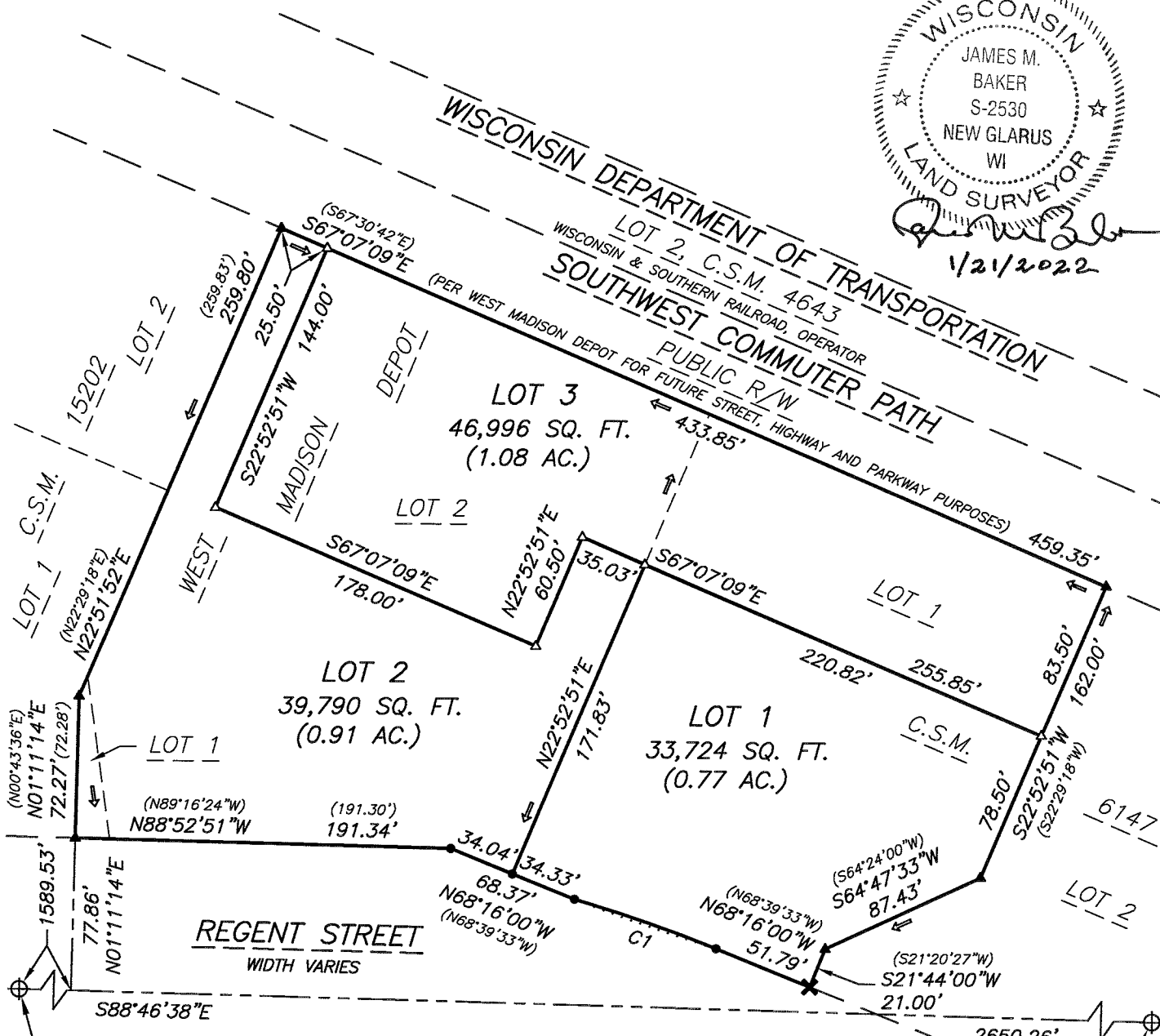
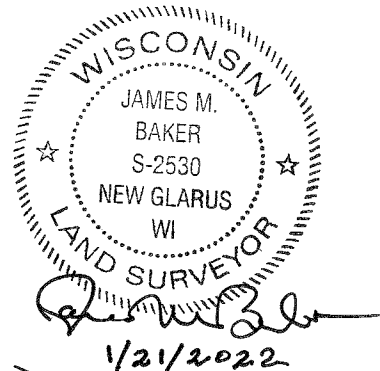


Summary of Improvements:

- Complete sidewalk, surface improvements, and landscaping per plan approved by City Engineering within the City owned parcel adjacent to the bike path. Complete agreements necessary for private maintenance of these improvements.
- Dedicate new public storm sewer easement and reroute existing public storm sewer on the site to allow for the redevelopment project
- Dedicate new private sanitary easement and reroute existing private sanitary on the site to allow for the redevelopment project and continue sanitary service for the existing building at 700 Regent Street. Construct new public sanitary sewer access structure at connections
- Relocate existing water main to the north to accommodate the redevelopment.
- Private sanitary, storm, and water service laterals

CERTIFIED SURVEY MAP No. _____

Part of Lots 1 and 2 of West Madison Depot (Vol. 56-64A Plats, Pages 186-187, Document Number 2136359) and Lot 1 of Certified Survey Map 6147 (Vol. 29, Pages 246-248) in the Southeast 1/4 of the Northwest 1/4 of Section 23, Town 7 North, Range 9 East, City of Madison, Dane County, Wisconsin.

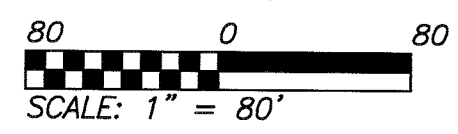


PUBLISHED COORDS:
 N=480284.34
 E=815851.38
 MEASURED COORDS:
 N=480284.34
 E=815851.53

LOT 2
 BLOCK 3
 TRIANGLE PLAT
 LA MARIPOSA LANE

LOT 1
 C.S.M. 15758

C1 CURVE DATA
 R = 740.00'
 A = 76.97'
 IA = 05°57'36"
 C = 76.94'
 CH. BRG. = N71°14'48"W
 (N71°38'21"W)



JOB NO. 21188
 POINTS 21188
 DRWG. 21188_2
 DRAWN BY JMB

PUBLISHED COORDS:
 N=480227.77
 E=818501.13
 MEASURED COORDS:
 N=480227.79
 E=818501.19

- LEGEND:**
- Brass capped monument found
 - Cut "X" found in concrete
 - 3/4" solid round iron rod found
 - PK/Mag nail found
 - Railroad spike set
 - Drainage arrow



TALARCZYK
LAND SURVEYS LLC

517 2nd Avenue
 New Glarus, WI 53574
 608-527-5216
 www.talarczyk-surveys.com

UTILITY AND GOVERNING AGENCY CONTACTS

PLANNING DEPARTMENT
CITY OF MADISON
MADISON MUNICIPAL BUILDING, SUITE 017
215 MARTIN LUTHER KING JR. BLVD
MADISON, WI 53703
TEL: (608) 243-0455
CONTACT: COLIN PUNT

PUBLIC WORKS DEPARTMENT
CITY OF MADISON
CITY-COUNTY BUILDING, ROOM 115
210 MARTIN LUTHER KING, JR. BLVD
MADISON, WI 53703
TEL: (608) 267-1095
CONTACT: TIM TROESTER, P.E.

STORM SEWER SERVICE
CITY OF MADISON
CITY-COUNTY BUILDING, ROOM 115
210 MARTIN LUTHER KING, JR. BLVD
MADISON, WI 53703
TEL: (608) 266-4751
CONTACT: GREGORY FRIES, P.E.

SANITARY SEWER SERVICE
CITY OF MADISON
CITY-COUNTY BUILDING, ROOM 115
210 MARTIN LUTHER KING, JR. BLVD
MADISON, WI 53703
TEL: (608) 266-4751
CONTACT: MARK MODER

PROJECT TEAM

DEVELOPER
TRINITAS DEVELOPMENT, LLC
159 N SANGAMAN DR, SUITE 200
CHICAGO, IL 60607
TEL: (768) 807-2737
CONTACT: LINDA IRVING

OWNER
ALEXANDER COMPANY
2450 RIMROCK RD, SUITE 100
MADISON, WI 53713
TEL: (608) 268-8104
CONTACT: NIC ALEXANDER

TRAFFIC ENGINEER
KL ENGINEERING, INC.
5400 KING JAMES WAY, SUITE 200
MADISON, WI 53719
TEL: (608) 663-1218
CONTACT: KEVIN C. WEHNER, P.E., P.T.O.E.

ENVIRONMENTAL / GEOTECHNICAL ENGINEER
TERRACON CONSULTANTS, INC.
9856 SOUTH 57TH ST
FRANKLIN, WI 53132
TEL: (414) 423-0255
CONTACT: CATHERINE VNUK, P.E.

