



Location  
2425 Jeffy Trail

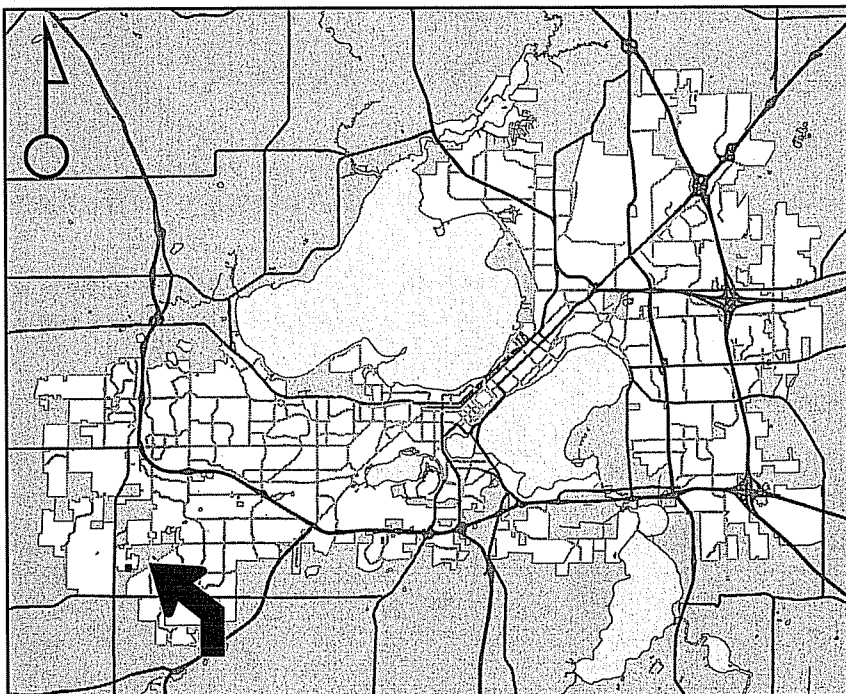
Project Name  
Lot 77 Second Addition to  
Hawk's Creek Plat

Applicant  
Rick McKy & Rick North/  
Randy Bruce – Knothe & Bruce Architects

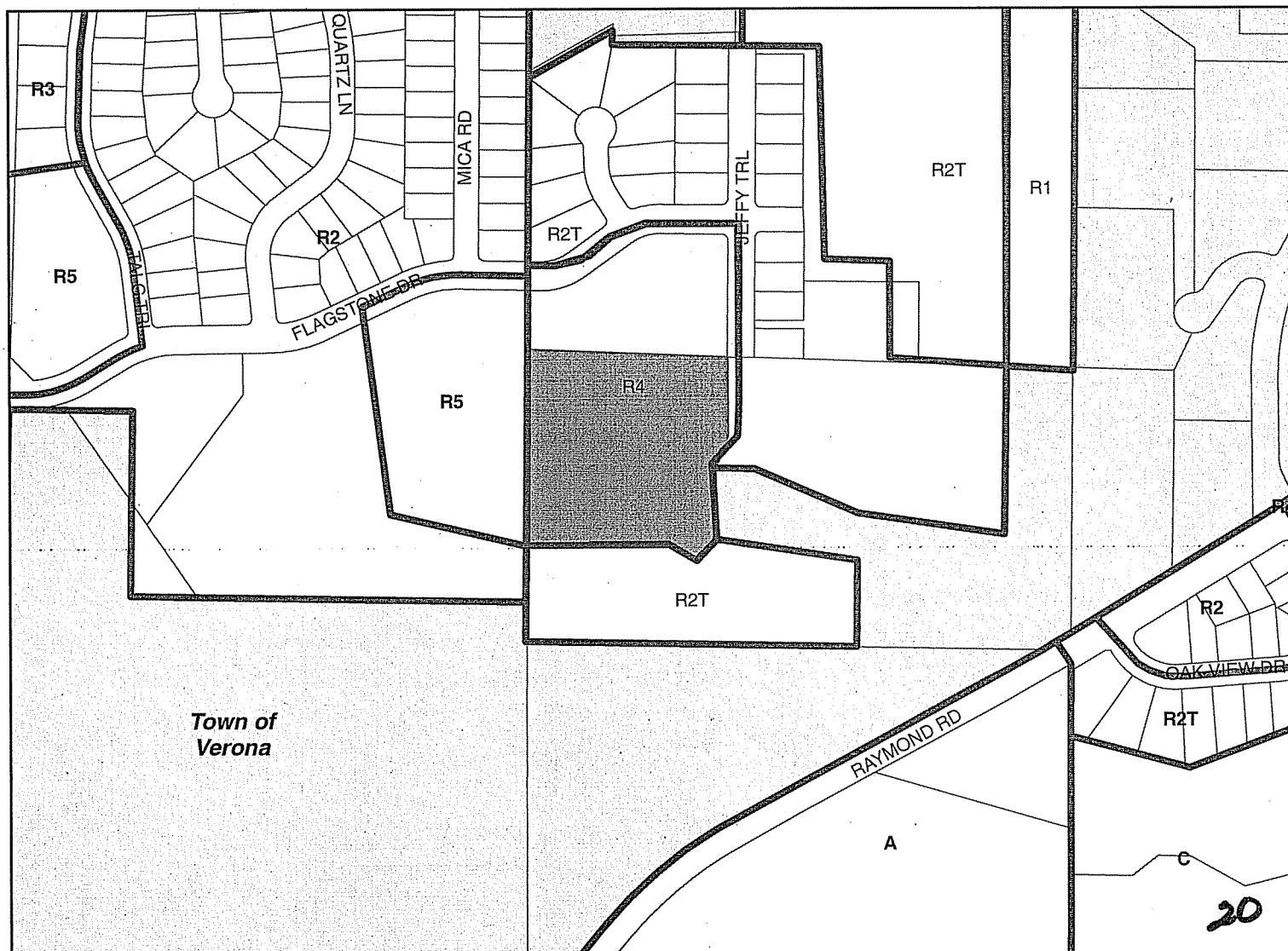
Existing Use  
Vacant Land

Proposed Use  
10 Building, 30-Unit  
Condominium Development

Public Hearing Date  
Plan Commission  
09 July 2007



For Questions Contact: Tim Parks at: 261-9632 or [tparks@cityofmadison.com](mailto:tparks@cityofmadison.com) or City Planning at 266-4635





# LAND USE APPLICATION

## Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100  
 PO Box 2985; Madison, Wisconsin 53701-2985  
 Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at [www.cityofmadison.com/planning/plan.html](http://www.cityofmadison.com/planning/plan.html)
- All zoning application packages should be filed directly with the Zoning Administrator's desk.
- Application effective February 18, 2005

### FOR OFFICE USE ONLY:

Amt. Paid \$ 1350<sup>00</sup> Receipt No. \_\_\_\_\_  
 Date Received 5-23-07  
 Received By RT  
 Parcel No. 0608-031-0097-8  
 Aldermanic District 1, Jed Sanborn  
 GQ ENG. hold  
 Zoning District A R4  
**For Complete Submittal**  
 Application  Letter of Intent   
 IDUP  Legal Descript. \_\_\_\_\_  
 Plan Sets  Zoning Text N/A  
 Alder Notification \_\_\_\_\_ Waiver \_\_\_\_\_  
 Ngrbrhd. Assn Not. \_\_\_\_\_ Waiver \_\_\_\_\_  
 Date Sign Issued \_\_\_\_\_

1. **Project Address:** 2425 Jeffy Trail **Project Area in Acres:** 5.29 acres  
**Project Title (if any):** Lot 77 Second Addition to Hawk's Creek Plat

