

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

AGENDA ITEM # _____
Project # _____
Legistar # _____

DATE SUBMITTED: 04.17.13

Action Requested

- Informational Presentation
 Initial Approval and/or Recommendation
 Final Approval and/or Recommendation

UDC MEETING DATE: 05.08.13

PLEASE PRINT!

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PROJECT ADDRESS: 3330 Atwood Ave Madison WI 53704

ALDERMANIC DISTRICT: 6 & 15

OWNER/DEVELOPER (Partners and/or Principals)
City of Madison Parks

ARCHITECT/DESIGNER/OR AGENT:
HGA Architects and Engineers, Inc.

Olbrich Botanical Society

CONTACT PERSON: d'Andre Willis

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Milwaukee WI 53202

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TYPE OF PROJECT:

(See Section A for:)

- Planned Unit Development (PUD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Community Development (PCD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Residential Development (PRD)
 New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
 School, Public Building or Space (Fee may be required)
 New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
 Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review* (Fee required)
 Street Graphics Variance* (Fee required)
 Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.

OLBRICH BOTANICAL GARDENS

MASTER PLAN + SCHEMATIC DESIGN



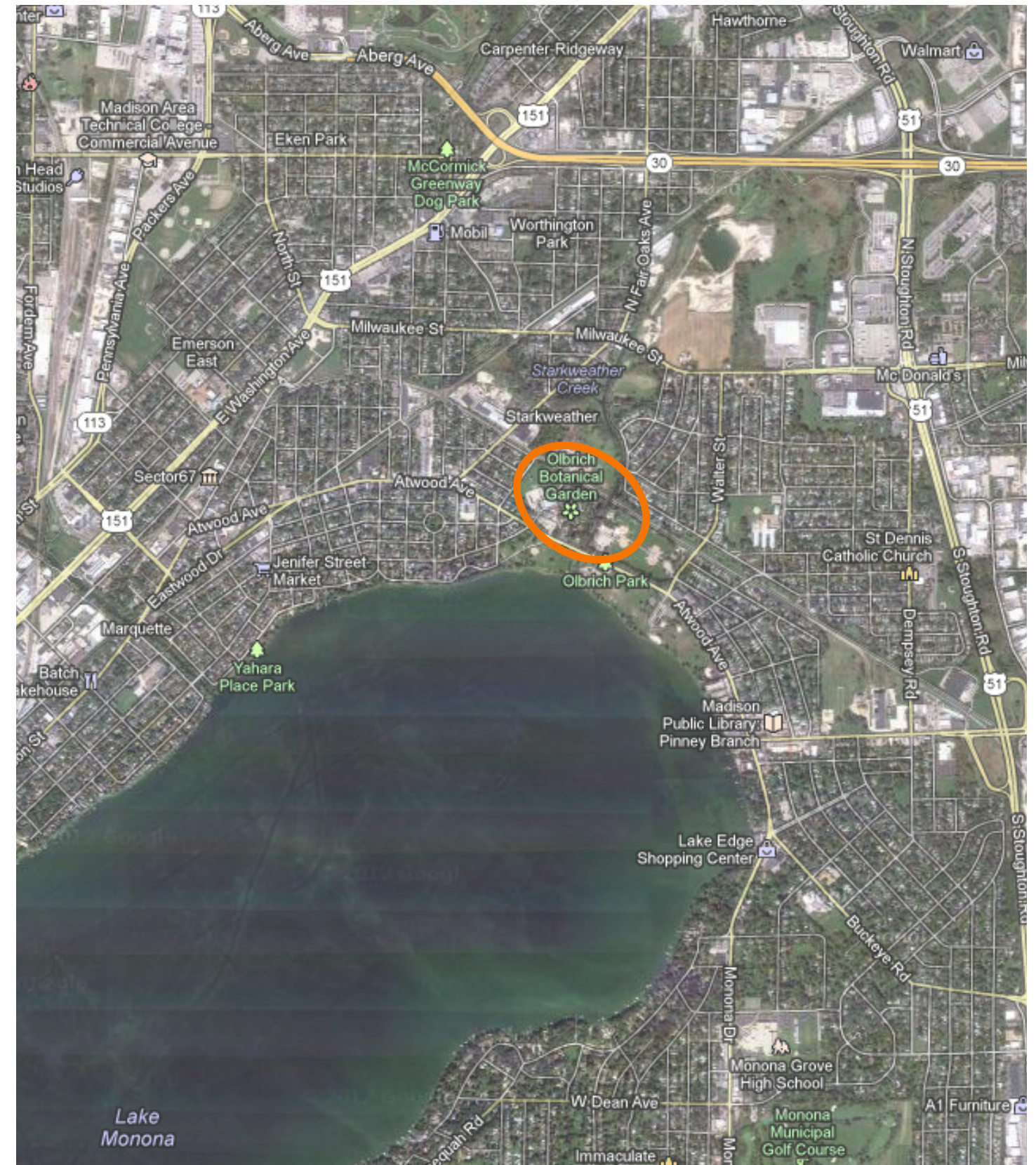
Public Stakeholder Meetings

Olbrich Botanical Gardens, located in Madison's east side, is operated as a public-private partnership between the City of Madison Parks Division and the Olbrich Botanical Society. According to the vision statement, Olbrich Botanical Gardens will be a locally treasured and globally renowned source of beauty and education celebrating the importance of plants in a sustainable world.

