



STATE STREET CAMPUS GARAGE MIXED-USE

415 N. LAKE STREET
MADISON, WI 53715



DESIGN DEVELOPMENT PHASE 1

07.28.2023

PROJECT NUMBER: 720448

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NOTE:
 RENDERINGS ARE TO
 INDICATE DESIGN
 INTENT ONLY.

PROJECT INFORMATION

STATE STREET
 CAMPUS GARAGE
 MIXED-USE

415 N. LAKE STREET
 MADISON, WI 53715

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
08/01/2023	SCHEMATIC DESIGN SET
07/28/2023	DESIGN DEVELOPMENT SET

KEY PLAN

SHEET INFORMATION

**PROGRESS DOCUMENTS
 NOT FOR CONSTRUCTION**
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PROJECT MANAGER MO
 PROJECT NUMBER 720448

EXTERIOR
 RENDERINGS

A2100-1



C1 SOUTHWEST VIEW
 NTS



A1 STREETScape VIEW
 NTS

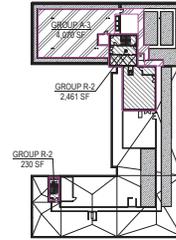


A4 NORTHWEST VIEW
 NTS

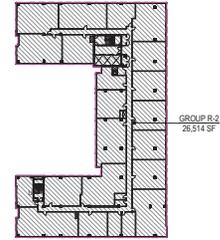
AREA SCHEDULE

NAME	AREA
GROUP A-3	4,875.78 SF
GROUP B	14,594.59 SF
GROUP B-2	26,514.73 SF
GROUP S-2	226,985.03 SF
AREA 16 GROSS FLOOR AREA	243,335.13 SF

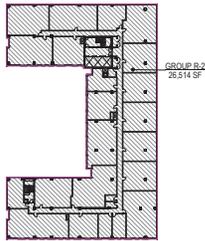
AREA 16 GROSS FLOOR AREA



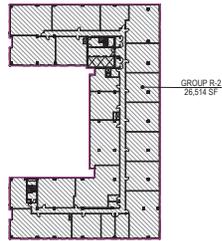
17 TOP OF ROOF
T = 92'-0"



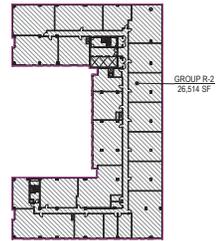
16 15TH FLR
T = 92'-0"



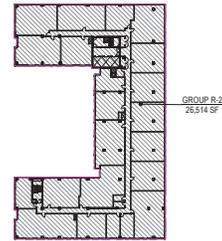
15 14TH FLR
T = 92'-0"



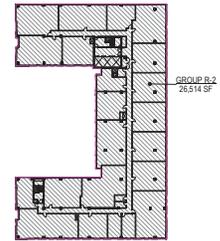
14 13TH FLR
T = 92'-0"



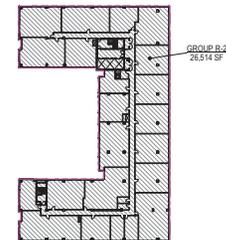
13 12TH FLR
T = 92'-0"



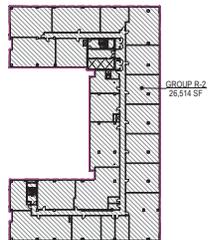
12 11TH FLR
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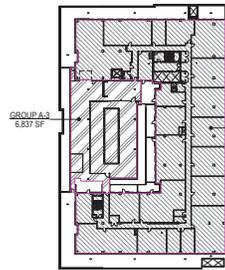
11 10TH FLR
T = 92'-0"



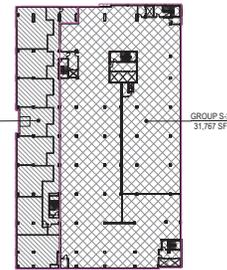
10 9TH FLR
T = 92'-0"



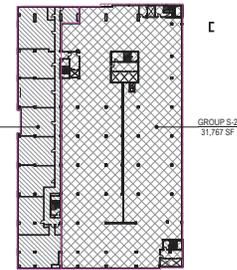
9 8TH FLR
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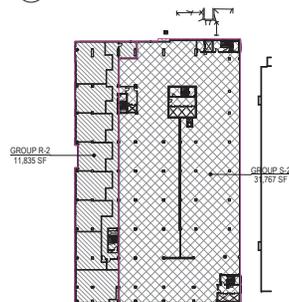
8 7TH FLR
T = 92'-0"



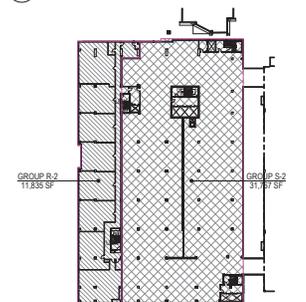
7 P6 FLR OCCUPANCY CLASSIFICATION
T = 92'-0"



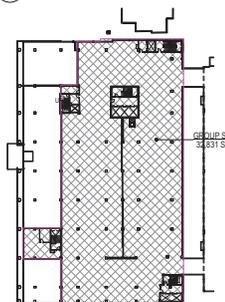
6 P5 FLR OCCUPANCY CLASSIFICATION
T = 92'-0"



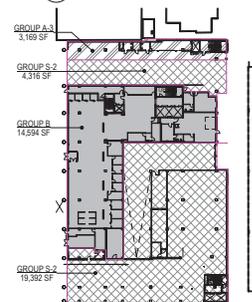
5 P4 FLR OCCUPANCY CLASSIFICATION
T = 92'-0"



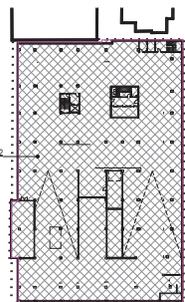
4 P3 FLR OCCUPANCY CLASSIFICATION
T = 92'-0"



3 P2 FLR OCCUPANCY CLASSIFICATION
T = 92'-0"



2 1ST FLR OCCUPANCY CLASSIFICATION
T = 92'-0"



1 LL OCCUPANCY CLASSIFICATION
T = 92'-0"

PROJECT INFORMATION

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CAMPUS GARAGE
MIXED-USE

D 415 N. LAKE STREET
MADISON, WI 53715

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
08/20/2023	SCHEMATIC DESIGN PHASE
09/12/2023	SCHEMATIC DESIGN PHASE
07/28/2023	DESIGN DEVELOPMENT PHASE

KEY PLAN



SHEET INFORMATION

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PROJECT MANAGER MO
PROJECT NUMBER 720448

CODE CALCS

G4002



milwaukee | madison | green bay | deerfield | atlanta

EXTERIOR MATERIAL

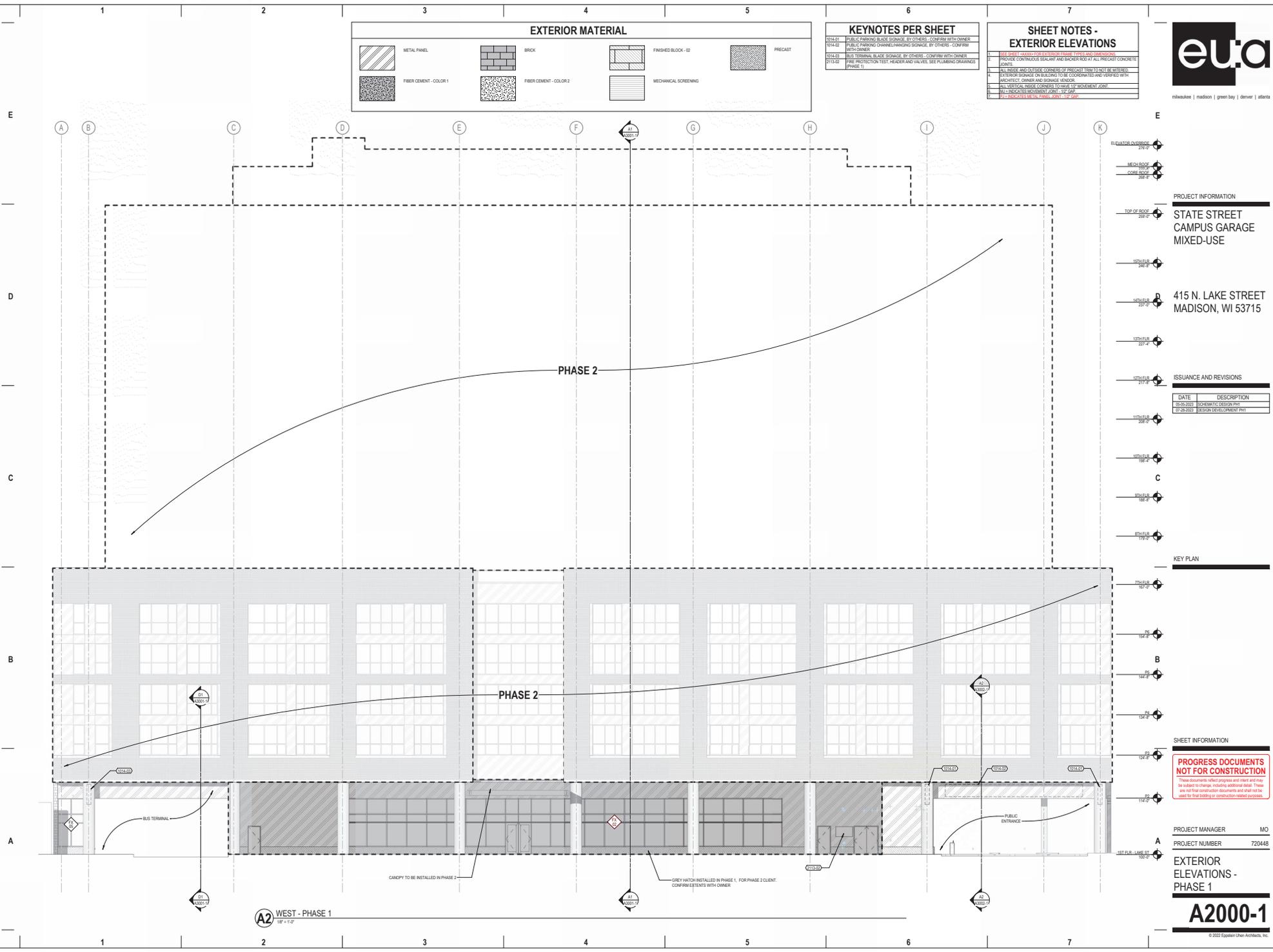
	METAL PANEL		BRICK		FINISHED BLOCK - 02		PRECAST
	FIBER CEMENT - COLOR 1		FIBER CEMENT - COLOR 2		MECHANICAL SCREENING		

KEYNOTES PER SHEET

- 0104-01 PUBLIC PARKING BLACK SIGNAGE BY OTHERS - CONFIRM WITH OWNER
- 0104-02 PUBLIC PARKING CHARNER PARKING SIGNAGE BY OTHERS - CONFIRM WITH OWNER
- 0104-03 BEST TERMINAL BLACK SIGNAGE BY OTHERS - CONFIRM WITH OWNER
- 0104-04 FIRE PROTECTION TEST, HEADER AND VALVE. SEE PLUMBING DRAWINGS (PHASE 1)

SHEET NOTES - EXTERIOR ELEVATIONS

- 1. SEE SHEET A2000-01 FOR EXTERIOR FINISH, TILES AND ACCESSORIES.
- 2. PROVIDE CONTINUOUS SEALANT AND BACKER ROD AT ALL PRECAST CONCRETE JOINTS.
- 3. ALL INSIDE AND OUTSIDE CORNERS OF PRECAST TILES TO NOT BE MITERED.
- 4. EXTERIOR JOINTS ON THIS DRAWING TO BE COORDINATED WITH VENDOR'S ARCHITECT, OWNER AND SIGNAGE VENDOR.
- 5. ALL VERTICAL FINISH CORNERS TO HAVE 1/2" RADIUS.
- 6. ALL HORIZONTAL FINISH CORNERS TO HAVE 1/2" RADIUS.
- 7. ALL HORIZONTAL FINISH CORNERS TO HAVE 1/2" RADIUS.



