

APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL

AGENDA ITEM # _____
Project # _____
Legistar # _____

DATE SUBMITTED: <u>10.16.2012</u>	Action Requested
UDC MEETING DATE: <u>11.7.2012</u>	<input type="checkbox"/> Informational Presentation
	<input checked="" type="checkbox"/> Initial Approval and/or Recommendation
	<input type="checkbox"/> Final Approval and/or Recommendation

PLEASE PRINT!

PLEASE PRINT!

PROJECT ADDRESS: 2402 S. PARK ST.

ALDERMANIC DISTRICT: 14 (BRUER)

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:

McDONALD'S CORP.

HAAG MULLER, INC

1650 W. 82ND ST. STE. 900

101 E. GRAND AVE STE 1.

BLOOMINGTON, MN 55431

PORT WASHINGTON, WI 53074

CONTACT PERSON: STEVE DESKE

Address: 101 E. GRAND AVE
PORT WASHINGTON, WI 53074

Phone: 262-268-1200

Fax: _____

E-mail address: SDESKE@HAAGMULLER.COM

TYPE OF PROJECT:

(See Section A for:)

- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review* (Fee required)
- Street Graphics Variance* (Fee required)
- Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.



haag müller, inc.

Architecture • Engineering • Interiors
101 East Grand Avenue, Suite 1
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October 16, 2012

**Narrative Description for McDonald's Restaurant Remodel,
2402 South Park Street
Madison, WI 53713**

The remodel of the McDonald's at 2402 South Park Street is being constructed to upgrade the building to McDonald's Corporation's new modern design. The current corporate identity of the franchise is so strong that people can look at most existing McDonald's restaurants and immediately tell that it is a McDonald's, whether it is the traditional double mansard roof or the golden arches. McDonald's is looking to re-establish that same iconic recognition in the 21st century with a modern and relevant appearance.

The new look of this particular McDonald's restaurant will include modifying the mansard roof by removing the lower part of the mansard and adding a parapet wall to cover the top half. New "arcade" elements will be placed at the front and main entry of the buildings and the addition of a "hearth element" at the drive-thru side of the building. These new design elements will feature a stone finish along with a stone wainscot of a different color will also wrap around the building. The rest of the building exterior above the wainscot will be finished in thin-brick, E.I.F.S. or a combination of both. New yellow curved roof cap elements will be placed on top of the front arcade and drive-thru hearth as part of the new branding style and a new cash booth will be added to the building. The new cash booth addition increases the spacing between the drive thru windows, allowing for three car stacking between them, thus increasing drive thru efficiency.

The addition of a side by side drive thru (dual order points) behind the building will also increase efficiency of the drive thru by reducing stacking behind the order points, increasing ordering speed and creating optimum distances between order, payment and pick up points.

Accessibility upgrades meeting the American's With Disabilities Act will be completed both inside and outside of the store. Improving access for those in need of easy access facilities. In addition to accessibility upgrades, the interior décor will be replaced with a new contemporary dining atmosphere.

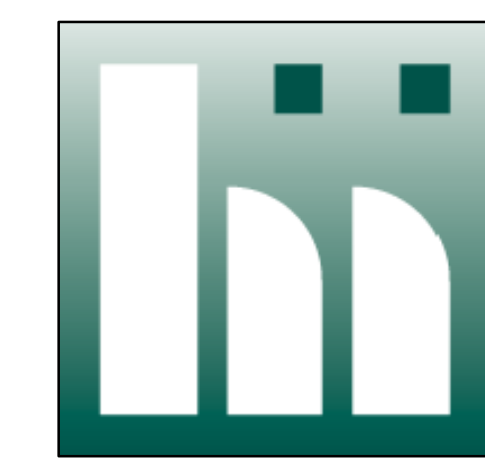
This particular McDonald's restaurant has an outdated look. The new McDonald's facelift will serve as a leading example of a modern approach to design that could potentially be applied to other commercial buildings in the area in order to create a customer experience which is relevant to them and the current social culture.

Respectively Submitted,

haag müller, inc.

Architecture • Engineering • Interiors

Jason R. Ahrens
Associate Designer



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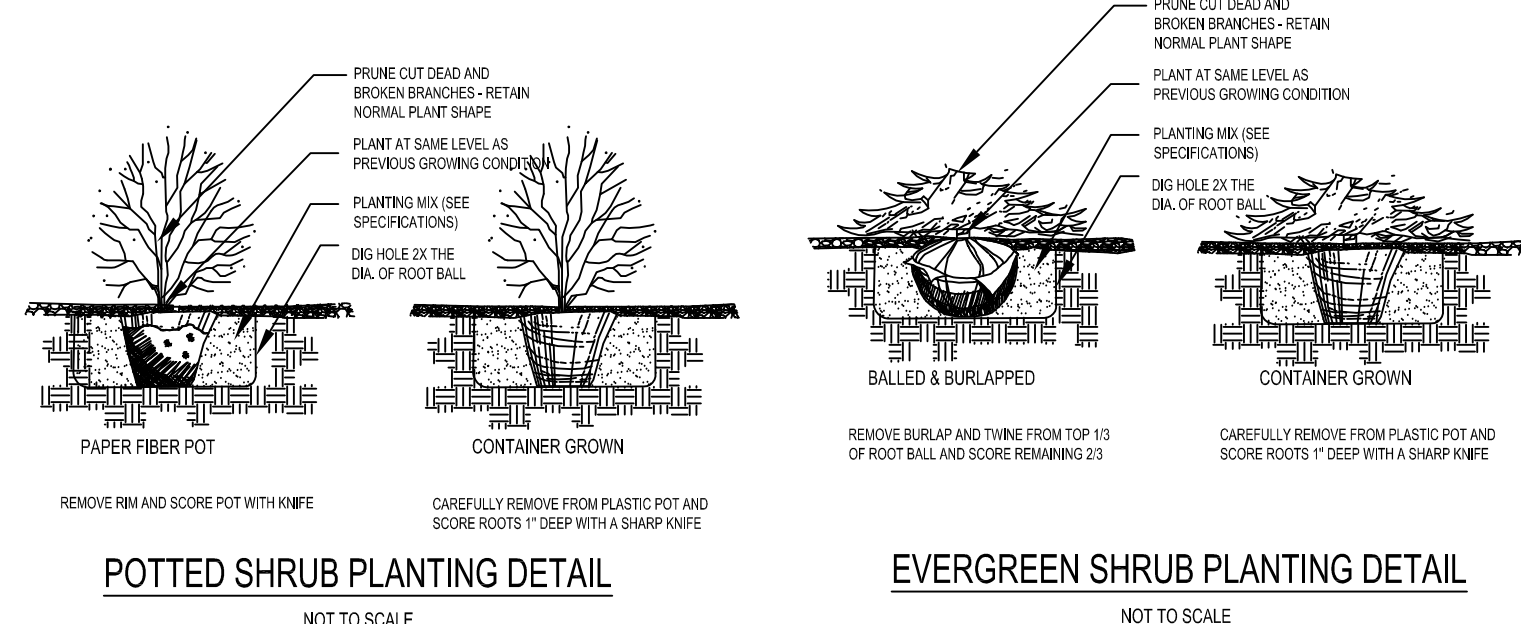
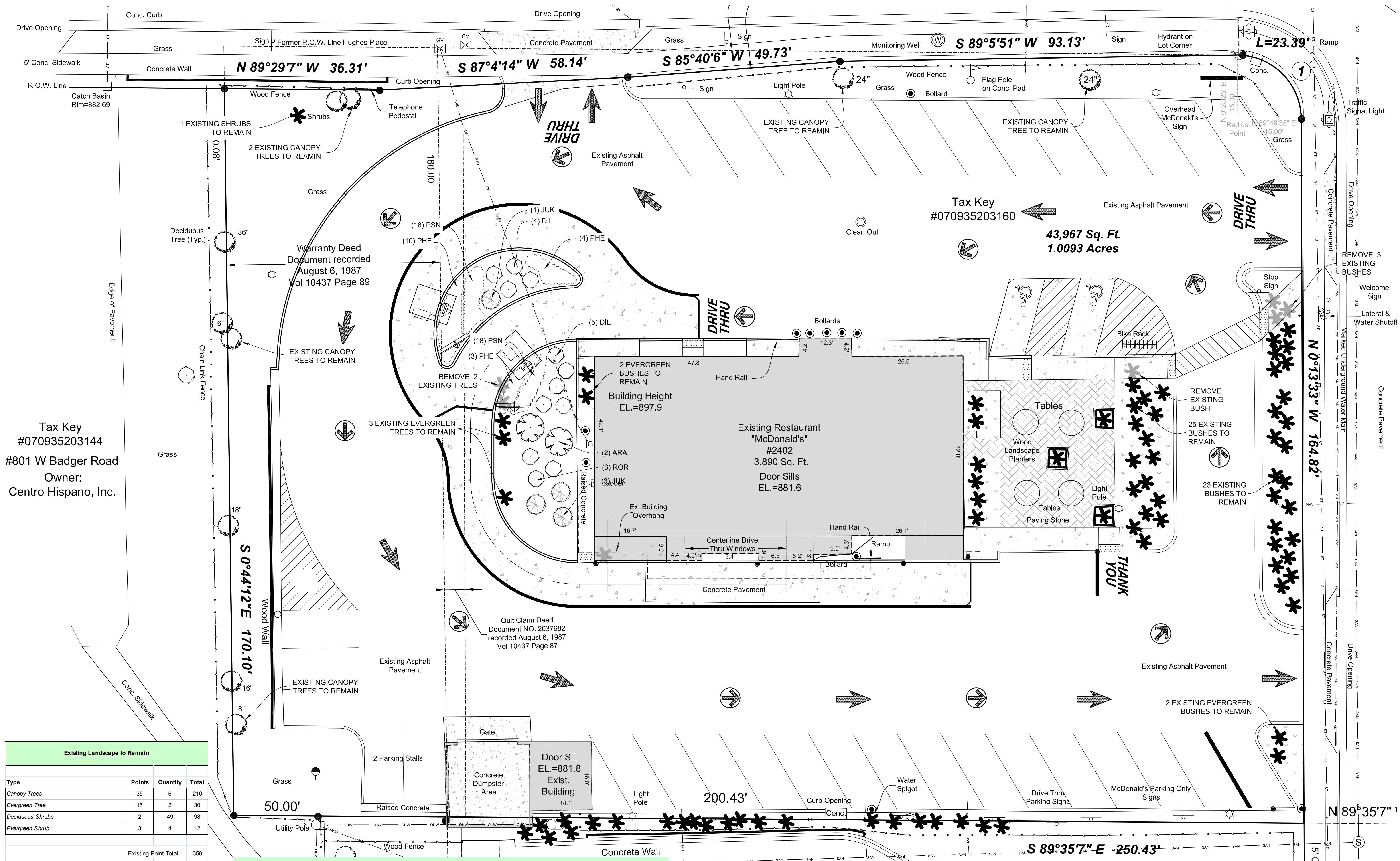


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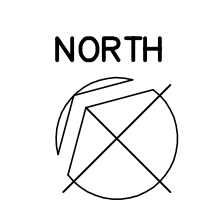
LANDSCAPE PLAN
 MAJOR REMODEL BUILDING PROGRAM
 McDONALD'S RESTAURANT
 2402 SOUTH PARK ST
 MADISON, WI 53713

REVISIONS		DESCRIPTION
NO.	DATE	

DATE: 09-12-12
 PROJ. NO: 1201107
 DRAWN BY: DAAR - AEK
 SHEET



LANDSCAPE PLAN
 SCALE: 1" = 10'-0"



DIGGERS HOTLINE
 WISCONSIN STATE STATUTE REGULATES RESIDENTS REQUIRES
 THREE HOURS ADVANCE NOTICE BEFORE YOU CAN HAVE
 CALL DIGGERS HOTLINE: 1-800-242-8511

Tax Key
 #070935203144
 #801 W Badger Road
 Owner:
 Centro Hispano, Inc.