Since 1990, Olbrich Botanical Gardens has seen a 308% increase in visitors, which parallels the growth of Madison's population; by 2025 it is estimated that 325,000 people will visit the gardens annually (1.5x today's levels). Not only have the programs and people outgrown the existing building, the facilities themselves are out-of-date, in poor condition, and energy inefficient. These two factors are the main reasons for today's need for a new masterplan and design for improved and expanded facilities. The project kicked-off in November 2012, with Olbrich and City of Madison staff working alongside a consultant team led by HGA Architects and Engineers, Inc.

The public-private partnership of the gardens has inspired a public process of five stakeholder meetings, where the community is invited to help inform the development of the project and provide input towards the final schematic plan for the facilities. Through a combination of meetings with the Leadership Team, the Core Team, and the public stakeholders, the process of verifying program and existing conditions has led to a proposed site and facility master plan. At this point in the process, the teams have selected a scheme to move forward with schematic design.

The project encompasses renovations to existing facilities, upgrades to existing systems, and new construction; keeping in mind the steady growth of Olbrich Botanical Gardens, it also accounts for future expansion beyond this specific project. The proposed design meets the pressing needs of the public and visitor experience, education programs, growing the gardens, and includes improvements to the site and sustainability of the facility.



Locator Map

1" = 2000'

