



STATE STREET CAMPUS GARAGE MIXED-USE

415 N. LAKE STREET
MADISON, WI 53715



DESIGN DEVELOPMENT PHASE 1

07.28.2023

PROJECT NUMBER: 720448

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NOTE:
 RENDERINGS ARE TO
 INDICATE DESIGN
 INTENT ONLY.

PROJECT INFORMATION

STATE STREET
 CAMPUS GARAGE
 MIXED-USE

415 N. LAKE STREET
 MADISON, WI 53715

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
08/08/2023	SCHEMATIC DESIGN PER
07/28/2023	DESIGN DEVELOPMENT PER

KEY PLAN

SHEET INFORMATION

**PROGRESS DOCUMENTS
 NOT FOR CONSTRUCTION**
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PROJECT MANAGER MO
 PROJECT NUMBER 720448

EXTERIOR
 RENDERINGS

A2100-1



C1 SOUTHWEST VIEW
 NTS



A1 STREETScape VIEW
 NTS

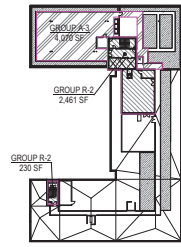


A4 NORTHWEST VIEW
 NTS

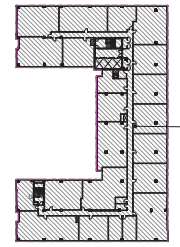
AREA SCHEDULE

NAME	AREA
GROUP A-3	4,875.78 SF
GROUP B	14,594.58 SF
GROUP B-2	26,514.73 SF
GROUP S-2	226,985.03 SF
AREA 16 GROSS FLOOR AREA	243,335.18 SF

AREA 16 GROSS FLOOR AREA



17 TOP OF ROOF
T = 92'-0"



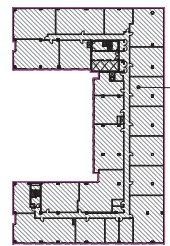
16 15TH FLR
T = 92'-0"



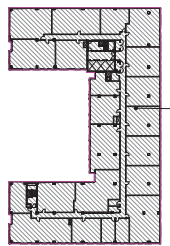
15 14TH FLR
T = 92'-0"



14 13TH FLR
T = 92'-0"



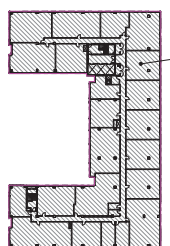
13 12TH FLR
T = 92'-0"



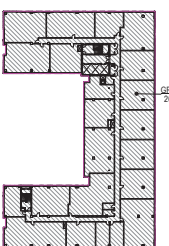
12 11TH FLR
T = 92'-0"



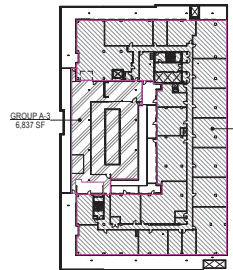
11 10TH FLR
T = 92'-0"



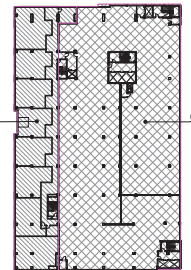
10 9TH FLR
T = 92'-0"



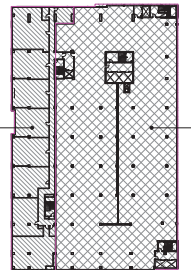
9 8TH FLR
T = 92'-0"



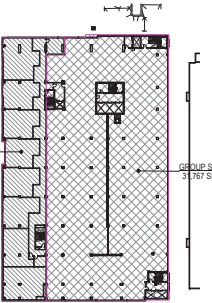
8 7TH FLR
T = 92'-0"



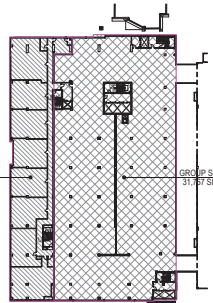
7 P6 FLR OCCUPANCY CLASSIFICATION
T = 92'-0"



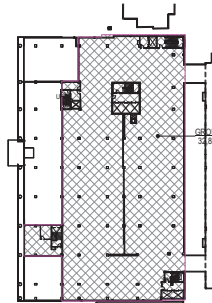
6 P5 FLR OCCUPANCY CLASSIFICATION
T = 92'-0"



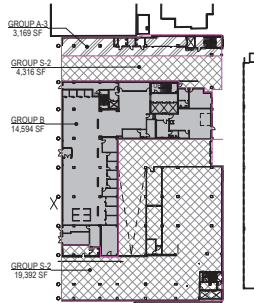
5 P4 FLR OCCUPANCY CLASSIFICATION
T = 92'-0"



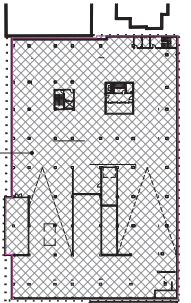
4 P3 FLR OCCUPANCY CLASSIFICATION
T = 92'-0"



3 P2 FLR OCCUPANCY CLASSIFICATION
T = 92'-0"



2 1ST FLR OCCUPANCY CLASSIFICATION
T = 92'-0"



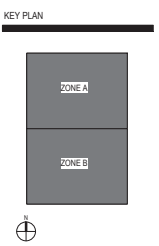
1 LL OCCUPANCY CLASSIFICATION
T = 92'-0"

PROJECT INFORMATION
**STATE STREET
CAMPUS GARAGE
MIXED-USE**

D 415 N. LAKE STREET
MADISON, WI 53715

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
08/03/2023	SCHEMATIC DESIGN PH2
09/12/2023	SCHEMATIC DESIGN PH2
07/28/2023	DESIGN DEVELOPMENT PH1



SHEET INFORMATION
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PROJECT MANAGER MO
PROJECT NUMBER 720448

CODE CALCS
G4002
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EXTERIOR MATERIAL

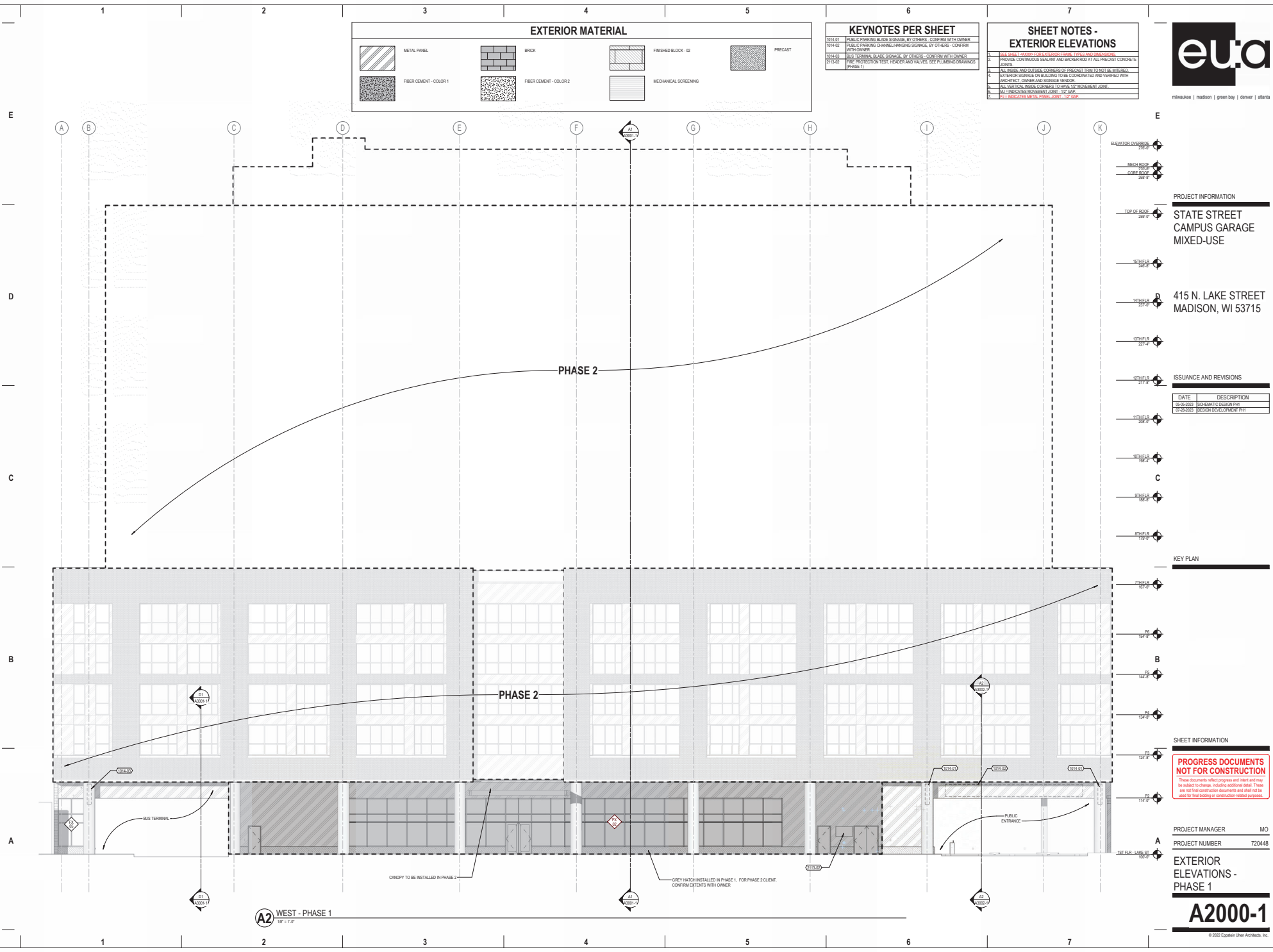


KEYNOTES PER SHEET

- 0104-01 PUBLIC PARKING BLACK SIGNAGE BY OTHERS - CONFIRM WITH OWNER
- 0104-02 PUBLIC PARKING CHARNER/PARKING SIGNAGE BY OTHERS - CONFIRM WITH OWNER
- 0104-03 BEST TERMINAL BLACK SIGNAGE BY OTHERS - CONFIRM WITH OWNER
- 0113-02 FIRE PROTECTION TEST, HEADER AND VALVE. SEE PLUMBING DRAWINGS (PHASE 1)

SHEET NOTES - EXTERIOR ELEVATIONS

- 1. SEE SHEET A2000-01 FOR EXTERIOR FINISH, TILES AND ACCESSORIES.
- 2. PROVIDE CONTINUOUS SEALANT AND BACKER ROD AT ALL PRECAST CONCRETE JOINTS.
- 3. ALL INSIDE AND OUTSIDE CORNERS OF PRECAST ITEM TO NOT BE FINISHED.
- 4. EXTERIOR SIGNAGE ON THIS DRAWING TO BE COORDINATED WITH VENDOR'S ARCHITECT, OWNER AND SIGNAGE VENDOR.
- 5. ALL VERTICAL FINISH CORNERS TO HAVE 1/2" RADIUS MINIMUM.
- 6. ALL WALLS TO BE FINISHED WITH 1/2" GYP.



