



URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

This form may also be completed online at:
<http://www.cityofmadison.com/planning/documents/UDCapplication.pdf>

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

Please complete all sections of the application, including the desired meeting date and the type of action requested.

Date Submitted: _____	<input type="checkbox"/> Informational Presentation
UDC Meeting Date: _____	<input type="checkbox"/> Initial Approval
Combined Schedule Plan Commission Date (if applicable): _____	<input checked="" type="checkbox"/> Final Approval

1. Project Address: 4525 Secret Garden Dr.
Project Title (if any): Catalina Crossing

2. This is an application for (Check all that apply to this UDC application):

New Development Alteration to an Existing or Previously-Approved Development

A. Project Type:

- Project in an Urban Design District* (public hearing-\$300 fee)
- Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) (\$150 fee, Minor Exterior Alterations)
- Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment Campus District (EC)
- Planned Development (PD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Planned Residential Complex

B. Signage:

- Comprehensive Design Review* (public hearing-\$300 fee) Street Graphics Variance* (public hearing-\$300 fee)
- Signage Exception(s) in an Urban Design District (public hearing-\$300 fee)

C. Other:

Please specify: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: Daniel Krisher Company: JLA Architects
 Street Address: 2418 Crossroads Dr. City/State: Madison, WI Zip: 53718
 Telephone: (608) 241-9500 Fax: () Email: dkrisher@jla-ap.com


Project Contact Person: Joseph Lee Company: JLA Architects
 Street Address: 2418 Crossroads Dr. City/State: Madison, WI Zip: 53718
 Telephone: (608) 241-9500 Fax: () Email: dkrisher@jla-ap.com

Project Owner (if not applicant): David J. Decker
 Street Address: 2418 Crossroads Dr. City/State: Brookfield, WI Zip: 53005
 Telephone: (608) 241-9500 Fax: () Email: deckerproperties@sbcglobal.net

4. Applicant Declarations:

A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Al Martin on Various.
(name of staff person) (date of meeting)

B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of Applicant Daniel Krisher Relationship to Property Architectural Technician
 Authorized Signature  Date 05/18/2016



JOSEPH LEE + ASSOCIATES, LLC

2418 Crossroads Drive, Suite 2300

Madison, Wisconsin 53718

608.241.9500

Letter of Intent

Catalina Crossing Final Presentation

The following Catalina Crossing Apartments Master Plan is being submitted to the Urban Design Council for the Catalina Crossing multi-family development on Madison's southeast side. This letter shall serve as the Letter of Intent for the UDC Application.

Catalina Crossing is a multi-family residential development located at the intersection of Secret Garden Drive and Catalina Parkway. The proposed project consists of (17) multi-family buildings, 113 dwelling units in total, and one 720 SF Maintenance Garage. Building Type 'A' contains 6 dwelling units and is approximately 7,920 SF (6 two bedroom apartments). Building Type 'B' contains 6 dwelling units and is approximately 8,365 SF (2 two bedroom apartments, 4 three bedroom apartments). Building Type 'C' contains 12 dwelling units and is approximately 14,260 SF (12 two bedroom apartments). Building Type 'D' contains 4 dwelling units and is approximately 10,240 SF (4 two bedroom apartments). Building Type 'E' contains 6 dwelling units and is approximately 15,360 SF (6 two bedroom apartments). Building Type 'F' contains 9 dwelling units and is approximately 23,040 SF (9 two bedroom apartments). All six building types are two stories in height and offer garage parking. All buildings shall be wood framed with fiberglass shingled roofs and shall have exterior materials consisting of stone veneer, composite siding, and vinyl windows and doors with wide-style composite trim pieces and precast concrete trim above the stonework.

The project team currently consists of Decker Properties (developer), JLA Architects + Planners (architecture/design), and D'Onofrio Kottke & Associates (civil engineering/ landscape architecture).

The existing site is currently an undeveloped space and the new site would house the seventeen new buildings, associated drives and surface parking, a stormwater retention area, and ample landscaping. The site will also include a total of 247 vehicle parking spaces (57 surface + 190 covered). The area of the site is approximately 559,310 SF, or 12.84 acres.

The proposed project schedule has construction commencing in the spring of 2017 with completion approximately one year later. The value of the land is \$610,000 and \$13,953,160. Approximately 250 jobs are estimated to be created during construction and approximately 8 full time permanent jobs will be created going forward.

CATALINA CROSSING APARTMENTS

4525 Secret Garden Drive
Madison, Wisconsin 53558



UDC SUBMITTAL

JLA
architects

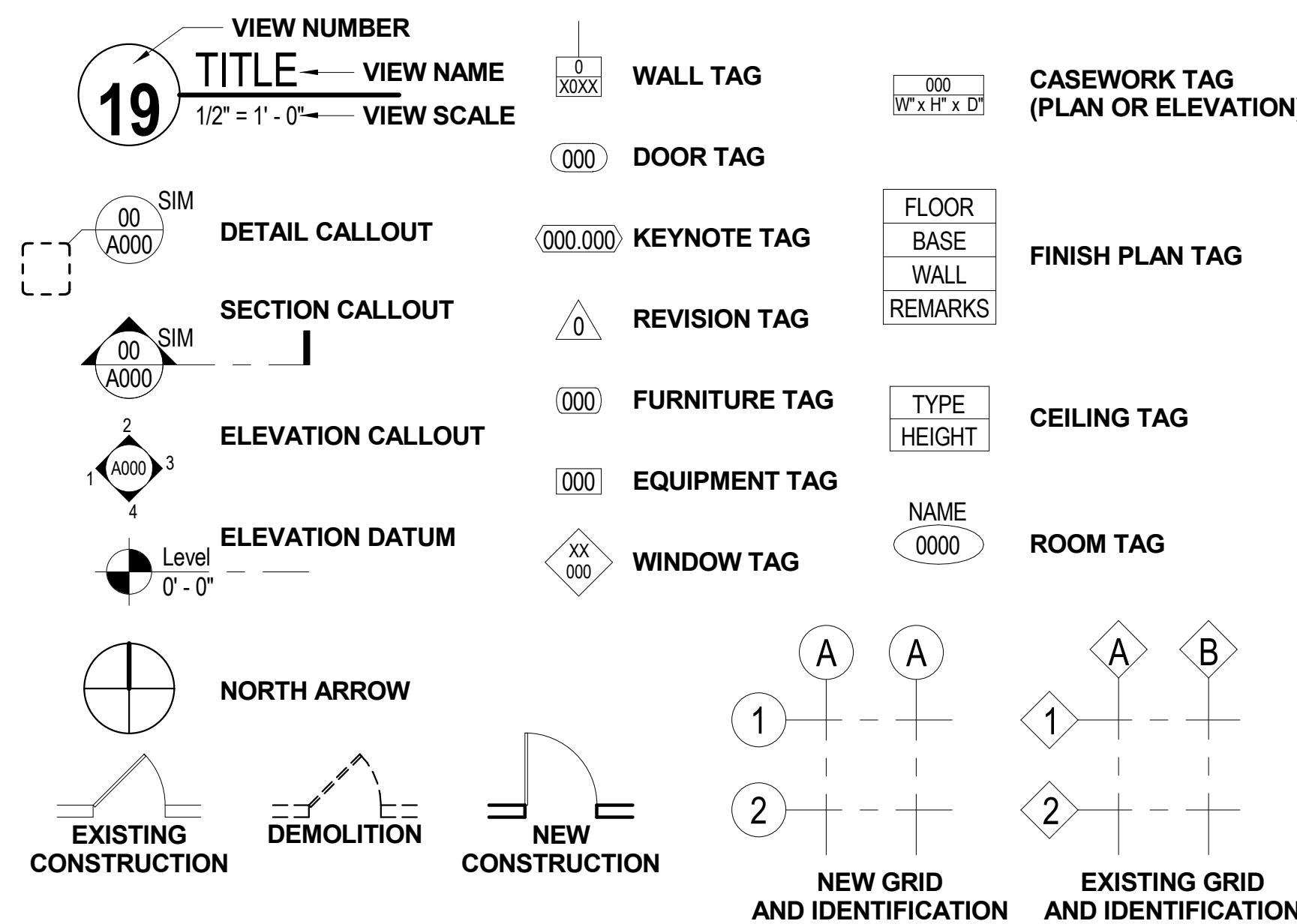
JLA PROJECT NUMBER: 14-1103

18 MAY, 2016

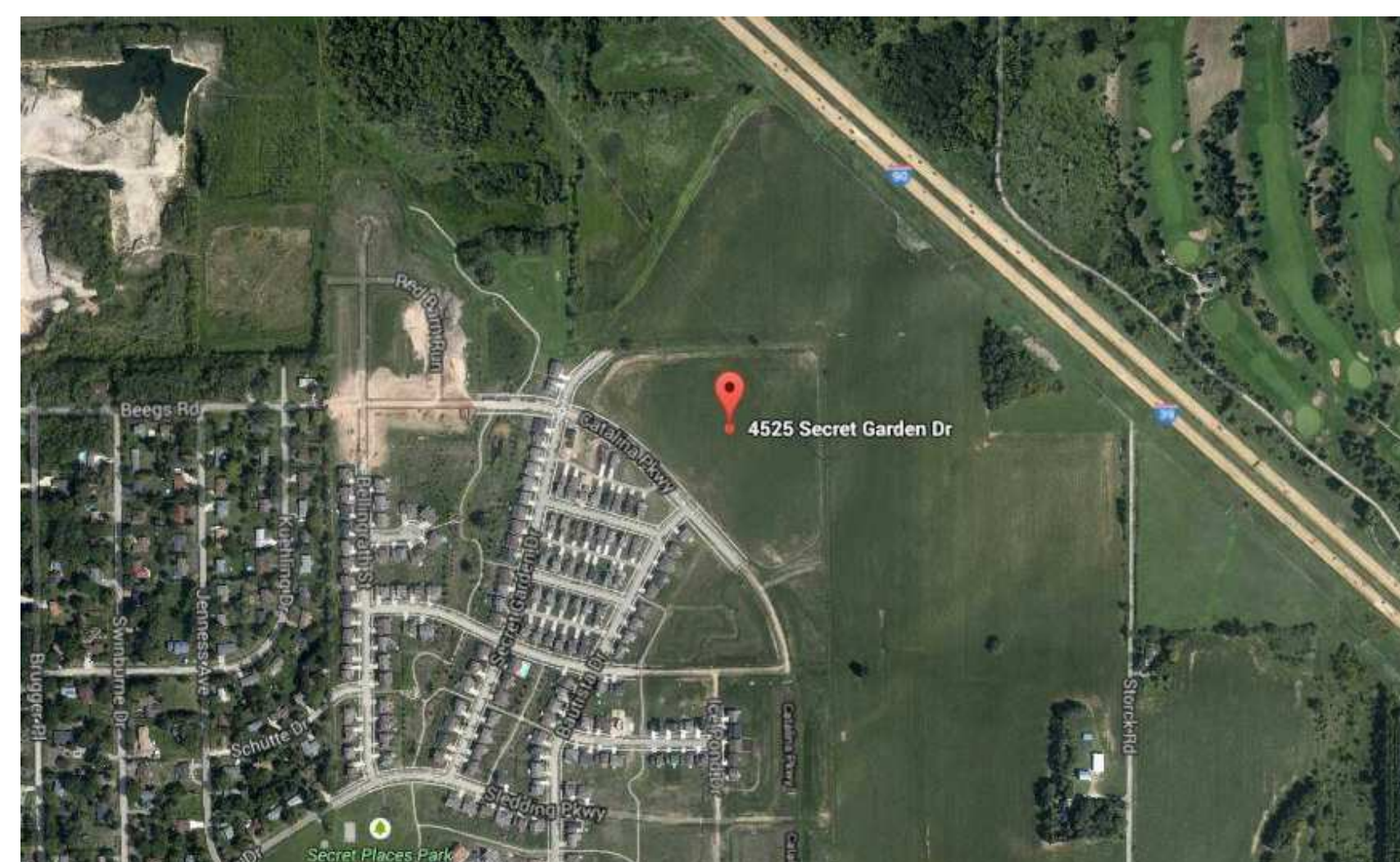
ABBREVIATIONS

A AC air condition AE Architect/Engineer ACT acoustical ceiling tile ADOL additional ADOM addendum AFC above finished counter AFF above finished floor AFS above finished slab ALT alternate ALUM aluminum APPD approved APT apartment ASC above suspended ceiling	B BB baseboard BB bulletin board BLDG building BL blinds (window) BL borrowed light BLW below BPL base plate BO bottom of BOS bottom of steel	C CB catch basin CB construction bulletin CF/CI contractor furnished, contractor installed CF/CI contractor furnished, owner installed CF/MI contractor furnished, vendor installed CG corner guard CH chalkboard CIP cast-in-place CJ control joint CJ construction joint CL centerline CLG ceiling CLR clear CM construction management CONC concrete masonry unit CO cleanout COL column CONC concrete CORR corridor CONT continuous CPT carpet CSWK casework CT ceramic tile CTB ceramic tile base	D DEMT demolition DEPT department DF drinking fountain DPS Door and Frame Schedule DHT double hung DIA diameter DR door DR FR door frame DTL detail DWS dishwasher DWG drawing	E E east EIFS exterior insulation & finish system EL elevation ELEC electric, electrical ELEV elevator EP epoxy EPB epoxy base EPS expanded polystyrene board EQ equal EXIST existing EXP expansion EXT exterior	F F female F filler FA fire alarm FAB fabric FAX facsimile FC fire cabinet FD floor drain FE fire extinguisher cabinet FHC fire hose cabinet FG foot grille FLR floor FM factory mutual FMR floor mat FP fire protection FP fireproof FPL fire place FRP fiber reinforced panel FT fuel FTG footing FWP fabric wrapped panel	G GALV galvanized GB grab bar GC general contractor GL glass GLT glass tile GLU LAM glued laminated wood GR granite GRG grout GT glazed wall tile GYP BD gypsum board	H H hose bibb HC hollow core HCP handicapped HM hollow metal HORIZ horizontal HSKRG housekeeping HT height HVAC heating, ventilating & air conditioning HW hot water HWF hardwood floor HWY highway	I ID inside diameter INSUL insulation INT interior J janitor sink LAM laminate LAV lavatory LL live load M maximum MC modular carpet tile MECH mechanical MFR manufacturer MIN minimum MIN minute MISC miscellaneous MO masonry opening MS mop sink MRB marble base MRF marble floor MTL metal	N NA not applicable NIC not in contract NO number NW normal NS not to scale O on center OD outside diameter OFCI owner furnished, contractor installed OFCI owner furnished, owner installed OFCI owner furnished, vendor installed OFCI overhead (ceiling) door OPH opposite hand OPNG opening	P PLM plastic laminate PLYWD plywood PREFAB prefabricated PREFIN prefinished PSI pounds per square inch PT paint, painted PTN partition Q quarry tile QTB quarry tile base R resilient base RCP reflected ceiling plan RD roof drain REBAR reinforcing steel bars RFS resident flooring RO room finish schedule rough opening S south SAN sanitary SC sealed concrete SC solid core SF square foot SH shades SIM similar SST solid surface SS stainless steel ST stan ST star STN stone STNB stone base STRUC structure SV sheet vinyl	T T&M time & materials TEMP temperature TER terrazzo TERB terrazzo base TF top of finish floor TK BD tackboard TO top of TOB top of beam TOC top of concrete TOI top of joist TOPO topography TOPO top of slab TOS top of steel TV television TYP typical	U UNO unless noted otherwise UNON unless otherwise note V vinyl composition tile VFCI vendor furnished, contractor installed VFI vendor furnished, owner installed VFI vendor furnished, owner installed VNR veneer VFI veneer in field VWC vinyl wall covering W west W with W/O without WC water closet WC well covering WD wood WDB wood base WDV wood veneer WH water heater WP well protection WP workpoint X extruded polystyrene board (naul) Y Z
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SYMBOL LEGEND



VICINITY MAP



PROJECT ADDRESS

CATALINA CROSSING APARTMENTS
4525 Secret Garden Drive
Madison, Wisconsin 53558

OWNER INFORMATION

DECKER PROPERTIES, INC.

15850 W. BLUEMOUND RD. #60
BROOKFIELD, WISCONSIN 53005
CONTACT: MR. DAVID J. DECKER
DECKERPROPERTIES@SBCGLOBAL.NET
262.785.0840

PROJECT TEAM

GENERAL CONTRACTOR

T.B.D.
STREET ADDRESS
CITY, STATE ZIP CODE
PHONE NUMBER

ARCHITECTURAL

JOSEPH LEE & ASSOCIATES, LLC
2418 CROSSROADS DR. - SUITE 2300
MADISON, WISCONSIN 53718
CONTACT: MR. DANIEL KRISHER
DKRISHER@JLA-AP.COM
608.241.9500

CIVIL ENGINEERING

D'ONOFRIO, KOTTKE & ASSOCIATES, INC.
7530 WESTWARD WAY
MADISON, WISCONSIN 53717
CONTACT: MR. BRUCE HOLLAR
BHOLLAR@DONOFRIO.CC
608.833.7530

STRUCTURAL ENGINEERING

MP-SQUARED STRUCTURAL ENGINEERS LLC
583 D'ONOFRIO DR. SUITE 201
MADISON, WISCONSIN 53538
CONTACT: MARK LINDLOFF, P.E.
MLINDLOFF@MPSQRD.COM
608.821.4770

SITE LIGHTING

T.B.D.
STREET ADDRESS
CITY, STATE ZIP CODE
PHONE NUMBER

SET ISSUE

UDC SUBMITTAL
6 APRIL, 2016

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A102-F	SECOND FLOOR & ROOF PLAN - BUILDING TYPE 'F'
A200-F	EXTERIOR ELEVATIONS
A201-F	EXTERIOR ELEVATIONS



JOSEPH LEE & ASSOCIATES
2418 CROSSROADS DRIVE - SUITE 2300
MADISON, WISCONSIN 53718
608.241.9500

JLA PROJECT NUMBER: 14-1103

DECKER PROPERTIES,
INC.



CATALINA CROSSING
APARTMENTS

DATE OF ISSUANCE 18 MAY, 2016

Revision Schedule		
Mark	Description	Date

SHEET TITLE

INDEX

SHEET NUMBER

G001

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

DATE OF ISSUANCE 18 MAY, 2016

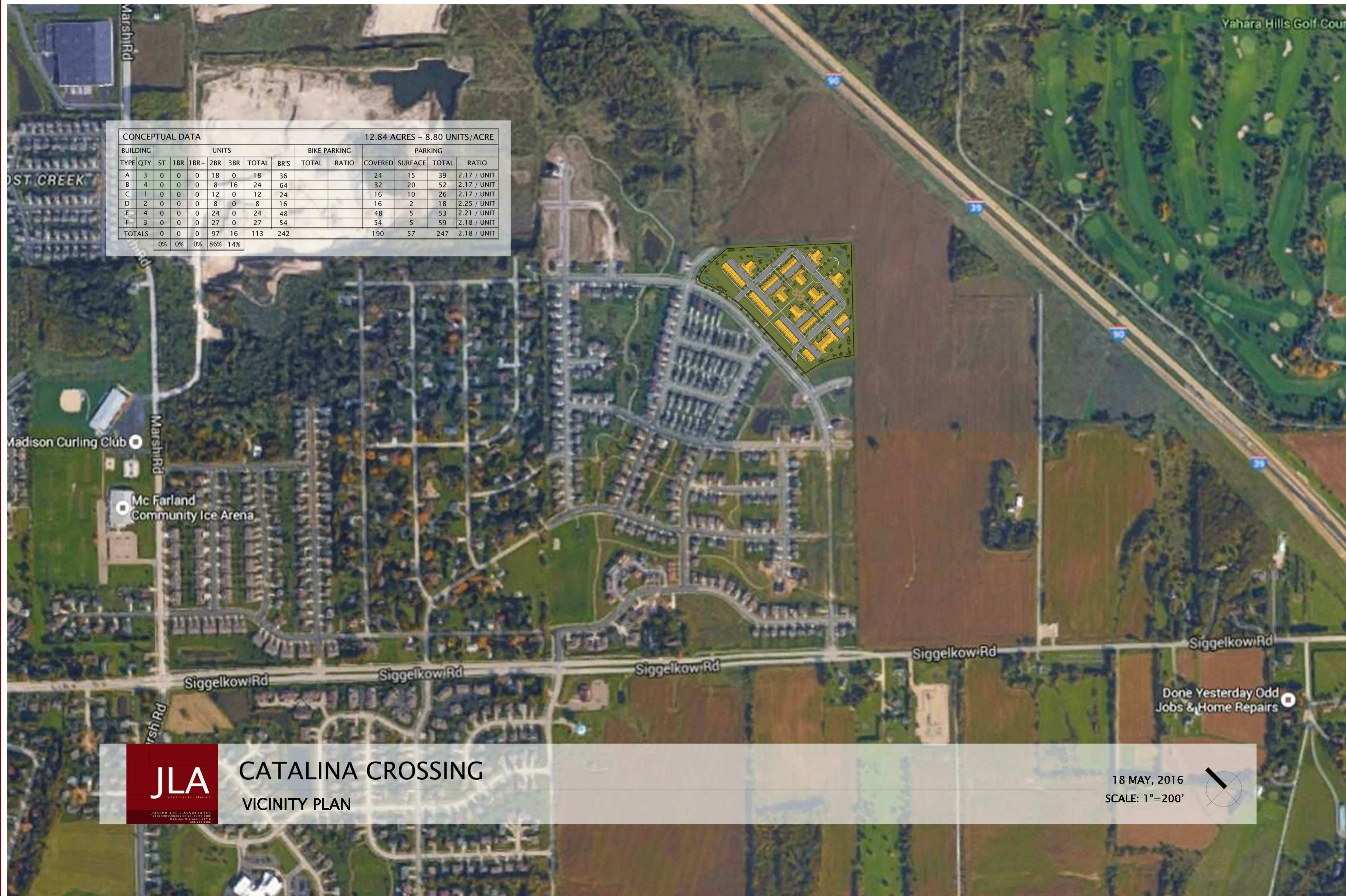
Revision Schedule		
Mark	Description	Date