WATER SERVICE
CITY OF MADISON
119 E. OLIN AVE
MADISON, WI 53703
TEL: (608) 266-4651
CONTACT: PETE HOLMGREN

POWER COMPANY
MADISON GAS AND ELECTRIC CO.
PO BOX 1231
MADISON, WI 53701
TEL: (608) 252-7087
CONTACT: MICHAEL BEELER

NATURAL GAS COMPANY
MADISON GAS AND ELECTRIC CO.
PO BOX 1231
MADISON, WI 53701
TEL: (608) 252-1563
CONTACT: JOHN WICHERN

CIVIL ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
4201 WINFIELD RD, SUITE 600
WARRENVILLE, IL 60555
TEL: (630) 487-5550
EMAIL: ANDREW.HEINEN@KIMLEY-HORN.COM
CONTACT: ANDREW HEINEN, P.E.
EMAIL: JOE.MAYER@KIMLEY-HORN.COM
CONTACT: JOE MAYER

LANDSCAPE ARCHITECT
BKV GROUP
1412 MAIN ST, SUITE 700
DALLAS, TX 75202
TEL: (469) 556-4239
CONTACT: COLLIN KOONCE

ARCHITECT
BKV GROUP
209 LASALLE ST, SUITE 920
CHICAGO, IL 60604
TEL: (312) 525-3412
CONTACT: CHRISTOPHER SACHSE, RAIA, LEED AP

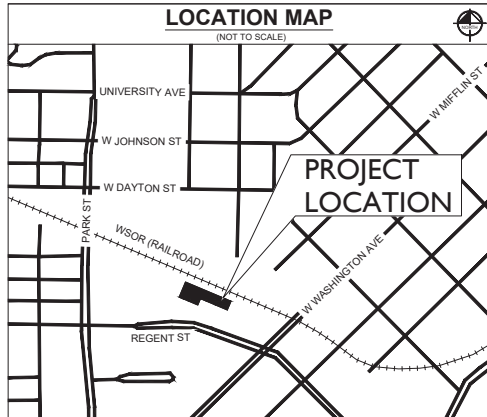
SURVEYOR
TALARCZYK LAND SURVEYS
171 2ND AVENUE
NEW GLARUS, WI 53574
TEL: (608) 527-5216
CONTACT: BOB TALARCZYK

PUBLIC IMPROVEMENT PLANS
TRINITAS MADISON
750 REGENT STREET
MADISON, WI 53715



PROJECT NUMBER: 14191
CONTRACT NUMBER: 19182

Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER SHEET
V0.1	EXISTING EASEMENTS & VACATIONS
V0.2	PROPOSED EASEMENTS
C1.0	DEMOLITION PLAN
C2.0	SIDEWALK PAVING & GRADING PLAN WEST
C2.1	SIDEWALK PAVING & GRADING PLAN EAST
C3.0	PUBLIC STORM SEWER PLAN AND PROFILE
C3.1	STORMWATER DETAILS
C4.0	PUBLIC WATERMAIN PLAN AND PROFILE
L1.0	LANDSCAPE PLAN



CITY OF MADISON TRAFFIC NOTE:

THE ACCESS TO THE WESTERNMOST DRIVEWAY ON REGENT STREET SHALL BE ALTERED. FINAL GEOMETRY TO BE DETERMINED BY THE CITY TRAFFIC ENGINEER, WITH THE IN-PRODUCTION OF MARISA LANE ON THE SOUTH SIDE OF REGENT STREET. AT THIS TIME, THE PREFERRED DESIGN WILL ELIMINATE THE LEFT OUT MOVEMENT ONTO EASTBOUND REGENT STREET BUT PRESERVE THE LEFT IN ACCESS FROM EASTBOUND REGENT STREET.

CITY OF MADISON GENERAL NOTES:

- GENERAL:
 - 1.1. THE DEVELOPER SHALL REPLACE ALL CURB & GUTTER AND SIDEWALK THAT IS DAMAGED OR DETERMINED TO BE IN UNSATISFACTORY CONDITION, REGARDLESS OF WHETHER THE DAMAGE EXISTED PRIOR TO CONSTRUCTION. PAVEMENT SAWCUTS AND FINAL PAVEMENT PATCHING LIMITS SHALL BE AS DIRECTED BY THE CITY CONSTRUCTION ENGINEER. SAWCUTS AND LIMITS SHOWN ON THE PLAN ARE BASED ON ANTICIPATED DISTURBANCE AND THE PATCHING CRITERIA BUT SHALL BE CONSIDERED APPROXIMATE. ALL PAVEMENT PATCHING SHALL BE PER THE CITY'S PATCHING CRITERIA. ANY INFORMATION SHOWN ON THIS PLAN, WHICH IS NOT PART OF THIS RIGHT-OF-WAY PROJECT, IS PRELIMINARY AND NOT FOR CONSTRUCTION. OBTAIN A PRINT OUT OF THE ALIGNMENT FROM THE CITY ENGINEER PRIOR TO STAKING THIS PROJECT.
- TRAFFIC CONTROL:
 - 2.1. ALL PERMANENT SIGNING AND POSTING WILL BE DETERMINED AND PROVIDED BY THE TRAFFIC ENGINEERING DIVISION, FOLLOWING CONSTRUCTION OF THESE IMPROVEMENTS. THE DEVELOPER SHALL PROVIDE, INSTALL AND MAINTAIN ALL STREET END BARRICADES, SIGNING AND TRAFFIC CONTROL, AS REQUIRED BY THE CITY TRAFFIC ENGINEER. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN FOR REVIEW TO THE CITY TRAFFIC ENGINEERING DIVISION AT LEAST TO WORKING DAYS PRIOR TO WORK BEGINNING. THE TRAFFIC CONTROL PLAN SHALL COMPLY WITH ALL MUTCD REQUIREMENTS. WORK SHALL NOT PROCEED UNTIL THE TRAFFIC CONTROL PLAN HAS BEEN APPROVED. THE TRAFFIC CONTROL PLAN MAY INCLUDE BUT IS NOT LIMITED TO: LANE CLOSURE RESTRICTIONS, PEAK HOUR WORKING RESTRICTIONS, ACCESS REQUIREMENTS, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PHASING WORK AS NECESSARY TO MEET THE REQUIREMENTS OF THE APPROVED TRAFFIC CONTROL PLAN.

3. STREET DESIGN:

3.1. ALL DISTURBED TERRACE AREAS SHALL BE RESTORED WITH 8-INCHES OF TOP SOIL AND SEED UNLESS DIRECTED OTHERWISE ON THE PLAN OR BY THE CITY CONSTRUCTION ENGINEER. ALL GUTTERS SHALL DRAIN WITH A MINIMUM GRADES OF 0.5% TOWARD STORM SEWER INLETS. TYPICAL PAVEMENT CROSS SLOPES SHALL BE 2% AND TERRACES SHALL SLOPE AT A 4% GRADE TOWARD THE GUTTER. THE CROSS SLOPE OF SIDEWALKS AND BARRIER FREE SIDEWALK CURB RAMPS SHALL BE 1.5%. THE LONGITUDINAL GRADE OF BARRIER FREE SIDEWALK CURB RAMPS SHALL NOT EXCEED 8.33%. ALL SIDEWALK RAMPS SHALL BE CONSTRUCTED ACCORDING TO S.D.D. 3.03. AT ALL OTHER LOCATIONS THE LONGITUDINAL GRADE OF SIDEWALKS SHALL NOT EXCEED 5.0 % OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER NOR BE LESS THAN 0.5% AND SHALL DRAIN TOWARD STORM SEWER INLETS. CONCRETE TERRACE SHALL BE INSTALLED BETWEEN THE SIDEWALK AND THE BACK OF CURB AT SIDEWALK LOW POINTS WHICH CANNOT OTHERWISE BE DRAINED DIRECTLY TO THE SIDE SLOPES WITHIN TEN FEET OF A PUBLIC SIDEWALK SHALL NOT EXCEED 4:00:1. ALL SIDEWALK AND SIDEWALK RAMP ELEVATIONS AND GRADES SHALL BE FIELD VERIFIED AND SET TO COMPLY WITH THE CITY OF MADISON STANDARD SPECIFICATIONS AND THE A.D.A. GUIDELINES. CURB STATION AND OFFSETS SHALL BE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE INDICATED. CURB ELEVATIONS SHALL BE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE INDICATED.

4. UTILITIES:

4.1. POWER POLES AND OTHER OBSTRUCTIONS SHALL BE MOVED TO PROVIDE 2 FEET MINIMUM OF CLEAR DISTANCE FROM ANY FACE OF CURB OR EDGE OF SIDEWALK. THERE MAY BE EXISTING UTILITIES OR OTHER FEATURES WHICH ARE EITHER NOT SHOWN OR SHOWN INCORRECTLY ON THIS PLAN. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO LOCATE AND IDENTIFY ALL UTILITIES AND TOPOGRAPHY WHICH MAY AFFECT THE CONSTRUCTION OF THESE IMPROVEMENTS. RELOCATION OR ADJUSTING OF PRIVATE UTILITY FACILITIES, SUCH AS POLES, PEDESTALS, BOXES, STRUCTURES, CASTINGS OR HANDHOLES, WITH PRIVATE UTILITY COMPANIES.

