



City of Madison

Proposed Demolition & Conditional Use

Location

425-435 West Johnson Street

Project Name

Johnson Bend

Applicant

Les Orsoz/

John W. Sutton - Sutton Architecture

Existing Use

3 apartment buildings

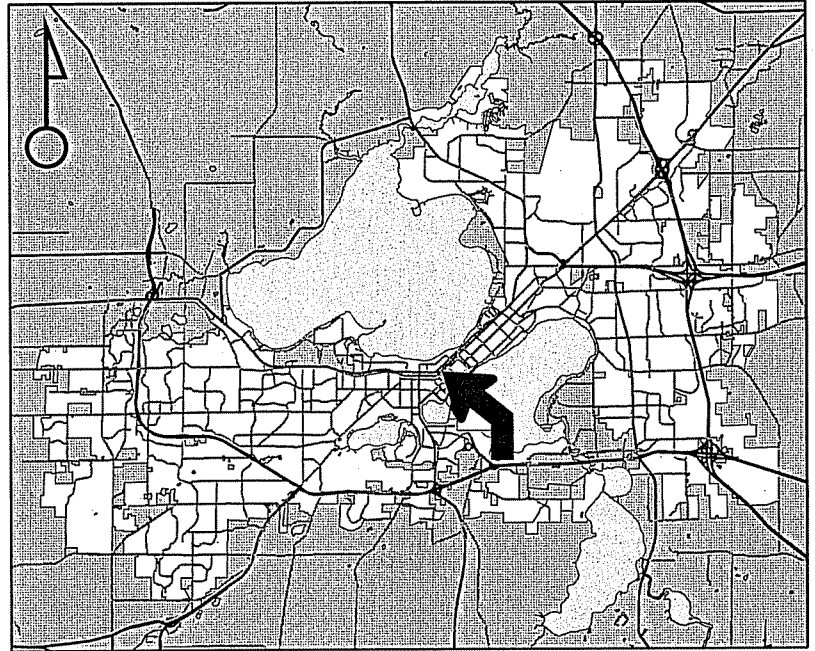
Proposed Use

Demolish 3 existing apartment buildings to construct mixed-use building w/2,100 square feet of retail and 160 apartments

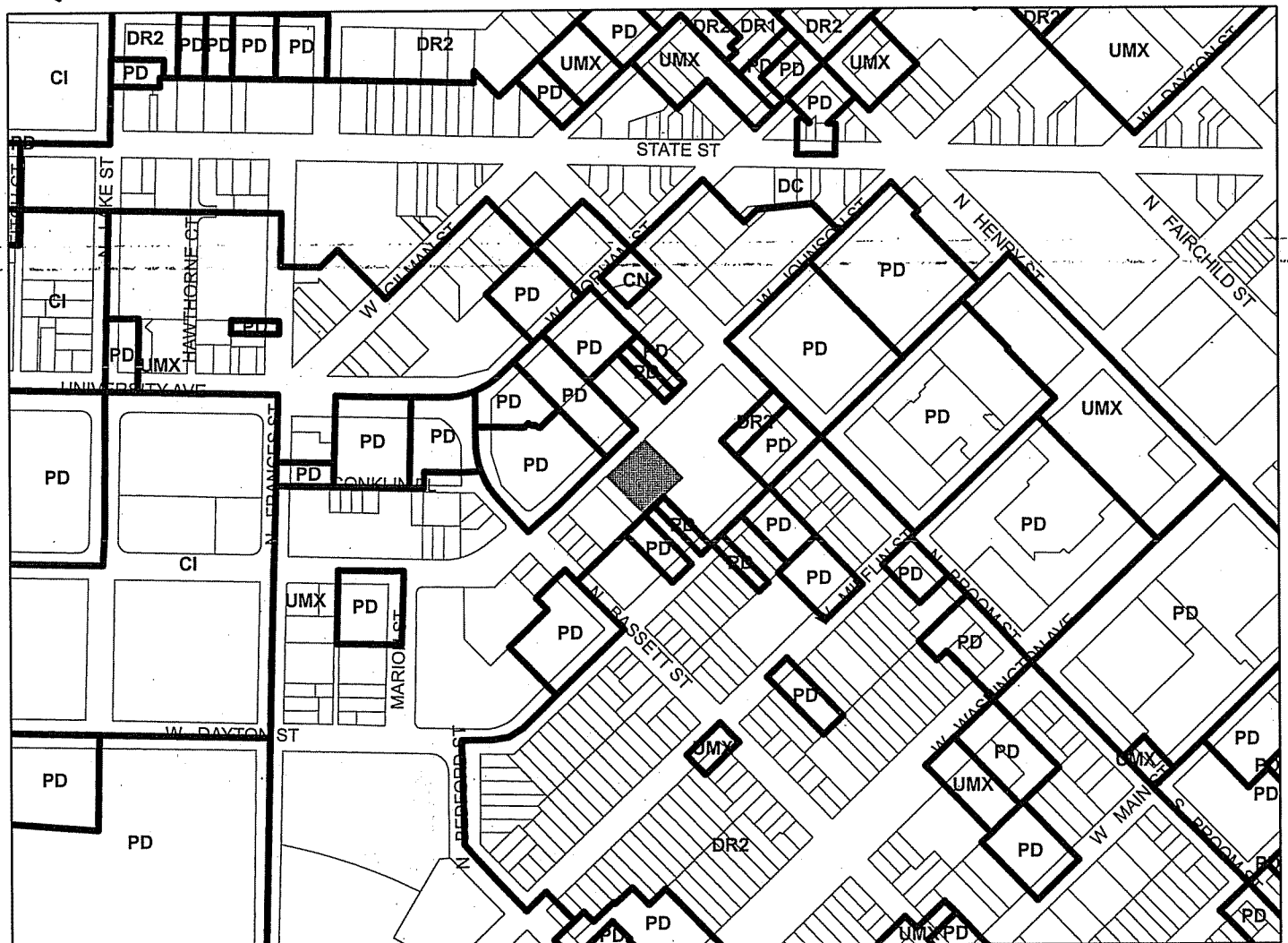
Public Hearing Date

Plan Commission

10 November 2014



For Questions Contact: Kevin Firchow at: 267-1150 or kfirchow@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 31 October 2014





LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

425, 431, & 435

FOR OFFICE USE ONLY:

Amt. Paid \$1000 Receipt No. 151570
 Date Received 2/19/14
 Received By JEP
 Parcel No. 0709-231-1412-1
 Aldermanic District 4-Michael Verveer
 Zoning District UMX
 Special Requirements OK
 Review Required By:
 Urban Design Commission Plan Commission
 Common Council Other: _____

Form Effective: February 21, 2013

1. Project Address: 433 WEST JOHNSON STREET
Project Title (if any): JOHNSON BEND

2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from _____ to _____
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: JOHN W. SUTTON Company: SUTTON ARCHITECTURE
 Street Address: 104 KING STREET City/State: MADISON Zip: 53703
 Telephone: (608) 469-2528 Fax: () Email: JOHN@SUTTONARCHITECTURE.COM

Project Contact Person: _____ Company: _____
 Street Address: _____ City/State: _____ Zip: _____
 Telephone: () Fax: () Email: _____

Property Owner (if not applicant): LIES ORosz
 Street Address: 505 UNIVERSITY AVE. City/State: MADISON Zip: 53703

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: 168 UNDERGROUND PARKING, 148 APARTMENTS IN 12 STORIES W/ 2107 S.F. COMMERCIAL
 Development Schedule: Commencement JUNE 2014 Completion AUGUST 2015

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/alterd buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 1/2 X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Information & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

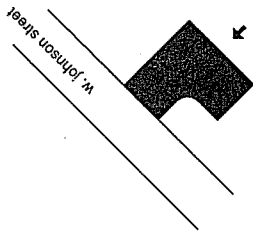
Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: _____ Date: 12/13 Zoning Staff: _____ Date: 12/13

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant JOHN W. SUTTON Relationship to Property: ARCHITECT
Authorizing Signature of Property Owner [Signature] Date 2/12/14

1. Brick masonry
2. Architectural metal panel
3. Galvanized steel planter
4. Aluminum window system
5. EIFS
6. Guardrail w/ galvanized steel plate
7. Guardrail
8. Galvanized steel channel
9. Louver



OWNER
Les Orsz
(608) 347-5432
University Avenue
Madison, Wisconsin

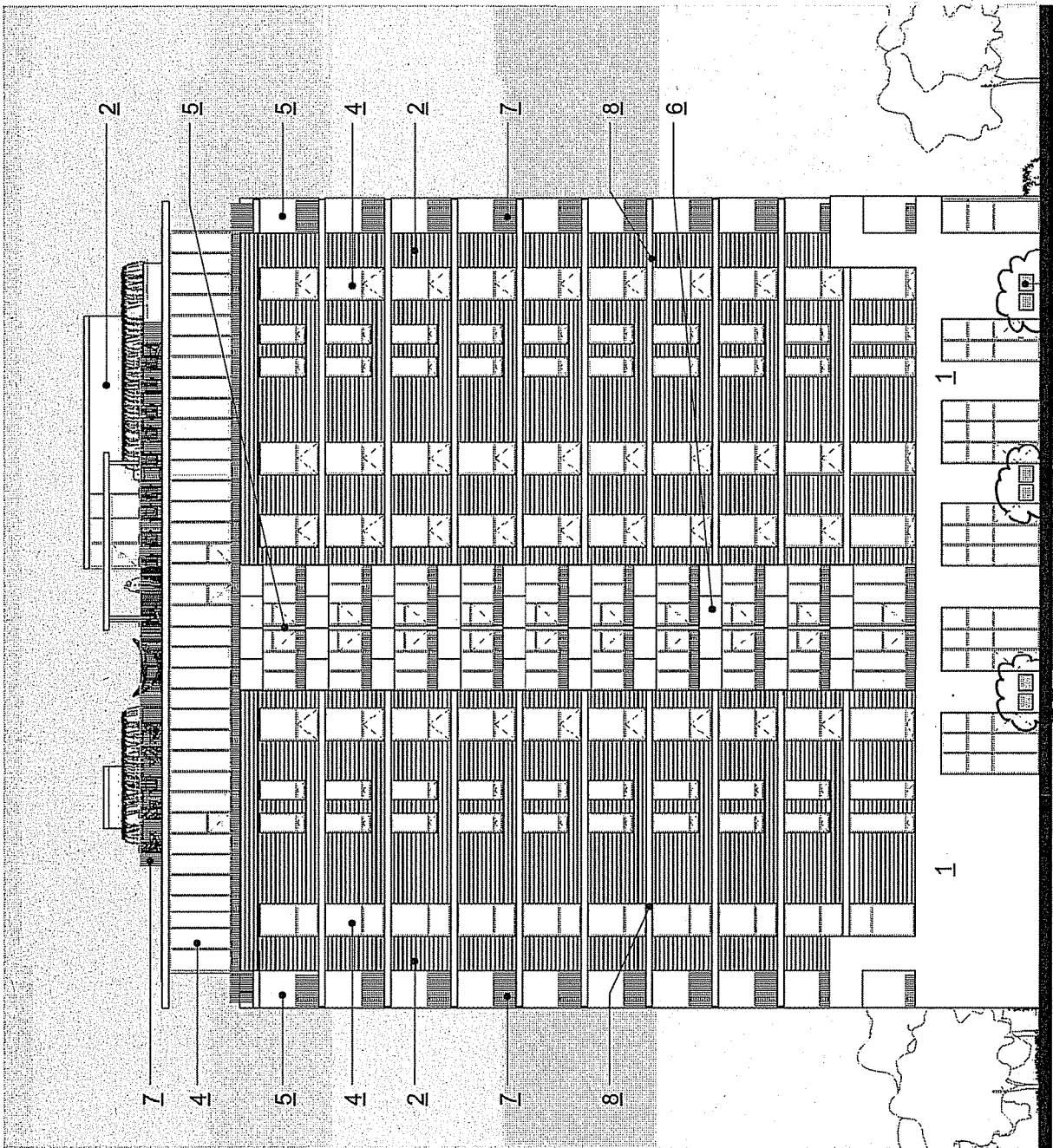
PROJECT
433 Johnson Bend

DRAWING
SOUTH EAST ELEVATION
1/16" = 1'-0"

DATA
Project # 201305
Date: 10.14.14

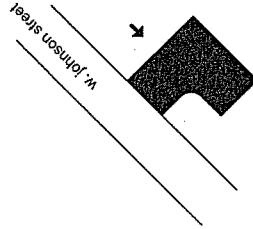
A2.3

- Roof
- Roof Terrace
- Level 12
- Level 11
- Level 10
- Level 9
- Level 8
- Level 7
- Level 6
- Level 5
- Level 4
- Level 3
- Level 2
- Level 1
- 0'-0"



ELEVATION DRAWING SHOWING "WALL PACK" LOUVERS

1. Brick masonry
2. Architectural metal panel
3. Galvanized steel planter
4. Aluminum window system
5. EIFS
6. Guardrail w/ galvanized steel plate
7. Guardrail
8. Galvanized steel channel
9. Louver



OWNER
Les Orosz
(608) 347-5432
University Avenue
Madison, Wisconsin

PROJECT
433 Johnson Bend

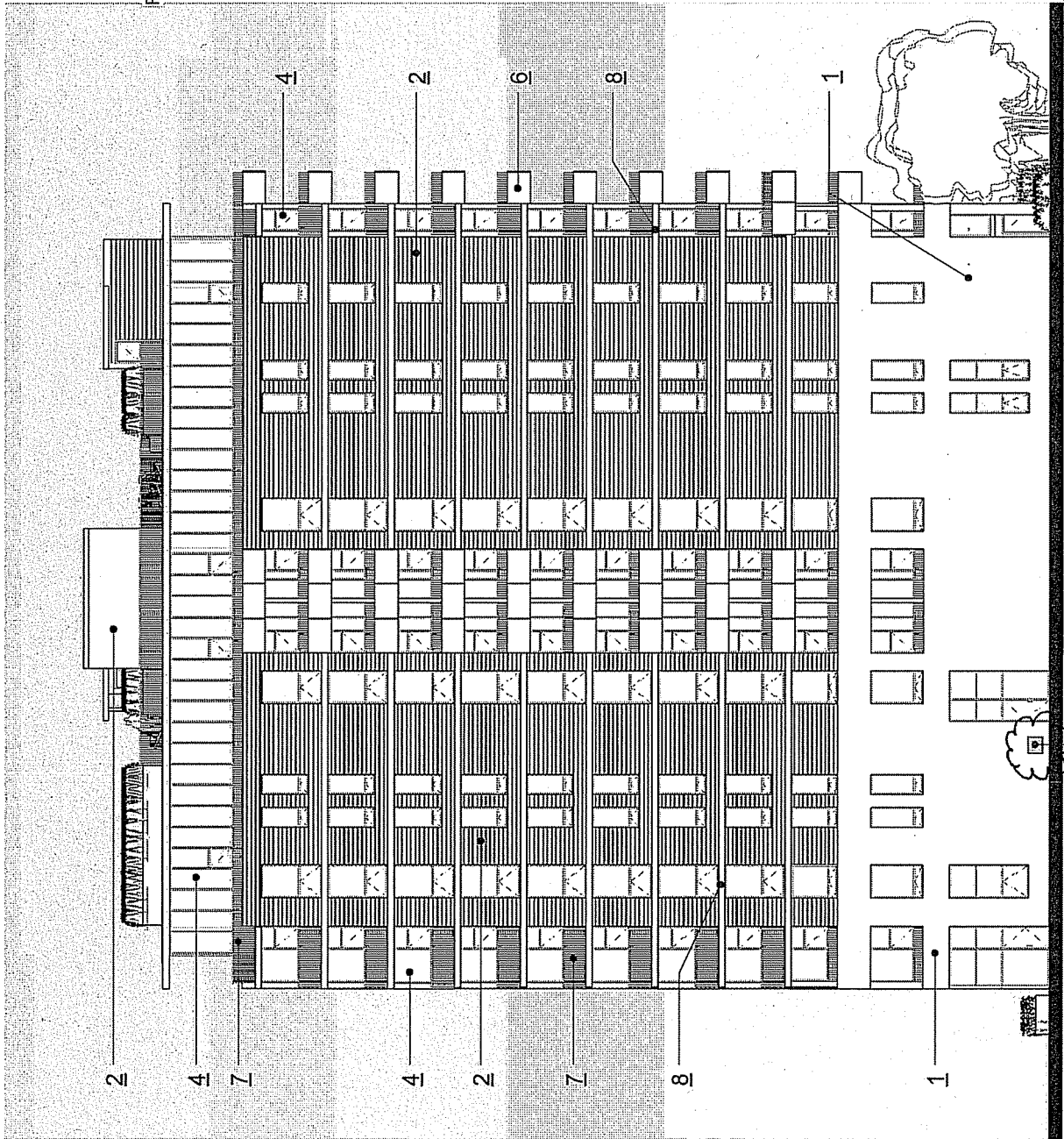
433 West Johnson Street,
Madison, Wisconsin 53703

DRAWING
NORTH EAST ELEVATION
1/16" = 1'-0"

DATE
Project # 201303
Date: 10/14/14

A2.4

- Roof
- Roof Terrace
- Level 12
- Level 11
- Level 10
- Level 9
- Level 8
- Level 7
- Level 6
- Level 5
- Level 4
- Level 3
- Level 2
- Level 1
- 0'-0"



ELEVATION DRAWING SHOWING "WALL PACK" LOUVERS

CORRE, INC.

Job #: C0513-S-01 - Traffic Count

Work being done for: Sutton Architecture

West Wilson:

	A.M. Rush 7-9	P.M. Rush 4-6	Daily Total
Arrivals	3	18	35
Departures	26	10	62

Dayton:

	A.M. Rush 7-9	P.M. Rush 4-6	Daily Total
Arrivals	10	14	34
Departures	20	11	49

Bedford:

	A.M. Rush 7-9	P.M. Rush 4-6	Daily Total
Arrivals	5	14	35
Departures	32	8	63

3 Site Averages:

	A.M. Rush 7-9	P.M. Rush 4-6	Daily Total
Arrivals	6	15.33	34.67
Departures	26	9.67	58

SUPPLEMENTAL TRAFFIC COUNT
INFORMATION PROVIDED BY
APPLICANT

CORRE, INC.

22 East Dayton Street - Parking Ramp

Job #: C0513-S-01 - Traffic Count

Work being done for: Sutton Architecture

A = Arriving

D=Departing

TIME	A/D	TIME	A/D	TIME	A/D	TIME	A/D
6:42 AM	D	11:24 AM	A	5:53 PM	A		
6:46 AM	D	11:24 AM	A				
6:46 AM	D	11:24 AM	D				
6:51 AM	D	12:00 PM	* D				
6:54 AM	A	12:00 PM	A				
6:56 AM	D	12:05 PM	A				
7:02 AM	D	12:52 PM	A				
7:14 AM	D	1:45 PM	D				
7:15 AM	D	2:12 PM	D				
7:17 AM	D	3:06 PM	D				
7:19 AM	D	3:10 PM	D				
7:30 AM	D	3:13 PM	D				
7:34 AM	A	3:18 PM	D				
7:39 AM	A	3:26 PM	D				
7:45 AM	* D	3:35 PM	* A				
7:51 AM	D	3:44 PM	A				
7:51 AM	D	3:59 PM	A				
8:03 AM	A	4:10 PM	D				
8:07 AM	D	4:26 PM	A				
8:10 AM	D	4:30 PM	* A				
8:12 AM	A	4:31 PM	D				
8:14 AM	D	4:35 PM	* A				
8:14 AM	D	4:44 PM	D				
8:20 AM	* D	4:56 PM	D				
8:30 AM	* D	4:57 PM	A				
8:35 AM	A	4:58 PM	D				
8:45 AM	A	4:58 PM	A				
8:45 AM	A	5:00 PM	* A				
8:45 AM	A	5:04 PM	D				
8:45 AM	* D	5:05 PM	* A				
8:46 AM	A	5:08 PM	D				
8:46 AM	D	5:10 PM	* A				
8:50 AM	* D	5:15 PM	* A				
8:56 AM	A	5:17 PM	A				
8:57 AM	D	5:20 PM	* A				
9:00 AM	* D	5:25 PM	D				
9:00 AM	* D	5:30 PM	* A				

9:07 AM	D	5:31 PM	D				
9:30 AM	D	5:33 PM	D				
9:30 AM	* D	5:43 PM	D				
10:17 AM	A	5:46 PM	A				

22 East Dayton Results

	A.M. Rush 7-9	P.M. Rush 4-6	Daily Total
Arrivals	10	14	34
Departures	20	11	49

Summary: Arriving and departing traffic data accumulated by CORRE, Inc. on 10-16-2014 between 6 a.m. and 6 p.m. Non-residential on-site parking traffic denoted by asteriks.

