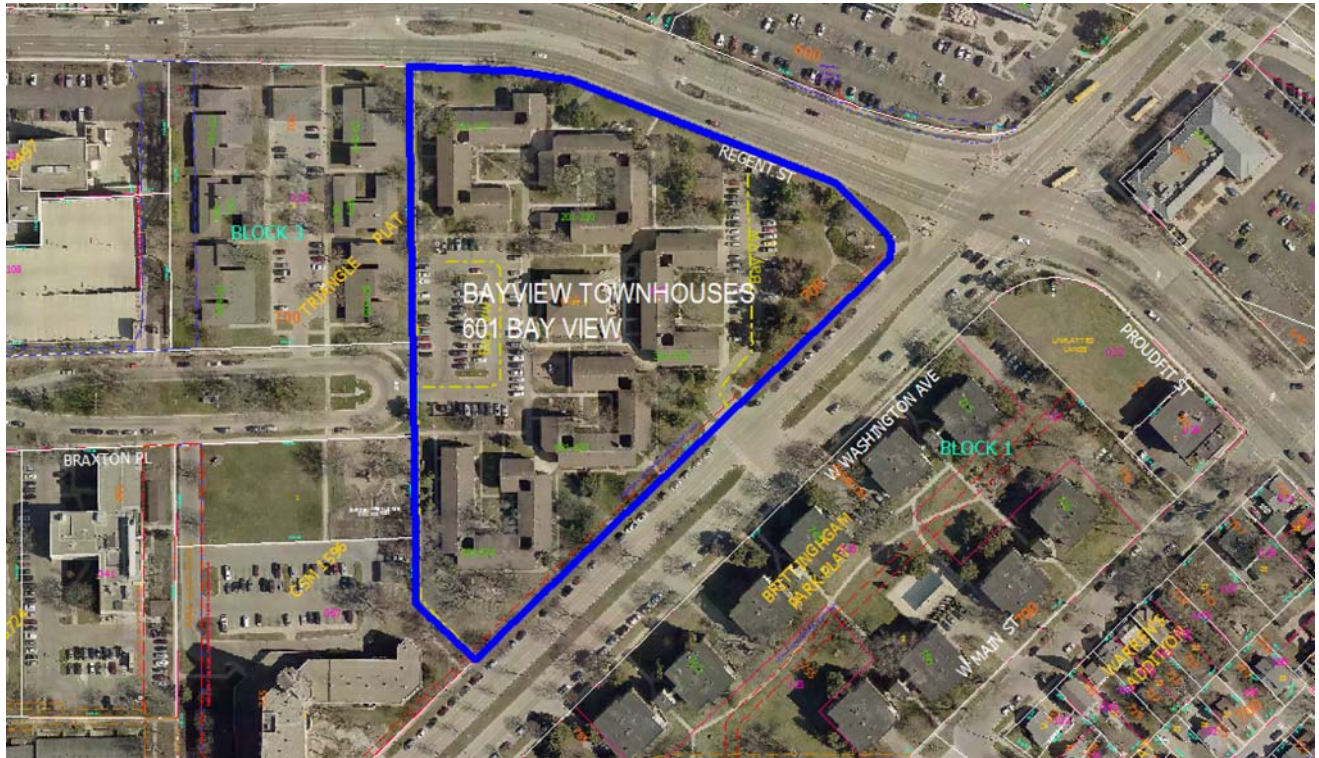


BAYVIEW TOWNHOUSES – 601 BAY VIEW

CERTIFIED SURVEY MAP & REDEVELOPMENT

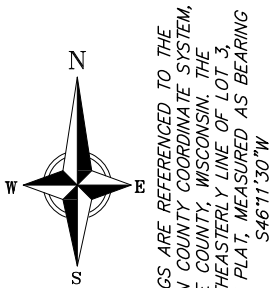


Improvements Summary

- Reconstruct Regent Street sidewalk adjacent to the project to provide 8' wide terrace, 5' wide sidewalk, and 1' wide maintenance buffer.
- Replace sidewalk along W Washington Avenue that is damaged or removed due to private construction
- Replace existing concrete curb and gutter that is damaged or removed due to private construction
- Construct new driveway entrance aprons and close abandoned driveways with curb and gutter
- Provide private lateral connections for sanitary sewer, storm sewer, and water services
- Tree removals and plantings per the City Forester
- Lighting and signage improvements per the City Traffic Engineer
- The proposed new North-South street on the west side of the project is to be approved and constructed under a separate Public Works Assessment Project.
- Sanitary capacity upgrades, if required to serve the project, will be approved and constructed as part of the new North-South street Public Works Assessment Project.