A2 WEST - PHASE 1
1/8" = 1'-0"

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PROJECT MANAGER MO
PROJECT NUMBER 720448

EXTERIOR
ELEVATIONS -
PHASE 1

A2000-1



milwaukee | madison | green bay | davenport | atlanta

EXTERIOR MATERIAL



KEYNOTES PER SHEET

0005-11 CONCRETE MASONRY UNITS - ACCENT COLOR

SHEET NOTES - EXTERIOR ELEVATIONS

1. SEE SHEET 0005-10 FOR ELEVATION TILES, TILES AND CONDITIONS.
2. PROVIDE CONTINUOUS SEALANT AND BACKER ROD AT ALL PRECAST CONCRETE JOINTS.
3. ALL INSIDE AND OUTSIDE CORNERS OF PRECAST TILES TO NOT BE MITERED.
4. EXTERIOR FINISHES TO BE PERFORMED AND VERIFIED WITH ARCHITECT, OWNER AND FINISHES VENDOR.
5. ALL VERTICAL FINISHES CORNERS TO HAVE 1" RADIUS JOINT.
6. ALL INDICATED MOVEMENT JOINTS - 1/2" GAP.
7. ALL PRECAST TILES TO HAVE 1/2" GAP.

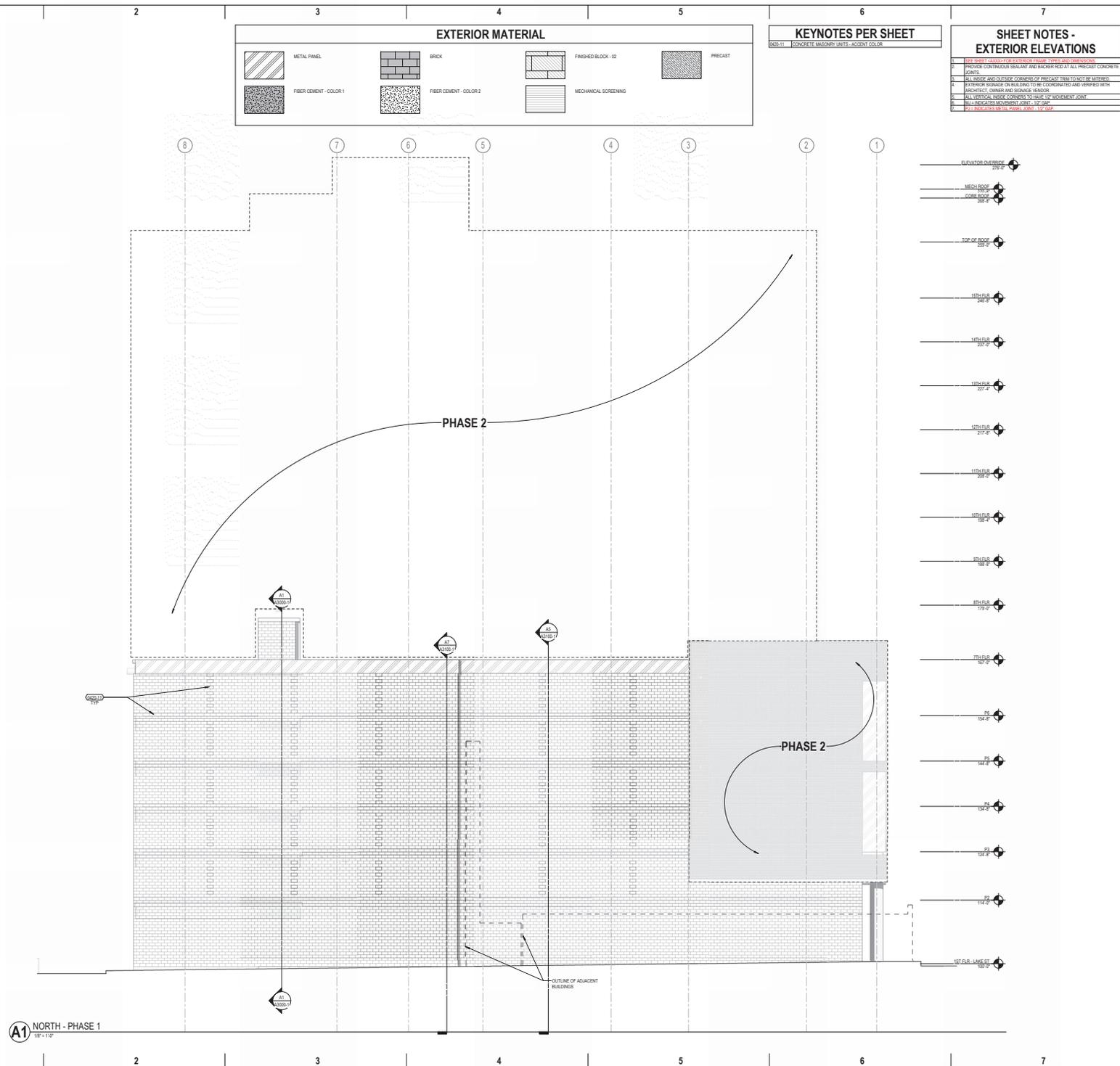
E

D

C

B

A



A1 NORTH - PHASE 1
1/8" = 1'-0"

- ELEVATOR OVERSICKE 239'-0"
- MECH ROOF 238'-0"
- CORE ROOF 238'-0"
- TOP OF ROOF 238'-0"
- 17TH FLR 217'-0"
- 16TH FLR 207'-0"
- 15TH FLR 197'-0"
- 14TH FLR 187'-0"
- 13TH FLR 177'-0"
- 12TH FLR 167'-0"
- 11TH FLR 157'-0"
- 10TH FLR 147'-0"
- 9TH FLR 137'-0"
- 8TH FLR 127'-0"
- 7TH FLR 117'-0"
- 6TH FLR 107'-0"
- 5TH FLR 97'-0"
- 4TH FLR 87'-0"
- 3RD FLR 77'-0"
- 2ND FLR 67'-0"
- 1ST FLR LAKE ST 58'-0"

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PROJECT MANAGER MO
PROJECT NUMBER 720448

EXTERIOR
ELEVATIONS -
PHASE 1

A2001-1

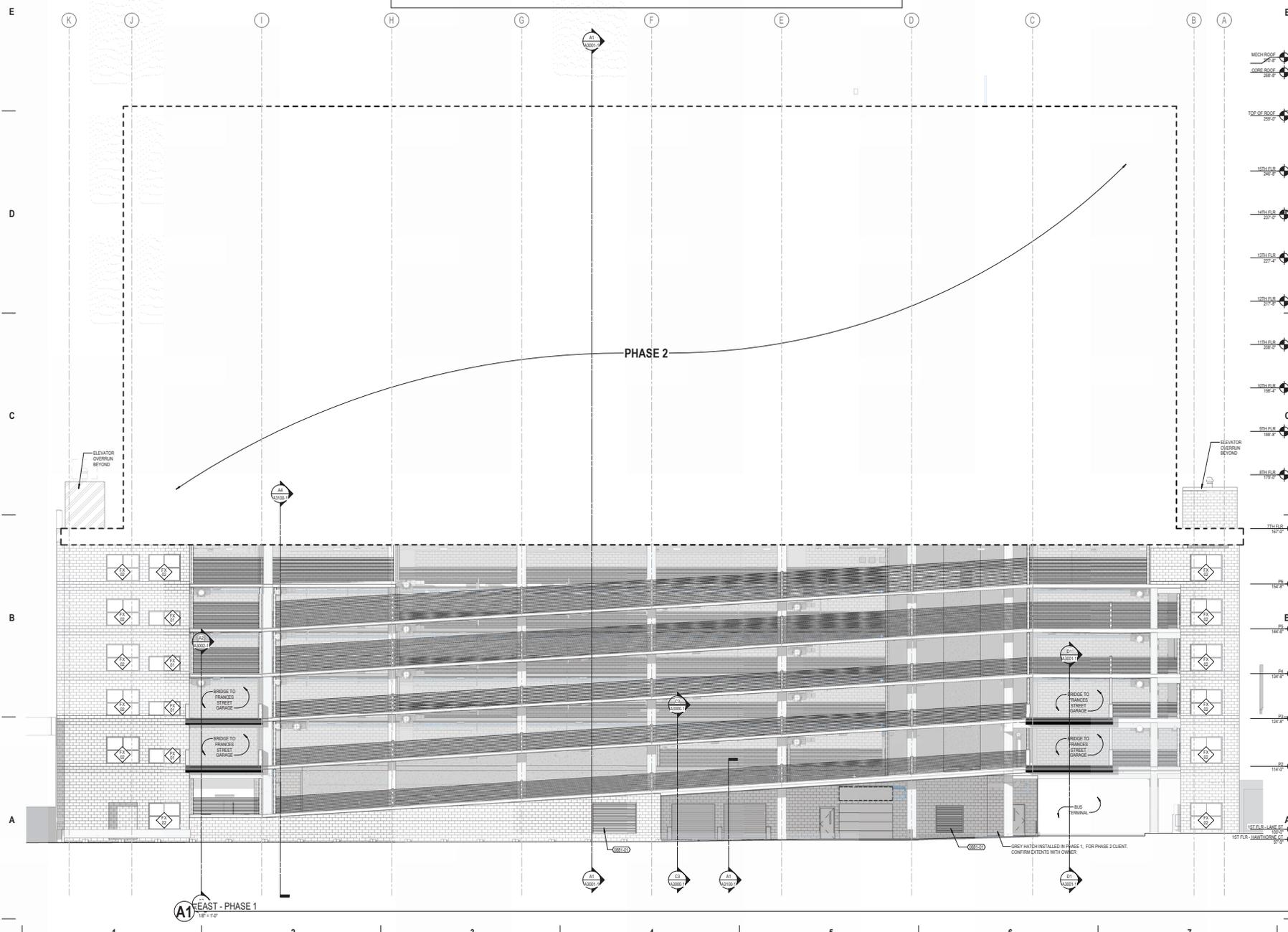
EXTERIOR MATERIAL

	METAL PANEL		BRICK		FINISHED BLOCK - 02		PRECAST
	FIBER CEMENT - COLOR 1		FIBER CEMENT - COLOR 2		MECHANICAL SCREENING		

KEYNOTES PER SHEET
 0001.01 COVER - VERIFY SIZE WITH HVAC DRAWINGS

SHEET NOTES - EXTERIOR ELEVATIONS

- SEE 0001.01 FOR ELEVATION TILES, TILES AND JOINTS.
- PROVIDE CONTINUOUS SEALANT AND BACKER ROD AT ALL PRECAST CONCRETE JOINTS.
- ALL INSIDE AND OUTSIDE CORNERS OF PRECAST TILES TO NOT BE MITERED.
- EXTERIOR FINISHES TO BE SUBMITTED TO BE COORDINATED WITH VENDOR'S ARCHITECT, OWNER AND SIGNAGE VENDOR.
- ALL VERTICAL FINISHES TO BE FINISHED TO ADJACENT ZONE.
- SEE 0001.01 FOR MOVEMENT JOINT - SP GAP.
- SEE 0001.01 FOR PANEL JOINT - SP GAP.