SHEET TITLE

VICINITY MAP

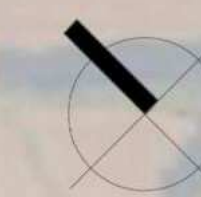
SHEET NUMBER

ASP-100



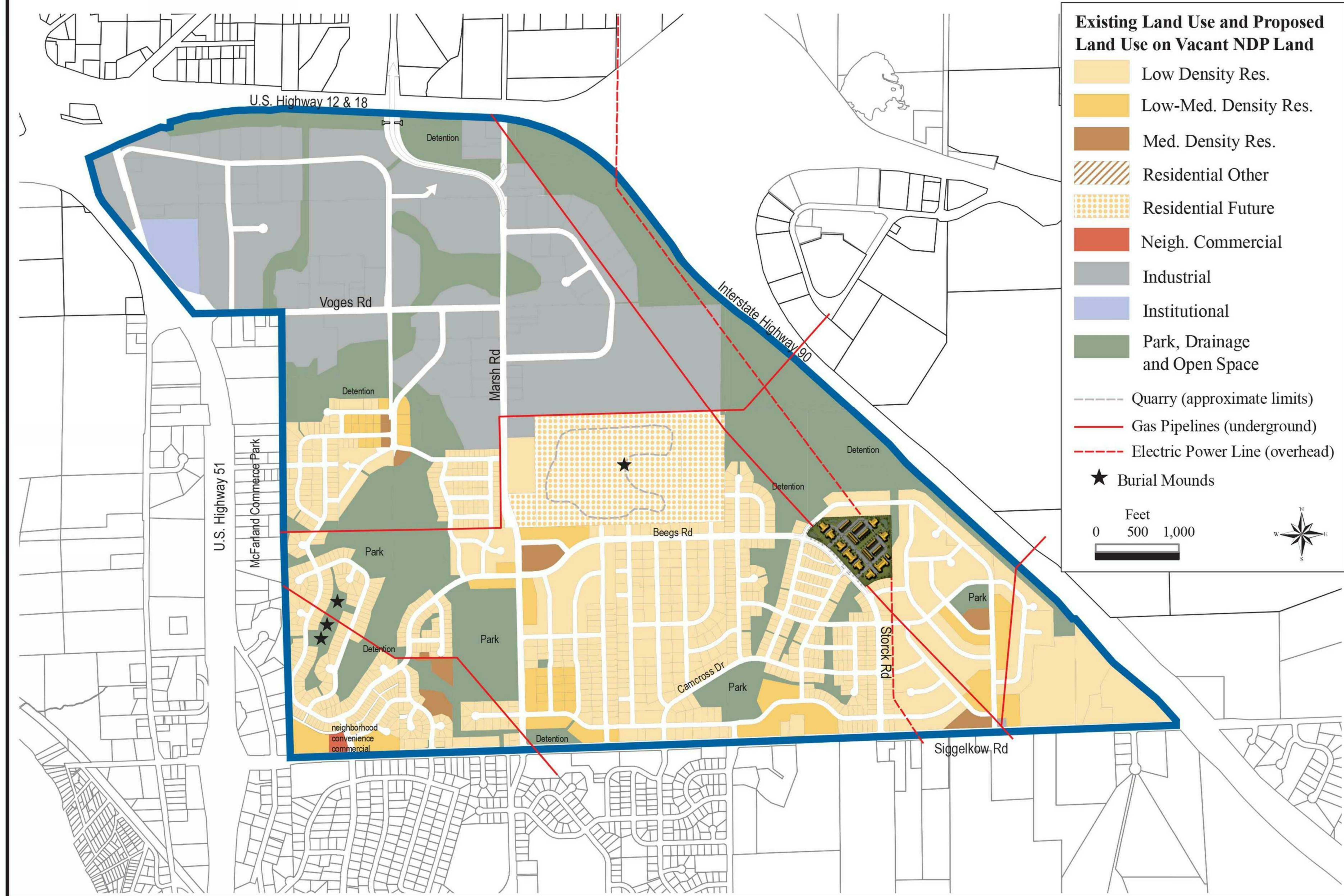
CONCEPTUAL DATA 12.84 ACRES - 8.80 UNITS/ACRE

BUILDING	UNITS					BIKE PARKING		PARKING						
	TYPE	QTY	ST	1BR	2BR	3BR	TOTAL	BR'S	TOTAL	RATIO	COVERED	SURFACE	TOTAL	RATIO
A	3	0	0	0	18	0	18	36			24	15	39	2.17 / UNIT
B	4	0	0	0	8	16	24	64			32	20	52	2.17 / UNIT
C	1	0	0	0	12	0	12	24			16	10	26	2.17 / UNIT
D	2	0	0	0	8	0	8	16			16	2	18	2.25 / UNIT
E	4	0	0	0	24	0	24	48			48	5	53	2.21 / UNIT
F	3	0	0	0	27	0	27	54			54	5	59	2.18 / UNIT
TOTALS	0	0	0	0	97	16	113	242			190	57	247	2.18 / UNIT
					0%	0%	0%	86%	14%					



Marsh Road Neighborhood Development Plan

As Adopted October 1999 and *implemented through subdivision and zoning approvals



Existing Land Use and Proposed Land Use on Vacant NDP Land

- Low Density Res.
- Low-Med. Density Res.
- Med. Density Res.
- Residential Other
- Residential Future
- Neigh. Commercial
- Industrial
- Institutional
- Park, Drainage and Open Space
- Quarry (approximate limits)
- Gas Pipelines (underground)
- Electric Power Line (overhead)
- ★ Burial Mounds

Feet
0 500 1,000



DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE 6 APRIL, 2016

Revision Schedule		
Mark	Description	Date

SHEET TITLE

NEIGHBORHOOD
DEVELOPMENT PLAN

SHEET NUMBER

ASP-102

CONCEPTUAL DATA

12.84 ACRES - 8.80 UNITS/ACRE

BUILDING	UNITS								BIKE PARKING		PARKING				
	TYPE	QTY	ST	1BR	1BR+	2BR	3BR	TOTAL	BR'S	TOTAL	RATIO	COVERED	SURFACE	TOTAL	RATIO
A	3	0	0	0	0	18	0	18	36			24	15	39	2.17 / UNIT
B	4	0	0	0	0	8	16	24	64			32	20	52	2.17 / UNIT
C	1	0	0	0	0	12	0	12	24			16	10	26	2.17 / UNIT
D	2	0	0	0	0	8	0	8	16			16	2	18	2.25 / UNIT
E	4	0	0	0	0	24	0	24	48			48	5	53	2.21 / UNIT
F	3	0	0	0	0	27	0	27	54			54	5	59	2.18 / UNIT
TOTALS	0	0	0	0	0	97	16	113	242			190	57	247	2.18 / UNIT
	0%	0%	0%	0%	0%	86%	14%								



DECKER PROPERTIES, INC.

CATALINA CROSSING APARTMENTS

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE 18 MAY, 2016

Revision Schedule		
Mark	Description	Date

SHEET TITLE

OVERALL MASTERPLAN

SHEET NUMBER

ASP-101



D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

DECKER PROPERTIES, INC.

**CATALINA CROSSING
UDC
SUBMITTAL**

DATE OF ISSUANCE 18 MAY 2016

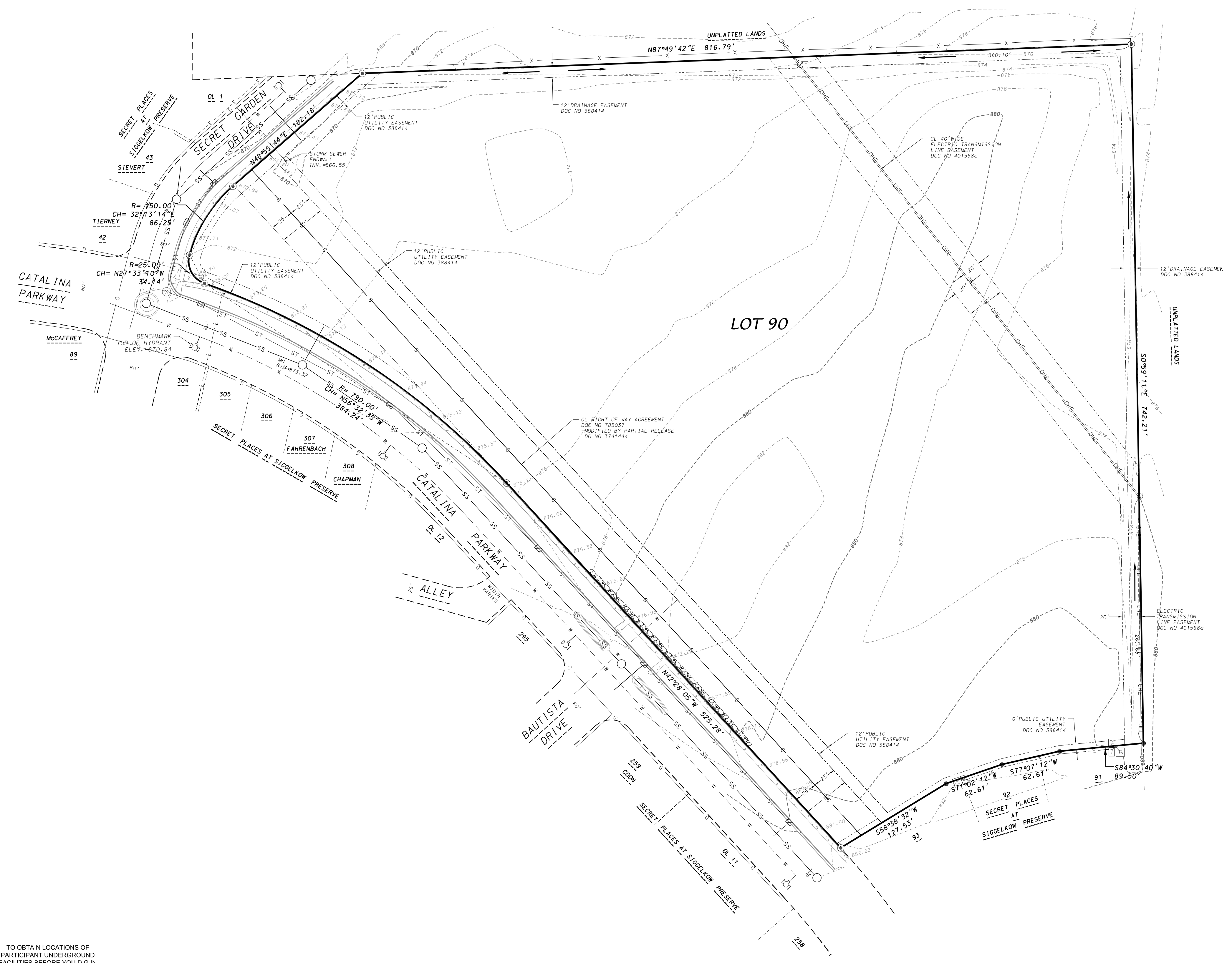
Mark	Revision Schedule	Date
	Description	

SHEET TITLE
**EXISTING
CONDITIONS**

SHEET NUMBER
C100

LEGEND

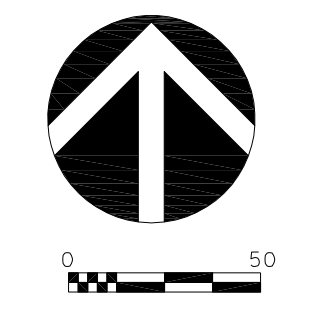
- FOUND 1-1/4" IRON REBAR
- FOUND 3/4" IRON REBAR
- UNDERGROUND ELECTRIC
- SANITARY SEWER
- WATER MAIN
- GAS MAIN
- OVERHEAD ELECTRIC
- STORM SEWER
- ELECTRIC TRANSFORMER
- TELEPHONE PEDESTAL
- MANHOLE
- CATCH BASIN/INLET
- POWER POLE
- HYDRANT
- CONCRETE
- BOULDER RETAINING WALL
- CONC. CURB
- DRAINAGE DIRECTION (SEE NOTE 9)
- EXISTING CONTOUR



TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

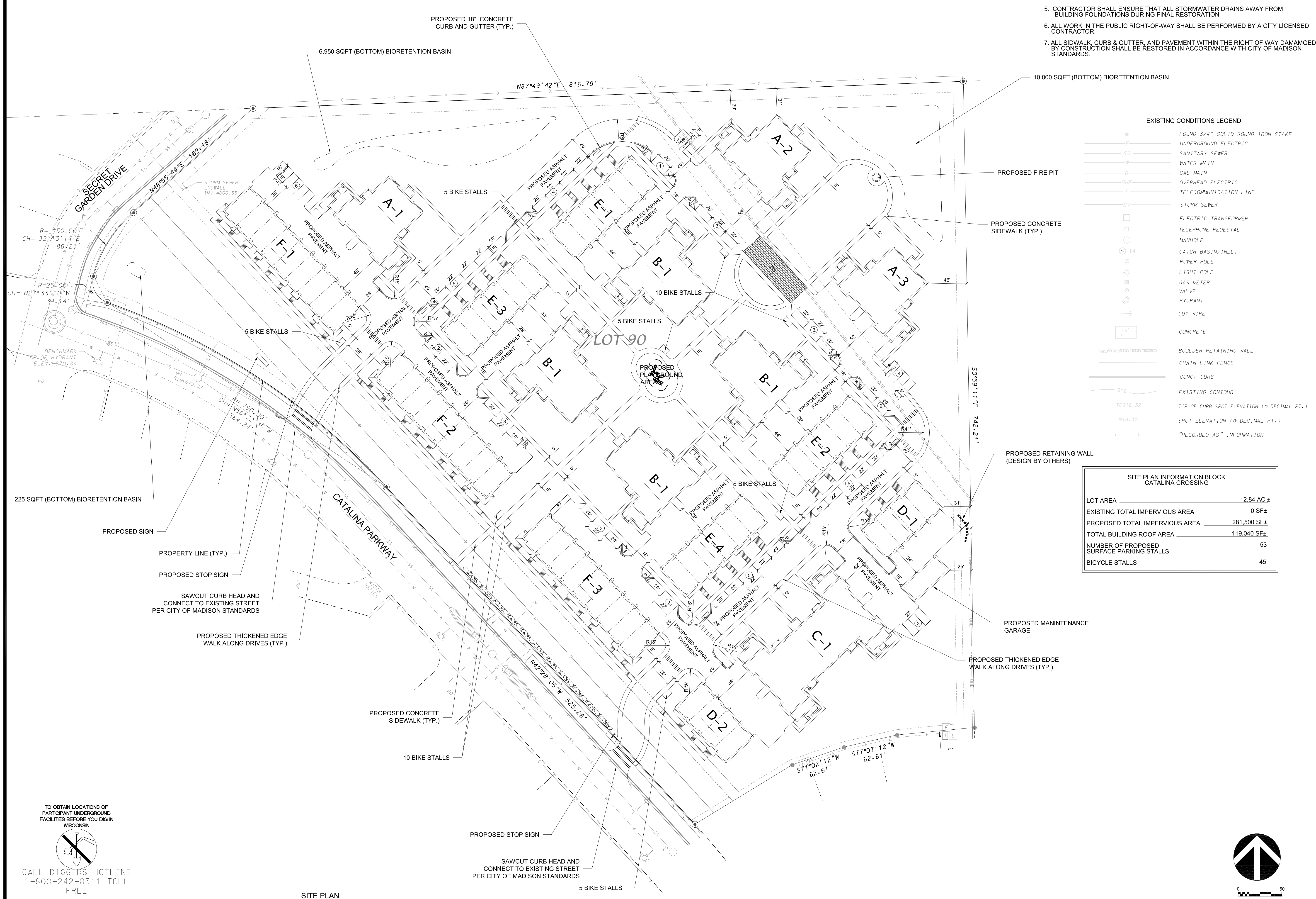
CALL DIGGERS HOTLINE 1-800-242-8511 TOLL FREE

EXISTING CONDITONS



Revision Schedule		
Mark	Description	Date

- GENERAL NOTES
1. ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS
 2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
 3. BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY
 4. IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION
 5. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION
 6. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
 7. ALL SIDEWALK, CURB & GUTTER, AND PAVEMENT WITHIN THE RIGHT OF WAY DAMMAGED BY CONSTRUCTION SHALL BE RESTORED IN ACCORDANCE WITH CITY OF MADISON STANDARDS.



EXISTING CONDITIONS LEGEND

	FOUND 3/4" SOLID ROUND IRON STAKE
	UNDERGROUND ELECTRIC
	SANITARY SEWER
	WATER MAIN
	GAS MAIN
	OVERHEAD ELECTRIC
	TELECOMMUNICATION LINE
	STORM SEWER
	ELECTRIC TRANSFORMER
	TELEPHONE PEDESTAL
	MANHOLE
	CATCH BASIN/INLET
	POWER POLE
	LIGHT POLE
	GAS METER
	VALVE
	HYDRANT
	GUY WIRE
	CONCRETE
	BOULDER RETAINING WALL
	CHAIN-LINK FENCE
	CONC. CURB
	EXISTING CONTOUR
	TOP OF CURB SPOT ELEVATION (@ DECIMAL PT.)
	SPOT ELEVATION (@ DECIMAL PT.)
	"RECORDED AS" INFORMATION

SITE PLAN INFORMATION BLOCK
CATALINA CROSSING

LOT AREA	12.84 AC ±
EXISTING TOTAL IMPERVIOUS AREA	0 SF ±
PROPOSED TOTAL IMPERVIOUS AREA	281,500 SF ±
TOTAL BUILDING ROOF AREA	119,040 SF ±
NUMBER OF PROPOSED SURFACE PARKING STALLS	53
BICYCLE STALLS	45

TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511 TOLL FREE

SITE PLAN

LEGEND

- PROPOSED CONTOUR
- EXISTING CONTOUR
- SPOT ELEVATION
EP - EDGE OF PAVEMENT
HP - HIGH POINT
- LIMITS OF DISTURBANCE
- FLOW ARROW
- SILT FENCE/SILT SOCK
- RIPRAP PAD
- PROPOSED RETAINING WALL
(DESIGN BY OTHERS)



JLA PROJECT NUMBER: 14-1103



DECKER PROPERTIES, INC.

CATALINA CROSSING UDC SUBMITTAL

DATE OF ISSUANCE 18 MAY 2016

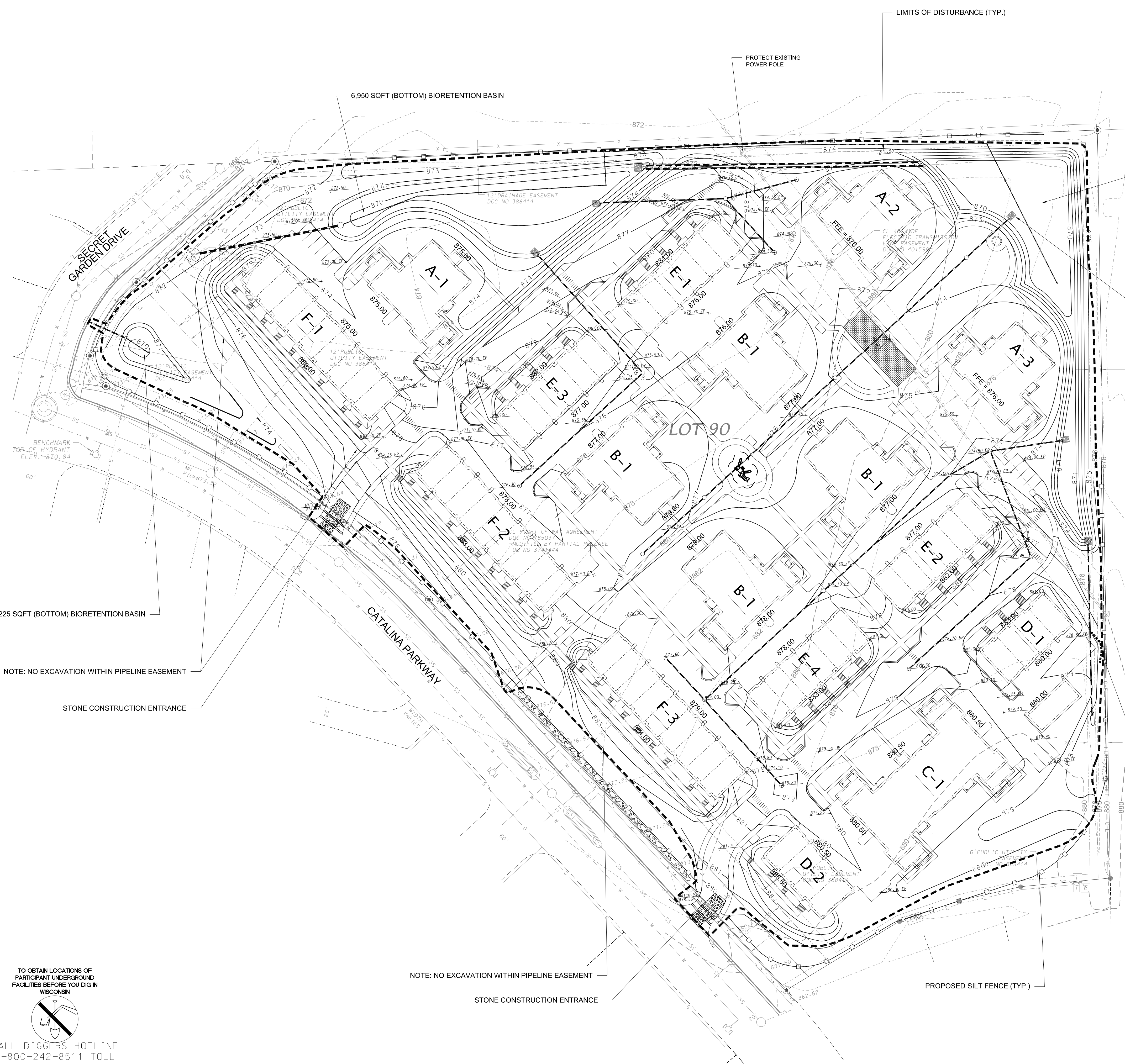
Revision Schedule		
Mark	Description	Date

SHEET TITLE

GRADING AND EROSION CONTROL PLAN

SHEET NUMBER

C102

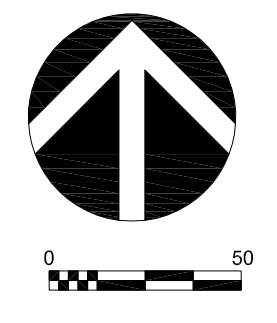


- GENERAL NOTES
1. ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS
 2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
 3. BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY
 4. IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION
 5. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION

- GRADING AND EROSION CONTROL NOTES:
1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DNR TECHNICAL STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
 2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
 3. EROSION CONTROL MEASURES INDICATED ON THE PLANS SHALL BE CONSIDERED MINIMUMS. IF DETERMINED NECESSARY DURING CONSTRUCTION ADDITIONAL MEASURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM LEAVING THE SITE.
 4. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
 5. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
 6. CONTRACTOR SHALL MAINTAIN RECORDS OF EROSION CONTROL INSPECTIONS
 7. NO SITE GRADING OUTSIDE OF THE LIMITS OF DISTURBANCE
 8. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER
 9. INSTALL INLET PROTECTION IN ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM DISTURBED AREAS; INCLUDING PUBLIC STREETS.
 10. CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1
 11. SLOPES EXCEEDING 4:1 SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND ALL DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING.
 12. ALL INCIDENTAL MUD TRACKING OFF-SITE ONTO ADJACENT PUBLIC THOROUGHFARES SHALL BE CLEANED UP AND REMOVED BY THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS.
 13. ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 DAYS SHALL BE STABILIZED WITH TEMPORARY STABILIZATION METHODS SUCH AS TEMPORARY SEEDING, SOIL TREATMENT, EROSION MATTING, OR MULCH
 14. PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
 15. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
 16. AT A MINIMUM ALL DISTURBED AREAS SHALL RECEIVE A 4" OF TOPSOIL FERTILIZER, SEED AND MULCH. SEED MIXTURE SHALL BE PER THE LANDSCAPE PLAN OR AT A MINIMUM WISCONSIN DOT SEED MIX #40 OR EQUIVALENT APPLIED AT A RATE OF 5 POUNDS PER 1000 SQFT ON ALL DISTURBED AREAS. ANNUAL RYEGRASS AT A RATE OF 1.5 POUNDS PER 1000 SQFT SHALL BE ADDED TO THE MIXTURE. FERTILIZER SHALL BE PLACED PER A SOIL TEST. THE BIORETENTION BASINS SHALL BE PLANTED PER THE LANDSCAPE PLAN WITH PLANTS TOLERANT OF FLUCTUATING WATER CONDITIONS.
 17. DEWATERING, IF APPLICABLE, SHALL BE CONDUCTED PER WDNR STORM WATER MANAGEMENT TECHNICAL STANDARD 1061.