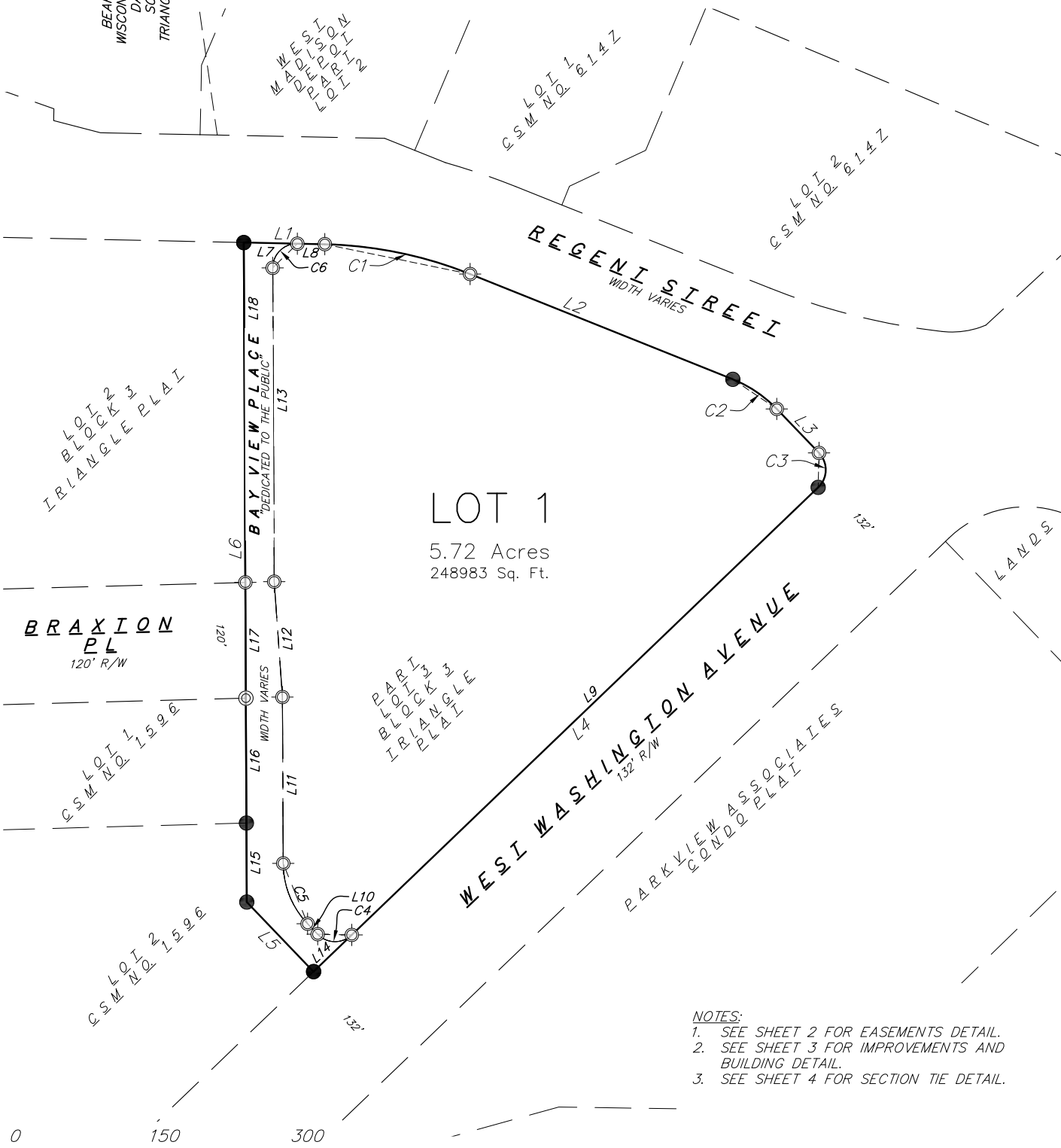
CERTIFIED SURVEY MAP No. _____

PART OF LOT THREE (3), BLOCK THREE (3), TRIANGLE PLAT, RECORDED IN VOLUME 34 OF PLATS, PAGES 21-23, AS DOCUMENT NUMBER 1220391, DANE COUNTY REGISTRY, LOCATED IN THE NE¹/₄ OF THE SW¹/₄ OF SECTION 23, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.



SURVEY LEGEND

- ⊙ FOUND 1" \varnothing IRON PIPE
 - FOUND 3/4" \varnothing IRON ROD
 - ⊗ SET 3/4" X 18" SOLID IRON RE-ROD MIN. WT. 1.5 LBS./FT.
- DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT.
- () RECORDED AS INFORMATION PER PLAT

