



# URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

This form may also be completed online at:  
<http://www.cityofmadison.com/planning/documents/UDCapplication.pdf>

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

Please complete all sections of the application, including the desired meeting date and the type of action requested.

<b>Date Submitted:</b> <u>September 24, 2014</u>	<input type="checkbox"/> Informational Presentation <input checked="" type="checkbox"/> Initial Approval <input checked="" type="checkbox"/> Final Approval
<b>UDC Meeting Date:</b> <u>October 1, 2014</u>	
<b>Combined Schedule Plan Commission Date (if applicable):</b> _____	

1. **Project Address:** 330 E. Wilson Street  
**Project Title (if any):** \_\_\_\_\_

2. **This is an application for** (Check all that apply to this UDC application):

**New Development**     **Alteration to an Existing or Previously-Approved Development**

**A. Project Type:**

- Project in an Urban Design District\*** (public hearing-\$300 fee)
- Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX)** (\$150 fee, Minor Exterior Alterations)
- Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment Campus District (EC)**
- Planned Development (PD)**
  - General Development Plan (GDP)**
  - Specific Implementation Plan (SIP)**
- Planned Multi-Use Site or Planned Residential Complex**

**B. Signage:**

- Comprehensive Design Review\*** (public hearing-\$300 fee)     **Street Graphics Variance\*** (public hearing-\$300 fee)
- Signage Exception(s) in an Urban Design District** (public hearing-\$300 fee)

**C. Other:**

**Please specify:** \_\_\_\_\_

3. **Applicant, Agent & Property Owner Information:**

**Applicant Name:** Palladia, LLC  
**Street Address:** 115 E. Main Street, Suite 210  
**Telephone:** (608-469-0059)      **Fax:** (\_\_\_\_) \_\_\_\_\_

**Company:** Kothe Real Estate Partners  
**City/State:** Madison/WI      **Zip:** 53703  
**Email:** kevin@kotherep.com

**Project Contact Person:** Josh Wilcox  
**Street Address:** 7780 Elmwood Avenue, Suite 204  
**Telephone:** (608-829-1750)      **Fax:** (608-829-3056)

**Company:** Gary Brink & Associates, Inc.  
**City/State:** Middleton/WI      **Zip:** 53562  
**Email:** josh.wilcox@garybrink.com

**Project Owner (if not applicant) :** \_\_\_\_\_  
**Street Address:** \_\_\_\_\_  
**Telephone:** (\_\_\_\_) \_\_\_\_\_      **Fax:** (\_\_\_\_) \_\_\_\_\_

**City/State:** \_\_\_\_\_      **Zip:** \_\_\_\_\_  
**Email:** \_\_\_\_\_

4. **Applicant Declarations:**

A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Al Martin on 1/23/14.  
(name of staff person) (date of meeting)

B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of Applicant Josh Wilcox

Relationship to Property Architect

Authorized Signature \_\_\_\_\_

Date 9/24/14



GARY BRINK & ASSOCIATES  
ARCHITECTS  
7780 ELMWOOD AVE. STE. 204  
MIDDLETON, WI 53562  
608-829-1750  
608-829-3056 (FAX)

# 330 E. WILSON MIXED USE

330 E. WILSON STREET MADISON, WI 53703

## PC - UDC SUBMITTAL

SEPTEMBER 24, 2014



330 E. WILSON MIXED USE							
Floor / Level	UNIT TYPE						SQUARE FOOTAGE PER FLOOR
	EFFICIENCY / STUDIO	(1) BEDROOM	ACCESSIBLE (1) BEDROOM	(2) BEDROOM	(3) BEDROOM	UNITS PER FLOOR	
Basement	0	0	0	0	0	0	2504
1st	0	0	0	0	0	0	2795
2nd	2	1	1	1	1	6	9 4830
3rd	2	2	0	1	1	6	9 4830
4th	2	2	0	1	1	6	9 4830
5th	2	2	0	1	1	6	9 4830
6th	2	2	0	1	1	6	9 4830
Total	10	9	1	5	5	30	45 29449

## SHEET INDEX

- T-1 COVER SHEET & PROJECT CONTACTS
- CIVIL DRAWINGS
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  - R1.02 MASSING MODEL RENDERING
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  - EX.03 SUPPLEMENTARY CONTEXT
  - EX.04 VIEW SHED STUDY
  - EX.05 VIEW SHED STUDY
  - EX.06 VIEW SHED STUDY
  - EX.07 SHADOW STUDY
  - EX.08 FULLY DEVELOPED SITE CONTEXT

PROJECT:  
**330 E. WILSON**  
330 E. WILSON STREET  
MADISON, WI 53703  
CLIENT:  
**KOTHE REAL ESTATE PARTNERS**  
115 E. MAIN STREET SUITE 210  
MADISON, WI 53703

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PROJECT: 201249  
DRAWN BY:  
DATE:  
SCALE: AS NOTED

### OWNER/DEVELOPER:

PALLADIA, LLC  
c/o KOTHE REAL ESTATE PARTNERS  
115 E. MAIN ST., SUITE 210  
MADISON, WISCONSIN 53703  
PHONE: (608) 469-0059  
EMAIL: kevin@kotherep.com  
PRINCIPAL CONTACT: KEVIN PAGE

### ARCHITECT:

GARY BRINK & ASSOCIATES, INC.  
7780 ELMWOOD AVENUE, SUITE 204  
MIDDLETON, WISCONSIN 53562  
PHONE: (608) 829-1750  
EMAIL: josh.wilcox@garybrink.com  
PRINCIPAL CONTACT: JOSH WILCOX

### GENERAL CONTRACTOR:

LANDGRAF CONSTRUCTION  
5964 EXECUTIVE DRIVE  
MADISON, WISCONSIN 53719  
PHONE: (608) 274-4700  
EMAIL: mark.landgraf@landgrafconstruction.com  
PRINCIPAL CONTACT: MARK LANDGRAF

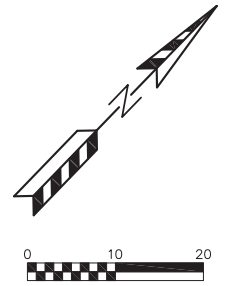
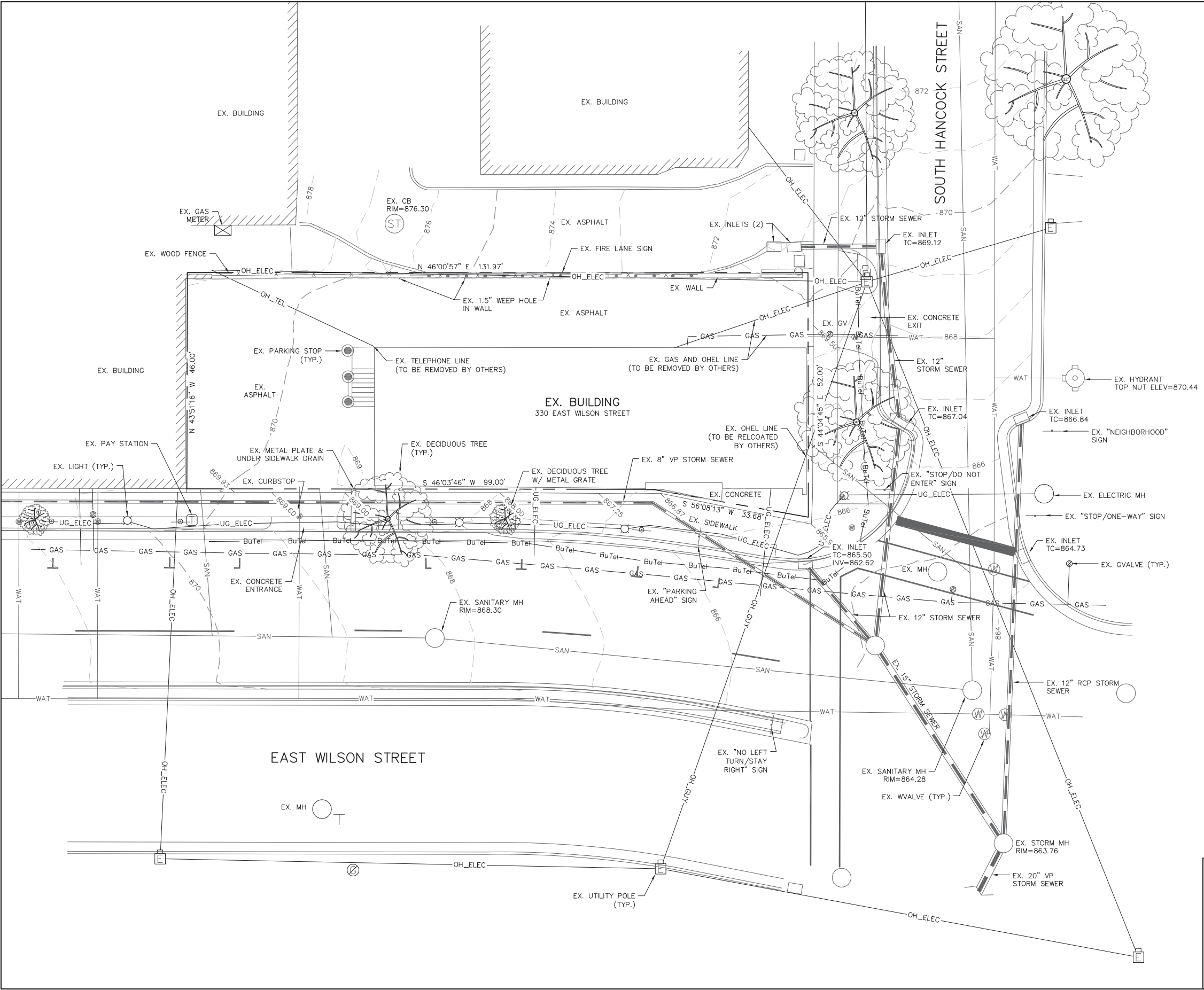
### CIVIL/SITE ENGINEER:

QUAM ENGINEERING, LLC  
4604 SIGGELKOW ROAD, SUITE A  
McFARLAND, WISCONSIN 53558  
PHONE: (608) 838-7750  
EMAIL: rquam@quamengineering.com  
PRINCIPAL CONTACT: RYAN QUAM