PROPOSED RETAINING WALL (DESIGN BY OTHERS)

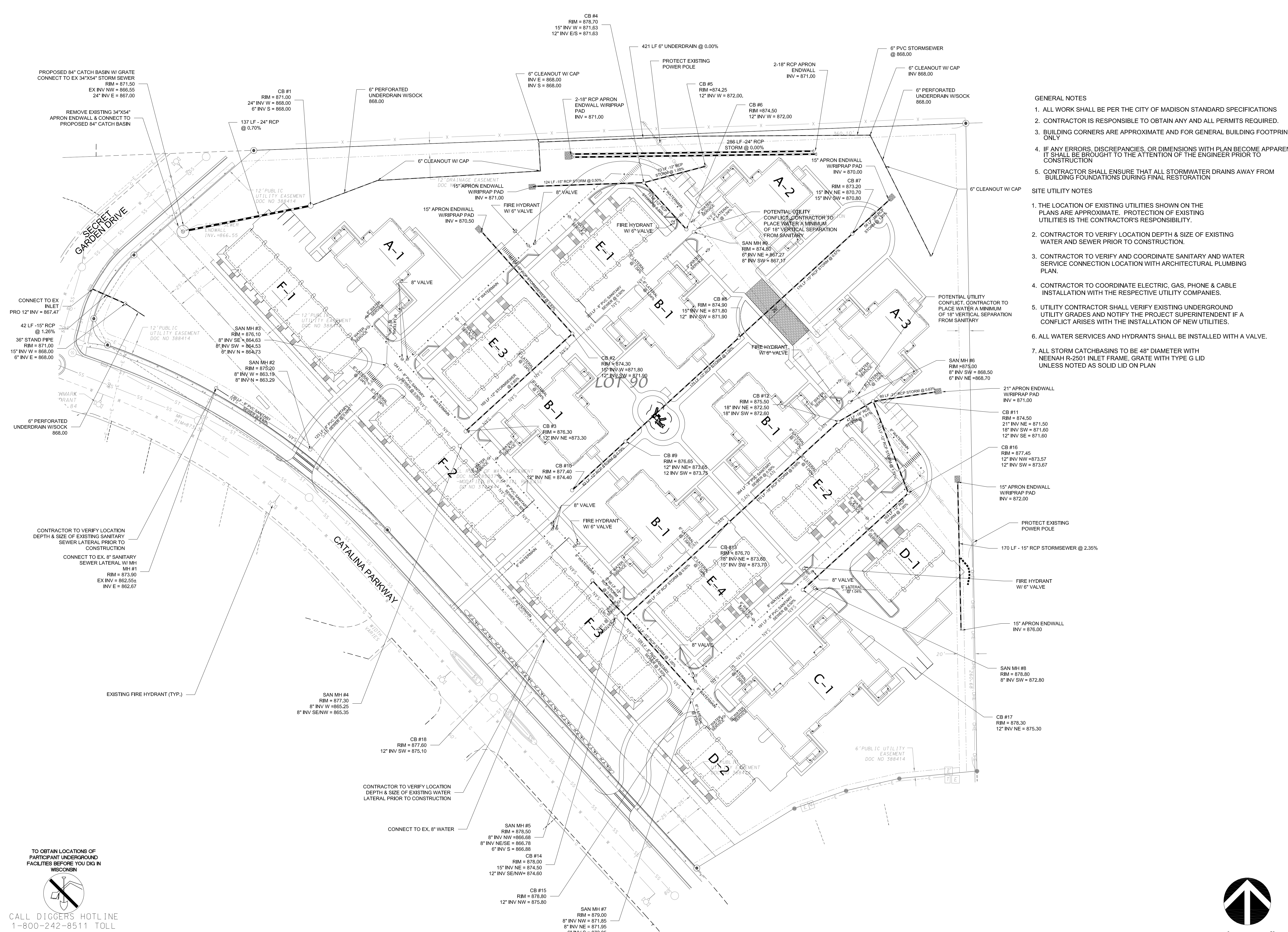
LIMITS OF DISTURBANCE = 528,250 SQFT



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GRADING AND EROSION CONTROL PLAN

Revision Schedule		
Mark	Description	Date

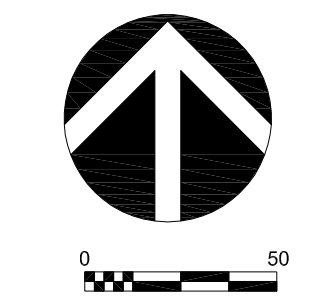


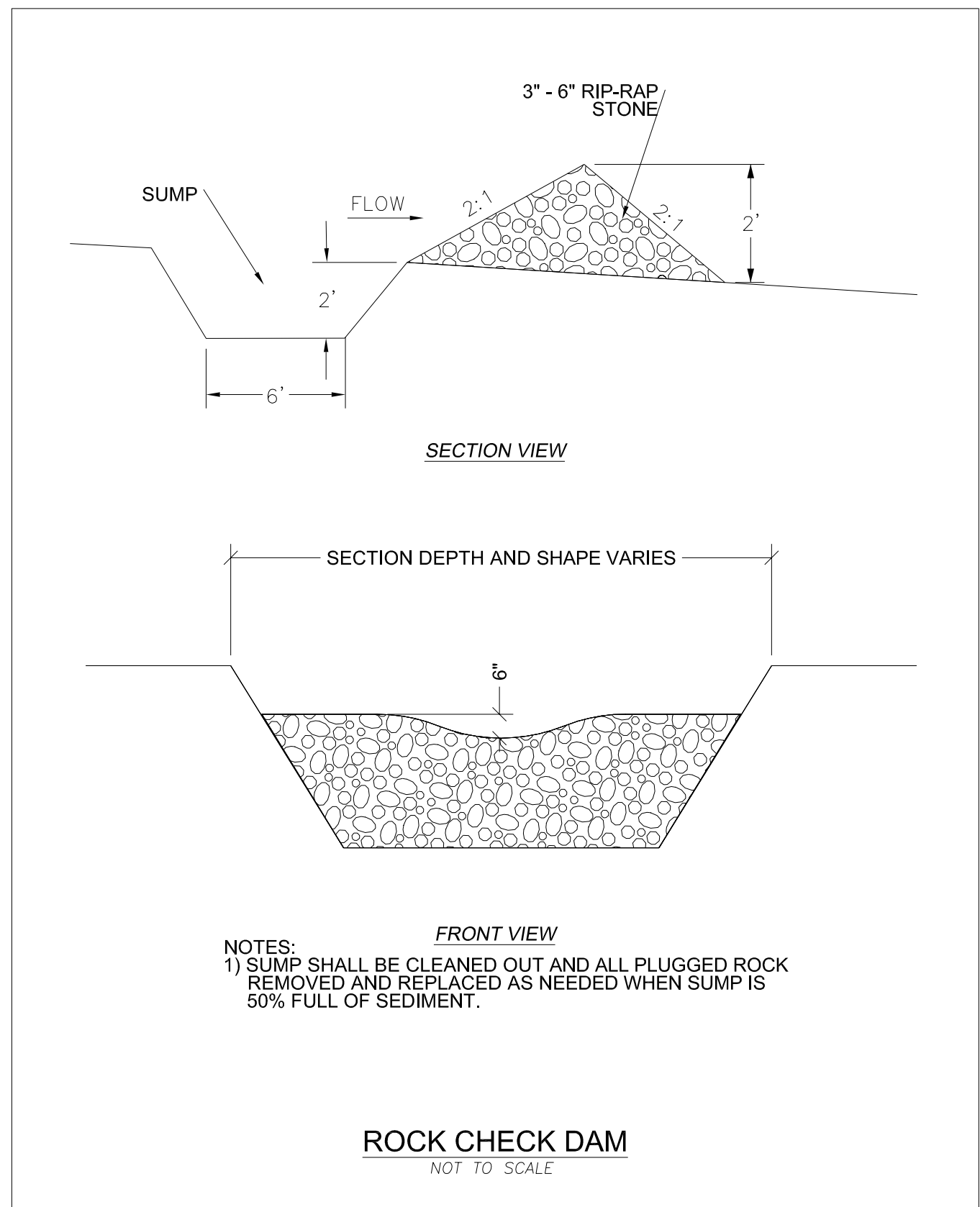
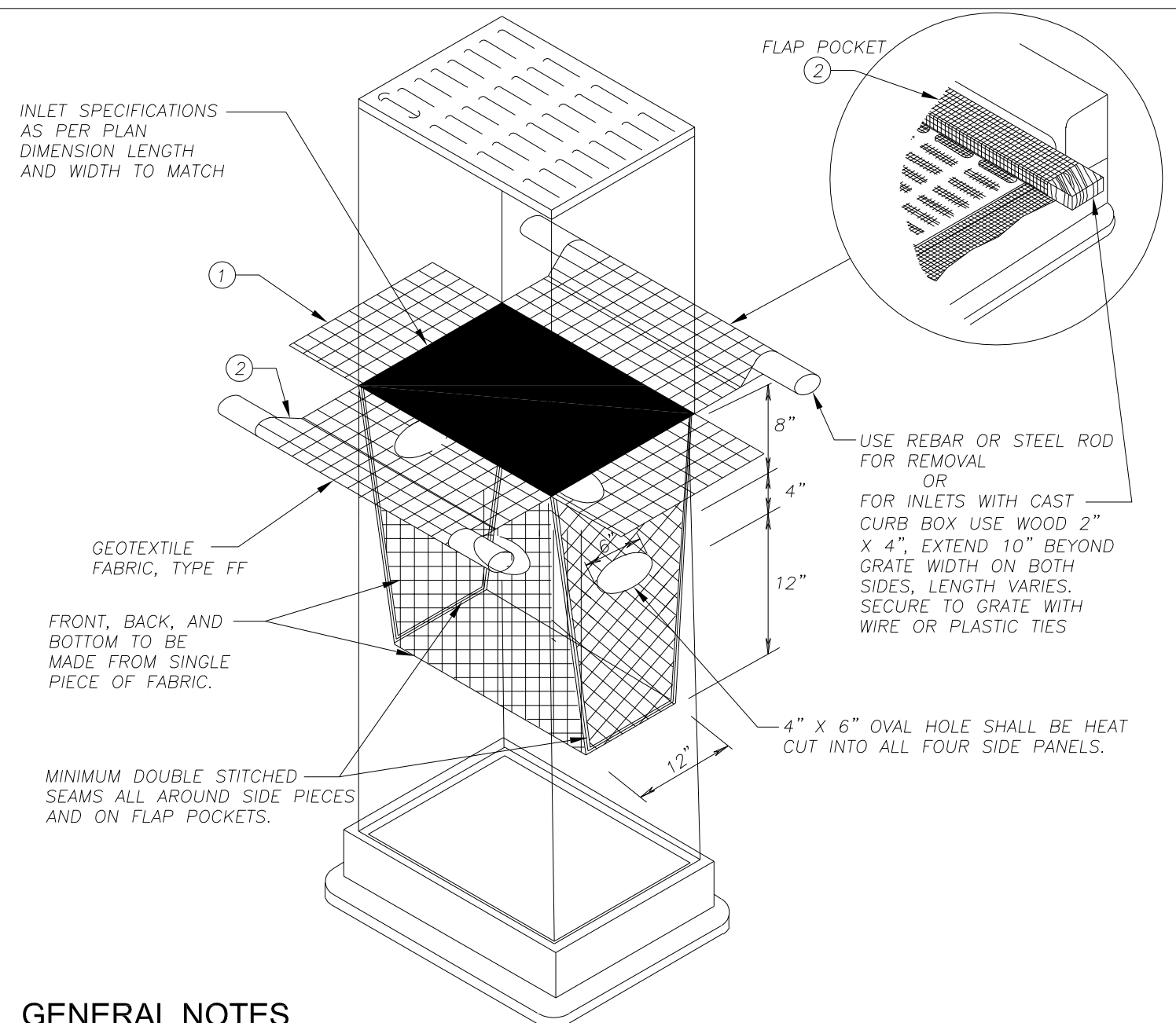
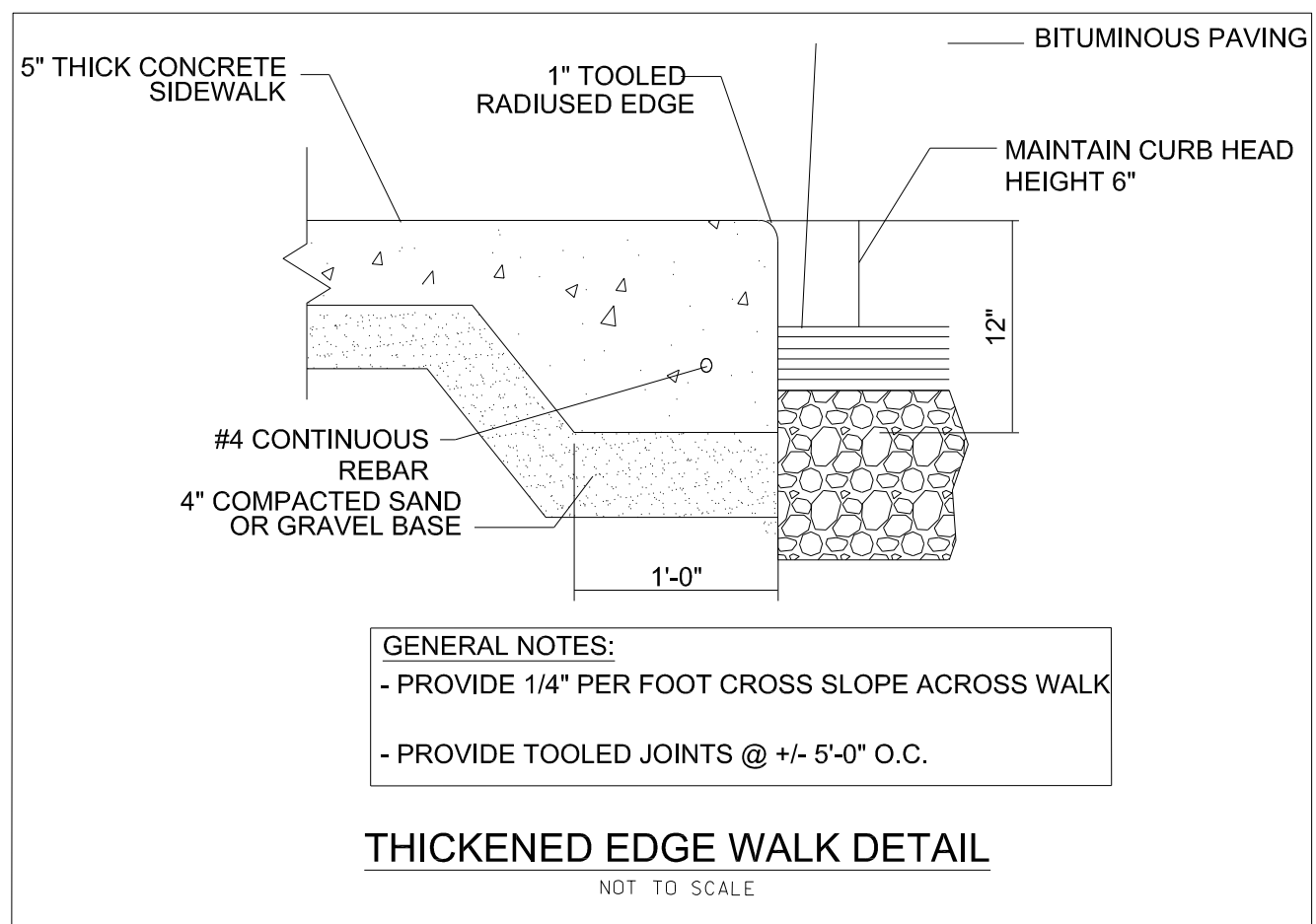
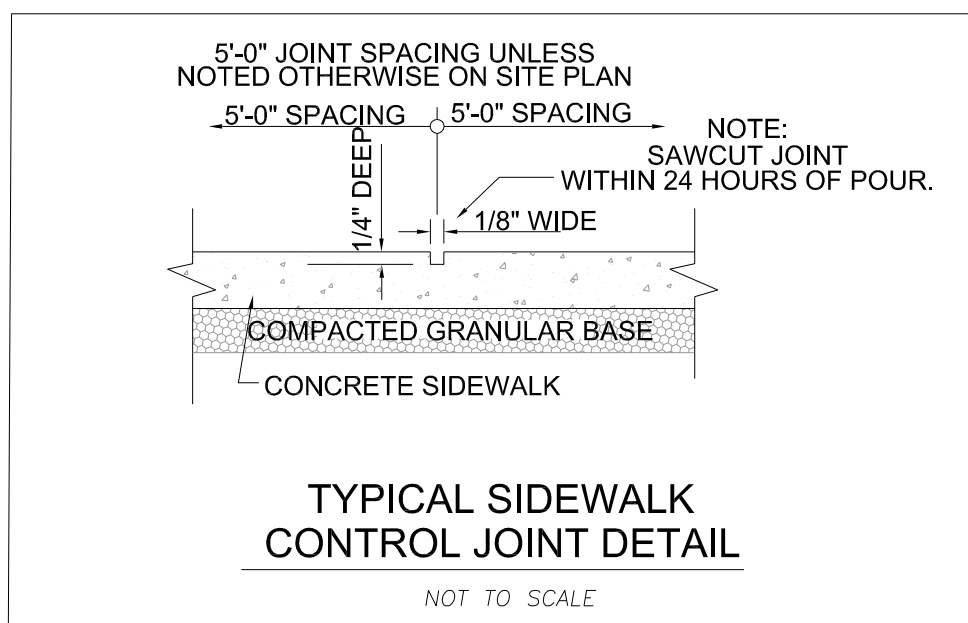
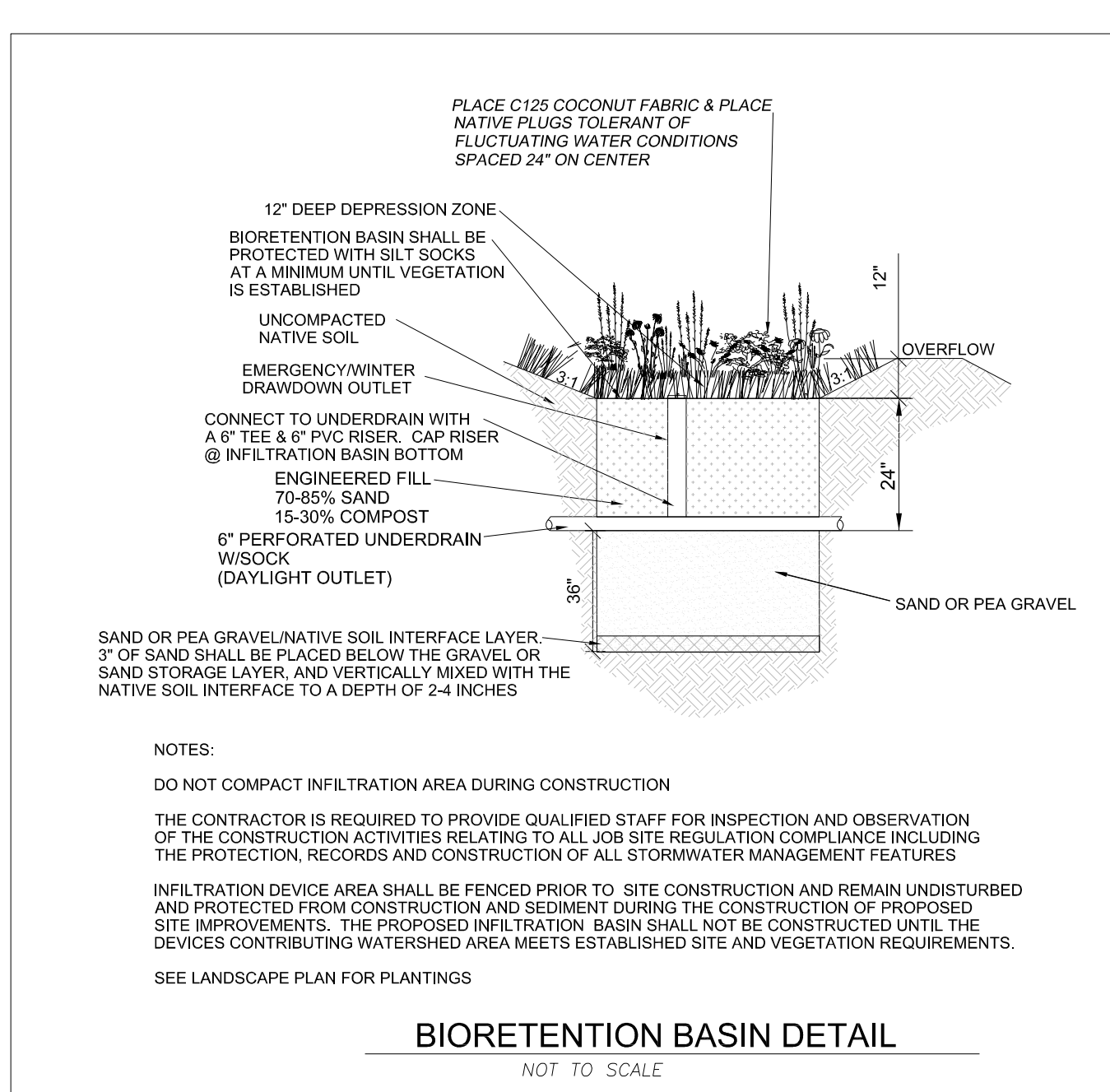
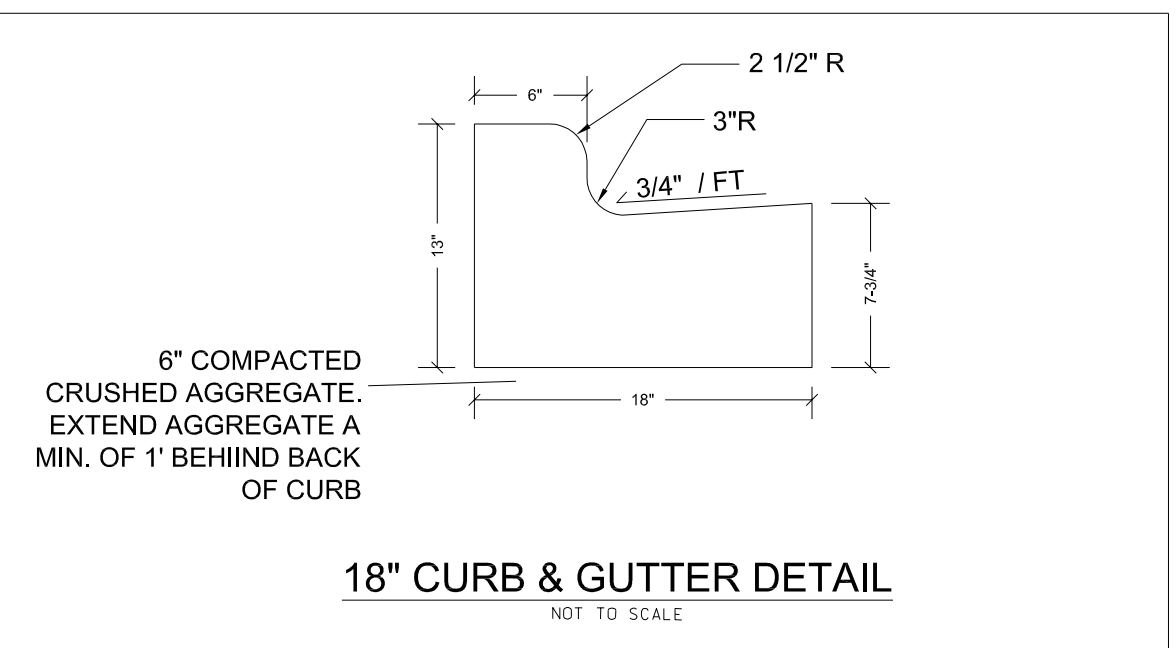
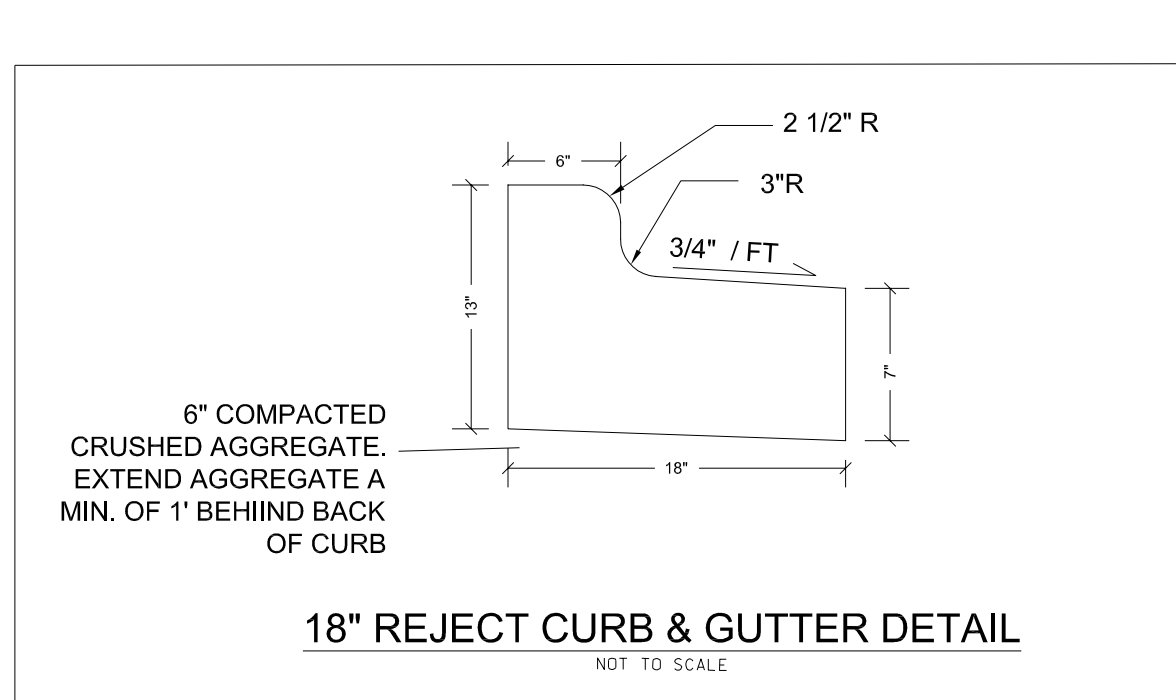
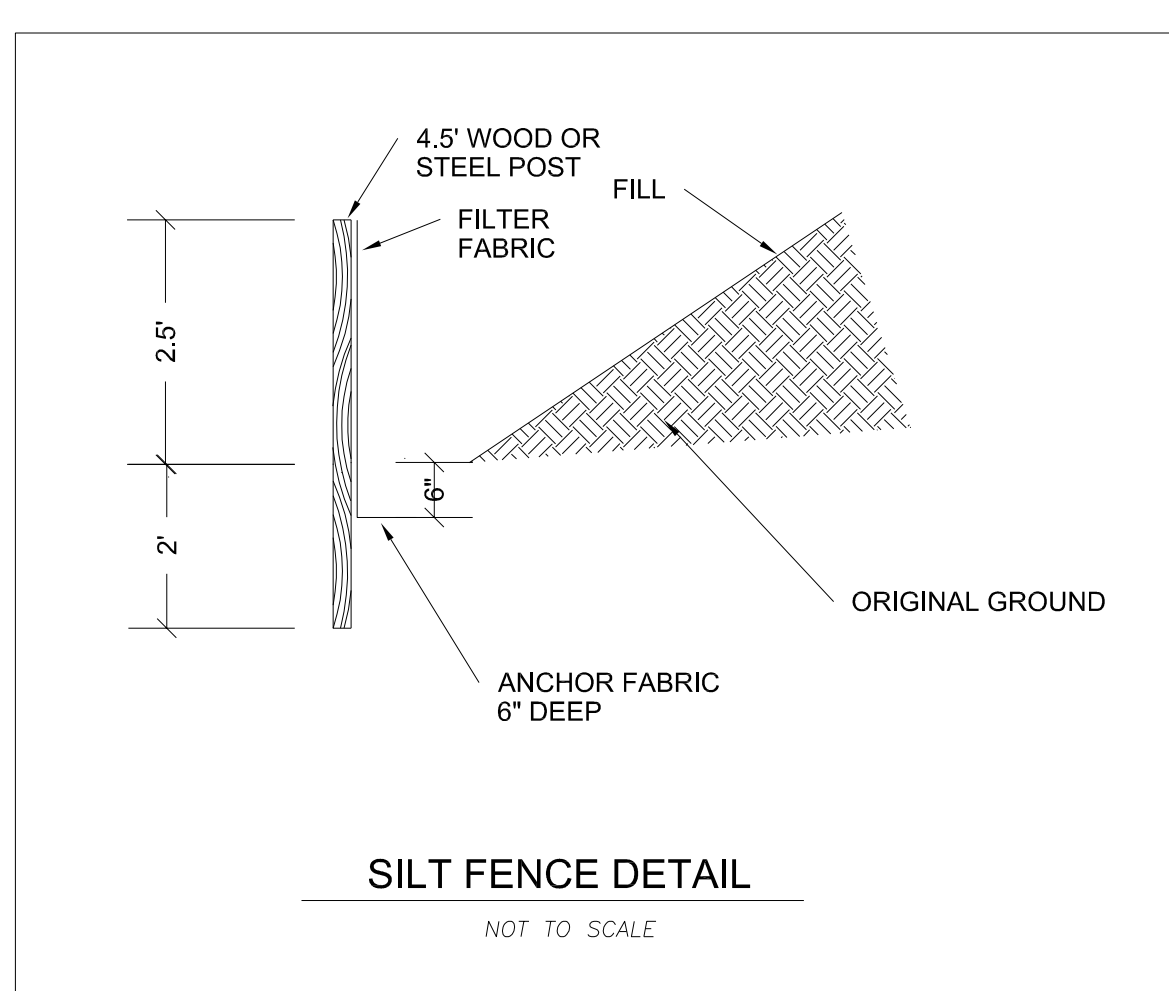
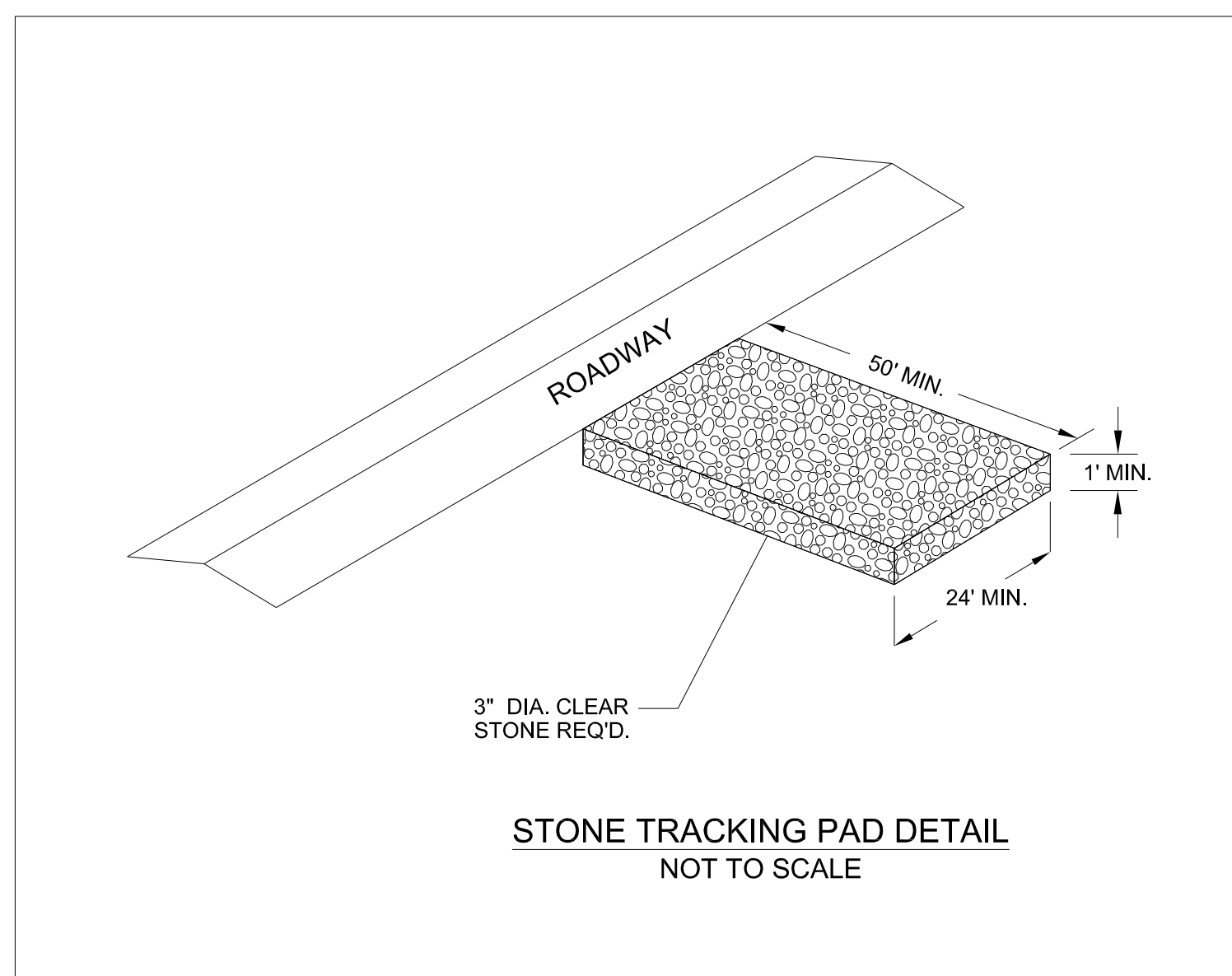
- GENERAL NOTES**
- ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS
 - CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
 - BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY
 - IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION
 - CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION
- SITE UTILITY NOTES**
- THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE. PROTECTION OF EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY.
 - CONTRACTOR TO VERIFY LOCATION DEPTH & SIZE OF EXISTING WATER AND SEWER PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO VERIFY AND COORDINATE SANITARY AND WATER SERVICE CONNECTION LOCATION WITH ARCHITECTURAL PLUMBING PLAN.
 - CONTRACTOR TO COORDINATE ELECTRIC, GAS, PHONE & CABLE INSTALLATION WITH THE RESPECTIVE UTILITY COMPANIES.
 - UTILITY CONTRACTOR SHALL VERIFY EXISTING UNDERGROUND UTILITY GRADES AND NOTIFY THE PROJECT SUPERINTENDENT IF A CONFLICT ARISES WITH THE INSTALLATION OF NEW UTILITIES.
 - ALL WATER SERVICES AND HYDRANTS SHALL BE INSTALLED WITH A VALVE.
 - ALL STORM CATCHBASINS TO BE 48" DIAMETER WITH NEENAH R-2501 INLET FRAME, GRATE WITH TYPE G LID UNLESS NOTED AS SOLID LID ON PLAN