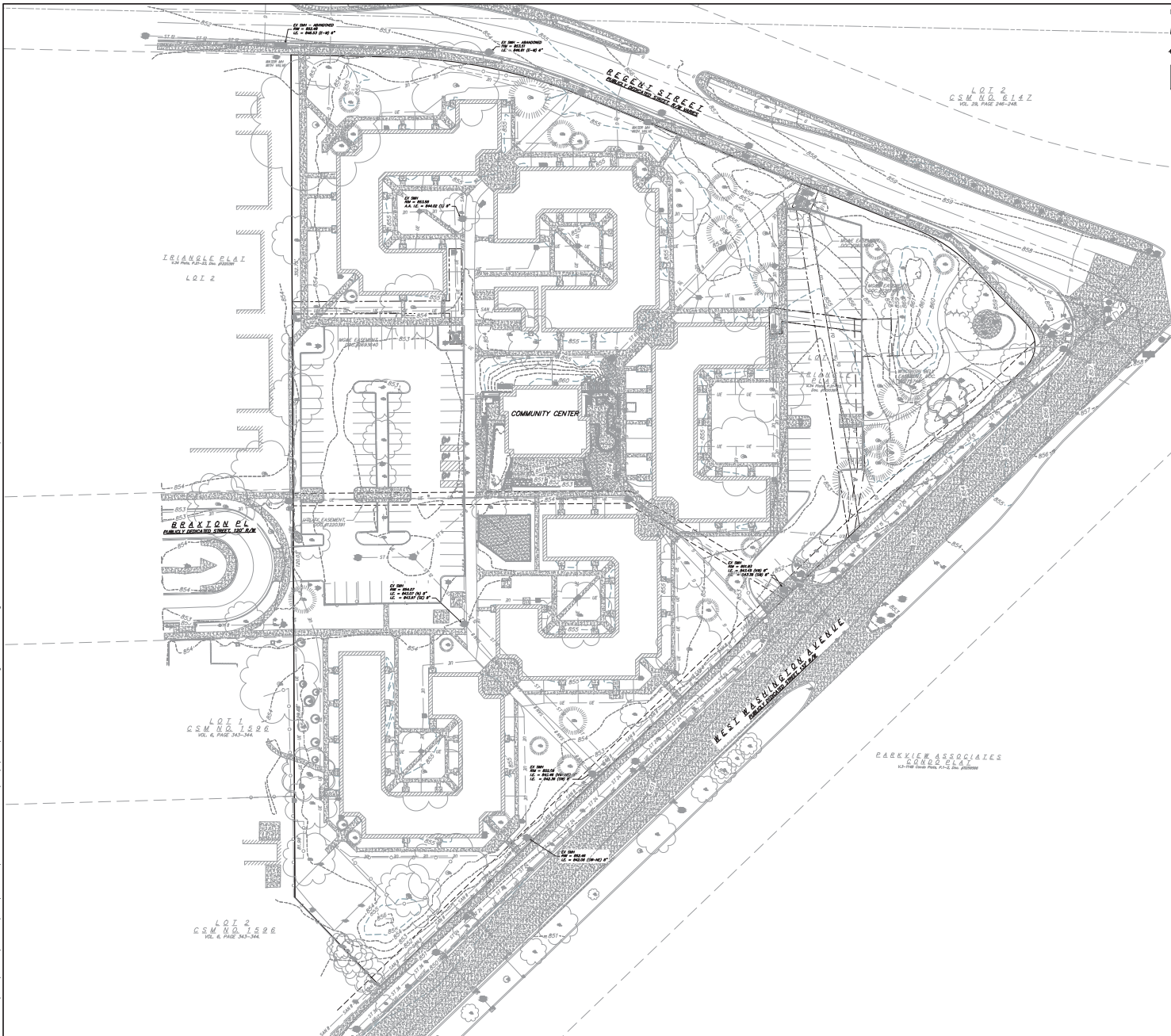


- NOTES:**
1. SEE SHEET 2 FOR EASEMENTS DETAIL.
 2. SEE SHEET 3 FOR IMPROVEMENTS AND BUILDING DETAIL.
 3. SEE SHEET 4 FOR SECTION TIE DETAIL.

07 Jul 2020 - 10:22p M:\Horizon Development Group\180310_Bayview\CADD\180310_CSM.dwg by: dgul

<p>planners engineers advisors</p> <p>Phone: (800) 261-3898</p>		FN: 180310 DATE: 07/07/2020	SURVEYED FOR: BAYVIEW FOUNDATION, INC. 5201 EAST TERRACE DRIVE, SUITE 300 MADISON, WI 53718	C.S.M. No. _____	SHEET 1 OF 7
		REV: Drafted By: DGUL Checked By: PKNU	PARKVIEW ASSOCIATES CONDO PLAT	Doc. No. _____	

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SHEET NOTES

LEGEND

- LIMITS OF CONSTRUCTION
- PROPERTY LINE
- RIGHT OF WAY
- EASEMENT
- 855--- EXISTING MAJOR CONTOUR
- 854--- EXISTING MINOR CONTOUR
- SAY--- SANITARY SEWER
- ST--- STORM SEWER
- WMA--- WATER MAIN
- G--- NATURAL GAS LINE
- EF--- ELECTRICAL LINE UNDERGROUND
- F0--- TELECOM LINE FIBER
- UF--- TELECOM LINE UNDERGROUND
- CLF--- EXISTING CHAIN LINK FENCE
- EXISTING TREES
- SPECIAL LIGHT
- LIGHT POLE
- FIRE HYDRANT
- SANITARY MANHOLE
- STORM STRUCTURE
- YARD DRAIN
- INLET
- TELECOMMUNICATION MANHOLE
- TELECOMMUNICATION VAULT
- ELECTRICAL MANHOLE
- TELECOM MANHOLE
- TELECOM STRUCTURE
- WATER VAULT
- NATURAL GAS MANHOLE
- C.O.
- COMBINED SEWER MANHOLE
- WATER MANHOLE WITH VAULT
- AIR CONDITIONER PED
- ▼ EXISTING SIGN

BAYVIEW REDEVELOPMENT
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 MADISON, WI 53715

SMITHGROUP

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ISSUED FOR	REV	DATE
CITY LANDUSE SUBMITTAL		03/04/2020
DESIGN DEVELOPMENT SET		10/02/2020
CITY RESUBMITTAL		10/05/2020

SEALS AND SIGNATURES

NOT FOR CONSTRUCTION

KEY PLAN PROJECT NORTH

DRAWING TITLE
EXISTING CONDITION

SCALE: 1"=40'