### LANDSCAPE DESIGNER:

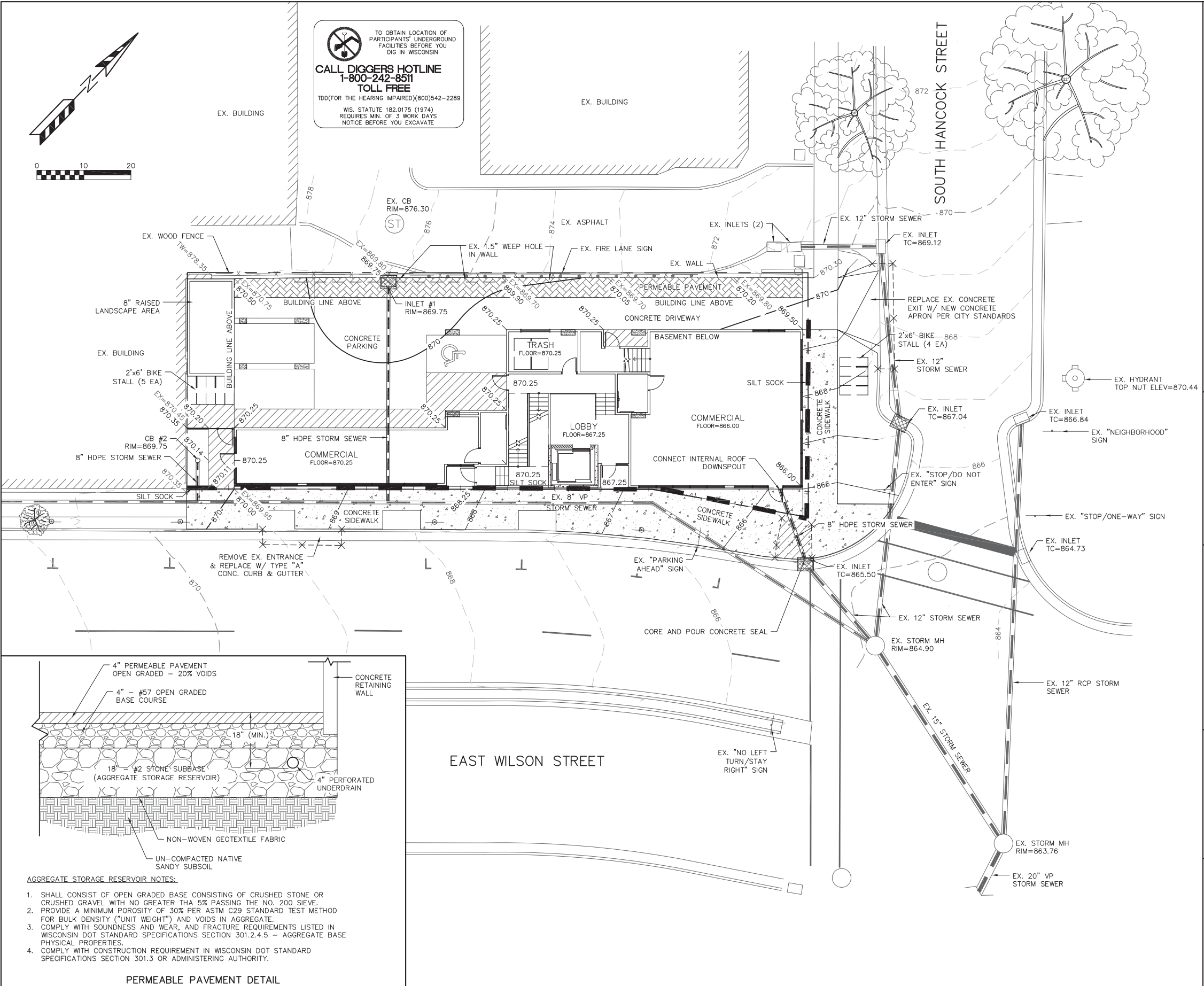
KEN SAIKI DESIGN, INC.  
303 S. PATERSON, SUITE ONE  
MADISON, WISCONSIN 53703  
PHONE: (608) 251-3600  
EMAIL: amolien@ksd-la.com  
PRINCIPAL CONTACT: ABBIE MOLLIEN



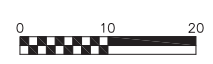


330 E. WILSON STREET - CITY OF MADISON  
 EXISTING SITE PLAN  
 SHEET: C1.00  
 DATED: SEPTEMBER 24, 2014  
**QUAM ENGINEERING, LLC**  
 Residential and Commercial Site Design Consultants  
 www.quamengineering.com  
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
 Phone (608) 838-7750; Fax (608) 838-7752

QUAM ENGINEERING, LLC 4604 Siggelkow Road, Suite A - McFarland, WI 53558 (608) 838-7750 \DD-15-12\DD15BASE.DWG



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
**CALL DIGGERS HOTLINE**  
**1-800-242-8511**  
**TOLL FREE**  
 TDD(FOR THE HEARING IMPAIRED)(800)542-2289  
 WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



**EROSION NOTES:**  
 THE EXISTING ASPHALT PAVEMENT SHALL ACT AS THE TRACKING PAD DURING CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.

EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.  
 EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

INLET PROTECTION SHALL BE INSTALLED IN ALL STORM INLETS AS SOON AS THE INLET IS SET. INLET PROTECTION SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL PLACEMENT OF THE SURFACE COURSE OF ASPHALT. THE FILTER SHALL BE REMOVED AFTER THE FINAL LAYER OF ASPHALT IS PLACED.

ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED AS NEEDED.

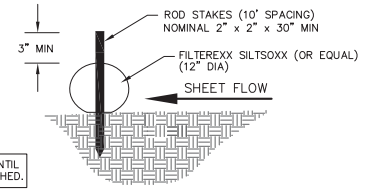
**TIME SCHEDULE:**  
 NOVEMBER 1, 2014 INSTALL INITIAL EROSION CONTROL DEVICES.  
 NOVEMBER 1, 2014 - SEPT 15, 2015 CONSTRUCT BUILDING, PARKING, UTILITIES AND RESTORE PERVIOUS DISTURBED AREAS.

**RESTORATION NOTES:**  
 ALL PERVIOUS DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEED AND MULCH. ALL PERVIOUS DISTURBED AREAS SHALL RECEIVE FERTILIZER EXCEPT NATIVE PLANTING AREAS. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. SEED MIXTURE 40 SHALL BE USED ON ALL DISTURBED AREAS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.

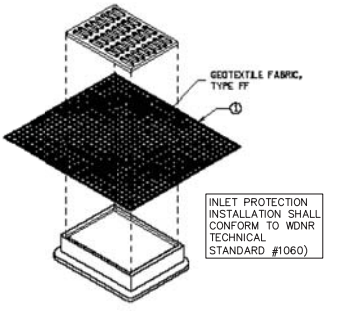
SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE.

FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%.

**OWNER:** ROBERT J. RUBIN  
 317 E WILSON STREET  
 MADISON, WI 53703  
**ENGINEER:** QUAM ENGINEERING, LLC  
 ATTN: RYAN QUAM  
 4604 SIGGELKOW ROAD, SUITE A  
 MCFARLAND, WI 53558

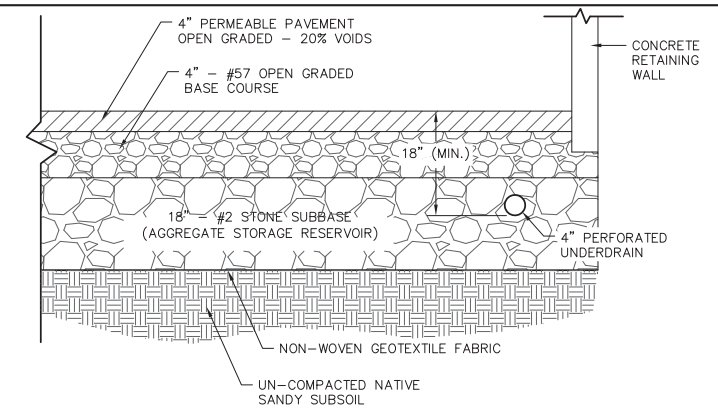


**SILT SOCK DETAIL**



**TYPE B INLET PROTECTION DETAIL**

- LEGEND:**
- - 869 - - EXISTING MINOR CONTOUR.
  - - 870 - - EXISTING MAJOR CONTOUR.
  - - 869 - - PROPOSED MINOR CONTOUR.
  - - 870 - - PROPOSED MAJOR CONTOUR.
  - 870.00 - PROPOSED SPOT ELEVATION
  - [Hatched Box] - INSTALL WDOT TYPE B INLET PROTECTION.



**PERMEABLE PAVEMENT DETAIL**

- AGGREGATE STORAGE RESERVOIR NOTES:**
- SHALL CONSIST OF OPEN GRADED BASE CONSISTING OF CRUSHED STONE OR CRUSHED GRAVEL WITH NO GREATER THAN 5% PASSING THE NO. 200 SIEVE.
  - PROVIDE A MINIMUM POROSITY OF 30% PER ASTM C29 STANDARD TEST METHOD FOR BULK DENSITY ("UNIT WEIGHT") AND VOIDS IN AGGREGATE.
  - COMPLY WITH SOUNDNESS AND WEAR, AND FRACTURE REQUIREMENTS LISTED IN WISCONSIN DOT STANDARD SPECIFICATIONS SECTION 301.2.4.5 - AGGREGATE BASE PHYSICAL PROPERTIES.
  - COMPLY WITH CONSTRUCTION REQUIREMENT IN WISCONSIN DOT STANDARD SPECIFICATIONS SECTION 301.3 OR ADMINISTERING AUTHORITY.