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EXTERIOR ELEVATIONS - PHASE 1

A2002-1



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EXTERIOR MATERIAL

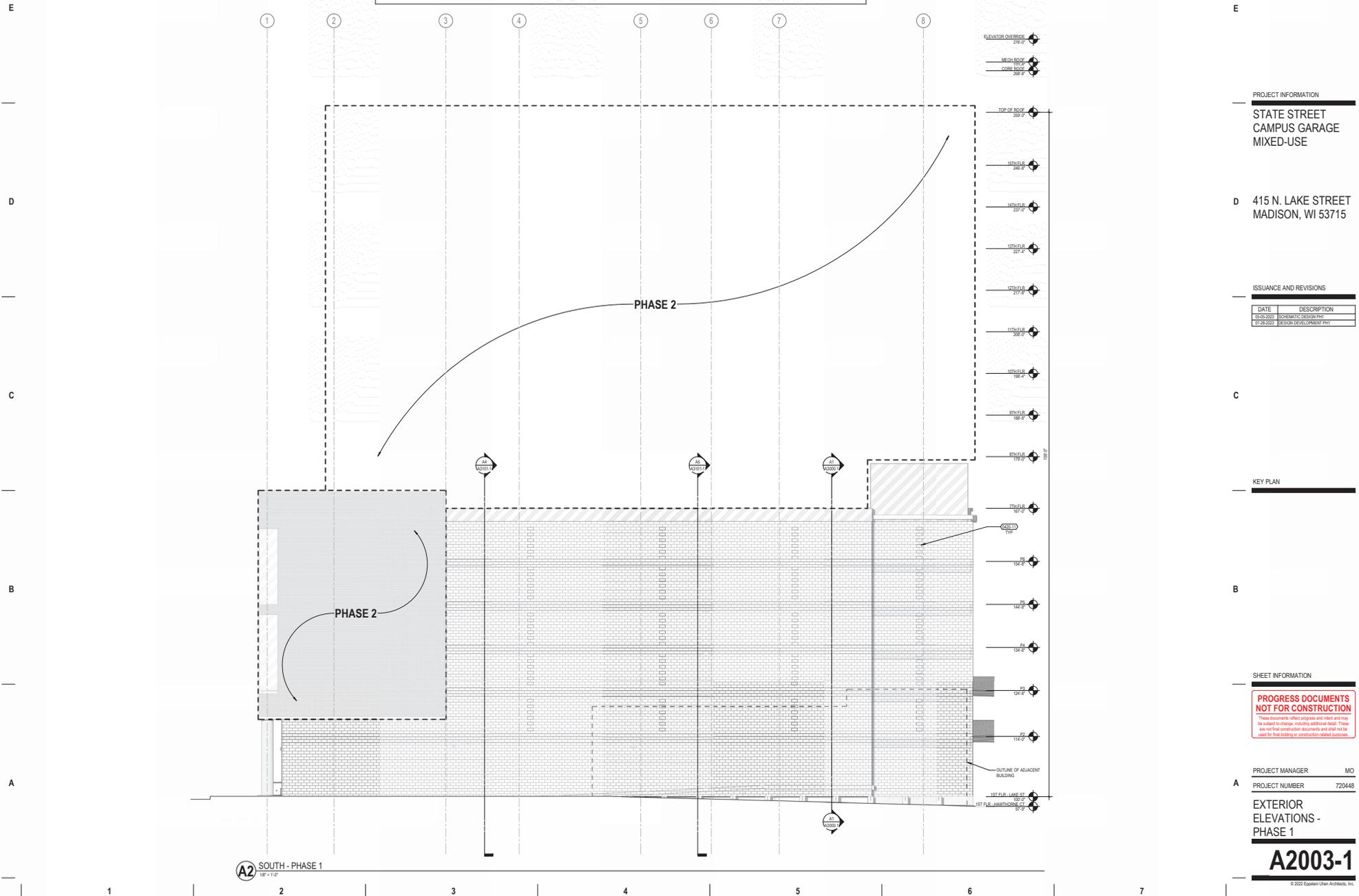
	METAL PANEL		BRICK		FINISHED BLOCK - 02		PRECAST
	FIBER CEMENT - COLOR 1		FIBER CEMENT - COLOR 2		MECHANICAL SCREENING		

KEYNOTES PER SHEET

000-11 CONCRETE MASONRY UNITS - ACCENT COLOR

SHEET NOTES - EXTERIOR ELEVATIONS

1. SEE SHEET 000-02 FOR ELEVATION TILES, TILES AND CONDITIONS.
2. PROVIDE CONTINUOUS SEALANT AND BACKER ROD AT ALL PRECAST CONCRETE JOINTS.
3. ALL INSIDE AND OUTSIDE CORNERS OF PRECAST TILES TO NOT BE MITERED.
4. EXTERIOR JOINTS ON BUILDING TO BE COORDINATED AND VERIFIED WITH ARCHITECT, OWNER AND SIGNAGE VENDOR.
5. ALL VERTICAL FINISH CORNERS TO HAVE 1/2" ADJUSTMENT JOINT.
6. ALL INDICATED MOVEMENT JOINTS - 1/2" GAP.
7. ALL INDICATED MOVEMENT JOINTS - 1/2" GAP.



A2 SOUTH - PHASE 1
1/8" = 1'-0"

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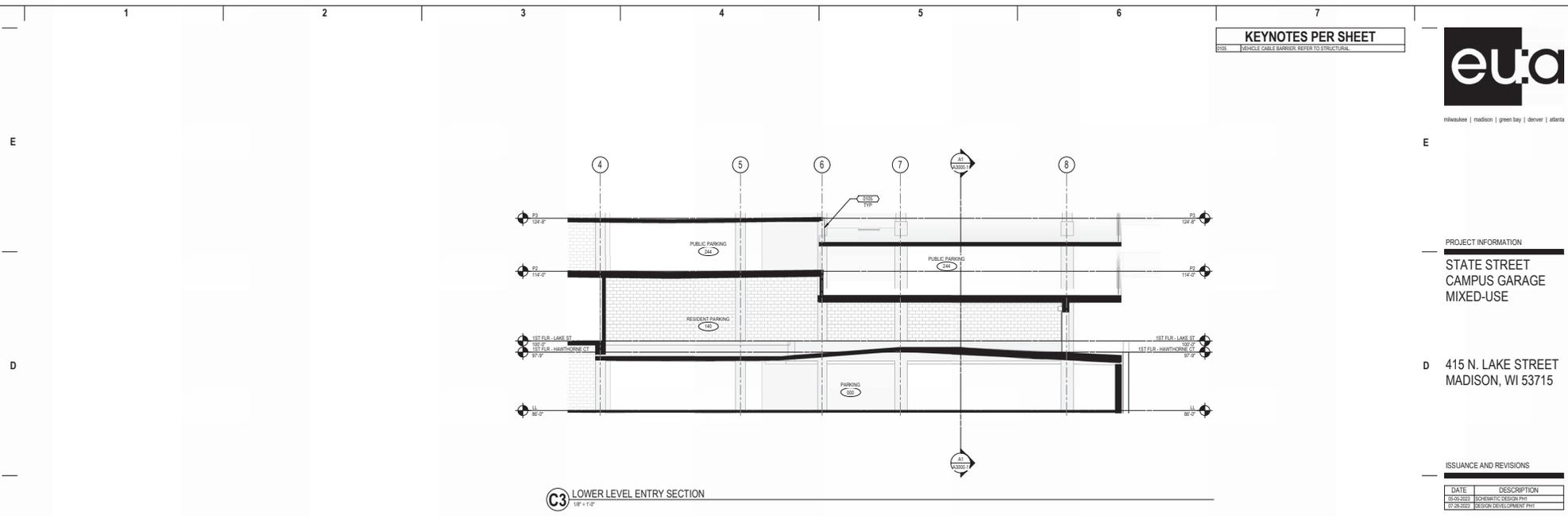
PROJECT MANAGER MO
PROJECT NUMBER 720448

EXTERIOR
ELEVATIONS -
PHASE 1

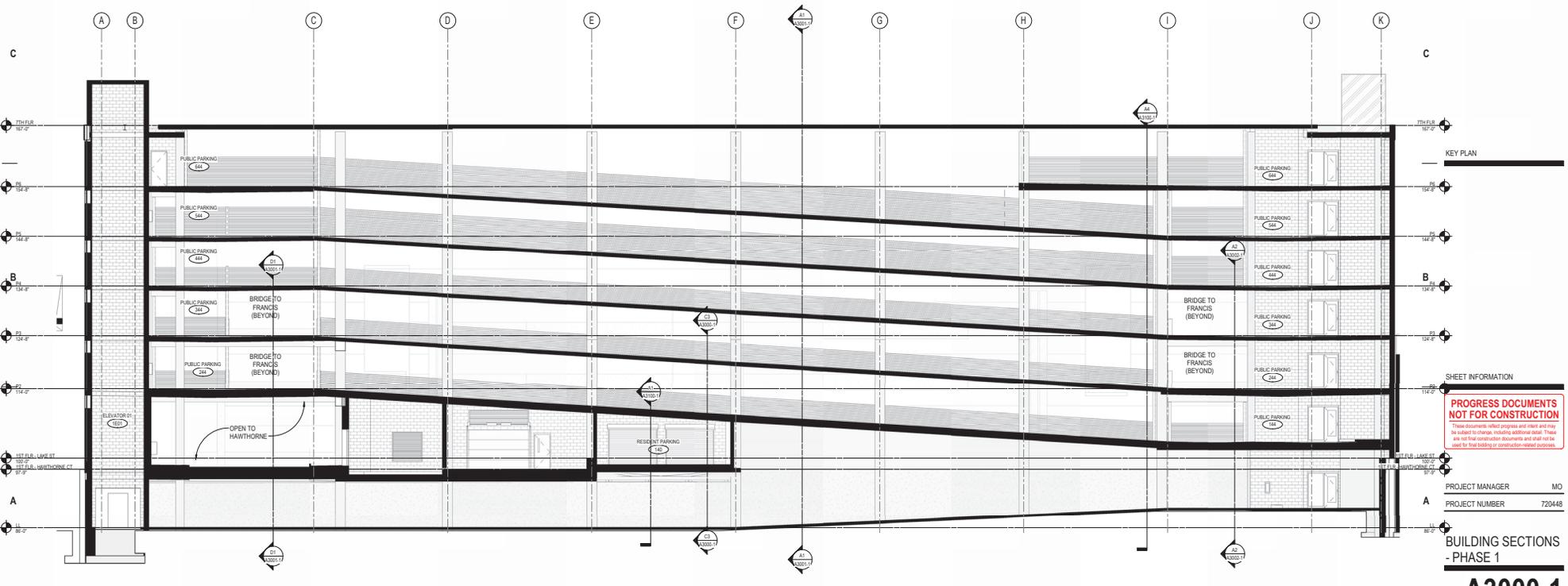
A2003-1

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KEYNOTES PER SHEET
 005 VEHICLE CABLE BARRIER, REFER TO STRUCTURAL



C3 LOWER LEVEL ENTRY SECTION
 1/8" = 1'-0"