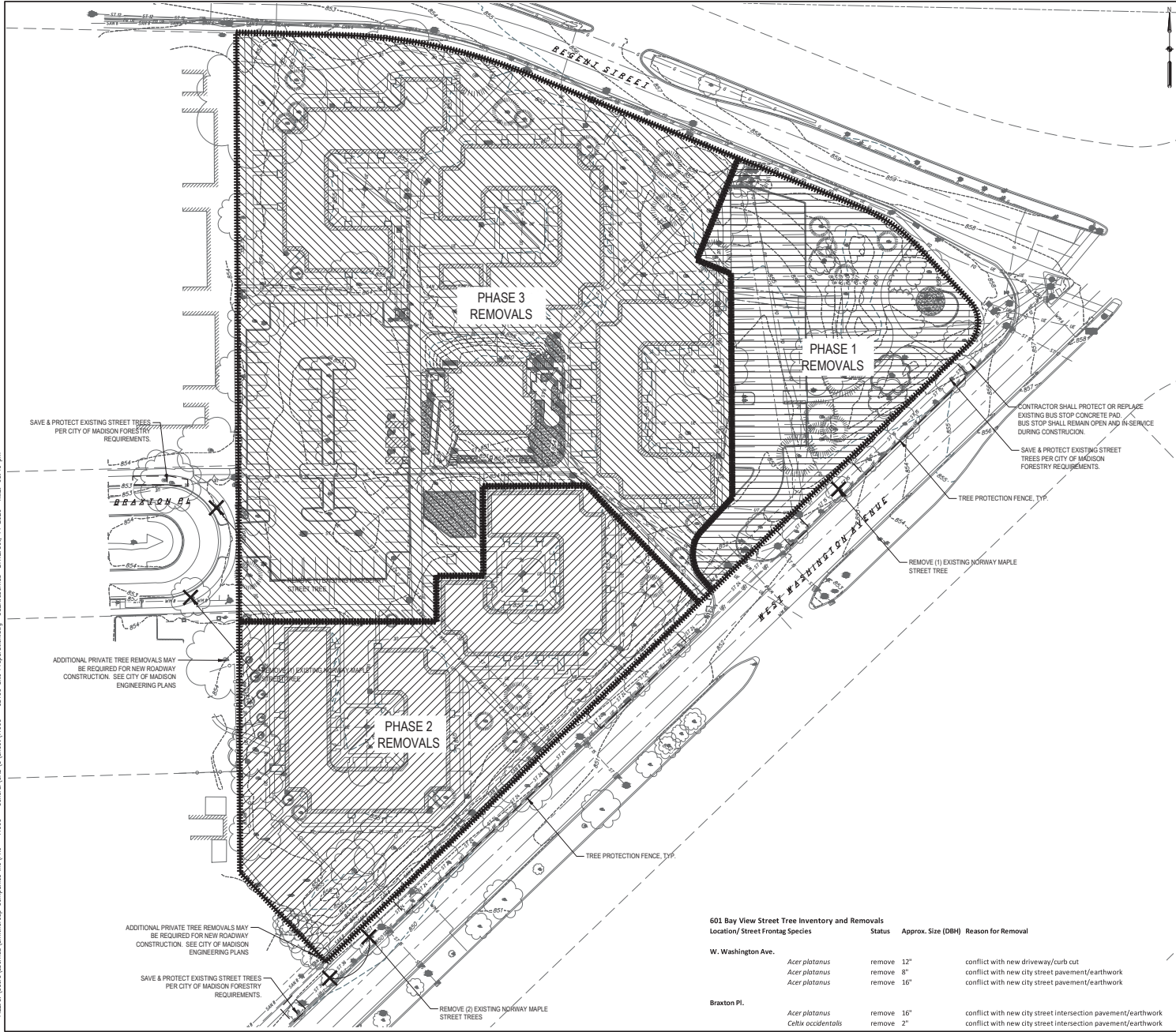
SCALE: 11669.000

PROJECT NUMBER

CV100

DRAWING NUMBER

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601 Bay View Street Inventory and Removals
 Location/ Street Frontage Species Status Approx. Size (DBH) Reason for Removal

Location/ Street Frontage	Species	Status	Approx. Size (DBH)	Reason for Removal
W. Washington Ave.	<i>Acer platanus</i>	remove	12"	conflict with new driveway/curb cut
	<i>Acer platanus</i>	remove	8"	conflict with new city street pavement/earthwork
	<i>Acer platanus</i>	remove	16"	conflict with new city street pavement/earthwork
Braxton Pl.	<i>Acer platanus</i>	remove	16"	conflict with new city street intersection pavement/earthwork
	<i>Celtis occidentalis</i>	remove	2"	conflict with new city street intersection pavement/earthwork

SHEET NOTES

- A. EXCEPT AS NOTED, EVERYTHING WITHIN THE LIMITS OF REMOVAL TO BE DEMOLISHED.
- B. CONTRACTOR SHALL OBTAIN EXCAVATE IN THE RIGHT-OF-WAY PERMIT FROM THE CITY PRIOR TO COMMENCING WORK.
- C. PRIOR TO INSTALLATION, CONTACT CITY OF MADISON FORESTRY TO COORDINATE CONSTRUCTION OBSERVATION.
- D. CONTRACTOR SHALL CONTACT CITY FORESTRY BRAD HORMANN BHORMANN@CITYOFMADISON.COM OR 268-4816 AT LEAST ONE WEEK PRIOR TO PLANTING STREET TREES TO SCHEDULE INSPECTING THE NURSERY STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER. SEE LP001 FOR PLANT SCHEDULE.
- E. ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 7-BUSINESS DAY REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
- F. AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (268-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS/CFM](https://www.cityofmadison.com/business/pw/specs/cfm)
- G. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREES. THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 268-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
- H. ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
- I. STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI A300 - PART 1 STANDARDS FOR PRUNING).
- J. IMPROVEMENTS DEPICTED IN THE RIGHT-OF-WAY ARE FOR INFORMATION ONLY. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

LEGEND

- PROPERTY LINE
- - - LIMITS OF CONSTRUCTION
- ===== LIMITS OF REMOVAL
- ☒ TREE REMOVAL
- ☒ TREE PROTECTION FENCE
- PROTECT
- △ SALVAGE
- △ RELOCATE
- x · x · x · x · x UTILITY REMOVAL
- +— CAP UTILITY
- x— CONSTRUCTION FENCE
- |— CONSTRUCTION ENTRANCE

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ISSUED FOR	REV	DATE
CITY LANDUSE SUBMITTAL		03/04/2020
DESIGN DEVELOPMENT SET		10/02/2020
CITY RESUBMITTAL		10/05/2020