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07/28/2023	SCHEMATIC DESIGN SET
07/28/2023	DESIGN DEVELOPMENT SET

KEY PLAN

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PROJECT MANAGER MO
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EXTERIOR ELEVATIONS - PHASE 1

A2000-1

A2 WEST - PHASE 1
1/8" = 1'-0"



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EXTERIOR MATERIAL

	METAL PANEL		BRICK		FINISHED BLOCK - 02		PRECAST
	FIBER CEMENT - COLOR 1		FIBER CEMENT - COLOR 2		MECHANICAL SCREENING		

KEYNOTES PER SHEET

0005.11 CONCRETE MASONRY UNITS - ACCENT COLOR

SHEET NOTES - EXTERIOR ELEVATIONS

1. SEE SHEET 0005.07 FOR ELEVATION TILES, TILES AND CONDITIONS.
2. PROVIDE CONTINUOUS SEALANT AND BACKER ROD AT ALL PRECAST CONCRETE JOINTS.
3. ALL INSIDE AND OUTSIDE CORNERS OF PRECAST TILES TO NOT BE MITERED.
4. EXTERIOR FINISHES TO BE SUBMITTED TO BE COORDINATED WITH VENDOR'S ARCHITECT, OWNER AND SIGNAGE VENDOR.
5. ALL VERTICAL FINISHES CORNERS TO HAVE 1" RADIUS JOINT.
6. ALL INDICATED MOVEMENT JOINTS - 1/2" GAP.
7. ALL INDICATED PANEL JOINTS - 1/2" GAP.

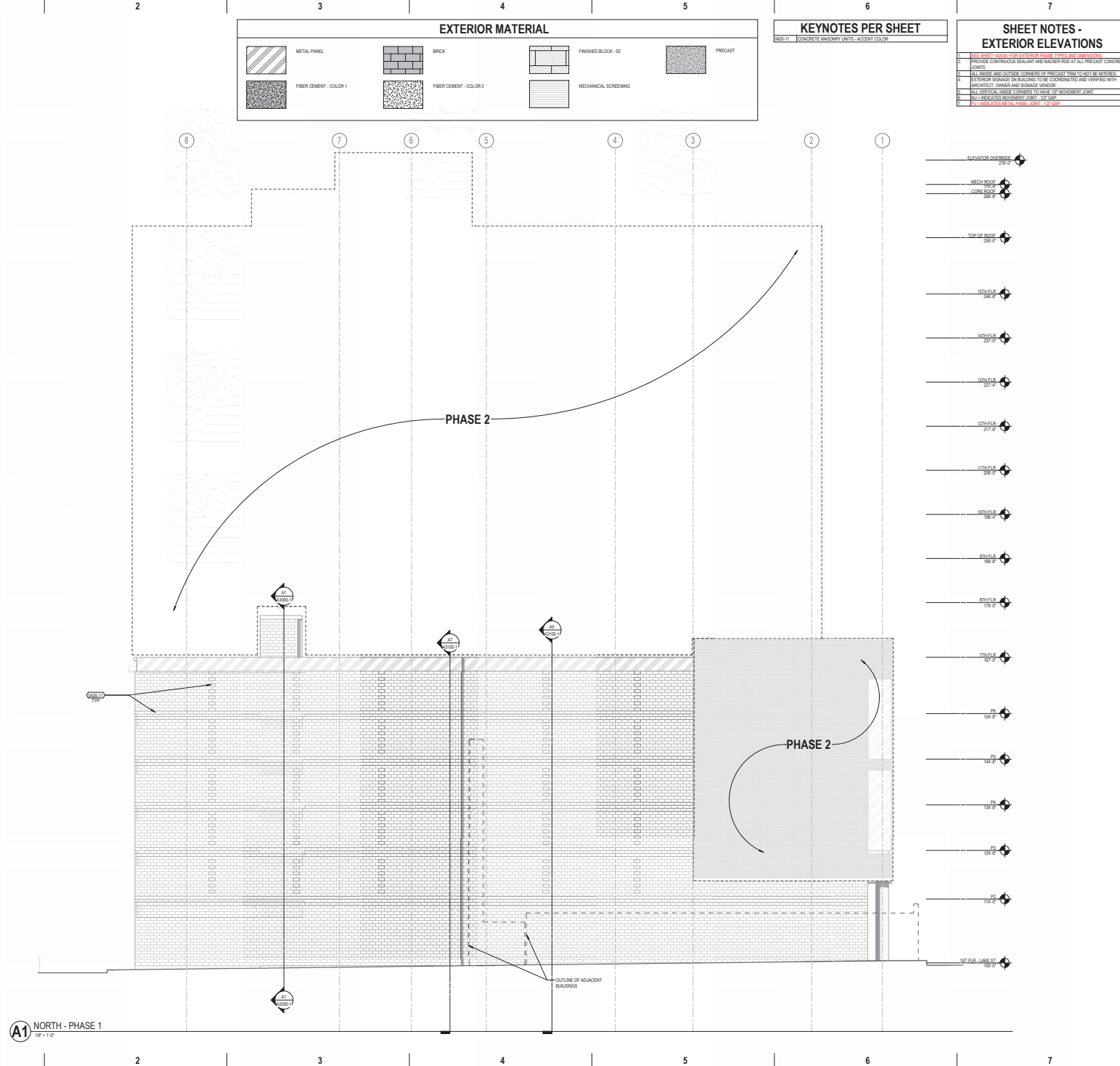
E

D

C

B

A



A1 NORTH - PHASE 1
1/8" = 1'-0"

PROJECT INFORMATION
**STATE STREET
CAMPUS GARAGE
MIXED-USE**

D 415 N. LAKE STREET
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PROJECT MANAGER MO
PROJECT NUMBER 720448

EXTERIOR
ELEVATIONS -
PHASE 1

A2001-1

EXTERIOR MATERIAL

	METAL PANEL		BRICK		FINISHED BLOCK - 02		PRECAST
	FIBER CEMENT - COLOR 1		FIBER CEMENT - COLOR 2		MECHANICAL SCREENING		

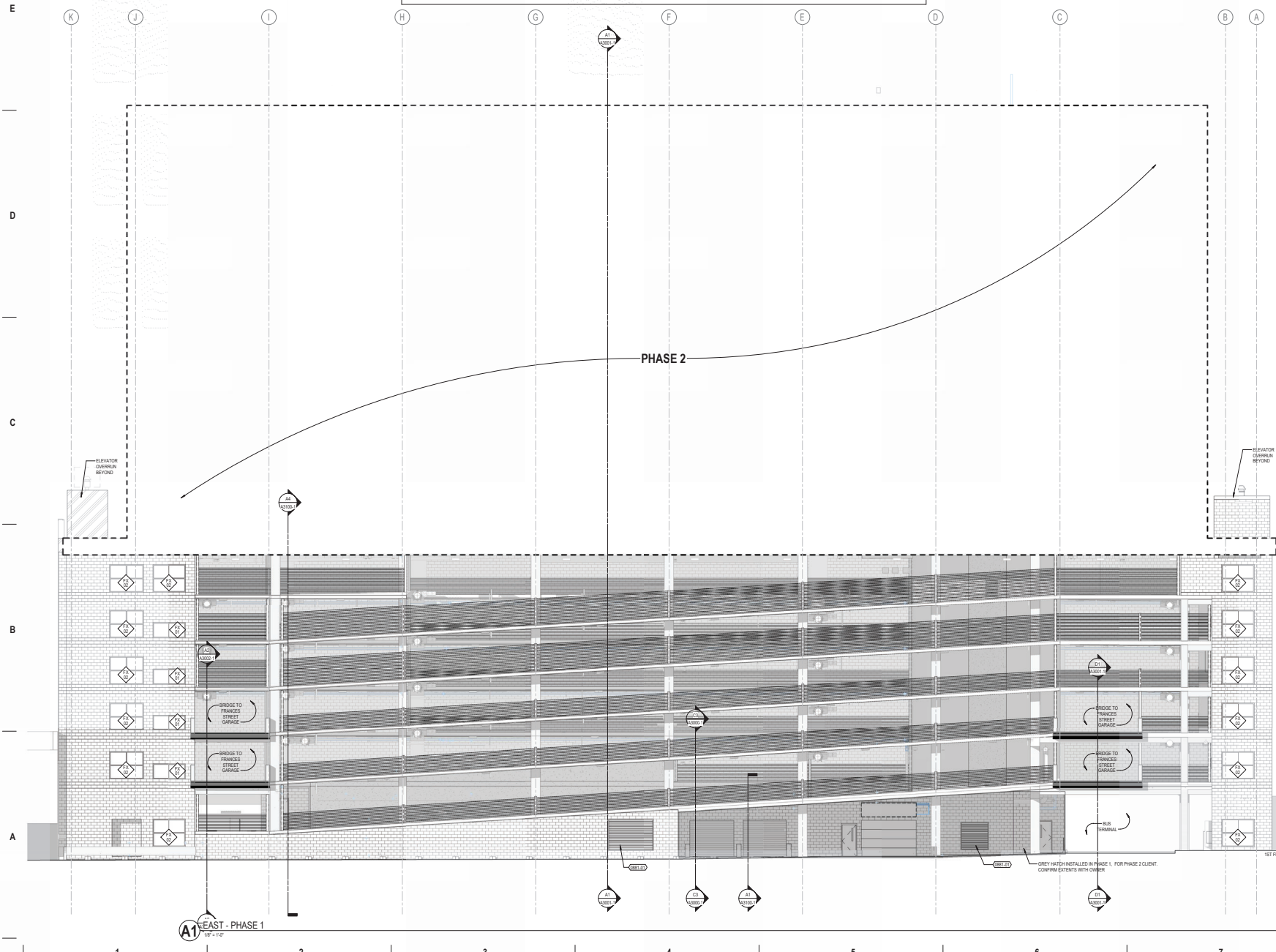
KEYNOTES PER SHEET
 0001.01 COVER - VERIFY SIZE WITH HVAC DRAWINGS

SHEET NOTES - EXTERIOR ELEVATIONS

- SEE 0001.01-0001.04 FOR ELEVATION TILES, TILES AND JOINTS.
- PROVIDE CONTINUOUS SEALANT AND BACKER ROD AT ALL PRECAST CONCRETE JOINTS.
- ALL INSIDE AND OUTSIDE CORNERS OF PRECAST TILES TO NOT BE MITERED.
- EXTERIOR FINISHES TO BE SUBMITTED TO BE COORDINATED WITH VENDOR'S ARCHITECT, OWNER AND SIGNAGE VENDOR.
- ALL VERTICAL FINISHES CORNER TO CORNER TO ADJACENT ZONE.
- SEE 0001.05 FOR MOVEMENT JOINT - 1/2" GAP.
- SEE 0001.06 FOR PANEL JOINT - 1/2" GAP.