A1 NORTH-SOUTH SECTION LOOKING EAST - PHASE 1
 1/8" = 1'-0"

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**STATE STREET
 CAMPUS GARAGE
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D 415 N. LAKE STREET
 MADISON, WI 53715

ISSUANCE AND REVISIONS

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PROJECT MANAGER MO
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**BUILDING SECTIONS
 - PHASE 1**

A3000-1

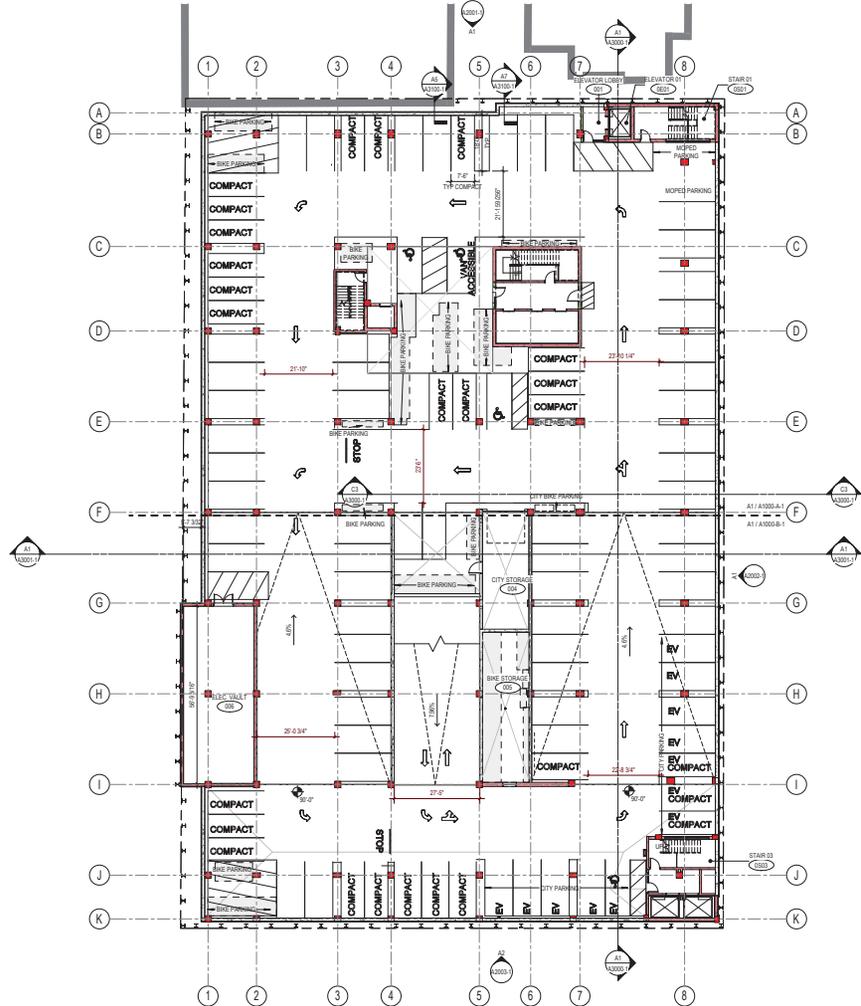
E

D

C

B

A



SHEET NOTES - FLOOR PLAN

1. BEFORE BEGINNING WORK, VERIFY THE EXISTENCE AND LOCATION OF PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS AND OTHER CONSTRUCTION AFFECTING THE WORK. IF DISCREPANCIES ARE DISCOVERED, NOTIFY ARCHITECT PROMPTLY.
2. NOTIFY ARCHITECT IMMEDIATELY OF ANY DIMENSIONAL OR ALIGNMENT DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.
3. VERIFY STRUCTURAL ELEMENTS, INCLUDING BUT NOT LIMITED TO POST TENSION CABLES OR OTHER REINFORCEMENT EMBEDDED IN FLOOR SLABS PRIOR TO CORING OR CUTTING. COORDINATE VERIFICATION METHOD WITH OWNER.
4. REFER TO SHEET A1000-2 FOR REFERENCED PARTITION TYPES AND DETAILS.
5. ALL WALLS UNLESS SPECIFIED OR INDICATED TO PLUMBING/FIRES SHALL RECEIVE MOISTURE AND MOLD-RESISTANT GYPSUM BOARD, UNLESS NOTED OTHERWISE.
6. SEE ENLARGED FLOOR PLANS FOR ADDITIONAL NOTES, DIMENSIONS AND WALL TAGS.
7. REPAIR PATCH AND CLEAN ALL EXISTING SURFACES SCHEDULED TO REMAIN THAT ARE AFFECTED BY DEMOLITION OR NEW CONSTRUCTION. MAKE APPEAR NEAT AND COORDINATE ADJACENT CONSTRUCTION. PREPARE ALL SURFACES AS REQUIRED FOR SCHEDULED FINISHES. SKIM COAT AND PREPARE ALL DAMAGED OR DAMAGED SURFACES.
8. LOCATE ALL DOOR JAMBS 4" FROM ADJACENT PERPENDICULAR WALL, UNLESS NOTED OTHERWISE.
9. WORK REQUIRED FOR FIRE SPRINKLERS, PLUMBING, HVAC, ELECTRICAL AND LIFE SAFETY ARE NOT FULLY REPRESENTED ON THESE PLANS. THE DESIGN OF THE FULL SCOPE OF WORK FOR FIRE SPRINKLERS, PLUMBING, HVAC, ELECTRICAL AND LIFE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHOULD BE COORDINATED AND APPROVED BY THE OWNER. ANY INFORMATION KNOWN ON THE ARCHITECTURAL DRAWINGS RELATED TO THOSE DISCIPLINES ARE INTENDED FOR GENERAL REFERENCE ONLY.
10. FINISH FLOOR LEVELS ARE SHOWN FOR BOTH SURFACE FINISHES. PATCH EXISTING PENETRATIONS AND ANOMALIES IN CONCRETE FLOOR.
11. PROVIDE BLOOMING BEFORE FUTURE GRAB BAR LOCATIONS IN ALL UNITS PER AND A1117. ALL UNITS ARE AND A1117 TYPE A UNITS. SEE SHEET A071 FOR MORE INFORMATION.
12. PROVIDE BLOOMING AND FRAMING AS INDICATED AND AS REQUIRED TO SUPPORT FLOOR MATERIALS. FINISHES SPECIALLY FORM, MILLWORK AND TRIM.
13. PROVIDE 3/4" THICK REINFORCED TREATED WOOD AS BACKING PANELS FOR TELEPHONE & ELECTRICAL EQUIPMENT INSTALL AT 1' AFF TO FINISHED CEILING PLANT TO WOOD TO MATCH EXISTING WALL FINISH. COORDINATE FINAL SIZE AND LOCATION WITH OWNER.

- DIMENSIONING NOTES**
17. INTERIOR METAL STUD WALLS ARE DIMENSIONED TO FINISHED FACE OF GYPSUM BOARD UNLESS NOTED OTHERWISE.
 18. EXTERIOR METAL STUD WALLS ARE DIMENSIONED TO EXTERIOR FACE OF STUD UNLESS NOTED OTHERWISE.
 19. SHAP WALLS ARE DIMENSIONED TO FACE OF CMU.
- WALL NOTES**
20. WALL CORNER WALLS ARE 8x8x11 UNLESS NOTED OTHERWISE.
 21. WALL CORNER WALLS ARE 8x8x11 UNLESS NOTED OTHERWISE.
 22. WALL WALLS WITH UNITS ARE 8x8x11 UNLESS NOTED OTHERWISE.

KEYNOTES PER SHEET

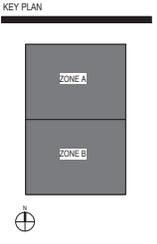


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LOWER LEVEL
 OVERALL - PHASE 1
A1000-1

A3 LOWER LEVEL OVERALL - PHASE 1
 1/8" = 1'-0"



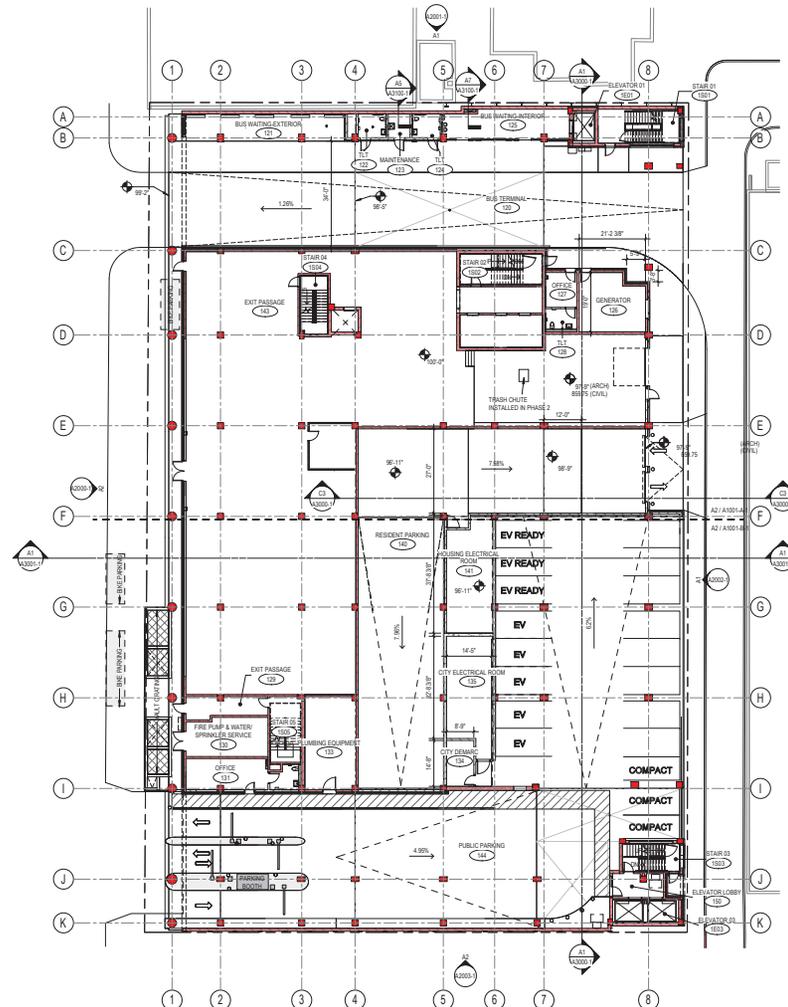
milwaukee | madison | green bay | oregon | atlanta