SEALS AND SIGNATURES

NOT FOR CONSTRUCTION

KEY PLAN

PROJECT NORTH

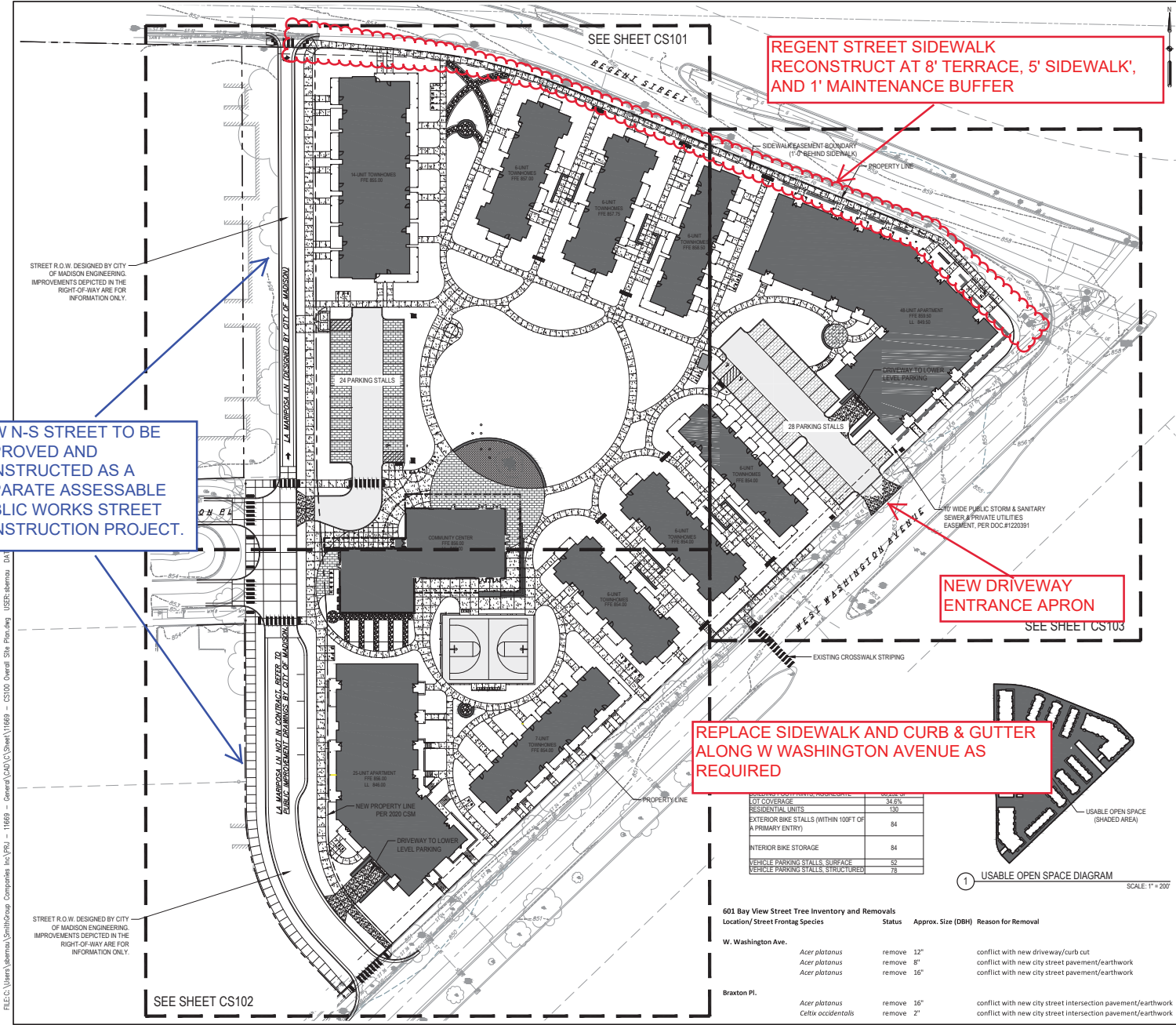
DRAWING TITLE
SITE PREPARATION PLAN

SCALE: 1"=40'

SCALE: 11669.000

PROJECT NUMBER
CD100

DRAWING NUMBER



- ### SHEET NOTES
- EXCEPT AS NOTED, EVERYTHING WITHIN THE LIMITS OF REMOVAL TO BE DEMOLISHED.
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 - ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
 - AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 3 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (268-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PWSPES.CFM](https://www.cityofmadison.com/business/pwspecs.cfm)
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 - SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPILLS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
 - ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERCTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
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 - IMPROVEMENTS DEPICTED IN THE RIGHT-OF-WAY ARE FOR INFORMATION ONLY. THE RIGHT-OF-WAY IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

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 MADISON, WI 53715

SMITHGROUP

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ISSUED FOR	REV	DATE
CITY LANDUSE SUBMITTAL		03/04/2020
DESIGN DEVELOPMENT SET		10/02/2020
CITY RESUBMITTAL		10/05/2020

SEALS AND SIGNATURES

NOT FOR CONSTRUCTION

LEGEND

- PROPERTY BOUNDARY
- ASPHALT PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- CONCRETE PAVEMENT
- PERMEABLE PAVERS
- PLAY SURFACING
- AGGREGATE PATH
- STANDARD CURB AND GUTTER
- CURB TRANSITION
- FLUSH CURB AND GUTTER
- CURB RAMP
- CONTROL JOINT
- ISOLATION (EXPANSION) JOINT
- SITE WALL
- LIGHT POLE
- VEHICULAR LIGHT POLE
- BOLLARD

SCALE: 1"=40'

601 Bay View Street Tree Inventory and Removals

Location / Street Frontage Species	Status	Approx. Size (DBH)	Reason for Removal
W. Washington Ave.	Acer platanus	remove 12"	conflict with new driveway/curb cut
	Acer platanus	remove 8"	conflict with new city street pavement/earthwork
	Acer platanus	remove 16"	conflict with new city street pavement/earthwork
Braxton Pl.	Acer platanus	remove 16"	conflict with new city street intersection pavement/earthwork
	Celtis occidentalis	remove 2"	conflict with new city street intersection pavement/earthwork



ITEM	QUANTITY
LOT COVERAGE	24.8%
RESIDENTIAL UNITS	130
EXTERIOR BIKE STALLS (WITHIN 100FT OF A PRIMARY ENTRY)	84
INTERIOR BIKE STORAGE	84
VEHICLE PARKING STALLS, SURFACE	52
VEHICLE PARKING STALLS, STRUCTURED	76

NEW N-S STREET TO BE APPROVED AND CONSTRUCTED AS A SEPARATE ASSESSABLE PUBLIC WORKS STREET CONSTRUCTION PROJECT.