Key: * Non-residential parked outside in lot



CORRE, INC.

201 S. Bedford Street - Parking Ramp

Job #: C0513-S-01 - Traffic Count

Work being done for: Sutton Architecture

A = Arriving

D=Departing

TIME	A/D	TIME	A/D	TIME	A/D	TIME	A/D
6:01 AM	D	8:01 AM	D	3:49 PM	A		
6:12 AM	D	8:04 AM	A	3:57 PM	A		
6:20 AM	A	8:05 AM	D	4:00 PM	D		
6:28 AM	D	8:19 AM	A	4:11 PM	D		
6:35 AM	D	8:21 AM	D	4:17 PM	D		
6:39 AM	D	8:31 AM	D	4:27 PM	A		
6:39 AM	D	8:33 AM	A	4:27 PM	D		
6:51 AM	D	8:34 AM	D	4:29 PM	A		
6:54 AM	D	8:42 AM	D	4:34 PM	A		
6:55 AM	D	8:59 AM	D	4:43 PM	D		
7:02 AM	D	9:45 AM	A	4:48 PM	A		
7:02 AM	D	10:11 AM	D	4:48 AM	A		
7:02 AM	D	10:12 AM	A	4:57 AM	A		
7:04 AM	D	10:51 AM	A	5:00 AM	A		
7:05 AM	A	10:58 AM	A	5:03 AM	D		
7:08 AM	D	10:59 AM	D	5:07 AM	D		
7:11 AM	D	11:22 AM	D	5:12 AM	A		
7:12 AM	D	11:37 AM	D	5:25 AM	A		
7:13 AM	D	11:39 AM	D	5:29 AM	D		
7:17 AM	D	11:46 AM	D	5:30 AM	A		
7:18 AM	D	11:48 AM	D	5:35 AM	A		
7:26 AM	D	11:51 AM	D	5:36 AM	A		
7:29 AM	D	11:55 AM	A	5:39 AM	A		
7:29 AM	D	12:02 PM	A	5:48 AM	A		
7:29 AM	D	12:19 PM	D				
7:31 AM	D	12:25 PM	A				
7:31 AM	D	12:47 PM	A				
7:34 AM	D	1:09 PM	A				
7:34 AM	D	1:12 PM	A				
7:37 AM	D	1:33 PM	A				
7:40 AM	D	1:52 PM	A				
7:40 AM	A	2:02 PM	A				
7:45 AM	D	2:39 PM	D				
7:49 AM	D	2:41 PM	D				
7:51 AM	D	2:58 PM	D				
7:53 AM	D	3:06 PM	D				
7:58 AM	D	3:13 PM	D				

201 S. Bedford Street Results

	A.M. Rush 7-9	P.M. Rush 4-6	Daily Total
Arrivals	5	14	35
Departures	32	8	63

Summary: Arriving and departing traffic data accumulated by CORRE, Inc. on 10-20-2014 between 6 a.m. and 6 p.m.

CORRE, INC.

640 West Wilson Street - Parking Ramp

Job #: C0513-S-01 - Traffic Count

Work being done for: Sutton Architecture

A = Arriving

D=Departing

TIME	A/D	TIME	A/D	TIME	A/D	TIME	A/D
6:15 AM	D	9:52 AM	D	4:47 PM	A		
6:22 AM	D	9:54 AM	D	4:58 PM	A		
6:25 AM	D	9:56 AM	D	5:01 PM	A		
6:44 AM	D	10:28 AM	D	5:02 PM	A		
6:45 AM	D	10:31 AM	A	5:09 PM	*** D		
6:50 AM	D	10:31 AM	D	5:16 PM	A		
7:04 AM	*** A	10:55 AM	D	5:18 PM	*** D		
7:07 AM	D	11:05 AM	D	5:22 PM	A		
7:08 AM	D	11:36 AM	D	5:23 PM	A		
7:16 AM	D	11:49 AM	D	5:36 PM	A		
7:20 AM	D	12:05 PM	D	5:40 PM	A		
7:22 AM	D	12:18 PM	A	5:40 PM	A		
7:24 AM	D	12:43 PM	A	5:42 PM	A		
7:27 AM	D	12:48 PM	D	5:42 PM	*** D		
7:39 AM	D	12:54 PM	D	5:47 PM	A		
7:46 AM	D	1:08 PM	D	5:48 PM	D		
7:46 AM	D	1:08 PM	A	5:56 PM	D		
7:49 AM	D	1:11 PM	D	5:59 PM	A		
7:50 AM	D	1:29 PM	A	6:00 PM	A		
7:57 AM	D	1:46 PM	A	6:04 PM	A		
7:59 AM	D	2:00 PM	A	6:04 PM	A		
8:00 AM	D	2:08 PM	A				
8:02 AM	D	2:31 PM	D				
8:08 AM	D	2:49 PM	A				
8:11 AM	*** A	3:24 PM	D				
8:16 AM	D	3:35 PM	A				
8:18 AM	D	3:38 PM	A				
8:29 AM	*** A	3:40 PM	D				
8:34 AM	D	3:49 PM	* A				
8:42 AM	D	4:00 PM	D				
8:44 AM	D	4:03 PM	D				
8:49 AM	D	4:10 PM	D				
8:49 AM	D	4:13 PM	A				
8:50 AM	D	4:23 PM	A				
8:55 AM	D	4:27 PM	D				
9:12 AM	D	4:27 PM	D				
9:22 AM	D	4:34 PM	A				
9:34 AM	D	4:39 PM	** A				

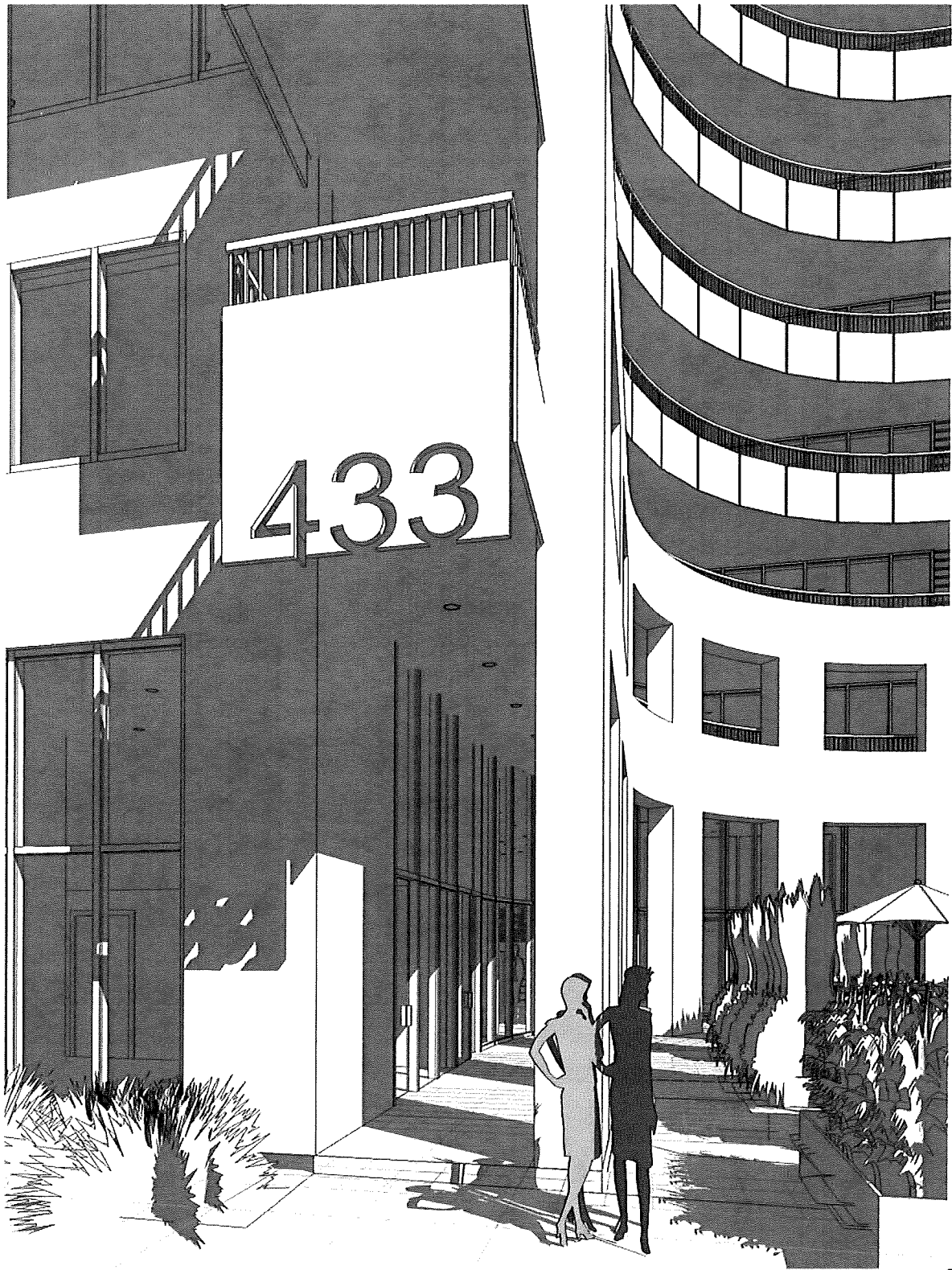
640 West Wilson Results

	A.M. Rush 7-9	P.M. Rush 4-6	Daily Total
Arrivals	3	18	35
Departures	26	10	62

Summary: Arriving and departing traffic data accumulated by CORRE, Inc. on 10-15-2014 between 6 a.m. and 6 p.m. Non-residential, bike and moped traffic denoted by asteriks.

Key:

- * moped parked outside
- ** bike used garage door
- *** Findorff employees using 640 W. Wilson parking



SUTTON
ARCHITECTURE

KEE
architecture

433 Johnson Bend

LETTER OF INTENT

February 19, 2014

Revised August 8, 2014

PUD/SIP Submission - THE **Johnson Bend**
residential

Proposed by

Les Orosz
505 University Avenue
Madison, WI 53703

(608) 256-7368

Prepared by
Sutton Architecture
104 King Street
Madison, WI 53703

(608) 469-2528

Architect	Sutton Architecture 104 King Street Madison, WI 53703
Design Consultant	KEE Architecture 1111 Williamson Street Madison, WI 53703
Landscape Architecture	Plandesign Maynard Drive Sun Prairie, WI 55555
Civil Engineering	Quam Engineering 4604 Siggelkiow Road McFarland, WI 53558
General Contractor	Stevens Construction Corp. 2 Buttonwood Court Madison, WI 53718
Construction start	December 2014
Construction completion	May 2016

STATEMENT OF RATIONALE (MARKET)

We are submitting within the UMX zoning for this site that will allow us to develop a mixed unit with 149 underground parking stalls, 1,375 square feet of commercial space, and 160 market-rate apartments.

Housing development has been very successful, but tenants have been requesting units with more amenities and contemporary design. By developing this site with a variety of one- and two-bedroom units, it will complement the available types of units renters are looking for. This area is very attractive because of the easy access to the Central Business District (CBD) and State Street area. Our marketing studies and all housing studies show the need for higher density in an area this close to the Square.

All housing projects in the downtown area have 99% occupancy and are rented 6 to 9 months in advance. We have talked to all of the downtown management groups and have obtained the same data. The downtown area has no vacancies. Some management groups are receiving up to 30 calls a week, even without advertising. This is across the board—market apartments and student units. Apartment buildings on the west side of Madison have a vacancy rate of 11%, while the vacancy rate on the east side of Madison is 8½%.

Currently, there is a high demand for housing closer to the CBD for Epic employees, which makes this an ideal time to develop this site. There is absolutely no doubt that the market is there. All reports written in the last 10 years, along with all the evidence in renting trends bears this out. The number of apartment units is clearly less than the current demand. That demand is obviously growing due to the success at Epic and projections for growth.

FEASIBILITY

We have surveyed the apartment market with respect to cost also. We surveyed apartment projects with at least 30 units. We have placed these into two categories. The first is older, well-maintained units. The second are the newer or unique apartments. We priced studios through four-bedroom apartments. This is the range we found: studio; \$450 - \$725, one-bedroom; \$725 - \$1,225, two-bedroom; \$1,275 - \$1,850, three-bedroom; \$1,500 - \$2,275. Our units will be priced near the high-end and very similarly to newer.

PROJECT DESCRIPTION

The proposed project occupies approximately .41 acre (17,739 s.f.) on three lots, 425, 431, and 435 West Johnson Street. The project requires demolition of one existing two-story brick veneer, 24-unit apartment building, one two-story wood frame apartment building, and one three-story wood frame apartment building. The new building will have two levels of parking with 168 stalls, 12 floors of residential apartments totaling 148 units, and two commercial spaces. We will have 125 one-bedroom units (565 to 770 s.f.) and 23 two-bedroom units (865 to 1,050 s.f.). We average 1.16 bedrooms per apartment.

Each unit has a laundry room. All units will have a full-size kitchen, upgraded finishes, and individual electric split systems for HVAC. This project will total 1,375 square feet of commercial space, 126,909 square feet of residential space, and 31,903 square feet for parking.

POTENTIAL IMPACTS (AMENITIES)

Within a 4-block area there are restaurants, coffee shops, retail businesses, services (e.g., dry cleaning, travel agencies, medical), churches, banks, and recreation areas that will serve these tenants. Access to the State Street area is only 3 blocks away. All markets are showing the downtown to be the most desirable apartment location for new renters.

Our site is on the city bus route for easy access anywhere in the city. Also, we are close to two bike paths that are widely used. These are great transportation amenities for the tenants.

This type of development will also be an easy fit for all city services and utilities, not adding to the cost for the city. With a predominantly adult population, there will be no significant increase for local public schools. With new construction, there will be very little demand for city services. And with on-site management and security, there should be very little need for police calls. This project will, however, add over \$7,000,000 in taxes over the next 10 years with no city financial assistance. This project will also create 80 full-time jobs during construction and 12 full-time jobs upon completion.

NEIGHBORHOOD CONTEXT (DENSITY)

The proposed development takes into consideration the character of the planned neighborhood changes, as well as the use. All architectural features draw from the neighboring developments as well as the revised downtown plan and new zoning requirements.

We will have galvanized steel planters around this building to develop a very urban feel. We are also going to replace the sidewalk, terrace, and curb for the entire length of the site. The ground floor terrace, walkway, and drive, will be scored concrete with some variation in color to create a larger plaza feel and minimize the effect of the driveway.

Our site is four blocks off the Square and just off West Washington Avenue, a major artery, which contains a number of larger buildings. It is reasonable to have higher density and taller structures with the number of amenities and CBD facilities so close by.

OPEN SPACE

The open space on the site will be predominantly private patios and roof top terraces with composite deck finishes and planters. Built-in planters will be provided on the rooftop terrace area as well. The courtyard will have bike parking for visitors. The street terrace will have new grass and trees that will be maintained and improved.

Overall, the proposed project provides approximately 1,500 square feet of open space on the first-floor terraces, 15,708 square feet on private balconies, and an additional 3,864 square feet of rooftop terrace. All the apartments will have exterior space that will allow for plants. The rear yard will add 1,320 square feet of open space.

PARKING AND ACCESS

We are constructing underground parking, using an automated parking technology. We feel the scale of this project will be better served in the long run with as many parking stalls as we can get as close to 1 to 1. The mechanical system allows more stalls for the square footage. This will give us a ratio of .93 stalls per unit. We have a surplus of parking during the day with a minimum of 25% of the stalls vacant. That will allow for shared parking during the day with the commercial use. The mechanical system has built-in redundancy to assure its reliability. Each parking deck will have three automated retrieval vehicles (AGV's) and will continue to work even if two are out of commission. They can also move to a different level if need be. There will also be two vehicle elevators. During peak times, both will be available for incoming as well as outgoing. In addition, we have sufficient driveway length to stack four deep for incoming traffic, as well as two deep in the vehicle staging area.

MANAGEMENT

Orosz Properties will provide full-time professional management and maintenance services, including an onsite resident manager and regular daily office hours. Management will include all aspects of renting, maintenance, and resident relations, including all snow removal and repairs. The building will be served by 24-hour emergency maintenance services. Fire alarms and elevator service is monitored 24 hours per day. Management includes all operations of the parking garage including, but not limited to, overhead door maintenance, lighting, carbon monoxide and exhaust maintenance, lighting, and cleaning. Parking management includes daily and regular attendance to approved users and monitoring of illegal/unauthorized users. Video surveillance and key fob entry for entry doors and garage entry will be state of the art.

Allowed resident rooftop usage hours are posted and noticed in lease addendum per historically ideal operating hours. This notice includes operating hours, expectations of behavior, clean up, and acceptable noise levels.

BIKE PARKING

Bicycle racks will be provided for the tenants within a secured area on the first floor. A minimum of 158 stalls will be provided on the first floor with two levels. This area will also have direct access to the exterior and a bike repair area. An additional 38 stalls will be provided in the plaza for visitors.

CURRENT ZONING

The existing zoning is UMX. Below is a comparison of what is provided to what is required.

	actual lot	required
Lot Area:	17,739 s.f.	3,000 s.f. minimum
Yard Requirement:	0 front 5' left side 3.5' right side 10' rear	0 front 0 side 0 side 10' rear
Useable Open Space:	26,005 s.f.	1,710 s.f.
Rear yard	1,320 s.f.	
Courtyard	1,445 s.f.	
Balconies	15,708 s.f.	
Roof Terrace	3,864 s.f.	
Roof Planters	1,008 s.f.	
Green Roof	2,660 s.f.	
Lot coverage:	66%	90% maximum
Off Street Parking:	.93 per unit	0 per unit
Bike stalls:	196	176
Building Height (max.)	998'	1032'
Bedrooms per unit	1.16	N.A.
Permeable area	27%	10%

GENERAL DESIGN STANDARD

Architectural Design

This mixed use building is located mid-block on the 400 block of Johnson Street. It is designed to enhance the street frontage through its L-shaped plan, creating a tall building elevation along part of the street, with a courtyard along the remainder of the site. The partially landscaped courtyard provides respite along the street edge, allows the building plan to be developed with sweeping balconies to capture views, both distant and close, and acts as a staging area for underground parking. An arcade encircles the building edge along the courtyard, created by a two-story masonry wall with large punched openings. This wall establishes a noble scale to the entrance and courtyard, while also serving as a visual base for the building. The masonry base continues around all sides of the building.

Above the masonry base from the third through the 11th floors, the enclosing material is horizontal metal in a bronze color, using a box shaped profile at 8 inch centers. Floors are articulated by 12" galvanized "C" channels which provide visual interest as well as good detailing opportunities for the "rain screen" wall construction. The top floor is characterized by a stepped-back balcony around the entire perimeter. Most walls on this level will be of glass to create transparency and a sense of a floating roof overhead.

The roof terrace will have a swimming pool for use by residents. A guardrail will define the occupied terrace area, with the remainder of the roof having intensive vegetation. This level is accessed by elevator with emergency exiting through two stairs extensions.

Except for the "townhouse" units on first floor, all apartments will have balconies, many with colorful side walls which will be constructed of EFIS for both durability and for the color opportunity. All of these locations are inboard of the enclosing walls.

The design provides a rigorous but straightforward use of clay masonry, galvanized steel, clear glass, and bronze-colored aluminum. Our desire is to provide a truthful use of materials where interest is achieved through composition in plan and in elevation, and through articulation of the elements of construction.

Utilities

All utility service within the proposed development will be provided underground. Water, gas, sanitary sewer, storm sewer, telephone, and cable currently run along West Johnson Street (see utility sheet C1.4).

Storm Drainage

All storm water for the structure will drain to either roof drains or floor drains. We will slope the entrance driveway from the garage door to the street curb, which will limit the amount of water entering the parking garage. Over half of the entire site will have plantings to assist filtering the water of sediment before entering the storm sewer system.

Site Lighting

The design of all site lighting will be coordinated to complement the site design and architectural character of the building.

Site lighting will include recessed cans for all entrances and walkways under the structure and recessed wall mount pedestrian lighting at the first floor planters for the courtyard area.

All fixtures will be positioned with care taken to direct light away from windows and street traffic and will use LED bulbs.

Signs

The building will be identified with street numbers on the face of the structure, laser cut into a one-inch thick galvanized steel plate, as shown on the renderings and building elevations. Any commercial signage will meet required guidelines and approvals.