SHEET NOTES - FLOOR PLAN

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- NOTIFY ARCHITECT IMMEDIATELY OF ANY DIMENSIONAL OR ALIGNMENT DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.
- VERIFY STRUCTURAL ELEMENTS, INCLUDING BUT NOT LIMITED TO POST TENSION CABLES OR OTHER REINFORCEMENT EMBEDDED IN FLOOR SLABS PRIOR TO CORING OR CUTTING. COORDINATE VERIFICATION METHOD WITH OWNER.
- REFER TO SHEET A1001-2 FOR REFERENCED PARTITION TYPES AND DETAILS.
- ALL WALLS UNLESS SPECIFIED OR INDICATED TO PLUMBING/FIRES SHALL RECEIVE MOISTURE- AND MOLD-RESISTANT GYPSUM BOARD, UNLESS NOTED OTHERWISE.
- SEE ENLARGED FLOOR PLANS FOR ADDITIONAL NOTES, DIMENSIONS AND WALL TAGS.
- REPAIR PATCH AND CLEAN ALL EXISTING SURFACES SCHEDULED TO REMAIN THAT ARE AFFECTED BY DEMOLITION OR NEW CONSTRUCTION. MAKE APPEARANCE MATCHING ADJACENT CONSTRUCTION. PREPARE ALL SURFACES AS REQUIRED FOR SCHEDULED FINISHES. SKIM COAT AND PREPARE ALL DAMAGED OR DAMPENED SURFACES.
- LOCATE ALL DOOR JAMBS 4" FROM ADJACENT PERPENDICULAR WALL, UNLESS NOTED OTHERWISE.
- WORK REQUIRED FOR FIRE SPRINKLING, PLUMBING, HVAC, ELECTRICAL AND LIFE SAFETY ARE NOT FULLY REPRESENTED ON THESE PLANS. THE DESIGN OF THE FULL SCOPE OF WORK FOR FIRE SPRINKLING, PLUMBING, HVAC, ELECTRICAL AND LIFE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHOULD BE COORDINATED AND APPROVED BY THE OWNER. ANY INFORMATION KNOWN ON THE ARCHITECTURAL DRAWINGS RELATED TO THOSE DISCIPLINES ARE INTENDED FOR GENERAL REFERENCE ONLY.
- REMOVE FLOOR DEBRIS AND SMOOTH FOR NEW SURFACE FINISHES. PATCH EXISTING PENETRATIONS AND ANOMALIES IN CONCRETE FLOOR.
- PROVIDE BLOOMING BEHIND FUTURE GRAB BAR LOCATIONS IN ALL UNITS PER AND AT 1" 1/4 UNITS ARE AND AT 1" 1/4 UNITS UNLESS NOTED OTHERWISE AS AND AT 1" 1/4 UNITS. SEE SHEET A017 FOR MORE INFORMATION.
- PROVIDE BLOOMING AND FRAMING AS INDICATED AND AS REQUIRED TO SUPPORT FINISH MATERIALS. FINISHES SPECIALLY FORM, MILLWORK AND TRIM.
- PROVIDE 3/4" DRY RESISTANT TREATED WOOD AS BACKING PANELS FOR TELEPHONE & ELECTRICAL EQUIPMENT INSTALLED AT 1" AFF TO FINISHED CEILING READY TO WOOD TO MATCH ADJACENT WALL FINISH. COORDINATE FINISH, SIZE AND LOCATION WITH OWNER.

- #### DIMENSIONING NOTES
- INTERIOR METAL STUD WALLS ARE DIMENSIONED TO FINISHED FACE OF GYPSUM BOARD UNLESS NOTED OTHERWISE.
 - EXTERIOR METAL STUD WALLS ARE DIMENSIONED TO EXTERIOR FACE OF STUD UNLESS NOTED OTHERWISE.
 - 3/4" WALL BASE ARE DIMENSIONED TO FACE OF CMU.
- #### WALL NOTES
- WALL CORNER WALLS ARE 8x8x11 UNLESS NOTED OTHERWISE.
 - WALL CORNER WALLS ARE 8x8x11 UNLESS NOTED OTHERWISE.
 - WALL WALLS WITH UNITS ARE 8x8x11 UNLESS NOTED OTHERWISE.

KEYNOTES PER SHEET



PROJECT INFORMATION

STATE STREET
CAMPUS GARAGE
MIXED-USE

415 N. LAKE STREET
MADISON, WI 53715

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
07/28/2023	SCHEMATIC DESIGN SET
07/28/2023	DESIGN DEVELOPMENT PHASE

KEY PLAN



SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

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PROJECT MANAGER MO
PROJECT NUMBER 720448

1ST FLR OVERALL -
PHASE 1

A1001-1

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A3 1ST FLR OVERALL - PHASE 1
1/8" = 1'-0"

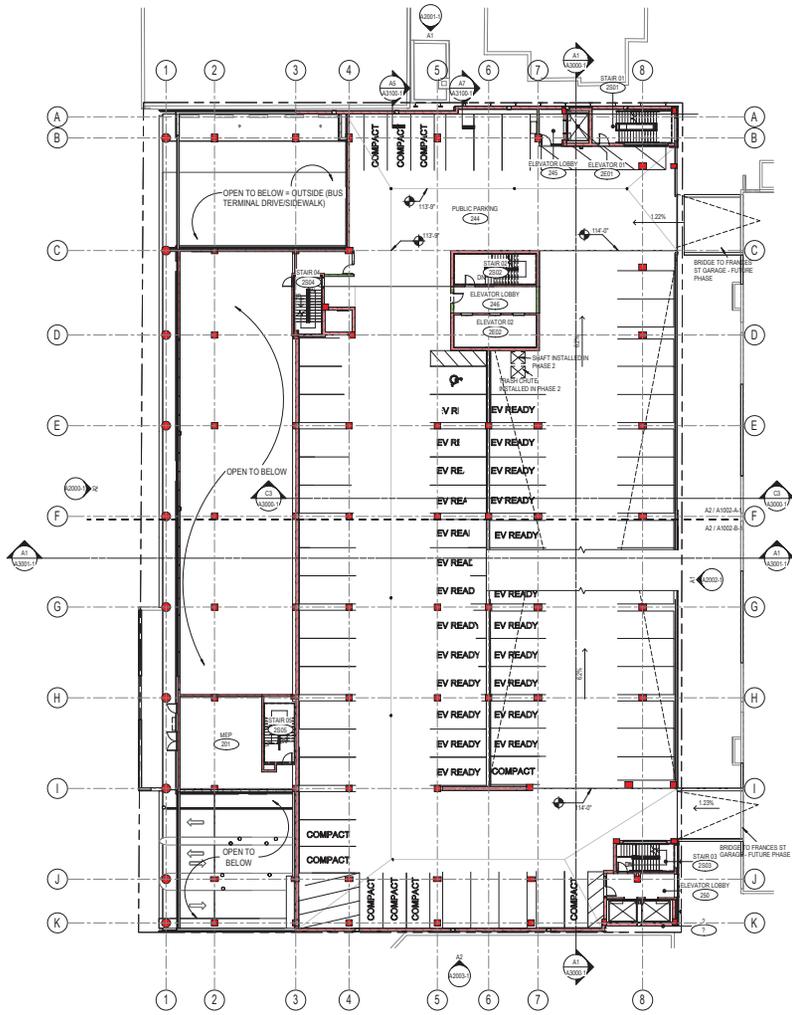
E

D

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B

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A3 P2 FLR OVERALL - PHASE 1
1/16" = 1'-0"

SHEET NOTES - FLOOR PLAN

- BEFORE BEGINNING WORK, VERIFY THE EXISTENCE AND LOCATION OF PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS AND OTHER CONSTRUCTION AFFECTING THE WORK. IF DISCREPANCIES ARE DISCOVERED, NOTIFY ARCHITECT IMMEDIATELY.
- NOTIFY ARCHITECT IMMEDIATELY OF ANY DIMENSIONAL OR ALIGNMENT DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.
- VERIFY STRUCTURAL ELEMENTS, INCLUDING BUT NOT LIMITED TO POST TENSION CABLES OR OTHER REINFORCEMENT EMBEDDED IN FLOOR SLABS PRIOR TO CORING OR CUTTING. COORDINATE VERIFICATION METHOD WITH OWNER.
- REFER TO SHEET A002 FOR REFERENCED PARTITION TYPES AND DETAILS.
- ALL WALLS UNLESS SPECIFIED OR INDICATED TO PLUMBING/FIRES SHALL RECEIVE MOISTURE AND MOLD-RESISTANT GYPSUM BOARD, UNLESS NOTED OTHERWISE.
- SEE ENLARGED FLOOR PLANS FOR ADDITIONAL NOTES, DIMENSIONS AND WALL TAGS.
- REPAIR PATCH AND CLEAN ALL EXISTING SURFACES SCHEDULED TO REMAIN THAT ARE AFFECTED BY DEMOLITION OR NEW CONSTRUCTION. MAKE APPEAR NEAT AND MATCH ADJACENT CONSTRUCTION. PREPARE ALL SURFACES AS REQUIRED FOR SCHEDULED FINISHES. SKIM COAT AND PREPARE ALL DAMAGED OR DAMAGED SURFACES.
- LOCATE ALL DOOR JAMBS 4" FROM ADJACENT PERPENDICULAR WALL, UNLESS NOTED OTHERWISE.
- WORK REQUIRED FOR FIRE SPRINKLER, PLUMBING, HVAC, ELECTRICAL AND LIFE SAFETY ARE NOT FULLY REPRESENTED ON THESE PLANS. THE SCOPE OF THE FULL SCOPE OF WORK FOR FIRE SPRINKLER, PLUMBING, HVAC, ELECTRICAL AND LIFE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHOULD BE COORDINATED AND APPROVED BY THE OWNER. ANY INFORMATION SHOWN ON THE ARCHITECTURAL DRAWINGS RELATED TO THOSE DISCIPLINES ARE INTENDED FOR GENERAL REFERENCE ONLY.
- REFINISH FLOOR SLABS AND SKETCH FOR FUTURE SURFACE FINISHES. PATCH EXISTING PENETRATIONS AND ANOMALIES IN CONCRETE FLOOR.
- PROVIDE BLOOMING BEFORE FUTURE GRAB BAR LOCATIONS IN ALL UNITS PER AND A111. ALL UNITS ARE A111 TYPE UNITS UNLESS NOTED OTHERWISE AS A111 TYPE UNITS. SEE SHEET A001 FOR MORE INFORMATION.
- PROVIDE BLOOMING AND FRAMING AS INDICATED AND AS REQUIRED TO SUPPORT FACING MATERIALS. FINISH SPECIALLY FORM, MILLWORK AND TRIM.
- PROVIDE 1/2" THICK REINFORCED TREATED WOOD AS BACKING PANELS FOR TELEPHONE & ELECTRICAL EQUIPMENT INSTALL AT 1' ON AFF TO FINISHED CEILING READY TO WOOD TO MATCH ADJACENT WALL FINISH. COORDINATE FINISH SIZE AND LOCATION WITH OWNER.