REPLACE SIDEWALK AND CURB & GUTTER ALONG W WASHINGTON AVENUE AS REQUIRED

REGENT STREET SIDEWALK RECONSTRUCT AT 8' TERRACE, 5' SIDEWALK, AND 1' MAINTENANCE BUFFER

NEW DRIVEWAY ENTRANCE APRON

KEY PLAN

PROJECT NORTH

DRAWING TITLE: **OVERALL SITE PLAN**

SCALE: 1"=40'

SCALE: 11669.000

PROJECT NUMBER: **CS100**

DRAWING NUMBER

FILE: C:\Users\lberma\Documents\Company\Comp\601 Bay View\11669 - General CAD\CS100\Sheet\11669 - CS100_Overall_Site_Plan.dwg USER: lberma DATE:

STREET R.O.W. DESIGNED BY CITY OF MADISON ENGINEERING. IMPROVEMENTS DEPICTED IN THE RIGHT-OF-WAY ARE FOR INFORMATION ONLY.

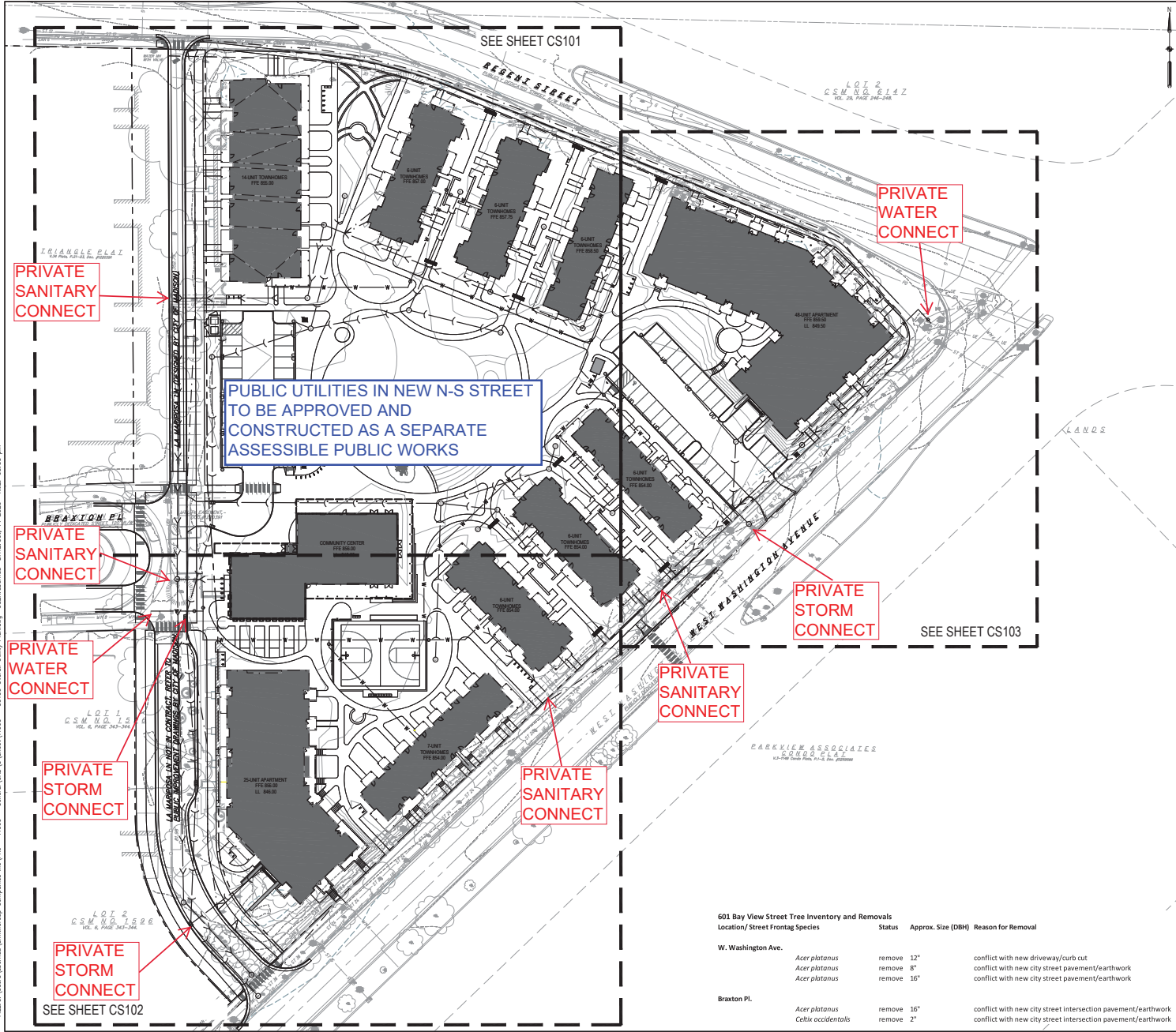
STREET R.O.W. DESIGNED BY CITY OF MADISON ENGINEERING. IMPROVEMENTS DEPICTED IN THE RIGHT-OF-WAY ARE FOR INFORMATION ONLY.