2. **This is an application for:** (check at least one)

<input type="checkbox"/> <b>Zoning Map Amendment</b> (check only ONE box below for rezoning and fill in the blanks accordingly)		
<input type="checkbox"/> Rezoning from _____ to _____	<input type="checkbox"/> Rezoning from _____ to PUD/PCD-SIP	
<input type="checkbox"/> Rezoning from _____ to PUD/PCD-GDP	<input type="checkbox"/> Rezoning from PUD/PCD-GDP to PUD/PCD-SIP	
<input checked="" type="checkbox"/> <b>Conditional Use</b>	<input type="checkbox"/> <b>Demolition Permit</b>	<input type="checkbox"/> <b>Other Requests</b> (Specify): _____

3. **Applicant, Agent & Property Owner Information:**

Applicant's Name: Rick Mcky + Rick North Company: Mcky-North, LLC  
 Street Address: 906 Sauk Ridge Trail City/State: Madison WI Zip: 53717  
 Telephone: (608) 836-9300 Fax: ( ) Email: rmcky@starkhomes.com

Project Contact Person: Randy Bruce Company: Knothe + Bruce Architects, LLC  
 Street Address: 7601 University Ave., Ste 201 City/State: Middleton, WI Zip: 53562  
 Telephone: (608) 836-3690 Fax: (608) 836-6934 Email: rbruce@knothebruce.com

Property Owner (if not applicant): \_\_\_\_\_  
 Street Address: \_\_\_\_\_ City/State: \_\_\_\_\_ Zip: \_\_\_\_\_

4. **Project Information:**

Provide a general description of the project and all proposed uses of the site: (5) 4-unit condominium bldgs, (5) 2-unit condominium bldgs

Development Schedule: Commencement Summer 2007 Completion 2010 CONTINUE → 20

**5. Required Submittals:**

- Site Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
  - **Seven (7) copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
  - **Seven (7) copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
  - **One (1) copy** of the plan set reduced to fit onto 8 ½ inch by 11 inch paper
- Letter of Intent: Twelve (12) copies** describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor.
- Filing Fee:** \$ 1,350 See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

**IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:**

- For any applications proposing demolition of existing (principal) buildings, photos of the structure(s) to be demolished shall be submitted with your application. Be advised that a *Reuse and Recycling Plan* approved by the City's Recycling Coordinator is required to be approved by the City prior to issuance of wrecking permits.
- A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate **INCLUSIONARY DWELLING UNIT PLAN** application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.
- A *Zoning Text* must accompany **all** Planned Community or Planned Unit Development (PCD/PUD) submittals.

**FOR ALL APPLICATIONS:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to [pcapplications@cityofmadison.com](mailto:pcapplications@cityofmadison.com). The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

**6. Applicant Declarations:**

- Conformance with adopted City plans:** Applications for Zoning Map Amendments shall be in accordance with all adopted City of Madison land use plans:

→ The site is located within the limits of \_\_\_\_\_ Plan, which recommends: \_\_\_\_\_ for this property.

- Pre-application Notification:** Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30** days prior to filing this request:

→ List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:

Jed Sanborn

If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.

- Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.

Planner Tim Parks Date 5-10-07 | Zoning Staff Matt Tucker Date 5.10.07

**The signer attests that this form has been completed accurately and all required materials have been submitted:**

Printed Name Rock A Mckay Quantum Leap LLC Date 5/23/07  
 Signature Rock A Mckay [Signature] 5/23/07  
 Relation to Property Owner Owner

Authorizing Signature of Property Owner [Signature] Date 5/23/07 **20**

May 23, 2007

Mr. Brad Murphy  
Director of Planning  
Department of Planning & Development  
City of Madison  
215 Martin Luther King Jr. Blvd  
PO Box 2985  
Madison, Wisconsin 53701

Re: Letter of Intent  
R-4 Planned Residential Development  
2425 Jeffy Trail  
Madison, WI

Dear Mr. Murphy:

The following is submitted together with the plans, application and zoning text for staff, Plan Commission and Common Council consideration of approval.

**Organizational structure:**

Owner: McKy-North, LLC  
906 Sauk Ridge Trail  
Madison, WI 53717  
608-836-9300  
Contact: Rick McKy  
rmcky@starkhomes.com

Architect: Knothe & Bruce Architects, LLC  
7601 University Avenue, Ste 201  
Middleton, WI 53562  
608-836-3690  
608-836-6934 fax  
Contact: Randy Bruce  
[rbruce@knothebruce.com](mailto:rbruce@knothebruce.com)

Engineer: Calkins Engineering  
5010 Voges Road  
Madison, WI 53718  
(608) 838-0444  
(608) 838-0445 fax  
Contact: Dave Glusick

Landscape Design: The Bruce Company  
2830 W. Beltline Hwy.  
Middleton, WI 53562  
(608) 836-7041  
(608) 831-4236 fax  
Contact: Steve Short

**Introduction:**

The proposed site is Lot 77 of the second addition to Hawk's Creek Plat. The Hawk's Creek Plat was approved by the Common Council on July 18, 2006 and the neighborhood plan amended in response to the plat. The property was zoned R-4 during the platting process. The proposed development and the resulting density conform to the R-4 zoning standards and neighborhood plan.

**Project Description:**

The development consists of a total of 30 condominiums in 5 four-unit buildings and 5 two-unit buildings. The buildings are all one story, some with an exposed lower level, and have a cottage-style architecture compatible with adjacent developments. The building exteriors will utilize an attractive, low-maintenance horizontal siding.

Each condominium has a private two-car attached garage. Parking for guests will be available in the condominium driveways with additional guest parking for 8 cars distributed throughout the site. Pedestrian access is maintained with sidewalks throughout the site and pedestrian connections to Jeffy Trail, the development to the north and the park to the south.

**Site Development Data:**

Densities:

Lot Area	230,844 S.F. or 5.29 acres
Dwelling Units	30 Units
Lot Area/D.U.	7,694 S.F./Unit
Density	5.6 Units/Acre
Open Space	100,559 S.F. (43.6%)
Usable Open Space	43,240 S.F.
Usable Open Space/D.U.	1,441 S.F./D.U.

Dwelling Unit Mix:

Three-Bedroom Townhomes	30
-------------------------	----

Building Height:

1-2 Stories

Parking

Automobile	
Surface	8 spaces
Garage	<u>60 spaces</u>
Total	68 spaces

Bicycle	
Surface	8 spaces
Garage	<u>30 spaces</u>
Total	38 spaces

Letter of Intent  
Lot 77 Addition to Hawk's Creek Plat  
2425 Jeffy Trail  
May 23, 2007  
Page 3 of 3

**Project Schedule:**

It is anticipated that construction of the first building will start in Summer 2007 and be completed by Spring 2008. Construction of the remaining buildings will proceed as market conditions dictate, with overall completion scheduled for 2010.

Thank you for your time in reviewing our proposal.