Description of Project



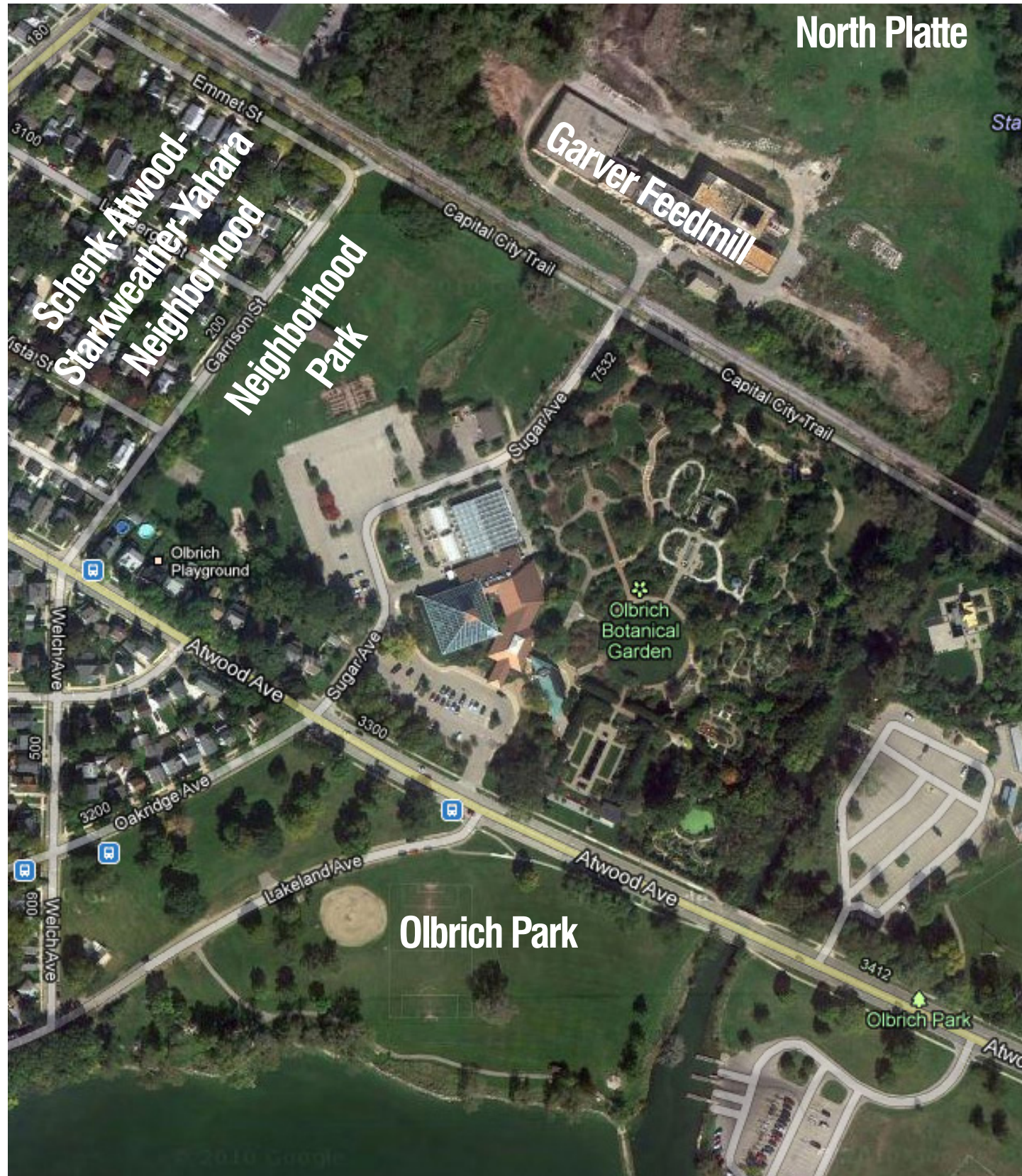
Green Corridor & Starkweather Creek Watershed

1" = 1000'



Surrounding Neighborhoods

1" = 1000'



Houses to west of site along Atwood Ave



Houses to southwest of site along Oakridge Ave

Site Context

1" = 250'

Olbrich Botanical Gardens Masterplan
3330 Atwood Avenue Madison WI 53704
608.246.4550 | www.olbrich.org