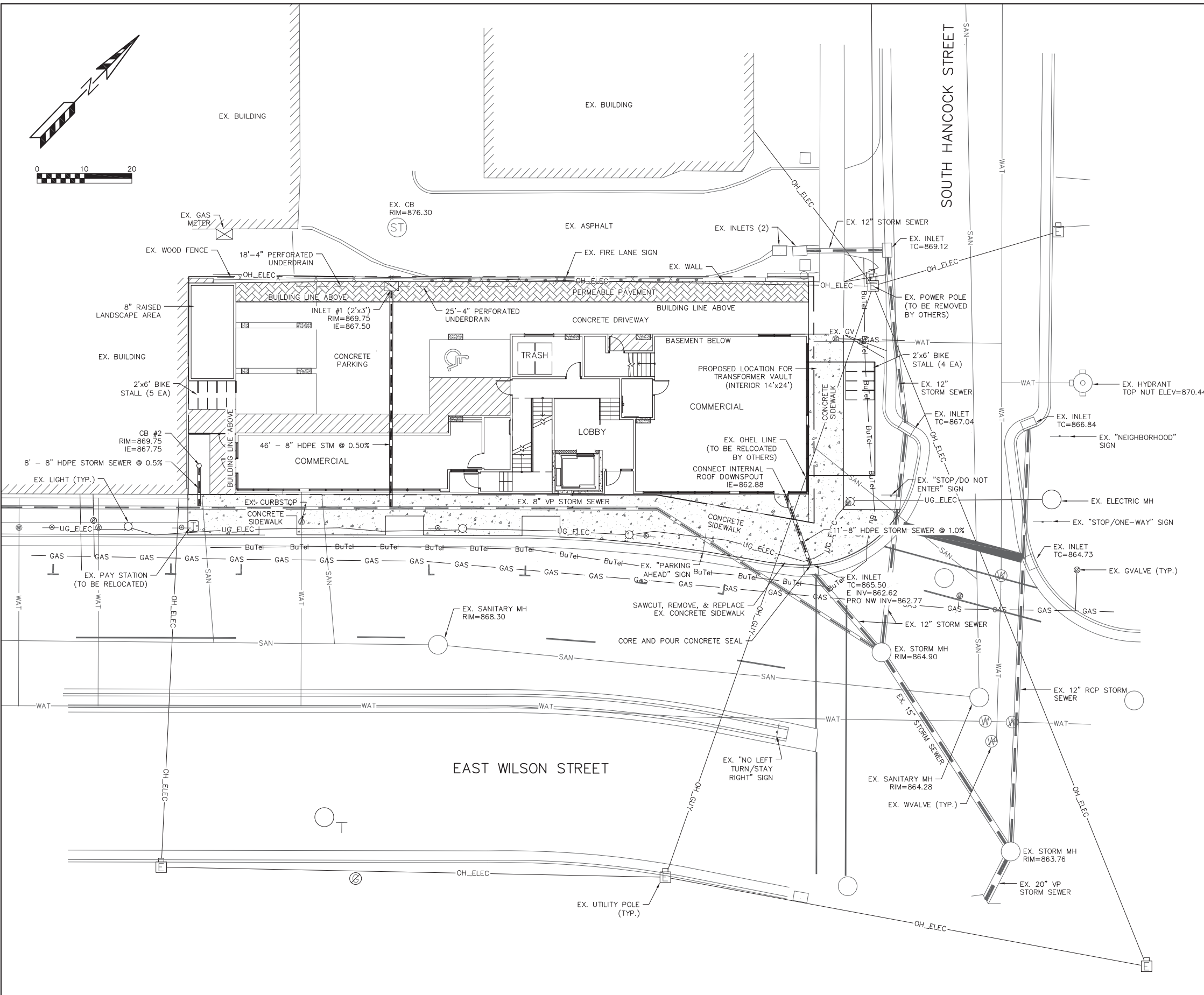
**330 E. WILSON STREET - CITY OF MADISON**  
 GRADING AND EROSION CONTROL PLAN

SHEET: C1.01  
 DATED: OCTOBER 3, 2014

**QUAM ENGINEERING, LLC**  
 Residential and Commercial Site Design Consultants  
 www.quamengineering.com

4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
 Phone (608) 838-7750; Fax (608) 838-7752





**GENERAL NOTES:**  
 ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A PRE-APPROVED CONTRACTOR AUTHORIZED TO WORK IN THE RIGHT-OF-WAY.  
 THE CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB WHICH ABUTS THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK AND CURB WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.  
 ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.  
 THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS, SIZES, MATERIALS, AND ELEVATIONS PRIOR TO CONSTRUCTION.  
 CONTRACTOR SHALL OBTAIN A PERMIT TO PLUG EACH EXISTING SANITARY SEWER LATERAL THAT SERVES A BUILDING THAT IS PROPOSED FOR DEMOLITION. FOR EACH LATERAL TO BE PLUGGED THE CONTRACTOR SHALL DEPOSIT \$1,000 WITH THE CITY ENGINEER IN TWO SEPARATE CHECKS IN THE FOLLOWING AMOUNTS: (1). \$100 NON REFUNDABLE DEPOSIT FOR THE COST OF INSPECTION OF THE PLUGGING BY CITY STAFF; AND (2). \$900 FOR THE COST OF CITY CREWS TO PERFORM THE PLUGGING. IF THE CONTRACTOR ELECTS TO COMPLETE THE PLUGGING OF A LATERAL AND THE PLUGGING IS INSPECTED AND APPROVED BY THE CITY ENGINEER, THE \$900 FEE SHALL BE RETURNED TO THE CONTRACTOR. THIS PERMIT APPLICATION IS AVAILABLE ONLINE AT [HTTP://WWW.CITYOFMADISON.COM/ENGINEERING/PERMITS.CFM](http://www.cityofmadison.com/engineering/permits.cfm)

**UTILITY NOTES:**  
 ALL SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF COMMERCE STANDARDS.  
 THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.  
 ALL WATER MAIN SHALL BE BURIED TO A DEPTH OF 6.5 FEET. THE DEPTH IS DEFINED AS THE DISTANCE BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF WATER MAIN OR SERVICE.  
 MAINTAIN AN 8 FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN PUBLIC SANITARY SEWER, WATER MAIN AND STORM SEWER. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER MAIN AND PROVIDE 6" MINIMUM VERTICAL SEPARATION WHERE WATER MAIN CROSSES OVER SEWER.  
 ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.  
 ALL UNDERGROUND EXTERIOR NON-METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORDANCE WITH 182.0715(2r) OF STATE STATUTES.  
 THE PROPOSED ELECTRIC, TELEPHONE AND GAS UTILITY LOCATIONS ARE NOT SHOWN. ACTUAL LOCATIONS AND DESIGN SHALL BE COMPLETED BY OTHERS.  
 ANY DAMAGE TO EAST WILSON STREET OR SOUTH HANCOCK STREET PAVEMENT WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY OF MADISON PATCHING CRITERIA.  
 THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS, SIZES, MATERIALS, AND ELEVATIONS PRIOR TO CONSTRUCTION.


 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
**CALL DIGGERS HOTLINE**  
**1-800-242-8511**  
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 TDD(FOR THE HEARING IMPAIRED)(800)542-2289  
WS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

**330 E. WILSON STREET - CITY OF MADISON**  
 UTILITY PLAN  
 SHEET: C1.02  
 DATED: OCTOBER 3, 2014  
**QUAM ENGINEERING, LLC**  
*Residential and Commercial Site Design Consultants*  
  
[www.quamengineering.com](http://www.quamengineering.com)  
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
 Phone (608) 838-7750; Fax (608) 838-7752



GARY BRINK & ASSOCIATES  
ARCHITECTS  
7780 ELMWOOD AVE. STE. 204  
MIDDLETON, WI 53562  
608-829-1750  
608-829-3056 (FAX)



KEN SASAKI DESIGN  
LANDSCAPE ARCHITECTS

NOTES:  
1. All plant beds shall have shredded hardwood bark mulch unless otherwise noted.  
2. Plantings under building overhangs shall be permanently irrigated.  
3. Contractor shall contact City Forestry at least 48 hours prior to any work on street trees. Contact Dean Kahl, 608-266-4816, DKahl@cityofmadison.com.  
4. Indicated street trees shall be removed & replaced w/ 3" caliper trees, species to be determined by City Forestry. These trees shall be planted in Neenah 4'x8' (R-8815-A) tree grates to be determined by City Engineering.  
5. Approval and permitting of street tree removals and street tree planting shall be obtained from the City Forester and/or the Board of Public Works prior to the approval of the site plan.  
6. Trees shall be planted per planting specifications found in section 209 of City of Madison Standard Specifications for Public Works Construction.

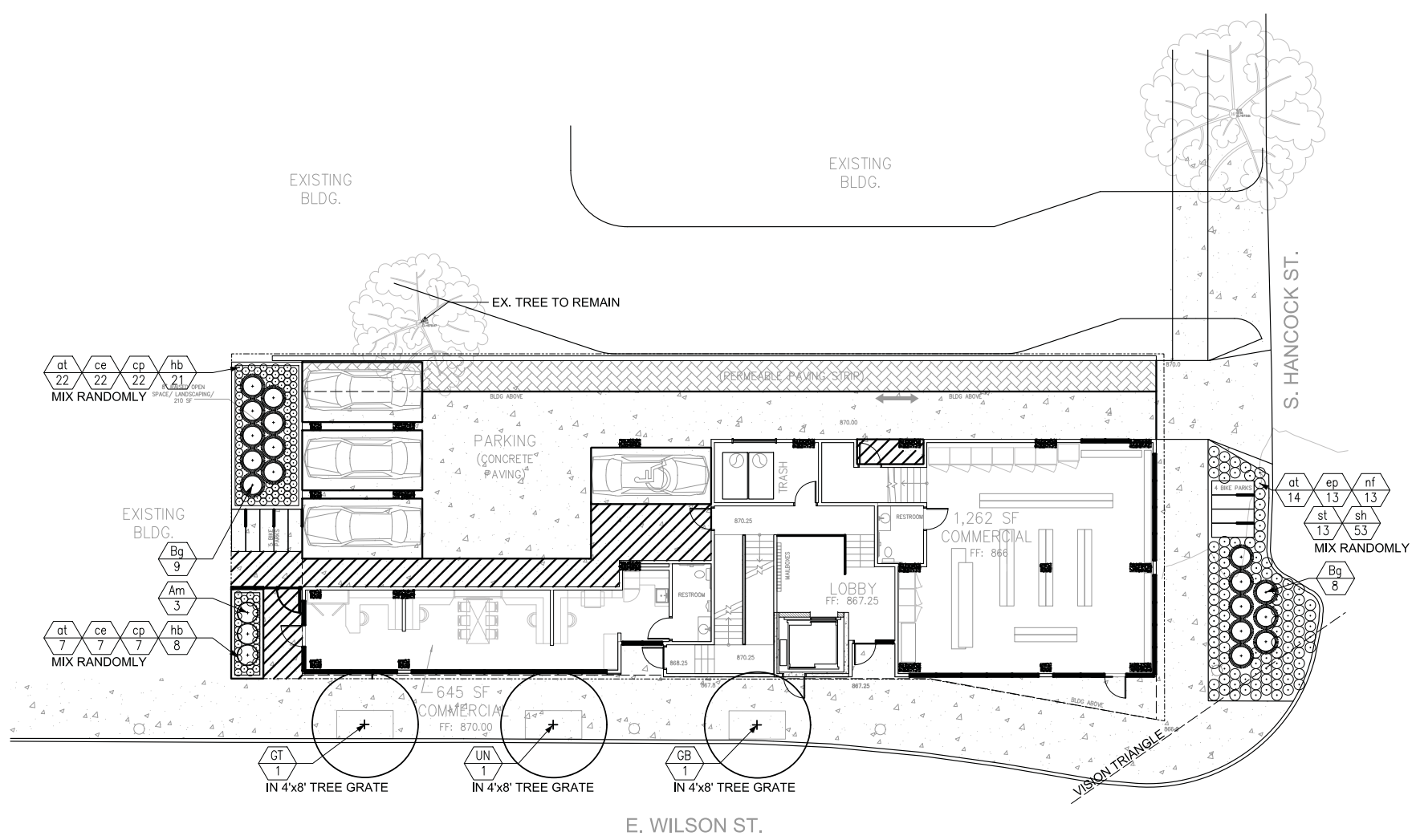
**City of Madison, WI Landscape Worksheet**  
3-Oct-14  
Urban Mixed Use