DIMENSIONING NOTES

- INTERIOR METAL STUD WALLS ARE DIMENSIONED TO FINISHED FACE OF GYPSUM BOARD UNLESS NOTED OTHERWISE.
- EXTERIOR METAL STUD WALLS ARE DIMENSIONED TO EXTERIOR FACE OF STUD UNLESS NOTED OTHERWISE.
- 3/4" WALL BASE DIMENSIONED TO FACE OF GYM.

WALL NOTES

- ALL CORNER WALLS ARE 90-DIGIT UNLESS NOTED OTHERWISE.
- ALL INTERIOR WALLS ARE 90-DIGIT UNLESS NOTED OTHERWISE.
- ALL WALLS WITHIN UNITS ARE 90-DIGIT UNLESS NOTED OTHERWISE.

KEYNOTES PER SHEET



PROJECT INFORMATION

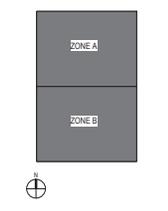
STATE STREET
CAMPUS GARAGE
MIXED-USE

415 N. LAKE STREET
MADISON, WI 53715

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
07-28-2023	CONSTRUCTION DESIGN SET
07-28-2023	DESIGN DEVELOPMENT PHASE

KEY PLAN



SHEET INFORMATION

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PROJECT MANAGER MO
PROJECT NUMBER 720448

P2 FLR OVERALL - PHASE 1

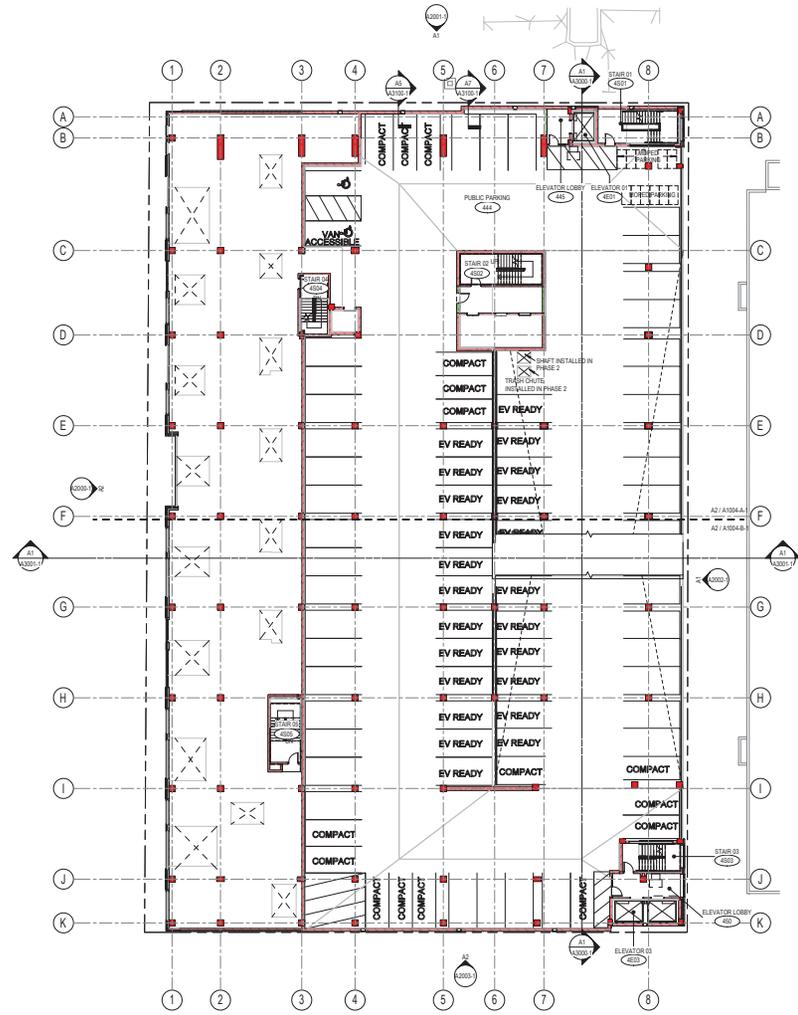
A1002-1

SHEET NOTES - FLOOR PLAN

- BEFORE BEGINNING WORK, VERIFY THE EXISTENCE AND LOCATION OF PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS AND OTHER CONSTRUCTION AFFECTING THE WORK. IF DISCREPANCIES ARE DISCOVERED, NOTIFY ARCHITECT PROMPTLY.
- NOTIFY ARCHITECT IMMEDIATELY OF ANY DIMENSIONAL OR ALIGNMENT DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.
- VERIFY STRUCTURAL ELEMENTS, INCLUDING BUT NOT LIMITED TO POST TENSION CABLES OR OTHER REINFORCEMENT EMBEDDED IN FLOOR SLABS PRIOR TO CORING OR CUTTING. COORDINATE VERIFICATION METHOD WITH OWNER.
- REFER TO SHEET A1004.2 FOR REFERENCED PARTITION TYPES AND DETAILS.
- ALL WALLS UNLESS OTHERWISE NOTED OR INDICATED TO PLUMBING FITTERS SHALL RECEIVE MOISTURE- AND MOLD-RESISTANT GYPSUM BOARD, UNLESS NOTED OTHERWISE.
- SEE ENLARGED FLOOR PLANS FOR ADDITIONAL NOTES, DIMENSIONS AND WALL TAGS.
- REPAIR, PATCH AND CLEAN ALL EXISTING SURFACES SCHEDULED TO REMAIN THAT ARE AFFECTED BY DEMOLITION OR NEW CONSTRUCTION. MAKE APPEAR NEAT, MATCHING ADJACENT CONSTRUCTION. PREPARE ALL SURFACES AS REQUIRED FOR SCHEDULED FINISHES. SKIM COAT AND PREPARE ALL DAMAGED OR DAMAGED SURFACES.
- LOCATE ALL DOOR JAMBS 4" FROM ADJACENT PERPENDICULAR WALL, UNLESS NOTED OTHERWISE.
- WORK REQUIRED FOR FIRE SPRINKLER, PLUMBING, HVAC, ELECTRICAL AND LIFE SAFETY ARE NOT FULLY REPRESENTED ON THESE PLANS. THE DESIGN OF THE FULL SCOPE OF WORK FOR FIRE SPRINKLERS, PLUMBING, HVAC, ELECTRICAL AND LIFE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR, AND SHOULD BE COORDINATED AND APPROVED BY THE OWNER. ANY INFORMATION KNOWN ON THE ARCHITECTURAL DRAWINGS RELATED TO THOSE DISCIPLINES ARE INTENDED FOR GENERAL REFERENCE ONLY.
- REMOVE FLOOR SLAB AND SIXTYFOUR (60) INCH SURFACE FINISHES. PATCH EXISTING PENETRATIONS AND ANOMALIES IN CONCRETE FLOOR.
- PROVIDE BLOOMING BEHIND FUTURE GRAB BAR LOCATIONS IN ALL UNITS PER AND AT 1/4" ALL UNITS ARE AND AT 1/4" TYPICAL UNITS. SEE SHEET A017 FOR MORE INFORMATION.
- PROVIDE BLOOMING AND FRAMING AS INDICATED AND AS REQUIRED TO SUPPORT FLOOR MATERIALS, FINISHES, SPECIALTY FLOOR MATERIALS AND TRIM.
- PROVIDE 1/2" THICK REINFORCED TREATED WOOD AS BACKING PANELS FOR TELEPHONE & ELECTRICAL EQUIPMENT RENTAL AT 1' OF AFF TO FINISHED CEILING READY TO WOOD TO MATCH EXISTING WALL FINISH. COORDINATE FINAL SIZE AND LOCATION WITH OWNER.
- REMOVE FLOOR SLAB AND SIXTYFOUR (60) INCH SURFACE FINISHES. PATCH EXISTING PENETRATIONS AND ANOMALIES IN CONCRETE FLOOR.

- #### DIMENSIONING NOTES
- INTERIOR METAL STUD WALLS ARE DIMENSIONED TO FINISHED FACE OF GYPSUM BOARD, UNLESS NOTED OTHERWISE.
 - EXTERIOR METAL STUD WALLS ARE DIMENSIONED TO EXTERIOR FACE OF STUD, UNLESS NOTED OTHERWISE.
 - 3/4" WALLS ARE DIMENSIONED TO FACE OF CMU.
- #### WALL NOTES
- ALL INTERIOR WALLS ARE 5/8" G11 UNLESS NOTED OTHERWISE.
 - ALL EXTERIOR WALLS ARE 8" CMU UNLESS NOTED OTHERWISE.
 - ALL WALLS WITH UNITS ARE 8" G11 UNLESS NOTED OTHERWISE.