FEMA NOTE:

PER FLOOD INSURANCE RATE MAP PANEL NO. 55025C0409G, THE SITE IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

PROFESSIONAL ENGINEER'S CERTIFICATION

I, ANDREW HEINEN, A LICENSED PROFESSIONAL ENGINEER OF WI, HEREBY CERTIFY THAT THIS SUBMISSION, PERTAINING ONLY TO THE "C" SERIES CIVIL SHEETS LISTED ABOVE BUT EXCLUDING DETAILS PREPARED BY OTHERS, WAS PREPARED ON BEHALF OF TRINITAS DEVELOPMENT, LLC BY KIMLEY-HORN AND ASSOCIATES, INC. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS 26TH DAY OF APRIL, A.D., 2022



WI LICENSED PROFESSIONAL ENGINEER 36037-6
MY LICENSE EXPIRES ON JULY 31, 2022
DESIGN FIRM REGISTRATION NUMBER: 184002012-0006

LEGAL DESCRIPTION

PARCEL I:
PART OF LOTS ONE (1) AND TWO (2), PLAT OF WEST MADISON DEPOT, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 2; THENCE NORTH 67° 30' 42" WEST 238.50 FEET ALONG THE NORTHERLY LINE OF SAID LOT 2; THENCE SOUTH 22° 29' 18" WEST 259.81 FEET; THENCE SOUTH 00° 43' 36" WEST 72.28 FEET; THENCE SOUTH 89° 16' 24" EAST 191.30 FEET ALONG THE NORTH LINE OF REGENT STREET; THENCE CONTINUE ALONG THE NORTH LINE OF REGENT STREET SOUTH 68° 39' 33" EAST 54.04 FEET; THENCE NORTH 22° 29' 18" EAST 255.33 FEET ALONG THE EASTERLY LINE OF SAID LOT 2 TO THE POINT OF BEGINNING.

PARCEL II:
LOT ONE (1) OF CERTIFIED SURVEY MAP NO. 6147, RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR DANE COUNTY, WISCONSIN ON JULY 5, 1990, IN VOLUME 29 OF CERTIFIED SURVEY MAPS, PAGES 246-248, AS DOCUMENT NO. 2209395, BEING A DIVISION OF LOTS 3 AND 4, PLAT OF WEST MADISON DEPOT AND PART OF VACATED REGENT STREET, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

DATE: 05/09/22 BY: JPM

CITY COMMENTS: REVISIONS

NO.

Kimley-Horn
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
38037-6
WARRENVILLE, IL 60555
WWW.KIMLEY-HORN.COM

AS NOTED
DESIGNED BY: JPM
DRAWN BY: JPM
CHECKED BY: AMI

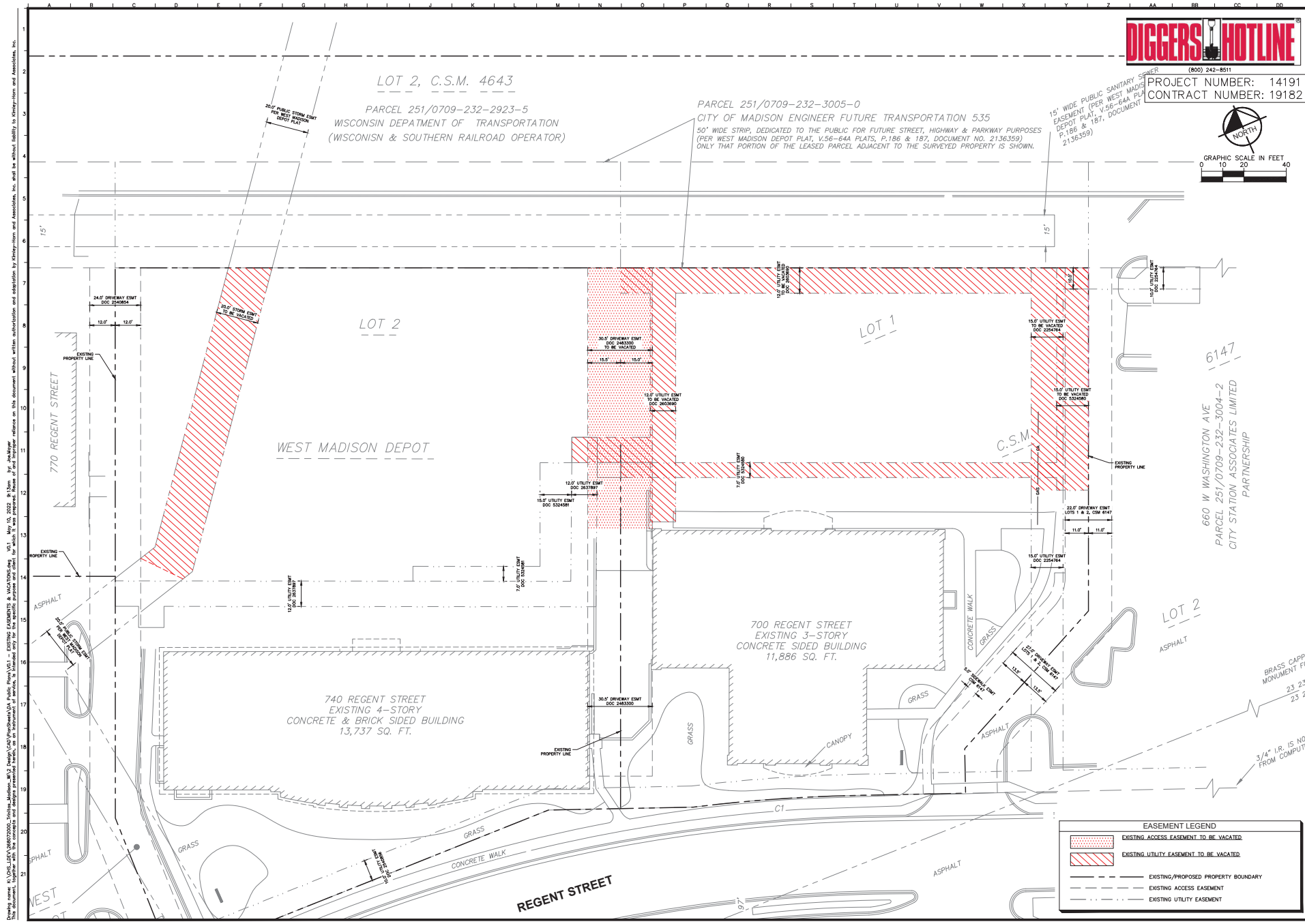
COVER SHEET

TRINITAS MADISON
750 REGENT STREET
MADISON, WISCONSIN
PROJECT NUMBER: 14191
CONTRACT NUMBER: 19182

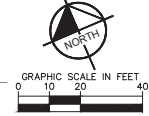
ORIGINAL ISSUE:
04/29/22
KHA PROJECT NO.
268072000
SHEET NUMBER

C0.0

Scale: 1" = 40' (Horizontal) 1" = 20' (Vertical)
 Date: 05/09/22
 Project: 14191
 Sheet: C0.0
 Title: COVER SHEET
 Author: JPM
 Designer: JPM
 Checker: AMI
 Approver: Andrew Heinen
 License: 36037-6
 State: WI
 Registration: 184002012-0006
 This document, together with the contract and design permit forms, is the instrument of service, in accordance with the provisions of the Wisconsin Statutes, Chapter Trans. 19.13, and the contract documents. It is to be used as an integral part of and in conjunction with the project specifications and contract documents.