Developed Lots	SF	Landscape Units Required
Total Developed Area	6,180	21
		Landscape Points Required
		103

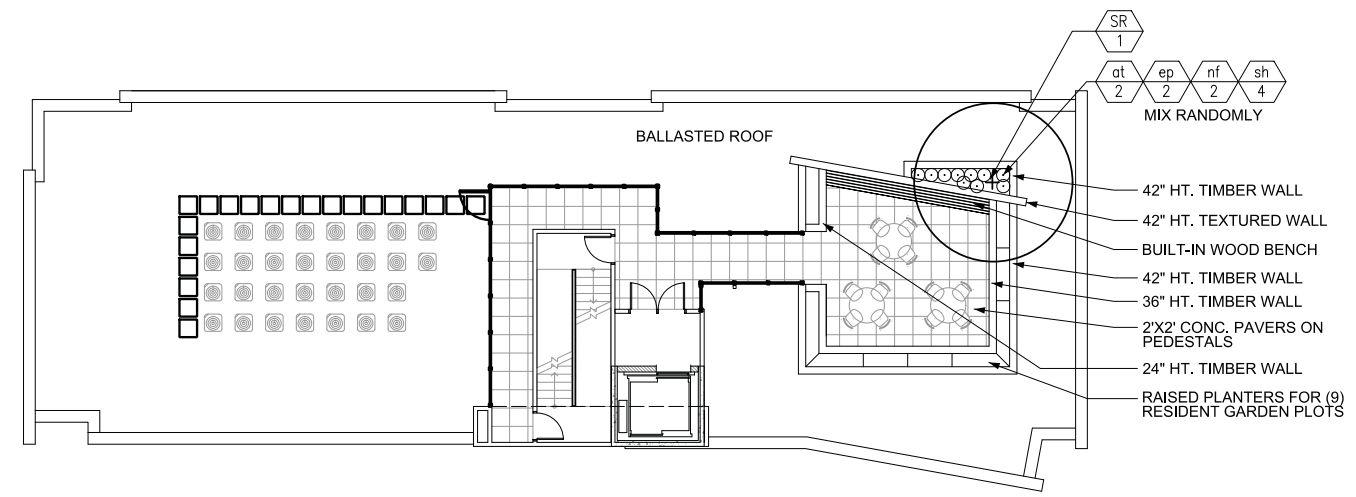
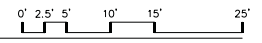
  

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35			0
Ornamental Tree	15	1		15
Evergreen Tree	15			0
Shrub, deciduous	3	3		9
Shrub, evergreen	4	17		68
Ornamental Grass/Perennial	2	232		464
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4			0
<b>General Site Plantings Total</b>				<b>556</b>

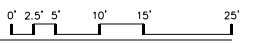
**TOTAL LANDSCAPE POINTS ACHIEVED 556**



1 PLANTING PLAN  
1" = 10'-0"



2 ROOF PLANTING PLAN  
1" = 10'-0"



Key	Botanical Name	Common Name	Quantity	Size	Spec	Comments	Mature Size
<b>Deciduous Trees</b>							
GB	<i>Griego bicolor 'Princeton Sentry'</i>	Princeton Sentry Griego	1	2.5" Cal	B&B	Single, straight leader, match specimens, branching shall start at 5'-0" min	40 ft x 15-30 sp
GT	<i>Gedalia tricanthos var. inermis 'Skyde'</i>	Skyline Honeylocust	1	2.5" Cal	B&B	Single, straight leader, match specimens, branching shall start at 5'-0" min	50-60 ft x 35-45 sp
UN	<i>Ulmus x 'NewHorizon'</i>	New Horizon Elm	1	2.5" Cal	B&B	Single, straight leader, match specimens, branching shall start at 5'-0" min	50-60 ft x 40-50 sp
<b>Ornamental Trees</b>							
AA	<i>Amelanchier arborea</i>	Downy Serviceberry	1	6" Ht.	B&B	Multistem min 3 leaders, well-developed crown, no overlapping leaders	15-25 ft x 10-12 sp
SR	<i>Syringa reticulata 'Summer Snow'</i>	Summer Snow Tree Lilac	1	2" Cal	B&B	Single, straight leader, match specimens, branching shall start at 5'-0" min	20 ft x 25 sp
<b>Deciduous Shrubs</b>							
Am	<i>Aronia melanocarpa 'Mortar'</i>	Ironquois Beauty Chokeberry	3	5 gal.	Cort.	Space 3'-0" o.c.	3-4 ft x 3-4 sp
<b>Evergreen Shrubs</b>							
Eg	<i>Buxus x 'Green Velvet'</i>	Green Velvet Boxwood	14	5 gal.	Cort.	Space 3'-6" o.c. pruned into matching spheres	3-4 ft x 4-5 sp
<b>Perennials/Ornamental Grasses/Groundcovers</b>							
at	<i>Allium tanguticum 'Nonesu'</i>	Balloon Bouquet Ornamental Onion	45	1 gal.	Cort.	Space 18" o.c.	1.5 ft x 1.5 sp
oe	<i>Carex eburnea</i>	Bristleleaf Sedge	29	1 gal.	Cort.	Space 12" o.c.	6-10" ft x 6-12" sp
cp	<i>Carex pennsylvanica</i>	Pennsylvania Sedge	29	1 gal.	Cort.	Space 12" o.c.	6-10" ft x 12-18" sp
ep	<i>Echinacea 'Pixie Meadowbrite'</i>	Pixie Meadowbrite Purple Coneflower	15	1 gal.	Cort.	Space 18" o.c.	1.5-2 ft x 1-1.5 sp
fb	<i>Hosta 'Blue Mouse Ears'</i>	Blue Mouse Ears Hosta	29	1 gal.	Cort.	Space 12" o.c.	6-8" ft x 1-1.5 sp
rf	<i>Nepeta x 'faassenii 'Blue Wonder'</i>	Blue Wonder Nepeta	15	1 gal.	Cort.	Space 18" o.c.	1-1.5 ft x 1.5-2 sp
st	<i>Sedum 'Thundercloud'</i>	Thundercloud Sedum	13	1 gal.	Cort.	Space 18" o.c.	6-12" ft x 1-1.5 sp
sh	<i>Sporobolus heterolepis 'Tara'</i>	Tara Prairie Dropseed	57	1 gal.	Cort.	Space 18" o.c.	1.5-2 ft x 1.5 sp

PROJECT: 330 E. WILSON  
330 E. WILSON STREET  
MADISON, WI 53703  
CLIENT: KOTHE REAL ESTATE PARTNERS  
115 E. MAIN STREET SUITE 210  
MADISON, WI 53703

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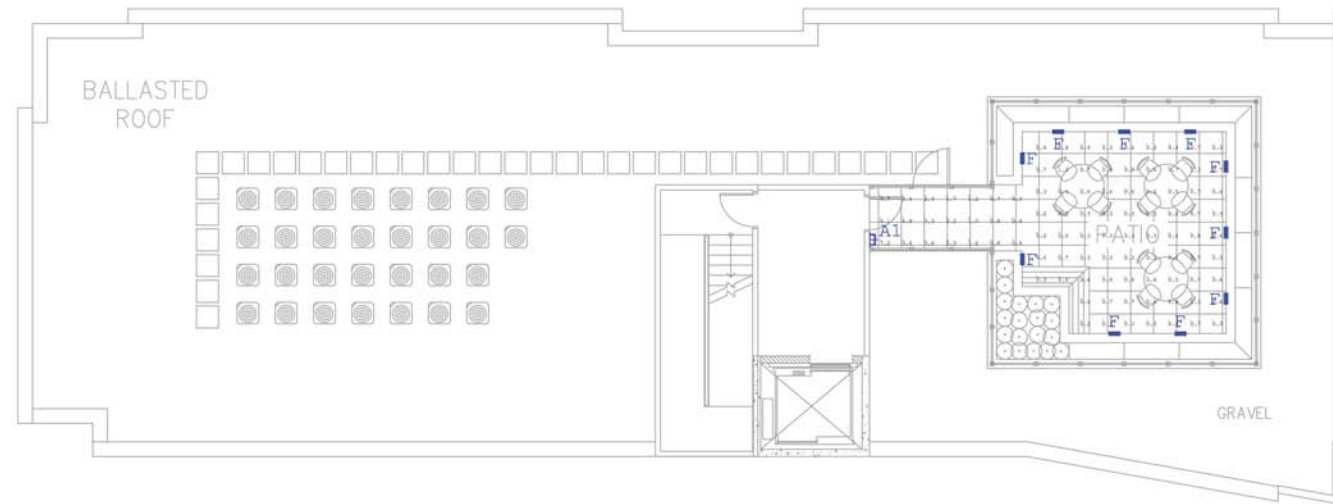
PROJECT: 201249  
DRAWN BY: ARM  
DATE: 10/03/2014  
SCALE: AS NOTED