Informational signage will be located on the interior of the entrance to the building. Appropriate site signage will be used for vehicle access from West Johnson Street, including stop sign and drive lanes.

Service Area

Trash collection will utilize space on the first floor with direct access to the exterior. We will use two compactors, one for trash and one for recyclables. Tenants will have access on each floor level to one trash chute and one recycle chute within their own trash room. The main trash room will be vented, have a water supply for cleaning, and a floor drain.

Mailboxes will be near the elevators on the first floor on the private residence side for security.

Landscaping

Open space areas will be planted with groundcover, shrubs, and trees to complement the site design, architectural character, and neighborhood. Most units will have access to their own area for planting as well.

A large concrete terrace in the courtyard will serve as a major focal point as well as separate the pedestrians from the vehicles. We will incorporate galvanized steel planters throughout the ground level to create an urban feel, as well as define different uses and privacy.

The existing street terrace will be replanted at the completion of this project with canopy trees between 6" and 8" diameter of a species approved by the city forestry department.

Walkways

All walkways and driveways will be constructed of concrete. The existing sidewalk will be replaced and widened to 8' along the entire site. We will restore the terrace and also replace the existing concrete curb for the abandoned driveway being removed.

The first floor courtyard will have a concrete wear surface that incorporates color and patterns to create more of a terrace feeling, blending the driveway and sidewalks together.

The rooftop terrace will be constructed with composite boards for walking surface, concrete planters, and metal railings to match the decks. The rail will be kept at least 10' from the roof edge for greater safety.



North West Elevation

433 Johnson Bend

SUTTON
ARCHITECTURE

KEE
architecture



South West Elevation

SUTTON
ARCHITECTURE

KEE
architecture

433 Johnson Bend



View from West Johnson Street

SUTTON
ARCHITECTURE

KEE
architecture

433 Johnson Bend

1



2



3



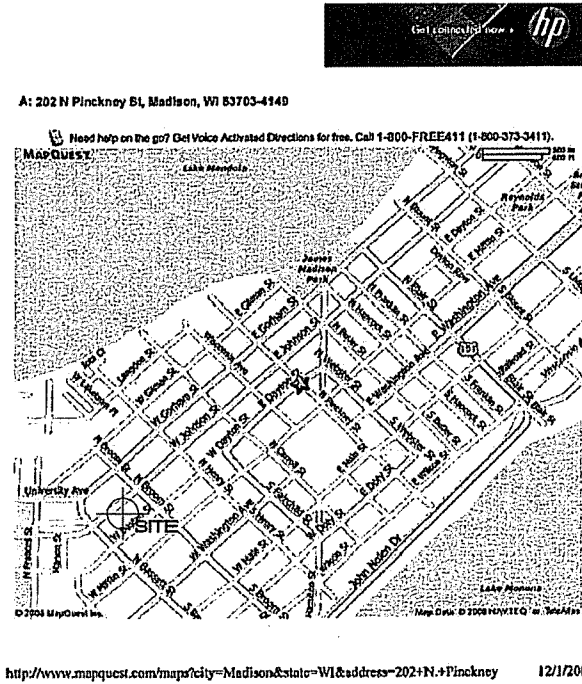
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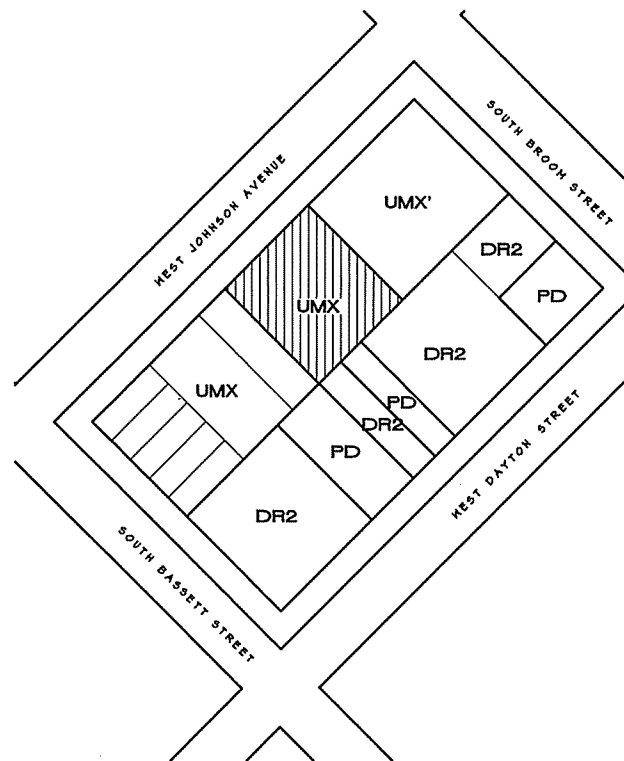
Views of plaza area at 433 Johnson Bend

November 5, 2014

LOCATION MAP



ZONING MAP

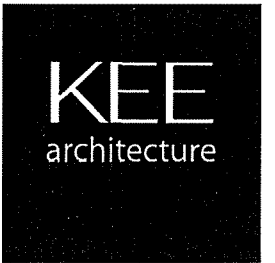


OWNER

Les Orosz
 505 University Avenue
 Madison, Wisconsin 53703

(608) 256-7368

SUTTON
 ARCHITECTURE



PROJECT

Johnson Bend
 433 West Johnson Street
 Madison, Wisconsin 53703

SITE DATA

LOT SIZE	17,739 SQUARE FEET (0.41 ACRES)
BUILDING FOOTPRINT	10,785 SQUARE FEET
COMMERCIAL	1,375 SQUARE FEET
APARTMENTS	126,909 SQUARE FEET
GARAGE	31,903 SQUARE FEET
TOTAL SQUARE FEET	77,130 SQUARE FEET
ONE BDRM UNITS	139
TWO BDRM UNITS	21
TOTAL UNITS	160
TOTAL BDRMS	181
USEABLE OPEN SPACE	
REAR YARD	1,320 SQUARE FEET
COURTYARD PLANTERS	150 SQUARE FEET
COURTYARD PLAZA	1,295 SQUARE FEET
BALCONIES	15,708 SQUARE FEET
ROOF PLANTERS	1,008 SQUARE FEET
GREEN ROOF	2,660 SQUARE FEET
ROOF TERRACE	3,864 SQUARE FEET
TOTAL	26,005 SQUARE FEET
PARKING	149 (TWELVE ADA)
BIKE STALLS	158 INTERIOR, 38 EXTERIOR, 196 TOTAL

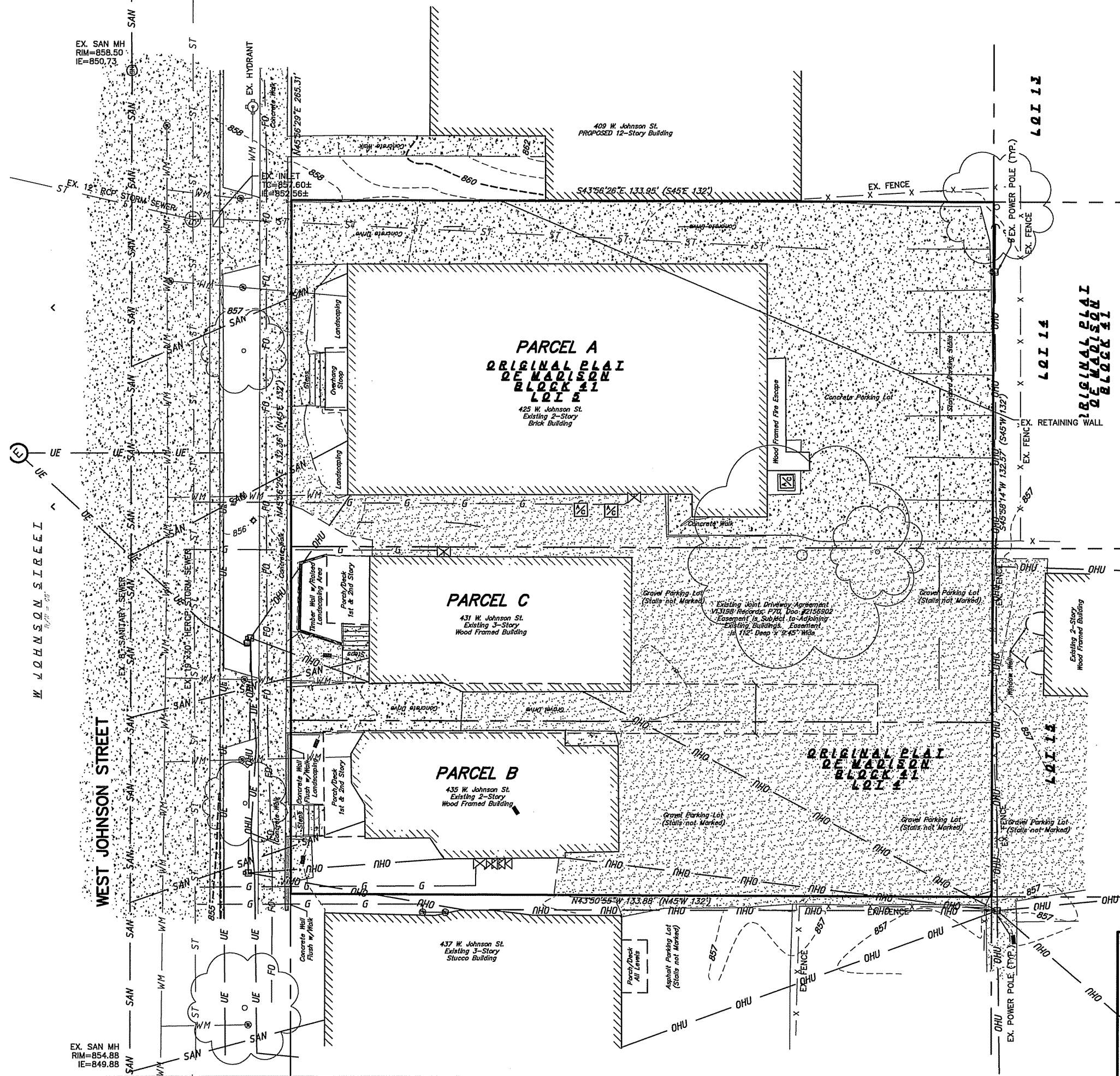
INDEX

T1	TITLE SHEET
C1.1	EXISTING SITE PLAN
C1.2	SITE PLAN
C1.3	GRADING/EROSION CONTROL PLAN
C1.4	UTILITY PLAN
L1.0	GROUND FLOOR LANDSCAPE PLAN
L1.1	ROOF TERRACE LANDSCAPE PLAN
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A1.2	PARKING LEVEL P1 FLOOR PLAN
A1.3	FIRST FLOOR PLAN
A1.4	MEZZANINE FLOOR PLAN
A1.5	SECOND FLOOR PLAN
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A2.4	SOUTHWEST ELEVATION

DRAWING
 TITLE SHEET
 LOCATION/ZONING MAP

DATA
 Project # 201303
 Date: 08.08.14

T1.1



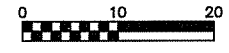
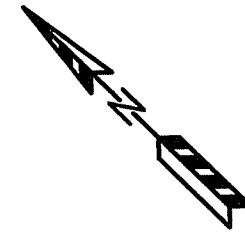
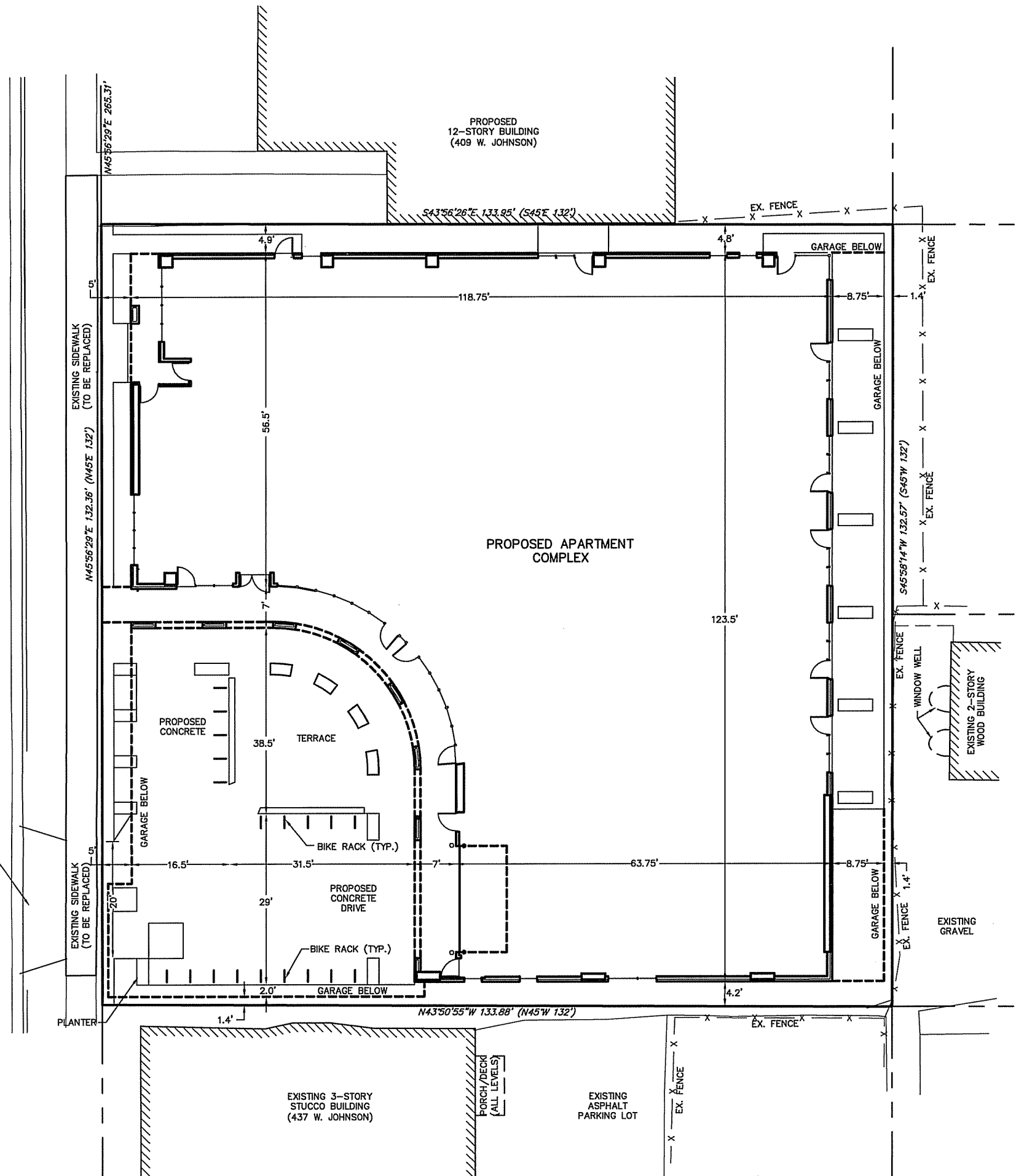
JOHNSON BEND - 425 W. JOHNSON STREET
 EXISTING SITE PLAN
 DATED: AUGUST 8, 2014
C1.1

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 Phone (608) 838-7750; Fax (608) 838-7752

WEST JOHNSON STREET

CONCRETE ENTRANCE
(PER CITY STANDARDS)



DUMPSTER NOTE
THERE WILL BE NO DUMPSTER POSITION ON THE SITE AND THE GARBAGE REMOVAL WILL BE MANAGED WITHIN THE BUILDING.

PARKING LOT PLAN SITE INFORMATION BLOCK

Site Address	425, 431 & 435 WEST JOHNSON STREET
Site acreage (total)	17,739 s.f.
Number of building stories (above grade)	12
Building height	140'
DILHR type of construction (new structures or additions)	1A
Total square footage of building	11,910 s.f.
Total square footage of garage	16,320 s.f.
Use of property	APARTMENTS
Gross square feet of office	N/A
Gross square feet of retail area	N/A
Number of employees in warehouse	N/A
Number of employees in production	N/A
Capacity of restaurant/piece of assembly	N/A
Number of bicycle stalls shown	22
Number of Parking stalls: (SEE PARKING PLAN)	
Small Car	0
Large Car	0
Accessible	0
Total	0
Number of trees shown (See Landscape Plan)	

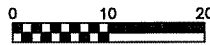
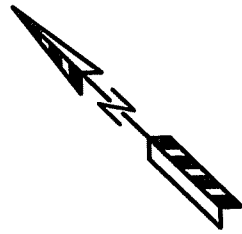
JOHNSON BEND - 425 W. JOHNSON STREET
PROPOSED SITE PLAN
 DATED: AUGUST 8, 2014

C1.2

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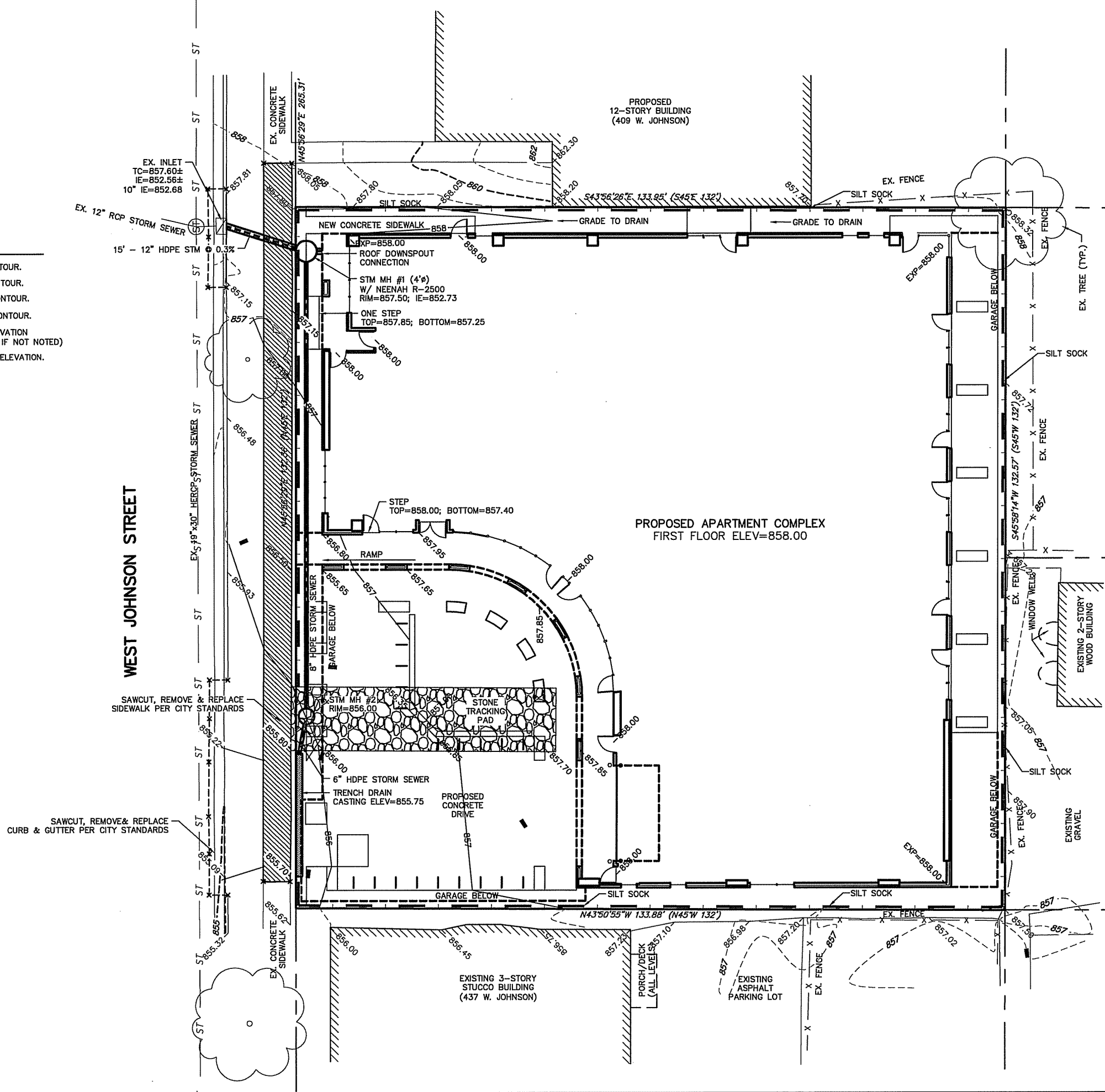
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LEGEND:

- - 856 - - EXISTING MINOR CONTOUR.
- - 855 - - EXISTING MAJOR CONTOUR.
- 856 - - PROPOSED MINOR CONTOUR.
- 855 - - PROPOSED MAJOR CONTOUR.
- 856.40 - PROPOSED SPOT ELEVATION (EDGE OF PAVEMENT IF NOT NOTED)
- EXP=889.00 - BUILDING EXPOSURE ELEVATION.