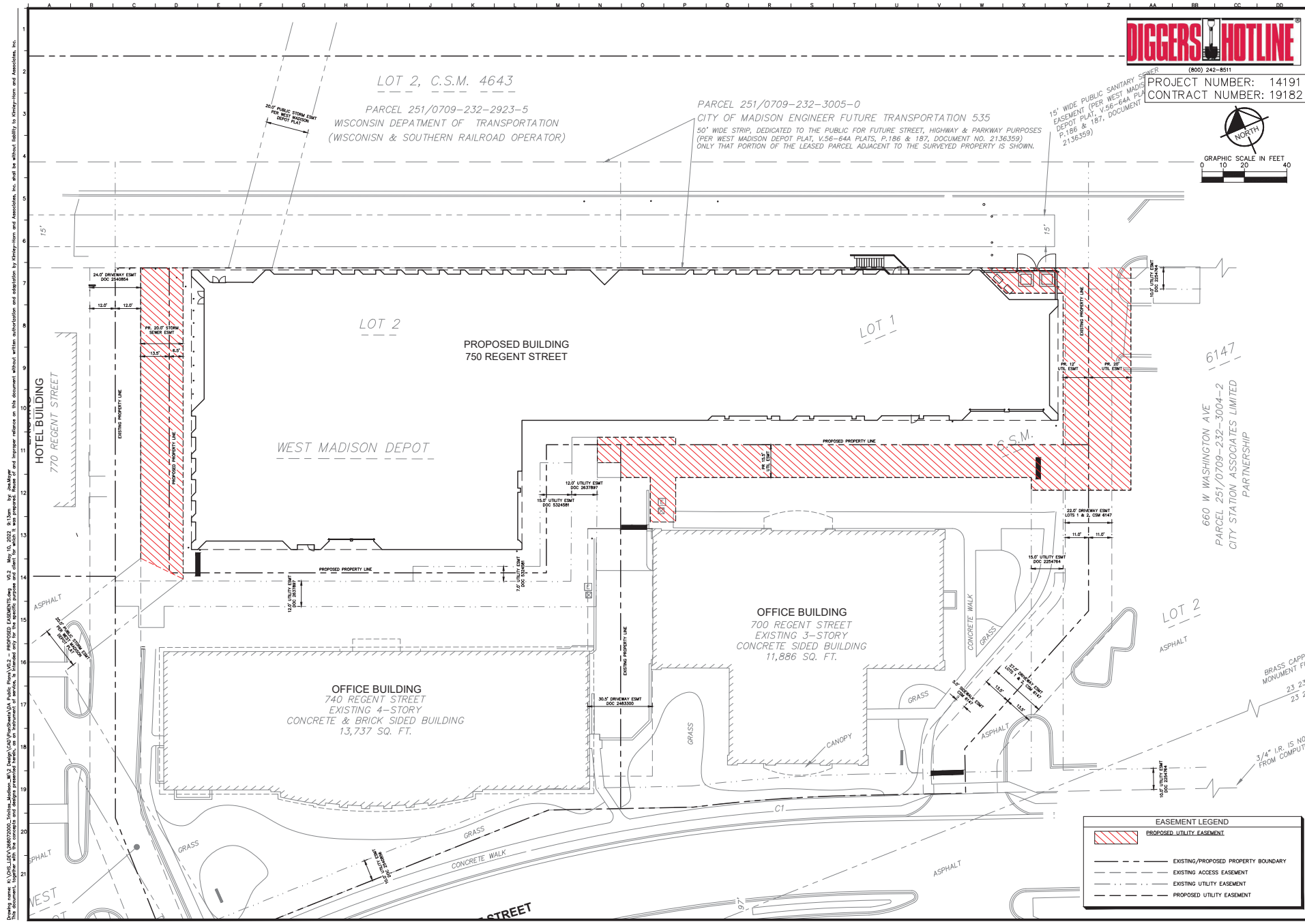
DIGGERS HOTLINE
 (800) 242-8511
 PROJECT NUMBER: 14191
 CONTRACT NUMBER: 19182



Check notes, U.S.G.S. LATERAL 268072000, before making. All © Data/CAD developed by KHA. Existing EASEMENTS & VACATIONS are shown. This document, together with the contract and design permit herein, are to be taken as a whole and shall be read in conjunction with the specific purpose and intent, for which they are prepared. Reference to this document without written authorization and adaptation by Kimmey-Horn and Associates, Inc. shall be without liability to Kimmey-Horn and Associates, Inc.

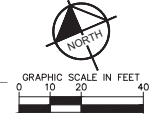
SCALE: AS NOTED DESIGNED BY: JPM DRAWN BY: JPM CHECKED BY: AMT	
EXISTING EASEMENTS & VACATIONS	
TRINITAS MADISON 150 REGENT STREET MADISON, WISCONSIN PROJECT NUMBER: 14191 CONTRACT NUMBER: 9182	
ORIGINAL ISSUE: 04/29/22 KHA PROJECT NO. 268072000 SHEET NUMBER V0.1	
CITY COMMENTS No.	REVISIONS No.
DATE 05/09/22	BY JPM

EASEMENT LEGEND	
	EXISTING ACCESS EASEMENT TO BE VACATED
	EXISTING UTILITY EASEMENT TO BE VACATED
	EXISTING/PROPOSED PROPERTY BOUNDARY
	EXISTING ACCESS EASEMENT
	EXISTING UTILITY EASEMENT



DIGGERS HOTLINE
 (800) 242-8511

PROJECT NUMBER: 14191
 CONTRACT NUMBER: 19182



NO.	DATE	BY
05/09/22	JPM	

Kimley-Horn
 AND ASSOCIATES, INC.
 2022 KIMLEY-HORN AND ASSOCIATES, INC.
 38037-N
 MADISONVILLE, MISSOURI 65205
 WWW.KIMLEY-HORN.COM



SCALE: AS NOTED
 DESIGNED BY: JPM
 DRAWN BY: JPM
 CHECKED BY: AMT

PROPOSED EASEMENTS

TRINITAS MADISON
 170 REGENT STREET
 MADISON, WISCONSIN
 PROJECT NUMBER: 14191
 CONTRACT NUMBER: 9182

ORIGINAL ISSUE:
 04/29/22
 KHA PROJECT NO.
 268072000
 SHEET NUMBER
V0.2

This document, together with the contract and design permit herein, is to be used only for the specific purpose and site for which it was prepared. No other use or adaptation without the written authorization and adaptation by Kimley-Horn and Associates, Inc. is permitted.

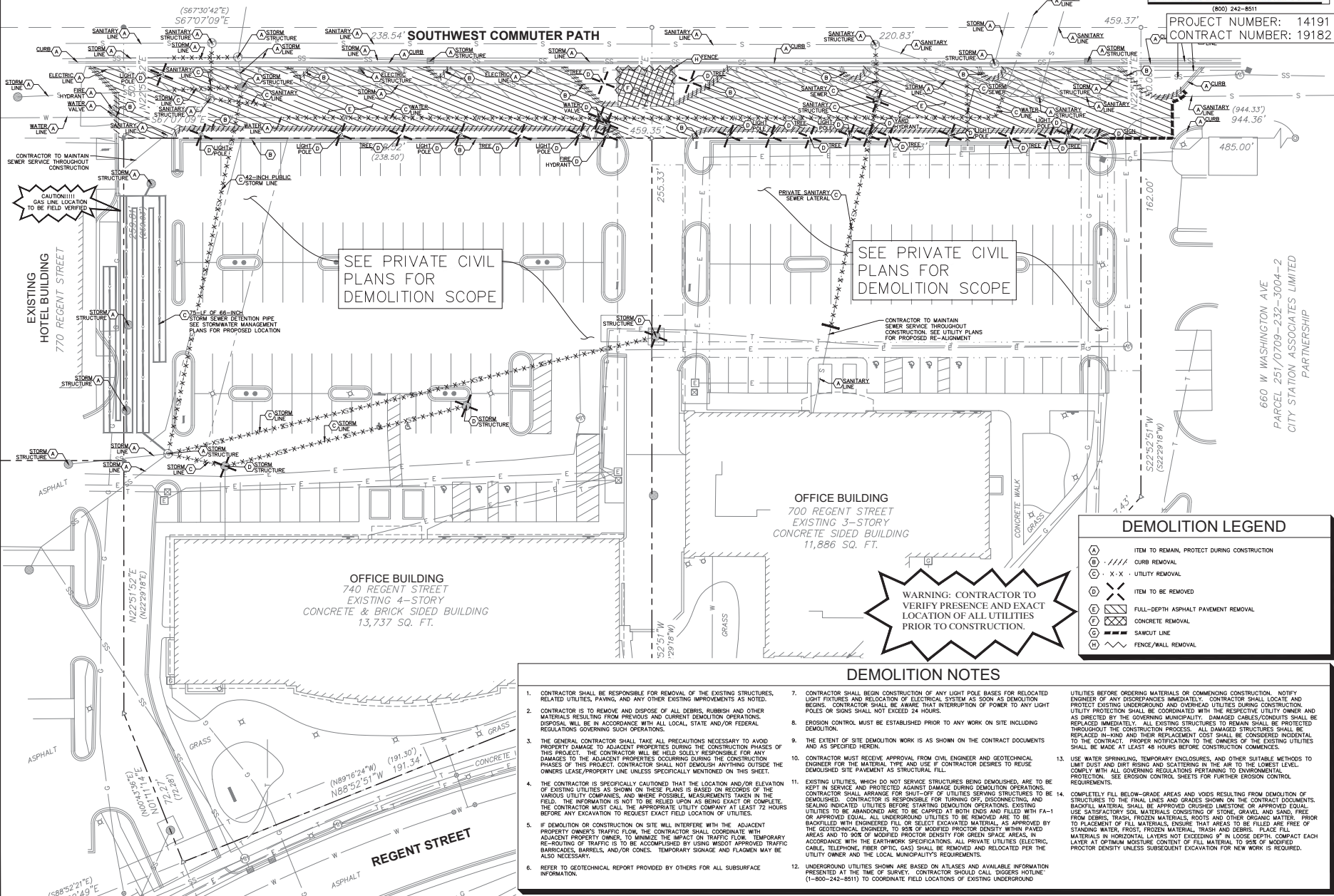
RAILROAD RIGHT-OF-WAY

SOUTHWEST COMMUTER PATH



PROJECT NUMBER: 14191
CONTRACT NUMBER: 19182

DATE	05/09/22	JPM
REVISIONS		
CITY COMMENTS		
NO.		
© 2022 KIMLEY-HORN AND ASSOCIATES, INC. 3807-S-B MADISONVILLE, MISSOURI 65251 WWW.KIMLEY-HORN.COM		
SCALE:	AS NOTED	
DESIGNED BY:	JPM	
DRAWN BY:	JPM	
CHECKED BY:	AMT	