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MED. ROOF 208'-0"
 CORN. ROOF 208'-0"

TOP OF ROOF 208'-0"

15TH FL. 202'-0"

14TH FL. 202'-0"

13TH FL. 202'-0"

12TH FL. 202'-0"

11TH FL. 202'-0"

10TH FL. 202'-0"

9TH FL. 202'-0"

8TH FL. 202'-0"

7TH FL. 202'-0"

6TH FL. 202'-0"

5TH FL. 202'-0"

4TH FL. 202'-0"

3RD FL. 202'-0"

2ND FL. 202'-0"

1ST FL. 202'-0"

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 MADISON, WI 53715

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07/28/2023	DESIGN DEVELOPMENT PLAN

KEY PLAN

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PROJECT MANAGER MO

PROJECT NUMBER 720448

EXTERIOR
 ELEVATIONS -
 PHASE 1

A2002-1



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EXTERIOR MATERIAL

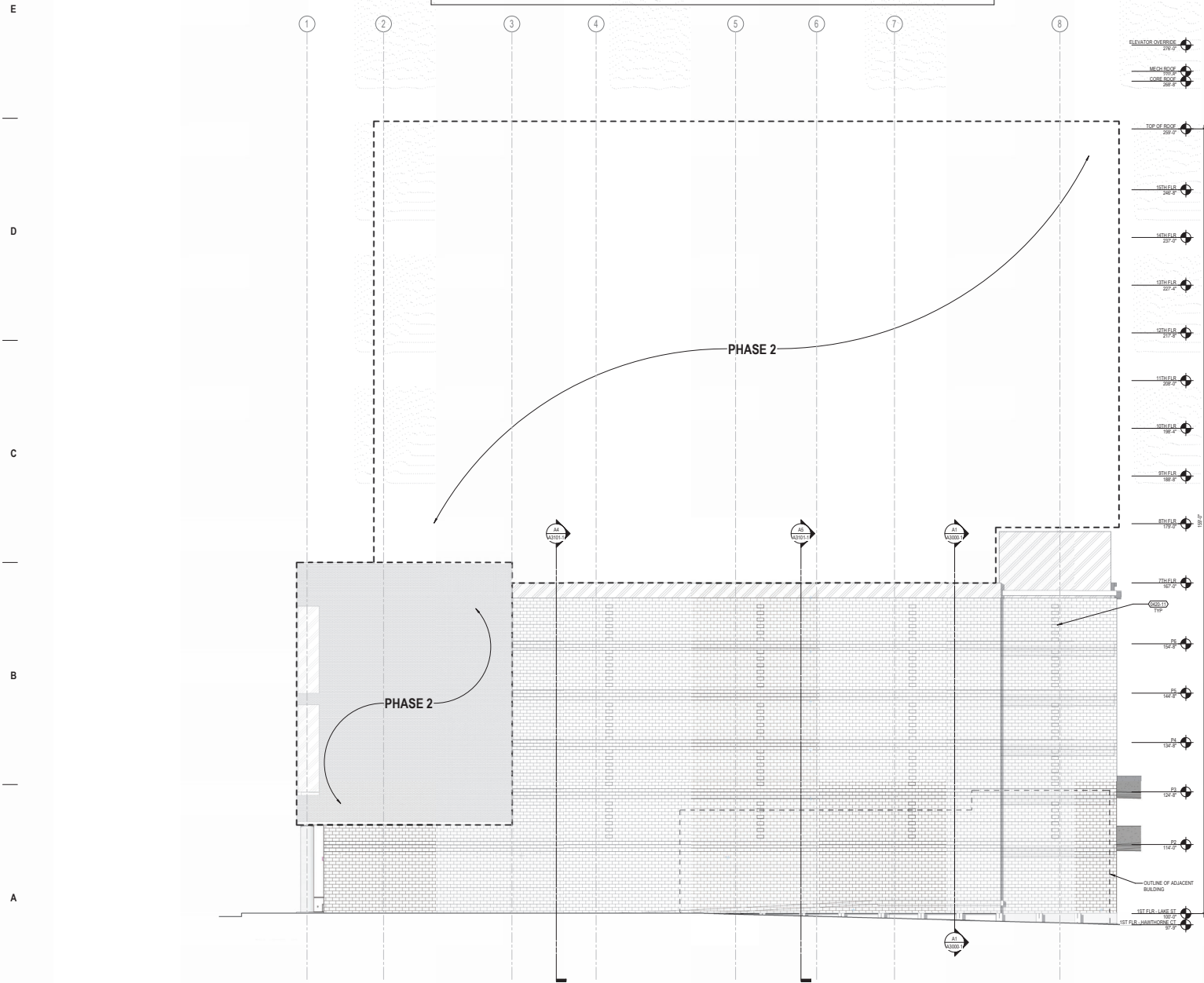
	METAL PANEL		BRICK		FINISHED BLOCK - 02		PRECAST
	FIBER CEMENT - COLOR 1		FIBER CEMENT - COLOR 2		MECHANICAL SCREENING		

KEYNOTES PER SHEET

000-11 CONCRETE MASONRY UNITS - ACCENT COLOR

SHEET NOTES - EXTERIOR ELEVATIONS

1. SEE SHEET 000-02 FOR ELEVATION TILES, TILES AND CONDITIONS.
2. PROVIDE CONTINUOUS SEALANT AND BACKER ROD AT ALL PRECAST CONCRETE JOINTS.
3. ALL INSIDE AND OUTSIDE CORNERS OF PRECAST TILES TO NOT BE MITERED.
4. EXTERIOR CORNERS ON BUILDING TO BE COORDINATED WITH VERTICAL WITH ARCHITECT, OWNER AND SIGNAGE VENDOR.
5. ALL VERTICAL FINISH CORNERS TO HAVE 1/2" ADJUSTMENT JOINT.
6. ALL INDICATED MOVEMENT JOINTS - 1/2" GAP.
7. ALL INDICATED MOVEMENT JOINTS - 1/2" GAP.



A2 SOUTH - PHASE 1
1/8" = 1'-0"

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07/28/2023	DESIGN DEVELOPMENT SET

KEY PLAN

SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

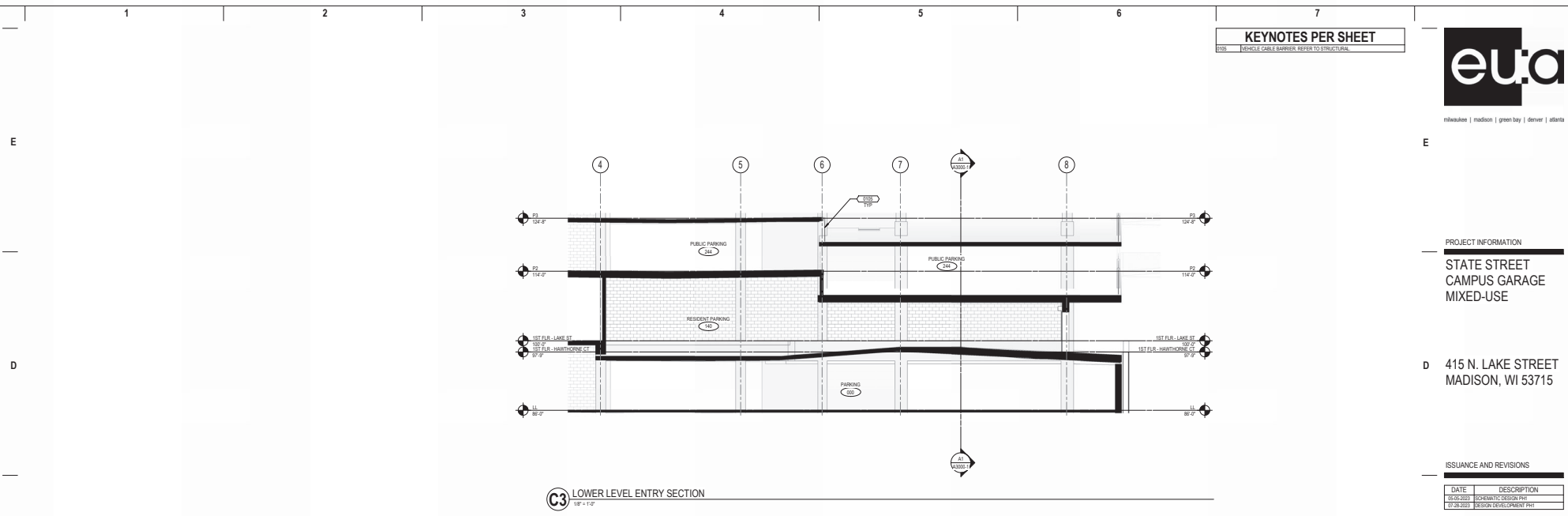
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PROJECT MANAGER MO
PROJECT NUMBER 720448

EXTERIOR
ELEVATIONS -
PHASE 1

A2003-1

KEYNOTES PER SHEET
 005 VEHICLE CABLE BARRIER, REFER TO STRUCTURAL



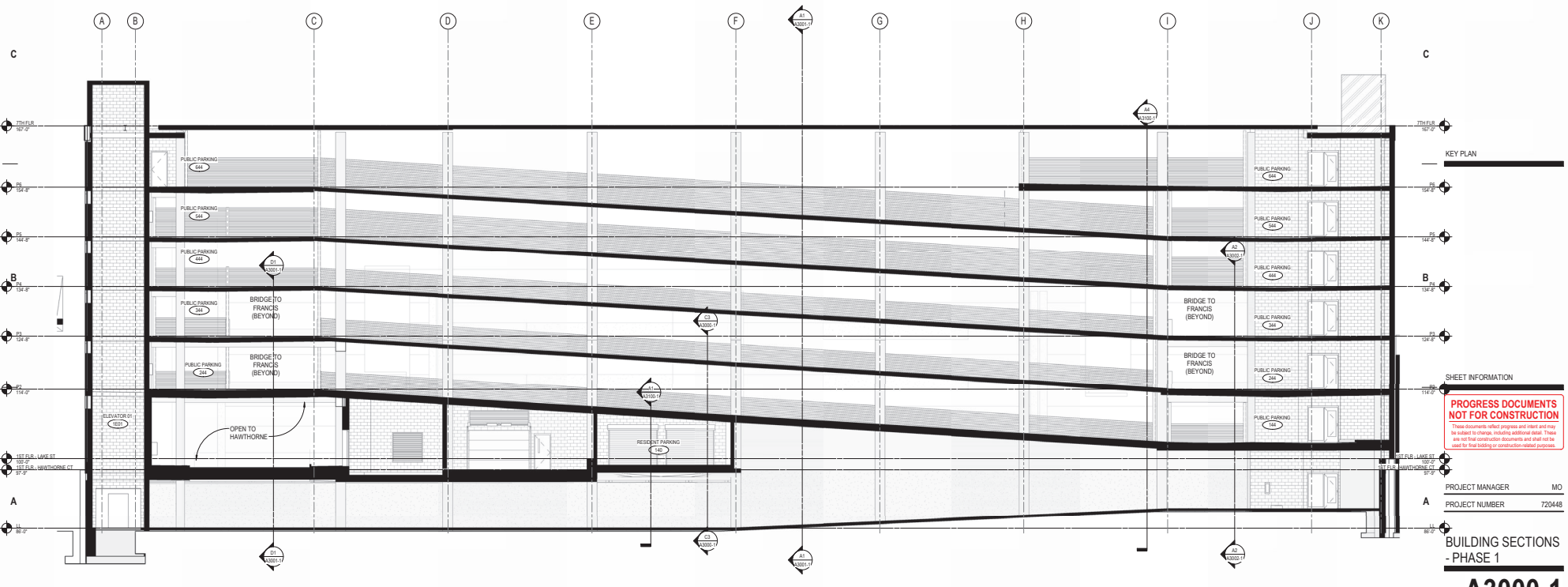
C3 LOWER LEVEL ENTRY SECTION
 1/8" = 1'-0"