Private garage access off of Sugar Ave



Main entrance and conservatory



Olbrich sports park to east of Starkweather Creek



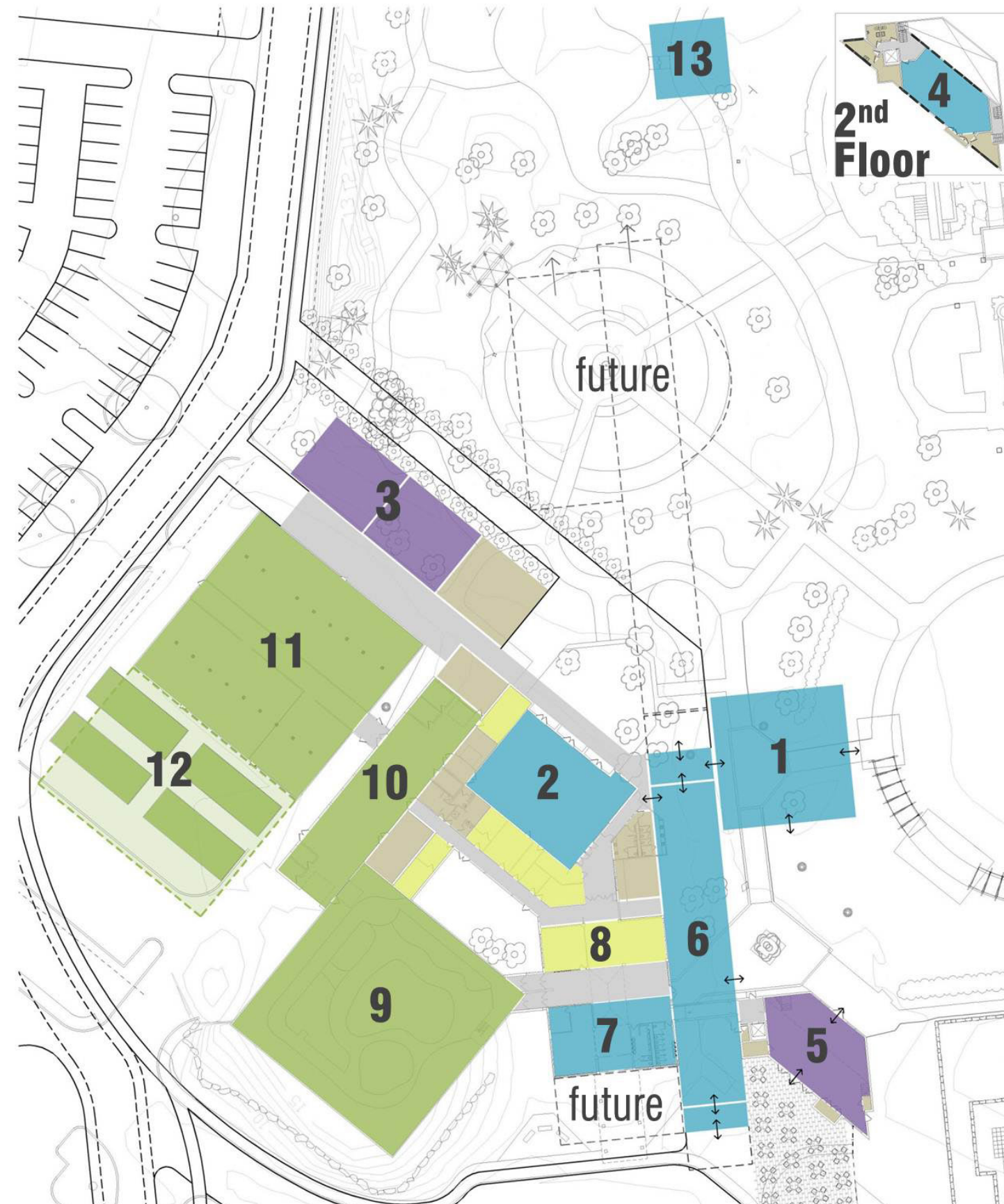
Original 1970s building

Site Context

Existing Olbrich Botanical Gardens Facility

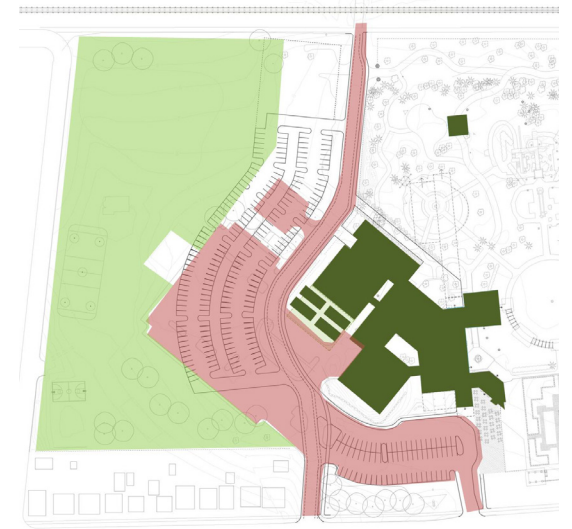
Program Space Key

1.	Plant Show Space	4,000 sf
2.	Event Space	3,000 sf
3.	Pre-K – 12 Classrooms	3,000 sf
4.	Classroom/Mtg./Bride's Rm.	1,050 sf
5.	Library/Orientation Space	1,930 sf
6.	Lobby/Orangerie	4,600 sf
7.	Gift Shop	2,100 sf
8.	Office	2,930 sf
9.	Conservatory	9,870 sf
10.	Headhouse	3,400 sf
11.	Greenhouse	9,540 sf
12.	Quonsets	3,390 sf
13.	Garden Pavilion	1,300 sf



Proposed Building Plan 04.15.2013 

1/64" = 1'-0"



134,470 sf existing impervious parking surface



76,897 sf proposed impervious parking surface

: 43% reduction of impervious parking surface

: improved neighborhood park

■ new ■ existing

Proposed Site Plan 04.15.2013

1/128" = 1'-0"