Tax Key
 #070935203160
 43,967 Sq. Ft.
 1.0093 Acres

McDonald's

LONG TERM REINVESTMENT BUILDING PROGRAM

McDONALD'S RESTAURANT

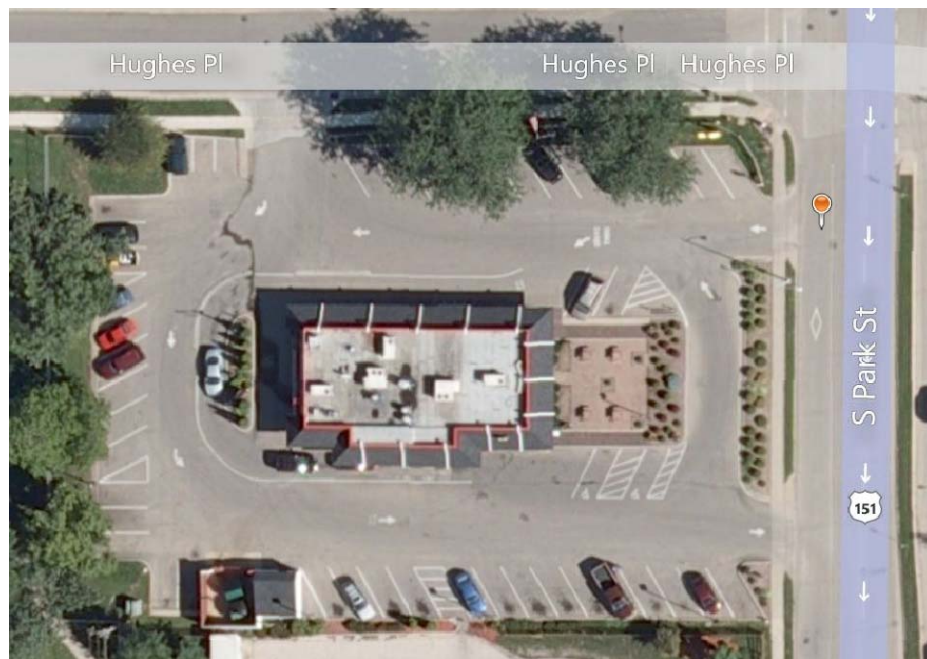
2402 S. PARK ST.
MADISON, WI 53713

STATE SITE ID# 480049
NATIONAL SITE ID# 79

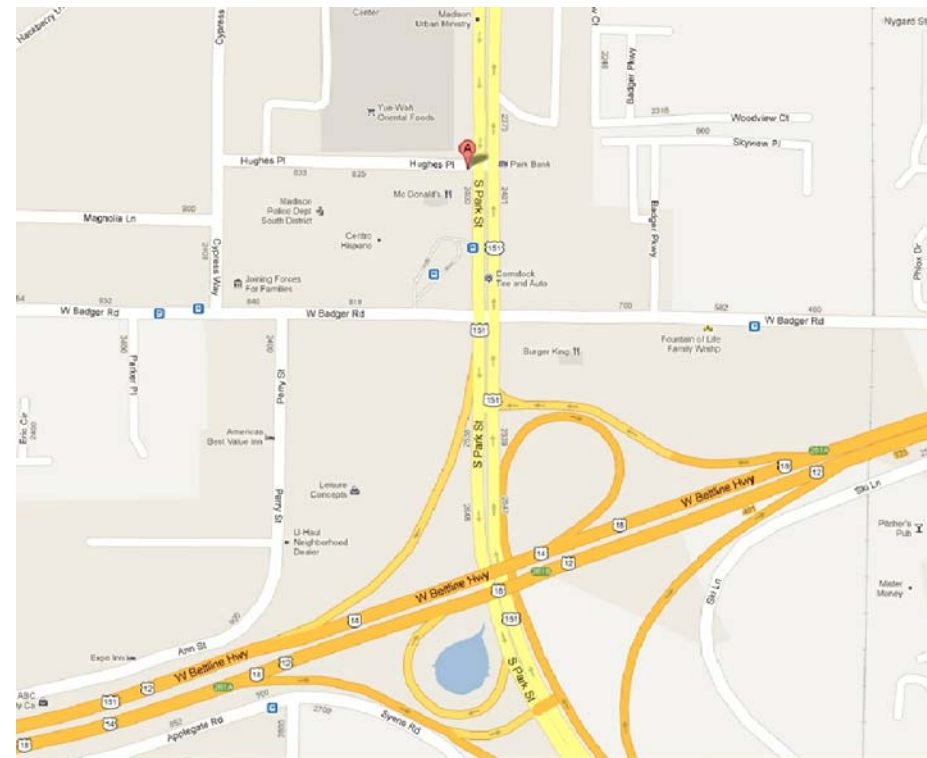
Providing a layered and methodical approach to reinvestment decisions that focuses on maximizing returns, growing market share, and strengthening our brand identity with our customers, yet develops a customer experience which is relevant to them and the current social culture.

McD's AREA CONST. MGR.:
DALE SHIMEK
1650 WEST 82 ST. SUITE 900
BLOOMINGTON, MN 55431
PH: (952) 486-4155
FAX: (952) 885-4769
email: dale.shimek@us.mcd.com

OWNER/OPERATOR:
JOHN ORR
N3250 COUNTY RD J
POYNETTE, WI 53955
PH: (608) 635-3550
FAX: (608) 635-3560
email: john.orr@partners.mcd.com



SITE AERIAL VIEW



VICINITY MAP



haag müller, inc.

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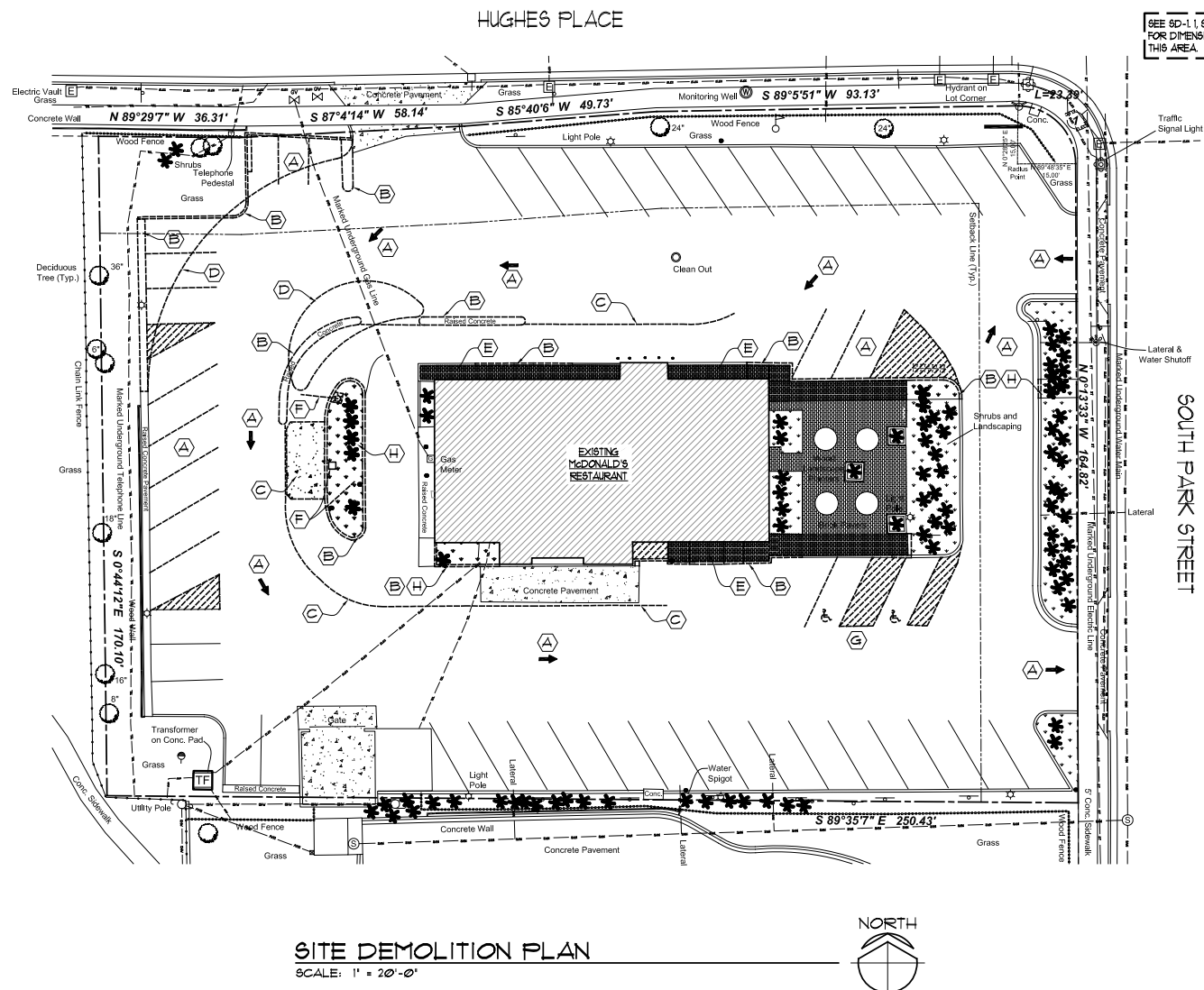
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SITE LAYOUT PLAN
MAJOR REMODEL BUILDING PROGRAM
McDONALD'S RESTAURANT
2402 SOUTH PARK ST.
MADISON, WI 53713