PROJECT INFORMATION
 STATE STREET
 CAMPUS GARAGE
 MIXED-USE

D 415 N. LAKE STREET
 MADISON, WI 53715

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
06/20/2023	EXHIBIT DESIGN PER
07/28/2023	DESIGN DEVELOPMENT PER



A1 NORTH-SOUTH SECTION LOOKING EAST - PHASE 1
 1/8" = 1'-0"

KEY PLAN

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PROJECT MANAGER MO
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BUILDING SECTIONS - PHASE 1

A3000-1

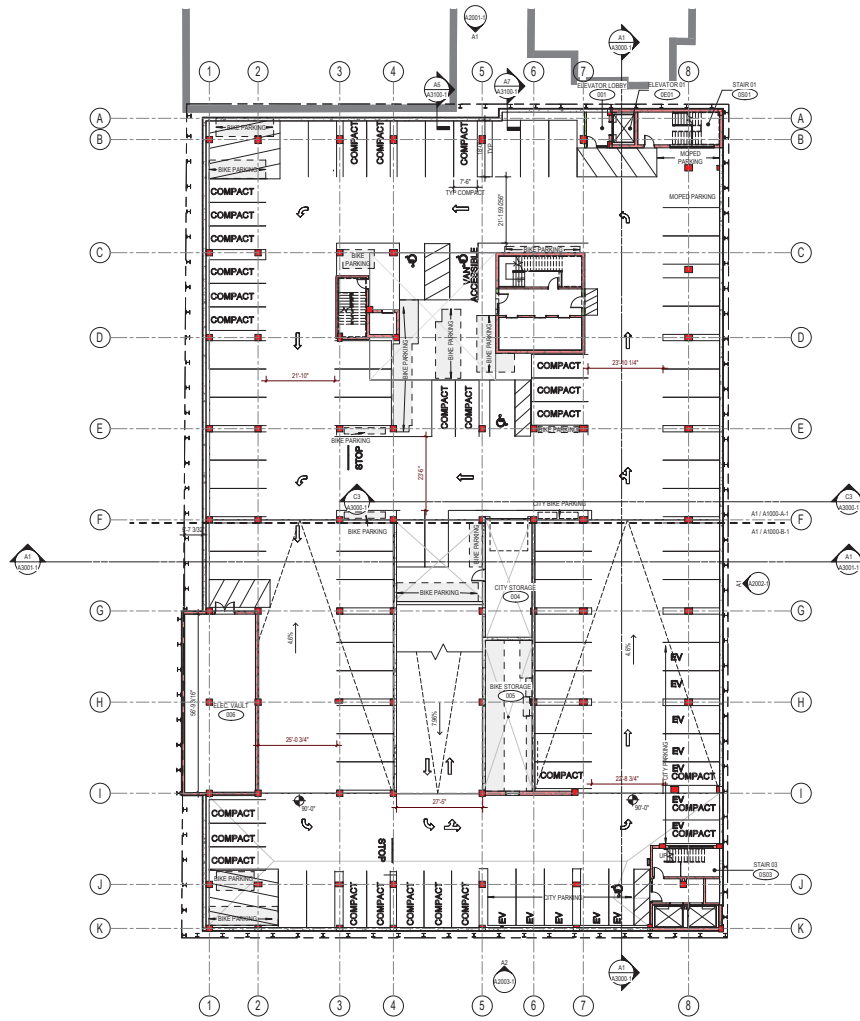
E

D

C

B

A



SHEET NOTES - FLOOR PLAN

1. BEFORE BEGINNING WORK, VERIFY THE EXISTENCE AND LOCATION OF PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS AND OTHER CONSTRUCTION AFFECTING THE WORK. IF DISCREPANCIES ARE DISCOVERED, NOTIFY ARCHITECT PROMPTLY.
2. NOTIFY ARCHITECT IMMEDIATELY OF ANY DIMENSIONAL OR ALIGNMENT DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.
3. VERIFY STRUCTURAL ELEMENTS, INCLUDING BUT NOT LIMITED TO POST TENSION CABLES OR OTHER REINFORCEMENT EMBEDDED IN FLOOR SLABS PRIOR TO CORING OR CUTTING. COORDINATE VERIFICATION METHOD WITH OWNER.
4. REFER TO SHEET A1000-2 FOR REFERENCED PARTITION TYPES AND DETAILS.
5. ALL WALLS UNLESS SPECIFIED OR INDICATED TO PLUMBING/FIRES SHALL RECEIVE MOISTURE AND MOLD-RESISTANT GYPSUM BOARD, UNLESS NOTED OTHERWISE.
6. SEE ENLARGED FLOOR PLANS FOR ADDITIONAL NOTES, DIMENSIONS AND WALL TAGS.
7. REPAIR PATCH AND CLEAN ALL EXISTING SURFACES SCHEDULED TO REMAIN THAT ARE AFFECTED BY DEMOLITION OR NEW CONSTRUCTION. MAKE APPEARANCE MATCHING ADJACENT CONSTRUCTION. PREPARE ALL SURFACES AS REQUIRED FOR SCHEDULED FINISHES. SKIM COAT AND PREPARE ALL DAMAGED OR DAMAGED SURFACES.
8. LOCATE ALL DOOR JAMBS 4" FROM ADJACENT PERPENDICULAR WALL, UNLESS NOTED OTHERWISE.
9. WORK REQUIRED FOR FIRE SPRINKLERS, PLUMBING, HVAC, ELECTRICAL AND LIFE SAFETY ARE NOT FULLY REPRESENTED ON THESE PLANS. THE DESIGN OF THE FULL SCOPE OF WORK FOR FIRE SPRINKLERS, PLUMBING, HVAC, ELECTRICAL AND LIFE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHOULD BE COORDINATED AND APPROVED BY THE OWNER. ANY INFORMATION SHOWN ON THE ARCHITECTURAL DRAWINGS RELATED TO THOSE DISCIPLINES ARE INTENDED FOR GENERAL REFERENCE ONLY.
10. FINISH FLOOR LEVELS ARE SHOWN FOR BOTH SURFACE FINISHES. PATCH EXISTING PENETRATIONS AND ANOMALIES IN CONCRETE FLOOR.
11. PROVIDE BLOOMING BEFORE FUTURE GRAB BAR LOCATIONS IN ALL UNITS PER AND A1117. ALL UNITS ARE A1117 TYPE A UNITS. SEE SHEET A001 FOR MORE INFORMATION.
12. PROVIDE BLOOMING AND FRAMING AS INDICATED AND AS REQUIRED TO SUPPORT FLOOR MATERIALS. FINISHES SPECIALLY FORM, MILLWORK AND TRIM.
13. PROVIDE 3/4" THICK REINFORCED TREATED WOOD AS BACKING PANELS FOR TELEPHONE & ELECTRICAL EQUIPMENT INSTALL AT 1' AFF TO FINISHED CEILING PLANT TO WOOD TO MATCH EXISTING WALL FINISH. COORDINATE FINAL SIZE AND LOCATION WITH OWNER.

- DIMENSIONING NOTES**
17. INTERIOR METAL STUD WALLS ARE DIMENSIONED TO FINISHED FACE OF GYPSUM BOARD UNLESS NOTED OTHERWISE.
 18. EXTERIOR METAL STUD WALLS ARE DIMENSIONED TO EXTERIOR FACE OF STUD UNLESS NOTED OTHERWISE.
 19. SHAPED WALLS ARE DIMENSIONED TO FACE OF CMU.
- WALL NOTES**
20. WALL CORNER WALLS ARE 8x8x11 UNLESS NOTED OTHERWISE.
 21. WALL CORNER WALLS ARE 8x8x11 UNLESS NOTED OTHERWISE.
 22. WALL WALLS WITH UNITS ARE 8x8x11 UNLESS NOTED OTHERWISE.

KEYNOTES PER SHEET



PROJECT INFORMATION

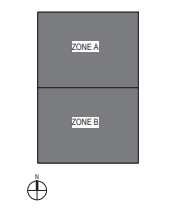
STATE STREET
CAMPUS GARAGE
MIXED-USE

415 N. LAKE STREET
MADISON, WI 53715

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
07/28/2023	SCHEMATIC DESIGN SET
07/28/2023	DESIGN DEVELOPMENT PH1

KEY PLAN



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PROJECT MANAGER MO
PROJECT NUMBER 720448

LOWER LEVEL
OVERALL - PHASE 1

A1000-1

A3 LOWER LEVEL OVERALL - PHASE 1
1/8" = 1'-0"



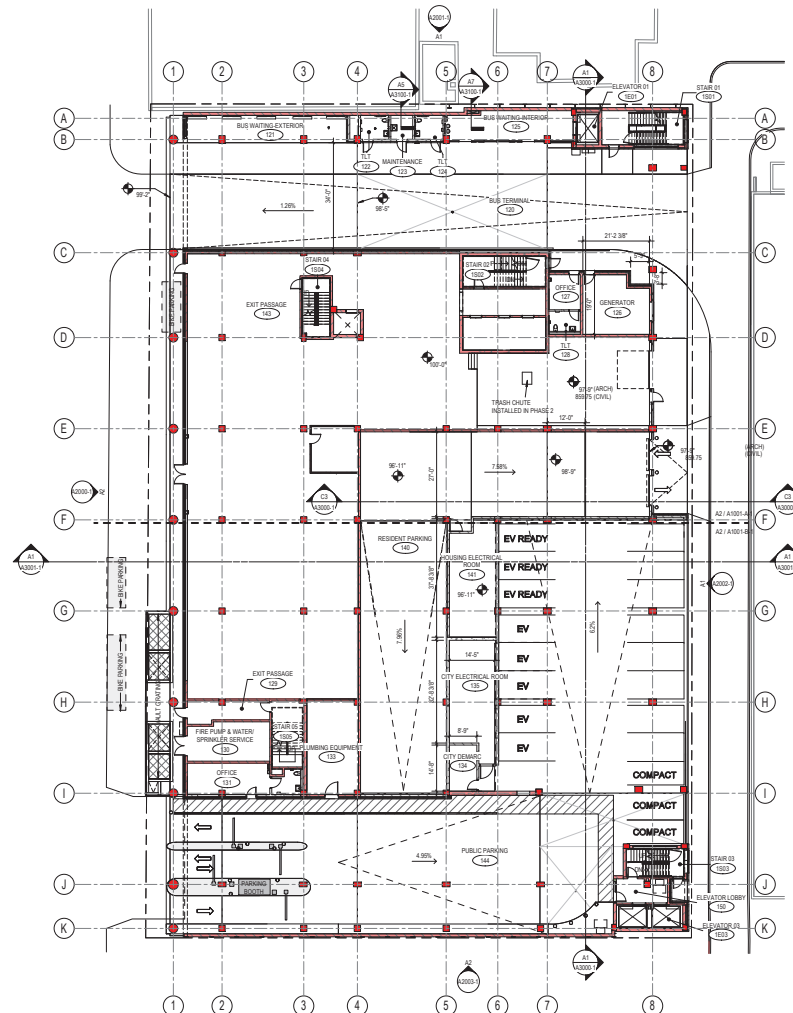
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SHEET NOTES - FLOOR PLAN