Very Truly Yours,

*J. Randy Bruce D.S.*

J. Randy Bruce, AIA  
Managing Member

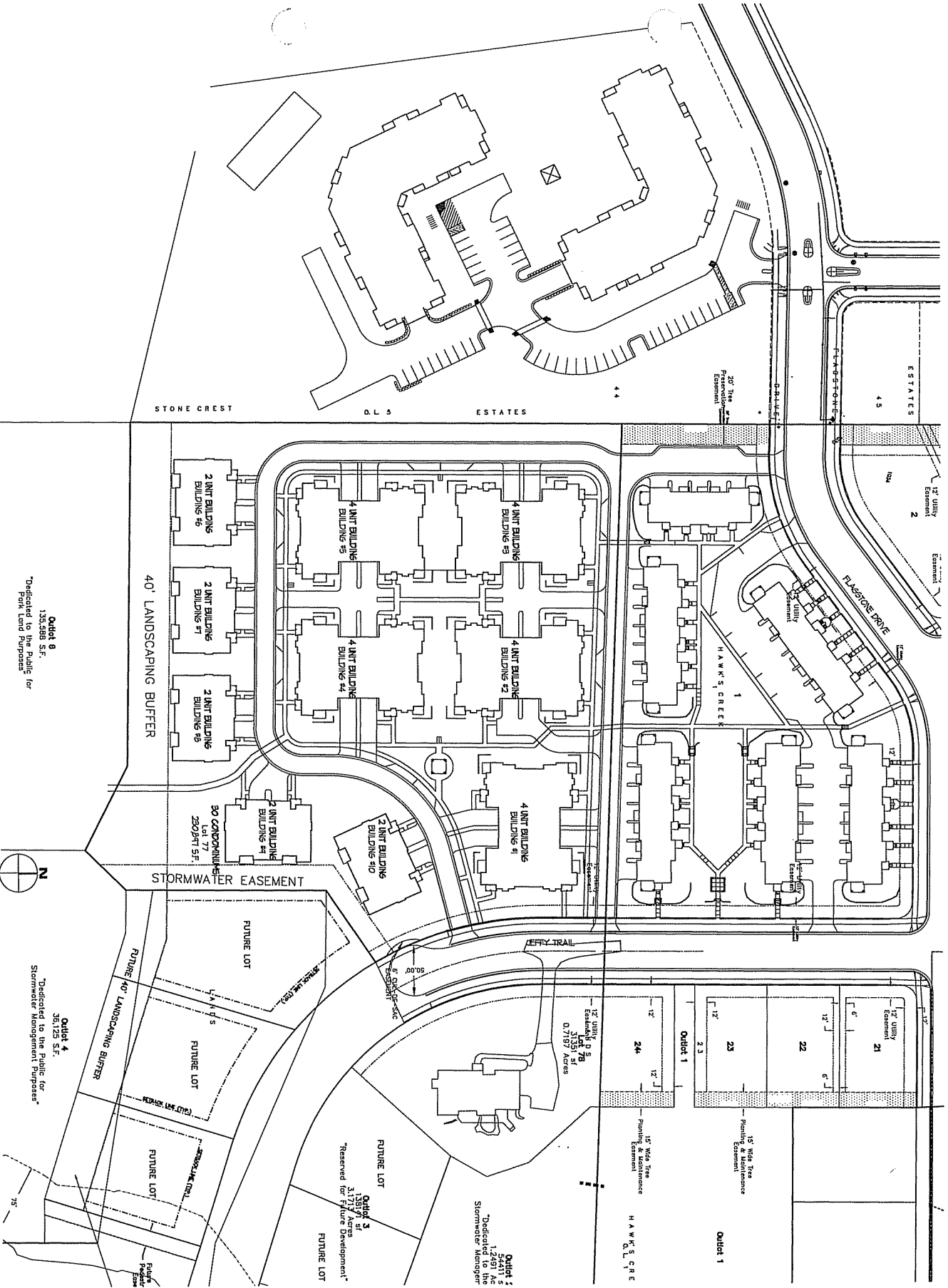
02

# KNOTHE & BRUCE ARCHITECTS

7201 University Avenue Suite 201  
 Madison, Wisconsin 53705  
 608.255.3900 Fax 608.255.9734

## SHEET INDEX

- C-0 SITE PLAN - CONFORM
- C-1 SITE PLAN - P&M
- C-2 SITE PLAN - P&M
- C-3 SITE PLAN - P&M
- C-4 LANDSCAPE PLAN
- A-21 4481 1-2 UNIT FLOOR PLAN
- A-21 4481 1-2 UNIT ELEVATIONS



Outlet 8  
 135,588 S.F.  
 Dedicated to the Public for  
 Park Land Purposes

Outlet 4  
 36,125 S.F.  
 Dedicated to the Public for  
 Stormwater Management Purposes

Outlet 5  
 54,411 S.F.  
 1.2491 AC  
 Stormwater Management

Project Title  
**2425 Jeffrey Trail**  
 Lot 77, 2nd Add. to  
 Hawk's Creek Plat

Project No.  
**0514**

Sheet No.  
**C-10**

Scale 1"=40'

Drawn By  
 [Signature]

Checked By  
 [Signature]