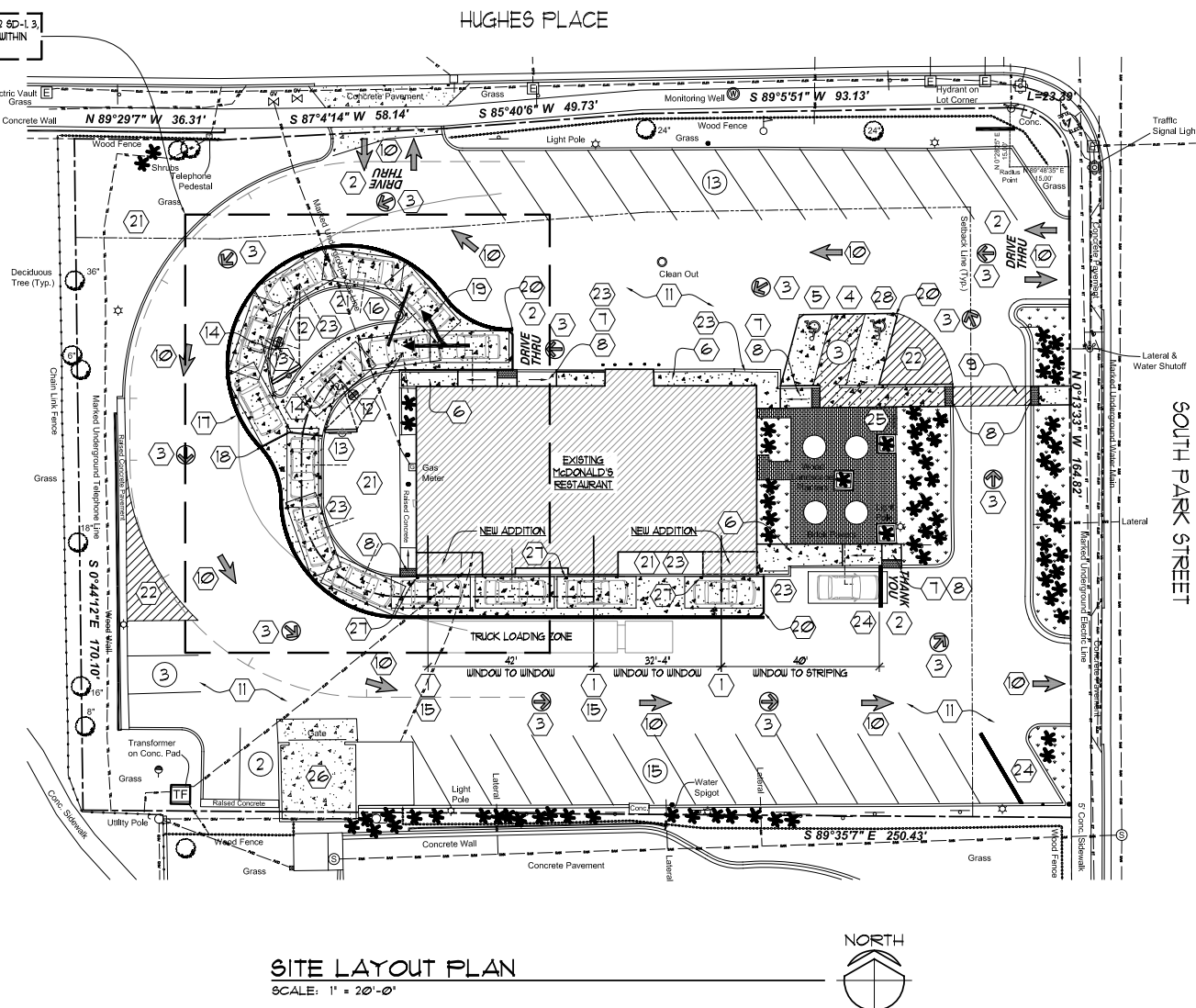
REVISIONS		DATE	DESCRIPTION
		09-24-12	
		1201104	

C-1.1



SITE DEMOLITION PLAN
SCALE: 1" = 20'-0"

SEE 6D-1.1 6D-1.2 6D-1.3 FOR DIMENSIONS WITHIN THIS AREA.



SITE LAYOUT PLAN
SCALE: 1" = 20'-0"

SITE DEMOLITION PLAN KEYED NOTES:

THE FOLLOWING SITE DEMOLITION PLAN KEYED NOTES ARE ENCLOSED WITH A (X) SYMBOL ON THE SITE PLAN.

- (A) REMOVE EXISTING PARKING, STRIPING, AND/OR DIRECTIONAL ARROWS IN THIS LOCATION.
- (B) DEMO EXISTING CURBING AS REQUIRED. PATCH AND REPAIR PARKING LOT AS NECESSARY.
- (C) DEMO CONCRETE DRIVE PAD AS SHOWN. SAW CUT EXISTING ASPHALT AS REQUIRED FOR NEW CONCRETE DRIVE THRU LANE SEE SD SHEETS FOR LAYOUT.
- (D) REMOVE ASPHALT AND COMPACTED STONE BASE AT NEW LANDSCAPE ISLAND LOCATIONS.
- (E) DEMO EXISTING PAVED WALK AS PER NEW LAYOUT. PATCH AND REPAIR PARKING LOT AS NECESSARY.
- (F) DEMO EXISTING MENU BOARD, COD, GATEWAY, AND SIGN BOARD. (OWNER OPTION TO SALVAGE MENU BOARD FOR REUSE.)
- (G) REMOVE ADA PARKING STRIPING, "WHEELCHAIR" SYMBOL, AND ADA BOLLARD SIGNAGE IN THESE LOCATIONS.
- (H) REMOVE EXISTING LANDSCAPING IN THESE LOCATIONS.

ENLARGED SIDE-BY-SIDE DRIVE THRU LAYOUT PLAN KEYED NOTES:

THE FOLLOWING SITE LAYOUT PLAN KEYED NOTES ARE ENCLOSED WITH A (X) SYMBOL ON THE SITE LAYOUT PLAN.

- (1) CENTERLINE OF DRIVE THRU WINDOWS.
- (2) DRIVE THRU AND "THANK YOU" PAVEMENT MARKING. PAINT SAFETY YELLOW. SEE DETAIL 9/SD-4. SEE GENERAL NOTE 'A' FOR STENCIL SUPPLIER.
- (3) NEW CIRCULAR DRIVE THRU DIRECTIONAL ARROW PAINT COLOR: SAFETY YELLOW SPACE EVERY 50'-0" TO 60'-0". SEE DETAIL 9/SD-4. SEE GENERAL NOTE 'A' FOR STENCIL SUPPLIER.
- (4) NEW CONCRETE PAD AT ADA PARKING AND LOADING ZONES PER DETAIL 12/SD-4. CORNERS OF PAD TO BE CUT AT 45°, 12" BACK, TO AVOID CRACKING OF CORNERS. PAD TO HAVE 1.8% MAX SLOPE ANY DIRECTION. AREA OF CONCRETE = 480 SF.
- (5) NEW ADA PARKING SPACE SIGNAGE ATTACHED TO NEW BOLLARD PER DETAIL 1/SD-3. MOUNT SIGNS SO AS BOTTOM OF LOWEST SIGN IS 5'-0" ABOVE ASPHALT GRADE. VERIFY WITH LOCAL MUNICIPALITY IF 'FINE' SIGN IS REQ'D.
- (6) NEW CONCRETE WALK (1% MAX. RUNNING SLOPE, 2% CROSS SLOPE, MAX.) W/ NON-SLIP BROOM FINISH. TOOLED JOINTS TO BE 1/4 DEPTH OF SLAB. JOINTS IN CONC. AT 5'-0" O.C. OR AS ILLUSTRATED ON PLAN. PROVIDE CURB CUT AT EXISTING CURB. SEE DETAILS 6/SD-4 & 1/SD-4.
- (7) NEW CONCRETE SLOPED WALK (1% MAX. SLOPE, 2% MAX. CROSS SLOPE) W/ NON-SLIP BROOM FINISH. PAINT PARKING LOT SIDE OF RAMP SAFETY YELLOW - 6" WIDE STRIPE. LANDING TO BE 1 : 50 MAX. SLOPE ALL DIRECTIONS. SEE DETAIL 13/SD-4.
- (8) NEW CANE DETECTABLE WARNING SURFACE PER DETAIL 13/SD-4.
- (9) NEW 5'-0" PEDESTRIAN CONNECTION TO PUBLIC SIDEWALK (1% MAX. RUNNING SLOPE, 2% CROSS SLOPE, MAX.) W/ NON-SLIP BROOM FINISH. TOOLED JOINTS TO BE 1/4 DEPTH OF SLAB. JOINTS IN CONC. AT 5'-0" O.C. OR AS ILLUSTRATED ON PLAN. PROVIDE CURB CUT AT EXISTING CURB. SEE DETAILS 6/SD-4 & 1/SD-4.
- (10) LOT DIRECTIONAL ARROW PAINT COLOR: WHITE. SEE DETAIL 9/SD-4. SEE GENERAL NOTE 'A' FOR STENCIL SUPPLIER.
- (11) RESEAL ASPHALT LOT. PATCH LOT AS REQUIRED PRIOR TO RE-SEALING.
- (12) DRIVE THRU CANOPY WITH INTEGRATED C.O.D. PER SHEET SD-2. SEE MANUFACTURERS INSTRUCTIONS FOR FOOTING SIZE AND WIRING DIAGRAMS. SEE GENERAL NOTE 'C' FOR SIGN SUPPLIERS.
- (13) FP-43 MENU BOARD, TYP. OF (2) PER SHEET SD-2. SEE DETAIL 2/SD-3 FOR WIRING DIAGRAMS. OPERATOR OPTION: FLIP ADDER. SEE MANUFACTURERS INSTRUCTIONS FOR FOOTING SIZE AND WIRING DIAGRAMS. SEE GENERAL NOTE 'C' FOR SIGN SUPPLIER.
- (14) DRIVE THRU DETECTOR LOOPS. NOTE SECONDARY LANE LOOP MAY BE SET FORWARD 24" FROM C.O.D. SEE DETAILS 2/SD-3 & 3/SD-3.