EROSION NOTES:
 THE STONE TRACKING PAD SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.

EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.

EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

TIME SCHEDULE:

NOVEMBER 1, 2014	INSTALL EROSION CONTROL DEVICES.
NOVEMBER 1 - 30, 2014	DEMOLISH EXISTING BUILDINGS AND SIDEWALKS.
DECEMBER 1, 2014 - MAY 1, 2015	CONSTRUCT BUILDING, SIDEWALK, UTILITIES AND RESTORE DISTURBED AREAS.

RESTORATION NOTES:

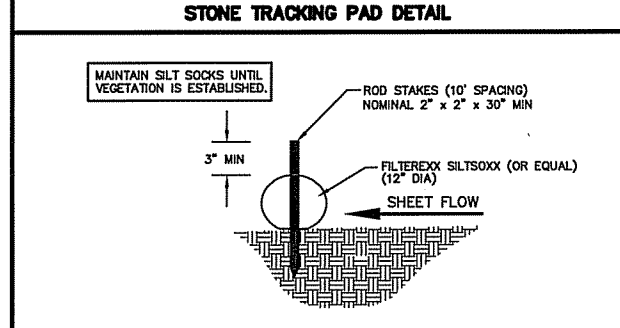
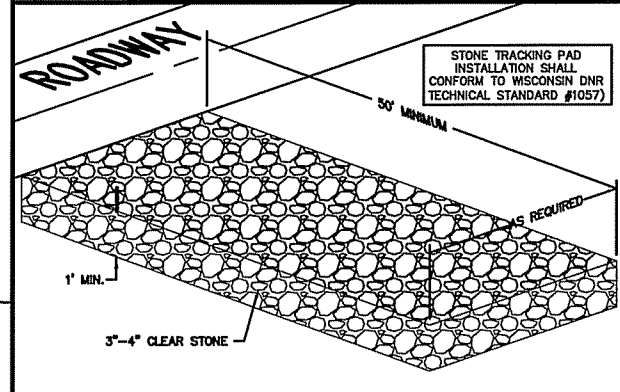
ALL PERVIOUS DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEED AND MULCH. ALL PERVIOUS DISTURBED AREAS SHALL RECEIVE FERTILIZER EXCEPT NATIVE PLANTING AREAS. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. WET DETENTION NATIVE SEED MIXTURES SHALL BE USED FOR THE BOTTOM OF THE DETENTION POND. SEED MIXTURE 40 SHALL BE USED ON ALL OTHER DISTURBED AREAS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.

SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE.

FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%.

OWNER:
 LES OROSZ
 505 UNIVERSITY AVENUE
 MADISON, WI 53703

ENGINEER:
 QUAM ENGINEERING, LLC
 ATTN: RYAN QUAM
 4604 SIGGELKOW ROAD, SUITE A
 MCFARLAND, WI 53558



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE

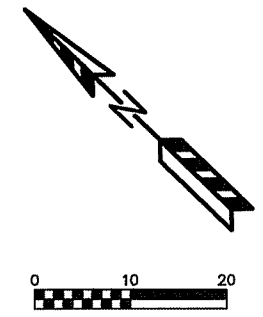
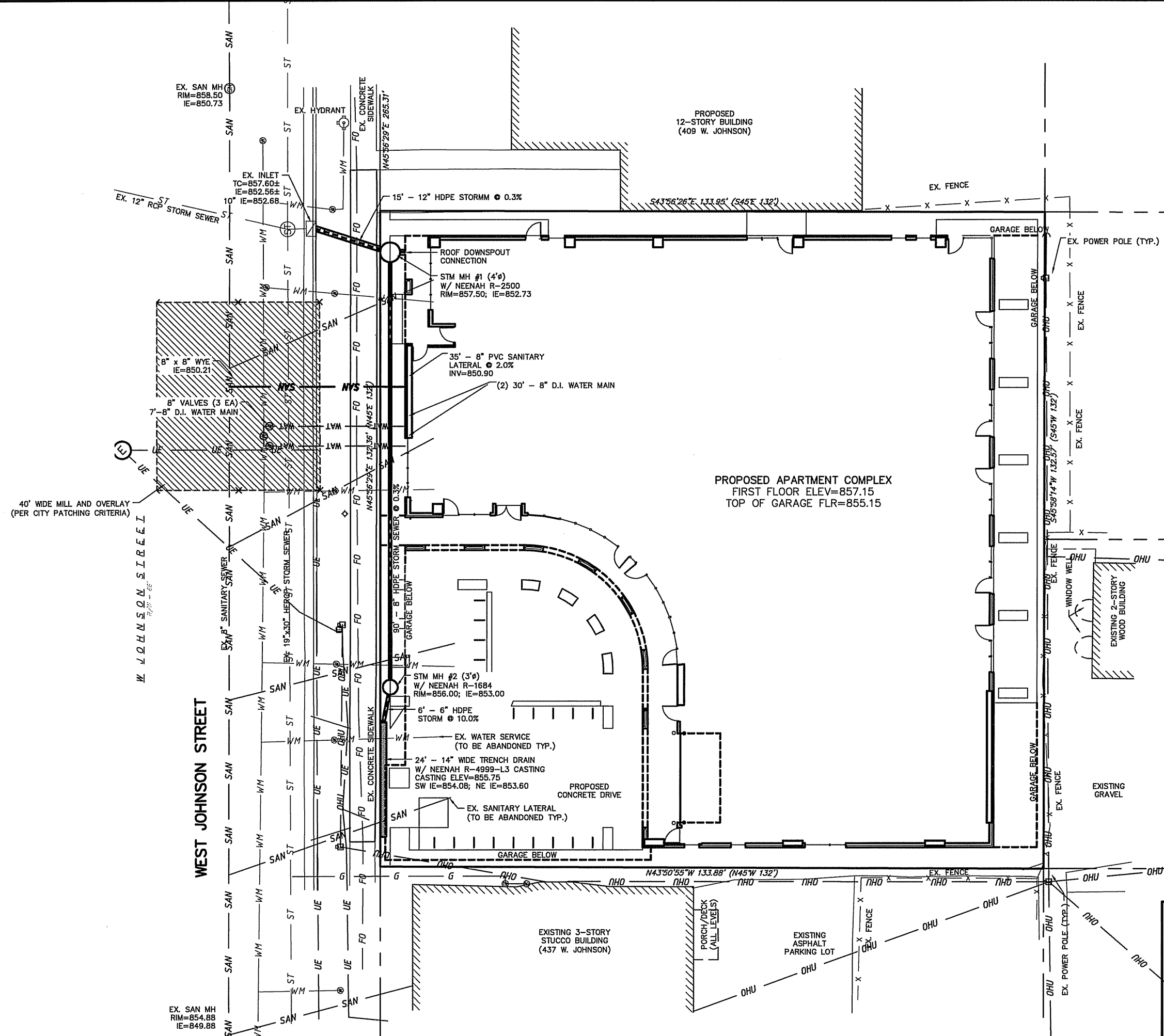
TOO FOR THE HEARING IMPAIRED (800)542-2288

WIS. STATUTE 182.0175 (1874) REQUIRES MFL OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

JOHNSON BEND - 425 W. JOHNSON STREET
 GRADING AND EROSION CONTROL PLAN
 DATED: AUGUST 8, 2014

C1.3

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GENERAL NOTES:

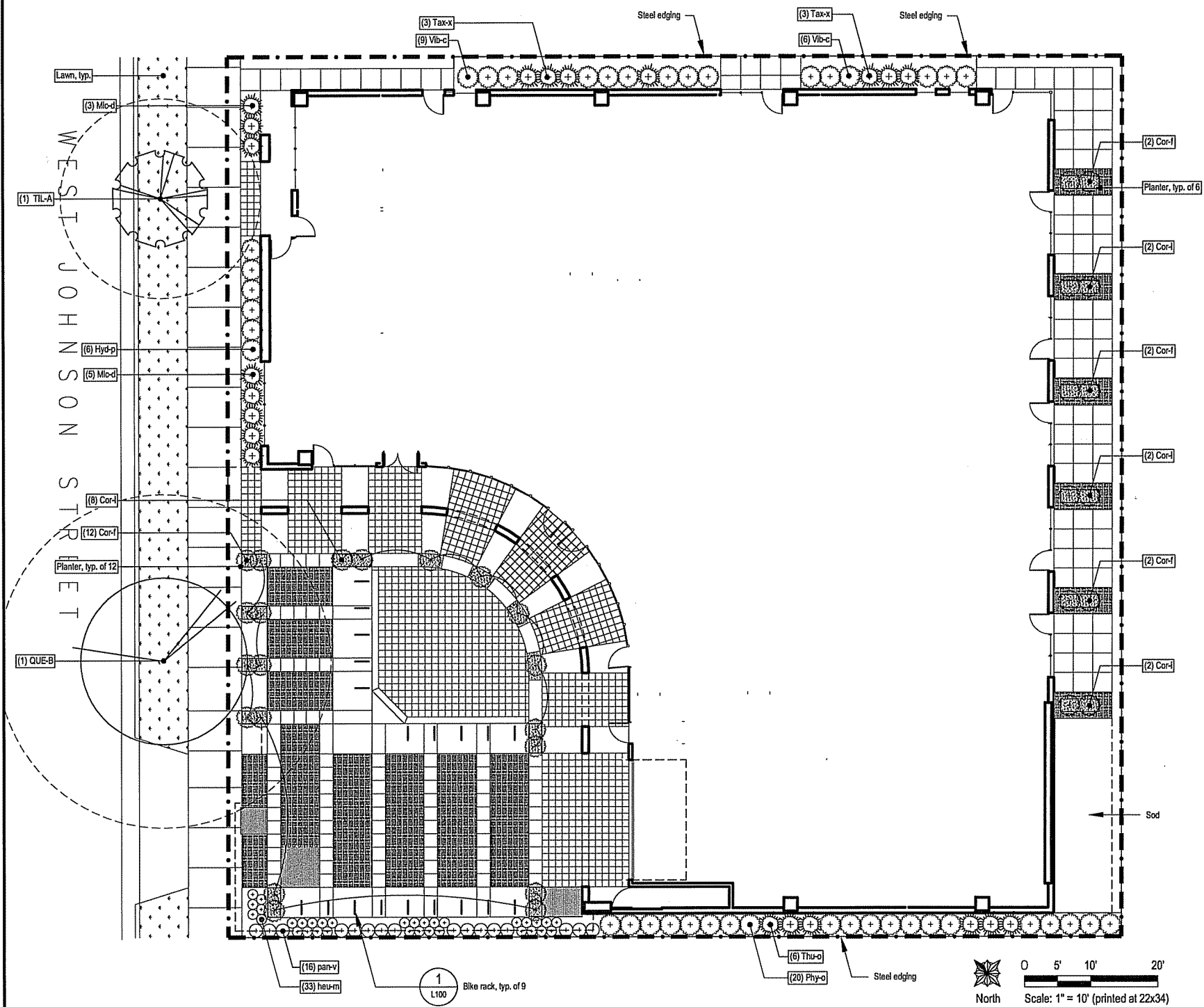
- ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A PRE-APPROVED CONTRACTOR AUTHORIZED TO WORK IN THE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER WHICH ABUTS THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN A STREET EXCAVATION PERMIT FOR THE INSTALLATION OF UTILITIES REQUIRED TO SERVE THIS PROJECT. THE CONTRACTOR SHALL PAY THE PERMIT FEE, INSPECTION FEE, AND STREET DEGRADATION FEE AND SHALL COMPLY WITH ALL CONDITIONS OF THE PERMIT.
- ANY DAMAGE TO THE PAVEMENT ON WEST JOHNSON STREET ADJACENT TO THE DEVELOPMENT WHICH IS DAMAGED BY THE CONSTRUCTION, SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
- CONTRACTOR SHALL FIELD VERIFY EXISTING SANITARY CONNECTION AND STORM SEWER CONNECTION INVERTS PRIOR TO BUILDING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO ENGINEER.
- PRIOR TO FINAL APPROVAL OF DEMOLITION PERMIT, CONTRACTOR SHALL OBTAIN A PERMIT TO PLUG EACH EXISTING SANITARY SEWER LATERAL THAT SERVES A BUILDING THAT IS PROPOSED FOR DEMOLITION. CONTRACTOR SHALL COMPLETE SEWER LATERAL PLUGGING APPLICATION AND PAY APPLICABLE PERMIT FEE.

UTILITY NOTES:

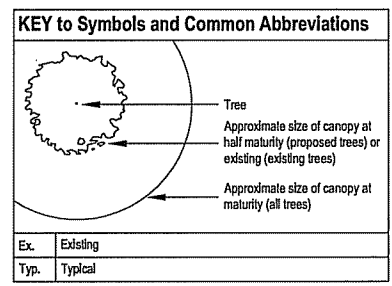
- ALL WATER AND SEWER CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE CITY OF MADISON AND WISCONSIN DSPS STANDARDS.
- THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- ALL WATER MAIN SHALL BE BURIED TO A DEPTH OF 6.5 FEET. THE DEPTH IS DEFINED AS THE DISTANCE BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF WATER MAIN OR SERVICE.
- PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER MAIN AND PROVIDE 6" MINIMUM VERTICAL SEPARATION WHERE WATER MAIN CROSSES OVER SEWER.
- ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- ALL UNDERGROUND EXTERIOR WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORDANCE WITH 182.0715(2r) OF STATE STATUTES.
- THE PROPOSED ELECTRIC, TELEPHONE AND GAS UTILITY LOCATIONS ARE NOT SHOWN. ACTUAL LOCATIONS AND DESIGN SHALL BE COMPLETED BY OTHERS.
- CONTRACTOR SHALL CONTACT MADISON WATER UTILITY TO REMOVE WATER METER AND PRIOR TO ABANDONING EXISTING WATER SERVICE AND INSTALLING 8" TAPPING VALVES AND PAY CITY INSPECTION FEE.

JOHNSON BEND - 425 W. JOHNSON STREET
 UTILITY PLAN
 DATED: AUGUST 8, 2014
C1.4

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WEST JOHNSON STREET



CITY OF MADISON LANDSCAPE POINT SCHEDULE					
per Amended Sections 28.142 & 28.211 effective 8/12/13					
Total points required = Total Landscape Units (Total SF of developed area / 300) x 5					
points = (17,673 SF / 300) x 5 = 293 points					
TABULATION OF POINTS & CREDITS		Ground Level		Roof	
	Qty	Pts	Qty	Pts	
Overstory deciduous trees (min 2.5" caliper) @ 35 pts ea.					
Ornamental trees (1.5" caliper) @ 15 pts ea.	4	60			
Evergreen trees (min 3' height) @ 15 pts ea.					
Shrub, deciduous (min 18" ht or 3 gal cont) @ 2 pts ea	73	146	9	18	
Shrub, evergreen (min 18" ht or 3 gal cont) @ 3 pts ea	21	63	14	42	
Ornamental grasses (min 18" ht or 3 gal cont) @ 2 pts ea.	16	32	23	46	
Decorative fence @ 4 points / 10 linear feet					
Subtotals		201		106	
Total proposed landscape points achieved				307	

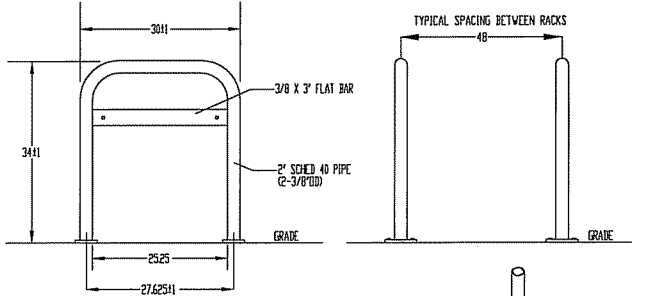
PLANT SCHEDULE							
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	NOTES	MATURE SIZE	DET.
CANOPY TREES (NOTE: Sizes indicated shall be used unless noted otherwise on plans)							
QUE-B	Quercus bicolor	Swamp White Oak	3.5" cal	B&B	Full, symmetrical, strong central leader	50' H x 50' W	
TIL-A	Tilia americana 'McKHenry'	American Sentry Linden	3.5" cal	B&B	Full, symmetrical, strong central leader	45' H x 30' W	1A.1.1
ORNAMENTAL TREES							
MAL-r	Malus 'Red Jewel'	'Red Jewel' Crabapple	8' ht	B&B	Full, matched, single-stem tree form	15' H x 12' W	1A.1.1
EVERGREEN SHRUBS							
Jun-s	Juniperus sabina 'Mona'	Calgary Carpet Juniper	3 gal	cont.		9' H x 8' W	
Mic-d	Microbiota decussata	Russian Cypress	3 gal	cont.		12' H x 8' W	
Pin-m	Pinus mugo v. mugo	Mugho Pine	18"	cont.		3' H x 4' W	3A.1.1
Tax-x	Taxus x media 'Taunton'	Taunton Yew	18" H	cont.		3' H x 4' W	
Thu-o	Thuja occidentalis 'Holmstrup'	'Holmstrup' Arborvitae	36" H	cont.	Full, matched	6' H x 3' W	
DECIDUOUS SHRUBS							
Cor-f	Cornus sericea 'Flaviramea'	'Flaviramea' Yellow Twig Dogwood	24"	cont.			5A.1.1
Cor-f	Cornus sericea 'Isani'	'Isani' Red Twig Dogwood	24"	cont.			
Hyd-p	Hydrangea paniculata 'Silver Dollar'	'Silver Dollar' Hydrangea	24"	cont.		3' H x 4' W	
Phy-d	Physocarpus opulifolius 'Dart's Gold'	Compact Ninebark	18"	cont.		4' H x 4' W	3A.1.1
Vib-c	Viburnum carlesii 'Compactum'	Compact Koreanspice Viburnum	18"	cont.		3' HW	
Wel-x	Welgela 'Minuet'	'Minuet' Welgela	18"	cont.		2' H x 3' W	
PERENNIALS & ORNAMENTAL GRASSES							
cor-v	Coreopsis verticillata 'Zagreb'	Threadleaf Coreopsis	1 gal	cont.	18" o.c. triangular spacing		
heu-m	Heuchera micrantha 'Palace Purple'	Coralbells 'Palace Purple'	1 gal	cont.	15" o.c. triangular spacing		
fla-s	Liatris spicata 'Kobold'	Kobold Spike Gayfeather	1 gal	cont.	15" o.c. triangular spacing		
pan-v	Panicum virgatum 'Shenandoah'	'Shenandoah' Red Switchgrass	3 gal	cont.	3' o.c. triangular spacing		4A.1.1
per-a	Perovskia atriplicifolia 'Filigran'	'Filigran' Russian Sage	1 gal	cont.	3' o.c. triangular spacing		
sed-a	Sedum 'Autumn Joy'	'Autumn Joy' Sedum	1 gal	cont.	18" o.c. triangular spacing		
ver-s	Veronica spicata 'Red Fox'	'Red Fox' Speedwell	1/2 gal	cont.	12" o.c. triangular spacing		

GENERAL LANDSCAPE & PLANTING NOTES

- Plant material to be installed and maintained by a qualified and experienced landscape installer.
- All materials, plant locations and plant bed conditions are subject to the approval of the Landscape Architect and Owner at any time. Plants are to be freshly dug. Transporting of plants shall be done in a manner as to not destroy the natural shape, compromise the health, or alter the characteristics of plant materials.
- Rootballs shall meet or exceed size standards as set forth in 'American Standards for Nursery Stock'. MAIN LEADERS OF ALL TREES SHALL REMAIN INTACT. Remove from the site any plant material that turns brown or defoliates within five (5) days after planting. Replace immediately with approved, specified material.
- Plant counts indicated on drawings are for Landscape Architect's use only. Contractor shall make own plant quantity takeoffs using drawings, and plant schedule requirements (i.e., spacing), unless otherwise directed by Landscape Architect. Contractor to verify bed measurements and install appropriate quantities as governed by plant spacing per schedule.
- All plant beds shall receive 3" minimum of genuine shredded hardwood bark mulch (unless otherwise noted). Apply pre-emergent herbicide as directed by the manufacturer prior to installing mulch.
- The Contractor shall install and/or amend topsoil in all proposed bed areas to meet ASTM D5268 standards. Landscaper shall verify depth and quality of topsoil prior to plant installation. A minimum of 4" of topsoil is required for seeded areas; 12" for plant beds. Topsoil sources shall include the reuse of surface soil stockpiled on site, clean of roots, plants, sod, stones, clay lumps, and other extraneous or foreign materials larger than 1". Supplement with imported topsoil from off-site sources when quantities are insufficient. Do not obtain supplemental topsoil from agricultural land, bogs, or marshes. Inorganic amendments, organic amendments, and fertilizers shall be used to amend topsoil as needed for long-term plant health.
- Verify all utility locations in the field prior to beginning work. Repair all damaged utilities to satisfaction of the Owner and Operating Authority at no additional cost.
- Install all plant material in accordance with all local codes and ordinances. Obtain any required permits necessary to complete work. All workmanship and materials shall be guaranteed by the Contractor for a period of one (1) calendar year after Final Acceptance.
- Maintain all new lawn and plant material for a three (3) month period from date of Substantial Completion. Maintenance shall include pruning, cultivating, watering, weeding, fertilizing, restoring plant saucers, spraying for disease and insects, and replacing tree wrappings. Recommended long-term maintenance procedures shall be provided to the Owner before expiration of this period.
- Recondition soil and seed/re-seed all areas disturbed by construction activities that are not to receive other surface treatment (i.e. pavement, planting bed, etc.). Seed with WIDOT 40 or equal.
- All plant beds to receive steel edge (see Detail 8/L301) where bed is not bounded by a structure or pavement unless otherwise noted.
- Scientific names of plants to take precedence over common names.
- SOD: Provide Highland type, nursery-grown sod of dense growth, with a strong, fibrous root system, and shall be composed of at least seventy-five (75) percent Kentucky Bluegrass, mixed with fescue and perennial rye grasses, and free of pernicious weeds. Cut the sod at a length of approximately 2' (5.1 cm), and rake the sod free of debris.