- BEFORE BEGINNING WORK, VERIFY THE EXISTENCE AND LOCATION OF PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS AND OTHER CONSTRUCTION AFFECTING THE WORK. IF DISCREPANCIES ARE DISCOVERED, NOTIFY ARCHITECT PROMPTLY.
- NOTIFY ARCHITECT IMMEDIATELY OF ANY DIMENSIONAL OR ALIGNMENT DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.
- VERIFY STRUCTURAL ELEMENTS, INCLUDING BUT NOT LIMITED TO POST TENSION CABLES OR OTHER REINFORCEMENT EMBEDDED IN FLOOR SLABS PRIOR TO CORING OR CUTTING. COORDINATE VERIFICATION METHOD WITH OWNER.
- REFER TO SHEET A1001-2 FOR REFERENCED PARTITION TYPES AND DETAILS.
- ALL WALLS UNLESS SPECIFIED OR INDICATED TO PLUMBING FITTERS SHALL RECEIVE MOISTURE- AND MOLD-RESISTANT GYPSUM BOARD, UNLESS NOTED OTHERWISE.
- SEE ENLARGED FLOOR PLANS FOR ADDITIONAL NOTES, DIMENSIONS AND WALL TAGS.
- REPAIR PATCH AND CLEAN ALL EXISTING SURFACES SCHEDULED TO REMAIN THAT ARE AFFECTED BY DEMOLITION OR NEW CONSTRUCTION. MAKE APPEARANCE MATCHING ADJACENT CONSTRUCTION. PREPARE ALL SURFACES AS REQUIRED FOR SCHEDULED FINISHES. SKIM COAT AND PREPARE ALL DAMAGED OR DAMAGED SURFACES.
- LOCATE ALL DOOR JAMBS 4" FROM ADJACENT PERPENDICULAR WALL, UNLESS NOTED OTHERWISE.
- WORK REQUIRED FOR FIRE SPRINKLING, PLUMBING, HVAC, ELECTRICAL AND LIFE SAFETY ARE NOT FULLY REPRESENTED ON THESE PLANS. THE DESIGN OF THE FULL SCOPE OF WORK FOR FIRE SPRINKLING, PLUMBING, HVAC, ELECTRICAL AND LIFE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHOULD BE COORDINATED AND APPROVED BY THE OWNER. ANY INFORMATION KNOWN ON THE ARCHITECTURAL DRAWINGS RELATED TO THOSE DISCIPLINES ARE INTENDED FOR GENERAL REFERENCE ONLY.
- REFINISH FLOOR SLABS AND SURFACES FOR EXISTING SURFACE FINISHES. PATCH EXISTING PENETRATIONS AND ANOMALIES IN CONCRETE FLOOR.
- PROVIDE BLOOMING BEHIND FUTURE GRAB BAR LOCATIONS IN ALL UNITS PER AND AT 1" 1/2 TYPE UNITS ARE AND AT 1" TYPE UNITS, UNLESS NOTED OTHERWISE AS AND AT 1" 1/2 TYPE UNITS. SEE SHEET A011 FOR MORE INFORMATION.
- PROVIDE BLOOMING AND FRAMING AS INDICATED AND AS REQUIRED TO SUPPORT FINISH MATERIALS, FINISHES, SPECIALTY ITEMS, MILLWORK AND TRIM.
- PROVIDE 3/4" DRY RESISTANT TREATED WOOD AS BACKING PANELS FOR TELEPHONE & ELECTRICAL EQUIPMENT INSTALL AT 1" AFF TO FINISHED CEILING READY TO WOOD TO MATCH ADJACENT WALL FINISH. COORDINATE FINISH, SIZE AND LOCATION WITH OWNER.

- #### DIMENSIONING NOTES
- INTERIOR METAL STUD WALLS ARE DIMENSIONED TO FINISHED FACE OF GYPSUM BOARD, UNLESS NOTED OTHERWISE.
 - EXTERIOR METAL STUD WALLS ARE DIMENSIONED TO EXTERIOR FACE OF STUD WALLS, UNLESS NOTED OTHERWISE.
 - 3/4" DRY WALL IS ARE DIMENSIONED TO FACE OF GYM.
- #### WALL NOTES
- WALL CORNER WALLS ARE 8x8x11 UNLESS NOTED OTHERWISE.
 - WALL CORNER WALLS ARE 8x8x11 UNLESS NOTED OTHERWISE.
 - WALL WALLS WITH UNITS ARE 8x8x11 UNLESS NOTED OTHERWISE.

KEYNOTES PER SHEET



PROJECT INFORMATION

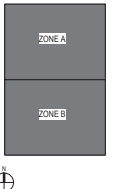
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CAMPUS GARAGE
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1ST FLR OVERALL - PHASE 1

A1001-1

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A3 1ST FLR OVERALL - PHASE 1
1/8" = 1'-0"



milessee | madison | green bay | davenport | atlanta

PROJECT INFORMATION

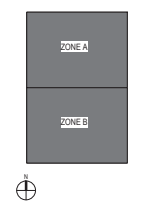
STATE STREET
CAMPUS GARAGE
MIXED-USE

415 N. LAKE STREET
MADISON, WI 53715

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
07/28/2023	CONSTRUCTION DESIGN SET
07/28/2023	DESIGN DEVELOPMENT PH1

KEY PLAN



SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

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PROJECT MANAGER MO
PROJECT NUMBER 720448

P2 FLR OVERALL -
PHASE 1

A1002-1

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SHEET NOTES - FLOOR PLAN

- BEFORE BEGINNING WORK, VERIFY THE EXISTENCE AND LOCATION OF PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS AND OTHER CONSTRUCTION AFFECTING THE WORK. IF DISCREPANCIES ARE DISCOVERED, NOTIFY ARCHITECT PROMPTLY.
- NOTIFY ARCHITECT IMMEDIATELY OF ANY DIMENSIONAL OR ALIGNMENT DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.
- VERIFY STRUCTURAL ELEMENTS, INCLUDING BUT NOT LIMITED TO POST TENSION CABLES OR OTHER REINFORCEMENT EMBEDDED IN FLOOR SLABS PRIOR TO CORING OR CUTTING. COORDINATE VERIFICATION METHOD WITH OWNER.
- REFER TO SHEET A1002-2 FOR REFERENCED PARTITION TYPES AND DETAILS.
- ALL WALLS UNLESS SPECIFIED OR INDICATED TO PLUMBING/FIRES SHALL RECEIVE MOISTURE- AND MOLD-RESISTANT GYPSUM BOARD, UNLESS NOTED OTHERWISE.
- SEE ENLARGED FLOOR PLANS FOR ADDITIONAL NOTES, DIMENSIONS AND WALL TAGS.
- REPAIR PATCH AND CLEAN ALL EXISTING SURFACES SCHEDULED TO REMAIN THAT ARE AFFECTED BY DEMOLITION OR NEW CONSTRUCTION. MAKE APPEAR NEAT BY FINISHING ADJACENT CONSTRUCTION. PREPARE ALL SURFACES AS REQUIRED FOR SCHEDULED FINISHES. SKIM COAT AND PREPARE ALL DAMAGED OR DAMAGED SURFACES.
- LOCATE ALL DOOR JAMBS 4" FROM ADJACENT PERPENDICULAR WALL, UNLESS NOTED OTHERWISE.
- WORK REQUIRED FOR FIRE SPRINKLER, PLUMBING, HVAC, ELECTRICAL AND LIFE SAFETY ARE NOT FULLY REPRESENTED ON THESE PLANS. THE SCOPE OF THE FULL SCOPE OF WORK FOR FIRE SPRINKLER, PLUMBING, HVAC, ELECTRICAL AND LIFE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHOULD BE COORDINATED AND APPROVED BY THE OWNER. ANY INFORMATION KNOWN ON THE ARCHITECTURAL DRAWINGS RELATED TO THOSE DISCIPLINES ARE INTENDED FOR GENERAL REFERENCE ONLY.
- REFINISH FLOOR SLABS AND SKETCH FOR FUTURE SURFACE FINISHES. PATCH EXISTING PENETRATIONS AND ANOMALIES IN CONCRETE FLOOR.
- PROVIDE BLOOMING BEFORE FUTURE GRAB BAR LOCATIONS IN ALL UNITS PER AND A111.4. ALL UNITS ARE A111.4 TYPE 4 UNITS UNLESS NOTED OTHERWISE AS A111.1 TYPE 4 UNITS. SEE SHEET A401 FOR MORE INFORMATION.
- PROVIDE BLOOMING AND FRAMING AS INDICATED AND AS REQUIRED TO SUPPORT FACING MATERIALS. PROVIDE SPECIALTY FORM, WALLWORK AND TRIM.
- PROVIDE 3/4" (3/8" REINFORCING) TREATED OR WOOD AS BACKING PANELS FOR TELEPHONE & ELECTRICAL EQUIPMENT INSTALL AT 1" AFF TO FINISHED CEILING READY TO WOOD TO MATCH ADJACENT WALL FINISH. COORDINATE FINISH SIZE AND LOCATION WITH OWNER.