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UTILITY PLAN

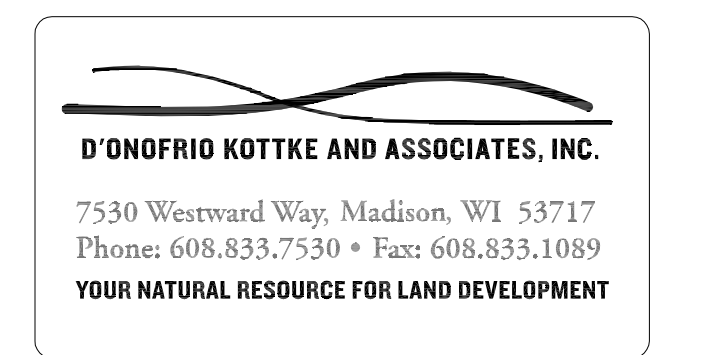
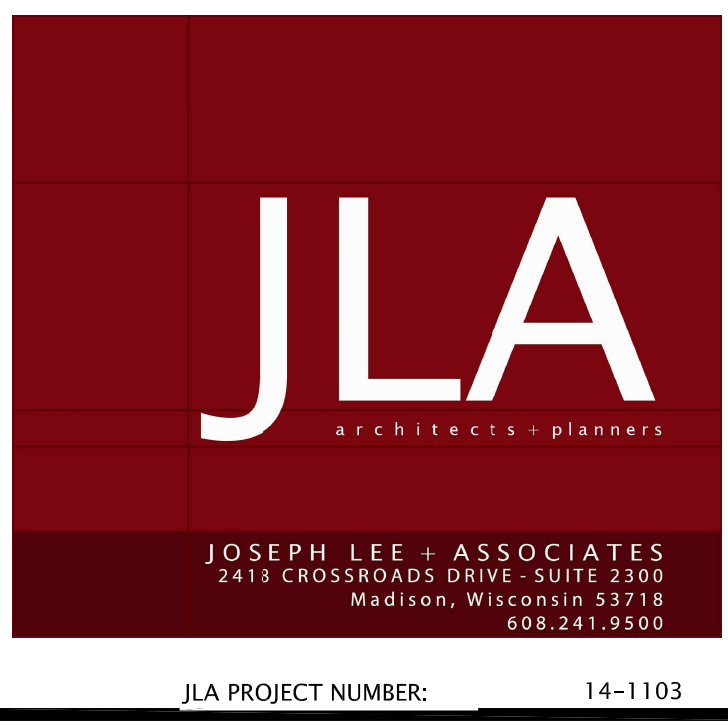




GENERAL NOTES
INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.
MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

① FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
② FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

INSTALLATION NOTES
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.



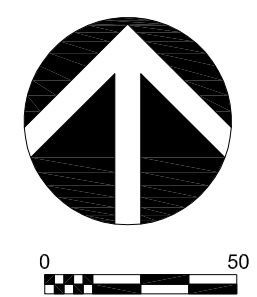
DECKER PROPERTIES, INC.

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DATE OF ISSUANCE		18 MAY 2016
Revision Schedule		
Mark	Description	Date

SHEET TITLE
DETAIL SHEET

SHEET NUMBER
C104



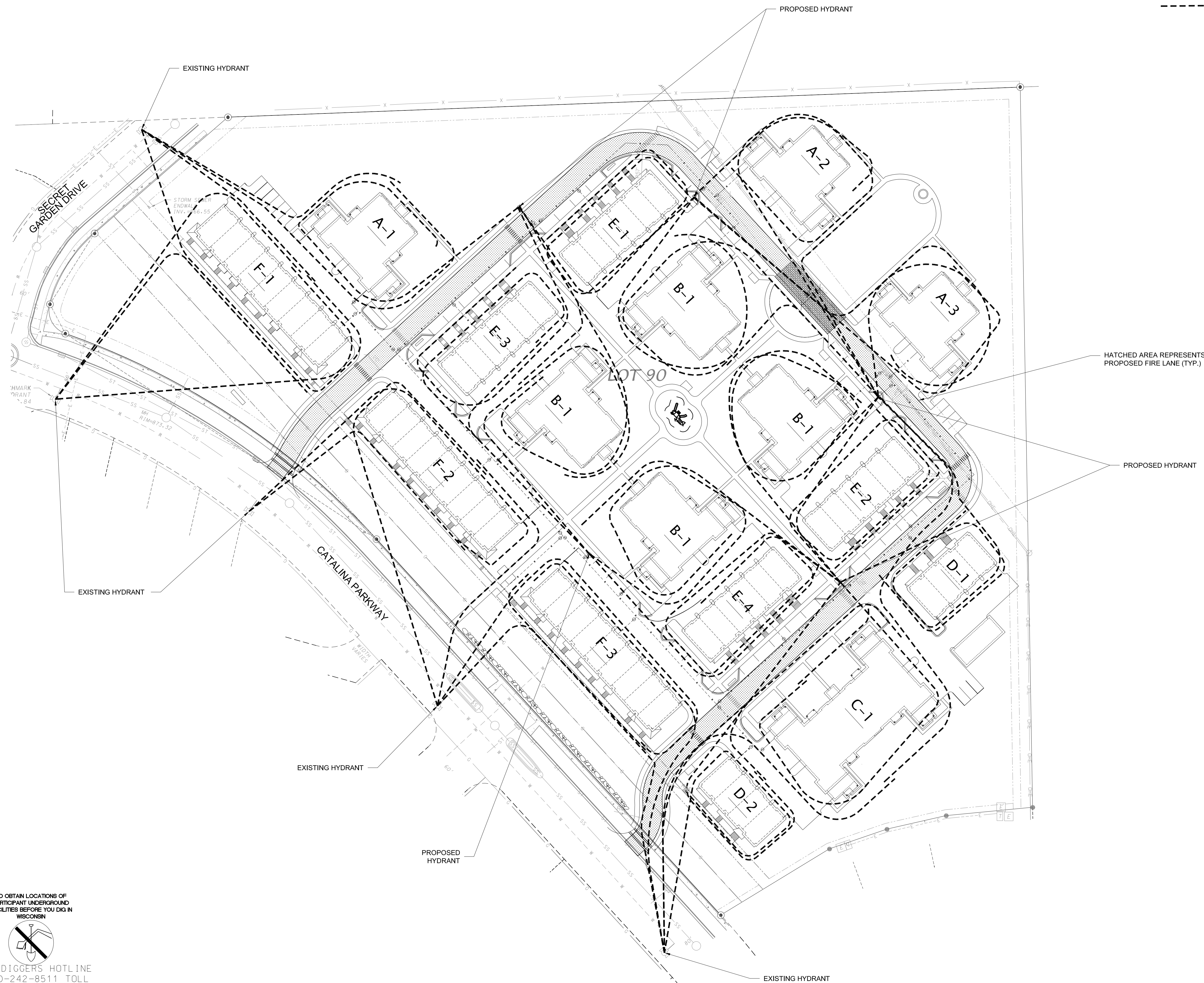
LEGEND



FIRE LANE ACCESS (20' WIDE LANE AT ALL POINTS & ALL INSIDE TURNING RADII ARE 28' AS REQUIRED)



HOSE LAY (ALL HOSE LAYS SHOWN ARE 500' OR LESS) (2 HYDRANTS WITHIN 500' OF ALL SIDES OF THE BUILDING)



HATCHED AREA REPRESENTS PROPOSED FIRE LANE (TYP.)

PROPOSED HYDRANT

JLA
architects + planners

JOSEPH LEE + ASSOCIATES
2411 CROSSROADS DRIVE SUITE 2300
MADISON, WISCONSIN 53718
608.241.9500

JLA PROJECT NUMBER: 14-1103

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.

7530 Westward Way, Madison, WI 53717
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SHEET TITLE

FIRE PLAN

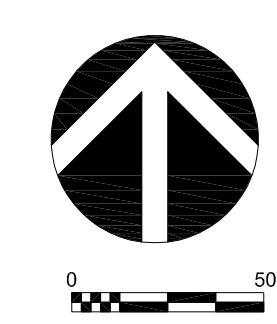
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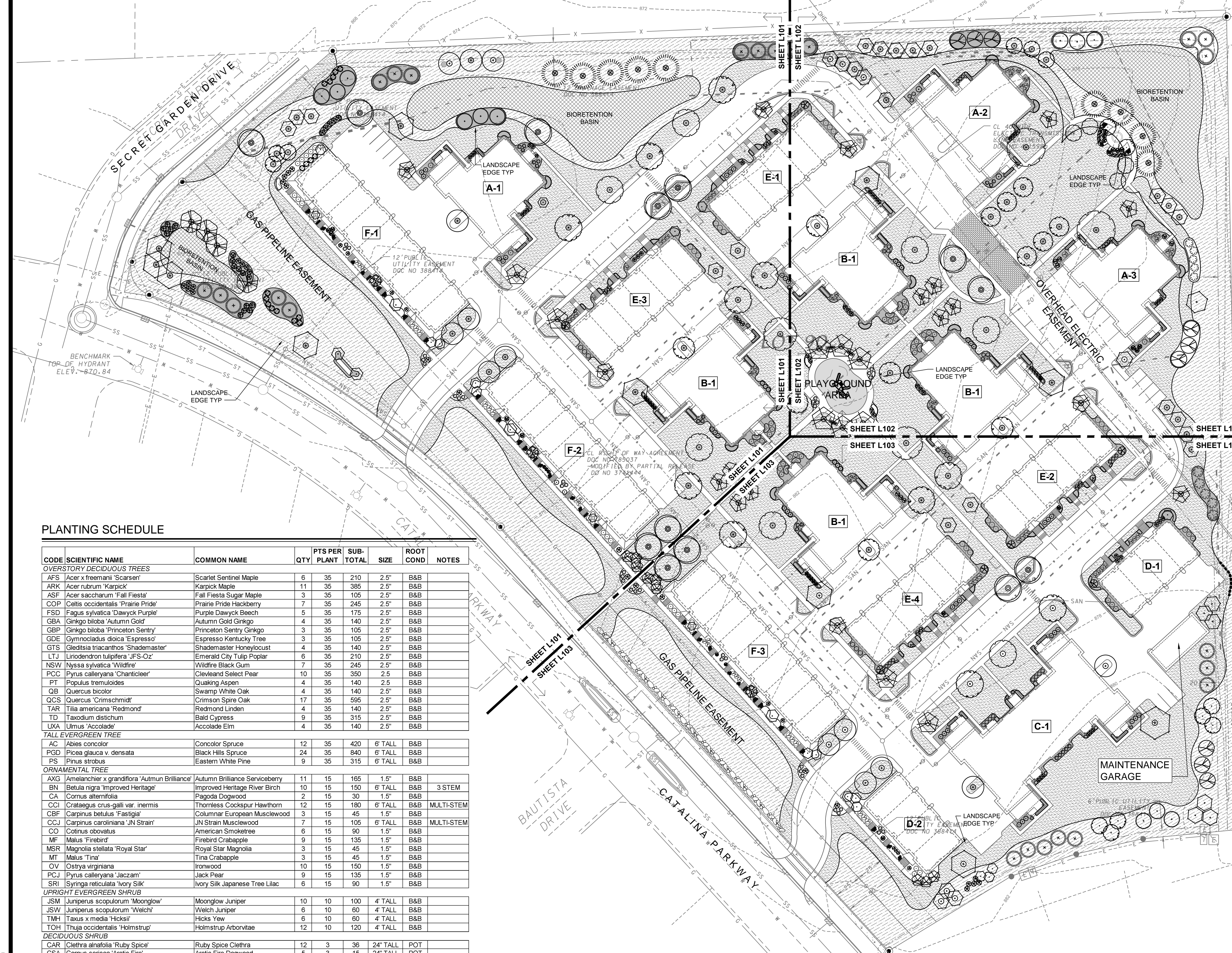
C105

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FIRE PLAN





LANDSCAPE REQUIREMENTS SUMMARY

- BUILDING TYPE A - (3)**
AREA = 5,550 SF (16,650 SF)
- BUILDING TYPE B - (4)**
AREA = 6,146 SF (24,584 SF)
- BUILDING TYPE C - (1)**
AREA = 10,995 SF (10,995 SF)
- BUILDING TYPE D - (2)**
AREA = 3,425 SF (6,850 SF)
- BUILDING TYPE E - (4)**
AREA = 5,128 SF (20,512 SF)
- BUILDING TYPE F - (3)**
AREA = 7,681 SF (23,043 SF)
- MAINTENANCE GARAGE**
AREA = 1,000 SF
- TOTAL BUILDING FOOTPRINT**
AREA = 103,634 SF
- DEVELOPED AREA REQUIREMENT:**
GROSS DEVELOPED AREA = 366,611 SQ FT
BUILDING FOOTPRINTS = 103,634 SQ FT
NET DEVELOPED AREA = 262,977 SQ FT (6.04 ACRE)
- 5 POINTS / 300 SF = 3,630 POINTS (FOR FIRST 5 ACRE)
1 POINT / 100 SF = 452 POINTS (FOR DEVELOPED AREA OVER 5 ACRE)
- TOTAL POINTS REQUIRED = 4,082 POINTS**
POINTS PROVIDED = 8,886 POINTS

- STREET FRONTAGE REQUIREMENT:**
1 OVERSTORY TREE OR 2 EVERGREEN / ORNAMENTAL & 5 SHRUB PER 30 LF
- CATALINA PARKWAY FRONTAGE = 935 FT**
PLANTS REQUIRED = 31 OVERSTORY TREES OR
62 EVERGREEN / ORNAMENTAL TREES
156 SHRUBS
PLANTS PROVIDED = 16 OVERSTORY TREES
30 EVERGREEN / ORNAMENTAL TREES
156 SHRUBS

- SECRET GARDEN DRIVE FRONTAGE = 115 FT**
PLANTS REQUIRED = 4 OVERSTORY TREES OR
8 EVERGREEN / ORNAMENTAL TREES
19 SHRUBS
PLANTS PROVIDED = 2 OVERSTORY TREES
4 EVERGREEN / ORNAMENTAL TREES
21 SHRUBS

- PARKING LOT LANDSCAPING REQUIREMENT:**
1 OVERSTORY TREE OR 2 ORNAMENTAL TREES PER 160 SQ FT OF REQUIRED AREA
- TOTAL PARKING LOT AREA = 116,940 SQ FT**
REQUIRED LANDSCAPED AREA = 9,355 SQ FT (8% TOTAL PARKING LOT AREA)
- LANDSCAPED AREA PROVIDED = 16,130 SQ FT**
- OVERSTORY TREES REQUIRED = 58 OVERSTORY TREES
ORNAMENTAL TREES ALLOWED = 29 ORNAMENTAL TREES MAX
- OVERSTORY TREES PROVIDED = 44 OVERSTORY TREES
ORNAMENTAL TREES PROVIDED = 28 ORNAMENTAL TREES

SITE LANDSCAPE PLAN - GENERAL NOTES

1. CONTACT DIGGER'S HOTLINE 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL THE PRIVATE UTILITIES PRIOR TO THE START OF WORK.
3. ALL LANDSCAPE BEDS SHALL CONTAIN A 3" DEPTH OF SHREDDED HARDWOOD MULCH CONTAINED BY LANDSCAPE EDGING.
4. LANDSCAPE EDGING SHALL BE 3/16" x 4" ALUMINUM EDGING.
5. ALL TREES IN TURF AREAS SHALL HAVE A 5" DIAMETER CIRCLE OF 3" DEPTH SHREDDED HARDWOOD BARK MULCH CONTAINED BY LANDSCAPE EDGING.
6. ALL GENERAL LANDSCAPE AREAS BE SEEDED WITH LAWN SEED PER PER THE PROJECT MANUAL.
7. ALL GENERAL LANDSCAPE AREAS SHALL HAVE A MINIMUM 6" COMPACTED DEPTH OF TOPSOIL.
8. LAWN AREAS SHALL BE SEEDED WITH MADISON PARKS SEED MIX AS MANUFACTURED BY LA CROSSE SEED, LLC. PER MANUFACTURER'S SPECIFICATIONS.
9. BIORETENTION BASINS SHALL BE PLANTED WITH RAINWATER RENEWAL GARDEN PLANT MIX AS MANUFACTURED BY AGRECOL NATIVE NURSERY. PLANTS SHALL BE FURNISHED IN 2" PLUGS AND SHALL BE PLANTED ON 9"-12" CENTERS OR PER MANUFACTURER'S SPECIFICATIONS.
10. ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON ZONING ORDINANCE.