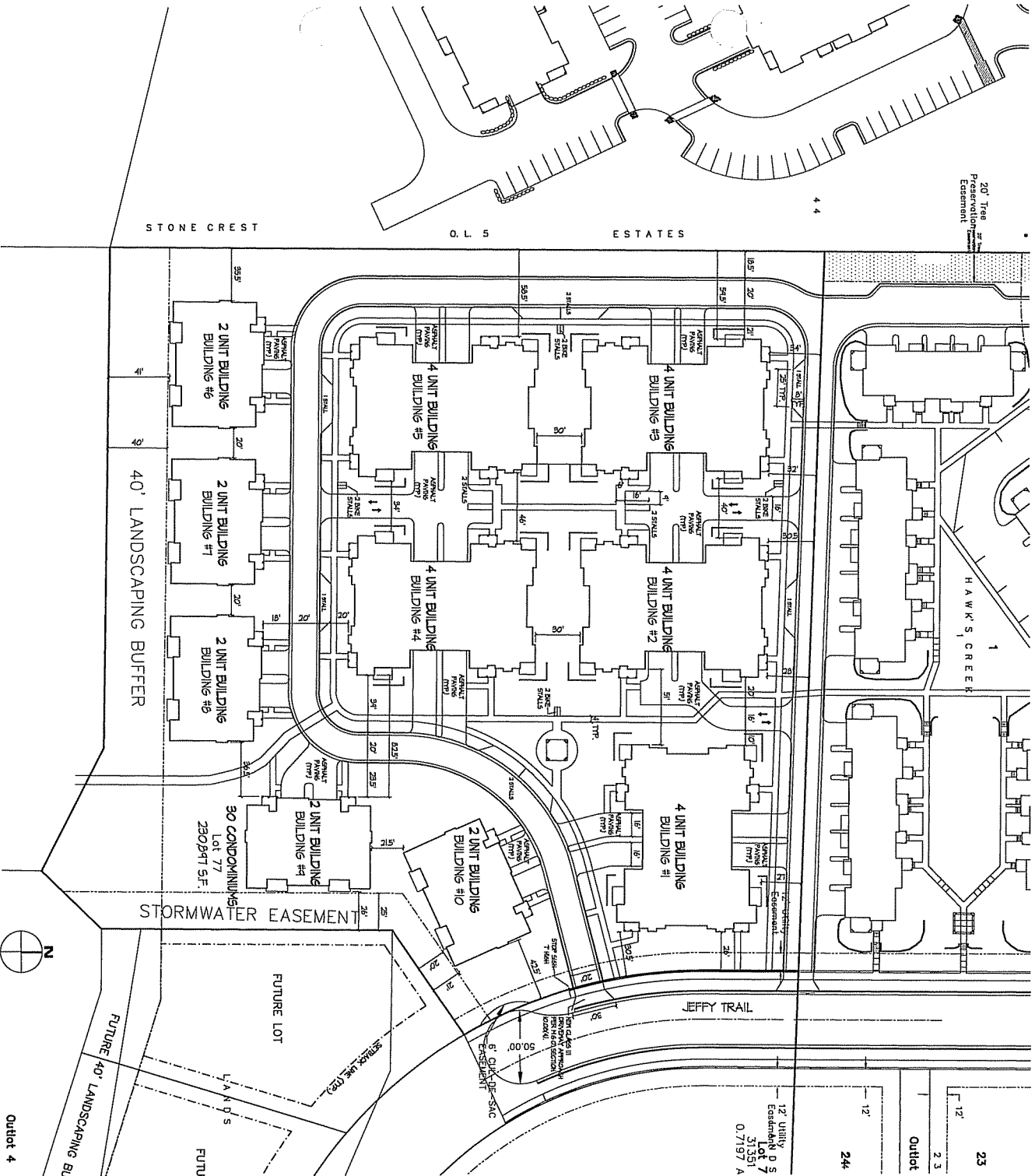


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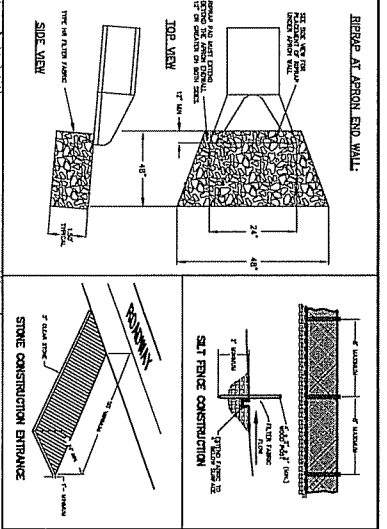
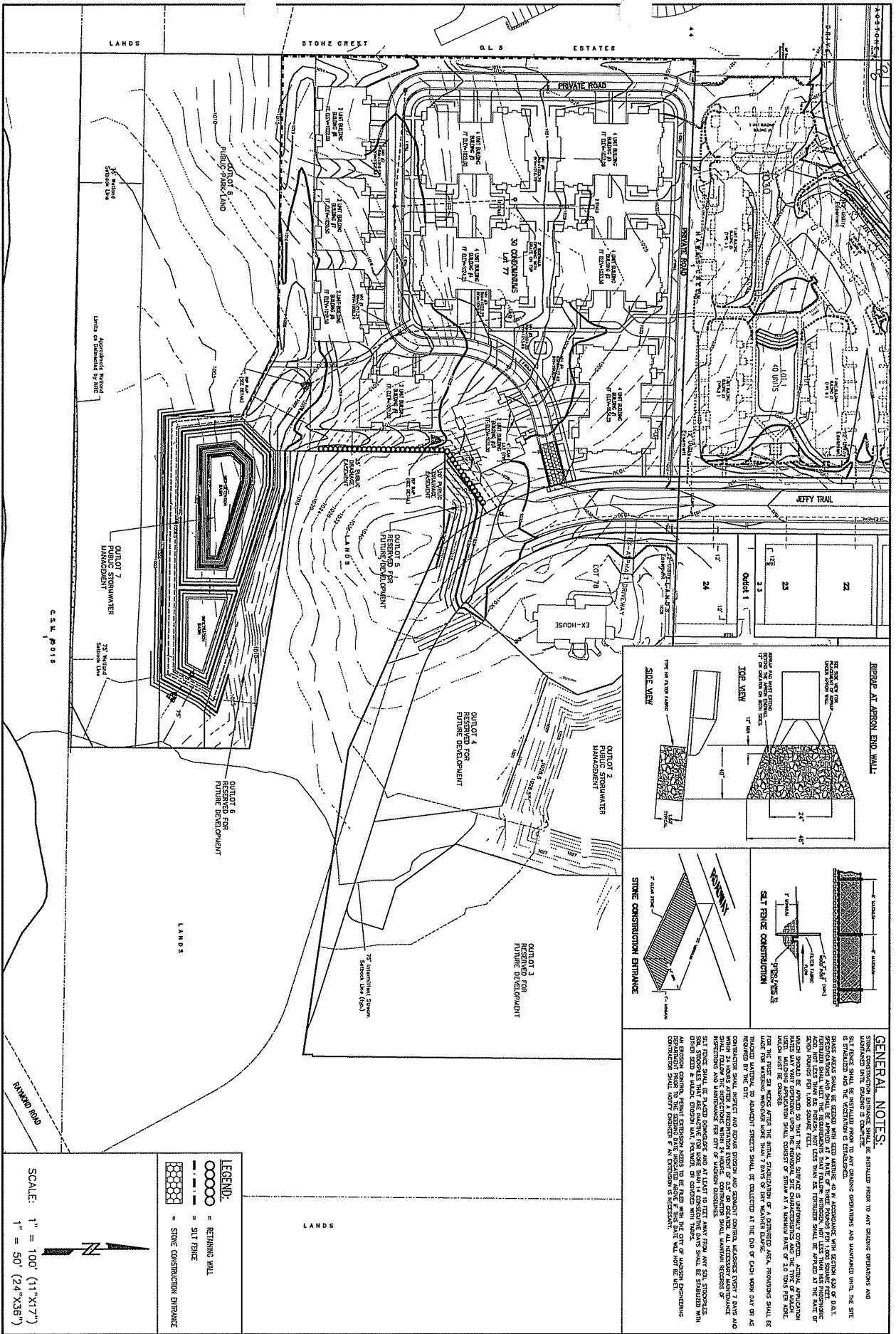
**KNOTHE & BRUCE ARCHITECTS**  
 760 University Avenue Suite 201  
 Piedmont, Wisconsin 53382  
 414-935-5950 Fax 414-935-5951

Notes

SITE DATA	
LEGAL DESCRIPTION	LOT 77, SECOND ADDITION TO HAWKS PRESERVATION EASEMENT
OWNER	STONE CREST ESTATES
LOT AREA - 200,044 S.F. (5.00 ACRES)	
DEVELOPABLE AREA - 170,000 S.F. (3.90 ACRES)	
EXISTING BUILDING AREA - 100,000 S.F. (2.27 ACRES)	
PROPOSED BUILDING AREA - 100,000 S.F. (2.27 ACRES)	
DEVELOPABLE BUILDING AREA - 170,000 S.F. (3.90 ACRES)	
DEVELOPABLE PARKING AREA - 100,000 S.F. (2.27 ACRES)	
DEVELOPABLE LANDSCAPING AREA - 100,000 S.F. (2.27 ACRES)	
DEVELOPABLE TOTAL AREA - 170,000 S.F. (3.90 ACRES)	
DEVELOPABLE TOTAL PARKING AREA - 100,000 S.F. (2.27 ACRES)	
DEVELOPABLE TOTAL LANDSCAPING AREA - 100,000 S.F. (2.27 ACRES)	
DEVELOPABLE TOTAL DEVELOPABLE AREA - 170,000 S.F. (3.90 ACRES)	
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DEVELOPABLE TOTAL DEVELOPABLE LANDSCAPING AREA - 100,000 S.F. (2.27 ACRES)	
DEVELOPABLE TOTAL DEVELOPABLE TOTAL AREA - 170,000 S.F. (3.90 ACRES)	



**Project Title:** 2425 Jeffy Trail Lot 77, 2nd Add. to Hawk's Creek Plat  
**Project No.:** 0514  
**Scale:** 1" = 40'  
**Drawn by:** C-11



**GENERAL NOTES:**

STONE CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO ANY EXISTING OPERATIONS AND SILT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS AND MAINTAINED UNTIL THE SITE IS STABILIZED AND THE VEGETATION IS ESTABLISHED.