MADRAX DIVISION
 TROY, IN
 1500 UNILEX DRIVE
 WINDYBROOK, IN 46077
 PHONE: 448-7733, FAX: 448-7734, TOLL FREE: 800-849-1081
 WWW.MADRAX.COM, E-MAIL: SALES@MADRAX.COM



- NOTES:**
- INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 - CONSULT WITH LOCAL AGENCIES TO SELECT COLOR AND FINISH. SEE MANUFACTURER'S SPECIFICATIONS.
 - SEE SITE PLAN FOR LOCATION OF BIKE RACKS.

1 BICYCLE RACK SURFACE MOUNT
 Not to Scale

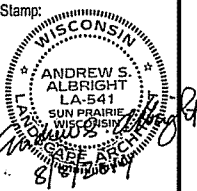
PLANDesign
 LAND VISION • PASSION
 Plandesign LLC - 480 Maynard Drive - Sun Prairie, WI 53590
 Tel: 608.318.1217 - Fax: 608.318.1216 - www.plandesign.com

Project: Approval Drawings for
Johnson Bend Apartments
 425 W. Johnson Street, Madison, WI 53703
 Owner: Les Orsz
 University Avenue, Madison, WI (608) 347-5432
 In association with: Suttou Architecture
 104 King Street, Madison, WI 53703

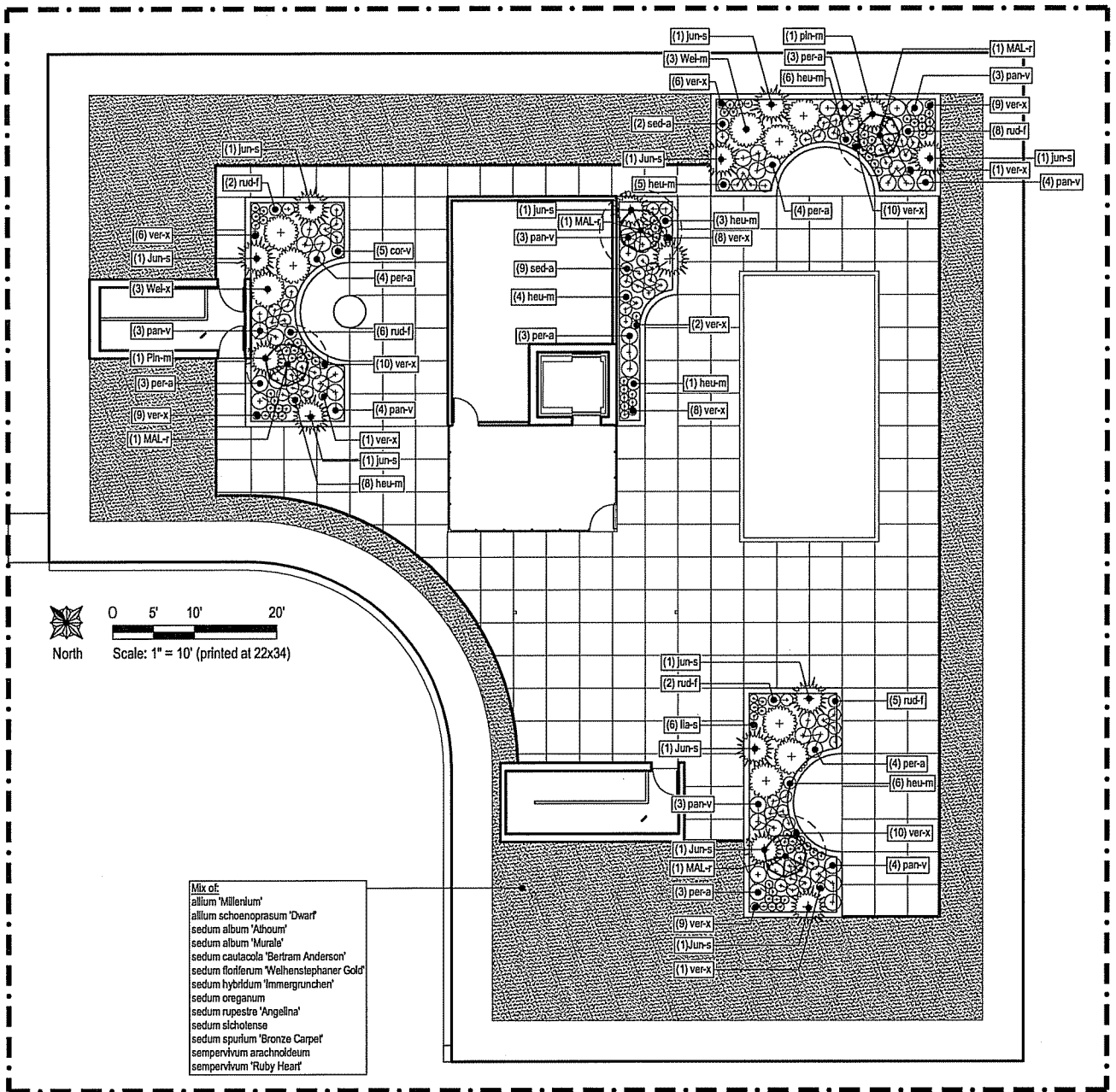
Revision	Date	Description

Issued for: Approval
 Issue Date: 2014-08-08
 Job No: 2014-045
 Drawn by: ASA

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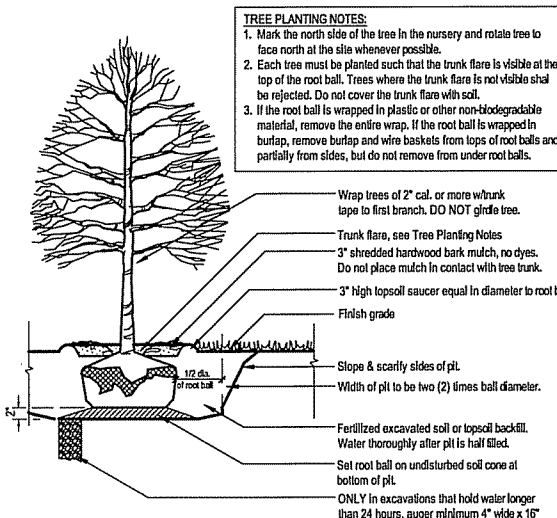
Sheet Title:
Ground Level Landscape Plan
 Sheet No:
L1.0
 of 2



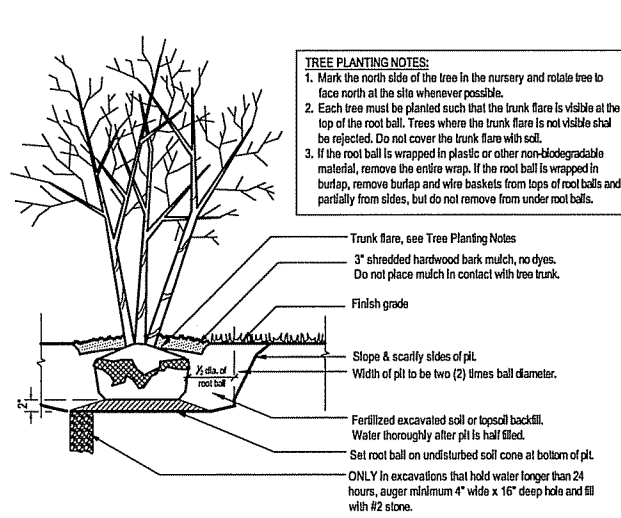
- Mix of:
 - allium 'Millenium'
 - allium schoenoprasum 'Dwarf'
 - sedum album 'Albhum'
 - sedum album 'Mureale'
 - sedum caudicicola 'Bertram Anderson'
 - sedum floeriflorum 'Welhenslephaner Gold'
 - sedum hybridum 'Immergrunchen'
 - sedum oregonum
 - sedum rupestre 'Angelina'
 - sedum sicholense
 - sedum spurium 'Bronze Carpet'
 - sedum album 'Albhum'
 - sedum album 'Mureale'
 - sedum caudicicola 'Bertram Anderson'
 - sedum floeriflorum 'Welhenslephaner Gold'
 - sedum hybridum 'Immergrunchen'
 - sedum oregonum
 - sedum rupestre 'Angelina'
 - sedum sicholense
 - sedum spurium 'Bronze Carpet'
 - sedum album 'Albhum'
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 - sedum caudicicola 'Bertram Anderson'
 - sedum floeriflorum 'Welhenslephaner Gold'
 - sedum hybridum 'Immergrunchen'
 - sedum oregonum
 - sedum rupestre 'Angelina'
 - sedum sicholense
 - sedum spurium 'Bronze Carpet'

PLANT SCHEDULE

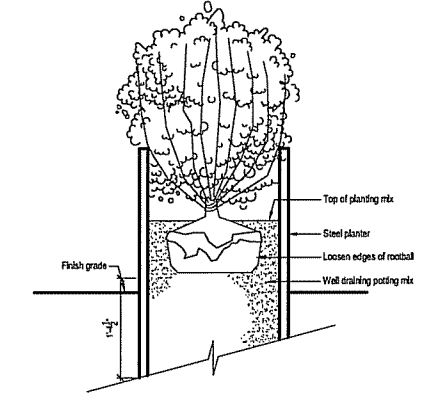
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	NOTES	MATURE SIZE	DET.
CANOPY TREES (NOTE: Sizes Indicated shall be used unless noted otherwise on plans)							
QUE-B	<i>Quercus bicolor</i>	Swamp White Oak	3.5" cal	B&B	Full, symmetrical, strong central leader	50' H x 50' W	1/L.1.1
TIL-A	<i>Tilia americana 'McKSenry'</i>	American Sentry Linden	3.5" cal	B&B	Full, symmetrical, strong central leader	45' H x 30' W	
ORNAMENTAL TREES							
MAL-r	<i>Malus 'Red Jewel'</i>	'Red Jewel' Crabapple	8' ht	B&B	Full, matched, single-stem tree form	15' H x 12' W	1/L.1.1
EVERGREEN SHRUBS							
Jun-s	<i>Juniperus sabina 'Mona'</i>	Calgary Carpet Juniper	3 gal	cont.		9" H x 8" W	
Mic-d	<i>Microbiota decussata</i>	Russian Cypress	3 gal	cont.		12" H x 8" W	
Pin-m	<i>Pinus mugo v. mugo</i>	Mugho Pine	18"	cont.		3" H x 4" W	3/L.1.1
Tax-x	<i>Taxus x media 'Taunton'</i>	Taunton Yew	18" H	cont.		3" H x 4" W	
Thu-o	<i>Thuja occidentalis 'Holmstrup'</i>	'Holmstrup' Arborvitae	36" H	cont.	Full, matched	6' H x 3' W	
DECIDUOUS SHRUBS							
Cor-f	<i>Cornus sericea 'Flavramea'</i>	'Flavramea' Yellow Twig Dogwood	24"	cont.			5/L.1.1
Cor-l	<i>Cornus sericea 'Isanti'</i>	'Isanti' Red Twig Dogwood	24"	cont.			
Hyd-p	<i>Hydrangea paniculata 'Silver Dollar'</i>	'Silver Dollar' Hydrangea	24"	cont.		3' H x 4' W	
Phy-d	<i>Physocarpus opulifolius 'Dart's Gold'</i>	Compact Ninebark	18"	cont.		4' H x 4' W	
Vib-c	<i>Viburnum carydodendron 'Compactum'</i>	Compact Koreanspice Viburnum	18"	cont.		3' HW	3/L.1.1
Wel-x	<i>Wegelia 'Minuet'</i>	'Minuet' Wegelia	18"	cont.		2' H x 3' W	
PERENNIALS & ORNAMENTAL GRASSES							
cor-v	<i>Coreopsis verticillata 'Zagreb'</i>	Threadleaf Coreopsis	1 gal	cont.	18" o.c. triangular spacing		
heu-n	<i>Heuchera micrantha 'Palace Purple'</i>	Coralbells 'Palace Purple'	1 gal	cont.	16" o.c. triangular spacing		
lla-s	<i>Liatris spicata 'Kobold'</i>	Kobold Spike Gayfeather	1 gal	cont.	16" o.c. triangular spacing		
pan-v	<i>Panicum virgatum 'Shenandoah'</i>	'Shenandoah' Red Switchgrass	3 gal	cont.	3' o.c. triangular spacing		4/L.1.1
per-a	<i>Perovskia atriplicifolia 'Flirgran'</i>	'Flirgran' Russian Sage	1 gal	cont.	3' o.c. triangular spacing		
sed-a	<i>Sedum 'Autumn Joy'</i>	'Autumn Joy' Sedum	1 gal	cont.	18" o.c. triangular spacing		
ver-s	<i>Veronica spicata 'Red Fox'</i>	'Red Fox' Speedwell	1/2 gal	cont.	12" o.c. triangular spacing		



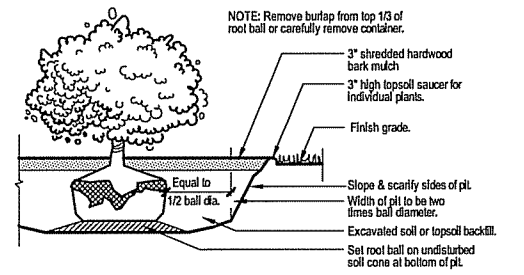
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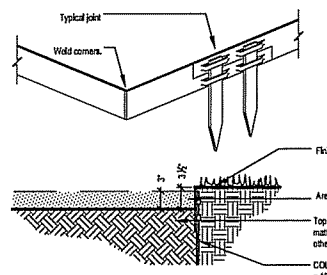
2 MULTI-STEM TREE PLANTING
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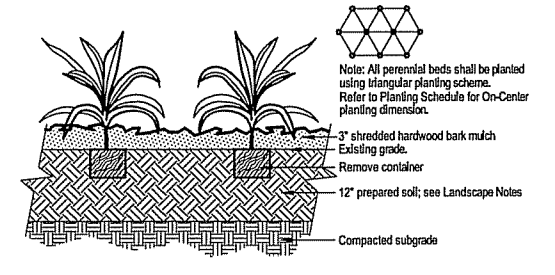
3 SHRUB IN PLANTER
Not to scale



4 SHRUB PLANTING
Not to scale



5 STEEL EDGE
Not to scale



6 PERENNIAL PLANTING
Not to scale

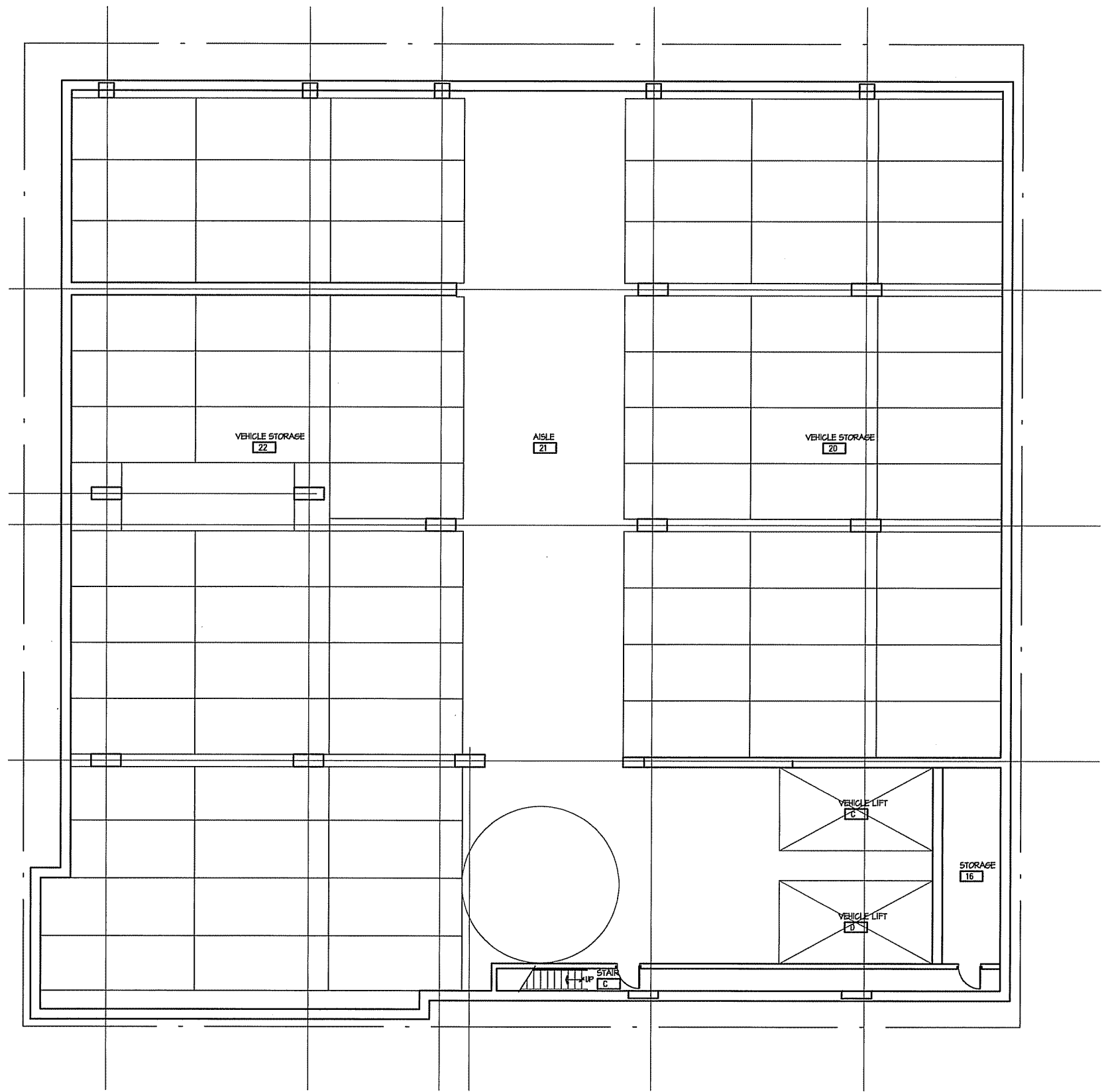
Revision	Date	Description

Issued for:	Approval
Issue Date:	2014-08-08
Job No.:	2014-045
Drawn by:	ASA

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Stamp:



1
A1.1
PARKING LEVEL P2
SCALE: 1/8" = 1'-0"
71 VEHICLES
NORTH

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Madison, Wisconsin 53703

PROJECT

Johnson Bend

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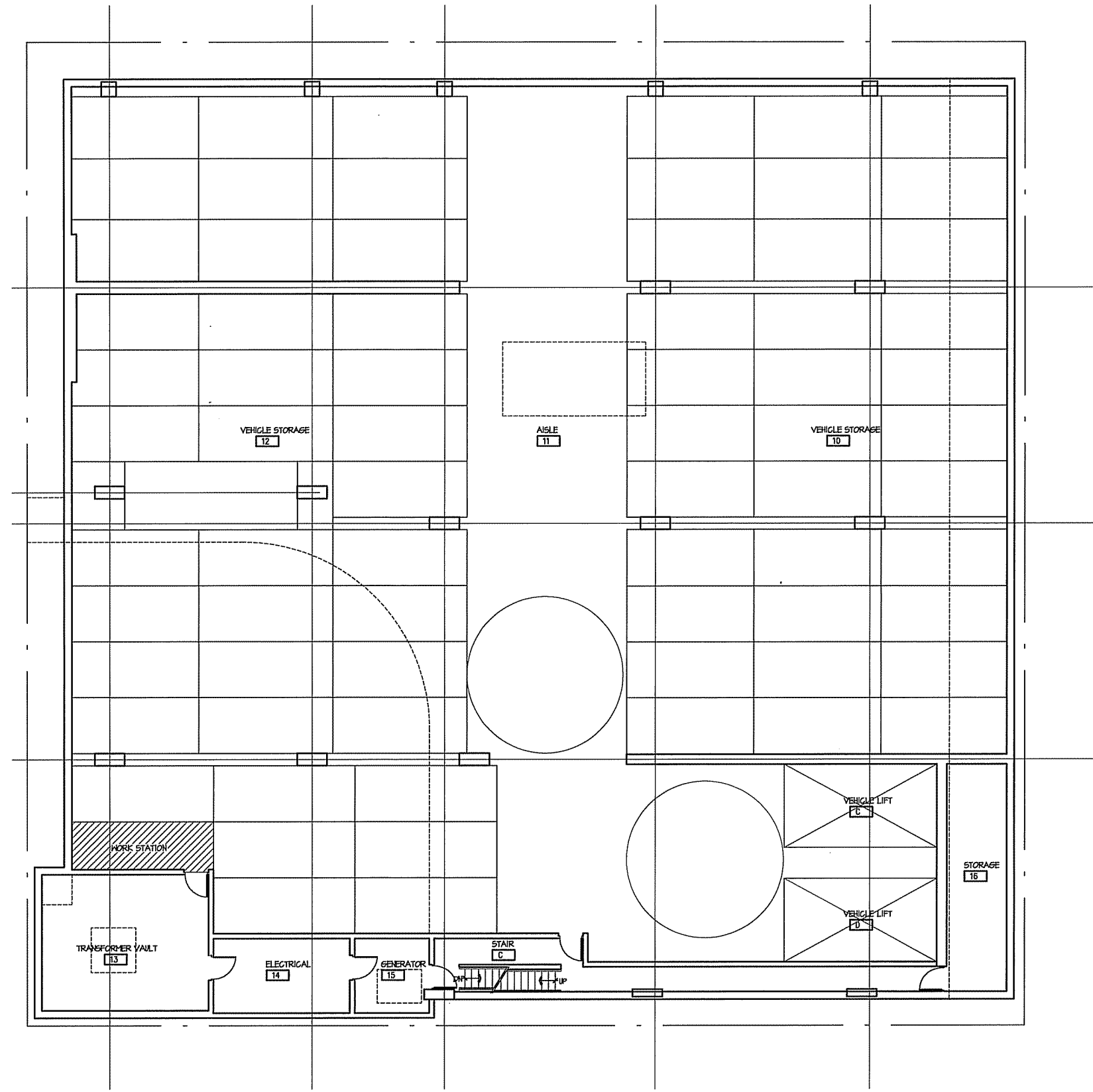
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PARKING LEVEL P2 PLAN

DATA

Project # 201303
Date: 08.08.14

A1.1



1 PARKING LEVEL P1 12 VEHICLES
A1.2 SCALE: 1/8" = 1'-0"
NORTH

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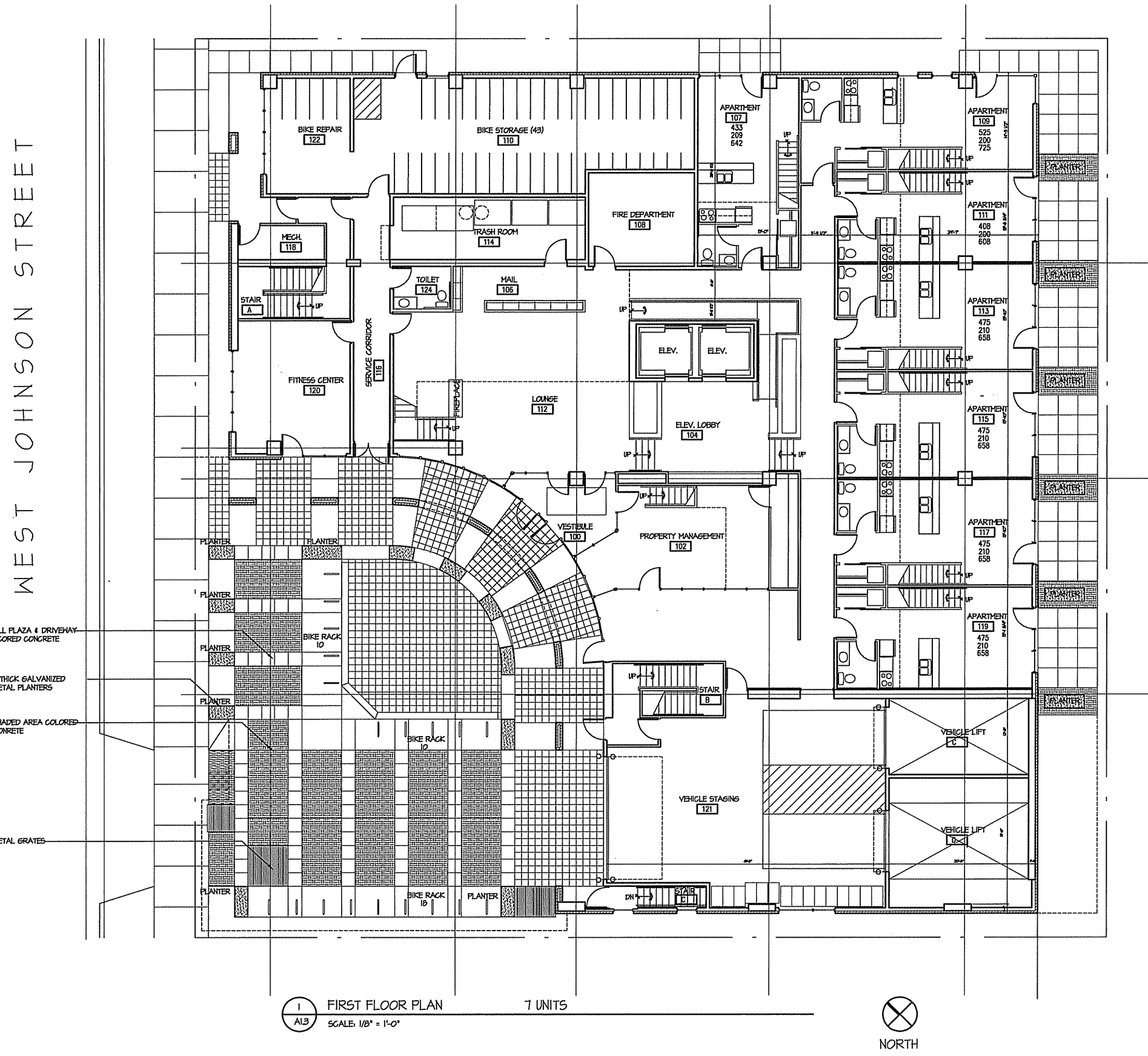
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PARKING LEVEL P1 PLAN

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Project # 201303
Date: 08.08.14

A1.2



WEST JOHNSON STREET

- ALL PLAZA & DRIVEWAY
SCORED CONCRETE
- 1" THICK GALVANIZED
METAL PLANTERS
- SHADED AREA COLORED
CONCRETE
- METAL GRATES

1 FIRST FLOOR PLAN 7 UNITS
A1.3 SCALE: 1/8" = 1'-0"



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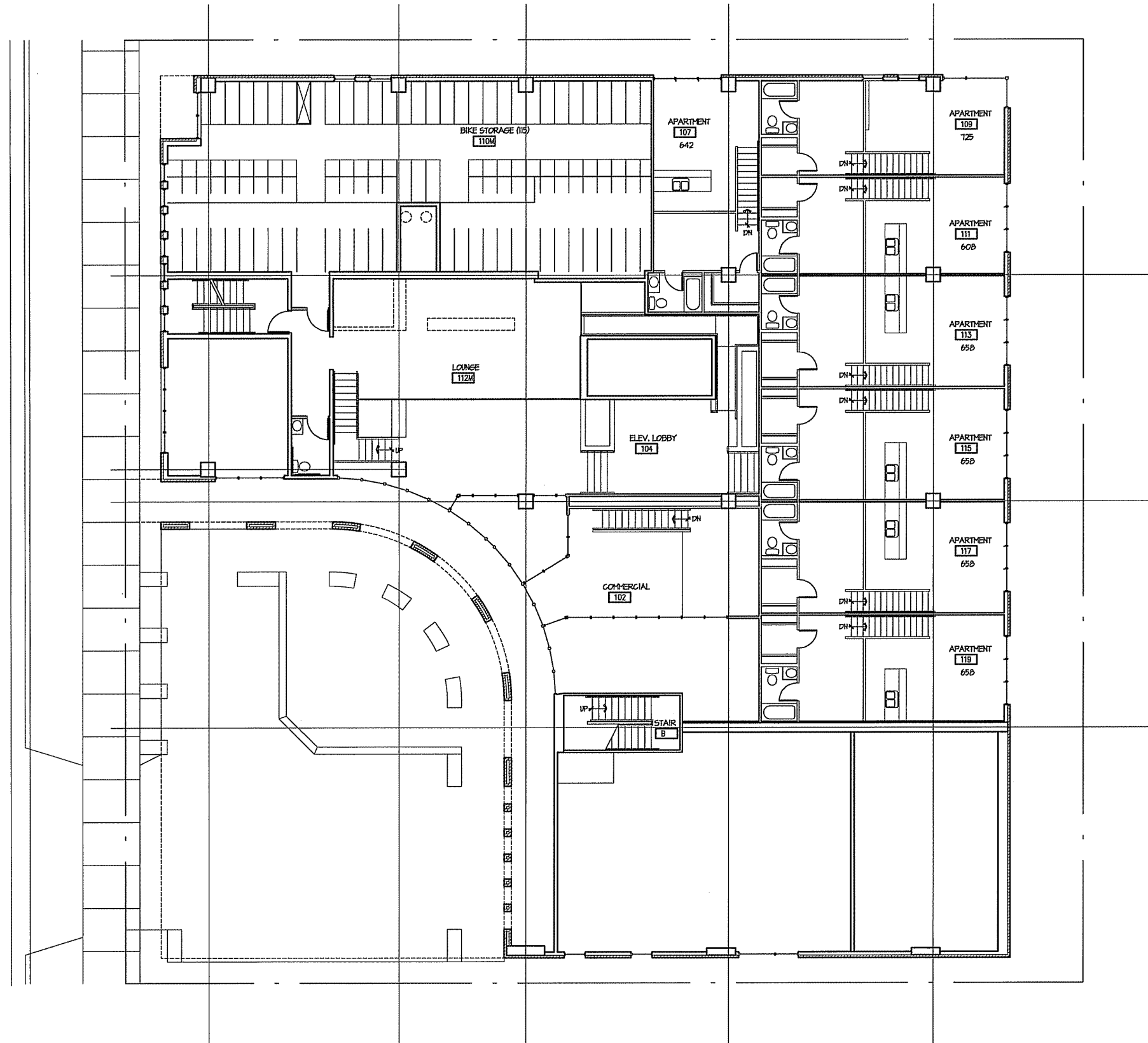
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FIRST FLOOR PLAN

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A1.3



WEST JOHNSON STREET



1 FIRST FLOOR MEZZANINE PLAN
A1.4 SCALE: 1/8" = 1'-0"



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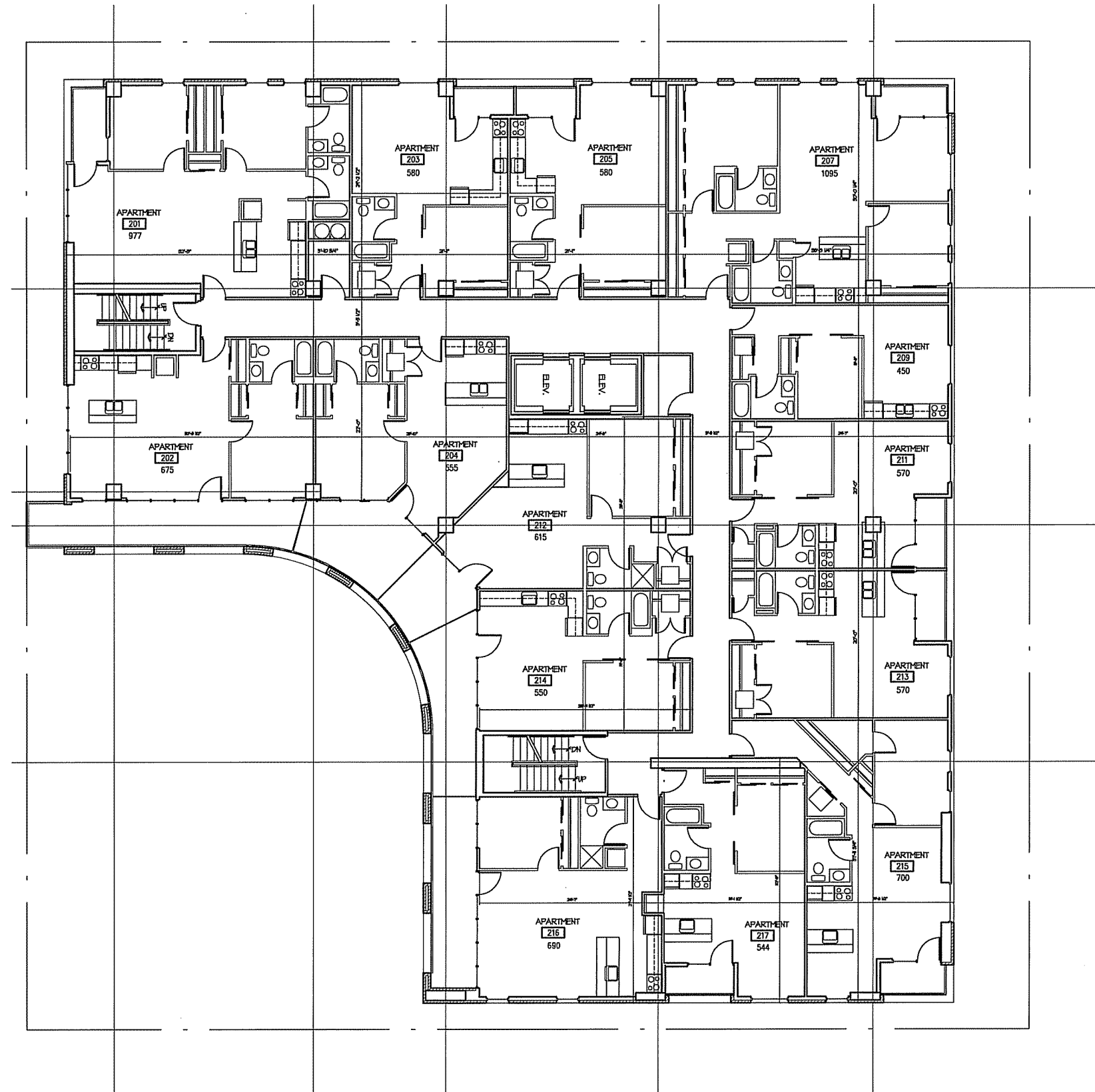
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FIRST FLOOR MEZZANINE

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A1.4



1 SECOND FLOOR PLAN
A1.5 SCALE: 1/8" = 1'-0"



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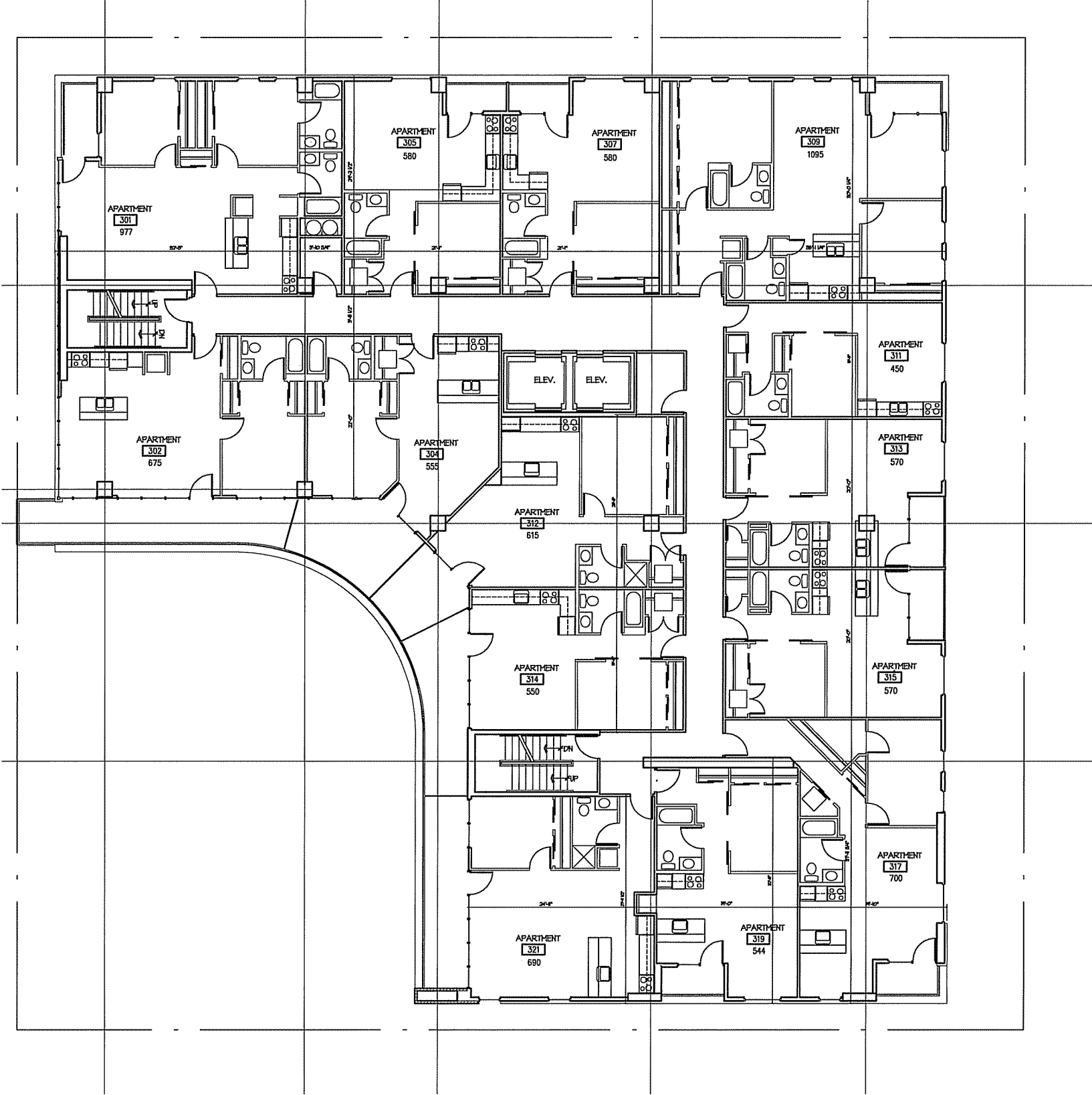
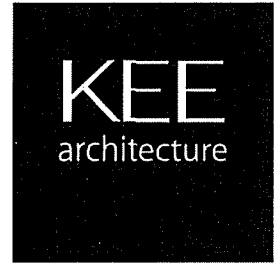
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SECOND FLOOR PLAN