SEE SHEET CS102

SEE SHEET CS101

SEE SHEET CS103

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SHEET NOTES

1. PRIOR TO START OF PROJECT WORK, CONTRACTOR TO VERIFY ALL SITE CONDITIONS. PRESENT THE WORK PLAN AT THE OWNER'S PRE-CONSTRUCTION MEETING. DO NOT BEGIN PRIOR TO THE PRE-CONSTRUCTION MEETING AND WRITTEN AUTHORIZATION TO PROCEED IS ISSUED BY THE OWNER.
3. PRIOR TO THE COMMENCEMENT OF WORK, VERIFY LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY CONSTRUCTION AND TAKE RESPONSIBILITY FOR DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF CONSTRUCTION.
4. TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION, INCLUDING DAMAGES TO UTILITIES, WALLS, WALLS, DRIVES, CURBS, ETC.
5. SECURE ALL NECESSARY PERMITS AND NOTIFY ALL UTILITY COMPANIES WITH UTILITIES ON THE SITE PRIOR TO THE CONSTRUCTION OF THE PROJECT. ADHERE TO ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS OR REGULATIONS PERTAINING TO THE PROJECT.
6. REFER TO THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT SHOWN ON DRAWINGS.
7. DETAILS NOTED AS TYPICAL SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. WHERE NO SPECIFIC DETAIL IS SHOWN, THE CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION ON THIS PROJECT.
8. TAKE NOTE OF ALL GRADING AND DRAINAGE WAYS AND MAINTAIN THESE DRAIN WAYS FLOWS FREE OF OBSTRUCTIONS.
14. ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES.
15. COORDINATE WORK OF SUBCONTRACTORS AND ALL OTHER CONTRACTORS TO ENSURE ORDERLY AND EFFICIENT COMPLETIONS OF ALL WORK.
16. IF CONTRACTOR USES PLASTIC PIPE, CONCRETE ENDWALL SHALL BE JOINT TIED TO (1) PIPE LENGTH OF RCP USING WOOD PIPE TIES AND THE TRANSITIONED TO HDPE USING MACWRAP JOINT CONNECTOR TO CONNECT RCP AND HDPE PIPE. IF CONTRACTOR CHOOSES TO USE ALL RCP, THE LAST 3 JOINTS SHALL BE CONNECTED USING WOOD PIPE TIES. COST ASSOCIATED WITH HDPE-RCP CONNECTION TO BE INCLUDED IN APRON END WALL UNIT PRICING.
17. SIDEWALK AND LANE CLOSURE DETAILS, SEE CITY SDD 6.36 AND 6.33.
18. UTILITY ROUTING AND STRUCTURES SHOWN ARE PRELIMINARY. ADDITIONAL STRUCTURES, INLETS, VALVES MAY BE REQUIRED AS DESIGN ADVANCES.
19. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
20. SANITARY SEWER MANHOLES TO INCLUDE A 0.10' DROP BETWEEN INLET AND OUTLET PIPES.
21. ALL CURB AND GUTTER STORM SEWER INLETS TO INCLUDE FLOODGARD OIL AND GREASE FILTERS.

LEGEND

- PROPOSED STORM SEWER
- STORM SEWER ACCESS STRUCTURE
- STORM SEWER CURB INLET
- STORM SEWER END SECTION
- PROPOSED SANITARY ACCESS STRUCTURE
- Y— PROPOSED SANITARY SEWER
- E— PROPOSED ELECTRICAL SERVICE
- W— PROPOSED WATER SERVICE
- G— PROPOSED GAS SERVICE
- T— PROPOSED TELECOMM SERVICE
- — — NEW UTILITY EASEMENT

601 Bay View Street Tree Removal and Replacements

Location/Street Frontage Species	Status	Approx. Size (DBH)	Reason for Removal
W. Washington Ave.	Acer platanus	remove 12"	conflict with new driveway/curb cut
	Acer platanus	remove 8"	conflict with new city street pavement/earthwork
	Acer platanus	remove 16"	conflict with new city street pavement/earthwork
Braxton Pl.	Acer platanus	remove 16"	conflict with new city street intersection pavement/earthwork
	Celtis occidentalis	remove 2"	conflict with new city street intersection pavement/earthwork

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ISSUED FOR: _____ REV: _____ DATE: _____