- (15) CASH BOOTH AND PRESENTER BOOTH DETECTOR LOOPS PER DETAIL 1/SD-2. PRESENTER BOOTH LOOP MAY NOT BE SHOWN ON THIS PLAN. (ON REMODEL, VERIFY IF LOOPS EXIST OR ARE REQUIRED WITH DRIVE THRU SYSTEM USED).
- (16) DOUBLE ARM GATEWAY SIGN WITH "ANY LANE, ANY TIME" SIGN ATTACHED. SET HEIGHT INDICATORS AT 9 FEET ABOVE CONCRETE DRIVE THRU SURFACE. FOUNDATION DETAIL BY SIGN MFG. SEE SHEET SD-2. SEE GENERAL NOTE 'C' FOR SIGN SUPPLIERS.
- (17) DRIVE THRU LANE STRIPING - 6" WIDE YELLOW PAINT STRIPE TO SPAN OUTER EDGE OF THE ENTIRE DRIVE-THRU LANE.
- (18) MERGE POINT LANE STRIPING - 12" WIDE. PAINT COLOR: YELLOW. SEE GENERAL NOTE 'B'.
- (19) DOUBLE HEADED ARROW - PAINT COLOR: YELLOW. SEE DETAIL 9/SD-4. SEE GENERAL NOTE 'A' FOR STENCIL SUPPLIER.
- (20) LIMIT OF DRIVE-THRU CONCRETE PAD. CORNERS OF PAD TO BE CUT AT 45°, 12" BACK, TO AVOID CRACKING OF CORNERS. SEE DETAIL 10/SD-4. AREA OF DT CONCRETE PAD = 316/01 SF.
- (21) LANDSCAPING PER LANDSCAPING PLANS - MAY NOT BE INCLUDED WITHIN THESE CONSTRUCTION DOCUMENTS, VERIFY WITH DRAWING INDEX ON COVER SHEET.
- (22) PARKING LOT STRIPING AND ACCESSIBLE PARKING COLOR: WHITE. LOT STRIPING TO REMAIN SHALL BE REPAINTED SIMILAR TO EXISTING AFTER RESURFACING. SEE GENERAL NOTE 'B'.
- (23) NEW CONCRETE CURBS. CONTRACTOR OPTIONS: 6x8 PER DETAIL 2/SD-4 OR EXTRUDED CURB & GUTTER PER DETAIL 3/SD-4.
- (24) NEW FULL FORWARD STRIPING & SIGNAGE ATTACHED TO NEW BOLLARD PER DETAIL 9/SD-4.
- (25) NEW GALVANIZED LOOP STYLE BIKE RACK. OWNER OPTION OF BELSON OUTDOORS IN-GROUND MOUNT MODEL (1436-9-G-16) WITH GROUT COVERS (15G-138), OR SURFACE MOUNT MODEL (1436-9-G-9F) WITH GROUT COVERS (15G-138), OR EQUIVALENT. SEE DETAIL 11C-1.1 FOR MORE INFORMATION.
- (26) SEE SHEET SD-5 FOR TRASH ENCLOSURE MODIFICATIONS.
- (27) NEW STANDARD PIPE BOLLARD, PER DETAIL 1/SD-3. COLOR: SAFETY YELLOW.
- (28) NEW VAN ACCESSIBLE PARKING SPACE SIGNAGE ATTACHED TO NEW BOLLARD PER DETAIL 1/SD-3. MOUNT SIGNS SO AS BOTTOM OF LOWEST SIGN IS 5'-0" ABOVE ASPHALT GRADE. VERIFY WITH LOCAL MUNICIPALITY IF 'FINE' SIGN IS REQ'D.

ENLARGED SIDE-BY-SIDE DRIVE THRU LAYOUT PLAN GENERAL NOTES:

- A. STENCIL SUPPLIER FOR McDONALD'S PAVEMENT MARKERS (DRIVE THRU, ROUND CIRCLE DIRECTIONAL ARROWS, 3-PIECE DOUBLE HEADED ARROW, THANK YOU) PAVEMENT STENCIL COMPANY, 1-800-250-3547.
- B. LOT PAINTING CONTRACTOR TO RETURN TO SITE 30 DAYS AFTER RESTAURANT OPENING TO DETERMINE IF MERGE POINT LINE NEEDS TO BE RELOCATED BASED ON ACTUAL TRAFFIC FLOW AND RESTAURANT OPERATIONS. COORDINATE WITH RESTAURANT OPERATOR & McDONALD'S CONSTRUCTION MANAGER.
- C. CURRENT SIGN MANUFACTURER FOR DRIVE THRU SIGNAGE PACKAGE IS EVERBRITE (414-523-3500).

PROJECT GENERAL NOTES:

- NO HAZARDOUS MATERIAL WILL BE STORED ON-SITE.
- NO FIRE SUPPRESSION SYSTEM REQUIRED.

ZONED C-2 GENERAL COMMERCIAL
EXISTING PARKING STALLS = 49
PROPOSED PARKING STALLS = 35
(NET LOSS = 14 SPACES)
INCLUDES (1) REQUIRED ACCESSIBLE PARKING SPACES.

CITY PARKING REQUIREMENTS:
PARKING SPACES EQUAL IN NUMBER TO THIRTY PERCENT (30%) OF THE CAPACITY IN PERSONS SHALL BE PROVIDED. (OR BY ORD. 1388, 11-16-95)

PARKING SPACES REQUIRED ON AN EMPLOYEE BASIS SHALL BE BASED ON THE MAXIMUM NUMBER OF EMPLOYEES ON DUTY OR RESIDING OR BOTH ON THE PREMISES AT ONE TIME.

TOTAL NUMBER OF OCCUPANTS = 136 PERSONS.
136 X 30% = 40.8 PERSONS
80.41 PARKING SPACES ARE REQUIRED.

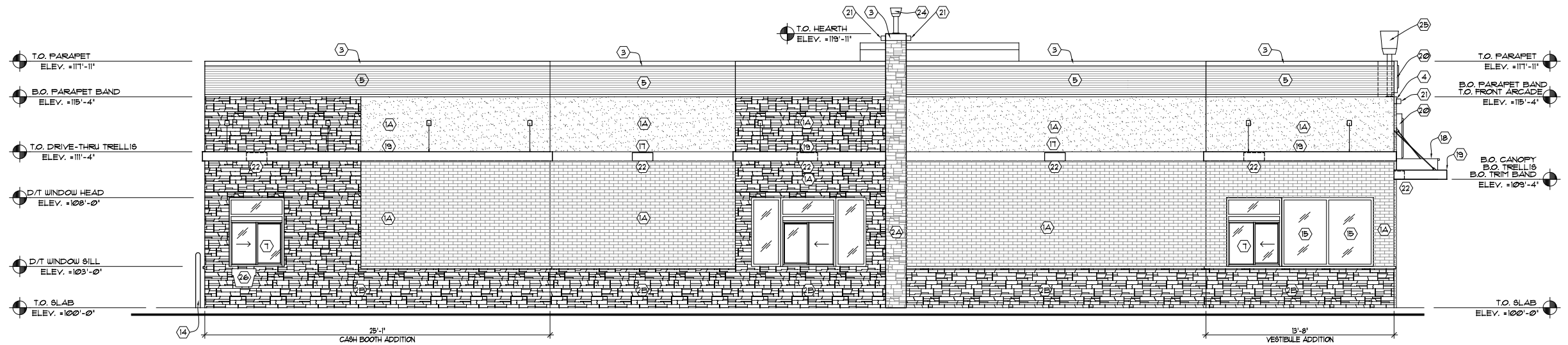


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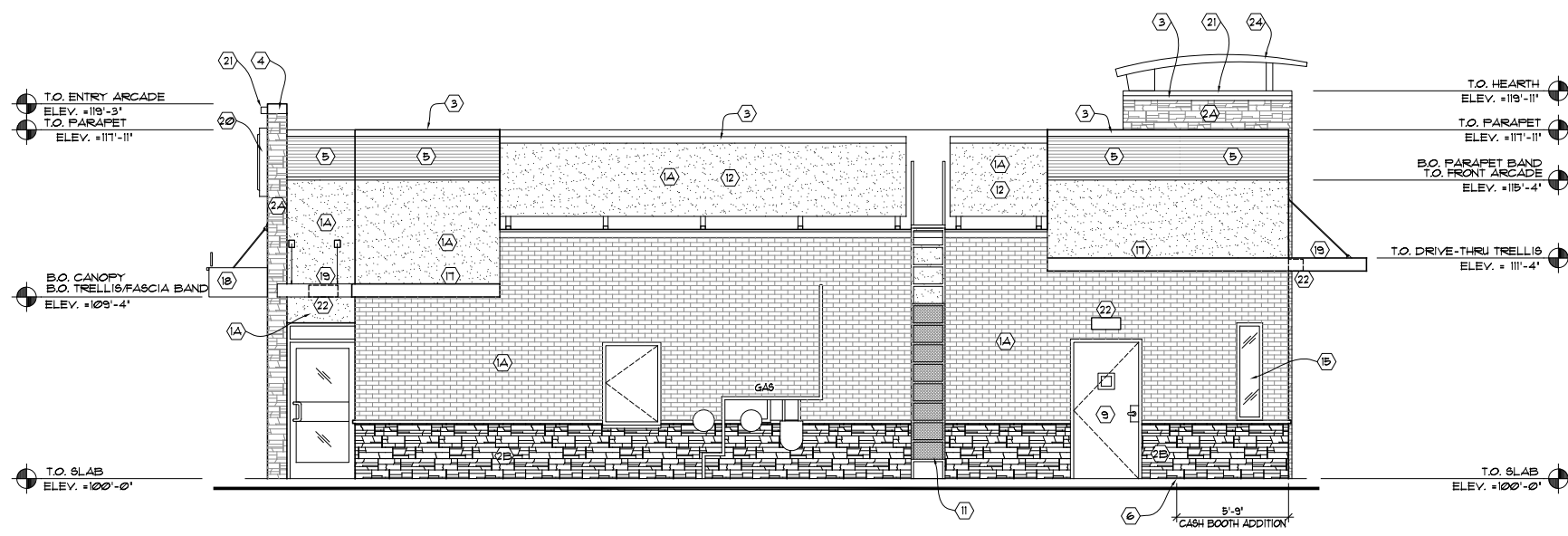
SOUTH ELEVATION (WEST PORTION)

SCALE: 1/4" = 1'-0"

ELEVATION KEYED NOTES:

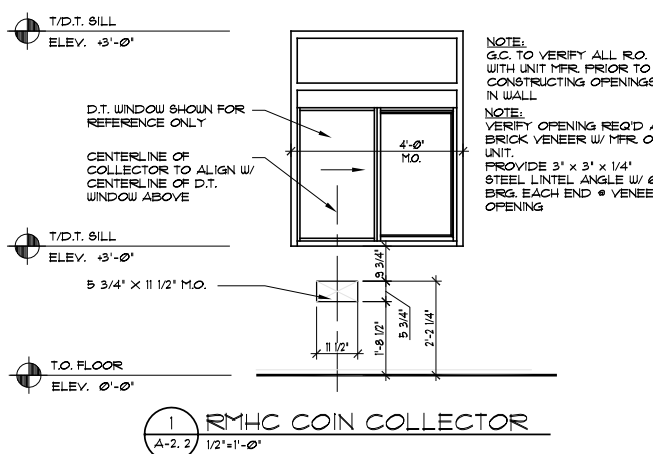
THE FOLLOWING KEYED NOTES ARE ENCLOSED WITH A (X) SYMBOL:

- (1) WATER MANAGED EIFS (EXTERIOR INSULATION FINISH SYSTEM). IN ADDITION TO EXPANSION JOINTS LISTED BELOW, PROVIDE EXPANSION JOINTS AT INSIDE CORNERS, ALL OTHERS TO BE FIELD LOCATED. TEXTURE TO BE SANDBLAST. SEE SECTIONS 4 SHEET A-X, X FOR DETAILS. ALL COLORS ARE BENJAMIN MOORE PAINTS.
- (1A) EARTHY RUSSET #113-10.
- (2) PRO-FIT LEDGESTONE PATTERN CULTURED STONE BY OWENS CORNING.
(2A) COLOR: SOUTHWEST.
(2B) COLOR: AUTUMN (PRECAST SILL TO MATCH).
- (3) ALUMINUM COPING BY METAL-ERA COLOR: SILVER METALLIC KYNAR. SEE DETAIL 6/A-3, 4.
- (4) ALUMINUM ARCADE COPING BY METAL-ERA COLOR: SILVER METALLIC KYNAR. SEE DETAIL 1/A-3, 4.
- (5) 26 3/4" CORRUGATED METAL PANEL BY METAL-ERA. COLOR: CITYSCAPE. SEE DETAIL 5/A-3, 4.
- (6) EIFS CONTROL JOINT WHERE ADDITION MEETS EXISTING BUILDING.
- (7) NEW DRIVE-THRU WINDOW. SEE FLOOR PLAN.
- (8) RELOCATED VIEWING WINDOW.
- (9) PRIME 4 PAINT EXTERIOR OF EXISTING DOOR AND FRAME. COLOR: TO MATCH X2.
- (10) NOT USED.
- (11) PAINT ROOF ACCESS LADDER. COLOR: TO MATCH X2.
- (12) NEW ROOFTOP SCREEN WALL. SEE DETAIL 3/A-1, 2.
- (13) EXISTING BOLLARD TO BE PAINTED SAFETY YELLOW.
- (14) NEW BOLLARD PER DETAIL 1/8D-3. COLOR SHALL BE SAFETY YELLOW.
- (15) NEW GLAZING PER FLOOR PLAN.
- (16) NEW SPANDREL GLASS, 1" INSULATED GLAZING UNIT SET IN EXISTING ALUM. FRAMES. 1/2" CLEAR OUTSIDE PANE WITH 1/2" GRAY SPANDREL INTERIOR PANE. SPANDREL COLOR SHALL BE COOLIDGE SUBDUED GRAY CG 24-8190 OR EQUAL.
- (17) 2x8 SILVER ALUM. FASCIA BAND. SEE DETAIL 2/A-3, 5 4 ROOF PLAN.
- (18) 3' ILLUMINATED YELLOW CANOPY. SEE DETAIL 1/A-3, 5 4 ROOF PLAN.
- (19) 4" SILVER ALUM. TRELIS. SEE DETAIL 3/A-3, 5 4 4/A-3, 5 4 ROOF PLAN.
- (20) ILLUMINATED McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. FINAL SIGN PACKAGE TO BE APPROVED BY MUNICIPALITY. LED ILLUMINATED SIGNS MUST BE CONTROLLED VIA PHOTOCELL OR A PROGRAMMABLE LIGHTING CONTROL PANEL PER WARRANTY REQUIREMENTS. CONTROLS BY E.C. COORDINATE WITH OWNER CONTROL TYPE: PHOTOCELL OR CONTROL PANEL.
- (21) HIRAF LINEAR LED FACADE LIGHT TO BE INSTALLED ALONG FRONT OF COPING. AVAILABLE THROUGH SECURITY LIGHTING. INSTALL PER MANUFACTURER'S SPECIFICATIONS. SEE ROOF PLAN.
- (22) RADIAL WALL SCANCE DOWNLIGHT ONLY, AVAILABLE THROUGH SECURITY LIGHTING. INSTALL PER MANUFACTURER'S INSTRUCTIONS. ALSO SEE ROOF PLAN.
- (23) 'WELCOME' ABOVE TRELIS.
- (24) 10' ROOF CAP ELEMENT.
- (25) 45' ROOF CAP ELEMENT.
- (26) RMHC COLLECTION BOX BELOW DRIVE-THRU WINDOW (OPTIONAL). INSTALL PER MANUFACTURER'S SPECIFICATIONS. SEE DETAIL 1/A-2, 2.



WEST ELEVATION

SCALE: 1/4" = 1'-0"



EXTERIOR ELEVATIONS - OPTION B
MAJOR REMODEL BUILDING PROGRAM
MCDONALD'S RESTAURANT
2402 SOUTH PARK ST.
MADISON, WI 53713

REVISIONS		DESCRIPTION
NO.	DATE	

DATE: 09-24-12
PROJ. NO: 1201104
DRAWN BY: SPS
SHEET



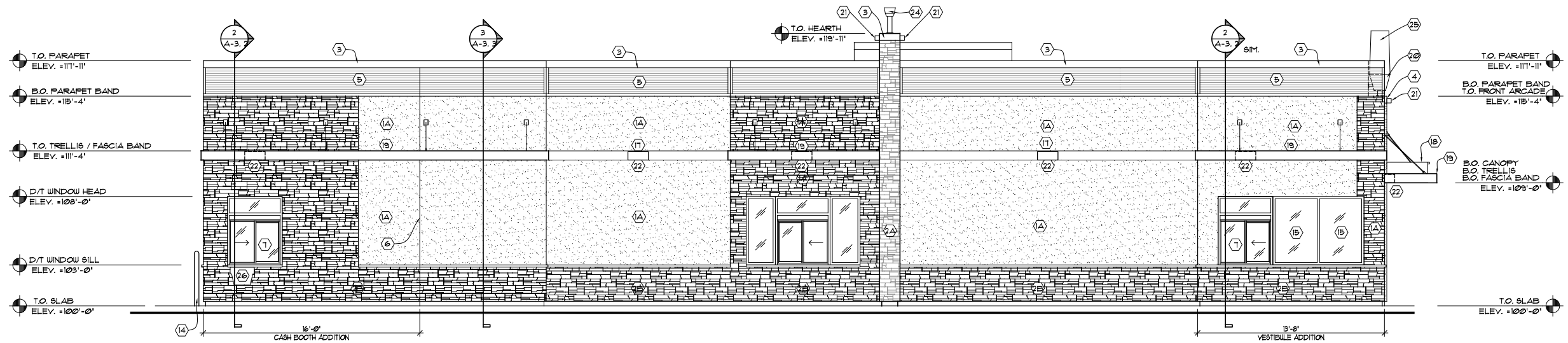
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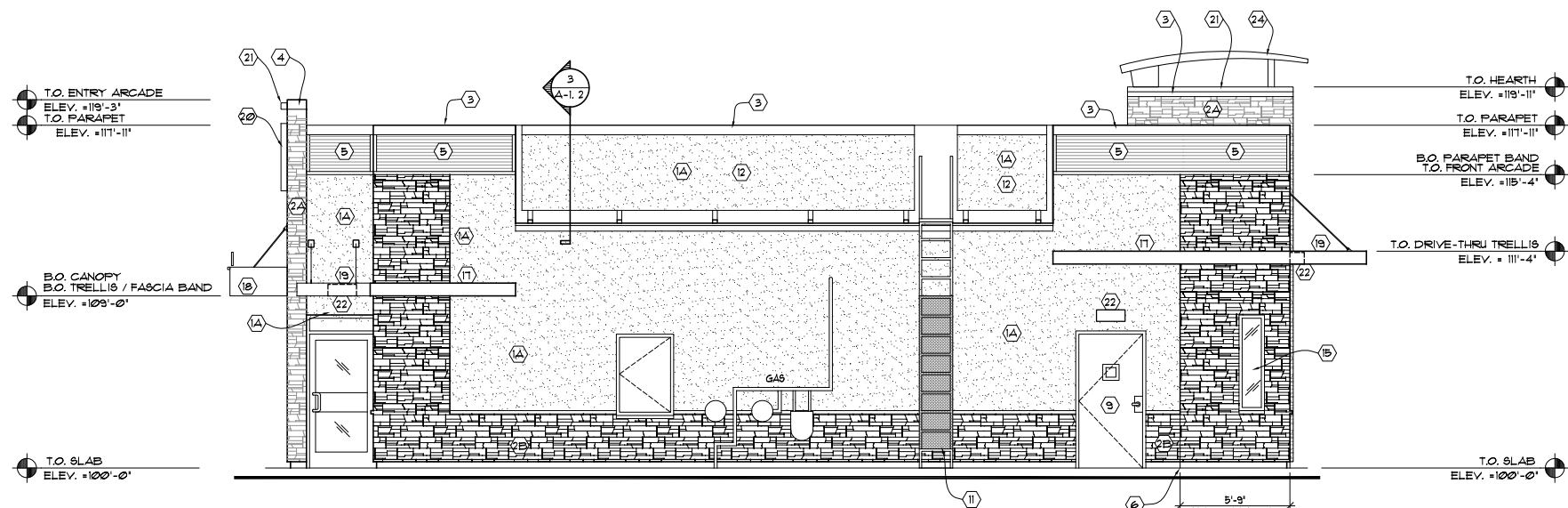
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SOUTH ELEVATION (WEST PORTION)