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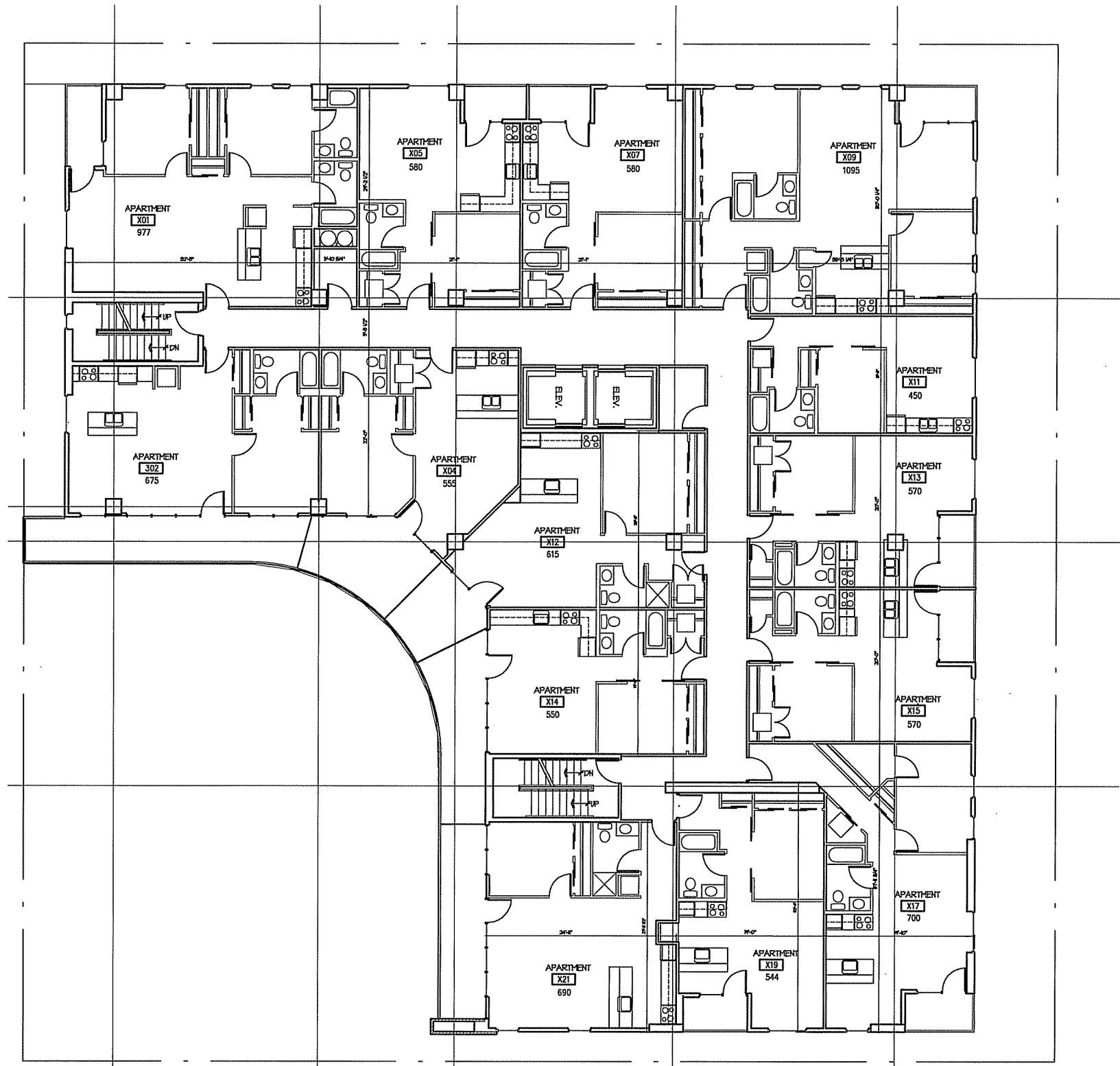
A1.5



1 THIRD FLOOR PLAN
A1.6 SCALE: 1/8" = 1'-0"



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THIRD FLOOR PLAN
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Project # 201303 Date: 08.08.14



1 TYPICAL FLOOR PLAN
A1.7 SCALE: 1/8" = 1'-0"



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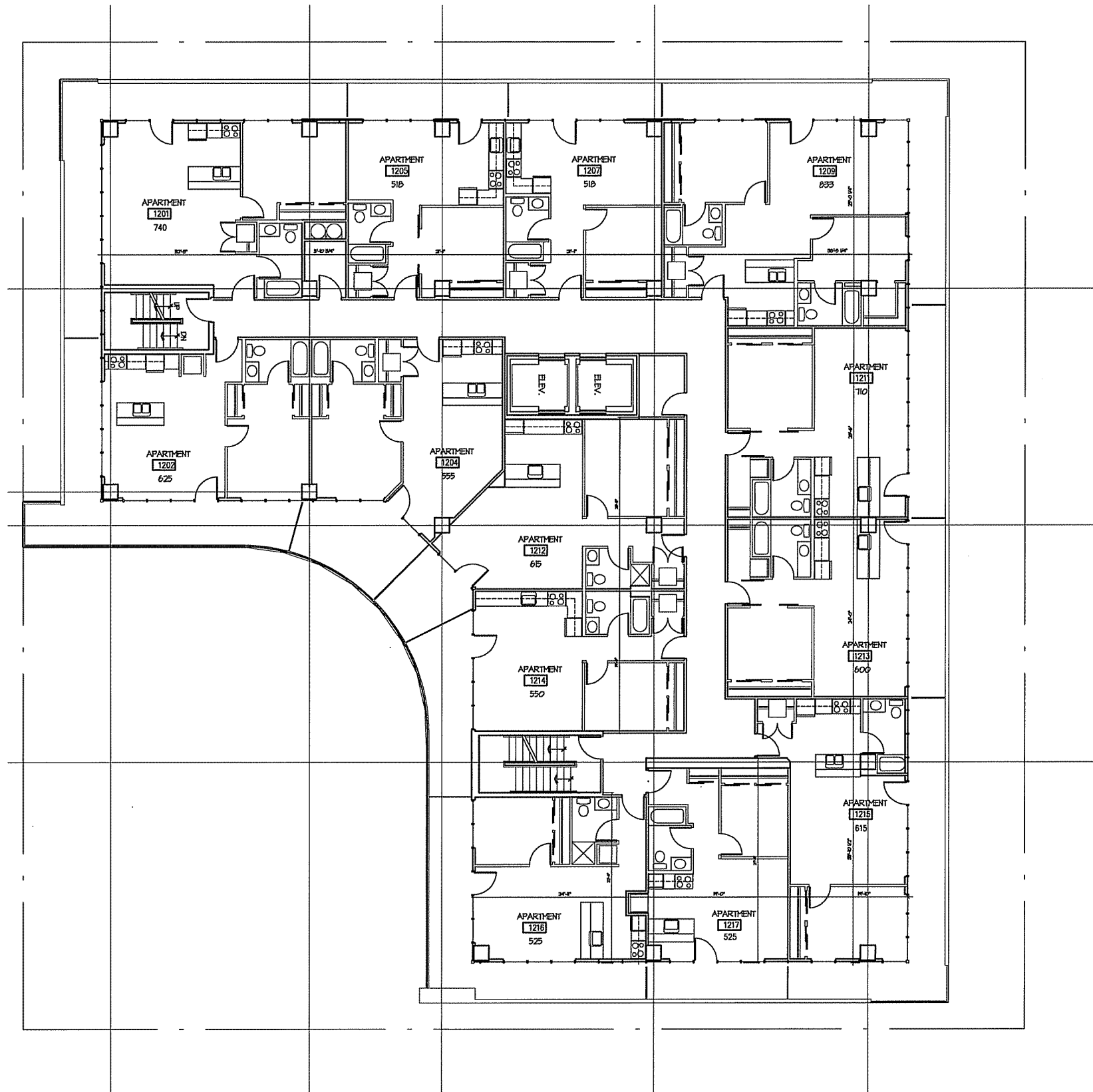
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TYPICAL FLOOR PLAN

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Date: 08.08.14

A1.7



1 TWELFTH FLOOR PLAN
A1.8 SCALE: 1/8" = 1'-0"



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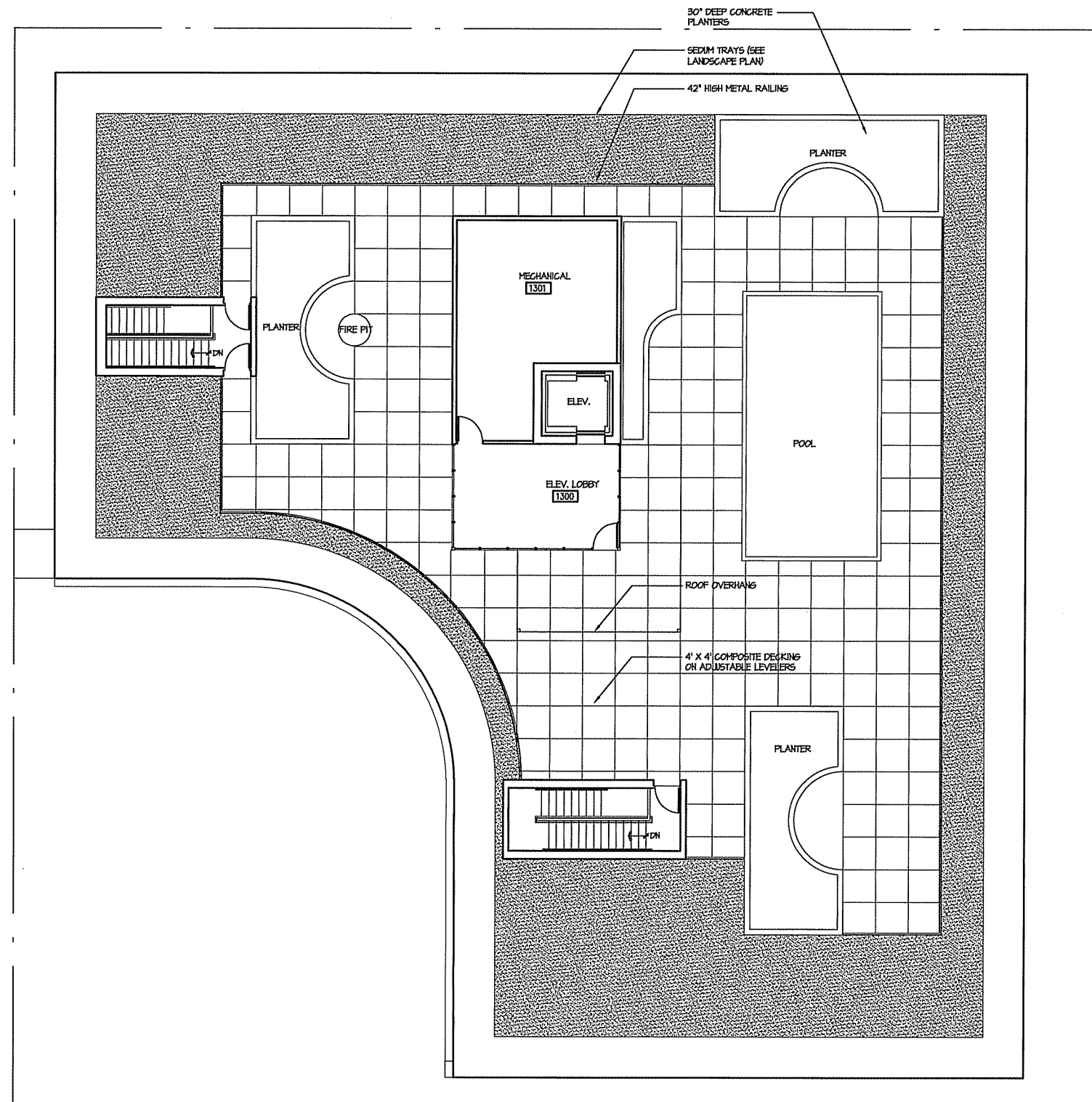
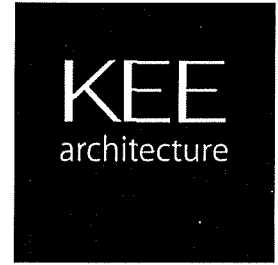
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TWELVETH FLOOR PLAN

DATA

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Date: 08.08.14

A1.8



1 ROOF TERRACE PLAN
A1.9 SCALE: 1/8" = 1'-0"



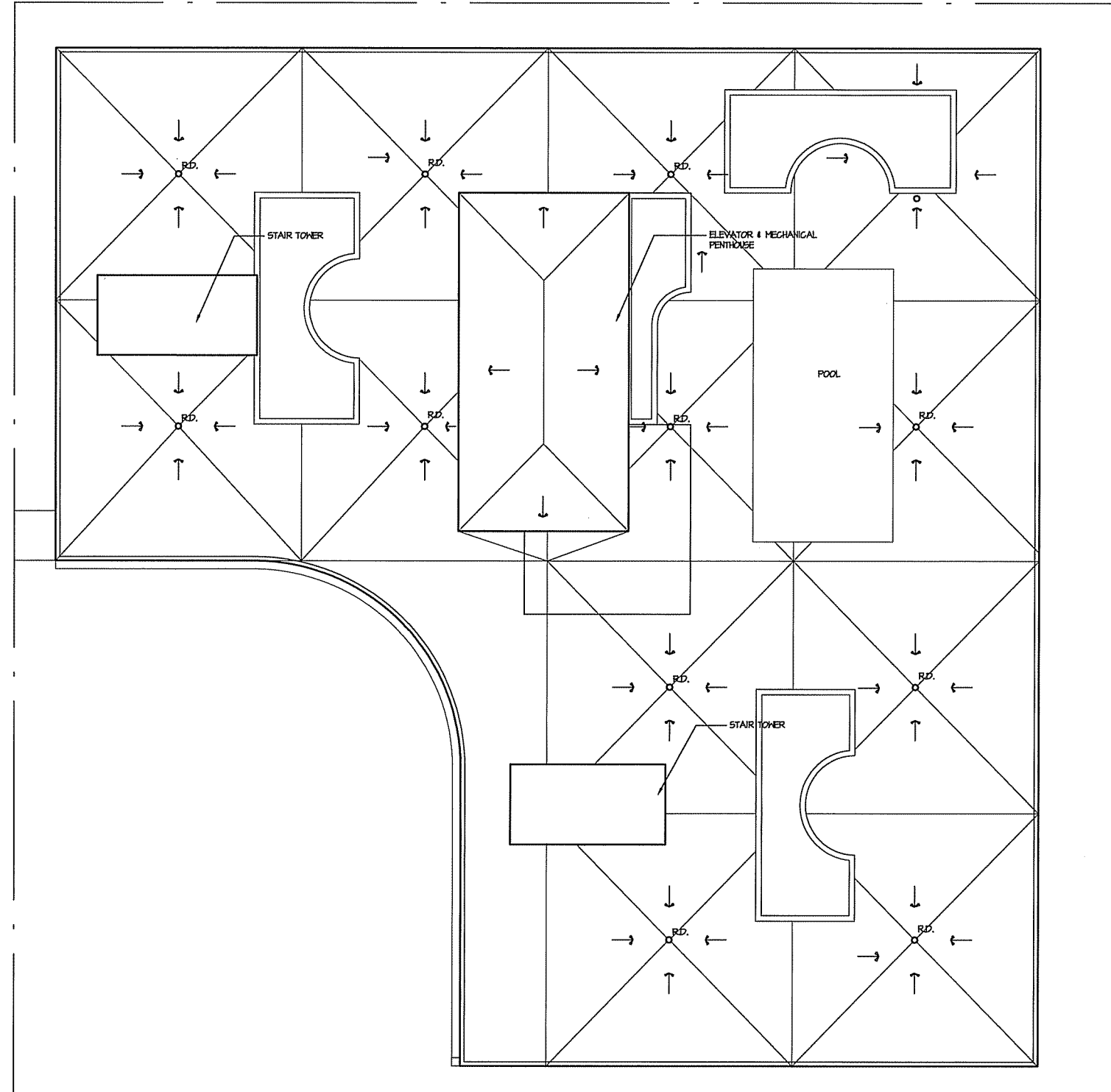
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DRAWING
ROOF TERRACE PLAN

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1 ROOF PLAN
A1.10 SCALE: 1/8" = 1'-0"



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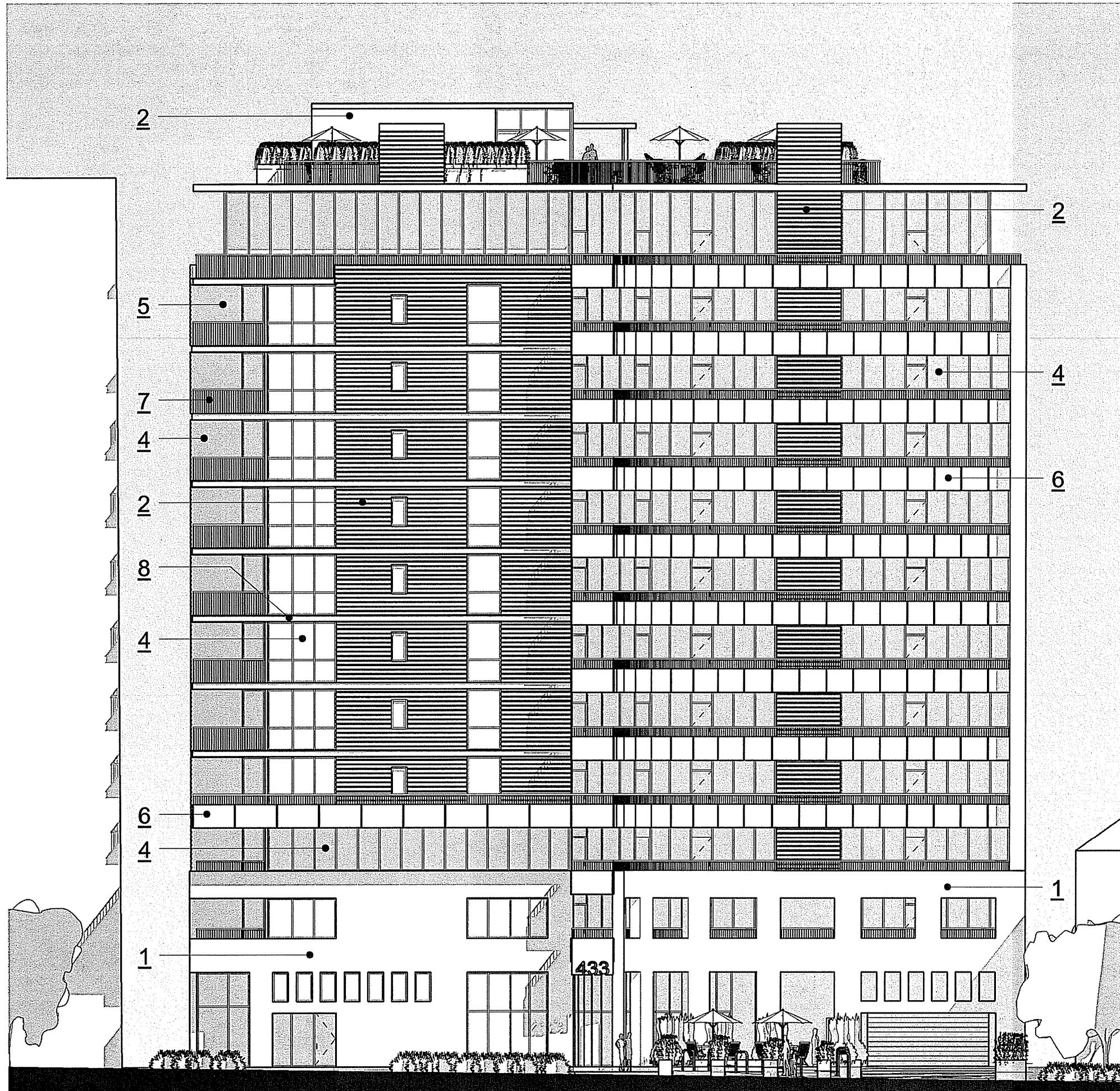
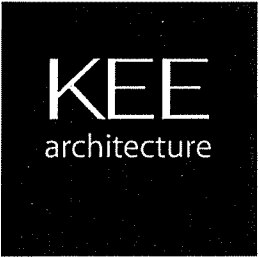
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ROOF PLAN

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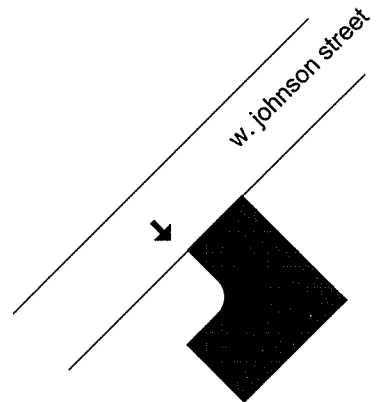
Project # 201303
Date: 08.08.14