PLANTING SCHEDULE

CODE	SCIENTIFIC NAME	COMMON NAME	QTY	PTS PER PLANT	SUB-TOTAL	SIZE	ROOT COND	NOTES
OVERSTORY DECIDUOUS TREES								
AFS	Acer x freemanii 'Scarsen'	Scarlet Sentinel Maple	6	35	210	2.5"	B&B	
ARK	Acer rubrum 'Karpick'	Karpick Maple	11	35	385	2.5"	B&B	
ASF	Acer saccharum 'Fall Fiesta'	Fall Fiesta Sugar Maple	3	35	105	2.5"	B&B	
COF	Celtis occidentalis 'Prairie Pride'	Prairie Pride Hackberry	7	35	245	2.5"	B&B	
FSD	Fagus sylvatica 'Dawcyk Purple'	Purple Dawcyk Beech	5	35	175	2.5"	B&B	
GBA	Ginkgo biloba 'Autumn Gold'	Autumn Gold Ginkgo	4	35	140	2.5"	B&B	
GBP	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	3	35	105	2.5"	B&B	
GDE	Gymnocladia dioica 'Espresso'	Espresso Kentucky Tree	3	35	105	2.5"	B&B	
GTS	Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust	4	35	140	2.5"	B&B	
LTJ	Liriodendron tulipifera 'JFS-Oz'	Emerald City Tulip Poplar	6	35	210	2.5"	B&B	
NSW	Nyssa sylvatica 'Wildfire'	Wildfire Black Gum	7	35	245	2.5"	B&B	
PCC	Pyrus calleryana 'Chanticleer'	Cleveland Select Pear	10	35	350	2.5"	B&B	
PT	Populus tremuloides	Quaking Aspen	4	35	140	2.5"	B&B	
QB	Quercus bicolor	Swamp White Oak	4	35	140	2.5"	B&B	
QCS	Quercus 'Crimschmidt'	Crimson Spire Oak	17	35	595	2.5"	B&B	
TAR	Tilia americana 'Redmond'	Redmond Linden	4	35	140	2.5"	B&B	
TD	Taxodium distichum	Bald Cypress	9	35	315	2.5"	B&B	
UMA	Ulmus 'Accolade'	Accolade Elm	4	35	140	2.5"	B&B	
TALL EVERGREEN TREE								
AC	Abies concolor	Concolor Spruce	12	35	420	6' TALL	B&B	
PGD	Picea glauca v. densata	Black Hills Spruce	24	35	840	6' TALL	B&B	
PS	Pinus strobus	Eastern White Pine	9	35	315	6' TALL	B&B	
ORNAMENTAL TREE								
AVG	Aster x grandiflora 'Autumn Brilliance'	Autumn Brilliance Starveberry	11	15	165	1.5"	B&B	
BN	Betula nigra 'Improved Heritage'	Improved Heritage River Birch	10	15	150	6' TALL	B&B	3 STEM
CA	Cornus alternifolia	Pagoda Dogwood	2	15	30	1.5"	B&B	
CCJ	Crataegus crus-galli var. inermis	Thornless Cockspur Hawthorn	12	15	180	6' TALL	B&B	MULTI-STEM
CCF	Carpinus betulus 'Fastigia'	Columnar European Musclemwood	3	15	45	1.5"	B&B	
CBJ	Carpinus caroliniana 'JN Strain'	JN Strain Musclemwood	7	15	105	6' TALL	B&B	MULTI-STEM
CO	Cotinus obovatus	American Smoketree	6	15	90	1.5"	B&B	
MF	Malus 'Firebird'	Firebird Crabapple	9	15	135	1.5"	B&B	
MSR	Magnolia stellata 'Royal Star'	Royal Star Magnolia	3	15	45	1.5"	B&B	
MT	Malus 'Tina'	Tina Crabapple	3	15	45	1.5"	B&B	
OV	Ostrya virginiana	Ironwood	10	15	150	1.5"	B&B	
PCJ	Pyrus calleryana 'Jazzam'	Jack Pear	9	15	135	1.5"	B&B	
SRI	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	6	15	90	1.5"	B&B	
UPRIGHT EVERGREEN SHRUB								
JSM	Juniperus scopulorum 'Moonglow'	Moonglow Juniper	10	10	100	4' TALL	B&B	
JSW	Juniperus scopulorum 'Welch'	Welch Juniper	6	10	60	4' TALL	B&B	
TMH	Taxus x media 'Hicksii'	Hicks Yew	6	10	60	4' TALL	B&B	
TOH	Thuja occidentalis 'Holmstrup'	Holmstrup Arborvitae	12	10	120	4' TALL	B&B	
DECIDUOUS SHRUB								
CAR	Clethra alnifolia 'Ruby Spice'	Ruby Spice Clethra	12	3	36	24" TALL	POT	
CSA	Cornus sericea 'Arctic Fire'	Arctic Fire Dogwood	5	3	15	24" TALL	POT	
CSI	Cornus sericea 'Ivory Halo'	Ivory Halo Dogwood	10	3	30	24" TALL	POT	
FCG	Fothergilla gardenii 'Beaver Creek'	Beaver Creek Fothergilla	14	3	42	24" TALL	POT	
FMM	Fothergilla major 'Mt. Airy'	Mt. Airy Fothergilla	6	3	18	24" TALL	POT	
HMA	Hydrangea 'All Summer Beauty'	All Summer Beauty Hydrangea	15	3	45	24" TALL	POT	
HS	Hibiscus syriacus 'Double Purple'	Double Purple Rose of Sharon	4	3	12	24" TALL	POT	TREE FORM
HV	Hymenocallis virginiana	Witchazel	4	3	12	36" TALL	POT	
POD	Physocarpus opulifolius 'Diablo'	Diablo Ninebark	4	3	12	24" TALL	POT	
POG	Physocarpus opulifolius 'Dart's Gold'	Dart's Gold Ninebark	10	3	30	24" TALL	POT	
POL	Physocarpus opulifolius 'Little Devil'	Little Devil Ninebark	3	3	9	24" TALL	POT	
RTB	Rhus typhina 'Bailliger'	Tiger Eyes Sumac	28	3	84	36" TALL	POT	
SFM	Syringa 'Minuet'	Minuet Lilac	32	3	96	36" TALL	POT	
SJA	Spiraea japonica 'Anthony Waterer'	Anthony Waterer Spirea	10	3	30	12" TALL	POT	
SXM	Spiraea 'Magic Carpet'	Magic Carpet Spirea	47	3	141	12" TALL	POT	
VCC	Viburnum carlesii 'Compactum'	Compact Koreanspice Viburnum	19	3	57	24" TALL	POT	
VDR	Viburnum dentatum 'Ralph Senior'	Autumn Jazz Viburnum	5	3	15	24" TALL	POT	
VP	Viburnum prunifolium	Blackhaw Viburnum	3	3	9	36" TALL	POT	
WB	Weigela 'Bokrasopeal'	Sonic Bloom Weigela	6	3	18	12" TALL	POT	
WDX	Weigela 'Dark Horse'	Dark Horse Weigela	14	3	42	12" TALL	POT	
WXM	Weigela 'Minuet'	Minuet Weigela	12	3	36	12" TALL	POT	
EVERGREEN SHRUB								
CPG	Chamaecyparis paifera 'Golden Mop'	Golden Mops Falsecypress	25	4	100	24" TALL	POT	
JCC	Juniperus 'Catalpa Carpet'	Catalpa Carpet Juniper	12	4	48	12" TALL	POT	
JMG	Juniperus x media 'Sea of Gold'	Sea of Gold Juniper	12	4	48	12" TALL	POT	
JSB	Juniperus squamata 'Blue Star'	Blue Star Juniper	6	4	24	12" TALL	POT	
MD	Microbiota discussata	Russian Arborvitae	51	4	204	12" TALL	POT	
PPG	Picea purpura 'Glaucia Globosa'	Dwarf Globe Blue Spruce	13	4	52	24" TALL	POT	
RP	Rhododendron 'JIM'	PJM Rhododendron	8	4	32	24" TALL	POT	
TGJ	Tsuga canadensis 'Jeddelloh'	Jeddelloh Dwarf Hemlock	17	4	68	24" TALL	POT	
TMT	Taxus x media 'Taunton'	Taunton Yew	45	4	180	24" TALL	POT	
PSB	Pinus strobus 'Blue Shag'	Blue Shag Dwarf White Pine	44	4	176	12" TALL	POT	
ORNAMENTAL GRASSES								
OG	Ornamental Grasses	To Be Determined	0	2	0	1 GAL	POT	
			TOTAL:		8886		POINTS	

GROUND COVER LEGEND

- LAWN SEED
- PRAIRIE GARDEN FOR SUNNY SITES WITH MEDIUM TO MOIST SOILS AS MANUFACTURED BY AGRECOL
- BIORETENTION BASIN - RAINWATER RENEWAL GARDEN MIX AS MANUFACTURED BY AGRECOL
- BARK MULCH

JLA
architects + planners

JOSEPH LEE & ASSOCIATES
2418 CROSSROADS DRIVE, SUITE 2300
MADISON, WISCONSIN 53718
608.241.9500

JLA PROJECT NUMBER: 14-1103

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7530 Westward Way, Madison, WI 53717
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YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

DECKER PROPERTIES, INC.

CATALINA CROSSING UDC SUBMITTAL

DATE OF ISSUANCE 18 MAY 2016

Revision Schedule		
Mark	Description	Date

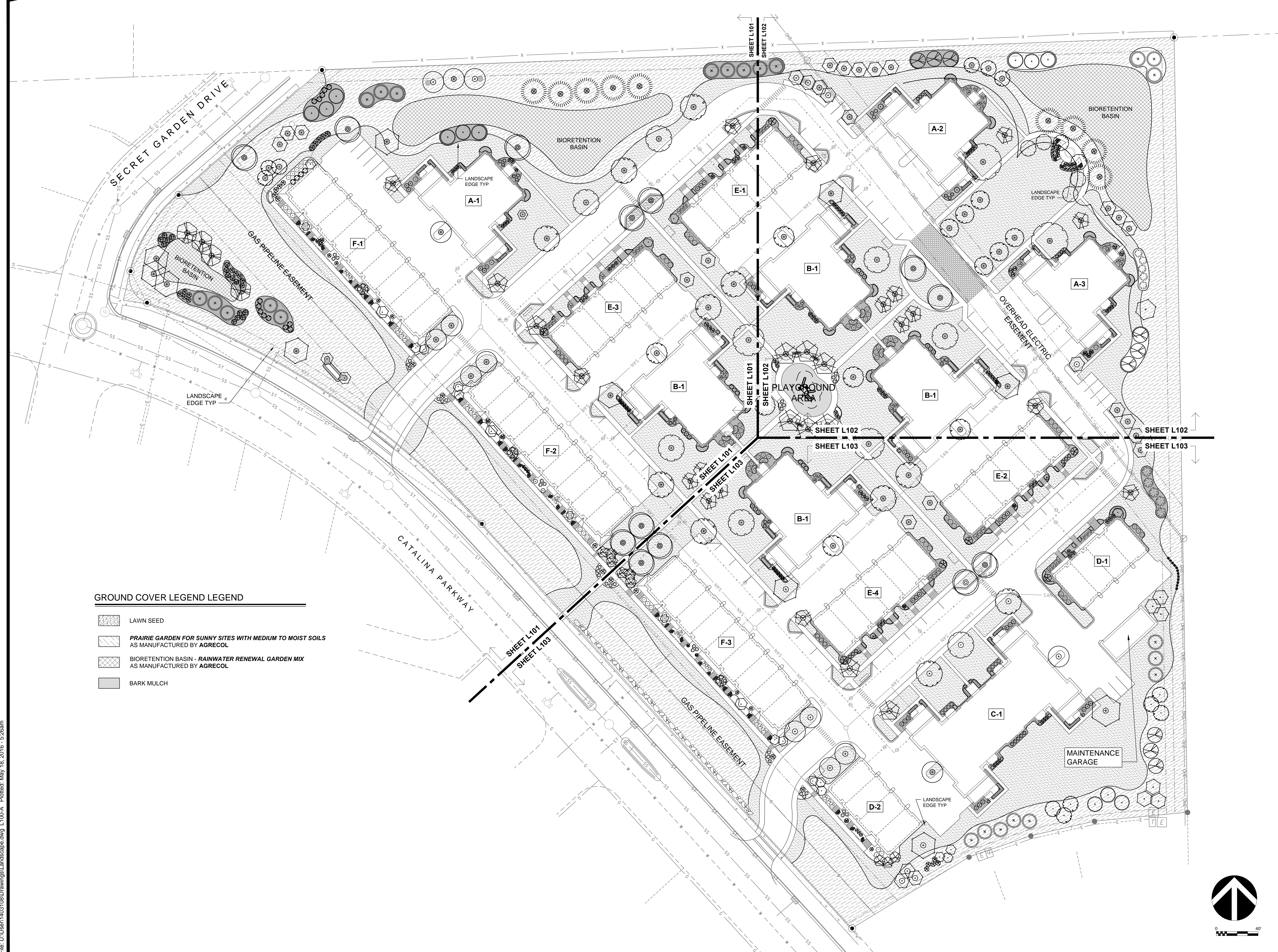
SHEET TITLE

OVERALL LANDSCAPE PLAN

SHEET NUMBER

L100

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GROUND COVER LEGEND

	LAWN SEED
	PRAIRIE GARDEN FOR SUNNY SITES WITH MEDIUM TO MOIST SOILS AS MANUFACTURED BY AGRECOL
	BIORETENTION BASIN - RAINWATER RENEWAL GARDEN MIX AS MANUFACTURED BY AGRECOL
	BARK MULCH

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Revision Schedule	
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FOR REFERENCE ONLY

SHEET TITLE
OVERALL LANDSCAPE PLAN

SHEET NUMBER
L100-A

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SITE LANDSCAPE PLAN - GENERAL NOTES

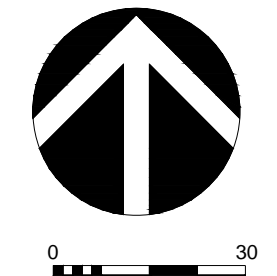
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- ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON ZONING ORDINANCE.

PLANTING SCHEDULE

CODE	SCIENTIFIC NAME	COMMON NAME	QTY	PTS PER PLANT	SUB-TOTAL	SIZE	ROOT COND	NOTES
OVERSTORY DECIDUOUS TREES								
AFS	Acer x freemanii 'Scarsen'	Scarlet Sentinel Maple	6	35	210	2.5"	B&B	
ARK	Acer rubrum 'Karpick'	Karpick Maple	11	35	385	2.5"	B&B	
ASF	Acer saccharum 'Fall Fiesta'	Fall Fiesta Sugar Maple	3	35	105	2.5"	B&B	
COP	Celtis occidentalis 'Prairie Pride'	Prairie Pride Hackberry	7	35	245	2.5"	B&B	
TSO	Pinus sylvatica 'Dawson Purple'	Purple Dawn Red Pine	5	35	175	2.5"	B&B	
GBA	Ginkgo biloba 'Autumn Gold'	Autumn Gold Ginkgo	4	35	140	2.5"	B&B	
GBP	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	3	35	105	2.5"	B&B	
GDE	Gymnocladus dioica 'Espresso'	Espresso Kentucky Tree	3	35	105	2.5"	B&B	
GTS	Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust	4	35	140	2.5"	B&B	
LTJ	Liriodendron tulipifera 'JFS-Oz'	Emerald City Tulip Poplar	6	35	210	2.5"	B&B	
NSW	Nyssa sylvatica 'Wildfire'	Wildfire Black Gum	7	35	245	2.5"	B&B	
PCO	Pinus calleryana 'Chanticleer'	Cleveland Select Pear	10	35	350	2.5"	B&B	
PT	Populus tremuloides	Quaking Aspen	4	35	140	2.5"	B&B	
QB	Quercus bicolor	Swamp White Oak	4	35	140	2.5"	B&B	
QCS	Quercus 'Crimschmidt'	Crimson Spire Oak	17	35	595	2.5"	B&B	
TAR	Tilia americana 'Redmond'	Redmond Linden	4	35	140	2.5"	B&B	
TD	Taxodium distichum	Bald Cypress	9	35	315	2.5"	B&B	
UKA	Ulmus 'Accolade'	Accolade Elm	4	35	140	2.5"	B&B	
TALL EVERGREEN TREE								
AC	Abies concolor	Concolor Spruce	12	35	420	6' TALL	B&B	
PGD	Picea glauca v. densata	Black Hills Spruce	24	35	840	6' TALL	B&B	
PS	Pinus strobus	Eastern White Pine	9	35	315	6' TALL	B&B	
ORNAMENTAL TREE								
AXG	Amenlancheier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	11	15	165	1.5"	B&B	
BN	Betula nigra 'Improved Heritage'	Improved Heritage River Birch	10	15	150	6' TALL	B&B	3 STEM
CA	Cornus alternifolia	Paopao Dogwood	2	15	30	1.5"	B&B	
CC	Crataegus crus-galli var. inermis	Thornless Cockspur Hawthorn	12	15	180	6' TALL	B&B	MULTI-STEM
CBI	Carpinus betulus 'Fastigiata'	Columnar European Muscletree	3	15	45	1.5"	B&B	
CCJ	Carpinus caroliniana 'JN Strain'	JN Strain Muscletree	7	15	105	6' TALL	B&B	MULTI-STEM
CO	Cotinus obovatus	American Smoke Tree	6	15	90	1.5"	B&B	
MF	Malus 'Firebird'	Firebird Crabapple	9	15	135	1.5"	B&B	
MSR	Magnolia strobilata 'Royal Star'	Royal Star Magnolia	3	15	45	1.5"	B&B	
MT	Malus 'Tina'	Tina Crabapple	3	15	45	1.5"	B&B	
OV	Ostrya virginiana	Ironwood	10	15	150	1.5"	B&B	
PCJ	Pinus calleryana 'Jaczam'	Jack Pear	9	15	135	1.5"	B&B	
SRI	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	6	15	90	1.5"	B&B	
UPRIGHT EVERGREEN SHRUB								
JSM	Juniperus scopulorum 'Moon Glow'	Moon Glow Juniper	10	10	100	4' TALL	B&B	
JSW	Juniperus scopulorum 'Welch'	Welch Juniper	6	10	60	4' TALL	B&B	
TMH	Taxus x media 'Hicksii'	Hicks Yew	6	10	60	4' TALL	B&B	
TOH	Thuja occidentalis 'Holmstrup'	Holmstrup Arborvitae	12	10	120	4' TALL	B&B	
DECIDUOUS SHRUB								
CAR	Clethra alatifolia 'Ruby Spice'	Ruby Spice Clethra	12	3	36	24" TALL	POT	
CSA	Cornus sericea 'Arctic Fire'	Arctic Fire Dogwood	5	3	15	24" TALL	POT	
CSI	Cornus sericea 'Ivory Halo'	Ivory Halo Dogwood	10	3	30	24" TALL	POT	
FG	Fothergilla gardenii 'Beaver Creek'	Beaver Creek Fothergilla	14	3	42	24" TALL	POT	
FMM	Fothergilla major 'Mt. Airy'	Mt. Airy Fothergilla	6	3	18	24" TALL	POT	
HMA	Hydrangea 'All Summer Beauty'	All Summer Beauty Hydrangea	15	3	45	24" TALL	POT	
HS	Hibiscus syriacus 'Double Purple'	Double Purple Rose of Sharon	4	3	12	24" TALL	POT	TREE FORM
HV	Hammamelis virginiana	Witch Hazel	4	3	12	36" TALL	POT	
POD	Physocarpus opulifolius 'Diablo'	Diablo Ninebark	4	3	12	24" TALL	POT	
POG	Physocarpus opulifolius 'Dart's Gold'	Dart's Gold Ninebark	10	3	30	24" TALL	POT	
POL	Physocarpus opulifolius 'Little Devil'	Little Devil Ninebark	3	3	9	24" TALL	POT	
RTB	Rhus typhina 'Bailtiger'	Tiger Eyes Sumac	28	3	84	36" TALL	POT	
SPM	Syringa 'Minuet'	Minuet Lilac	32	3	96	36" TALL	POT	
SJA	Spiraea japonica 'Anthony Waterer'	Anthony Waterer Spiraea	10	3	30	12" TALL	POT	
SXM	Spiraea 'Magic Carpet'	Magic Carpet Spiraea	47	3	141	12" TALL	POT	
VCC	Viburnum carlesii 'Compactum'	Compact Koreanspice Viburnum	19	3	57	24" TALL	POT	
VDR	Viburnum dentatum 'Ralph Senior'	Autumn Jazz Viburnum	5	3	15	24" TALL	POT	
VP	Viburnum prunifolium	Blackhaw Viburnum	3	3	9	36" TALL	POT	
WB	Weigela 'Boraspiegel'	Sonic Bloom Weigela	6	3	18	12" TALL	POT	
WXD	Weigela 'Dark Horse'	Dark Horse Weigela	14	3	42	12" TALL	POT	
WXM	Weigela 'Minuet'	Minuet Weigela	12	3	36	12" TALL	POT	
EVERGREEN SHRUB								
CPG	Chamaecyparis pisifera 'Golden Mop'	Golden Mops Falsecypress	25	4	100	24" TALL	POT	
JCC	Juniperus 'Calgary Carpet'	Calgary Carpet Juniper	12	4	48	12" TALL	POT	
JMG	Juniperus x media 'Sea of Gold'	Sea of Gold Juniper	12	4	48	12" TALL	POT	
JSB	Juniperus squamata 'Blue Star'	Blue Star Juniper	6	4	24	12" TALL	POT	
MD	Microbiota decussata	Russian Arborvitae	51	4	204	12" TALL	POT	
PPG	Picea pungens 'Glaucia Globosa'	Dwarf Globe Blue Spruce	13	4	52	24" TALL	POT	
RFJ	Rhododendron 'PJM'	PJM Rhododendron	8	4	32	24" TALL	POT	
TCJ	Taxus canadensis 'Jeddeloh'	Jeddeloh Dwarf Hemlock	17	8	136	24" TALL	POT	
TMT	Taxus x media 'Taunton'	Taunton Yew	45	4	180	24" TALL	POT	
PSB	Pinus strobus 'Blue Shag'	Blue Shag Dwarf White Pine	44	4	176	12" TALL	POT	
ORNAMENTAL GRASSES								
OG	Ornamental Grasses	To Be Determined	0	2	0	1 GAL	POT	
			TOTAL:		8888	POINTS		

GROUND COVER LEGEND

- LAWN SEED
- PRAIRIE GARDEN FOR SUNNY SITES WITH MEDIUM TO MOIST SOILS AS MANUFACTURED BY AGRECOL
- BIORETENTION BASIN - RAINWATER RENEWAL GARDEN MIX AS MANUFACTURED BY AGRECOL
- BARK MULCH



JLA
architects + planners

JOSEPH LEE + ASSOCIATES
2418 CROSSROADS DRIVE, SUITE 2300
MADISON, WISCONSIN 53718
608.241.9500

JLA PROJECT NUMBER: 14-1103

D'ONOFRIO KOTKE AND ASSOCIATES, INC.