CITY LANDUSE SUBMITTAL	REV	DATE
DESIGN DEVELOPMENT SET	03/04/2020	10/02/2020
CITY RESUBMITTAL	10/05/2020	

SEALS AND SIGNATURES

NOT FOR CONSTRUCTION

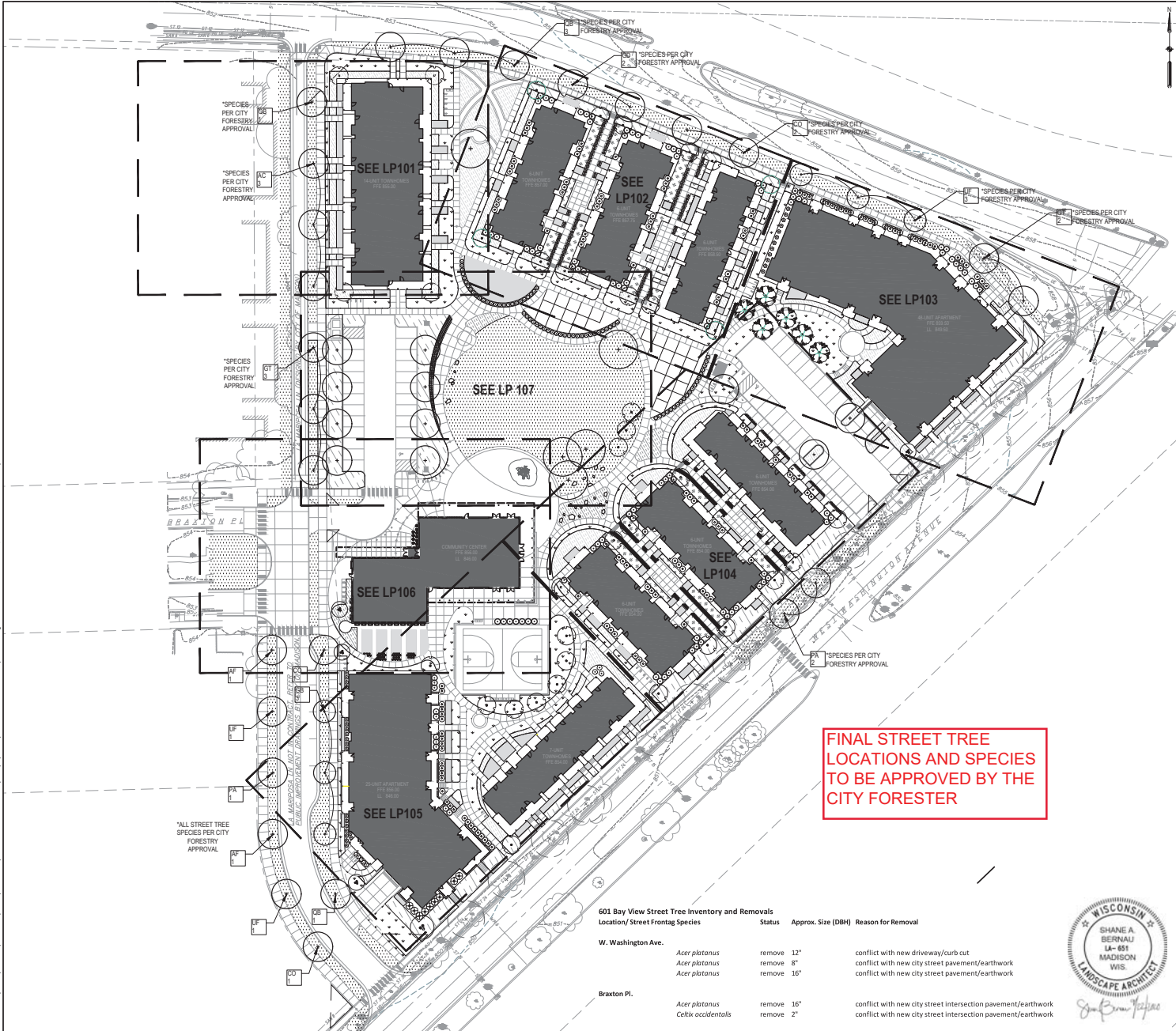
KEY PLAN

DRAWING TITLE
OVERALL UTILITY PLAN

SCALE: 1"=40'

SCALE: 11669.000
PROJECT NUMBER: **CU100**
DRAWING NUMBER

FILE C:\Users\sherman\OneDrive\Documents\11669 - General\CAD\CAD\Drawn\11669 - LP101 Landscape Plan.dwg USER: sherman DATE: Oct 14 2020 TIME: 06:02 pm



601 Bay View Street Tree Inventory and Removals

Location/Street Frontage	Species	Status	Approx. Size (DBH)	Reason for Removal
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Braxton Pl.	<i>Acer platanus</i>	remove	16"	conflict with new city street intersection pavement/earthwork
	<i>Celtis occidentalis</i>	remove	2"	conflict with new city street intersection pavement/earthwork



SHEET NOTES

- ALL PLANTING BEDS TO RECEIVE 3" DEPTH SHREDDED HARDWOOD BARK MULCH. SEE SPECIFICATIONS. VOIDS IN PLANTINGS AROUND BUILDING FOUNDATIONS SHALL RECEIVE 3" MIN. DEPTH MULCH.
- SEE SOIL PREPARATION SPECIFICATION FOR PREPARING THE SITE PRIOR TO PLANTING.
- PRIOR TO INSTALLATION, CONTACT CITY OF MADISON FORESTRY TO COORDINATE CONSTRUCTION OBSERVATION.
- CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (536-4833) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM.
- TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY PRIOR TO THE START OF CONSTRUCTION.
- ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST A 72 HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY. TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.
- CONTRACTOR SHALL CONTACT CITY FORESTRY BRAD HOFMANN (BHOFRMANN@CITYOFMADISON.COM OR 266-4836 AT LEAST ONE WEEK PRIOR TO PLANTING TO SCHEDULE INSPECTING THE NURSERY STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER. SEE LP003 FOR PLANT SCHEDULE.
- IMPROVEMENTS DEPICTED IN THE RIGHT-OF-WAY ARE FOR INFORMATION ONLY. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

LEGEND

- EXISTING TREES
- SOIL LAWN
- NO MOW FESCUE SEED MIX
- PLANT MATRIX 1
- PLANT MATRIX 2
- PLANT MATRIX 3
- PLANT MATRIX 4
- PLANTING BY OWNER

BAYVIEW REDEVELOPMENT
601 BAY VIEW
MADISON, WI 53715

SMITHGROUP
44 EAST MIFFLIN STREET
SUITE 500
MADISON, WI 53703
608.251.1177
www.smithgroup.com

ISSUED FOR	REV	DATE
CITY LANDUSE SUBMITTAL		03/04/2020
DESIGN DEVELOPMENT SET		10/02/2020
CITY RESUBMITTAL		10/05/2020

SEALS AND SIGNATURES

NOT FOR CONSTRUCTION

KEY PLAN

DRAWING TITLE
LANDSCAPE PLAN

SCALE
SCALE: 1"=40'

PROJECT NUMBER
11669.000

DRAWING NUMBER
LP100