PLANTING PLAN



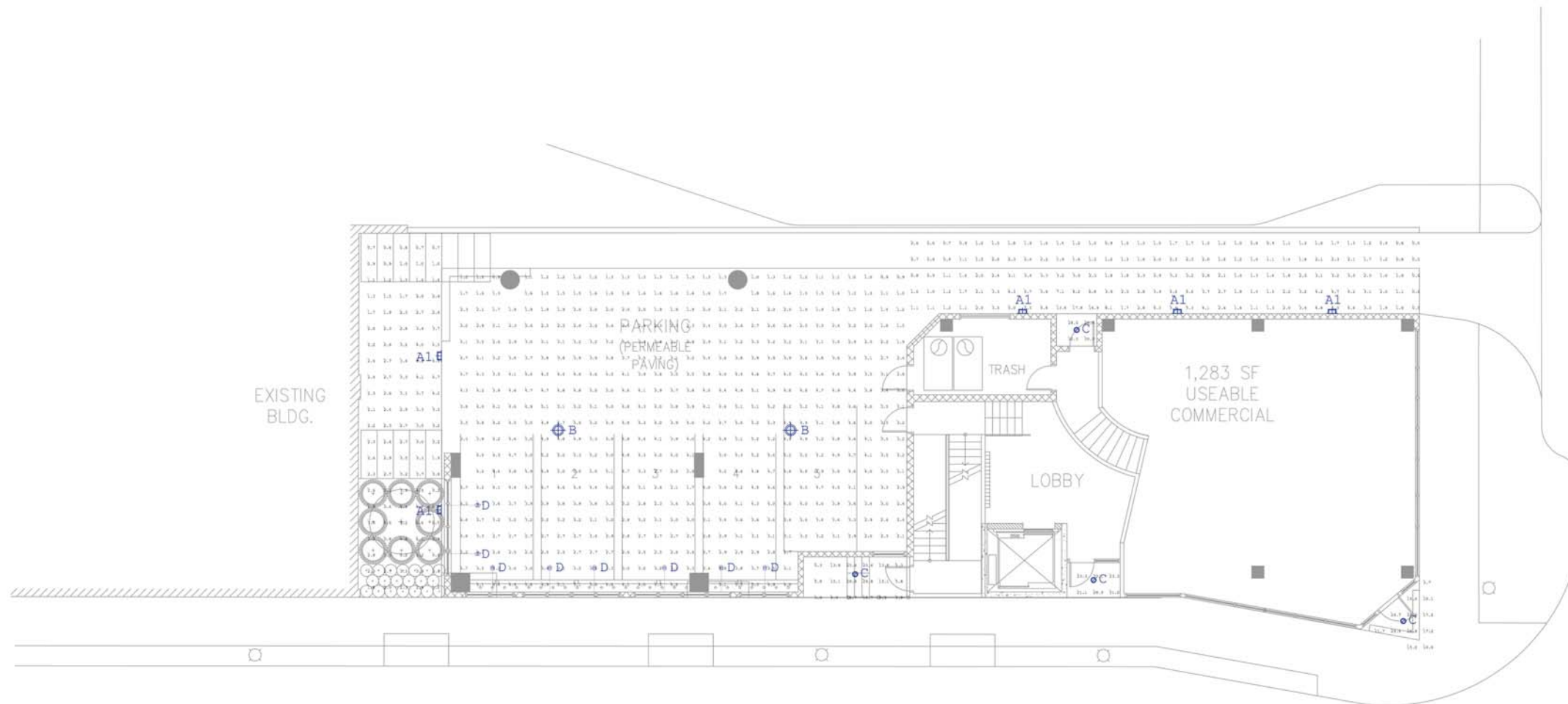


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Luminaire Schedule					
Qty	Label	Arrangement	Lum. Lumens	LLF	Description
6	A	SINGLE	735	0.900	LUMARK + XTOR1A
2	B	SINGLE	5170	0.900	McGRAW-EDISON + TT-A3-LED-E1-WQ
4	C	SINGLE	1477	0.900	PORTFOLIO + LD4A13D010TE-ERMAA13835-4LM1LI
8	D	SINGLE	405	0.900	LUMENPULSE + LBS-120-27K-WFL-SI
10	F	SINGLE	25	0.900	COLE + L158W-N-J

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
BIKE RACKS & PLANTING AREA	Illuminance	Fc	2.96	6.6	0.7	4.23	9.43
COMMERCIAL ENTRY	Illuminance	Fc	17.25	28.8	3.7	4.66	7.78
DRIVE ACCESS	Illuminance	Fc	2.51	17.8	0.4	6.28	44.50
EXIT TO DRIVE	Illuminance	Fc	29.15	30.3	28.0	1.04	1.08
LOBBY ENTRY	Illuminance	Fc	24.95	32.1	21.0	1.19	1.53
PARKING	Illuminance	Fc	3.47	6.5	0.9	3.86	7.22
ROOF PATIO	Illuminance	Fc	0.48	1.3	0.2	2.40	6.50
ROOF PATIO_1	Illuminance	Fc	2.59	7.2	0.4	6.48	18.00
STAIR EXIT	Illuminance	Fc	13.87	28.8	3.8	3.65	7.58



E. WILSON ST.

PROJECT: **330 E. WILSON**  
330 E. WILSON STREET  
MADISON, WI 53703  
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SITE  
LIGHTING  
CALCULATIONS  
**A1.00**





**SPECIFICATION SHEET**

Client: \_\_\_\_\_  
 Project name: \_\_\_\_\_  
 Order #: \_\_\_\_\_  
 Type: \_\_\_\_\_ City: \_\_\_\_\_

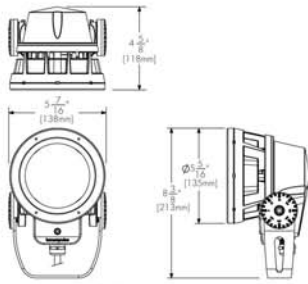
**lumenbeam™**  
 SMALL  
 WHITE & STATIC COLORS  
 333 E. Wilson  
 Type D  
 LBS-K-27K-WFL-X-X

**FEATURES AND BENEFITS**

- Physical :**
- Low copper content high pressure die-cast aluminum housing
  - Heavy aluminum formed yoke
  - Stainless steel hardware
  - Silicone sealing devices
  - Clear tempered glass
  - Dual chamber design for heat management and ease of maintenance
  - Electrostatically applied polyester powder coat finish
  - 2.40 sq. ft. / 5.20 lbs.
  - EPA: Front = 0.35 sq.ft./0.033 sq.m. Side = 0.31 sq.ft./0.029 sq.m.
  - IP66
  - Corrosion-resistant option for marine environments

- Performance :**
- 6°, 10°, 20°, 40°, 60°, Elliptical distribution on 10° and 40° optics
  - CRI values: 78+
  - Lumen maintenance 120,000 hrs (L70 @ 25°C)
  - Operating temperatures: -25° C to 50° C (13°F to 122°F)

- Electrical :**
- Line voltage luminaire for 120 to 277V
  - Power and data in 1 cable, 3W/1m cord (#16-5)
  - 14 watts
  - 0-10 volt, DMX or DALI dimming options



5 year warranty

**lumenpulse™**  
 Sustainable architectural LED lighting systems

1/8 Lumenpulse 1771 Ashland, Suite 1100, Menasha (Eaton) Controls, PO Box 1, 9271 937 3000 P. 924 937 3000 F. 924 937 6300  
 info@lumenpulse.com www.lumenpulse.com  
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 SM - 49

**SPECIFICATION SHEET**

LBS	Select:	Select:	Select:	Select:	Select:	Select:	Select:	Select:	Select:
Housing	Voltage	Colors and color temperatures	Optic	Optical Option	Finish	Dimming	Mounting Option	Option	
1	2	3	4	5	6	7	8	9	

**HOW TO ORDER**

- Housing:**  
 LBS - lumenbeam™ Small
- Voltage:**  
 120 - 120 volts  
 208 - 208 volts  
 220/240 - 220 to 240 volts  
 277 - 277 volts
- Colors and Color temperatures:**  
 27K - 2700K  
 30K - 3000K  
 35K - 3500K  
 40K - 4000K  
 57K - 5700K  
 RD - Red  
 GR - Green  
 BL - Blue
- Optic:**  
 VN - Very Narrow 6°  
 NS - Narrow Spot 10°  
 NF - Narrow Flood 20°  
 FL - Flood 40°  
 WFL - Wide Flood 60°
- Optical Option:**  
 LSLH - Linear Spread Lens Horizontal distribution  
 LSLV - Linear Spread Lens Vertical distribution  
 \*Factory installed, available for 6° to 40° optics. See Optical Accessories for field adjustable spread lens.
- Finish:**  
 SI - Silver SandText  
 BK - Black SandText  
 WH - White  
 CC - Custom (please specify RAL color)
- Dimming:**  
 DIM - 0-10V Dimming option (10% minimum dimming value)  
 DMX - DMX Dimming option (1% minimum dimming value)  
 DALI - DALI Dimming option (1% minimum dimming value)  
 NO - No Dimming
- Mounting Option:**  
 SK - Stake Mounting  
 KN - Knuckle Mounting  
 CN - Canopy Cover Mounting
- Option:**  
 CRC - Corrosion-resistant Coating

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**lumenpulse™**  
 Sustainable architectural LED lighting systems

**COLE LIGHTING**

333 E. Wilson  
 Type F  
 L158W-N-J

Series	LED	Floor	Incan.	Dimming	Exterior	Interior	Feed-Through	Other Options
158	•	•	•	•	•	•	•	Faceplate color LED color Sharp cutoff lower Junction box

**Steplites**

**158 SERIES**

**Description**  
 The 158 Series of Steplites is a low-profile, "brick size" site fixture with LED, fluorescent, and incandescent lamp options. It is suitable for a variety of interior or exterior applications. The rugged construction, engineering excellence, and quality make these fixtures ideal for specification in most public areas.

**Features**  
 Louvers in the 158 Series are more widely spaced than most fixtures of this type, allowing for significantly greater forward projected illumination. Exceptional durability is provided by the thick cast aluminum faceplate and the tempered glass diffuser. Louvered models offer even greater protection to the diffuser while controlling the distribution of light. Cole Steplites feature an optional cast aluminum junction box which may be easily field mounted to either the back or bottom of the housing to best suit installation conditions.

**Applications**  
 The 158 Series Steplites are suitable for concrete pour/block wall and stud wall mounting in indoor or outdoor installations. They are ideal in low walls and side mounting at stairs. LED and incandescent fixtures will work well in extremely cold climates. The LED and fluorescent lamp options may be specified for interior combustible conditions. They are ideal in low walls and step risers.

**Custom**  
 If your project demands a special fixture we would be pleased to discuss the production of modified standard fixtures or custom fixtures to suit your specific conditions. For more information on our custom capabilities, please contact your local Cole representative.



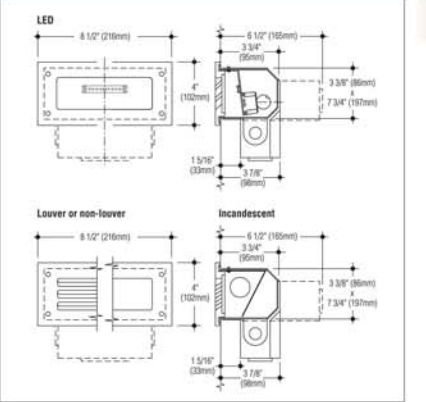
LED with standard or high output options, 7W or 9W compact fluorescent lamp, or incandescent, may be specified for this series.

The junction box on Cole Steplites may be field mounted to the back or bottom of the fixture.