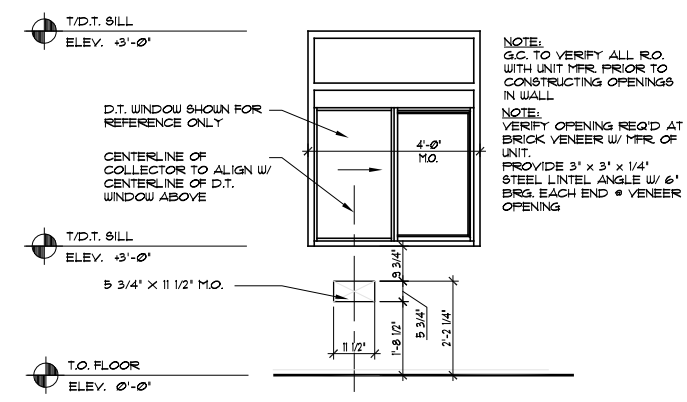
SCALE: 1/4" = 1' - 0"

- ELEVATION KEYED NOTES:**
THE FOLLOWING KEYED NOTES ARE ENCLOSED WITH A (X) SYMBOL:
- 1 WATER MANAGED EIFS (EXTERIOR INSULATION FINISH SYSTEM) IN ADDITION TO EXPANSION JOINTS LISTED BELOW, PROVIDE EXPANSION JOINTS AT INSIDE CORNERS, ALL OTHERS TO BE FIELD LOCATED. TEXTURE TO BE SANDBLAST. SEE SECTIONS 4 SHEET A-X, X FOR DETAILS. ALL COLORS ARE BENJAMIN MOORE PAINTS.
 - 2 PRO-FIT LEDGESTONE PATTERN CULTURED STONE BY OWENS CORNING.
 - 3 ALUMINUM COPING BY METAL-ERA COLOR: SILVER METALLIC KYNAR. SEE DETAIL 6/A-3. 4.
 - 4 ALUMINUM ARCADE COPING BY METAL-ERA COLOR: SILVER METALLIC KYNAR. SEE DETAIL 1/A-3. 4.
 - 5 26 3/4" CORRUGATED METAL PANEL BY METAL-ERA. COLOR: CITYSCAPE. SEE DETAIL 5/A-3. 4.
 - 6 EIFS CONTROL JOINT WHERE ADDITION MEETS EXISTING BUILDING.
 - 7 NEW DRIVE-THRU WINDOW. SEE FLOOR PLAN.
 - 8 RELOCATED VIEWING WINDOW.
 - 9 FRAME 4 PAINT EXTERIOR OF EXISTING DOOR AND FRAME. COLOR: TO MATCH XB.
 - 10 NOT USED.
 - 11 PAINT ROOF ACCESS LADDER. COLOR: TO MATCH XB.
 - 12 NEW ROOFTOP SCREEN WALL. SEE DETAIL 3/A-1. 2.
 - 13 EXISTING BOLLARD TO BE PAINTED SAFETY YELLOW.
 - 14 NEW BOLLARD PER DETAIL 18D-3. COLOR SHALL BE SAFETY YELLOW.
 - 15 NEW GLAZING PER FLOOR PLAN.
 - 16 NEW SPANDREL GLASS. 1" INSULATED GLAZING UNIT SET IN EXISTING ALUM. FRAMES. 1/2" CLEAR OUTSIDE PANE WITH 1/2" GRAY SPANDREL INTERIOR PANE. SPANDREL COLOR SHALL BE COOLIDGE SUBDUED GRAY CG 24-8190 OR EQUAL.
 - 17 2x8 SILVER ALUM. FASCIA BAND. SEE DETAIL 2/A-3. 5 4 ROOF PLAN.
 - 18 3' ILLUMINATED YELLOW CANOPY. SEE DETAIL 1/A-3. 5 4 ROOF PLAN.
 - 19 4" SILVER ALUM. TRELIS. SEE DETAIL 3/A-3. 5 4 4/A-3. 5 4 ROOF PLAN.
 - 20 ILLUMINATED MCDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. FINAL SIGN PACKAGE TO BE APPROVED BY MUNICIPALITY. LED ILLUMINATED SIGNS MUST BE CONTROLLED VIA PHOTOCELL OR A PROGRAMMABLE LIGHTING CONTROL PANEL PER WARRANTY REQUIREMENTS. CONTROLS BY E.C. COORDINATE WITH OWNER CONTROL TYPE: PHOTOCELL OR CONTROL PANEL.
 - 21 HIRAF LINEAR LED FACADE LIGHT TO BE INSTALLED ALONG FRONT OF COPING. AVAILABLE THROUGH SECURITY LIGHTING. INSTALL PER MANUFACTURER'S SPECIFICATIONS. SEE ROOF PLAN.
 - 22 RADIAL WALL SCONCE DOWNLIGHT ONLY, AVAILABLE THROUGH SECURITY LIGHTING. INSTALL PER MANUFACTURER'S INSTRUCTIONS. ALSO SEE ROOF PLAN.
 - 23 "WELCOME" ABOVE TRELIS.
 - 24 10" ROOF CAP ELEMENT.
 - 25 45" ROOF CAP ELEMENT.
 - 26 RMHC COLLECTION BOX BELOW DRIVE-THRU WINDOW (OPTIONAL). INSTALL PER MANUFACTURER'S SPECIFICATIONS. SEE DETAIL 1/A-2. 2.



WEST ELEVATION

SCALE: 1/4" = 1' - 0"



1 RMHC COIN COLLECTOR
A-2.2 1/2" = 1' - 0"

EXTERIOR ELEVATIONS - OPTION A
MAJOR REMODEL BUILDING PROGRAM
MCDONALD'S RESTAURANT
2402 SOUTH PARK ST.
MADISON, WI 53713

REVISIONS		DATE	DESCRIPTION
NO.	DATE		

DATE: 09-24-12
PROJ. NO: 1201104
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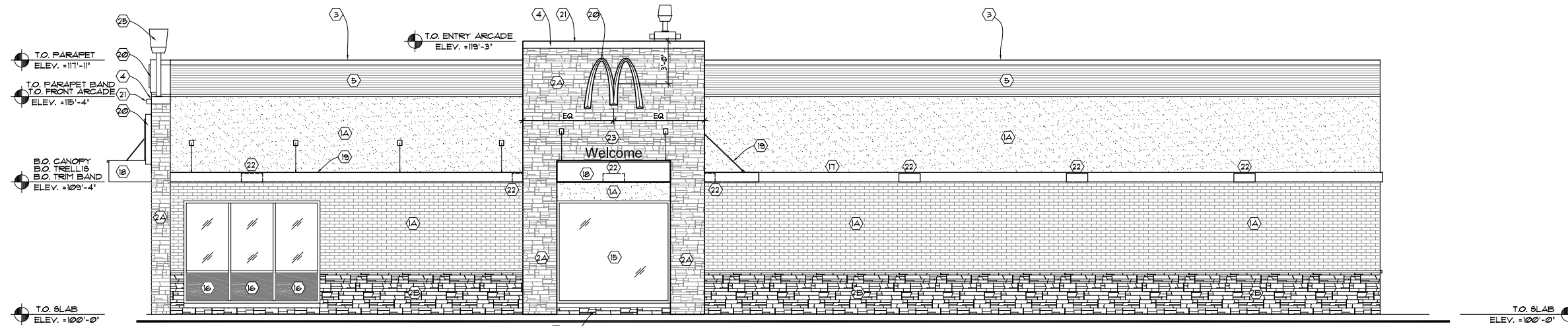


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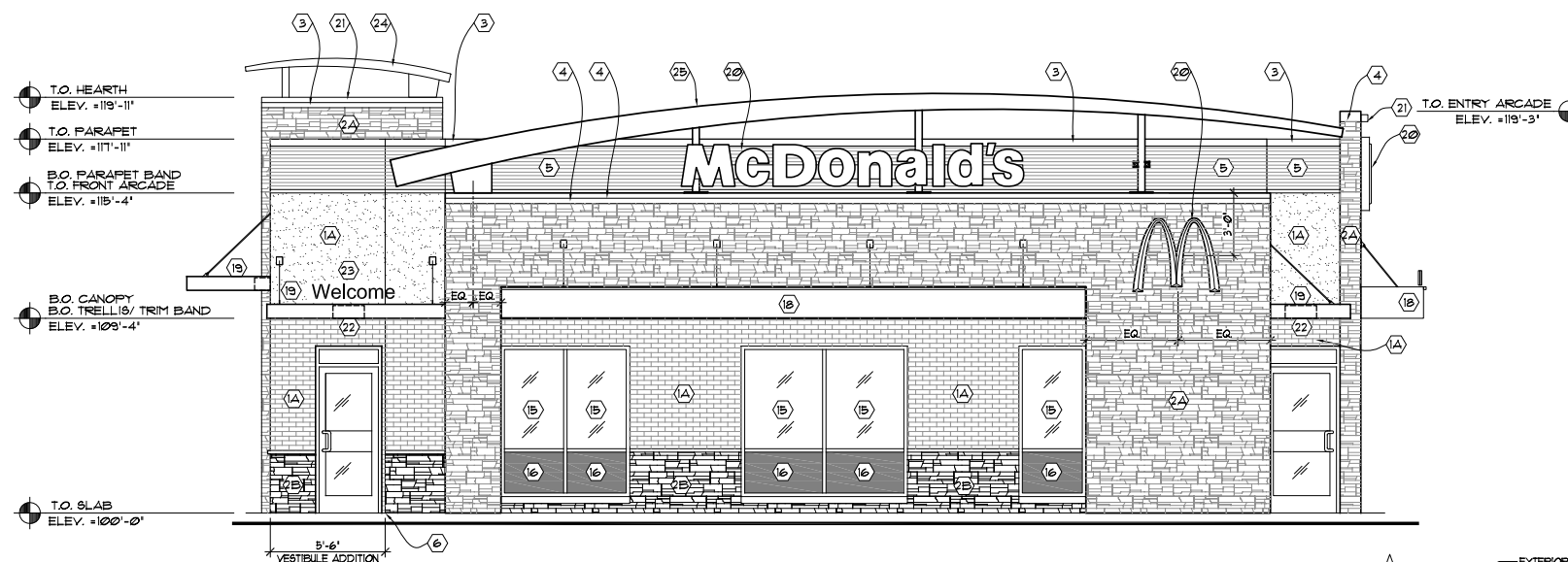
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NORTH ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"

SIGNAGE AREA SUMMARY:

CURRENTLY ZONED C-2 GENERAL COMMERCIAL DISTRICT.

ALLOWABLE WALL AND ROOF SIGN AREA IS 40% OF SIGNABLE BUILDING AREA PER THE SIGN CONTROL ORDINANCE.

SIGNABLE AREA:

NORTH ELEVATION = 1146 SF.
WEST ELEVATION = 501 SF.
SOUTH ELEVATION = 1238 SF.
EAST ELEVATION = 173 SF.

TOTAL SIGNABLE AREA OF BUILDING = 3608 SF.