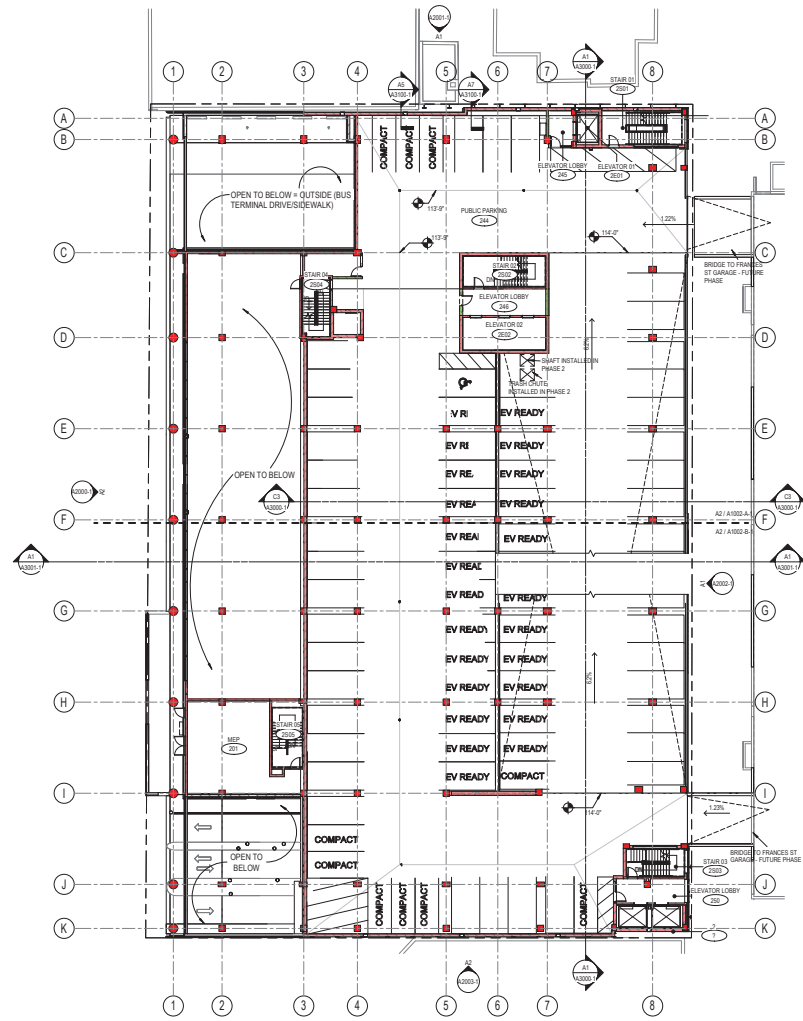
DIMENSIONING NOTES

- INTERIOR METAL STUD WALLS ARE DIMENSIONED TO FINISHED FACE OF GYPSUM BOARD UNLESS NOTED OTHERWISE.
- EXTERIOR METAL STUD WALLS ARE DIMENSIONED TO EXTERIOR FACE OF STUD UNLESS NOTED OTHERWISE.
- 3/4" WALL BASE DIMENSIONED TO FACE OF GYM.

WALL NOTES

- ALL CORNER WALLS ARE 90-911 UNLESS NOTED OTHERWISE.
- ALL INTERIOR WALLS ARE 90-911 UNLESS NOTED OTHERWISE.
- ALL WALLS WITHIN UNITS ARE 90-911 UNLESS NOTED OTHERWISE.

KEYNOTES PER SHEET



A3 P2 FLR OVERALL - PHASE 1
1/8" = 1'-0"

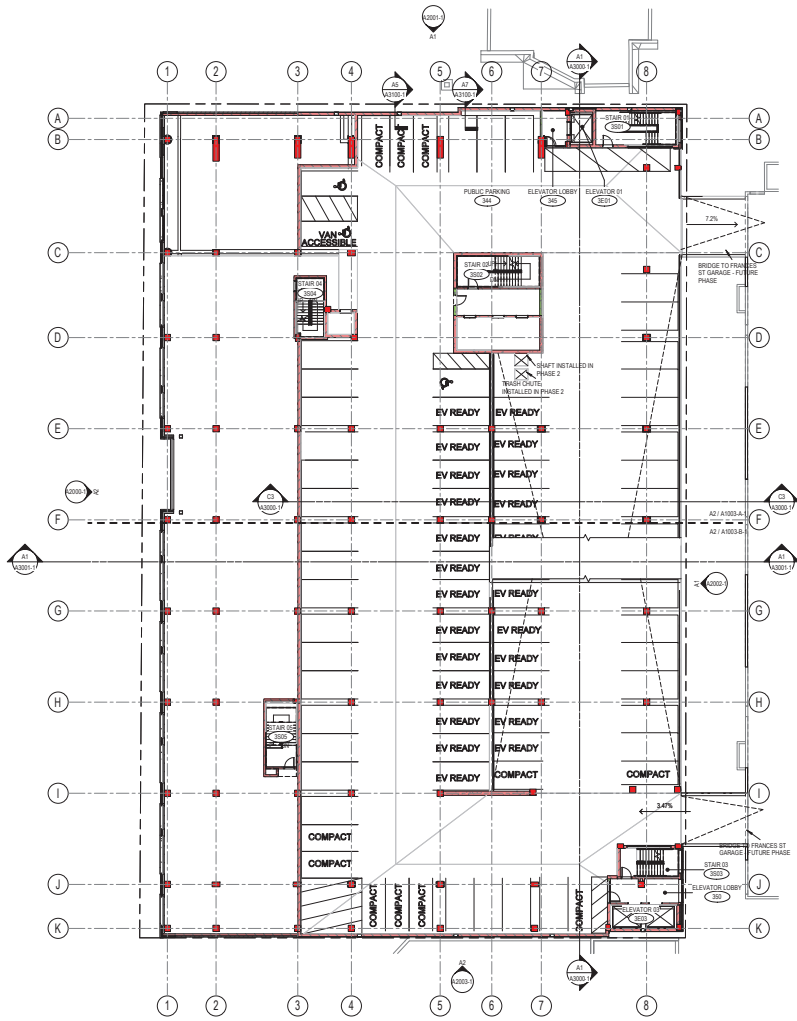
E

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A



A3 P3 FLR OVERALL - PHASE 1
1/8" = 1'-0"

SHEET NOTES - FLOOR PLAN

- BEFORE BEGINNING WORK, VERIFY THE EXISTENCE AND LOCATION OF PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS AND OTHER CONSTRUCTION AFFECTING THE WORK. IF DISCREPANCIES ARE DISCOVERED, NOTIFY ARCHITECT PROMPTLY.
- NOTIFY ARCHITECT IMMEDIATELY OF ANY DIMENSIONAL OR ALIGNMENT DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.
- VERIFY STRUCTURAL ELEMENTS, INCLUDING BUT NOT LIMITED TO POST TENSION CABLES OR OTHER REINFORCEMENT EMBEDDED IN FLOOR SLABS PRIOR TO CORING OR CUTTING. COORDINATE VERIFICATION METHOD WITH OWNER.
- REFER TO SHEET A303-2 FOR REFERENCED PARTITION TYPES AND DETAILS.
- ALL WALLS UNLESS SPECIFIED OR INDICATED TO PLUMBING/FIRES SHALL RECEIVE MOISTURE AND MOLD-RESISTANT GYPSUM BOARD, UNLESS NOTED OTHERWISE.
- SEE ENLARGED FLOOR PLANS FOR ADDITIONAL NOTES, DIMENSIONS AND WALL TAGS.
- REPAIR PATCH AND CLEAN ALL EXISTING SURFACES SCHEDULED TO REMAIN THAT ARE AFFECTED BY DEMOLITION OR NEW CONSTRUCTION. MAKE APPEAR NEAT, MATCHING ADJACENT CONSTRUCTION. PREPARE ALL SURFACES AS REQUIRED FOR SCHEDULED FINISHES. SKIM COAT AND PREPARE ALL DAMAGED OR DAMAGED SURFACES.
- LOCATE ALL DOOR JAMBS 4" FROM ADJACENT PERPENDICULAR WALL, UNLESS NOTED OTHERWISE.
- WORK REQUIRED FOR FIRE SPRINKLER, PLUMBING, HVAC, ELECTRICAL AND LIFE SAFETY ARE NOT FULLY REPRESENTED ON THESE PLANS. THE DESIGN OF THE FULL SCOPE OF WORK FOR FIRE SPRINKLER, PLUMBING, HVAC, ELECTRICAL AND LIFE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR, AND SHOULD BE COORDINATED AND APPROVED BY THE OWNER. ANY INFORMATION KNOWN ON THE ARCHITECTURAL DRAWINGS RELATED TO THOSE DISCIPLINES ARE INTENDED FOR GENERAL REFERENCE ONLY.
- FINISH FLOOR IS 2" IN THICKNESS FOR INTERIOR SURFACE FINISHES. PATCH EXISTING PENETRATIONS AND ABNORMALITIES IN CONCRETE FLOOR.
- PROVIDE BLOOMING BEFORE FUTURE GRAB BAR LOCATIONS IN ALL UNITS PER AND A111.4. ALL UNITS ARE A111.4 TYPE 4 UNITS UNLESS NOTED OTHERWISE AS A111.1 TYPE 4 UNITS. SEE SHEET A301 FOR MORE INFORMATION.
- PROVIDE BLOOMING AND FRAMING AS INDICATED AND AS REQUIRED TO SUPPORT FLOOR MATERIALS, FINISHES, SPECIALTY FLOOR MATERIALS AND TRIM.
- PROVIDE 1/2" (3/8" RESISTANT) TREATED WOOD AS BACKING PANELS FOR TELEPHONE & ELECTRICAL EQUIPMENT. INSTALL AT 1" AFF TO FINISHED CEILING PLANT TO WOOD TO MATCH ADJACENT WALL FINISH. COORDINATE FINAL SIZE AND LOCATION WITH OWNER.

DIMENSIONING NOTES

- INTERIOR METAL STUD WALLS ARE DIMENSIONED TO FINISHED FACE OF GYPSUM BOARD UNLESS NOTED OTHERWISE.
- EXTERIOR METAL STUD WALLS ARE DIMENSIONED TO EXTERIOR FACE OF STUD UNLESS NOTED OTHERWISE.
- 3/4" WALLS ARE DIMENSIONED TO FACE OF CMU.