**COLE Lighting**

C.W. Cole & Company, Inc.  
 2560 N. Rosemead Boulevard  
 South El Monte, CA 91733-1593  
 Tel. (626) 443-2473  
 Fax (626) 443-9253  
 info@colelighting.com  
 www.colelighting.com

**COLE LIGHTING**



**Steplites**

**158 SERIES**

**Specifications**

**Construction**

- Fixture housing is constructed from die-formed 16 gauge electro-galvanized steel finished with a white polyester coating
- Faceplate is cast aluminum with metallic aluminum polyester coating, gasketed and retained by stainless steel screws
- Diffuser is frosted tempered glass, set in silicone sealant
- Reflector is constructed of die-formed white aluminum
- Optional junction box is cast aluminum with polyester coating
- cETLus listed, suitable for wet locations
- Incandescent models for concrete pour/block wall construction only
- LED and fluorescent models for any wall construction.

**Electrical**

- Fixture is wired with high performance LEDs, one compact fluorescent or one 40W A19 incandescent lamp
- Driver is standard universal voltage
- Ballast is standard 120V (277V optional) electronic
- Optional junction box allows 8 wire thru-wiring, 4 in and 4 out. Provided with two 1/2" tapped conduit entrances in the bottom and one 1/2" conduit entrance in each side.

Catalog Numbers	Faceplate	Louver	Non-louver
Lamp	L158W	L158G	L158G
LED 1.5W, (126 lm @ 3000°K)	L158W	L158G	L158G
LED 3.5W, (215 lm @ 3000°K)	L158W-HD	L158G	L158G-HD
LED 7.2W, (430 lm @ 3000°K)	L158W-HD-2	L158G	L158G-HD-2
One 7W or 9W (2G7 base) compact fluorescent	F158W-7 or-9	F158G-7 or-9	F158G-7 or-9
One 40W T10 medium base incandescent	T158W	T158G	T158G

- Options**
- Junction box:** Bottom or back mounted junction box for feed-thru. Add suffix -J
  - Stainless steel faceplate:** 3/16" thick narrow louvered faceplate. Add suffix -N
  - Sharp cutoff lower:** Reduces illumination pattern. Add suffix -SCL
  - Bronze faceplate:** Satin finish, clear coated. Add suffix -B
  - Voltage:** Fluorescent 277V ballast. Add suffix -277. (LED Universal voltage standard)
  - Dimming:** Universal voltage 0-10V driver. Add suffix -DIM
  - Faceplate color:** Black or white. Add suffix -BLK or -WHT
  - Temperproof screws:** Temperproof socket head faceplate screws. Add suffix -TP
  - LED colors:** 4000°K (146 lm), -HQ (249 lm), -HQ-2 (498 lm) add suffix -4K  
Amber, add suffix -AMB  
Blue, add suffix -BLU

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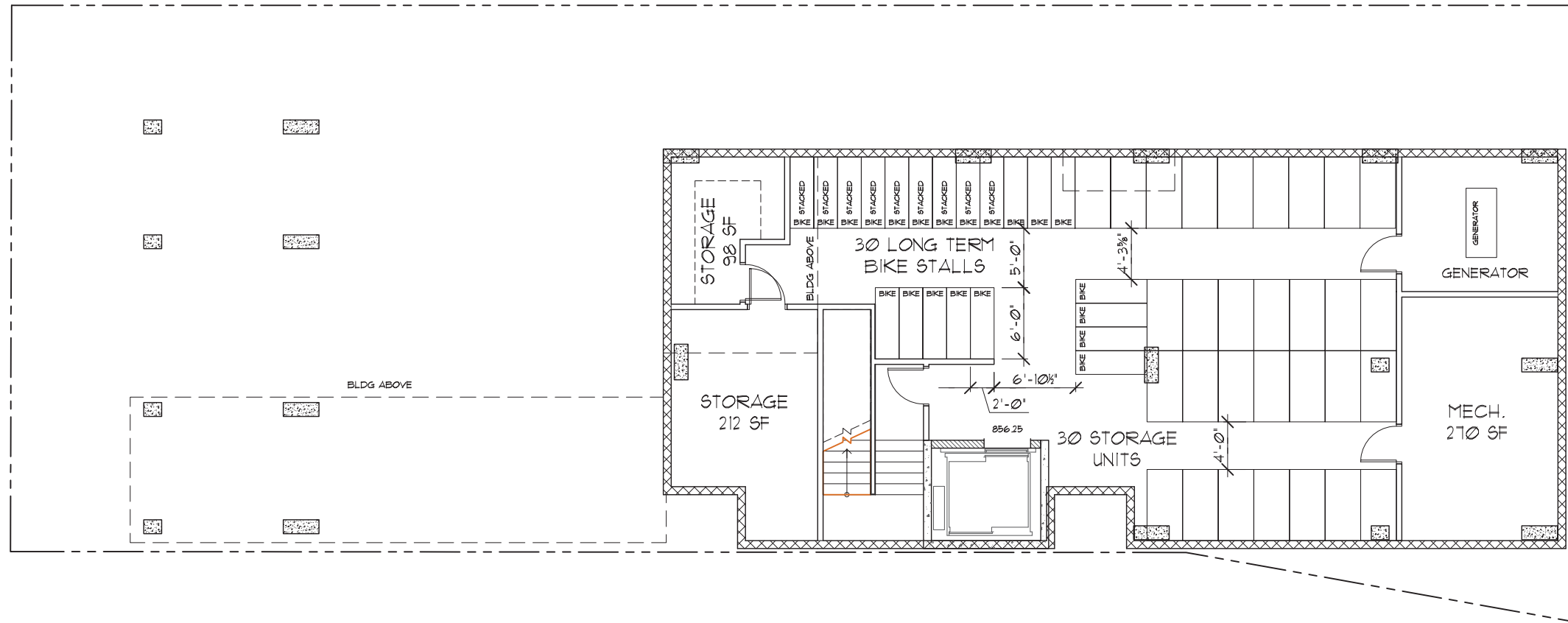
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 330 E. WILSON STREET  
 MADISON, WI 53703  
 CLIENT: KOTHE REAL ESTATE PARTNERS  
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SITE LIGHTING  
 FIXTURE  
 CUT SHEETS  
**A1.02**



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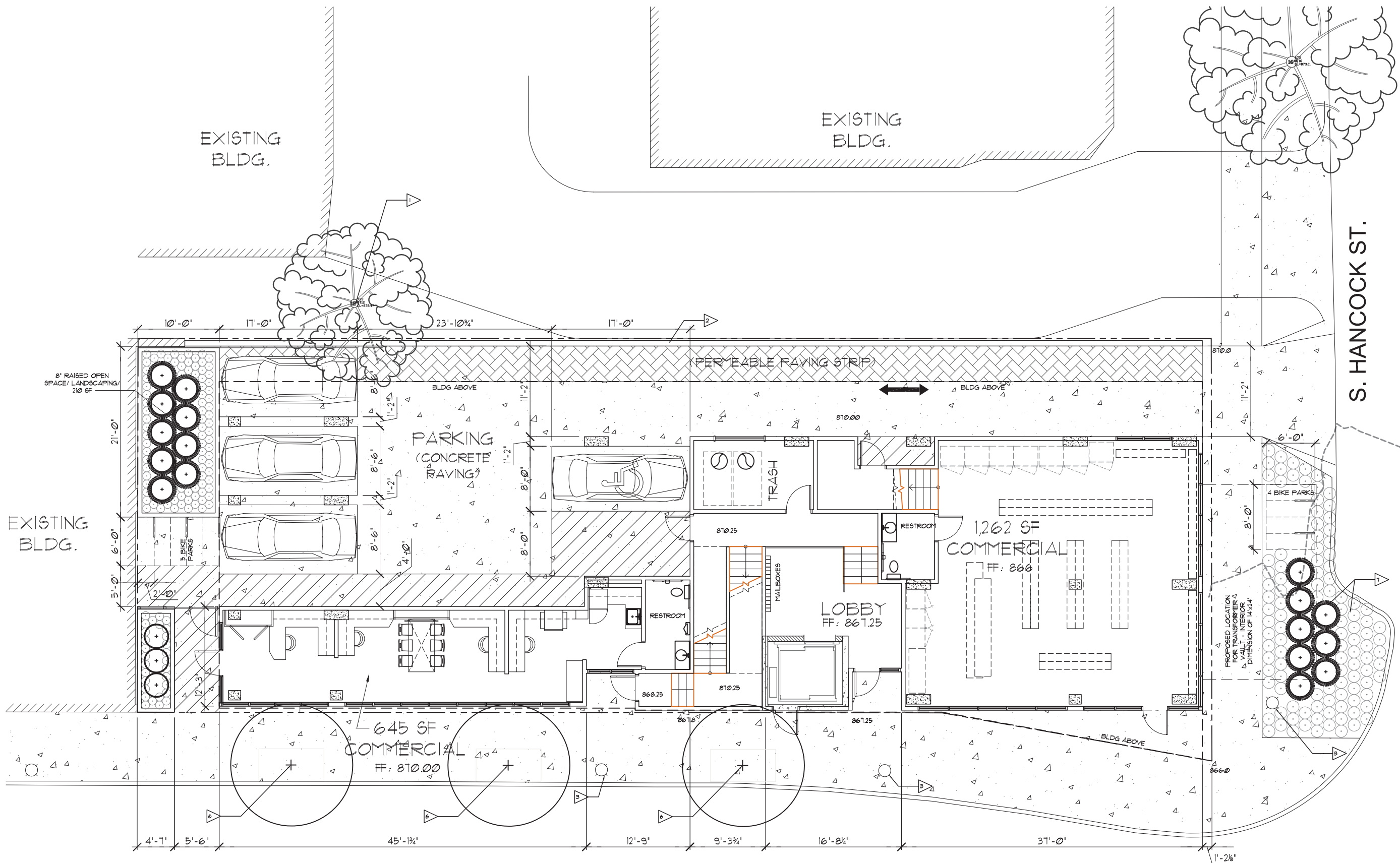
PROJECT: 201249  
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1 BASEMENT FLOOR PLAN  
SCALE: 3/16" = 1'-0"  
0' 1' 2' 4' 8' 16'





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KEYED NOTES	
1.	EXISTING TREE
2.	EXISTING RETAINING WALL
3.	EXISTING STREET LAMP
4.	NOT USED
5.	NOT USED
6.	NEW TREE - REFERENCE L100 FOR DETAILS
7.	NEW PLANTINGS - REFERENCE L100 FOR DETAILS