7530 Westward Way, Madison, WI 53717
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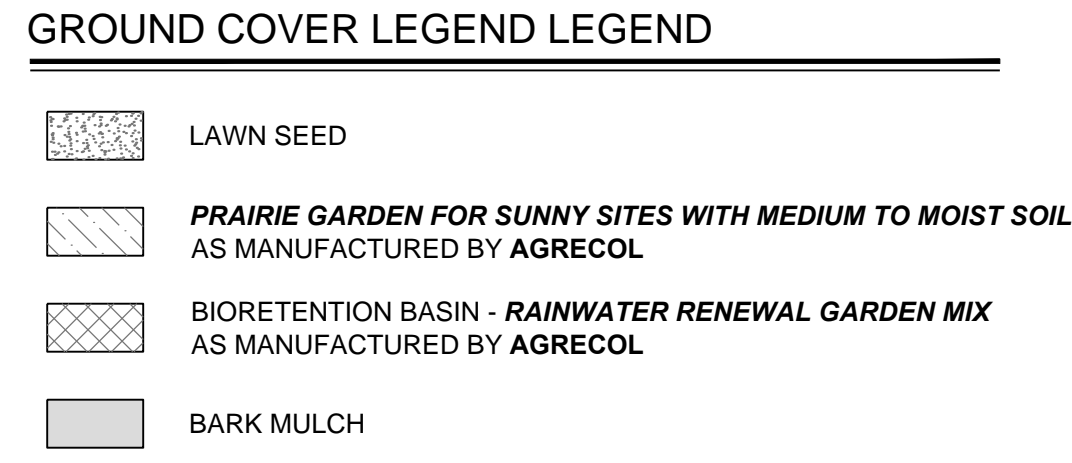
CATALINA CROSSING UDC SUBMITTAL

DATE OF ISSUANCE 18 MAY 2016

Revision Schedule		
Mark	Description	Date

SHEET TITLE
LANDSCAPE PLAN

SHEET NUMBER
L101



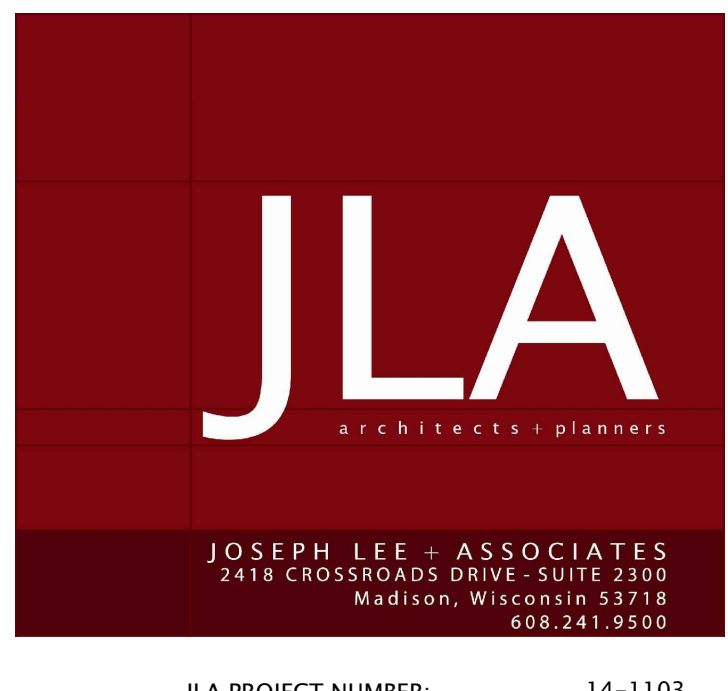
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ORNAMENTAL GRASSES								
OG	Ornamental Grasses	To Be Determined	0	2	0	1 GAL	POT	
			TOTAL:		8886	POINTS		

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JLA PROJECT NUMBER: 14-1103

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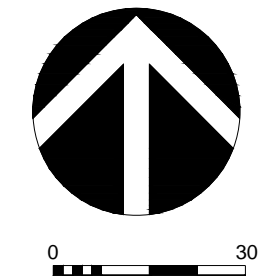
CATALINA CROSSING UDC SUBMITTAL

DATE OF ISSUANCE 17 FEBRUARY 2016

Revision Schedule		
Mark	Description	Date

SHEET TITLE **LANDSCAPE PLAN**

SHEET NUMBER **L102**





SITE LANDSCAPE PLAN - GENERAL NOTES

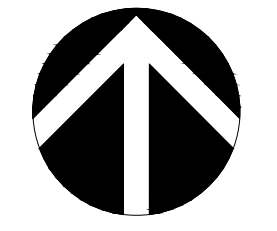
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PT	Populus tremuloides	Quaking Aspen	4	35	140	2.5"	B&B	
QB	Quercus bicolor	Swamp White Oak	4	35	140	2.5"	B&B	
QCS	Quercus 'Crimschmidt'	Crimson Spire Oak	17	35	595	2.5"	B&B	
TAR	Tilia americana 'Redmond'	Redmond Linden	4	35	140	2.5"	B&B	
TD	Taxodium distichum	Bald Cypress	9	35	315	2.5"	B&B	
LXA	Ulmus 'Accolade'	Accolade Elm	4	35	140	2.5"	B&B	
TALL EVERGREEN TREE								
AC	Abies concolor	Concolor Spruce	12	35	420	6' TALL	B&B	
PGD	Picea glauca v. densata	Black Hills Spruce	24	35	840	6' TALL	B&B	
PS	Pinus strobus	Eastern White Pine	9	35	315	6' TALL	B&B	
ORNAMENTAL TREE								
AXG	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	11	15	165	1.5"	B&B	
BN	Betula nigra 'Improved Heritage'	Improved Heritage River Birch	10	15	150	6' TALL	B&B	3 STEM
CA	Cornus alternifolia	Panicle Dogwood	2	15	30	1.5"	B&B	
CCI	Crataegus crus-galli var. inermis	Thornless Cockspur Hawthorn	12	15	180	6' TALL	B&B	MULTI-STEM
CBF	Carpinus betulus 'Fastigia'	Columnar European Musclemwood	3	15	45	1.5"	B&B	
CCJ	Carpinus caroliniana 'JN Strain'	JN Strain Musclemwood	7	15	105	6' TALL	B&B	MULTI-STEM
CO	Cotinus obovatus	American Smoke-tree	6	15	90	1.5"	B&B	
MF	Malus 'Firebird'	Firebird Crabapple	9	15	135	1.5"	B&B	
MSR	Magnolia stellata 'Royal Star'	Royal Star Magnolia	3	15	45	1.5"	B&B	
MT	Malus 'Tina'	Tina Crabapple	3	15	45	1.5"	B&B	
OV	Ostrya virginiana	Ironwood	10	15	150	1.5"	B&B	
PCJ	Pyrus calleryana 'Jaczam'	Jack Pear	9	15	135	1.5"	B&B	
SRI	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	6	15	90	1.5"	B&B	
UPRIGHT EVERGREEN SHRUB								
JSM	Juniperus scopulorum 'Moon Glow'	Moon Glow Juniper	10	10	100	4' TALL	B&B	
JSW	Juniperus scopulorum 'Welch'	Welch Juniper	6	10	60	4' TALL	B&B	
TMH	Taxus x media 'Hicksii'	Hicks Yew	6	10	60	4' TALL	B&B	
TOH	Thuja occidentalis 'Holmstrup'	Holmstrup Arborvitae	12	10	120	4' TALL	B&B	
DECIDUOUS SHRUB								
CAR	Clethra alnifolia 'Ruby Spice'	Ruby Spice Clethra	12	3	36	24" TALL	POT	
CSA	Cornus sericea 'Arctic Fire'	Arctic Fire Dogwood	5	3	15	24" TALL	POT	
CSI	Cornus sericea 'Ivory Halo'	Ivory Halo Dogwood	10	3	30	24" TALL	POT	
FG	Fothergilla gardenii 'Beaver Creek'	Beaver Creek Fothergilla	14	3	42	24" TALL	POT	
FMM	Fothergilla major 'Mt. Airy'	Mt. Airy Fothergilla	6	3	18	24" TALL	POT	
HMA	Hydrangea 'All Summer Beauty'	All Summer Beauty Hydrangea	15	3	45	24" TALL	POT	
HS	Hibiscus syriacus 'Double Purple'	Double Purple Rose of Sharon	4	3	12	24" TALL	POT	TREE FORM
HV	Hammamelis virginiana	Witch Hazel	4	3	12	36" TALL	POT	
POD	Physocarpus opulifolius 'Diablo'	Diablo Ninebark	4	3	12	24" TALL	POT	
POG	Physocarpus opulifolius 'Dart's Gold'	Dart's Gold Ninebark	10	3	30	24" TALL	POT	
POL	Physocarpus opulifolius 'Little Devil'	Little Devil Ninebark	3	3	9	24" TALL	POT	
RTB	Rhus typhina 'Bailtiger'	Tiger Eyes Sumac	28	3	84	36" TALL	POT	
SPM	Syringa 'Minuet'	Minuet Lilac	32	3	96	36" TALL	POT	
SJA	Spiraea japonica 'Anthony Waterer'	Anthony Waterer Spiraea	10	3	30	12" TALL	POT	
SXM	Spiraea 'Magic Carpet'	Magic Carpet Spiraea	47	3	141	12" TALL	POT	
VCC	Viburnum carlesii 'Compactum'	Compact Koreanspice Viburnum	19	3	57	24" TALL	POT	
VDR	Viburnum dentatum 'Ralph Senior'	Autumn Jazz Viburnum	5	3	15	24" TALL	POT	
VP	Viburnum prunifolium	Blackhaw Viburnum	3	3	9	36" TALL	POT	
WB	Weigela 'Banksopae'	Sonic Bloom Weigela	6	3	18	12" TALL	POT	
WXD	Weigela 'Dark Horse'	Dark Horse Weigela	14	3	42	12" TALL	POT	
WXM	Weigela 'Minuet'	Minuet Weigela	12	3	36	12" TALL	POT	
EVERGREEN SHRUB								
CPG	Chamaecyparis pisifera 'Golden Mop'	Golden Mops Falsecypress	25	4	100	24" TALL	POT	
JCC	Juniperus 'Calgary Carpet'	Calgary Carpet Juniper	12	4	48	12" TALL	POT	
JMG	Juniperus x media 'Sea of Gold'	Sea of Gold Juniper	12	4	48	12" TALL	POT	
JSB	Juniperus squamata 'Blue Star'	Blue Star Juniper	6	4	24	12" TALL	POT	
MD	Microbiota discussata	Russian Arborvitae	51	4	204	12" TALL	POT	
PPG	Picea pungens 'Glaucia Globosa'	Dwarf Globe Blue Spruce	13	4	52	24" TALL	POT	
RP	Rhododendron 'PJM'	PJM Rhododendron	8	4	32	24" TALL	POT	
TCJ	Tsuga canadensis 'Jeddidoht'	Jeddidoht Dwarf Hemlock	17	4	68	24" TALL	POT	
TMT	Taxus x media 'Taunton'	Taunton Yew	45	4	180	24" TALL	POT	
PSB	Pinus strobus 'Blue Shag'	Blue Shag Dwarf White Pine	44	4	176	12" TALL	POT	
ORNAMENTAL GRASSES								
OG	Ornamental Grasses	To Be Determined	0	2	0	1 GAL	POT	
			TOTAL:		8886	POINTS		

GROUND COVER LEGEND

- LAWN SEED
- PRAIRIE GARDEN FOR SUNNY SITES WITH MEDIUM TO MOIST SOILS AS MANUFACTURED BY AGRECOL
- BIORETENTION BASIN - RAINWATER RENEWAL GARDEN MIX AS MANUFACTURED BY AGRECOL
- BARK MULCH



JLA
architects + planners

JOSEPH LEE + ASSOCIATES
2418 CROSSROADS DRIVE, SUITE 2300
MADISON, WISCONSIN 53718
608.241.9500

JLA PROJECT NUMBER: 14-1103

D'ONOFRIO KOTKE AND ASSOCIATES, INC.

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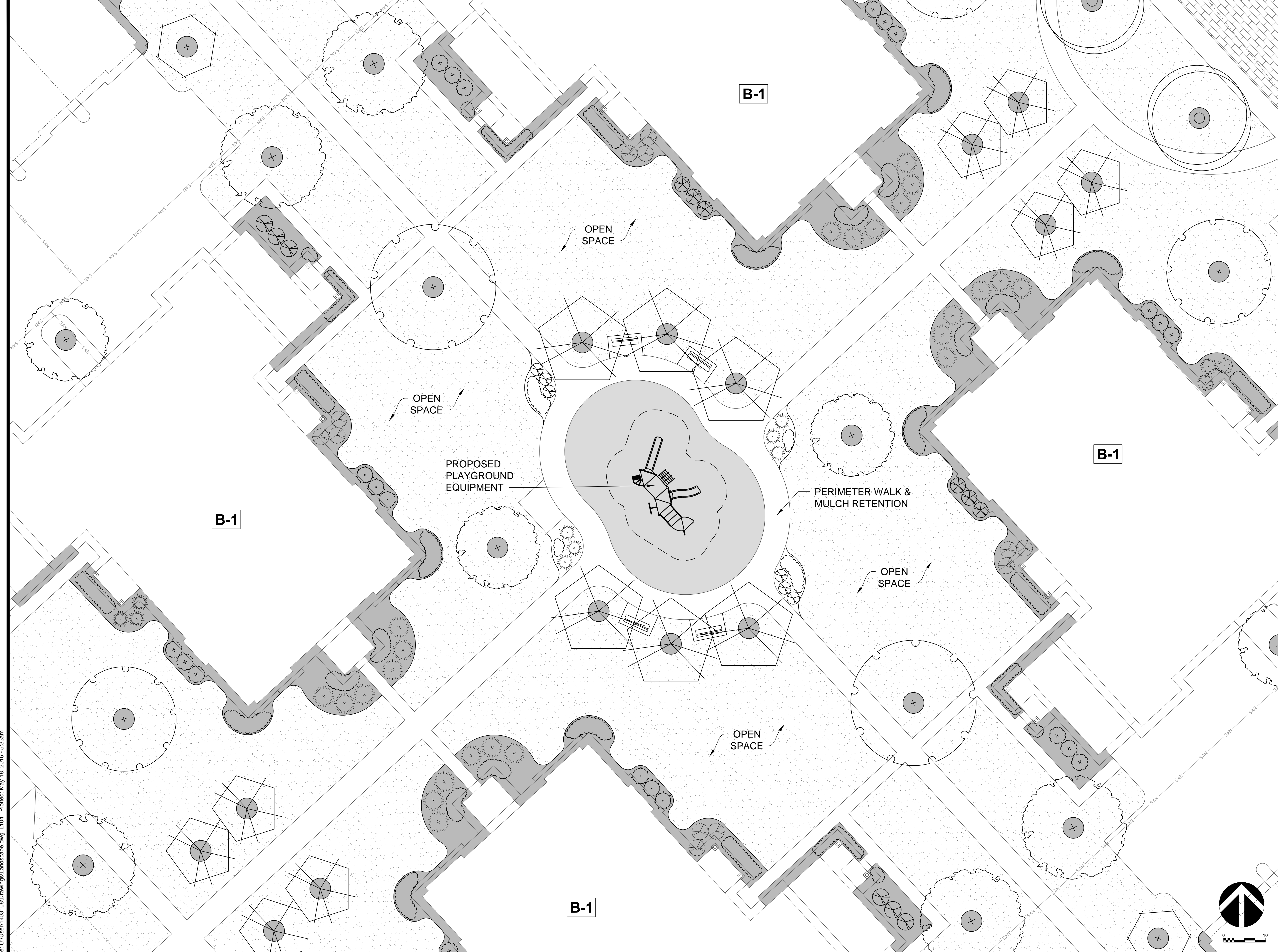
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Revision Schedule		
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SHEET TITLE
LANDSCAPE PLAN

SHEET NUMBER
L103



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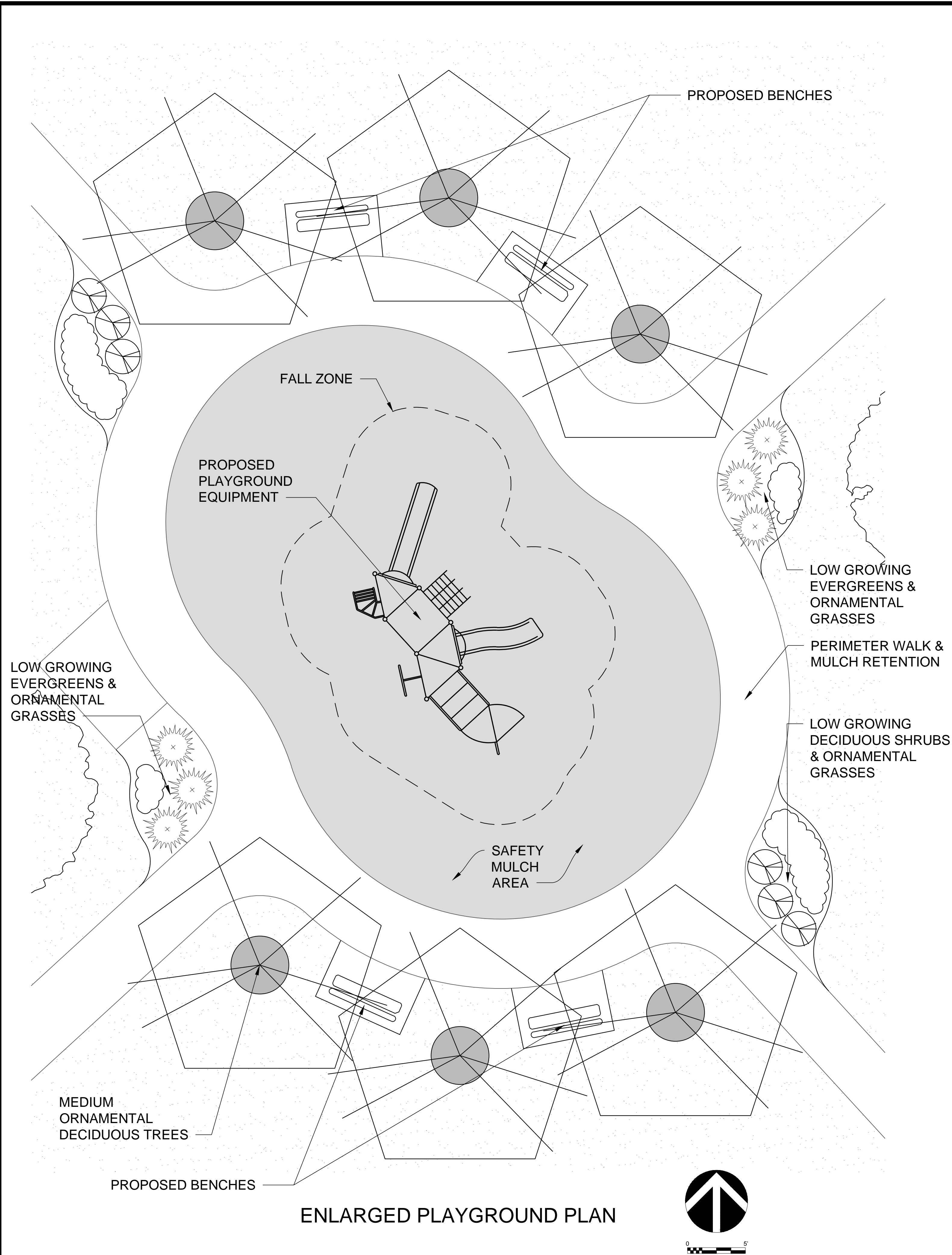
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Revision Schedule		
Mark	Description	Date

SHEET TITLE
PLAYGROUND AREA

SHEET NUMBER
L104

File: L:\Users\1403108\Drawings\landscape.dwg L104 Plotted: May 18, 2016 - 5:33am