TOTAL ALLOWED SIGNAGE AREA = (40% OF 3608 SF) = 1443 SF.

SIGNAGE:

McDonald's
McDonald's® = 3283 SF. PER SIGN



1" ARCH = 14 SF. PER SIGN

EAST ELEVATION:

(1) McDonald's® SIGN = 3283 SF.
(1) 1" ARCH SIGN = 14 SF.

TOTAL SIGNAGE ON NORTH ELEVATION = 4683 SF.

NORTH ELEVATION:

(1) 1" ARCH SIGN = 14 SF.

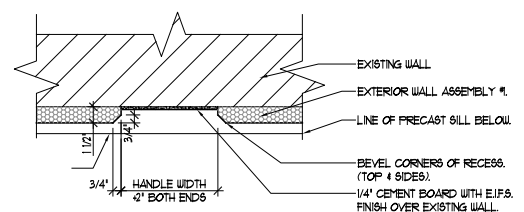
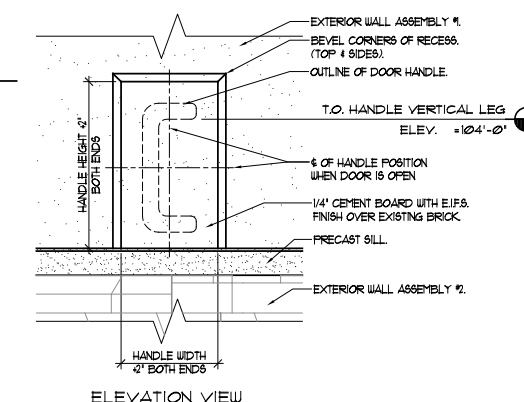
TOTAL SIGNAGE ON SOUTH ELEVATION = 14 SF.

TOTAL AREA OF SIGNS BUILDING AS PROPOSED = 6083 SF.

ELEVATION KEYED NOTES:

THE FOLLOWING KEYED NOTES ARE ENCLOSED WITH A (X) SYMBOL:

- (1) WATER MANAGED EIFS (EXTERIOR INSULATION FINISH SYSTEM) IN ADDITION TO EXPANSION JOINTS LISTED BELOW, PROVIDE EXPANSION JOINTS AT INSIDE CORNERS, ALL OTHERS TO BE FIELD LOCATED. TEXTURE TO BE SANDBLAST. SEE SECTIONS 4 SHEET A-X, X FOR DETAILS. ALL COLORS ARE BENJAMIN MOORE PAINTS.
- (1A) EARTHY RUSSET #113-10.
- (2) PRO-FIT LEDGESTONE PATTERN CULTURED STONE BY OWENS CORNING.
- (2A) COLOR: SOUTHWEST.
- (2B) COLOR: AUTUMN. (PRECAST SILL TO MATCH).
- (3) ALUMINUM COPING BY METAL-ERA COLOR: SILVER METALLIC KYNAR. SEE DETAIL 6/A-3, 4.
- (4) ALUMINUM ARCADE COPING BY METAL-ERA COLOR: SILVER METALLIC KYNAR. SEE DETAIL 1/A-3, 4.
- (5) 26 3/4" CORRUGATED METAL PANEL BY METAL-ERA COLOR: CITYSCAPE. SEE DETAIL 5/A-3, 4.
- (6) EIFS CONTROL JOINT WHERE ADDITION MEETS EXISTING BUILDING.
- (7) NEW DRIVE-THRU WINDOW. SEE FLOOR PLAN.
- (8) RELOCATED COPING WINDOW.
- (9) PRIME # PAINT EXTERIOR OF EXISTING DOOR AND FRAME. COLOR: TO MATCH XB.
- (10) NOT USED.
- (11) PAINT ROOF ACCESS LADDER. COLOR: TO MATCH XB.
- (12) NEW ROOFTOP SCREEN WALL. SEE DETAIL 3/A-1, 2.
- (13) EXISTING BOLLARD TO BE PAINTED SAFETY YELLOW.
- (14) NEW BOLLARD PER DETAIL 1/SD-3. COLOR SHALL BE SAFETY YELLOW.
- (15) NEW GLAZING PER FLOOR PLAN.
- (16) NEW SPANDREL GLASS. 1" INSULATED GLAZING UNIT SET IN EXISTING ALUM. FRAMES. 1/2" CLEAR OUTSIDE PANE WITH 1/2" GRAY SPANDREL INTERIOR PANE. SPANDREL COLOR SHALL BE COOLIDGE SUEDED GRAY CG 24-810 OR EQUAL.
- (17) 2x8 SILVER ALUM. FASCIA BAND. SEE DETAIL 2/A-3, 5 & ROOF PLAN.
- (18) 3" ILLUMINATED YELLOW CANOPY. SEE DETAIL 1/A-3, 5 & ROOF PLAN.
- (19) 4" SILVER ALUM. TRELLIS. SEE DETAIL 3/A-3, 5 & 4/A-3, 5 & ROOF PLAN.
- (20) ILLUMINATED McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. FINAL SIGN PACKAGE TO BE APPROVED BY MUNICIPALITY. LED ILLUMINATED SIGNS MUST BE CONTROLLED VIA PHOTOCELL OR A PROGRAMMABLE LIGHTING CONTROL PANEL PER WARRANTY REQUIREMENTS. CONTROLS BY E.C. COORDINATE WITH OWNER CONTROL TYPE: PHOTOCELL OR CONTROL PANEL.
- (21) HIRAF LINEAR LED FACADE LIGHT TO BE INSTALLED ALONG FRONT OF COPING AVAILABLE THROUGH SECURITY LIGHTING. INSTALL PER MANUFACTURER'S SPECIFICATIONS. SEE ROOF PLAN.
- (22) RADIAL WALL SCONCE DOWNLIGHT ONLY, AVAILABLE THROUGH SECURITY LIGHTING. INSTALL PER MANUFACTURER'S INSTRUCTIONS. ALSO SEE ROOF PLAN.
- (23) 'WELCOME' ABOVE TRELLIS.
- (24) 10' ROOF CAP ELEMENT.
- (25) 45' ROOF CAP ELEMENT.
- (26) RPHC COLLECTION BOX BELOW DRIVE-THRU WINDOW (OPTIONAL). INSTALL PER MANUFACTURER'S SPECIFICATIONS. SEE DETAIL 1/A-2, 2.



1 DOOR HANDLE POCKET DETAIL
SCALE: 1-1/2" = 1'-0"

EXTERIOR ELEVATIONS - OPTION B
MAJOR REMODEL BUILDING PROGRAM
McDONALD'S RESTAURANT
2402 SOUTH PARK ST.
MADISON, WI 53713

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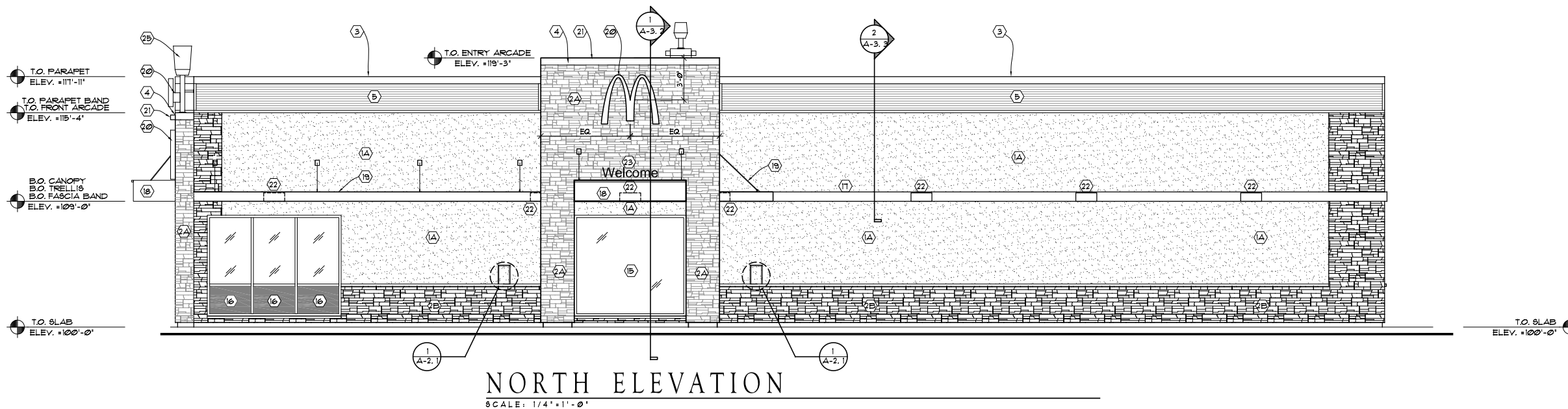


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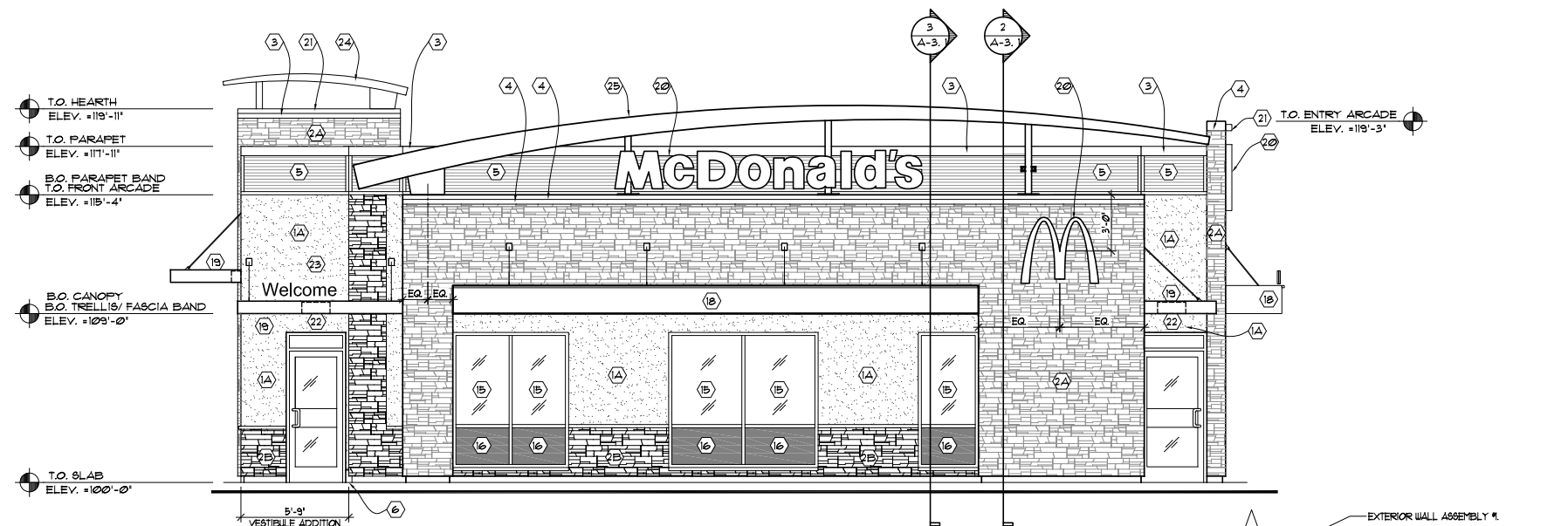
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NORTH ELEVATION

SCALE: 1/4" = 1' - 0"



EAST ELEVATION

SCALE: 1/4" = 1' - 0"

SIGNAGE AREA SUMMARY:

CURRENTLY ZONED C-2 GENERAL COMMERCIAL DISTRICT.