1 FIRST FLOOR PLAN / SITE PLAN  
SCALE: 3/16" = 1'-0"

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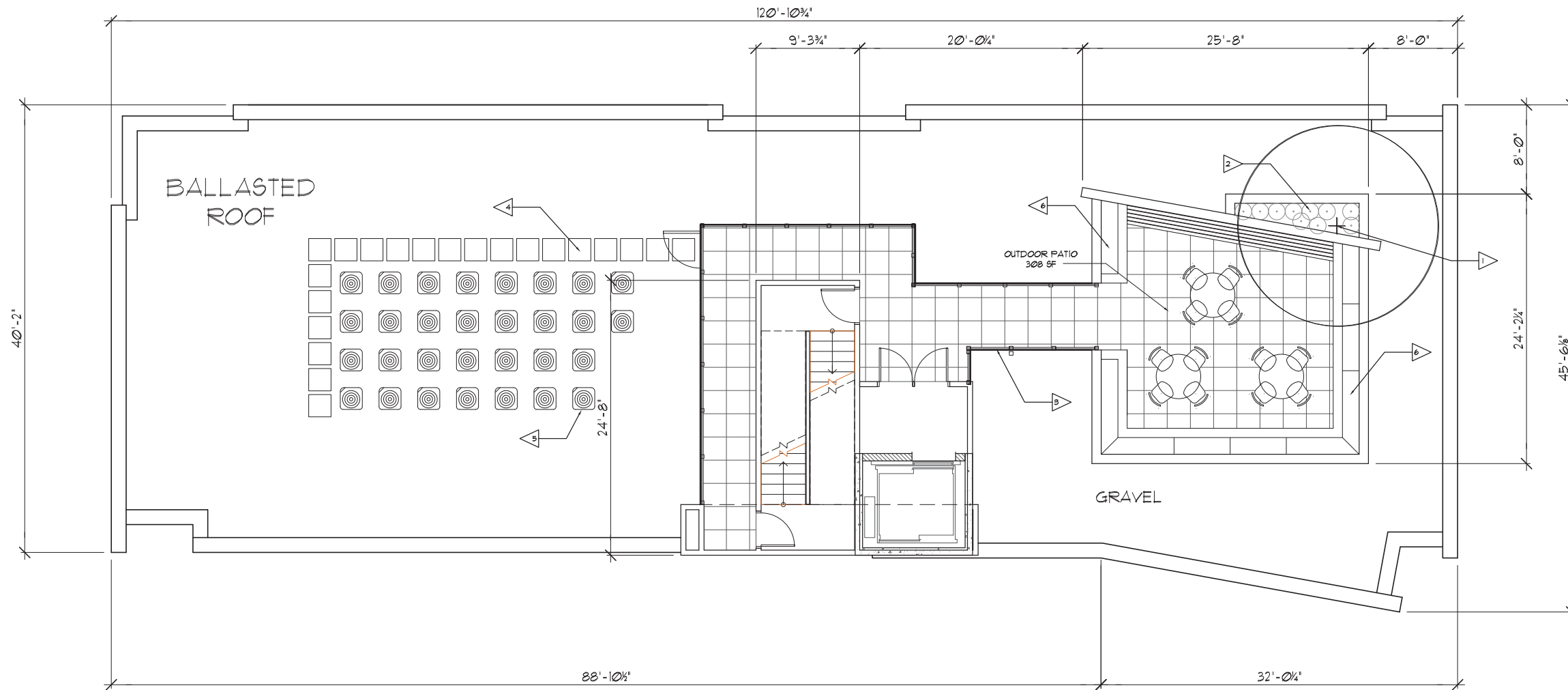
FIRST FLOOR  
PLAN / SITE  
PLAN  
A2.01







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- KEYED NOTES**
1. TREE - REFERENCE L100 FOR DETAILS
  2. PLANTINGS - REFERENCE L100 FOR DETAILS
  3. GUARDRAIL / FENCING - TOP @ 42" AFF
  4. WALKWAY PAD
  5. CONDENSER UNITS
  6. RAISED PLANTER / GARDEN

**1 ROOF PLAN**  
SCALE: 3/16" = 1'-0"

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GRAPHIC	KEY	EXERIOR FINISH DESCRIPTION
	ST-1	MASONRY FIELD MFR: ROCKCAST SIZE: 4'x24" COLOR: SLATE (SPLIT FACE)
	M-1	ALUMINUM PANEL MFR: DRI DESIGN SIZE: N.A. COLOR: STONE WHITE
	M-2	ALUMINUM PANEL MFR: DRI DESIGN SIZE: N.A. COLOR: REGAL BLUE
	S-1	SHIP LAP SIDING MFR: LP SMARTSIDE SIZE: 3" COLOR: SHW244 6797 6510
	GL-1	GLASS FIELD (CLEAR) MFR: VIRAACON SIZE: REFER TO SPECIFICATIONS TYPE: VIRAACON SOLARSREEN VE4-2M
	GL-2	GLASS FIELD (FROSTED) MFR: VIRAACON SIZE: REFER TO SPECIFICATIONS TYPE: FROSTED VIRAACON SOLARSREEN

PLAN SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



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PLAN WEST ELEVATION  
SCALE: 1/8" = 1'-0"



PLAN EAST ELEVATION  
SCALE: 1/8" = 1'-0"

GRAPHIC	KEY	EXTERIOR FINISH DESCRIPTION
	ST-1	MASONRY FIELD MFOR: ROCKCAST SIZE: 4'x24' COLOR: SLATE (SPLIT FACE)
	M-1	ALUMINUM PANEL MFOR: DRI DESIGN SIZE: N.A. COLOR: STONE WHITE
	M-2	ALUMINUM PANEL MFOR: DRI DESIGN SIZE: N.A. COLOR: REGAL BLUE
	S-1	SHIP-LAP SIDING MFOR: LP SMARTSIDE SIZE: 3" COLOR: SW6244 6797 6510
	GL-1	GLASS FIELD (CLEAR) MFOR: VIRACON SIZE: REFER TO SPECIFICATIONS TYPE: VIRACON SOLARSREEN VE4-2M
	GL-2	GLASS FIELD (FROSTED) MFOR: VIRACON SIZE: REFER TO SPECIFICATIONS TYPE: FROSTED VIRACON SOLARSREEN

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DATE:  
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MASSING  
MODEL  
RENDERINGS  
R1.01





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MASSING  
MODEL  
RENDERINGS  
**R1.02**





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EXISTING EXTERIOR PHOTOGRAPHS



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EXISTING INTERIOR PHOTOGRAPHS



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STAIR/ELEVATOR CORE

EDGE OF BUILDING

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S. HANCOCK  
VIEW SHED  
STUDY

EX.04





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STAIR/ELEVATOR CORE

EDGE OF BUILDING



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S. HANCOCK  
VIEW SHED  
STUDY  
EX.05