STORMWATER SHALL BE COLLECTED AND STORED IN ACCORDANCE WITH SECTION 609 OF D.M.T. REGULATIONS SHALL BE RELEASED TO THE RECEIVING WATER BODY IN ACCORDANCE WITH ITS REGULATIONS AND SHALL NOT EXCEED THE DESIGN FLOW RATE. EXCESS FLOW SHALL BE STORED AT THE RATE OF FLOW WHICH SHOULD BE ADEQUATE TO THE DESIGN FLOW RATE. THE DESIGN FLOW RATE SHALL BE ADEQUATE TO HANDLE ANY STORMWATER FROM THE PROPERTY. THE DESIGN FLOW RATE SHALL BE ADEQUATE TO HANDLE ANY STORMWATER FROM THE PROPERTY. THE DESIGN FLOW RATE SHALL BE ADEQUATE TO HANDLE ANY STORMWATER FROM THE PROPERTY.

THE FIRST SIX SEVEN FEET OF THE STORMWATER STORAGE AREA, PROVIDED SHALL BE GRADED TO A MINIMUM OF 1% SLOPE TOWARD THE END OF EACH WORK DAY OR AS REQUIRED BY THE CITY.

CONSTRUCTION SHALL PROTECT AND REPAIR EXISTING AND ADJACENT EXISTING UTILITIES EVERY 7 DAYS AND SHALL FILL THE EXCAVATIONS WITHIN 24 HOURS. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL EXCAVATIONS AND REPAIRS AND SHALL FURNISH TO THE CITY ANY AND ALL INFORMATION REQUIRED BY THE CITY.

THE STORMWATER SHALL BE STORED IN THE EXISTING EX-HOUSE AND SHALL BE RELEASED TO THE RECEIVING WATER BODY IN ACCORDANCE WITH ITS REGULATIONS AND SHALL NOT EXCEED THE DESIGN FLOW RATE. EXCESS FLOW SHALL BE STORED AT THE RATE OF FLOW WHICH SHOULD BE ADEQUATE TO THE DESIGN FLOW RATE. THE DESIGN FLOW RATE SHALL BE ADEQUATE TO HANDLE ANY STORMWATER FROM THE PROPERTY. THE DESIGN FLOW RATE SHALL BE ADEQUATE TO HANDLE ANY STORMWATER FROM THE PROPERTY.

**LEGEND:**

- = RETAINING WALL
- = SILT FENCE
- = STONE CONSTRUCTION ENTRANCE

SCALE: 1" = 100' (1"X17")  
 1" = 50' (24"X36")

**Calkins Engineering, LLC**  
 Civil Engineers & Land Surveyors

C-21

**LOT 77 - 2ND ADDITION TO HAWK'S CREEK GRADING AND EROSION CONTROL PLAN**

DATE: 05-23-07

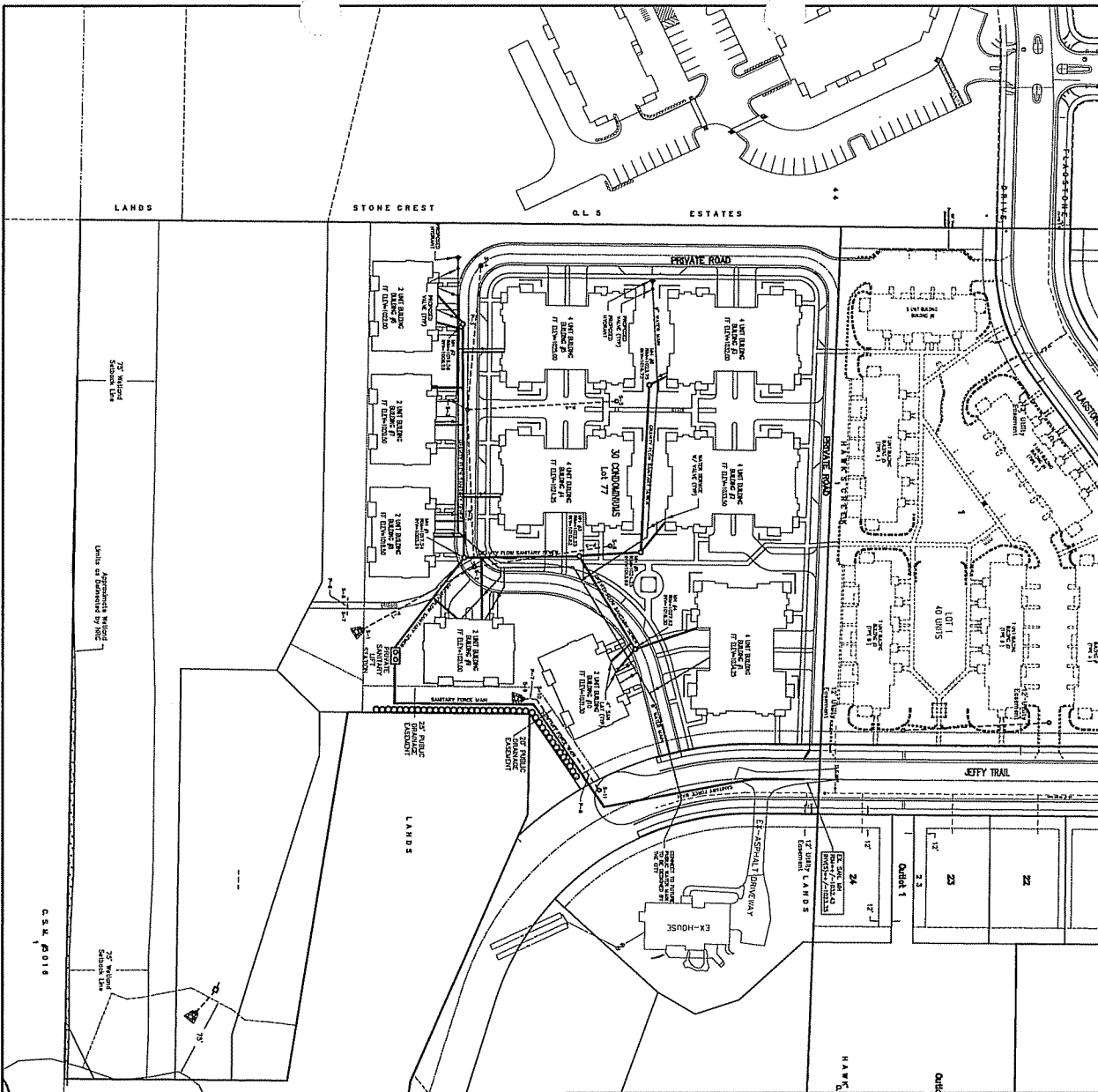
REVISIONS:

FILE: MKY05

DRAWING NAME: P:\PROJECTS\2007\0523\10313\10313-LOT 77.DWG

**Calkins Engineering, LLC**  
 5018 E. Highway 10  
 Medicine, SD 57110  
 (605) 839-0444

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**GENERAL NOTES:**

CONTRACTOR SHALL OBTAIN NECESSARY CONNECTIONS AND EXAMINATION PERMITS FROM THE CITY OF MADISON PRIOR TO WORK COMMENCEMENT.

ALL MATERIAL SHALL BE ORDERED FROM (MANK-C-131) - CLASS 501.

ALL SANITARY SEWER AND LATERALS SHALL BE PVC (ASTM D3034 - SDR 35).

STORM SEWER SHALL BE 405 H-12.

CONTRACTOR SHALL VERIFY IN THE FIELD THE EXIST. LOCATION AND DEPTH OF ALL EXISTING UTILITIES.