ALLOWABLE WALL AND ROOF SIGN AREA IS 40% OF SIGNABLE BUILDING AREA PER THE SIGN CONTROL ORDINANCE.

SIGNABLE AREA:

NORTH ELEVATION = 1146 SF.
WEST ELEVATION = 801 SF.
SOUTH ELEVATION = 1238 SF.
EAST ELEVATION = 123 SF.

TOTAL SIGNABLE AREA OF BUILDING = 3608 SF.

TOTAL ALLOWED SIGNAGE AREA = (40% OF 3608 SF) = 1443.2 SF.

SIGNAGE:

McDonald's
McDonald's = 3283 SF. PER SIGN

M
M ARCH = 14 SF. PER SIGN

EAST ELEVATION:

(1) McDonald's SIGN = 3283 SF.
(1) M ARCH SIGN = 14 SF.

TOTAL SIGNAGE ON NORTH ELEVATION = 4683 SF.

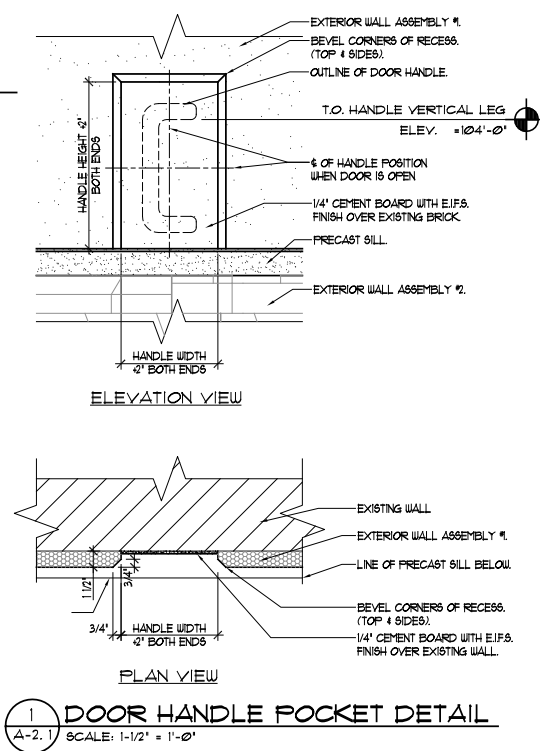
NORTH ELEVATION:

(1) M ARCH SIGN = 14 SF.

TOTAL SIGNAGE ON SOUTH ELEVATION = 14 SF.

TOTAL AREA OF SIGNS BUILDING AS PROPOSED = 6083 SF.

- ELEVATION KEYED NOTES:**
- THE FOLLOWING KEYED NOTES ARE ENCLOSED WITH A (X) SYMBOL:
- (1) WATER MANAGED EIFS (EXTERIOR INSULATION FINISH SYSTEM) IN ADDITION TO EXPANSION JOINTS LISTED BELOW, PROVIDE EXPANSION JOINTS AT INSIDE CORNERS. ALL OTHERS TO BE FIELD LOCATED. TEXTURE TO BE SANDBLAST. SEE SECTIONS 4 SHEET A-X, X FOR DETAILS. ALL COLORS ARE BENJAMIN MOORE PAINTS.
 - (2) PRO-FIT LEDGESTONE PATTERN CULTURED STONE BY OWENS CORNING.
 - (3) ALUMINUM COPING BY METAL-ERA COLOR: SILVER METALLIC KYNAR. SEE DETAIL 6/A-3, 4.
 - (4) ALUMINUM ARCADE COPING BY METAL-ERA COLOR: SILVER METALLIC KYNAR. SEE DETAIL 1/A-3, 4.
 - (5) 26 3/4" CORRUGATED METAL PANEL BY METAL-ERA COLOR: CITYSCAPE. SEE DETAIL 5/A-3, 4.
 - (6) EIFS CONTROL JOINT WHERE ADDITION MEETS EXISTING BUILDING.
 - (7) NEW DRIVE-THRU WINDOW. SEE FLOOR PLAN.
 - (8) RELOCATED VIEWING WINDOW.
 - (9) PRIME # PAINT EXTERIOR OF EXISTING DOOR AND FRAME. COLOR: TO MATCH XB.
 - (10) NOT USED.
 - (11) PAINT ROOF ACCESS LADDER. COLOR: TO MATCH XB.
 - (12) NEW ROOFTOP SCREEN WALL. SEE DETAIL 3/A-1, 2.
 - (13) EXISTING BOLLARD TO BE PAINTED SAFETY YELLOW.
 - (14) NEW BOLLARD PER DETAIL 1/SD-3. COLOR SHALL BE SAFETY YELLOW.
 - (15) NEW GLAZING PER FLOOR PLAN.
 - (16) NEW SPANDREL GLASS. 1" INSULATED GLAZING UNIT SET IN EXISTING ALUM. FRAMES. 1/2" CLEAR OUTSIDE PANE WITH 1/2" GRAY SPANDREL INTERIOR PANE. SPANDREL COLOR SHALL BE COOLIDGE SUEDED GRAY CG 24-8150 OR EQUAL.
 - (17) 2x8 SILVER ALUM. FASCIA BAND. SEE DETAIL 2/A-3, 5 & ROOF PLAN.
 - (18) 3' ILLUMINATED YELLOW CANOPY. SEE DETAIL 1/A-3, 5 & ROOF PLAN.
 - (19) 4' SILVER ALUM. TRELLIS. SEE DETAIL 3/A-3, 5 & 4/A-3, 5 & ROOF PLAN.
 - (20) ILLUMINATED McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. FINAL SIGN PACKAGE TO BE APPROVED BY MUNICIPALITY. LED ILLUMINATED SIGNS MUST BE CONTROLLED VIA PHOTOCELL OR A PROGRAMMABLE LIGHTING CONTROL PANEL PER WARRANTY REQUIREMENTS. CONTROLS BY E.C. COORDINATE WITH OWNER CONTROL TYPE: PHOTOCELL OR CONTROL PANEL.
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 - (23) 'WELCOME' ABOVE TRELLIS.
 - (24) 10' ROOF CAP ELEMENT.
 - (25) 45' ROOF CAP ELEMENT.
 - (26) RPHC COLLECTION BOX BELOW DRIVE-THRU WINDOW (OPTIONAL). INSTALL PER MANUFACTURER'S SPECIFICATIONS. SEE DETAIL 1/A-2, 2.



1 DOOR HANDLE POCKET DETAIL
SCALE: 1-1/2" = 1'-0"

EXTERIOR ELEVATIONS - OPTION A
MAJOR REMODEL BUILDING PROGRAM
McDONALD'S RESTAURANT
2402 SOUTH PARK ST.
MADISON, WI 53713

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Police station to the west of the property.



810 West Badger Road to the southwest of the property.



Metro Transit transfer facility to the south of the property.



Comstock Tire to the east of the property.



Park Bank to the east of the property.



Yue Wah Oriental Foods to the north of the property.



Atrium Building to the north of the property.



Urban League Madison Public Library to the north of the property.

LANDSCAPE WORKSHEET

Parking Lots, Storage Areas and Loading Areas
(Section 28.04 Madison General Ordinance)

Project Location/Address: 2402 South Park St
Name of Project: McDonald's
Owner/Contact:
Address:

FOR PARKING LOTS WITH GREATER THAN 20 STALLS, LANDSCAPE PLANS MUST BE STAMPED BY A REGISTERED LANDSCAPE ARCHITECT

I. Number of Trees Required

The number of trees required for a parking lot is based on the number of parking stalls. Using the Schedule for Required Trees on the reverse side of this worksheet, determine the number of trees required. (Example: One tree is required for 10 parking stalls).

Landscape requirements for storage areas are determined by dividing the total square footage of the storage area by (300) square feet. This converts area to stalls.

[Example: 10,000 square feet is equivalent to (33) stalls or (3) trees and (160) points].

Number of Parking Stalls _____ 30

Total Square Footage of the Storage Area _____
Divided by Three Hundred (300) Square Feet _____

Number of Canopy Shade Trees Required (2" - 2 1/2" Caliper) _____
(See Schedule on reverse side) 2

TOTAL

II. Number of Landscape Points Required

The number of points required is also based on the number of parking stalls. Using the Point Schedule for Landscape Elements on the reverse side of this worksheet, determine the number of points required. (Example: 49.5 points are required for 10 stalls). A point fraction of (.5) or less may be disregarded, while a fraction in excess of (.5) must be counted as one point. Thus: 49.5 points would be rounded down to 49.0 points required.

The number of points required for loading areas is (75) points for each loading berth. _____
(See Schedule on reverse side)

Number of Points Required (See Schedule on reverse side) _____ 146

TOTAL

Tabulation of Points and Credits

Indicate below the quantity and points for all pertinent landscape elements. Also, credit information for boundary screening and any existing elements to be retained.

ELEMENT	POINT VALUE	QUANTITY	POINTS ACHIEVED	CREDITS	
				QUANTITY	POINTS
Canopy Tree: 2" - 2 1/2"	35			6	210
Deciduous Shrub	2	14	28	49	98
Evergreen Shrub	3	4	12	4	12
Decorative Wall or Fence (per 10 L.F.)	5				
Earth Berm (per 10 L.F.) Avg. Height 30" Avg. Height 15"	5 2				
Evergreen Trees 3' height minimum	15			2	30
Canopy Tree or Small Tree 1 1/2" - 2" Caliper (i.e., Crab, Hawthorn)	15				
Sub Totals			40	+	350

TOTAL
= 390

Total No. of Points Provided
(Equal to or greater than points required)

*Trees required in Part I above, are not to be included in the point count.

Approved by: _____ Date: _____