SEE PRIVATE CIVIL PLANS FOR DEMOLITION SCOPE

SEE PRIVATE CIVIL PLANS FOR DEMOLITION SCOPE

CAUTION!!!
GAS LINE LOCATION TO BE FIELD VERIFIED

WARNING: CONTRACTOR TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

DEMOLITION LEGEND

- (A) ITEM TO REMAIN, PROTECT DURING CONSTRUCTION
- (B) CURB REMOVAL
- (C) - X - X - UTILITY REMOVAL
- (D) ITEM TO BE REMOVED
- (E) FULL-DEPTH ASPHALT PAVEMENT REMOVAL
- (F) CONCRETE REMOVAL
- (G) SAWCUT LINE
- (H) FENCE/WALL REMOVAL

DEMOLITION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR SHALL NOT DEMOLISH ANYTHING OUTSIDE THE OWNERS LEASE/PROPERTY LINE UNLESS SPECIFICALLY MENTIONED ON THIS SHEET.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH ADJACENT PROPERTY OWNERS TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING MSDOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY STORAGE AND FLAMERS MAY BE ALSO NECESSARY.
- REFER TO GEOTECHNICAL REPORT PROVIDED BY OTHERS FOR ALL SUBSURFACE INFORMATION.
- CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
- EROSION CONTROL MUST BE ESTABLISHED PRIOR TO ANY WORK ON SITE INCLUDING DEMOLITION.
- THE EXTENT OF SITE DEMOLITION WORK IS AS SHOWN ON THE CONTRACT DOCUMENTS AND AS SPECIFIED HEREIN.
- CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL.
- EXISTING UTILITIES, WHICH DO NOT SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. THE CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING RELOCATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS. EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH FA-1 OR APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO BE BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL AS APPROVED BY GEOTECHNICAL ENGINEER. TO SOAK OF MODIFIED PROCTOR DENSITY WITHIN PAVED AREAS AND TO 90% OF MODIFIED PROCTOR DENSITY FOR GREEN SPACE AREAS, IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS. ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS.
- UNDERGROUND UTILITIES SHOWN ARE BASED ON ATLASSES AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR SHOULD CALL DIGGERS HOTLINE (1-800-242-8511) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND AS DIRECTED BY THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPAIRED IN-WHOLE AND THEIR REPLACEMENT COSTS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. PROPER NOTIFICATION TO THE OWNERS OF THE EXISTING UTILITIES SHALL BE MADE AT LEAST 48 HOURS BEFORE CONSTRUCTION COMMENCES.
- USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST LEVEL. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. SEE EROSION CONTROL SHEETS FOR FURTHER EROSION CONTROL REQUIREMENTS.
- COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OF STRUCTURES TO THE FINAL LINES AND GRADES SHOWN ON THE CONTRACT DOCUMENTS, BACKFILL MATERIAL SHALL BE REPLACED WITH ENGINEERED CRUSHED LIMESTONE OR APPROVED EQUAL. USE SATISFACTORY SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIAL, TRASH AND DEBRIS. PRIOR TO PLACEMENT OF FILL MATERIALS, ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH AND DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 9" IN LOOSE DEPTH. COMPACT EACH LAYER AT OPTIMUM MOISTURE CONTENT OF FILL MATERIAL TO 95% OF MODIFIED PROCTOR DENSITY UNLESS SUBSEQUENT EXCAVATION FOR NEW WORK IS REQUIRED.

DEMOLITION PLAN

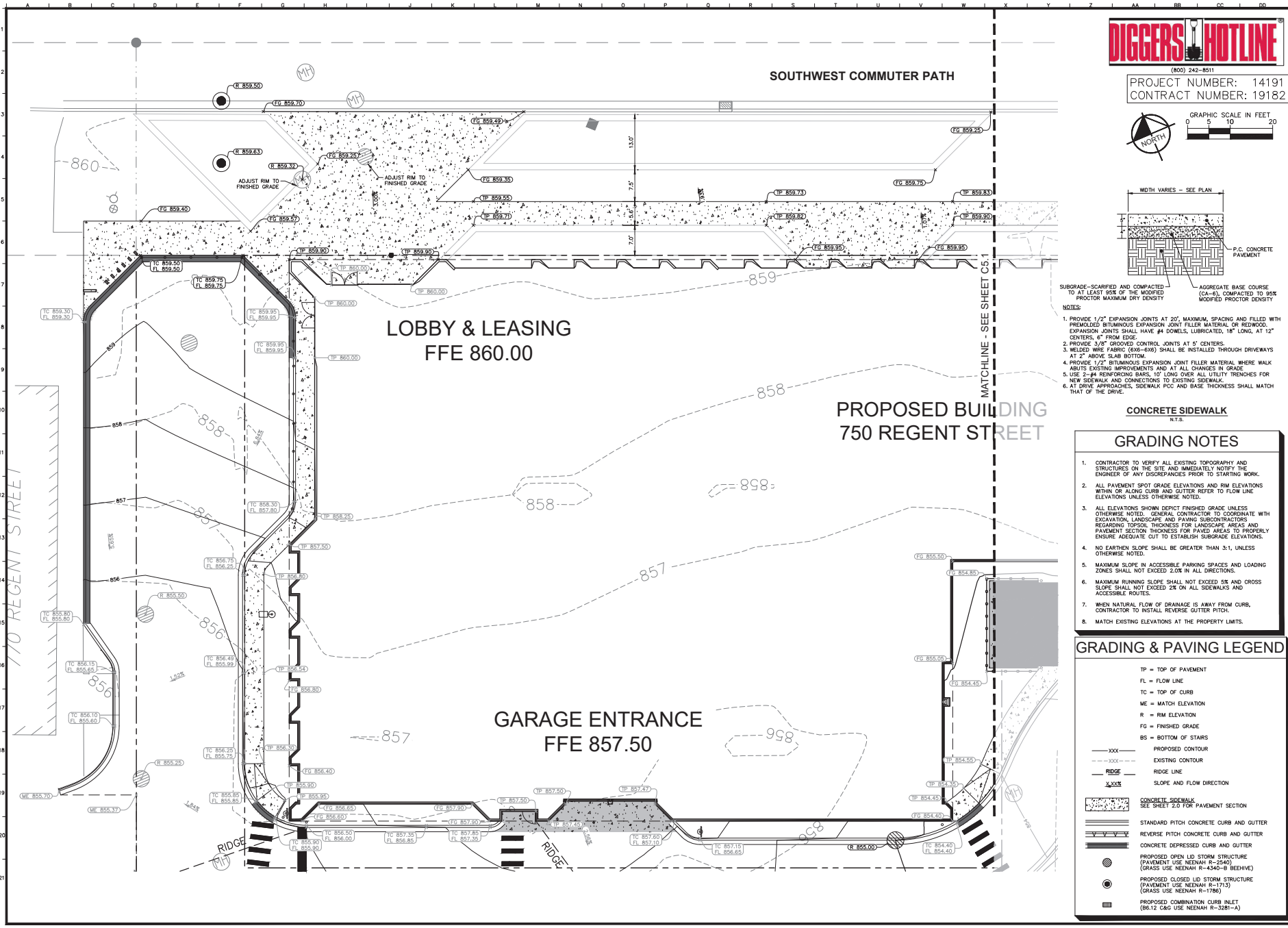
TRINITAS MADISON
750 REGENT STREET
MADISON, MISSOURI
PROJECT NUMBER: 14191
CONTRACT NUMBER: 19182

ORIGINAL ISSUE:
04/29/22
KHA PROJECT NO.
268072000
SHEET NUMBER

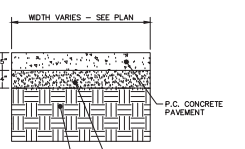
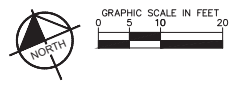
C1.0

Project name: I-265 (I-265) 202202000 - Madison, Missouri - 300 South Main Street, Suite 100 - Madison, MO 64501 - 316-441-1111
 Date: 04/29/22
 Drawn by: JPM
 Checked by: AMT
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Project name: 11205 LFFS 268072000 - Sidewalk, Median, and Driveway (CAD) Section 15.1 Public Works (CAD) - Chicago, IL. Date: 04/29/22. 8:12am.
 This document, together with the contract and separate permit form, is an instrument of service, is issued only for the specific purpose and site for which it is prepared.
 The contractor shall verify all existing topography and structures on the site and immediately notify the engineer of any discrepancies prior to starting work.
 The contractor shall verify all existing topography and structures on the site and immediately notify the engineer of any discrepancies prior to starting work.
 The contractor shall verify all existing topography and structures on the site and immediately notify the engineer of any discrepancies prior to starting work.