A1.10



- Roof
143' - 0"
- Roof Terrace
131' - 0"
- Level 12
117' - 6"
- Level 11
107' - 0"
- Level 10
97' - 0"
- Level 9
87' - 0"
- Level 8
77' - 0"
- Level 7
67' - 0"
- Level 6
57' - 0"
- Level 5
47' - 0"
- Level 4
37' - 0"
- Level 3
27' - 0"
- Level 2
17' - 0"
- Level 1
0' - 0"

1. Brick masonry
2. Architectural metal panel
3. Galvanized steel planter
4. Aluminum window system
5. EIFS
6. Guardrail w/ galvanized steel plate
7. Guardrail
8. Galvanized steel channel

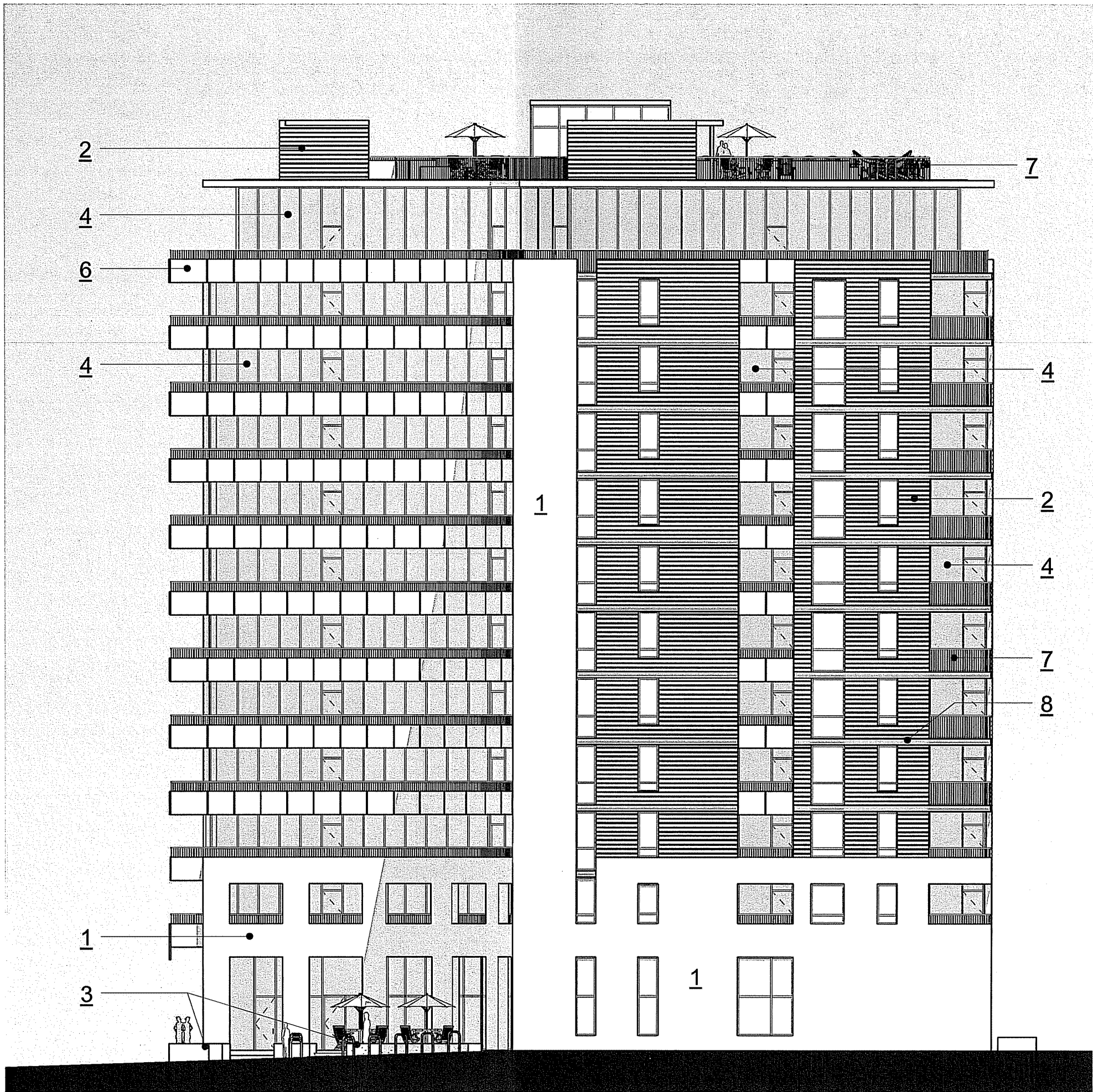
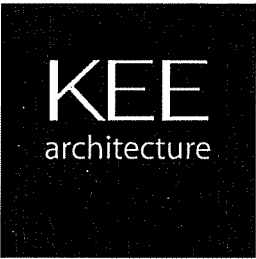


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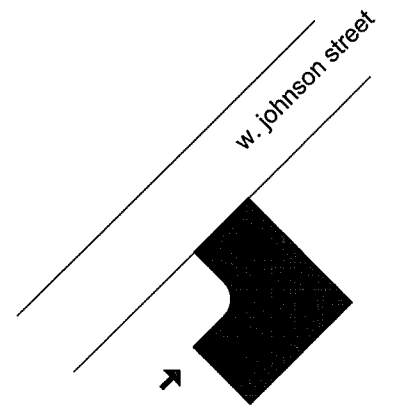
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NORTH WEST ELEVATION
1/16" = 1'-0"

DATA
Project # 201303
Date: 08.01.14



- Roof 143' - 0"
- Roof Terrace 131' - 0"
- Level 12 117' - 6"
- Level 11 107' - 0"
- Level 10 97' - 0"
- Level 9 87' - 0"
- Level 8 77' - 0"
- Level 7 67' - 0"
- Level 6 57' - 0"
- Level 5 47' - 0"
- Level 4 37' - 0"
- Level 3 27' - 0"
- Level 2 17' - 0"
- Level 1 0' - 0"

- 1. Brick masonry
- 2. Architectural metal panel
- 3. Galvanized steel planter
- 4. Aluminum window system
- 5. EIFS
- 6. Guardrail w/ galvanized steel plate
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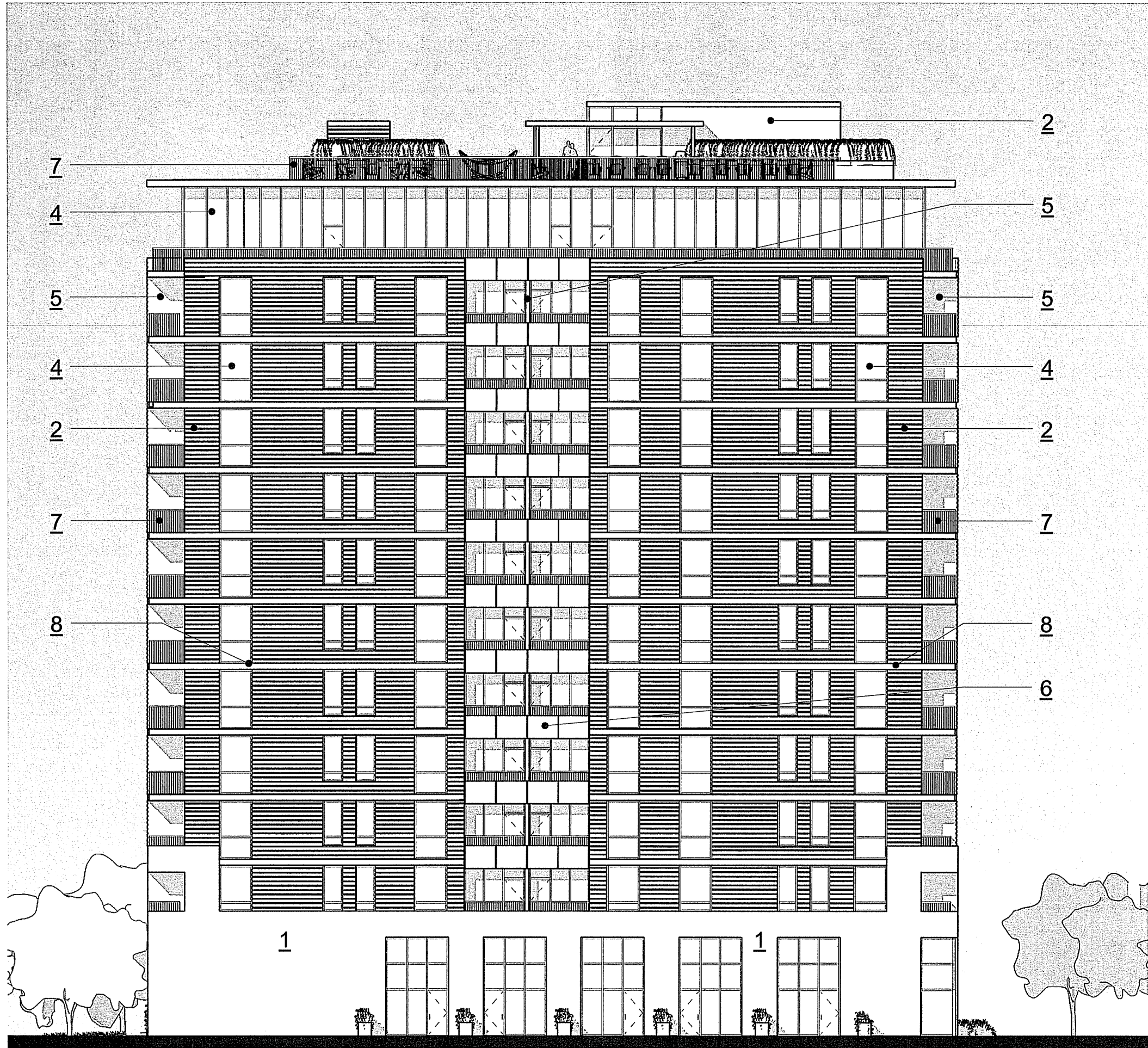
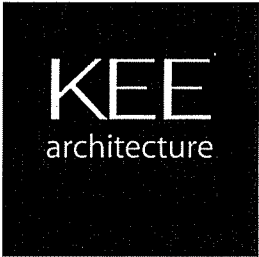


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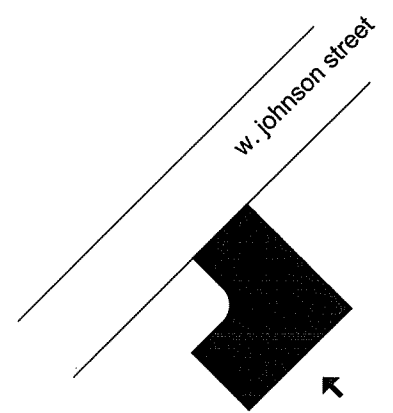
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SOUTH WEST ELEVATION
1/16" = 1'-0"

DATA
Project # 201303
Date: 08.01.14



- Roof 143' - 0"
- Roof Terrace 131' - 0"
- Level 12 117' - 6"
- Level 11 107' - 0"
- Level 10 97' - 0"
- Level 9 87' - 0"
- Level 8 77' - 0"
- Level 7 67' - 0"
- Level 6 57' - 0"
- Level 5 47' - 0"
- Level 4 37' - 0"
- Level 3 27' - 0"
- Level 2 17' - 0"
- Level 1 0' - 0"

1. Brick masonry
2. Architectural metal panel
3. Galvanized steel planter
4. Aluminum window system
5. EIFS
6. Guardrail w/ galvanized steel plate
7. Guardrail
8. Galvanized steel channel

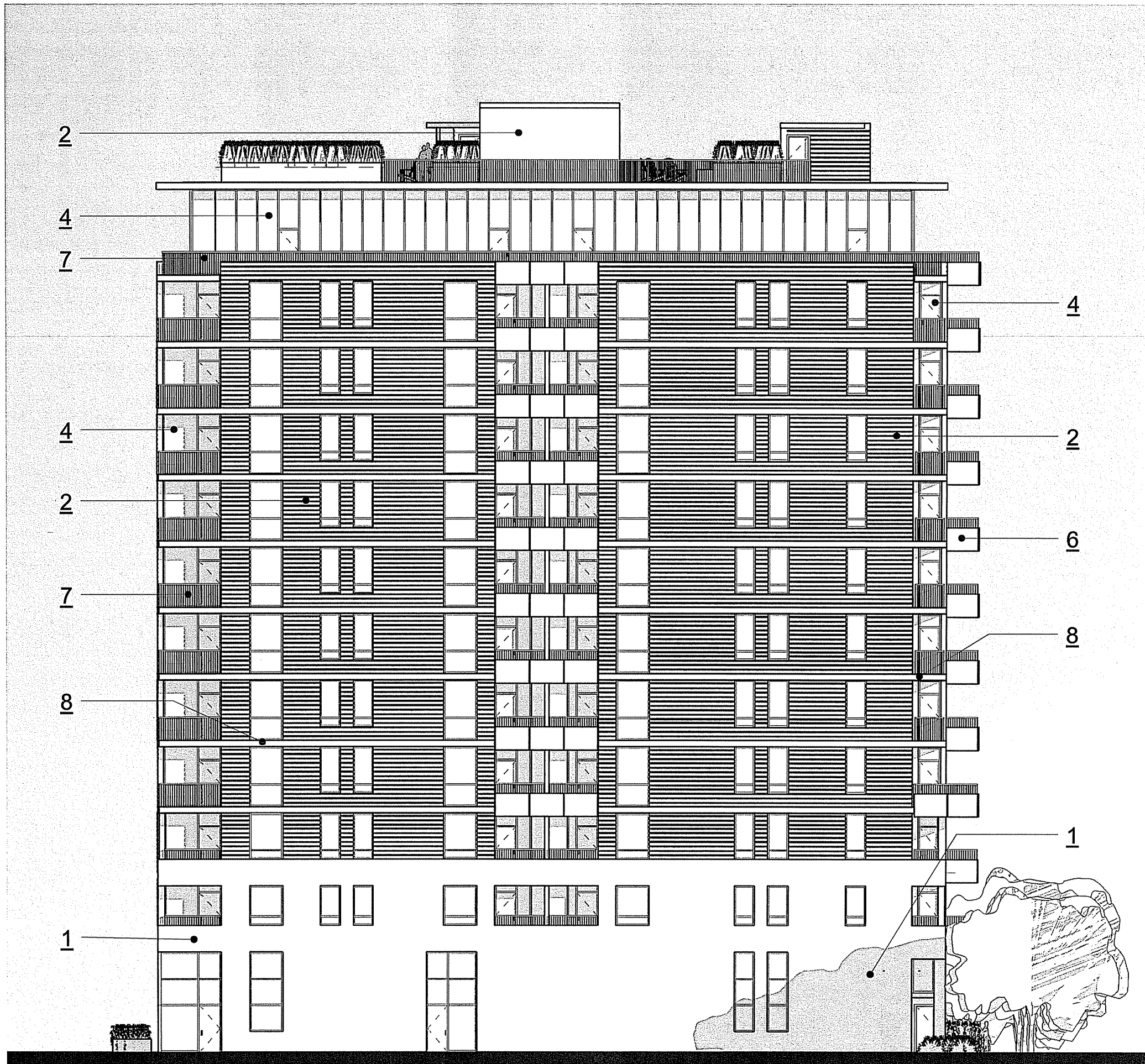


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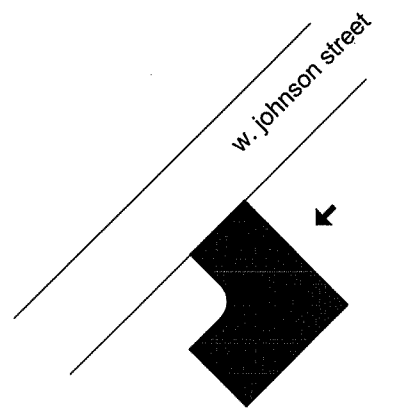
DRAWING
SOUTH EAST ELEVATION
1/16" = 1'-0"

DATA
Project # 201303
Date: 08.01.14



- Roof 143' - 0"
- Roof Terrace 131' - 0"
- Level 12 117' - 6"
- Level 11 107' - 0"
- Level 10 97' - 0"
- Level 9 87' - 0"
- Level 8 77' - 0"
- Level 7 67' - 0"
- Level 6 57' - 0"
- Level 5 47' - 0"
- Level 4 37' - 0"
- Level 3 27' - 0"
- Level 2 17' - 0"
- Level 1 0' - 0"

1. Brick masonry
2. Architectural metal panel
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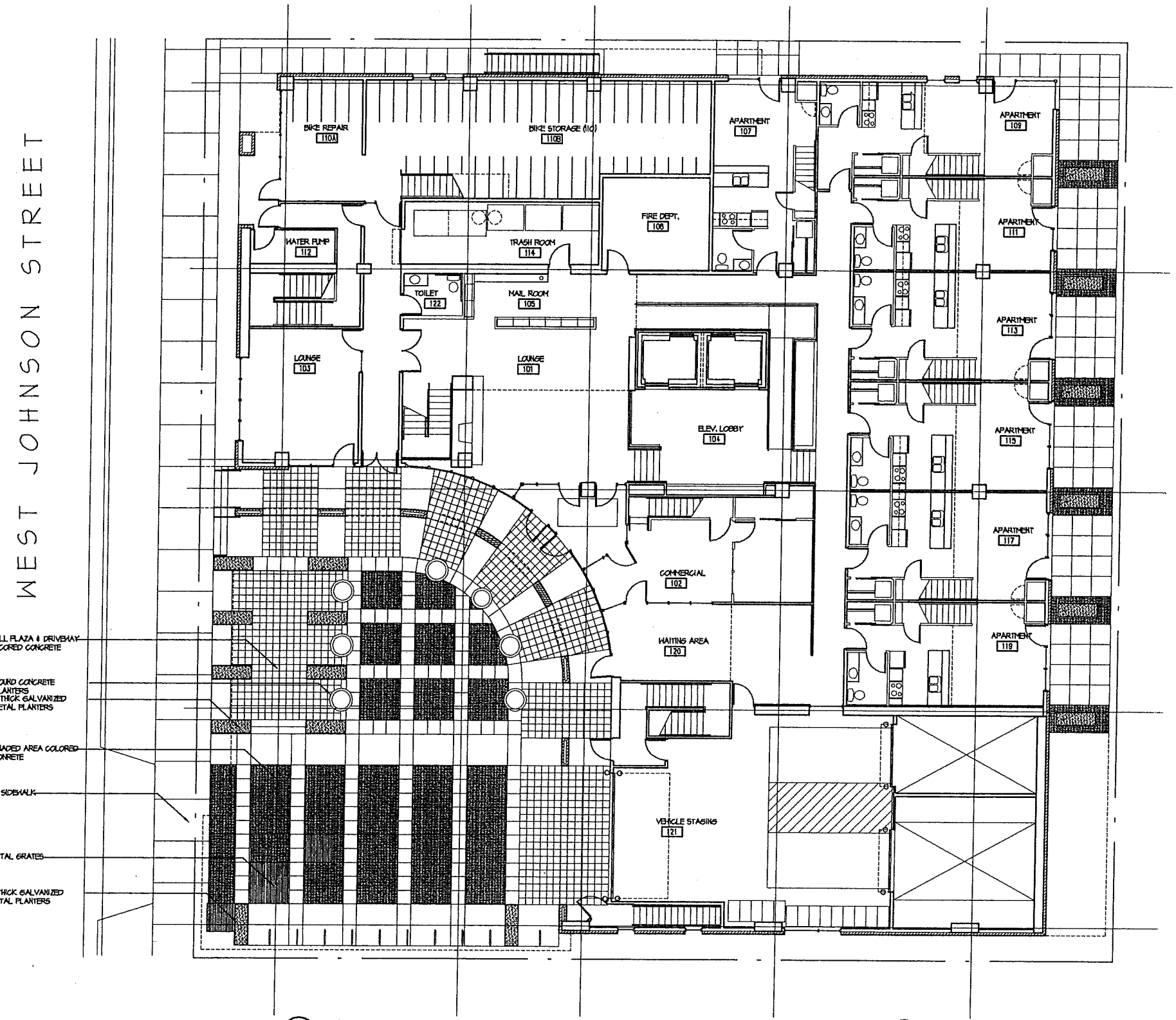
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PROJECT
433 Johnson Bend

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DRAWING
NORTH EAST ELEVATION
1/16" = 1'-0"

DATA
Project # 201303
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1 FIRST FLOOR PLAN
A1.3 SCALE 1/8" = 1'-0"



ALTERNATIVE SITE PLAN

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DRAWING
FIRST FLOOR PLAN

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A1.3