VIEW FROM EAST



VIEW FROM NORTH



VIEW FROM SOUTH WEST

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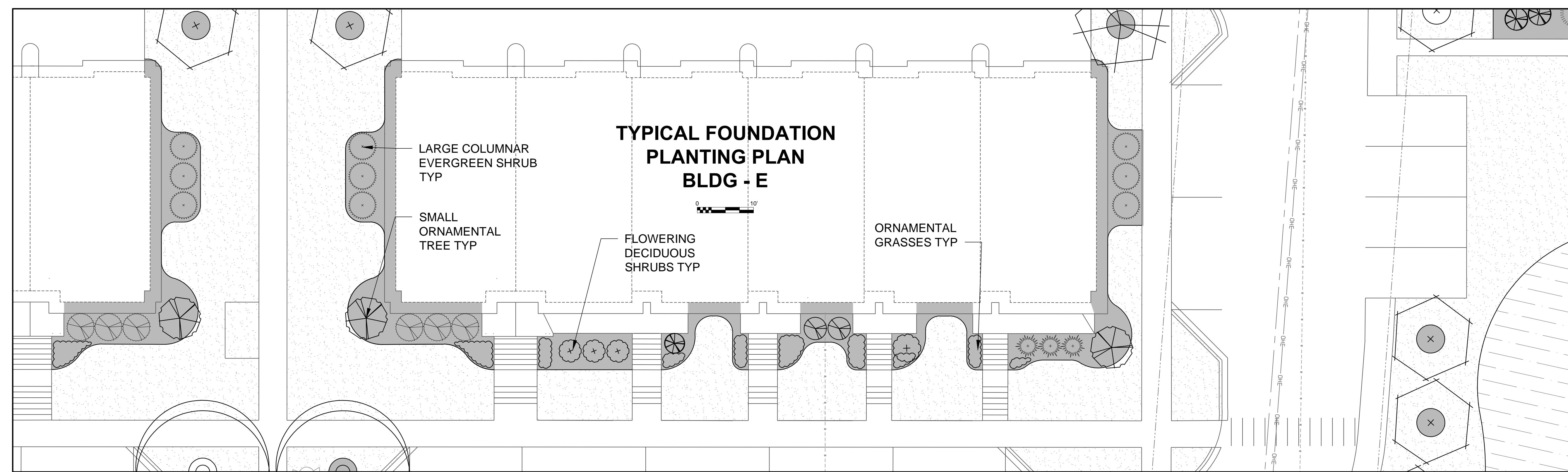
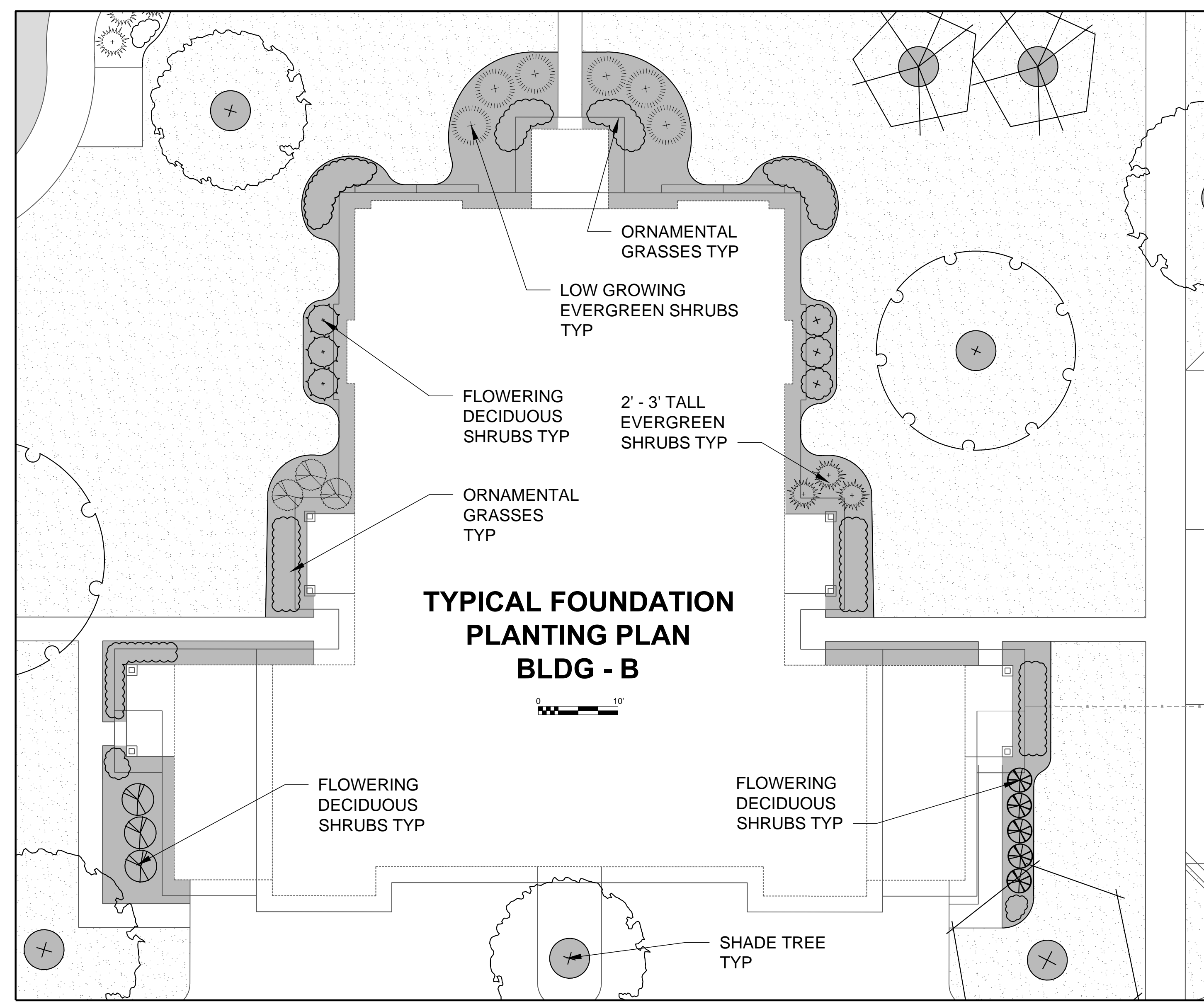
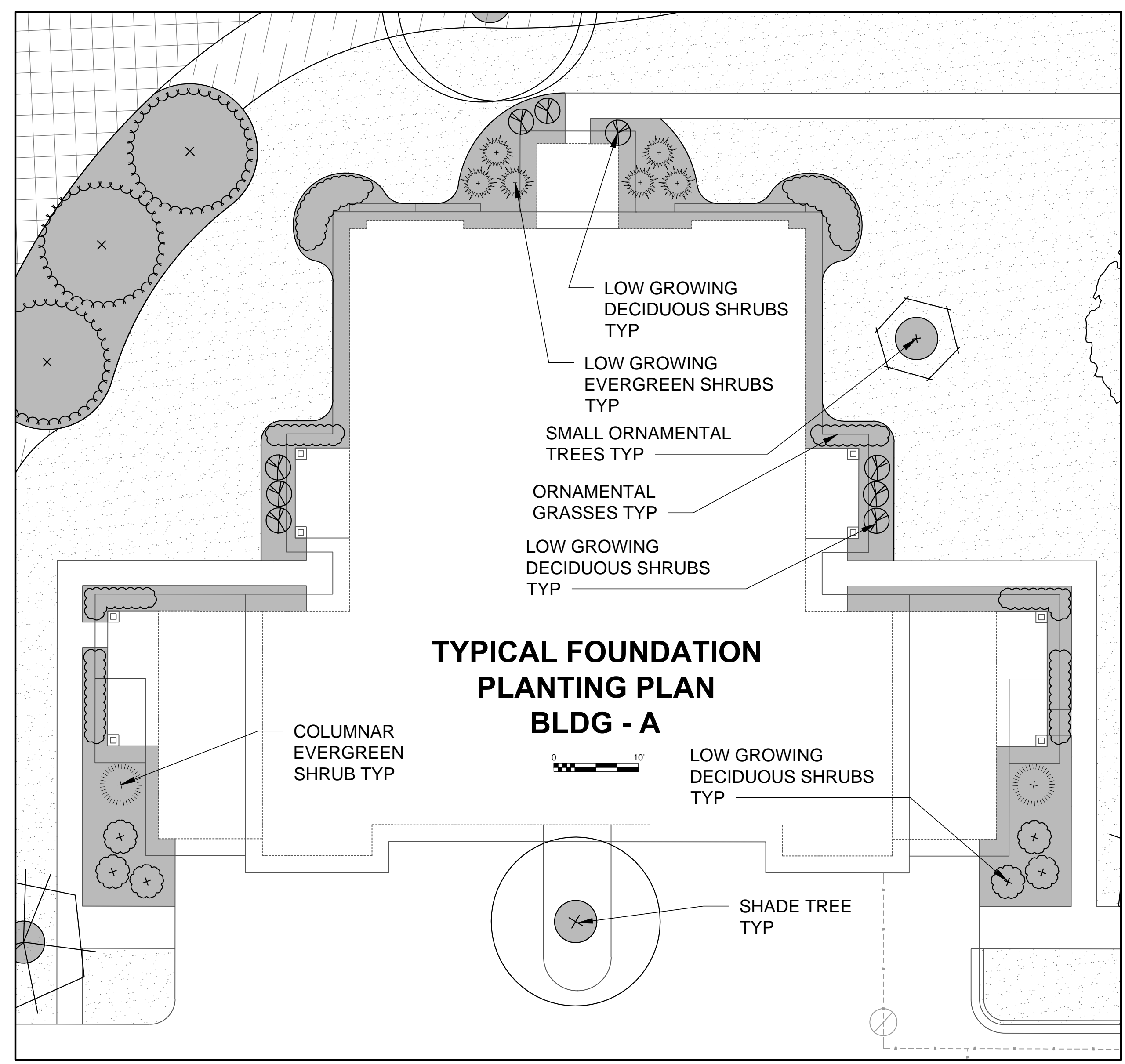
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Revision Schedule		
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SHEET TITLE
PLAYGROUND AREA

SHEET NUMBER
L105

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DATE OF ISSUANCE 18 MAY 2016

Revision Schedule		
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SHEET TITLE
TYPICAL BUILDING FOUNDATION PLANTING PLANS

SHEET NUMBER
L106

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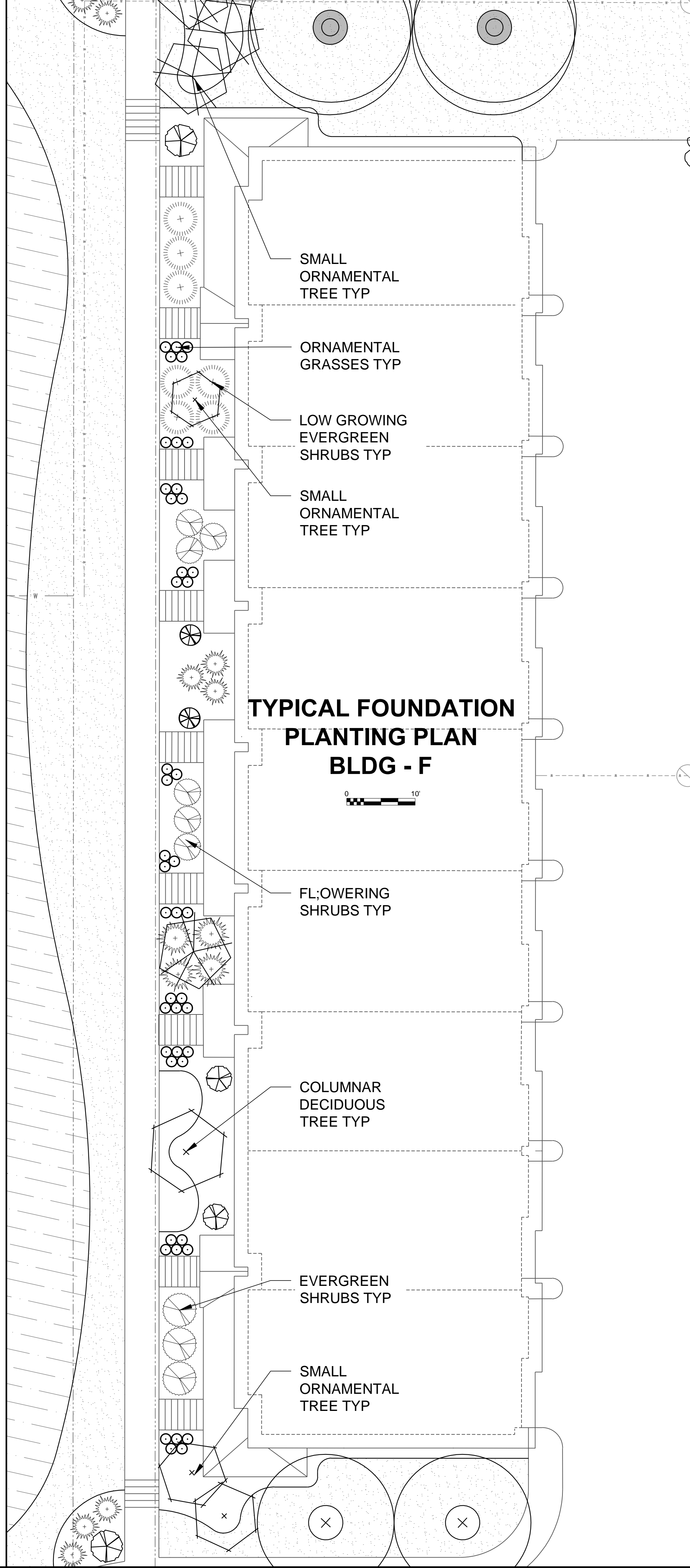
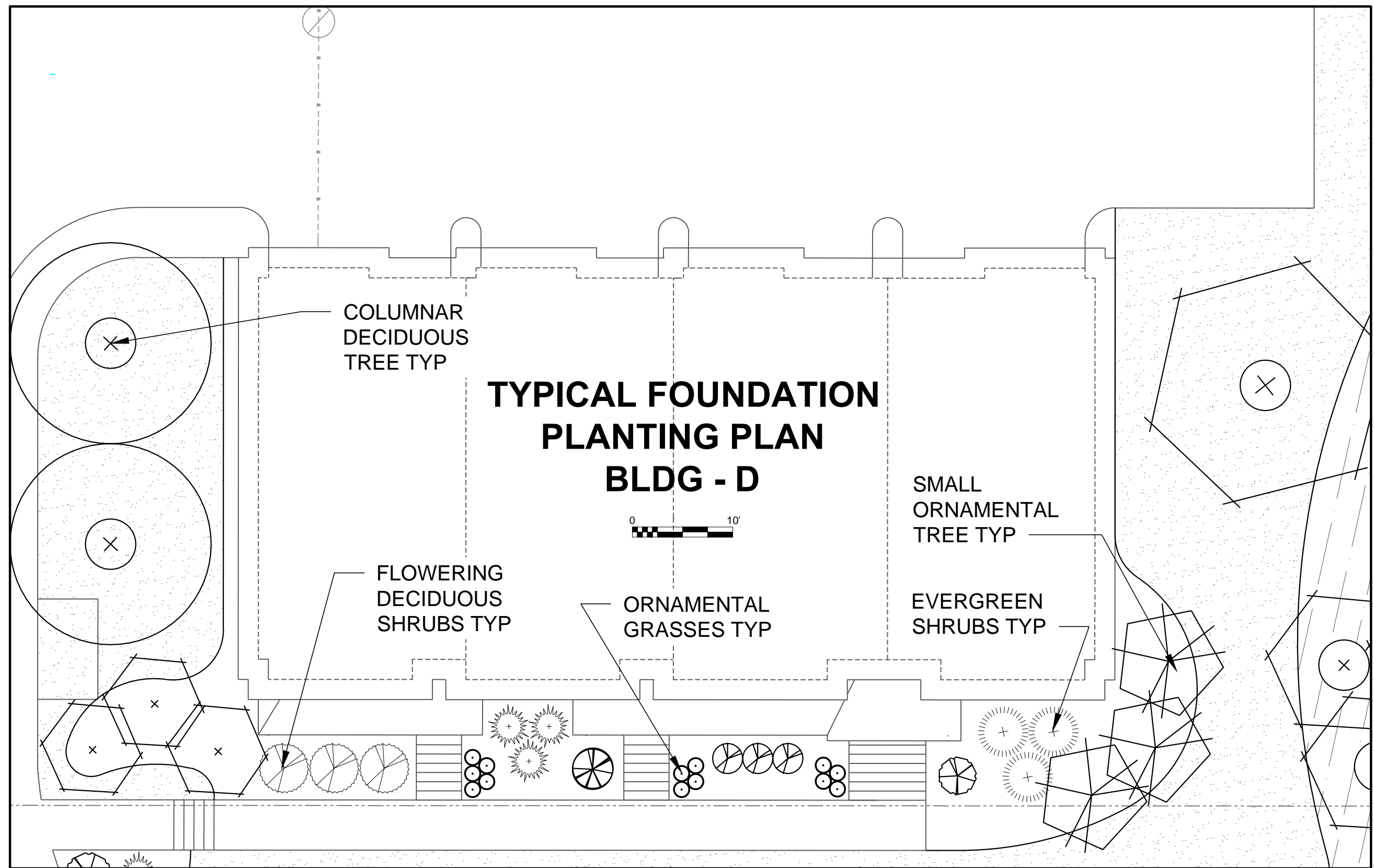
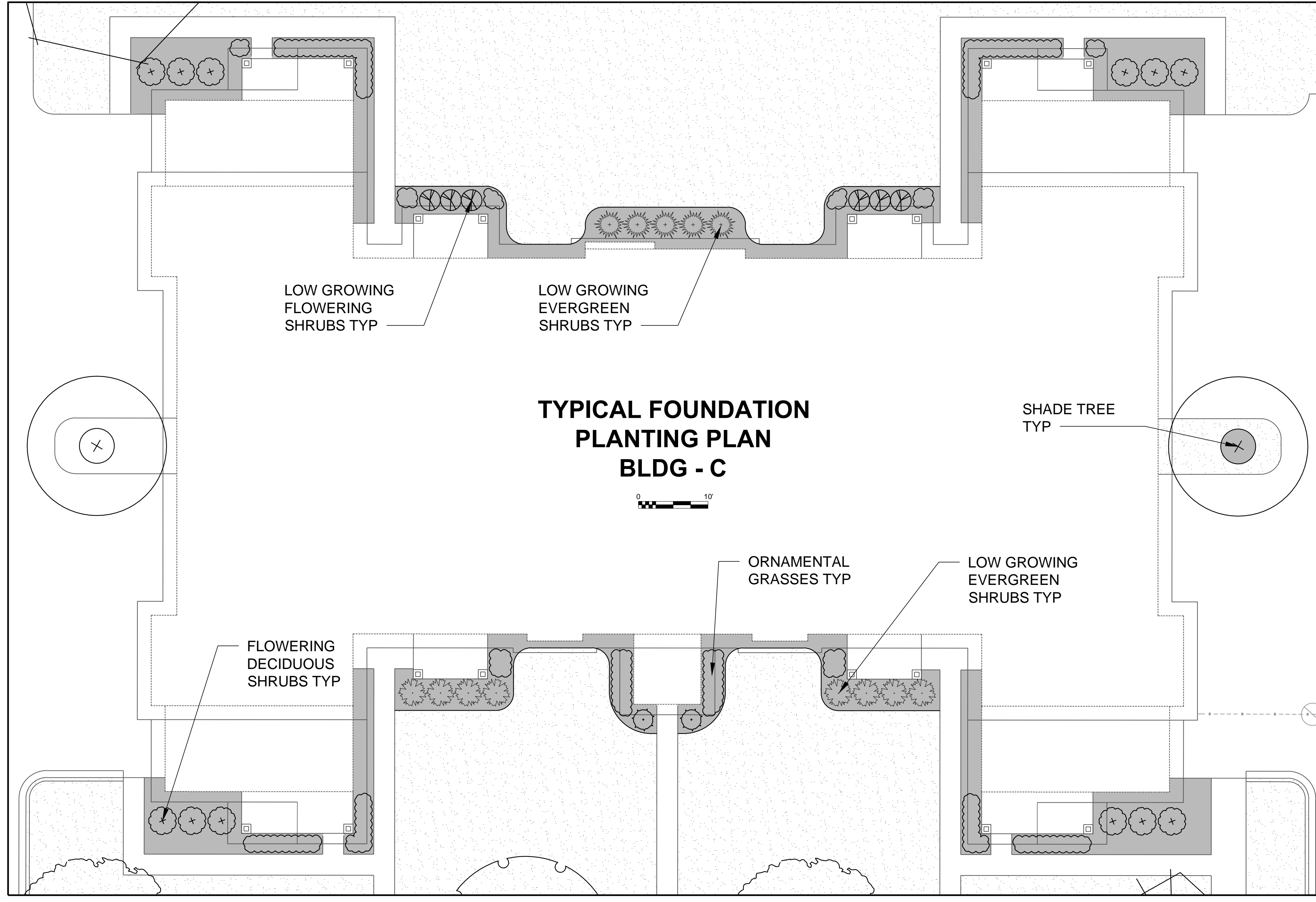
Revision Schedule		
Mark	Description	Date

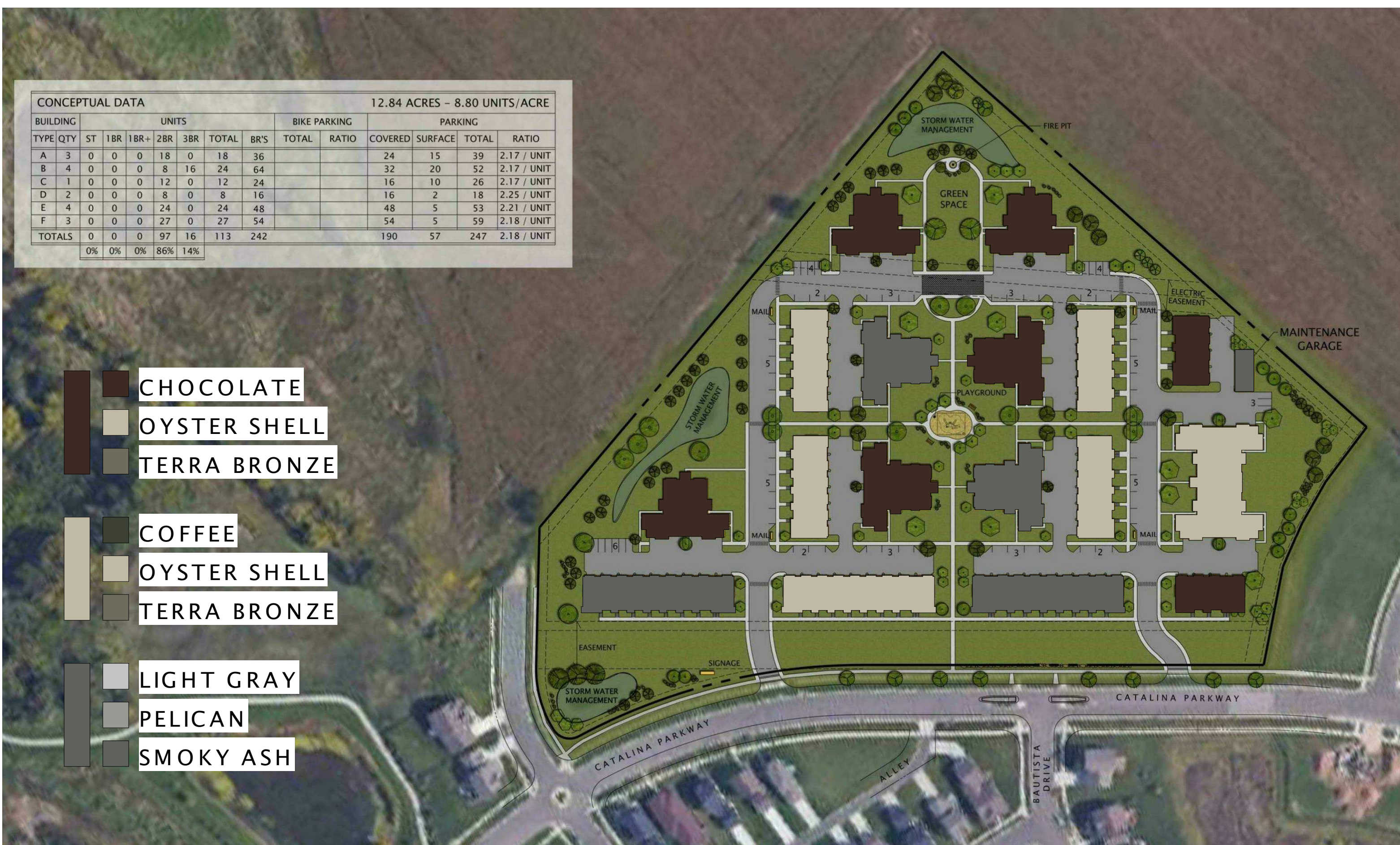
SHEET TITLE

TYPICAL BUILDING
FOUNDATION
PLANTING PLANS

SHEET NUMBER

L107





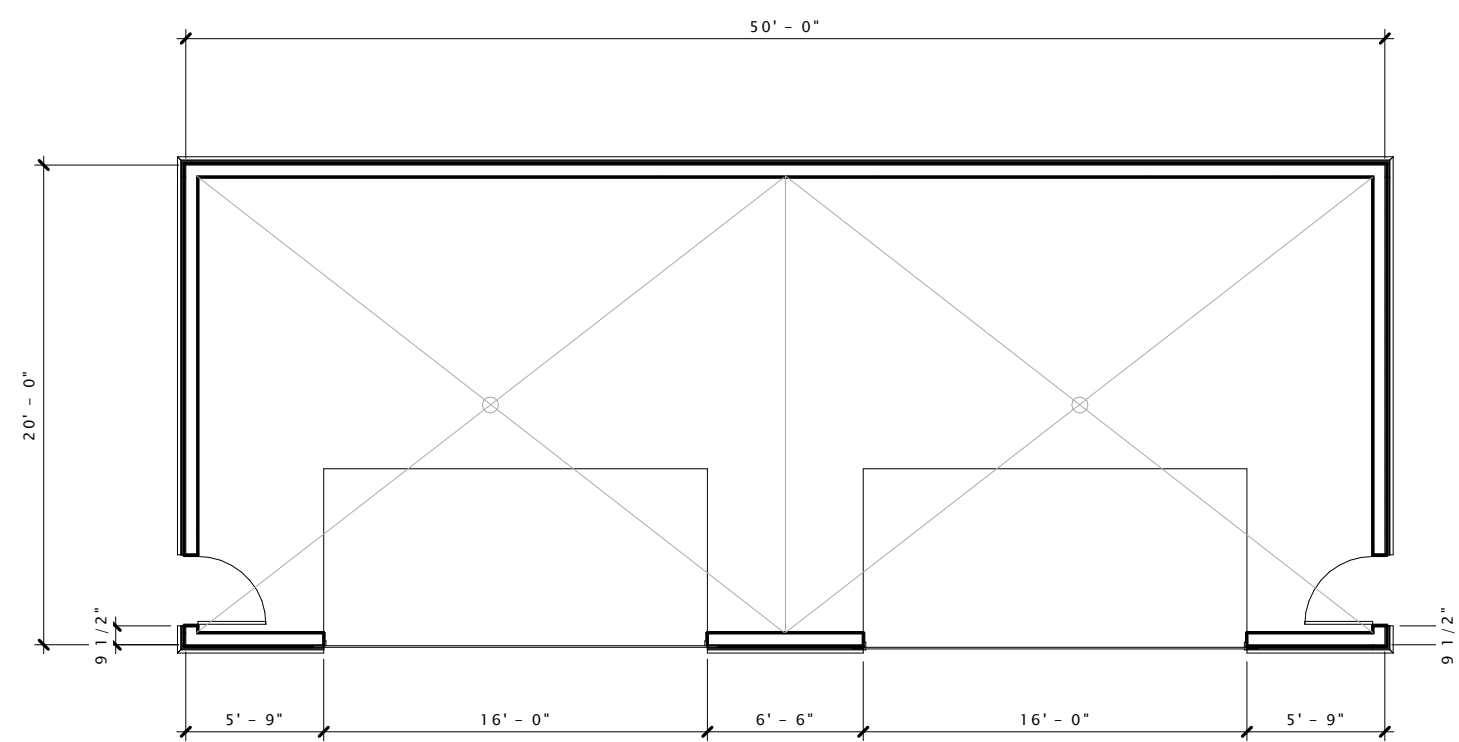
6 SITE BUILDING COLOR KEY
1" = 80'-0"