PROJECT NUMBER: 14191
 CONTRACT NUMBER: 19182

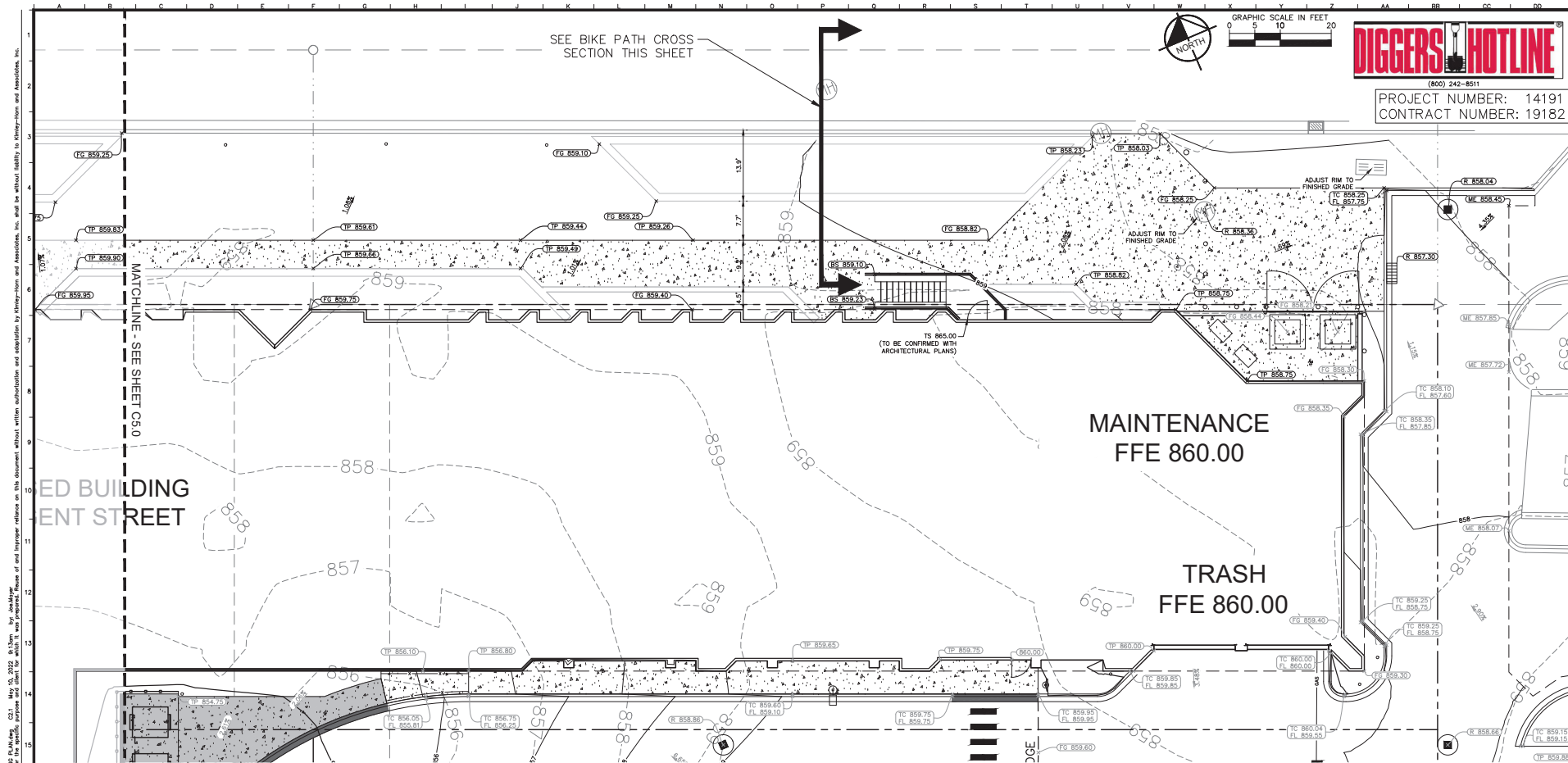


- NOTES:**
1. PROVIDE 1/2" EXPANSION JOINTS AT 20', MAXIMUM, SPACING AND FILLED WITH PREMOULDED BITUMINOUS EXPANSION JOINT FILLER MATERIAL OR REDWOOD. EXPANSION JOINTS SHALL HAVE #4 ZONES, LUBRICATED, 18" LONG, AT 12" CENTERS, 6" FROM EDGE.
 2. PROVIDE 3/8" GROoved CONTROL JOINTS AT 5' CENTERS.
 3. WELDED WIRE FABRIC (6X6-6X6) SHALL BE INSTALLED THROUGH DRIVEWAYS AT 2" ABOVE SLAB BOTTOM.
 4. PROVIDE 1/2" BITUMINOUS EXPANSION JOINT FILLER MATERIAL WHERE WALK ABUTS EXISTING IMPROVEMENTS AND AT ALL CHANGES IN GRADE.
 5. USE 2" #4 REINFORCING BARS 12" LONG OVER ALL UTILITY TRENCHES FOR NEW SIDEWALK AND CONNECTIONS TO EXISTING SIDEWALK.
 6. AT DRIVE APPROACHES, SIDEWALK PCC AND BASE THICKNESS SHALL MATCH THAT OF THE DRIVE.

- GRADING NOTES**
1. CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
 2. ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.
 3. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
 4. NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
 5. MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
 6. MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
 7. WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
 8. MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.

- GRADING & PAVING LEGEND**
- TP = TOP OF PAVEMENT
 - FL = FLOW LINE
 - TC = TOP OF CURB
 - ME = MATCH ELEVATION
 - R = RIM ELEVATION
 - FG = FINISHED GRADE
 - BS = BOTTOM OF STAIRS
 - XXX--- PROPOSED CONTOUR
 - XXX--- EXISTING CONTOUR
 - RIDGE--- RIDGE LINE
 - XXX SLOPE AND FLOW DIRECTION
- CONCRETE SIDEWALK**
 SEE SHEET 2.0 FOR PAVEMENT SECTION
- STANDARD PITCH CONCRETE CURB AND GUTTER
 - REVERSE PITCH CONCRETE CURB AND GUTTER
 - CONCRETE DEPRESSION CURB AND GUTTER
 - PROPOSED OPEN LID STORM STRUCTURE (PAVEMENT USE NENAH R-2540) (GRASS USE NENAH R-4340-B BEHNE)
 - PROPOSED CLOSED LID STORM STRUCTURE (PAVEMENT USE NENAH R-1713) (GRASS USE NENAH R-1786)
 - PROPOSED COMBINATION CURB INLET (86.12 C&G USE NENAH R-3281-A)

 ANDREW N. HIRSH 38037-B CHICAGO, IL	PROJECT NUMBER: 14191 CONTRACT NUMBER: 19182
	PROJECT NUMBER: 14191 CONTRACT NUMBER: 19182
AS NOTED DESIGNED BY: JPM DRAWN BY: JPM CHECKED BY: AM	CITY COMMENTS REVISIONS DATE BY
TRINITAS MADISON 750 REGENT STREET MADISON, ILLINOIS PROJECT NUMBER: 14191 CONTRACT NUMBER: 19182	ORIGINAL ISSUE: 04/29/22 KHA PROJECT NO. 268072000 SHEET NUMBER C2.0



DIGGERS HOTLINE
 (800) 242-8511
 PROJECT NUMBER: 14191
 CONTRACT NUMBER: 19182

DATE	BY
05/09/22	JPM
REVISIONS	
CITY COMMENTS	

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 ANDREW N. HINEN
 38037-S
 CHICAGO, IL

SCALE: AS NOTED
 DESIGNED BY: JPM
 DRAWN BY: JPM
 CHECKED BY: AMT

SIDEWALK PAVING & GRADING PLAN EAST

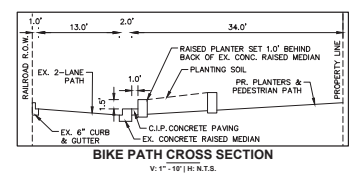
TRINITAS MADISON
 150 REGENT STREET
 MADISON, WISCONSIN
 PROJECT NUMBER: 14191
 CONTRACT NUMBER: 19182