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MADISON, WI 53703

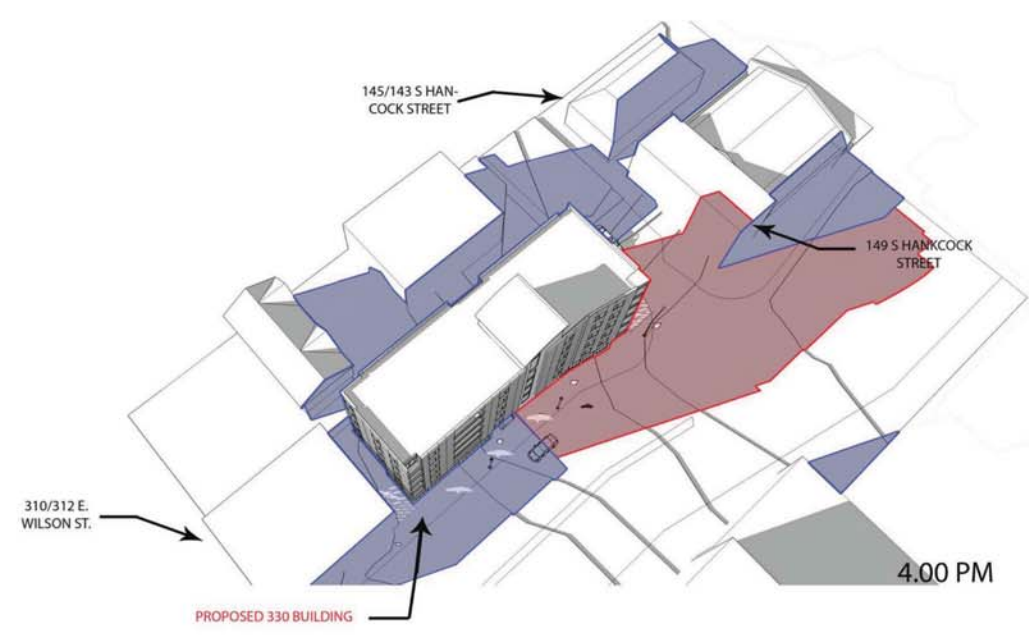
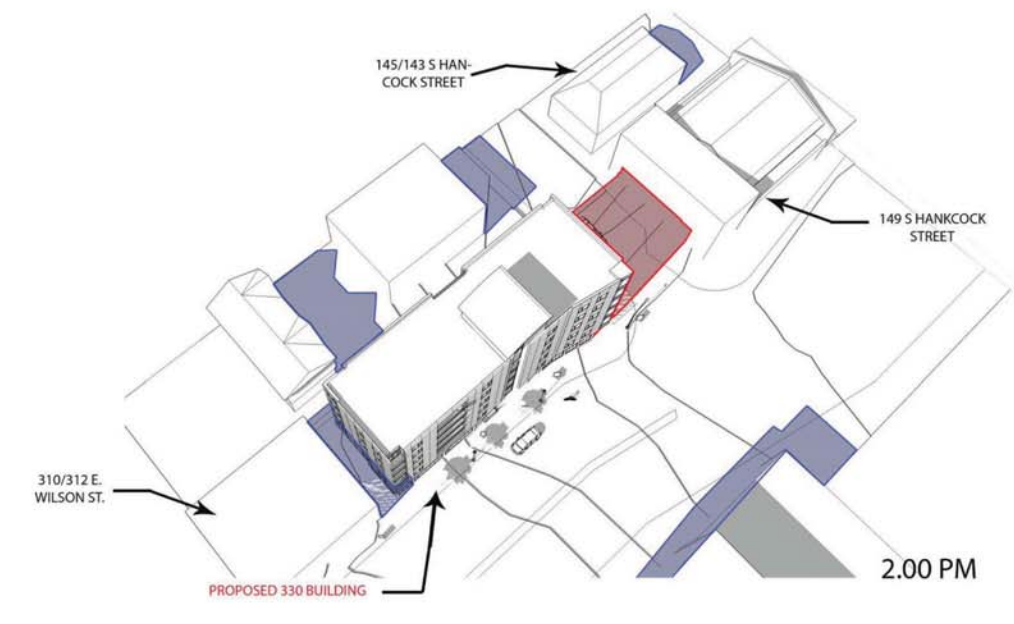
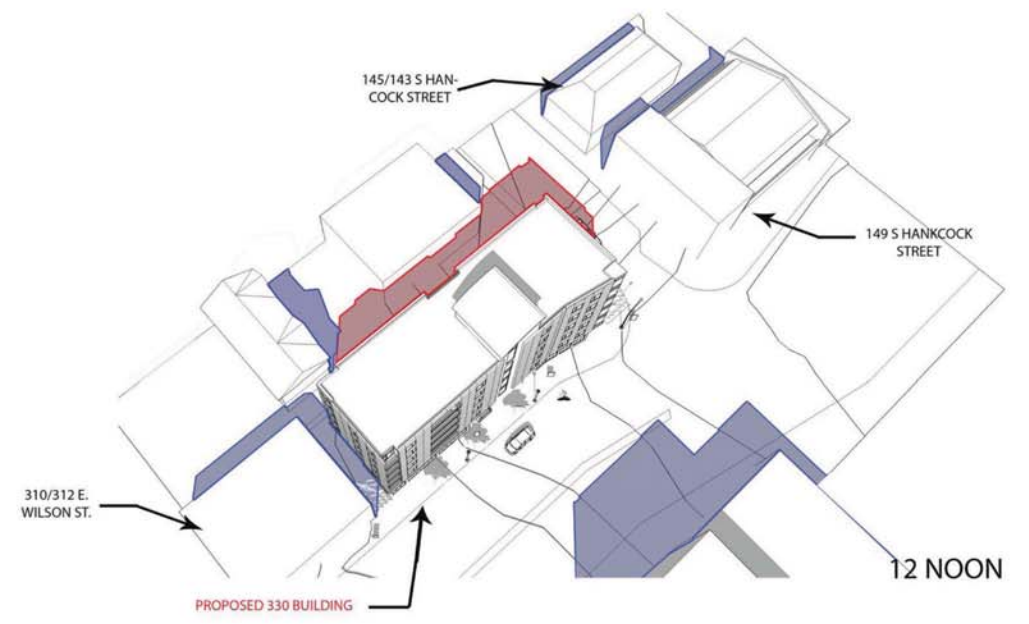
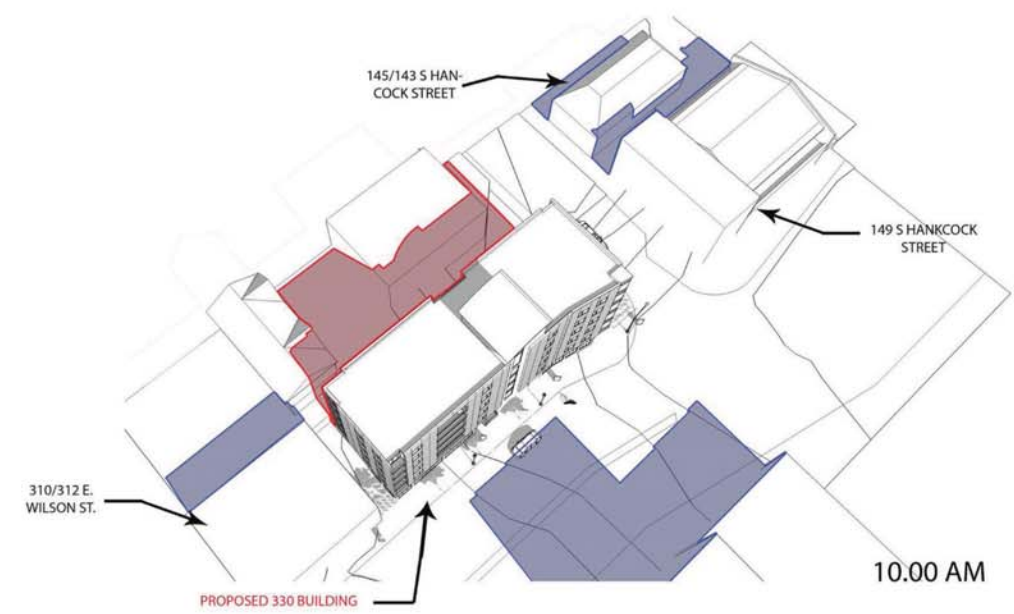
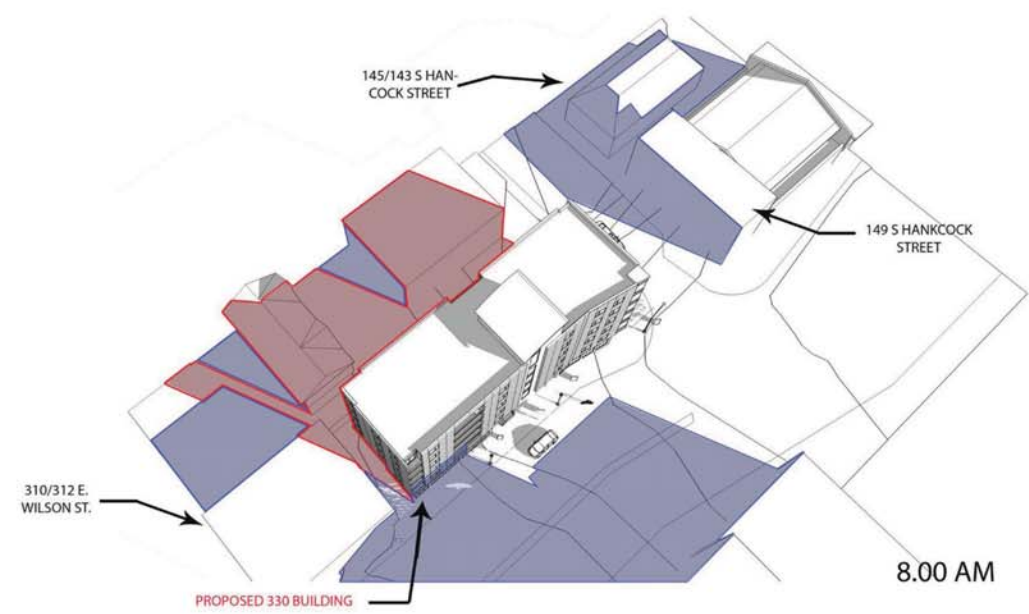
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SCALE: AS NOTED





GARY BRINK & ASSOCIATES  
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608-829-1750  
608-829-3056 (FAX)



 SHADOWS FROM PROPOSED BUILDING

 SHADOWS FROM EXISTING BUILDINGS

SHADOWS TAKEN AT DESIGNATED TIMES ON THE EQUINOX (MARCH 20, SPET. 23)

PROJECT: 330 E. WILSON  
330 E. WILSON STREET  
MADISON, WI 53703  
CLIENT: KOTHE REAL ESTATE PARTNERS  
115 E. MAIN STREET SUITE 210  
MADISON, WI 53703

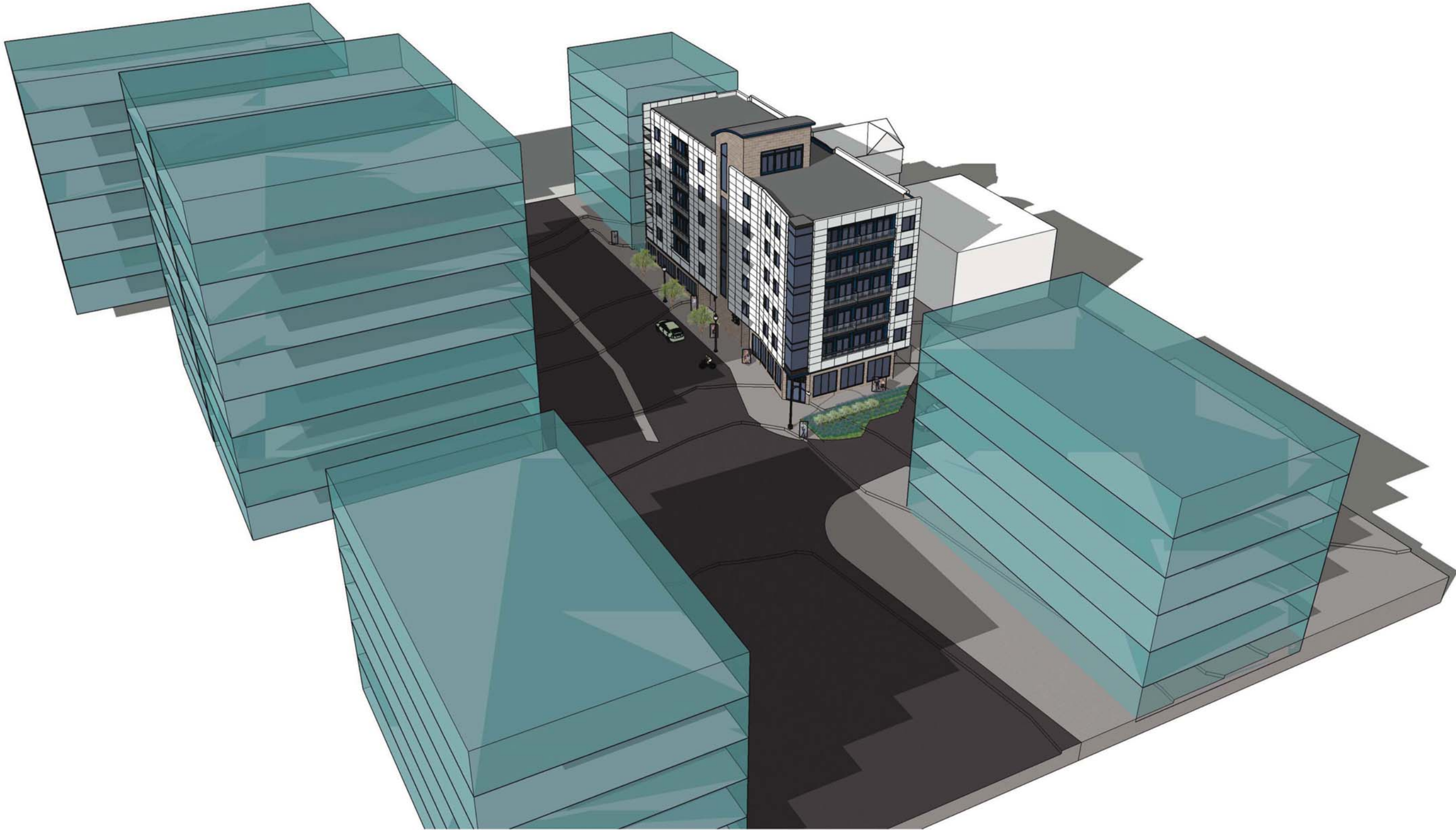
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