ALL SANITARY SEWER AND WATER MAIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

**STORM SEWER STRUCTURE SCHEDULE:**

STRUCTURE NUMBER	TYPE	GRATE AND LID TYPES	TOP OF CASTING	INVERT	DEPTH
S-1	12" DOWELL	N/A	1071.0	1060.0	N/A
S-2	3" CATCH BASIN W/ ROULET	R-250	1070.0	1060.0	3.0
S-3	3" CATCH BASIN W/ ROULET	R-250	1020.0	1017.5	2.5
S-4	3" CATCH BASIN W/ ROULET	R-250	1020.0	1018.5	3.5
S-5	3" CATCH BASIN W/ ROULET	R-250	1022.0	1018.5	3.5
S-6	6" CATCH BASIN W/ ROULET	R-250	1022.0	1018.5	3.5
S-7	6" CATCH BASIN W/ ROULET	R-250	1022.0	1018.5	3.5
S-8	6" PIPE END	N/A	N/A	1027.0	N/A
S-9	12" DOWELL	N/A	N/A	1018.0	N/A
S-10	3" RIGID CATCH BASIN (TO BE OBTAINED BY CITY)	R-250	1029.0	1023.0	6.0
S-11					4.0

**STORM SEWER PIPE SCHEDULE:**

PIPE NUMBER	FROM (UPSTREAM)	TO (DOWNSTREAM)	LENGTH	INLET INVERT	DISCHARGE INVERT	SLOPE (%)	PIPE SIZE
P-1	S-1	S-2	117'	1071.0	1060.0	5.2	12"
P-2	S-2	S-3	144'	1060.0	1049.0	1.0	12"
P-3	S-3	S-4	101.5	1017.5	1018.5	2.0	12"
P-4	S-4	S-5	137'	1018.5	1018.5	0.0	12"
P-5	S-5	S-6	123'	1018.5	1014.0	3.5	12"
P-6	S-6	S-7	117'	1018.5	1018.5	0.0	12"
P-7	S-7	S-8	107.0	1018.5	1008.0	1.0	6"
P-8	S-8	S-9	107'	1018.5	1018.5	0.0	6"
P-9	S-9	S-10	107'	1018.5	1018.5	0.0	12"
P-10	S-10	S-11	107'	1018.5	1018.5	0.0	12"

SCALE: 1" = 100' (11"x17")  
 1" = 50' (24"x36")

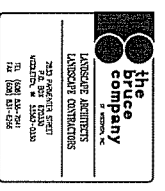
**CALL DIGGERS HOTLINE**  
 1-800-242-8511  
 TOLL FREE

TO OBTAIN LOCATION OF  
 UTILITIES BEFORE YOU  
 DIG IN WISCONSIN

WIS. STATUTE 182.075 (1974)  
 REQUIRES MIN. OF 3 WORK DAYS  
 NOTICE BEFORE YOU EXCAVATE

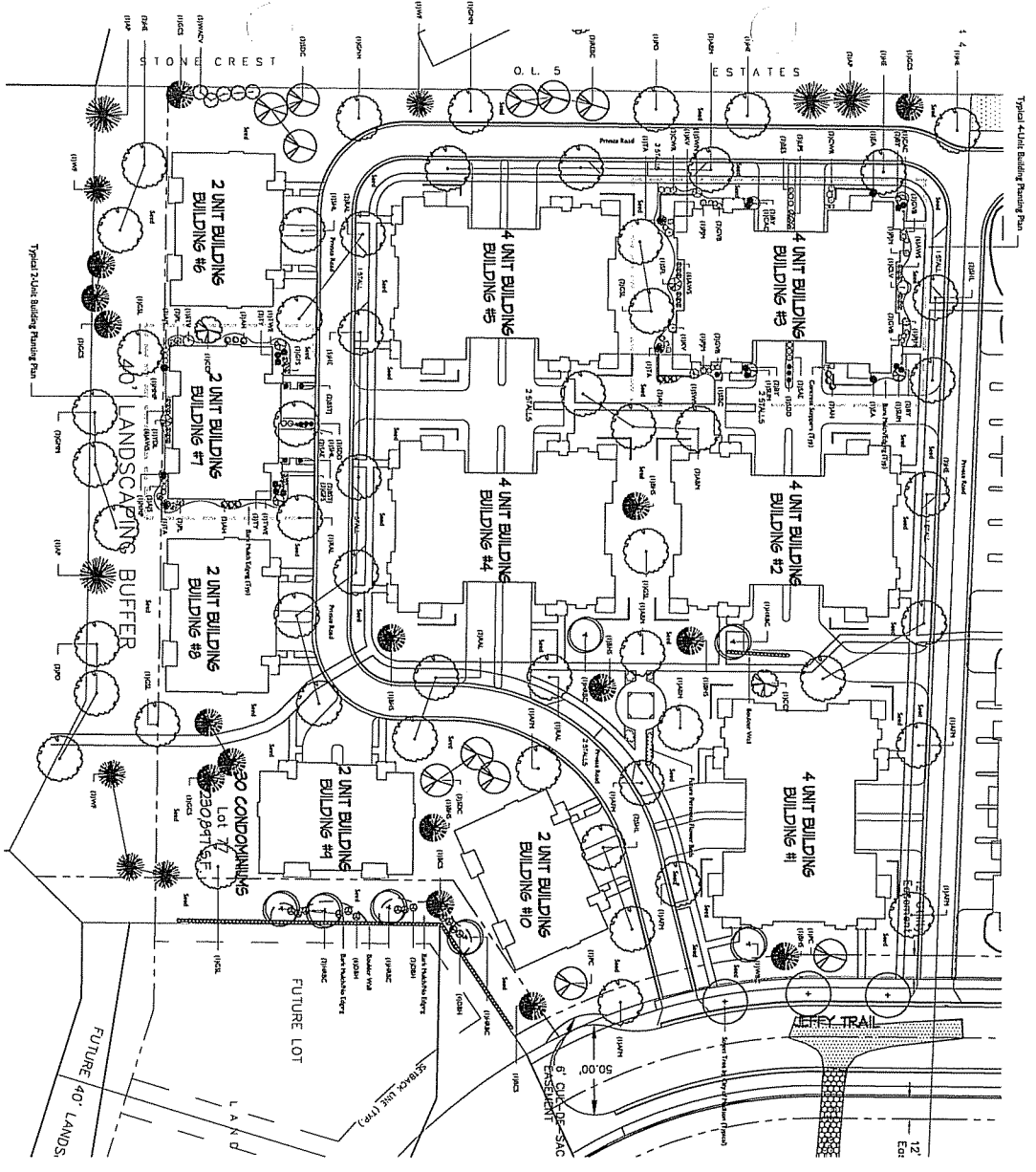
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**KNOTHE & BRUCE ARCHITECTS**  
 201 University Avenue, Suite 200  
 Berkeley, CA 94704  
 415.841.3180 Fax 415.841.3934



**NOTES**  
 1. ALL DIMENSIONS ARE IN FEET AND INCHES (ROUNDED UP).  
 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
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**GENERAL NOTES**  
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**Plant Material List - Common Area Treescapes**