ORIGINAL ISSUE:
 04/29/22
 KHA PROJECT NO.
 268072000
 SHEET NUMBER
C2.1

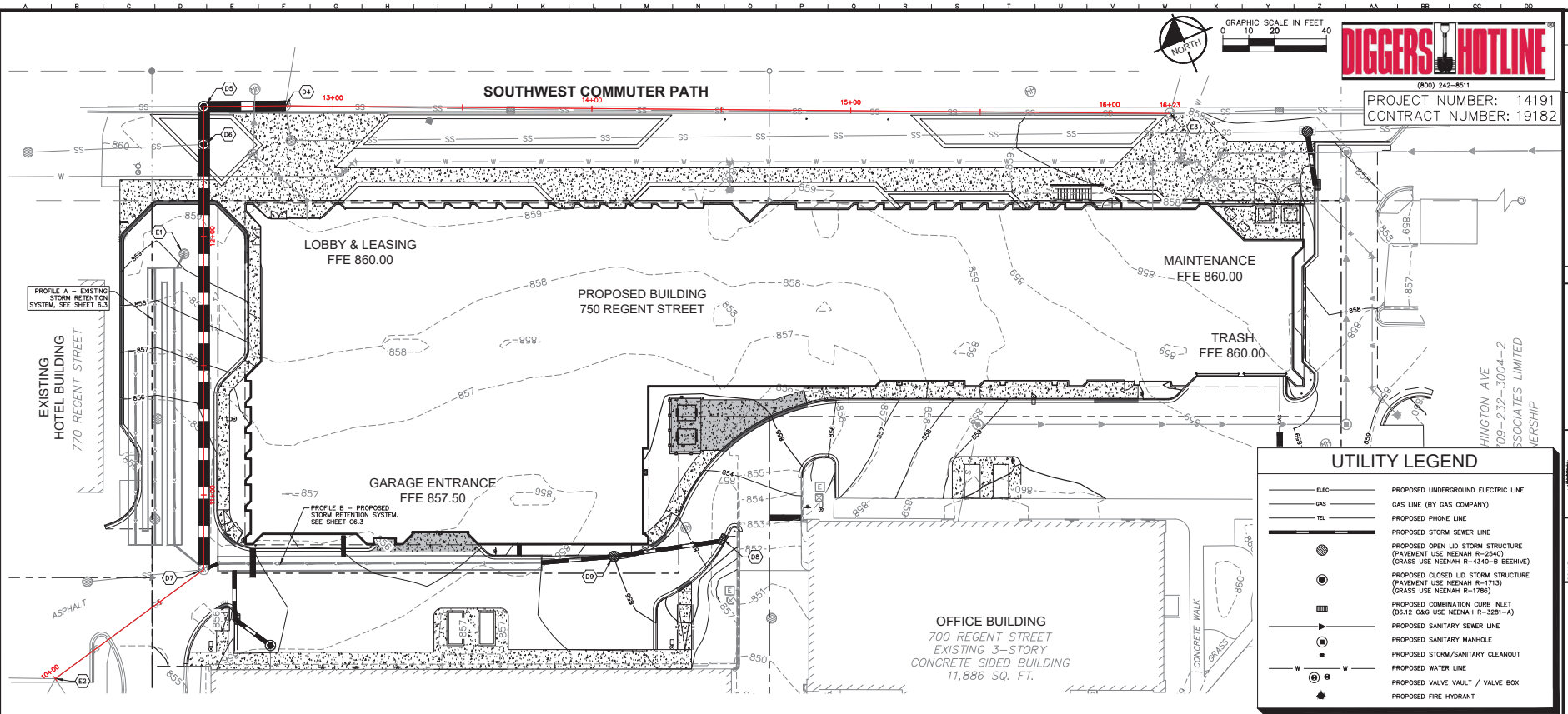
Project name: I:\2022\14191\268072000 - Sidewalk Paving & Grading Plan East - C2.1.dwg
 Date: 05/09/22
 Author: JPM
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GRADING & PAVING LEGEND	
TP	TOP OF PAVEMENT
FL	FLOW LINE
TC	TOP OF CURB
ME	MATCH ELEVATION
R	RIM ELEVATION
FG	FINISHED GRADE
BS	BOTTOM OF STAIRS
---	PROPOSED CONTOUR
---	EXISTING CONTOUR
---	RIDGE LINE
---	SLOPE AND FLOW DIRECTION
CONCRETE SIDEWALK SEE SHEET 2.0 FOR PAVEMENT SECTION	
STANDARD PITCH CONCRETE CURB AND GUTTER	
REVERSE PITCH CONCRETE CURB AND GUTTER	
CONCRETE DEPRESSED CURB AND GUTTER	
PROPOSED OPEN LID STORM STRUCTURE (PAVEMENT USE NEENAH R-2540) (GRASS USE NEENAH R-4340-B BEEHIVE)	
PROPOSED CLOSED LID STORM STRUCTURE (PAVEMENT USE NEENAH R-1713) (GRASS USE NEENAH R-1786)	
PROPOSED COMBINATION CURB INLET (86.12 C&G USE NEENAH R-3281-A)	

- ### GRADING NOTES
- CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
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 - MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
 - WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
 - MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.



Project name: 11205 LARRY 268072000 - Public, Madison, WI © 2022 KHA Associates, Inc. All rights reserved. This document is the property of KHA Associates, Inc. and is to be used only for the specific purpose and client for which it was prepared. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of KHA Associates, Inc.



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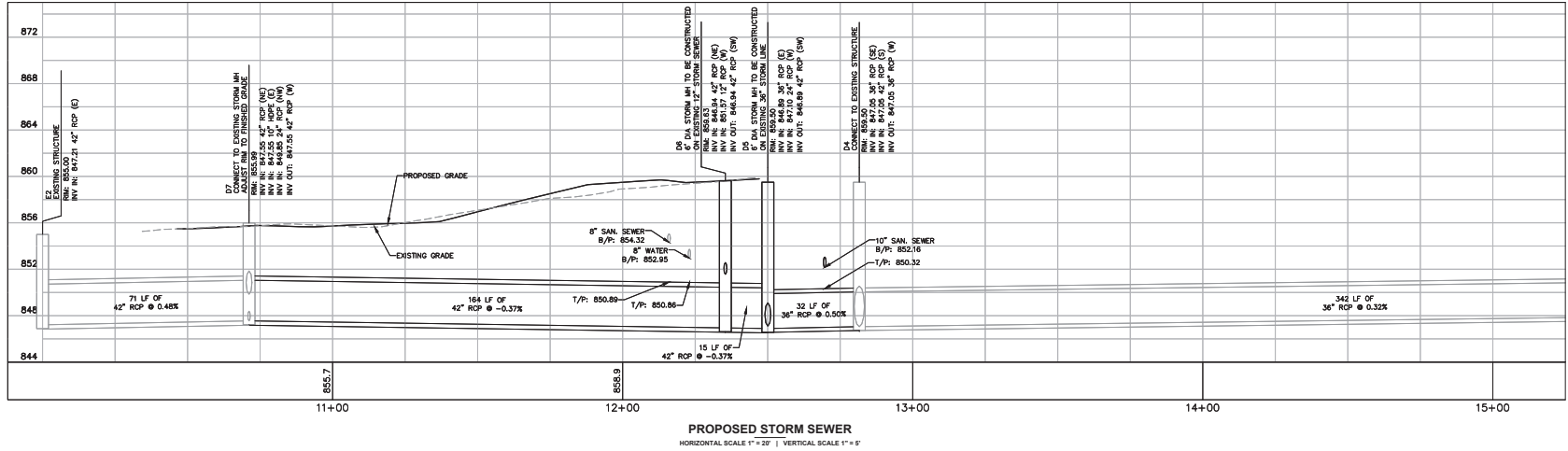
(800) 242-8511

PROJECT NUMBER: 14191
CONTRACT NUMBER: 19182

UTILITY LEGEND

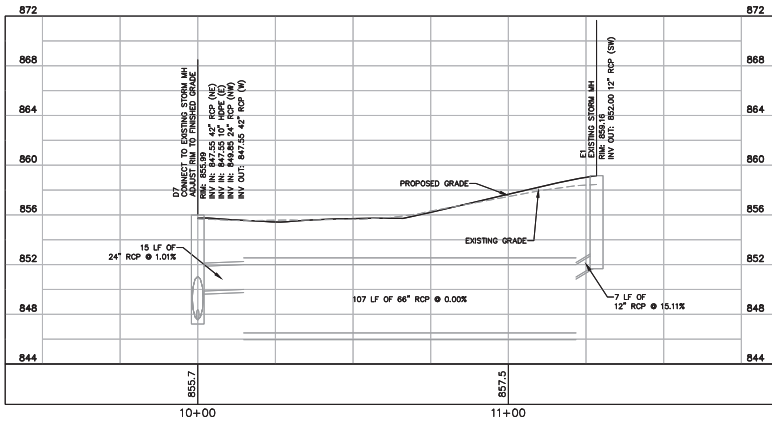
— ELEC —	PROPOSED UNDERGROUND ELECTRIC LINE
— GAS —	GAS LINE (BY GAS COMPANY)
— TEL —	PROPOSED PHONE LINE
— S/S —	PROPOSED STORM SEWER LINE
○	PROPOSED OPEN LID STORM STRUCTURE (PAVEMENT USE: NENAH R-2540) (GRASS USE: NENAH R-4340-B BEEHIVE)
●	PROPOSED CLOSED LID STORM STRUCTURE (PAVEMENT USE: NENAH R-1713) (GRASS USE: NENAH R-1786)
□	PROPOSED COMBINATION CURB INLET (B-12 C&G USE: NENAH R-3281-A)
—	PROPOSED SANITARY SEWER LINE
○	PROPOSED SANITARY MANHOLE
—	PROPOSED STORM/SANITARY CLEANOUT
—	PROPOSED WATER LINE
○	PROPOSED VALVE VAULT / VALVE BOX
+	PROPOSED FIRE HYDRANT

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PUBLIC STORM SEWER PLAN AND PROFILE	C3.0

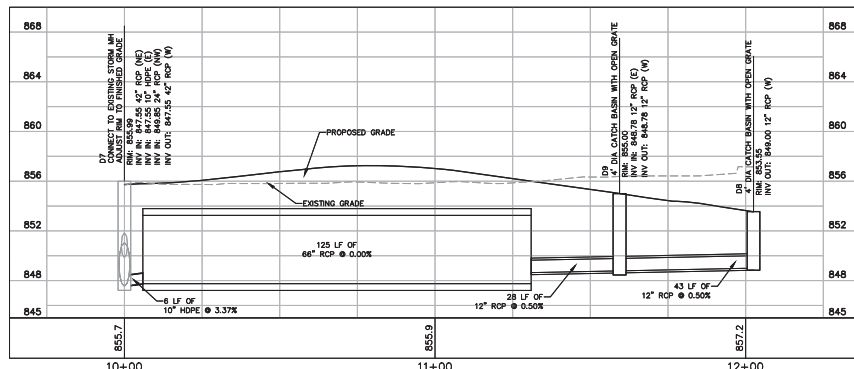


PROPOSED STORM SEWER
 HORIZONTAL SCALE 1" = 20' | VERTICAL SCALE 1" = 6'