KEYNOTES PER SHEET

KEYNOTE	DESCRIPTION
1	EV READY
2	COMPACT
3	EV READY
4	COMPACT
5	EV READY
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100	EV READY



PROJECT INFORMATION

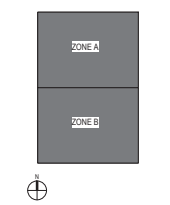
STATE STREET
CAMPUS GARAGE
MIXED-USE

415 N. LAKE STREET
MADISON, WI 53715

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
07/28/2023	CONSTRUCTION DESIGN SET
07/28/2023	DESIGN DEVELOPMENT PHASE

KEY PLAN



SHEET INFORMATION

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PROJECT MANAGER MO
PROJECT NUMBER 720448

P3 FLR OVERALL - PHASE 1

A1003-1

SHEET NOTES - FLOOR PLAN

- BEFORE BEGINNING WORK, VERIFY THE EXISTENCE AND LOCATION OF PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS AND OTHER CONSTRUCTION AFFECTING THE WORK. IF DISCREPANCIES ARE DISCOVERED, NOTIFY ARCHITECT PROMPTLY.
- NOTIFY ARCHITECT IMMEDIATELY OF ANY DIMENSIONAL OR ALIGNMENT DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.
- VERIFY STRUCTURAL ELEMENTS, INCLUDING BUT NOT LIMITED TO POST TENSION CABLES OR OTHER REINFORCEMENTS EMBEDDED IN FLOOR SLABS PRIOR TO CORING OR CUTTING. COORDINATE VERIFICATION METHOD WITH OWNER.
- REFER TO SHEET A1005.2 FOR REFERENCED PARTITION TYPES AND DETAILS.
- ALL WALLS UNLESS OTHERWISE NOTED OR INDICATED TO PLUMBING FITTERS SHALL RECEIVE MOISTURE- AND MOLD-RESISTANT GYPSUM BOARD, UNLESS NOTED OTHERWISE.
- SEE ENLARGED FLOOR PLANS FOR ADDITIONAL NOTES, DIMENSIONS AND WALL TAGS.
- REPAIR PATCH AND CLEAN ALL EXISTING SURFACES SCHEDULED TO REMAIN THAT ARE AFFECTED BY DEMOLITION OR NEW CONSTRUCTION. MAKE APPEAR NEAT AND COMING ADJACENT CONSTRUCTION. PREPARE ALL SURFACES AS REQUIRED FOR SCHEDULED FINISHES. SKIM COAT AND PREPARE ALL DAMAGED OR DAMAGED SURFACES.
- LOCATE ALL DOOR JAMBS 4" FROM ADJACENT PERPENDICULAR WALL, UNLESS NOTED OTHERWISE.
- WORK REQUIRED FOR FIRE SPRINKLER, PLUMBING, HVAC, ELECTRICAL AND LIFE SAFETY ARE NOT FULLY REPRESENTED ON THESE PLANS. THE DESIGN OF THE FULL SCOPE OF WORK FOR FIRE SPRINKLER, PLUMBING, HVAC, ELECTRICAL AND LIFE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR, AND SHOULD BE COORDINATED AND APPROVED BY THE OWNER. ANY INFORMATION SHOWN ON THE ARCHITECTURAL DRAWINGS RELATED TO THOSE DISCIPLINES ARE INTENDED FOR GENERAL REFERENCE ONLY.
- FINISH FLOOR SLAB IS 2" THICK FOR INTERIOR SURFACE FINISHES. PATCH EXISTING PENETRATIONS AND ANOMALIES IN CONCRETE FLOOR.
- PROVIDE BLOOMING BEHIND FUTURE GRAB BAR LOCATIONS IN ALL UNITS PER AND AT 1" 1/4 UNITS AND AT 1" 1/4 TYPE 4 UNITS, UNLESS NOTED OTHERWISE AS AN AT 1" 1/4 TYPE 4 UNITS. SEE SHEET A01 FOR MORE INFORMATION.
- PROVIDE BLOOMING AND FRAMING AS INDICATED AND AS REQUIRED TO SUPPORT FLOOR MATERIALS, FINISHES, SPECIALTY FLOOR MATERIALS AND TRIM.
- PROVIDE 3/4" REINFORCING TREATED TO WOOD AS BACKING PANELS FOR TELEPHONE & ELECTRICAL EQUIPMENT INSTALL AT 1" AFF TO FINISHED CEILING PLANT TO WOOD TO MATCH EXISTING WALL FINISH. COORDINATE FINISH, SIZE AND LOCATION WITH OWNER.

KEYNOTES PER SHEET

- INTERIOR METAL STUD WALLS ARE DIMENSIONED TO FINISHED FACE OF GYPSUM BOARD, UNLESS NOTED OTHERWISE.
- EXTERIOR METAL STUD WALLS ARE DIMENSIONED TO EXTERIOR FACE OF STUD WALLS, UNLESS NOTED OTHERWISE.
- STUD WALLS ARE DIMENSIONED TO FACE OF GYM.

WALL NOTES

- ALL CORNER WALLS ARE 90-DIGREE UNLESS NOTED OTHERWISE.
- ALL WALL CORNER WALLS ARE 90-DIGREE UNLESS NOTED OTHERWISE.
- ALL WALLS WITH UNITS ARE 90-DIGREE UNLESS NOTED OTHERWISE.

PROJECT INFORMATION

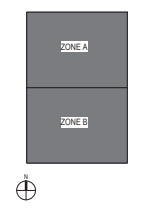
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KEY PLAN



SHEET INFORMATION

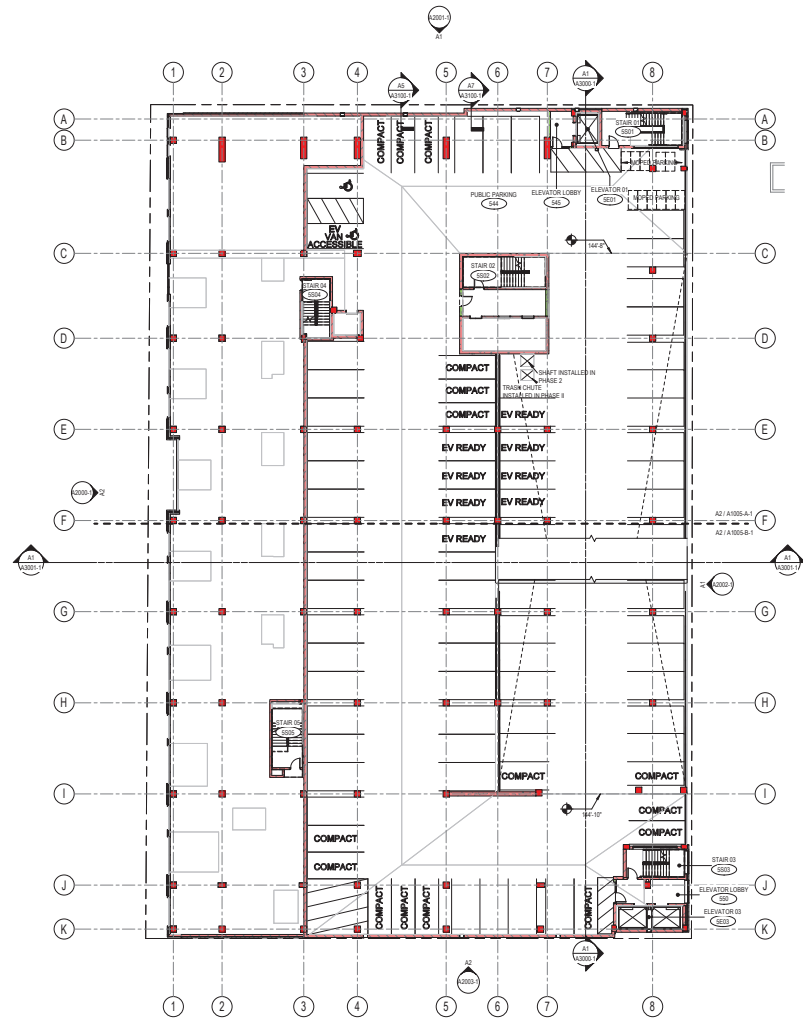
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PROJECT MANAGER MO
PROJECT NUMBER 720448

P5 FLR OVERALL - PHASE 1

A1005-1



A3 P5 FLR OVERALL - PHASE 1
100' x 110'

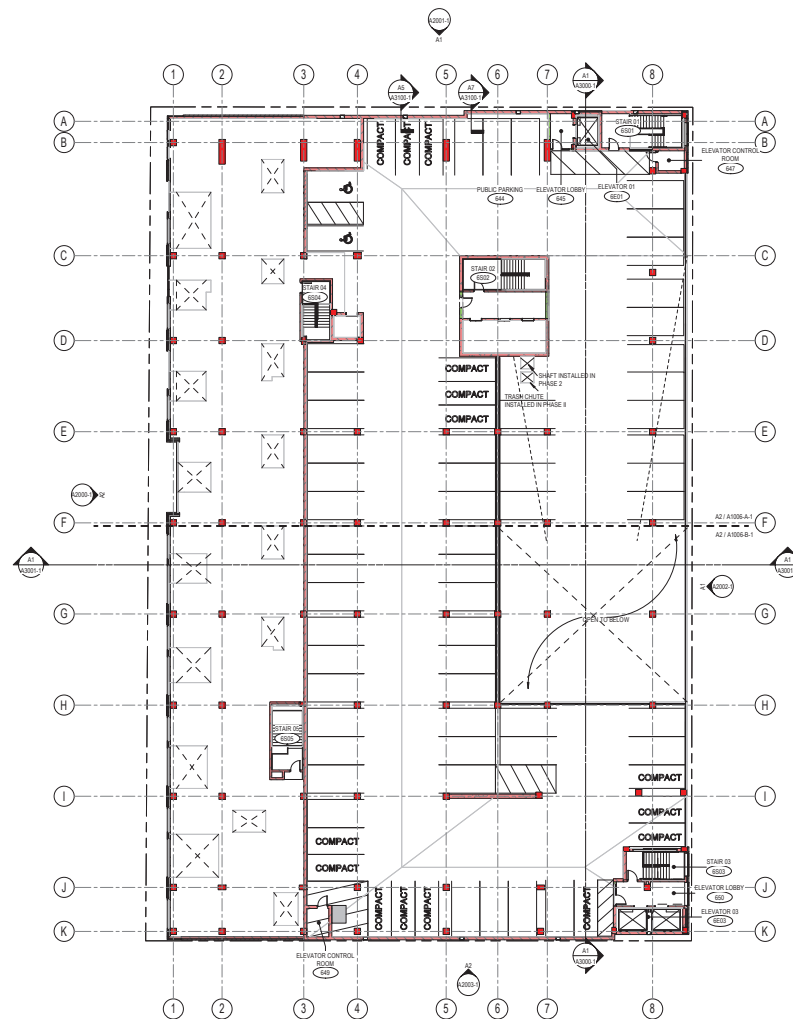
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A3 P6 OVERALL - PHASE 1
V10F - 11/2