Quantity	Code	Name	Common Name	Planting Size
1	AN	Acacia	Acacia	7' x 8'
1	AS	Aspen	Aspen	7' x 8'
1	BA	Bald Cypress	Bald Cypress	7' x 8'
1	CA	California Sycamore	California Sycamore	7' x 8'
1	CE	Chinese Elm	Chinese Elm	7' x 8'
1	CO	Cornus	Cornus	7' x 8'
1	CR	Crown of Thorns	Crown of Thorns	7' x 8'
1	CS	Crabapple	Crabapple	7' x 8'
1	CU	Catalpa	Catalpa	7' x 8'
1	DA	Dawsonia	Dawsonia	7' x 8'
1	DE	Deciduous Quercus	Deciduous Quercus	7' x 8'
1	DI	Dielsia	Dielsia	7' x 8'
1	DO	Douglas Fir	Douglas Fir	7' x 8'
1	DR	Drumstick	Drumstick	7' x 8'
1	DU	Dwarf Umbrella	Dwarf Umbrella	7' x 8'
1	EA	Eastern Redwood	Eastern Redwood	7' x 8'
1	EB	European Beech	European Beech	7' x 8'
1	EC	European Larch	European Larch	7' x 8'
1	ED	European Spruce	European Spruce	7' x 8'
1	EE	European Fir	European Fir	7' x 8'
1	EF	European Alder	European Alder	7' x 8'
1	EG	European Hornbeam	European Hornbeam	7' x 8'
1	EH	European Beech	European Beech	7' x 8'
1	EI	European Larch	European Larch	7' x 8'
1	EJ	European Spruce	European Spruce	7' x 8'
1	EK	European Fir	European Fir	7' x 8'
1	EL	European Alder	European Alder	7' x 8'
1	EM	European Hornbeam	European Hornbeam	7' x 8'
1	EN	European Beech	European Beech	7' x 8'
1	EO	European Larch	European Larch	7' x 8'
1	EP	European Spruce	European Spruce	7' x 8'
1	EQ	European Fir	European Fir	7' x 8'
1	ER	European Alder	European Alder	7' x 8'
1	ES	European Hornbeam	European Hornbeam	7' x 8'
1	ET	European Beech	European Beech	7' x 8'
1	EU	European Larch	European Larch	7' x 8'
1	EV	European Spruce	European Spruce	7' x 8'
1	EW	European Fir	European Fir	7' x 8'
1	EX	European Alder	European Alder	7' x 8'
1	EY	European Hornbeam	European Hornbeam	7' x 8'
1	EZ	European Beech	European Beech	7' x 8'

**Plant Material List - 4-Unit Typical Foundation**

Quantity	Code	Name	Common Name	Planting Size
1	AN	Acacia	Acacia	7' x 8'
1	AS	Aspen	Aspen	7' x 8'
1	BA	Bald Cypress	Bald Cypress	7' x 8'
1	CA	California Sycamore	California Sycamore	7' x 8'
1	CE	Chinese Elm	Chinese Elm	7' x 8'
1	CO	Cornus	Cornus	7' x 8'
1	CR	Crown of Thorns	Crown of Thorns	7' x 8'
1	CS	Crabapple	Crabapple	7' x 8'
1	CU	Catalpa	Catalpa	7' x 8'
1	DA	Dawsonia	Dawsonia	7' x 8'
1	DE	Deciduous Quercus	Deciduous Quercus	7' x 8'
1	DI	Dielsia	Dielsia	7' x 8'
1	DO	Douglas Fir	Douglas Fir	7' x 8'
1	DR	Drumstick	Drumstick	7' x 8'
1	DU	Dwarf Umbrella	Dwarf Umbrella	7' x 8'
1	EA	Eastern Redwood	Eastern Redwood	7' x 8'
1	EB	European Beech	European Beech	7' x 8'
1	EC	European Larch	European Larch	7' x 8'
1	ED	European Spruce	European Spruce	7' x 8'
1	EE	European Fir	European Fir	7' x 8'
1	EF	European Alder	European Alder	7' x 8'
1	EG	European Hornbeam	European Hornbeam	7' x 8'
1	EH	European Beech	European Beech	7' x 8'
1	EI	European Larch	European Larch	7' x 8'
1	EJ	European Spruce	European Spruce	7' x 8'
1	EK	European Fir	European Fir	7' x 8'
1	EL	European Alder	European Alder	7' x 8'
1	EM	European Hornbeam	European Hornbeam	7' x 8'
1	EN	European Beech	European Beech	7' x 8'
1	EO	European Larch	European Larch	7' x 8'
1	EP	European Spruce	European Spruce	7' x 8'
1	EQ	European Fir	European Fir	7' x 8'
1	ER	European Alder	European Alder	7' x 8'
1	ES	European Hornbeam	European Hornbeam	7' x 8'
1	ET	European Beech	European Beech	7' x 8'
1	EU	European Larch	European Larch	7' x 8'
1	EV	European Spruce	European Spruce	7' x 8'
1	EW	European Fir	European Fir	7' x 8'
1	EX	European Alder	European Alder	7' x 8'
1	EY	European Hornbeam	European Hornbeam	7' x 8'
1	EZ	European Beech	European Beech	7' x 8'

**Plant Material List - 2-Unit Typical Foundation**

Quantity	Code	Name	Common Name	Planting Size
1	AN	Acacia	Acacia	7' x 8'
1	AS	Aspen	Aspen	7' x 8'
1	BA	Bald Cypress	Bald Cypress	7' x 8'
1	CA	California Sycamore	California Sycamore	7' x 8'
1	CE	Chinese Elm	Chinese Elm	7' x 8'
1	CO	Cornus	Cornus	7' x 8'
1	CR	Crown of Thorns	Crown of Thorns	7' x 8'
1	CS	Crabapple	Crabapple	7' x 8'
1	CU	Catalpa	Catalpa	7' x 8'
1	DA	Dawsonia	Dawsonia	7' x 8'
1	DE	Deciduous Quercus	Deciduous Quercus	7' x 8'
1	DI	Dielsia	Dielsia	7' x 8'
1	DO	Douglas Fir	Douglas Fir	7' x 8'
1	DR	Drumstick	Drumstick	7' x 8'
1	DU	Dwarf Umbrella	Dwarf Umbrella	7' x 8'
1	EA	Eastern Redwood	Eastern Redwood	7' x 8'
1	EB	European Beech	European Beech	7' x 8'
1	EC	European Larch	European Larch	7' x 8'
1	ED	European Spruce	European Spruce	7' x 8'
1	EE	European Fir	European Fir	7' x 8'
1	EF	European Alder	European Alder	7' x 8'
1	EG	European Hornbeam	European Hornbeam	7' x 8'
1	EH	European Beech	European Beech	7' x 8'
1	EI	European Larch	European Larch	7' x 8'
1	EJ	European Spruce	European Spruce	7' x 8'
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1	EV	European Spruce	European Spruce	7' x 8'
1	EW	European Fir	European Fir	7' x 8'
1	EX	European Alder	European Alder	7' x 8'
1	EY	European Hornbeam	European Hornbeam	7' x 8'
1	EZ	European Beech	European Beech	7' x 8'