KEYNOTES PER SHEET



PROJECT INFORMATION

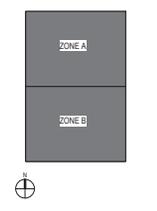
STATE STREET
CAMPUS GARAGE
MIXED-USE

415 N. LAKE STREET
MADISON, WI 53715

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
07/28/2023	CONSTRUCTION DESIGN SET
07/28/2023	DESIGN DEVELOPMENT PHASE

KEY PLAN



SHEET INFORMATION

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PROJECT MANAGER MO
PROJECT NUMBER 720448

P4 FLR OVERALL -
PHASE 1

A1004-1

SHEET NOTES - FLOOR PLAN

- BEFORE BEGINNING WORK, VERIFY THE EXISTENCE AND LOCATION OF PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS AND OTHER CONSTRUCTION AFFECTING THE WORK. IF DISCREPANCIES ARE DISCOVERED, NOTIFY ARCHITECT PROMPTLY.
- NOTIFY ARCHITECT IMMEDIATELY OF ANY DIMENSIONAL OR ALIGNMENT DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.
- VERIFY STRUCTURAL ELEMENTS, INCLUDING BUT NOT LIMITED TO POST TENSION CABLES OR OTHER REINFORCEMENTS EMBEDDED IN FLOOR SLABS PRIOR TO CORING OR CUTTING. COORDINATE VERIFICATION METHOD WITH OWNER.
- REFER TO SHEET A1005.2 FOR REFERENCED PARTITION TYPES AND DETAILS.
- ALL WALLS UNLESS OTHERWISE NOTED OR INDICATED TO PLUMBING FITTERS SHALL RECEIVE MOISTURE- AND MOLD-RESISTANT GYPSUM BOARD, UNLESS NOTED OTHERWISE.
- SEE ENLARGED FLOOR PLANS FOR ADDITIONAL NOTES, DIMENSIONS AND WALL TAGS.
- REPAIR PATCH AND CLEAN ALL EXISTING SURFACES SCHEDULED TO REMAIN THAT ARE AFFECTED BY DEMOLITION OR NEW CONSTRUCTION. MAKE APPEAR NEAT AND MATCH ADJACENT CONSTRUCTION. PREPARE ALL SURFACES AS REQUIRED FOR SCHEDULED FINISHES. SKIM COAT AND PREPARE ALL DAMAGED OR DAMAGED SURFACES.
- LOCATE ALL DOOR JAMBS 4" FROM ADJACENT PERPENDICULAR WALL, UNLESS NOTED OTHERWISE.
- WORK REQUIRED FOR FIRE SPRINKLER, PLUMBING, HVAC, ELECTRICAL AND LIFE SAFETY ARE NOT FULLY REPRESENTED ON THESE PLANS. THE DESIGN OF THE FULL SCOPE OF WORK FOR FIRE SPRINKLERS, PLUMBING, HVAC, ELECTRICAL AND LIFE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR, AND SHOULD BE COORDINATED AND APPROVED BY THE OWNER. ANY INFORMATION SHOWN ON THE ARCHITECTURAL DRAWINGS RELATED TO THOSE DISCIPLINES ARE INTENDED FOR GENERAL REFERENCE ONLY.
- FINISH FLOOR SLAB IS 2" THICK FOR INTERIOR SURFACE FINISHES. PATCH EXISTING PENETRATIONS AND ANOMALIES IN CONCRETE FLOOR.
- PROVIDE BLOOMING BEHIND FUTURE GRAB BAR LOCATIONS IN ALL UNITS PER AND AT 1 1/4" UNITS AND AT 1 1/2" TYPE 4 UNITS, UNLESS NOTED OTHERWISE AS AN 11 1/2" TYPE 4 UNITS. SEE SHEET A01 FOR MORE INFORMATION.
- PROVIDE BLOOMING AND FRAMING AS INDICATED AND AS REQUIRED TO SUPPORT FLOOR MATERIALS, FINISHES, SPECIALTY FLOOR MATERIALS AND TRIM.
- PROVIDE 3/4" REINFORCING TREATED TO WOOD AS BACKING PANELS FOR TELEPHONE & ELECTRICAL EQUIPMENT INSTALL AT 1' AFF TO FINISHED CEILING PLANT TO WOOD TO MATCH EXISTING WALL FINISH. COORDINATE FINAL SIZE AND LOCATION WITH OWNER.

DIMENSIONING NOTES

- INTERIOR METAL STUD WALLS ARE DIMENSIONED TO FINISHED FACE OF GYPSUM BOARD, UNLESS NOTED OTHERWISE.
- EXTERIOR METAL STUD WALLS ARE DIMENSIONED TO EXTERIOR FACE OF STUD, UNLESS NOTED OTHERWISE.
- SMU WALLS ARE DIMENSIONED TO FACE OF CMU.

WALL NOTES

- ALL CORNER WALLS ARE 8x8 FT UNLESS NOTED OTHERWISE.
- ALL WALL CORNER WALLS ARE 8x8 FT UNLESS NOTED OTHERWISE.
- ALL WALLS WITH UNITS ARE 8x8 FT UNLESS NOTED OTHERWISE.

KEYNOTES PER SHEET

PROJECT INFORMATION

STATE STREET
 CAMPUS GARAGE
 MIXED-USE

415 N. LAKE STREET
 MADISON, WI 53715

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
07/28/2023	SCHEMATIC DESIGN SET
07/28/2023	DESIGN DEVELOPMENT PHASE

KEY PLAN



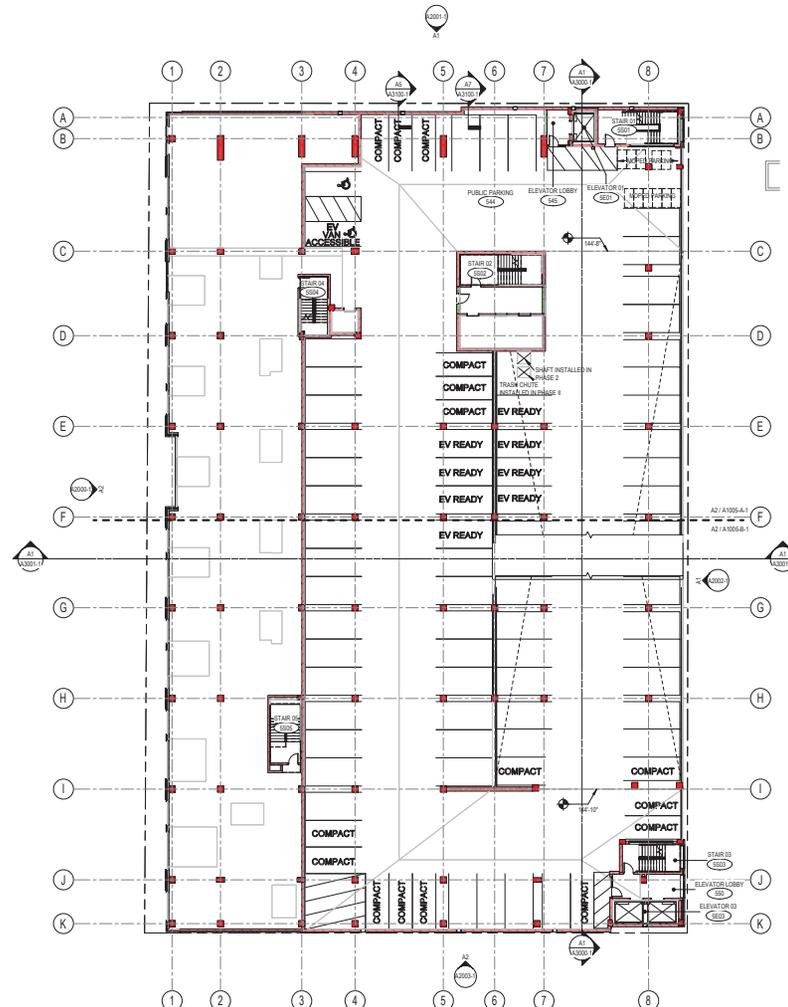
SHEET INFORMATION

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PROJECT MANAGER MO
 PROJECT NUMBER 720448

P5 FLR OVERALL -
 PHASE 1

A1005-1



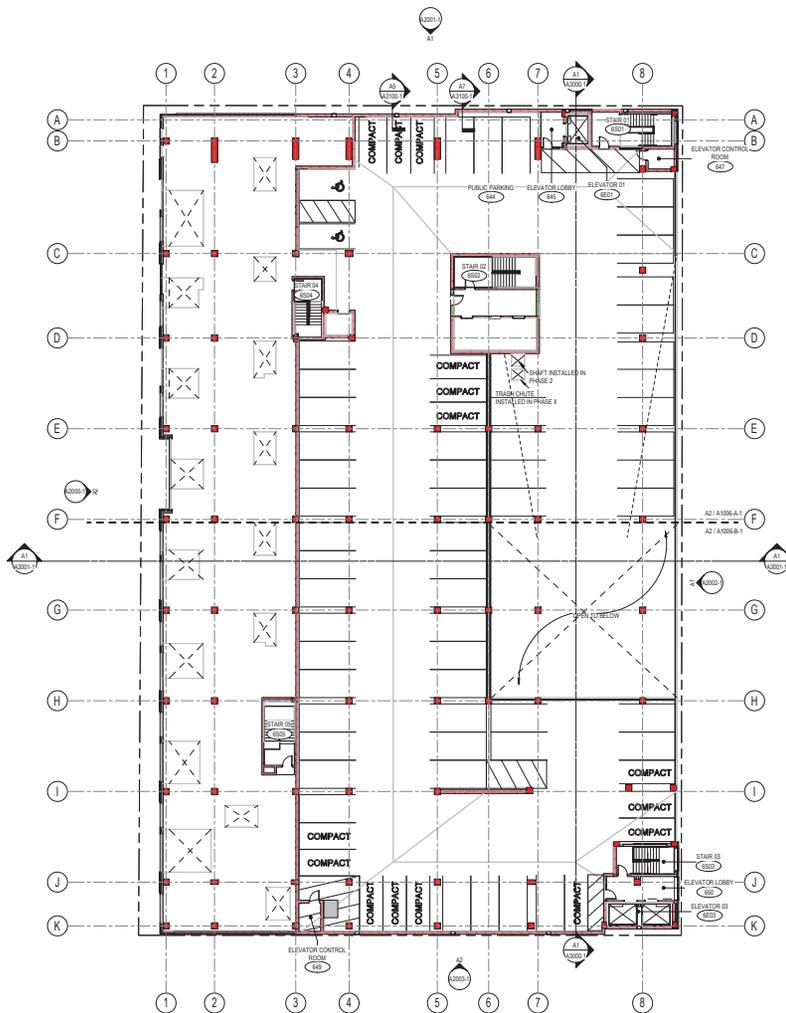
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SHEET NOTES - FLOOR PLAN

- BEFORE BEGINNING WORK, VERIFY THE EXISTENCE AND LOCATION OF PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS AND OTHER CONSTRUCTION AFFECTING THE WORK. IF DISCREPANCIES ARE DISCOVERED, NOTIFY ARCHITECT PROMPTLY.
- NOTIFY ARCHITECT IMMEDIATELY OF ANY DIMENSIONAL OR ALIGNMENT DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.
- VERIFY STRUCTURAL ELEMENTS, INCLUDING BUT NOT LIMITED TO POST TENSION CABLES OR OTHER REINFORCEMENT EMBEDDED IN FLOOR SLABS PRIOR TO CORING OR CUTTING. COORDINATE VERIFICATION METHOD WITH OWNER.
- REFER TO SHEET A1006-2 FOR REFERENCED PARTITION TYPES AND DETAILS.
- ALL WALLS UNLESS SPECIFIED OR INDICATED TO PLUMBING/FIRES SHALL RECEIVE MOISTURE- AND MOLD-RESISTANT GYPSUM BOARD, UNLESS NOTED OTHERWISE.
- SEE ENLARGED FLOOR PLANS FOR ADDITIONAL NOTES, DIMENSIONS AND WALL TAGS.
- REPAIR PATCH AND CLEAN ALL EXISTING SURFACES SCHEDULED TO REMAIN THAT ARE AFFECTED BY DEMOLITION OR NEW CONSTRUCTION. MAKE APPEAR NEAT AND MATCH ADJACENT CONSTRUCTION. PREPARE ALL SURFACES AS REQUIRED FOR SCHEDULED FINISHES. SKIM COAT AND PREPARE ALL DAMAGED OR DAMAGED SURFACES.
- LOCATE ALL DOOR JAMBS # FROM ADJACENT PERPENDICULAR WALL, UNLESS NOTED OTHERWISE.
- WORK REQUIRED FOR FIRE SPRINKLERS, PLUMBING, HVAC, ELECTRICAL AND LIFE SAFETY ARE NOT FULLY REPRESENTED ON THESE PLANS. THE DESIGN OF THE FULL SCOPE OF WORK FOR FIRE SPRINKLERS, PLUMBING, HVAC, ELECTRICAL AND LIFE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR, AND SHOULD BE COORDINATED AND APPROVED BY THE OWNER. ANY INFORMATION SHOWN ON THE ARCHITECTURAL DRAWINGS RELATED TO THOSE DISCIPLINES ARE INTENDED FOR GENERAL REFERENCE ONLY.
- INDICATE FLOOR LEVEL AND SLOPE FOR BOTH SURFACE FINISHES. PATCH EXISTING PENETRATIONS AND ANOMALIES IN CONCRETE FLOOR.
- PROVIDE BLOOMING BEHIND FUTURE GRAB BAR LOCATIONS IN ALL UNITS PER AND A111. ALL UNITS ARE A111 TYPE UNITS UNLESS NOTED OTHERWISE AS A111 TYPE UNITS. SEE SHEET A017 FOR MORE INFORMATION.
- PROVIDE BLOOMING AND FRAMING AS INDICATED AND AS REQUIRED TO SUPPORT FINISH MATERIALS. FINISHES SPECIALLY FORM, MILLWORK AND TRIM.
- PROVIDE 1/2" REINFORCING TREATED OR WOOD AS BACKING PANELS FOR TELEPHONE & ELECTRICAL EQUIPMENT. INSTALL AT 1' AFF TO FINISHED CEILING PLANT TO WOOD TO MATCH ADJACENT WALL FINISH. COORDINATE FINAL SIZE AND LOCATION WITH OWNER.