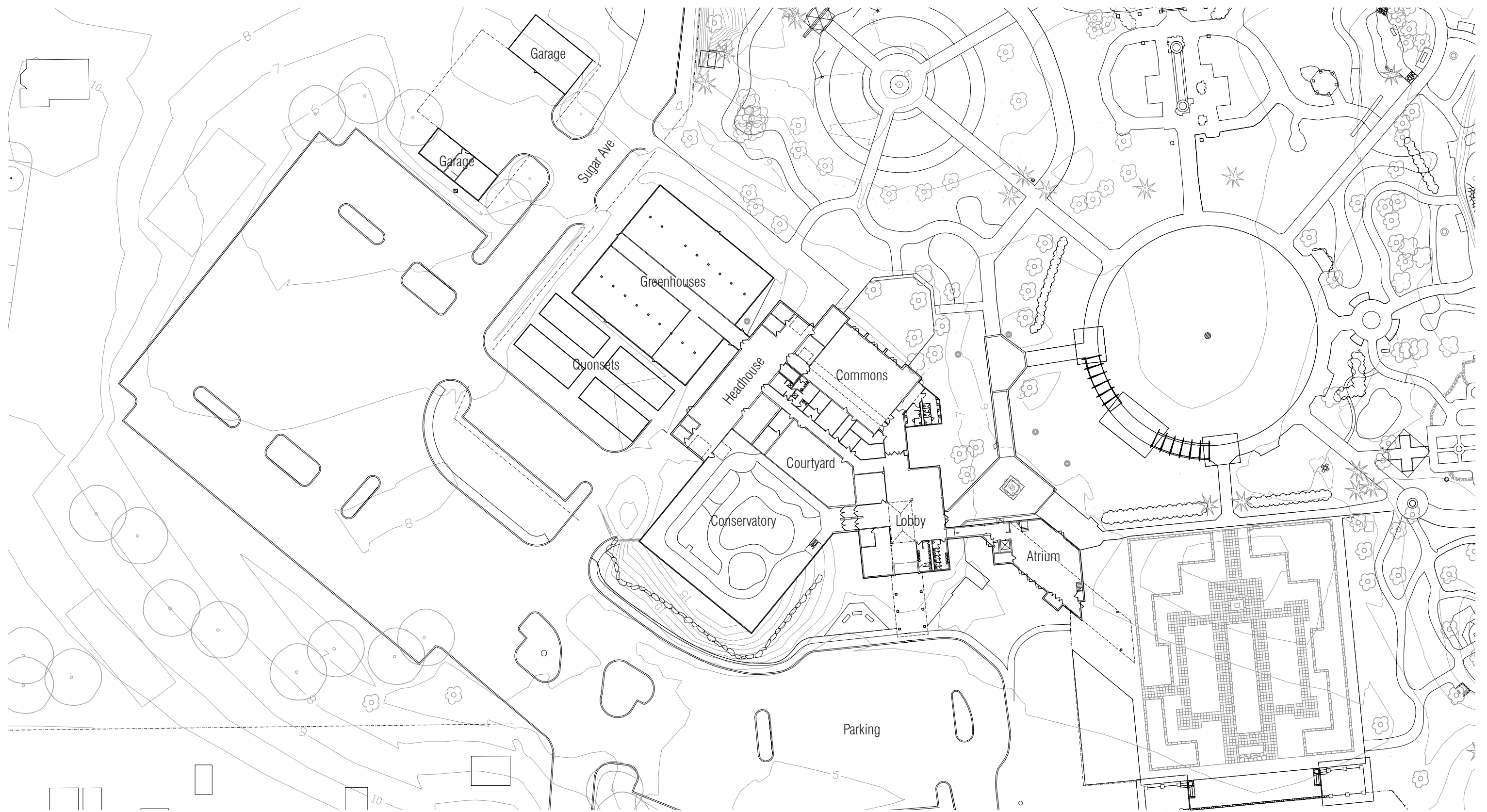




Proposed Parti Diagram



Proposed Lobby/Orangerie

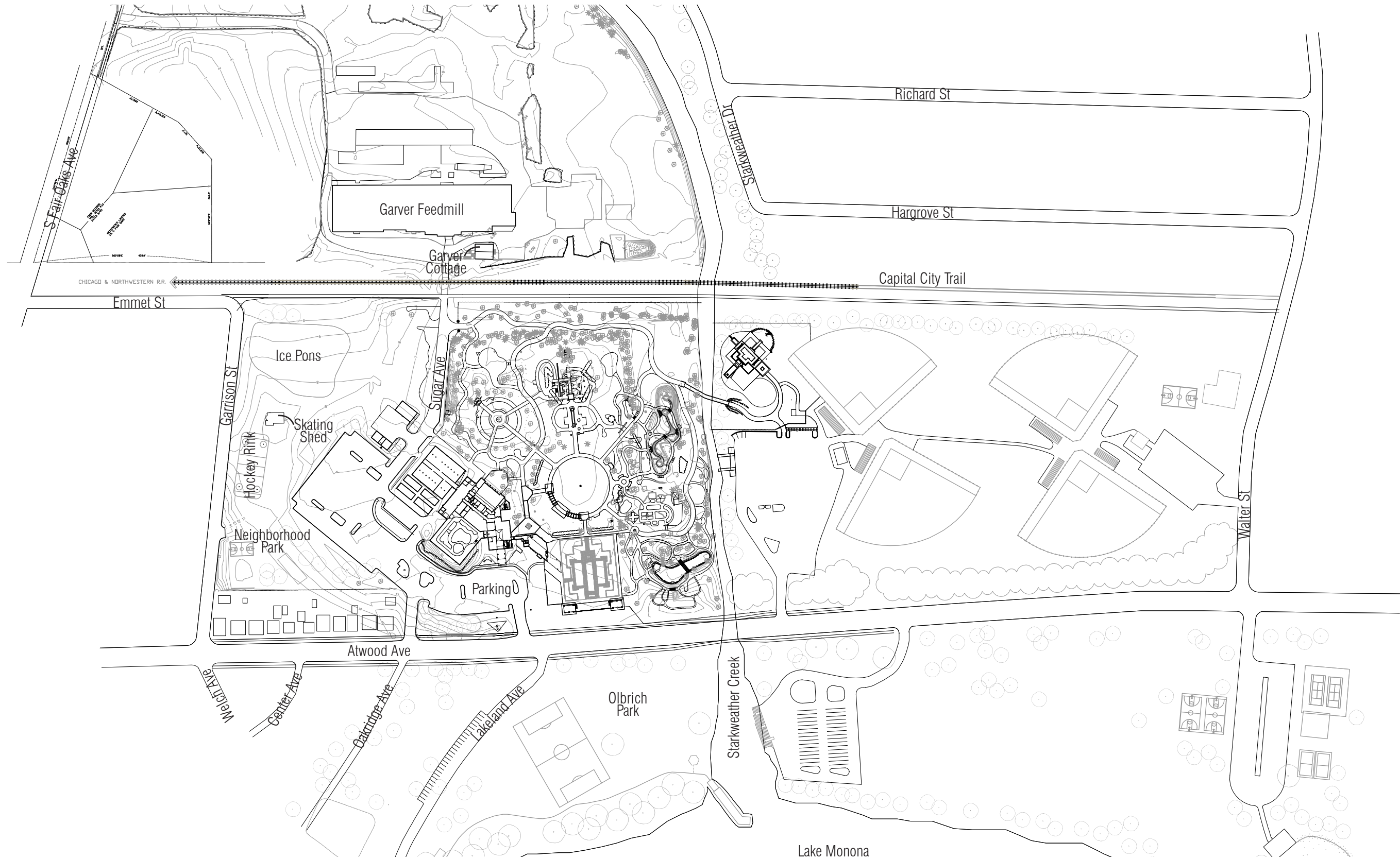


Existing Olbrich Botanical Gardens Building Plan

1/64" = 1'-0"

Olbrich Botanical Gardens Masterplan
 3330 Atwood Avenue Madison WI 53704
 608.246.4550 | www.olbrich.org





Existing Olbrich Botanical Gardens Site Plan

1/256" = 1'-0"



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Greenhouses



Garver Cottage (Horticulture staff office) to north of railroad tracks



Quonsets



Garver Feedmill to north of railroad tracks

Existing Olbrich Botanical Gardens Facility