SHEET NOTES - FLOOR PLAN

- BEFORE BEGINNING WORK, VERIFY THE EXISTENCE AND LOCATION OF PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS AND OTHER CONSTRUCTION AFFECTING THE WORK. IF DISCREPANCIES ARE DISCOVERED, NOTIFY ARCHITECT PROMPTLY.
- NOTIFY ARCHITECT IMMEDIATELY OF ANY DIMENSIONAL OR ALIGNMENT DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.
- VERIFY STRUCTURAL ELEMENTS, INCLUDING BUT NOT LIMITED TO POST TENSION CABLES OR OTHER REINFORCEMENT EMBEDDED IN FLOOR SLABS PRIOR TO CORING OR CUTTING. COORDINATE VERIFICATION METHOD WITH OWNER.
- REFER TO SHEET A203.2 FOR REFERENCED PARTITION TYPES AND DETAILS.
- ALL WALLS UNLESS SPECIFIED OR INDICATED TO PLUMBING/FIRES SHALL RECEIVE MOISTURE AND MOLD-RESISTANT GYPSUM BOARD, UNLESS NOTED OTHERWISE.
- SEE ENLARGED FLOOR PLANS FOR ADDITIONAL NOTES, DIMENSIONS AND WALL TAGS.
- REPAIR PATCH AND CLEAN ALL EXISTING SURFACES SCHEDULED TO REMAIN THAT ARE AFFECTED BY DEMOLITION OR NEW CONSTRUCTION. MAKE APPEAR NEAT, MATCHING ADJACENT CONSTRUCTION. PREPARE ALL SURFACES AS REQUIRED FOR SCHEDULED FINISHES. SKIM COAT AND PREPARE ALL DAMAGED OR DAMAGED SURFACES.
- LOCATE ALL DOOR JAMBS # FROM ADJACENT PERPENDICULAR WALL, UNLESS NOTED OTHERWISE.
- WORK REQUIRED FOR FIRE SPRINKLERS, PLUMBING, HVAC, ELECTRICAL AND LIFE SAFETY ARE NOT FULLY REPRESENTED ON THESE PLANS. THE DESIGN OF THE FULL SCOPE OF WORK FOR FIRE SPRINKLERS, PLUMBING, HVAC, ELECTRICAL AND LIFE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR, AND SHOULD BE COORDINATED AND APPROVED BY THE OWNER. ANY INFORMATION SHOWN ON THE ARCHITECTURAL DRAWINGS RELATED TO THOSE DISCIPLINES ARE INTENDED FOR GENERAL REFERENCE ONLY.
- REFINISH FLOOR SLAB AND SKETCH FOR EXISTING SURFACE FINISHES. PATCH EXISTING PENETRATIONS AND ANOMALIES IN CONCRETE FLOOR.
- PROVIDE BLOOMING BEHIND FUTURE GRAB BAR LOCATIONS IN ALL UNITS PER AND A111. ALL UNITS ARE A111 TYPE UNITS UNLESS NOTED OTHERWISE AS A111 TYPE UNITS. SEE SHEET A017 FOR MORE INFORMATION.
- PROVIDE BLOOMING AND FRAMING AS INDICATED AND AS REQUIRED TO SUPPORT FINISH MATERIALS. FINISHES SPECIALLY FORM, MILLWORK AND TRIM.
- PROVIDE 1/2" REINFORCING TREATED OR WOOD AS BACKING PANELS FOR TELEPHONE & ELECTRICAL EQUIPMENT. INSTALL AT 1' AFF TO FINISHED CEILING PLANT TO WOOD TO MATCH ADJACENT WALL FINISH. COORDINATE FINAL SIZE AND LOCATION WITH OWNER.

- DIMENSIONING NOTES**
- INTERIOR METAL STUD WALLS ARE DIMENSIONED TO FINISHED FACE OF GYPSUM BOARD UNLESS NOTED OTHERWISE.
 - EXTERIOR METAL STUD WALLS ARE DIMENSIONED TO EXTERIOR FACE OF STUD UNLESS NOTED OTHERWISE.
 - DRY WALLS ARE DIMENSIONED TO FACE OF GYM.
- WALL NOTES**
- ALL OUTDOOR WALLS ARE SEALED UNLESS NOTED OTHERWISE.
 - ALL INTERIOR WALLS ARE SEALED UNLESS NOTED OTHERWISE.
 - ALL WALLS WITH UNITS ARE SEALED UNLESS NOTED OTHERWISE.

KEYNOTES PER SHEET



PROJECT INFORMATION

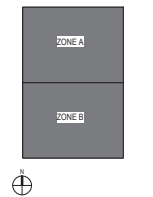
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ISSUANCE AND REVISIONS

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PROJECT MANAGER MO
PROJECT NUMBER 720448

P6 FLR OVERALL - PHASE 1

A1006-1

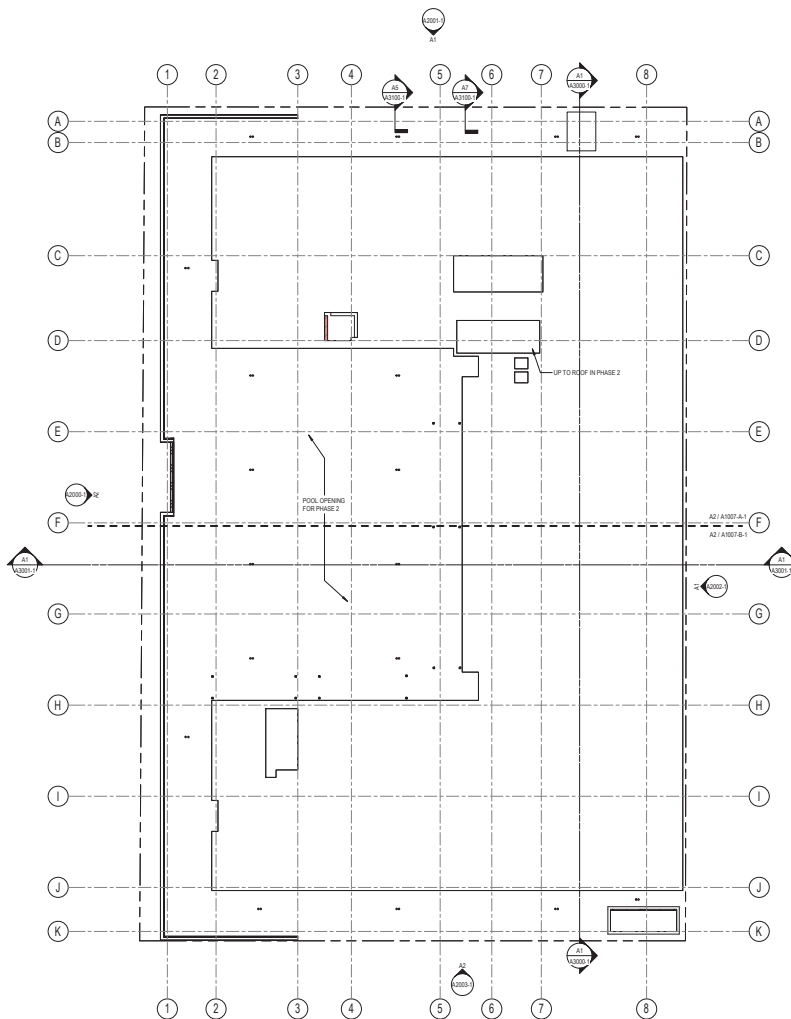
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A3 4TH FLR OVERALL - PHASE 1
1/8" = 1'-0"

SHEET NOTES - FLOOR PLAN

- BEFORE BEGINNING WORK, VERIFY THE EXISTENCE AND LOCATION OF PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS AND OTHER CONSTRUCTION AFFECTING THE WORK. IF DISCREPANCIES ARE DISCOVERED, NOTIFY ARCHITECT PROMPTLY.
- NOTIFY ARCHITECT IMMEDIATELY OF ANY DIMENSIONAL OR ALIGNMENT DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.
- VERIFY STRUCTURAL ELEMENTS, INCLUDING BUT NOT LIMITED TO POST TENSION CABLES OR OTHER REINFORCEMENT EMBEDDED IN FLOOR SLABS PRIOR TO CORING OR CUTTING. COORDINATE VERIFICATION METHOD WITH OWNER.
- REFER TO SHEET A1007-2 FOR REFERENCED PARTITION TYPES AND DETAILS.
- ALL WALLS UNLESS SPECIFIED OR INDICATED TO PLUMBING/FIRES SHALL RECEIVE MOISTURE AND MOLD-RESISTANT GYPSUM BOARD, UNLESS NOTED OTHERWISE.
- SEE ENLARGED FLOOR PLANS FOR ADDITIONAL NOTES, DIMENSIONS AND WALL TAGS.
- REPAIR PATCH AND CLEAN ALL EXISTING SURFACES SCHEDULED TO REMAIN THAT ARE AFFECTED BY DEMOLITION OR NEW CONSTRUCTION. MAKE APPEAR NEAT, MATCHING ADJACENT CONSTRUCTION. PREPARE ALL SURFACES AS REQUIRED FOR SCHEDULED FINISHES. SKIM COAT AND PREPARE ALL DAMAGED OR DAMAGED SURFACES.
- LOCATE ALL DOOR JAMBS 4" FROM ADJACENT PERPENDICULAR WALL, UNLESS NOTED OTHERWISE.
- WORK REQUIRED FOR FIRE SPRINKLING, PLUMBING, HVAC, ELECTRICAL AND LIFE SAFETY ARE NOT FULLY REPRESENTED ON THESE PLANS. THE DESIGN OF THE FULL SCOPE OF WORK FOR FIRE SPRINKLING, PLUMBING, HVAC, ELECTRICAL AND LIFE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR, AND SHOULD BE COORDINATED AND APPROVED BY THE OWNER. ANY INFORMATION KNOWN ON THE ARCHITECTURAL DRAWINGS RELATED TO THOSE DISCIPLINES ARE INTENDED FOR GENERAL REFERENCE ONLY.
- FINISH FLOOR SLAB AND SMOOTH FOR BOTH SURFACE FINISHES. PATCH EXISTING PENETRATIONS AND ANOMALIES IN CONCRETE FLOOR.
- PROVIDE BLOOMING BEFORE FUTURE GRAB BAR LOCATIONS IN ALL UNITS PER AND AT 1/4" ALL UNITS ARE AT 1/4" TYPE 4 UNITS UNLESS NOTED OTHERWISE AS NOT AT 1/4" TYPE 4 UNITS. SEE SHEET A017 FOR MORE INFORMATION.
- PROVIDE BLOOMING AND FRAMING AS INDICATED AND AS REQUIRED TO SUPPORT FINISH MATERIALS. FINISHES SPECIALLY FORM, MILLWORK AND TRIM.
- PROVIDE 3/4" X 1/4" REINFORCING TREATED OR WOOD AS BACKING PANELS FOR TELEPHONE & ELECTRICAL EQUIPMENT. INSTALL AT 1' OFF AFF TO FINISHED CEILING FINISH TO WOOD TO MATCH ADJACENT WALL FINISH. COORDINATE FINISH, SIZE AND LOCATION WITH OWNER.

- DIMENSIONING NOTES**
- INTERIOR METAL STUD WALLS ARE DIMENSIONED TO FINISHED FACE OF GYPSUM BOARD UNLESS NOTED OTHERWISE.
 - EXTERIOR METAL STUD WALLS ARE DIMENSIONED TO EXTERIOR FACE OF STUD UNLESS NOTED OTHERWISE.
 - SMALL WALLS ARE DIMENSIONED TO FACE OF CMU.
- WALL NOTES**
- WALL CORNER WALLS ARE 8x8x11 UNLESS NOTED OTHERWISE.
 - ALL INTERIOR WALLS ARE 8x8x11 UNLESS NOTED OTHERWISE.
 - WALL BUILDS WITHIN UNITS ARE 8x8x11 UNLESS NOTED OTHERWISE.

KEYNOTES PER SHEET



PROJECT INFORMATION

**STATE STREET
CAMPUS GARAGE
MIXED-USE**

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MADISON, WI 53715

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7TH FLR OVERALL -
PHASE 1

A1007-1