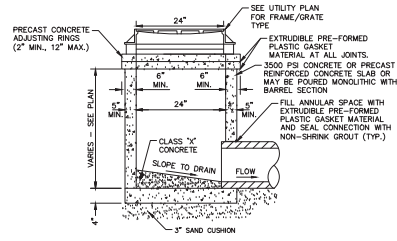
Project name: I:\2016\15671\2016156710000 - Inlet, Manhole, and Storm Manhole Details (CADD) (2016) (R) - Public Work.dwg, 03/11/2016, 10:59:08 AM, User: JPM/ELC, Plot: 156710000 - Inlet, Manhole, and Storm Manhole Details (CADD) (2016) (R) - Public Work.dwg, 03/11/2016, 10:59:08 AM, User: JPM/ELC. This document is the property of Kimley-Horn and Associates, Inc. and is loaned to the client for their specific purpose and shall not be used for any other purpose without the written authorization and approval of Kimley-Horn and Associates, Inc. and without liability to Kimley-Horn and Associates, Inc.



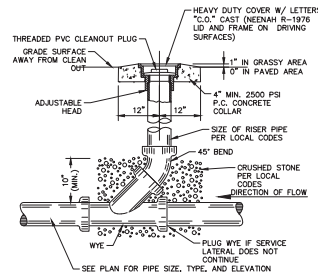
A - EXISTING STORM RETENTION SYSTEM
H: 1" = 20' V: 1" = 5'



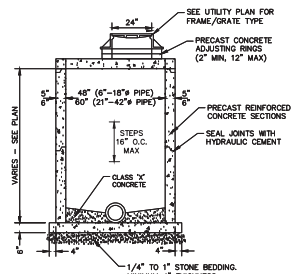
B - PROPOSED STORM RETENTION SYSTEM
H: 1" = 20' V: 1" = 5'



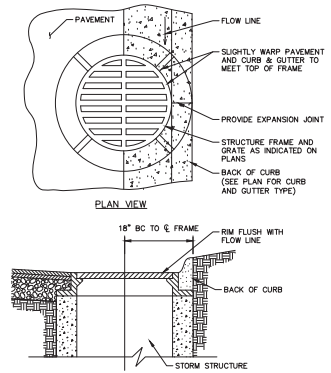
2' DIAMETER STORM INLET
N.T.S.



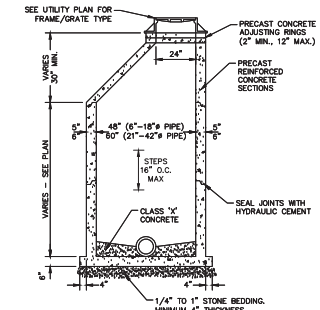
SANITARY/STORM CLEAN-OUT
N.T.S.



STORM MANHOLE (FLAT TOP)
N.T.S.



INLET AT CURB FRAME LOCATION
N.T.S.



STORM MANHOLE TYPE A
N.T.S.

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 PROJECT NUMBER: 14191
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NO.	DATE	BY

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 CHICAGO, IL 60611
 WWW.KH-HORN.COM

ANDREW N. HIRSHEN
 38037-6
 CHICAGO, IL

SCALE: AS NOTED

DESIGNED BY: JPM	CHECKED BY: AMT
DRAWN BY: JPM	

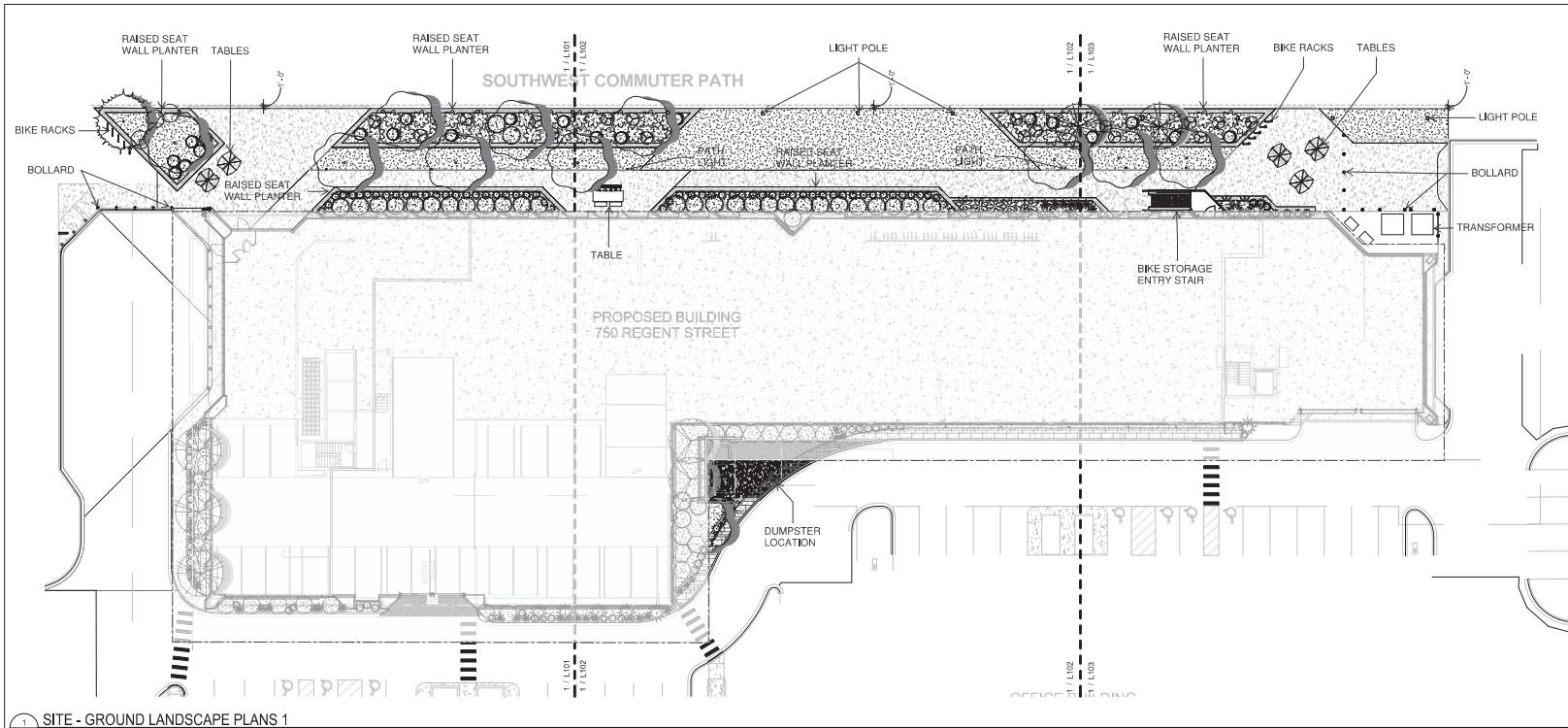
STORMWATER DETAILS

TRINITAS MADISON
 150 REGENT STREET
 MADISON, WISCONSIN
 PROJECT NUMBER: 14191
 CONTRACT NUMBER: 9182

ORIGINAL ISSUE: 04/29/22
 KHA PROJECT NO. 268072000
 SHEET NUMBER









C3.1

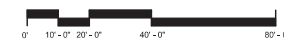
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 4/29/2022 10:44:40 AM



1 SITE - GROUND LANDSCAPE PLANS 1
 L101 1" = 20'-0"

GRAPHIC LEGEND:

	
CONCRETE TIP	WOOD TILES: 24" X 24"
	
HARDWOOD BLOCK, BRUSHED (SEE SPEC)	TURFGRASS: 300 RPKGATED (SEE SPEC)
	
PAVER #1 TIP (SEE SPEC)	PLANTING AREAS: ROCK MULCH #1 W/FABRIC UNDERLAYMENT
	
SYNTHETIC TURF (SEE SPEC)	GREEN ROOF TRAY SYSTEM (SEE SPEC)



BKV
 GROUP

Architecture
 Interior Design
 Landscape Architecture
 Engineering

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 Long & Kees Bldg
 Suite 101
 Minneapolis, MN
 55401
 612.339.3752

www.bkvgroup.com

CONSULTANTS

PROJECT TITLE
 740 Regent St - Madison,
 WI

ISSUE #	DATE	DESCRIPTION
3	04/29/2022	PUBLIC IMPROVEMENT PLAN

CERTIFICATION

DRAWN BY	EN
CHECKED BY	CK
COMMISSION NUMBER	2125.04

SHEET TITLE

SITE-GROUND
 LANDSCAPE PLAN

SHEET NUMBER

L100

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