**Project Title:**  
 Lot 77  
 Second Addition to  
 Hawks Creek Plat  
 2425 Jeffrey Trail

**Drawing Title:**  
 Landscape Plan  
**SCALE:** 1"=30'  
**DATE:** 06/22/20  
**PROJECT:** 0622  
**DRAWN BY:** C41

20

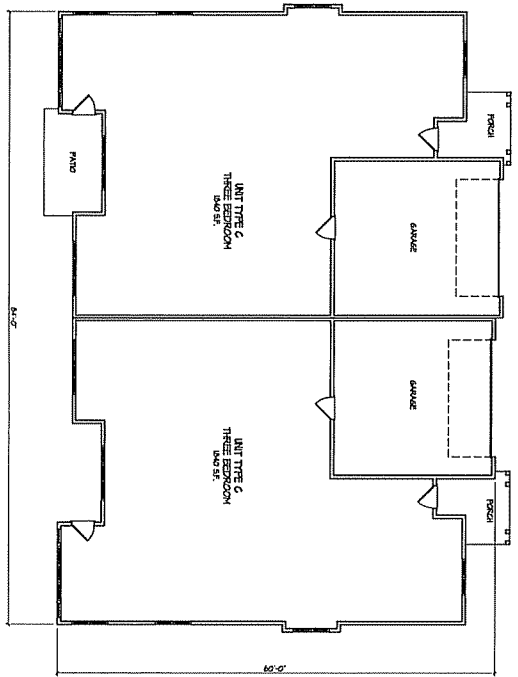
**KNOTHE & BRUCE ARCHITECTS**

7001 University Avenue Suite 201  
Madison, Wisconsin 53562  
608-436-3190 Fax 608-436-3934

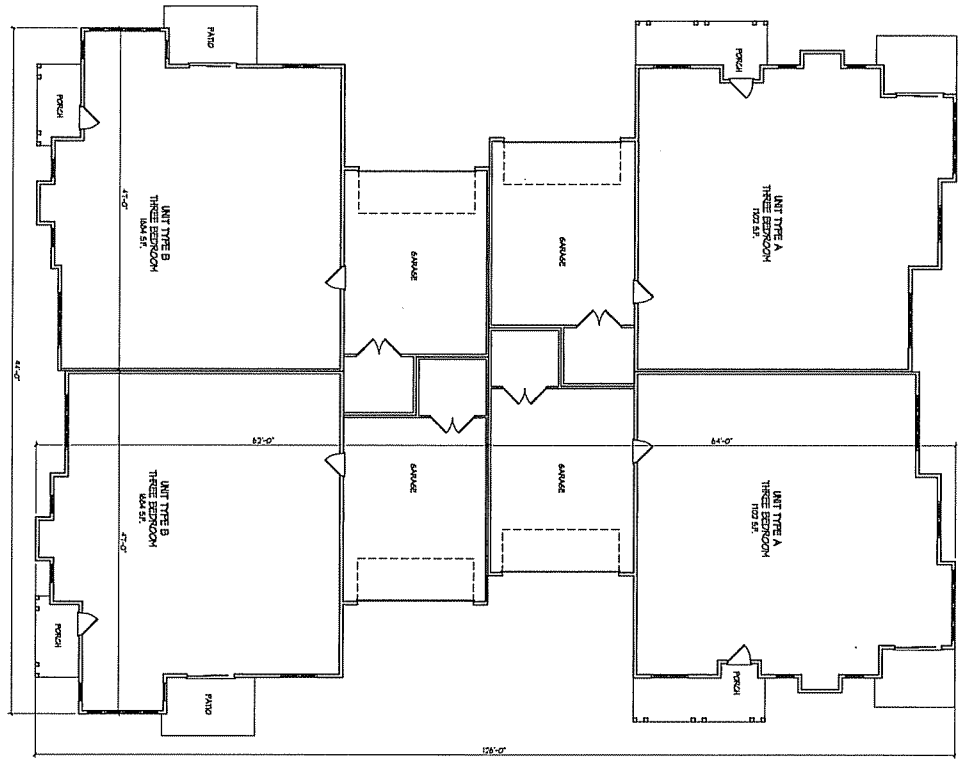
Contract

Notes

Date



2 UNIT FLOOR PLAN



4 UNIT FLOOR PLAN

Notes  
May 29, 2007 - Considered like standard

Project Title  
2425 Jelfly Trail  
Lot T1, 2nd Add. to  
Hawk's Creek Plat

Drawn Title  
Conceptual Floor Plans  
SCALE 1/8" = 1'-0"  
Project No.  
0514  
Drawing No.  
A-11

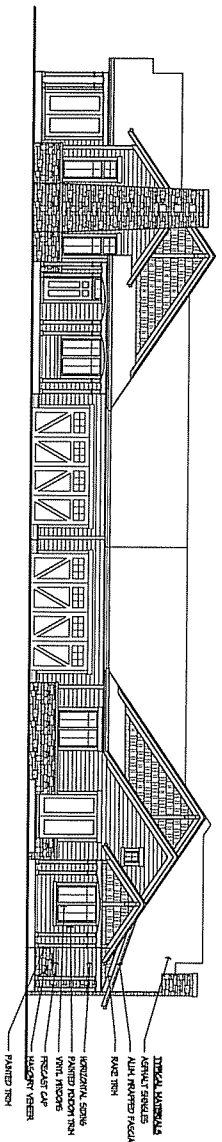
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**KNOTHE & BRUCE ARCHITECTS**

7001 University Avenue, Suite 200  
 Middleton, Wisconsin 53602  
 608-835-3390 Fax 608-835-3394

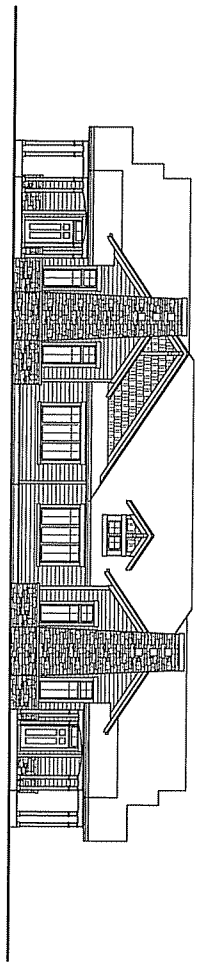
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 Name: \_\_\_\_\_  
 Date: D-22

○ 4 UNIT SIDE ELEVATION  
DR-112

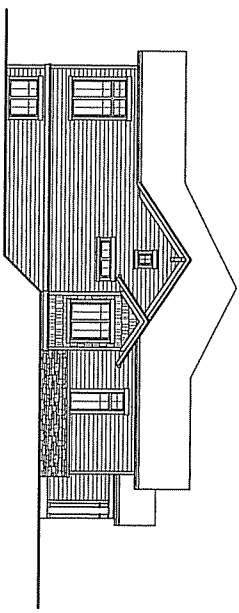


- TRIPLE SHINGLES
- ALUM. FINISHED PLYWOOD
- PAINTED TRIM
- HORIZONTAL SIDING
- WOOD SHAKES
- RESINATOR CAP
- ALUMINUM VENTS
- PAINTED TRIM

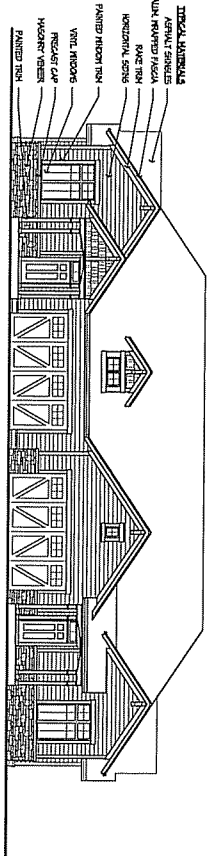
○ 4 UNIT FRONT ELEVATION  
DR-112



○ 2 UNIT SIDE ELEVATION  
DR-112



○ 2 UNIT FRONT ELEVATION  
DR-112



- TRIPLE SHINGLES
- ALUM. FINISHED PLYWOOD
- PAINTED TRIM
- HORIZONTAL SIDING
- PAINTED SIDING TRIM
- VENT. WINDOW
- RESINATOR CAP
- ALUMINUM VENTS
- PAINTED TRIM

Project Title:  
 2425 Jethru Trail  
 Lot 17, 2nd Add. to  
 Hawk's Creek Plat

Revision:  
 May 25, 2009 - Condition like submitted

Company Title:  
 Conceptual Elevations  
 Scale: 1/8" = 1'-0"  
 Project No.: 0519  
 Drawing No.: A-21