- #### DIMENSIONING NOTES
- INTERIOR METAL STUD WALLS ARE DIMENSIONED TO FINISHED FACE OF GYPSUM BOARD UNLESS NOTED OTHERWISE.
 - EXTERIOR METAL STUD WALLS ARE DIMENSIONED TO EXTERIOR FACE OF STUD UNLESS NOTED OTHERWISE.
 - DRY WALLS ARE DIMENSIONED TO FACE OF GYM.
- #### WALL NOTES
- ALL INTERIOR WALLS ARE 5/8" G11 UNLESS NOTED OTHERWISE.
 - ALL EXTERIOR WALLS ARE 8" CMU UNLESS NOTED OTHERWISE.
 - ALL WALLS WITH UNITS ARE 5/8" G11 UNLESS NOTED OTHERWISE.

KEYNOTES PER SHEET



PROJECT INFORMATION

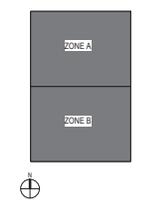
STATE STREET
CAMPUS GARAGE
MIXED-USE

415 N. LAKE STREET
MADISON, WI 53715

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
07/28/2023	ISSUANCE DESIGN PER
07/28/2023	DESIGN DEVELOPMENT PER

KEY PLAN



SHEET INFORMATION

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PROJECT MANAGER MO
PROJECT NUMBER 720448

P6 FLR OVERALL -
PHASE 1

A1006-1

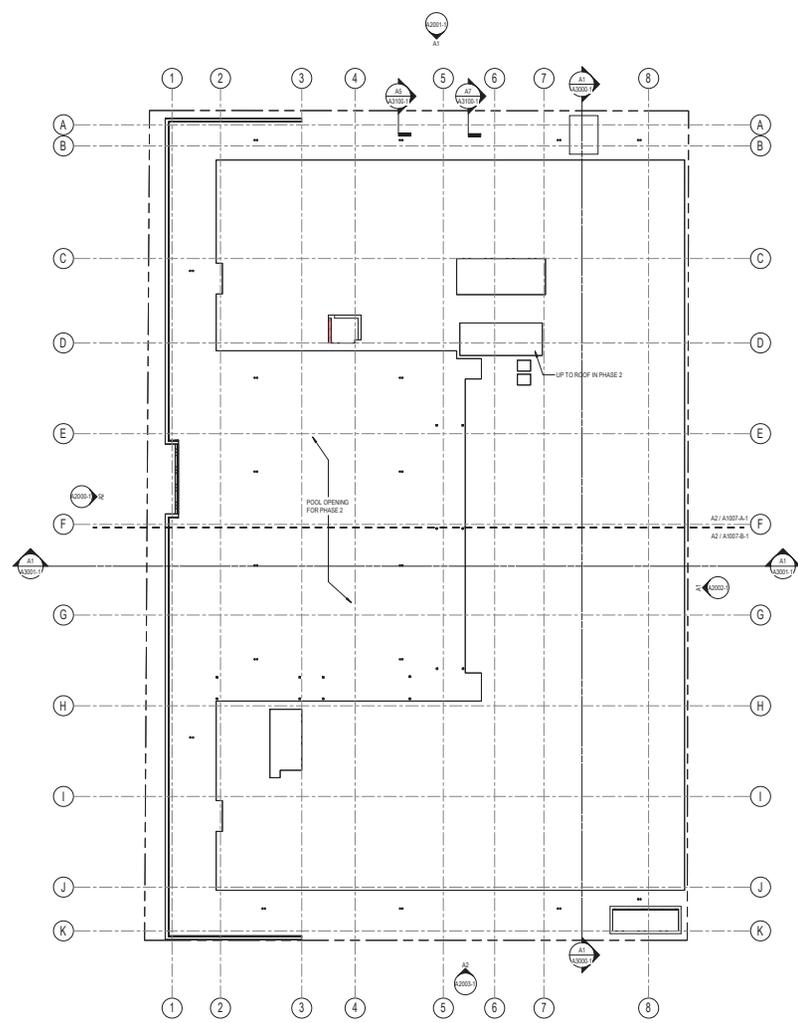
A3 P6 OVERALL - PHASE 1
V10F - 1/3"

SHEET NOTES - FLOOR PLAN

- BEFORE BEGINNING WORK, VERIFY THE EXISTENCE AND LOCATION OF PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS AND OTHER CONSTRUCTION AFFECTING THE WORK. IF DISCREPANCIES ARE DISCOVERED, NOTIFY ARCHITECT PROMPTLY.
- NOTIFY ARCHITECT IMMEDIATELY OF ANY DIMENSIONAL OR ALIGNMENT DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.
- VERIFY STRUCTURAL ELEMENTS, INCLUDING BUT NOT LIMITED TO POST TENSION CABLES OR OTHER REINFORCEMENT EMBEDDED IN FLOOR SLABS PRIOR TO CORING OR CUTTING. COORDINATE VERIFICATION METHOD WITH OWNER.
- REFER TO SHEET A1007-2 FOR REFERENCED PARTITION TYPES AND DETAILS.
- ALL WALLS UNLESS SPECIFIED OR INDICATED TO PLUMBING/FIRES SHALL RECEIVE MOISTURE AND MOLD-RESISTANT GYPSUM BOARD, UNLESS NOTED OTHERWISE.
- SEE ENLARGED FLOOR PLANS FOR ADDITIONAL NOTES, DIMENSIONS AND WALL TAGS.
- REPAIR PATCH AND CLEAN ALL EXISTING SURFACES SCHEDULED TO REMAIN THAT ARE AFFECTED BY DEMOLITION OR NEW CONSTRUCTION. MAKE APPEAR NEAT, MATCHING ADJACENT CONSTRUCTION. PREPARE ALL SURFACES AS REQUIRED FOR SCHEDULED FINISHES. SKIM COAT AND PREPARE ALL DAMAGED OR DAMAGED SURFACES.
- LOCATE ALL DOOR JAMBS 4" FROM ADJACENT PERPENDICULAR WALL, UNLESS NOTED OTHERWISE.
- WORK REQUIRED FOR FIRE SPRINKLING, PLUMBING, HVAC, ELECTRICAL AND LIFE SAFETY ARE NOT FULLY REPRESENTED ON THESE PLANS. THE DESIGN OF THE FULL SCOPE OF WORK FOR FIRE SPRINKLING, PLUMBING, HVAC, ELECTRICAL AND LIFE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHOULD BE COORDINATED AND APPROVED BY THE OWNER. ANY INFORMATION KNOWN ON THE ARCHITECTURAL DRAWINGS RELATED TO THOSE DISCIPLINES ARE INTENDED FOR GENERAL REFERENCE ONLY.
- FINISH FLOOR SLAB AND SMOOTH FOR BOTH SURFACE FINISHES. PATCH EXISTING PENETRATIONS AND ANOMALIES IN CONCRETE FLOOR.
- PROVIDE BLOOMING BEFORE FINISH GRADE BAR LOCATIONS IN ALL UNITS PER AND AT 1/4" ALL UNITS PER AND AT 1/4" TYPE 4 UNITS PER UNLESS NOTED OTHERWISE AS NOT AT 1/4" TYPE 4 UNITS PER. SEE SHEET A071 FOR MORE INFORMATION.
- PROVIDE BLOOMING AND FRAMING AS INDICATED AND AS REQUIRED TO SUPPORT FINISH MATERIALS. FINISHES SPECIALLY FORM, MILLWORK AND TRIM.
- PROVIDE 3/4" X 1/4" REINFORCING TREATED OR WOOD AS BACKING PANELS FOR TELEPHONE & ELECTRICAL EQUIPMENT. INSTALL AT 1' OFF AFF TO FINISHED CEILING PLANT TO WOOD TO MATCH ADJACENT WALL FINISH. COORDINATE FINISH SIZE AND LOCATION WITH OWNER.

- #### DIMENSIONING NOTES
- INTERIOR METAL STUD WALLS ARE DIMENSIONED TO FINISHED FACE OF GYPSUM BOARD UNLESS NOTED OTHERWISE.
 - EXTERIOR METAL STUD WALLS ARE DIMENSIONED TO EXTERIOR FACE OF STUD UNLESS NOTED OTHERWISE.
 - SMALL WALLS ARE DIMENSIONED TO FACE OF CMU.
- #### WALL NOTES
- WALL CORNER WALLS ARE 8x8x11 UNLESS NOTED OTHERWISE.
 - ALL INTERIOR WALLS ARE 8x8x11 UNLESS NOTED OTHERWISE.
 - WALL BUILDS WITHIN UNITS ARE 8x8x11 UNLESS NOTED OTHERWISE.

KEYNOTES PER SHEET



A3 4TH FLR OVERALL - PHASE 1
1/8" = 1'-0"

PROJECT INFORMATION

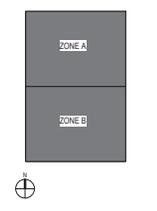
STATE STREET
CAMPUS GARAGE
MIXED-USE

415 N. LAKE STREET
MADISON, WI 53715

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
07/28/2023	SCHEMATIC DESIGN SET
07/28/2023	DESIGN DEVELOPMENT PH1

KEY PLAN



SHEET INFORMATION

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PROJECT MANAGER MO
PROJECT NUMBER 720448

7TH FLR OVERALL -
PHASE 1

A1007-1