4 CATALINA SIGNAGE - PERSPECTIVE
1/4" = 1'-0"



9 SIGNAGE ELEVATION
1/4" = 1'-0"



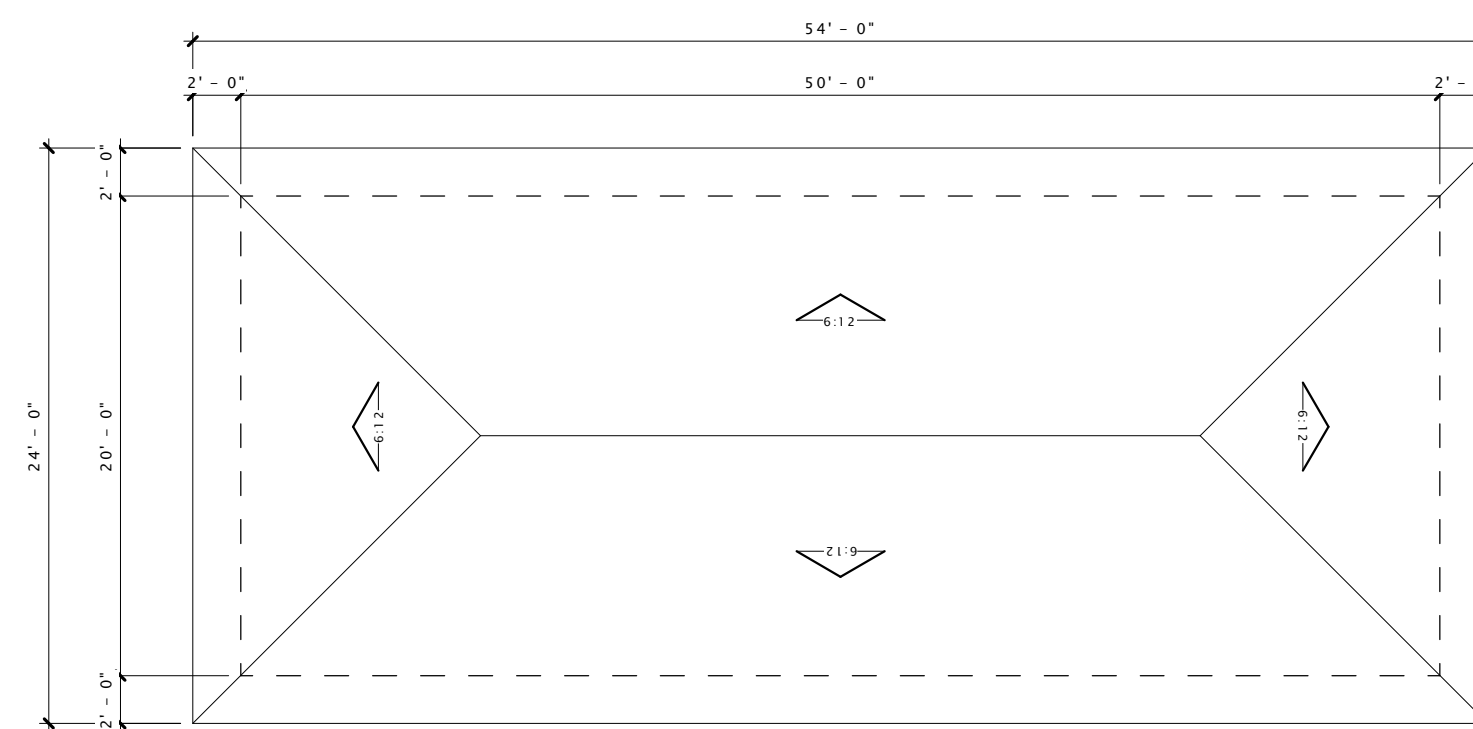
11 FIRST FLOOR PLAN - MAINTENANCE BUILDING
1/8" = 1'-0"



12 FRONT ELEVATION - MAINTENANCE BUILDING
1/8" = 1'-0"



14 SIDE VIEW 1 - MAINTENANCE BUILDING
1/8" = 1'-0"



16 ROOF PLAN - MAINTENANCE BUILDING
1/8" = 1'-0"



17 REAR ELEVATION - MAINTENANCE BUILDING
1/8" = 1'-0"



19 SIDE VIEW 2 - MAINTENANCE BUILDING
1/8" = 1'-0"

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PROGRESS DOCUMENTS

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DATE OF ISSUANCE 18 MAY, 2016

Revision Schedule		
Mark	Description	Date

SHEET TITLE

SITE INFORMATION

SHEET NUMBER

A100

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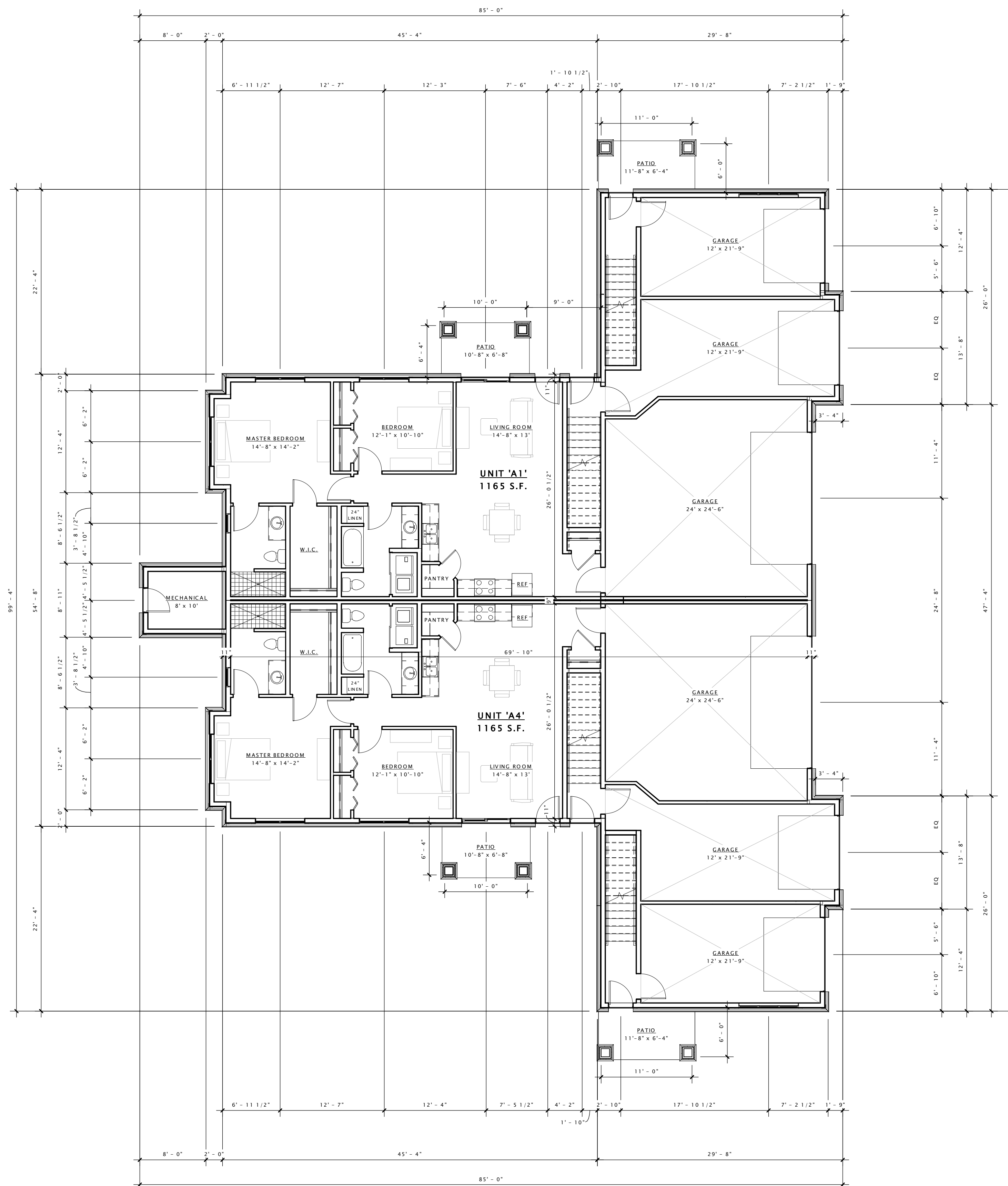
Revision Schedule		
Mark	Description	Date

SHEET TITLE

FIRST FLOOR PLAN -
BUILDING TYPE 'A'

SHEET NUMBER

A101-A



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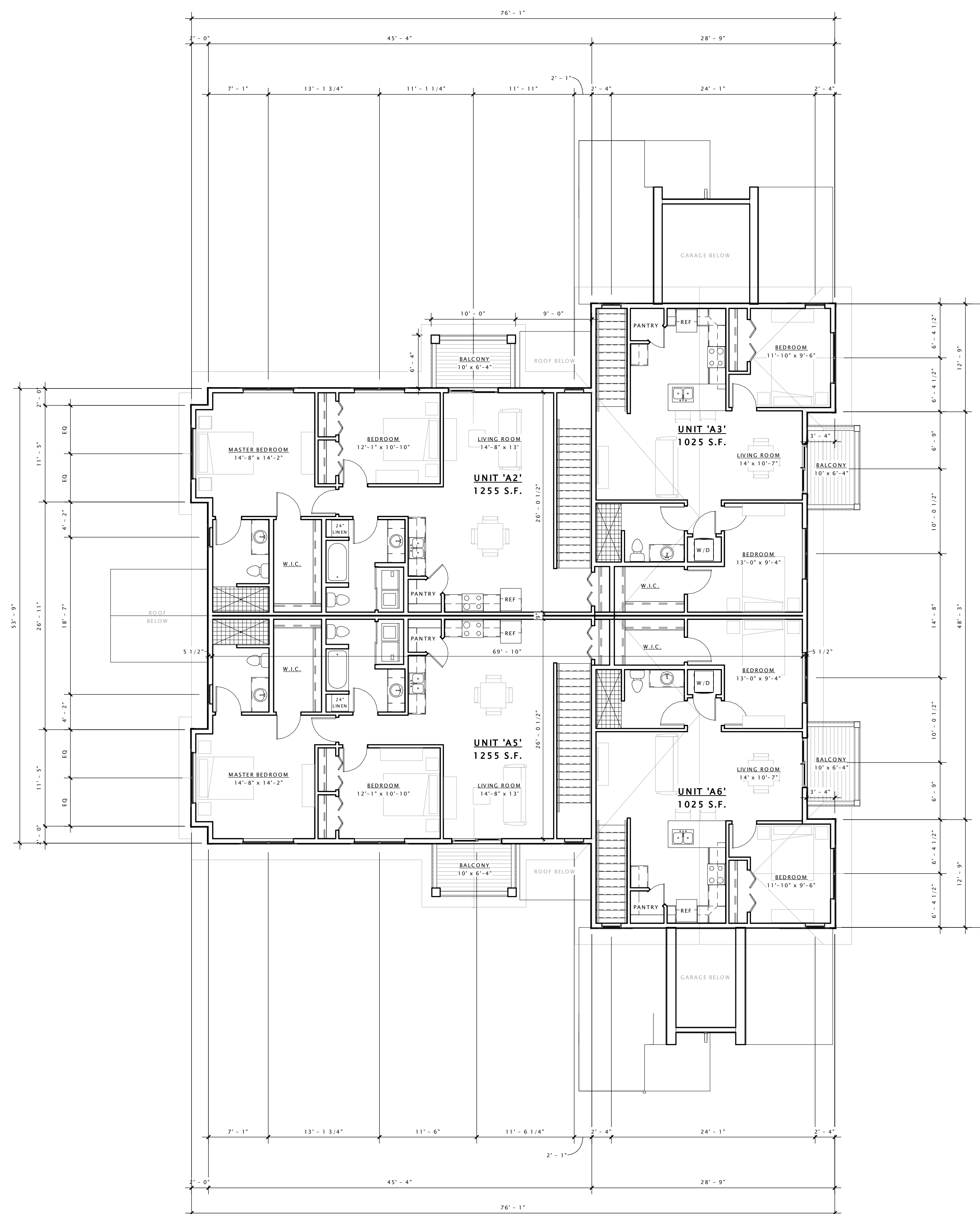
Revision Schedule		
Mark	Description	Date

SHEET TITLE

**SECOND FLOOR PLAN
- BUILDING TYPE 'A'**

SHEET NUMBER

A102-A



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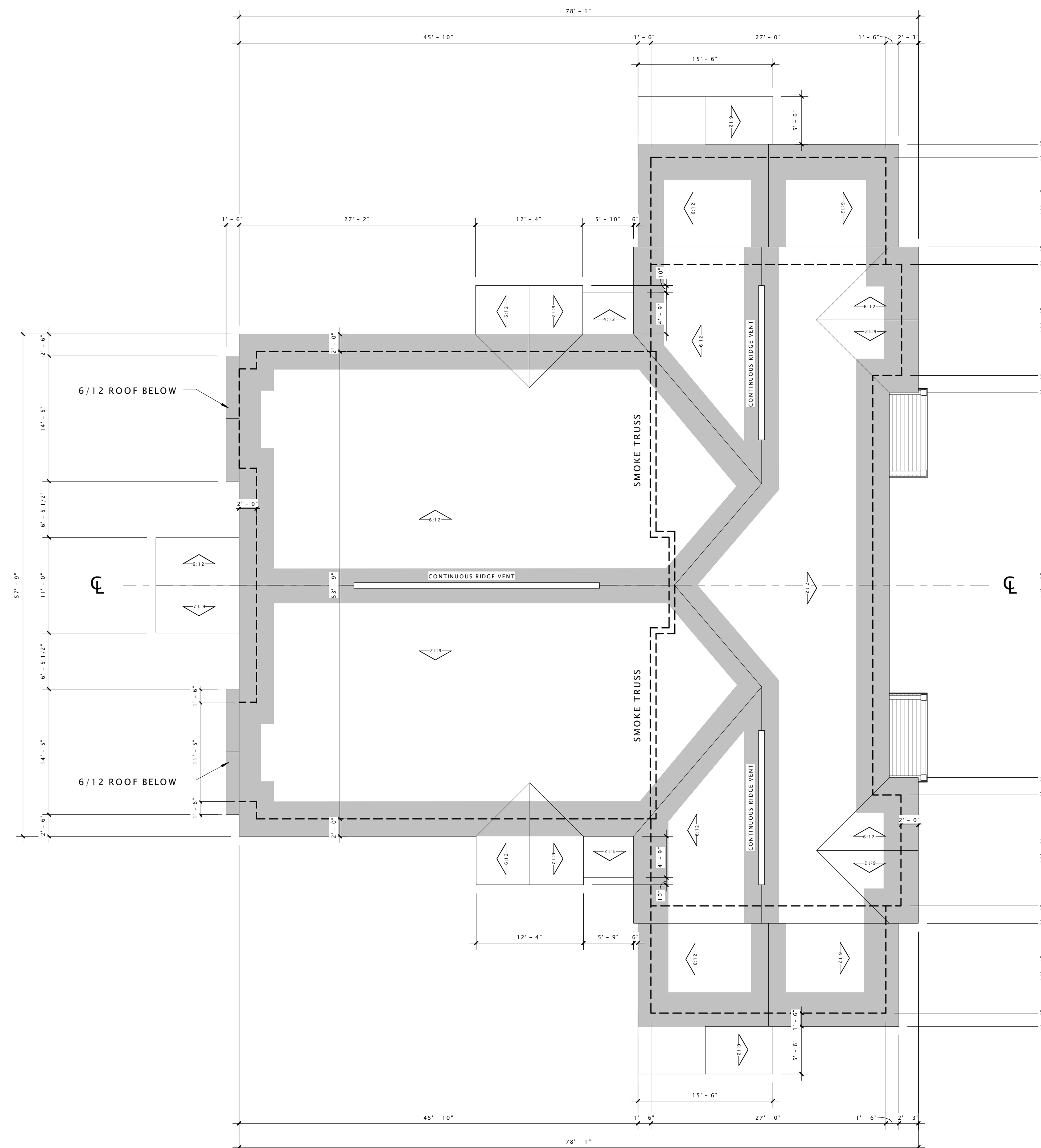
Revision Schedule		
Mark	Description	Date

SHEET TITLE

ROOF PLAN -
BUILDING TYPE 'A'

SHEET NUMBER

A109-A



18 ROOF PLAN - BUILDING TYPE 'A'
1/8" = 1'-0"



- 6" HORIZONTAL COMPOSITE SIDING (OYSTER SHELL)
- 6' X 8' VINYL SLIDING PATIO DOOR (TERRA BRONZE)
- 3' X 6' SINGLE VINYL WINDOW (TERRA BRONZE)
- 9" COMPOSITE SHAKES (CHOCOLATE)
- 2'-6" X 2'-6" VINYL WINDOW (TERRA BRONZE)
- 6" HORIZONTAL COMPOSITE SIDING (OYSTER SHELL)
- 9" COMPOSITE SHAKES (CHOCOLATE)
- BALCONY
- 6" COMPOSITE TRIM (OYSTER SHELL)
- 2' X 2'-6" TRIPLE VINYL WINDOW (TERRA BRONZE)
- 6" HORIZONTAL COMPOSITE SIDING (TERRA BRONZE)
- STONE VENEER
- 3' X 6'-8" ENTRY DOOR (WOOD)

⑥ BUILDING 'A' - SIDE ELEVATION 1
3/16" = 1'-0"



①⑥ BUILDING 'A' - SIDE ELEVATION 2
3/16" = 1'-0"

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Revision Schedule		
Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A200-A

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APARTMENTS

PROGRESS DOCUMENTS

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DATE OF ISSUANCE: 6 APRIL, 2016

Revision Schedule		
Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A201-A



- DECORATIVE BRACKET
- 9" COMPOSITE SHAKES (CHOCOLATE)
- 6" COMPOSITE TRIM (OYSTER SHELL)
- 3' X 6' DOUBLE VINYL WINDOW (TERRA BRONZE)
- 6" COMPOSITE SIDING (OYSTER SHELL)
- BALCONY
- 6" COMPOSITE TRIM (OYSTER SHELL)
- 6" HORIZONTAL VINYL SIDING (TERRA BRONZE)
- PRECAST CAP
- STONE VENEER
- 3' X 6' DOUBLE VINYL WINDOW (TERRA BRONZE)
- 3' X 6'-8" ENTRY DOOR (WOOD)

⑥ BUILDING 'A' - FRONT ELEVATION
3/16" = 1'-0"



⑩ BUILDING 'A' - REAR ELEVATION
3/16" = 1'-0"

DECKER PROPERTIES,
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CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS

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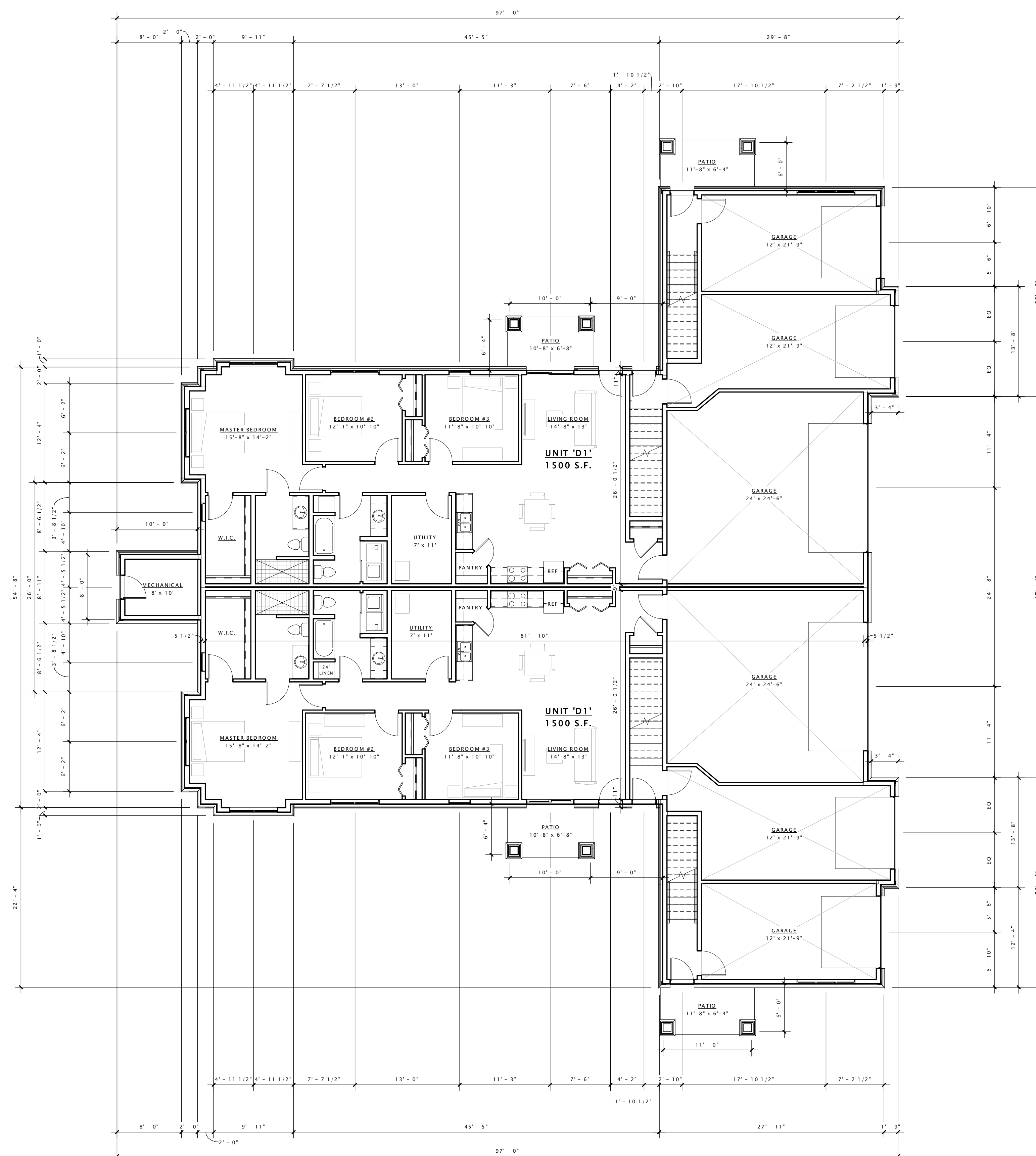
Revision Schedule		
Mark	Description	Date

SHEET TITLE

FIRST FLOOR PLAN -
BUILDING TYPE 'B'

SHEET NUMBER

A101-B



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CATALINA CROSSING
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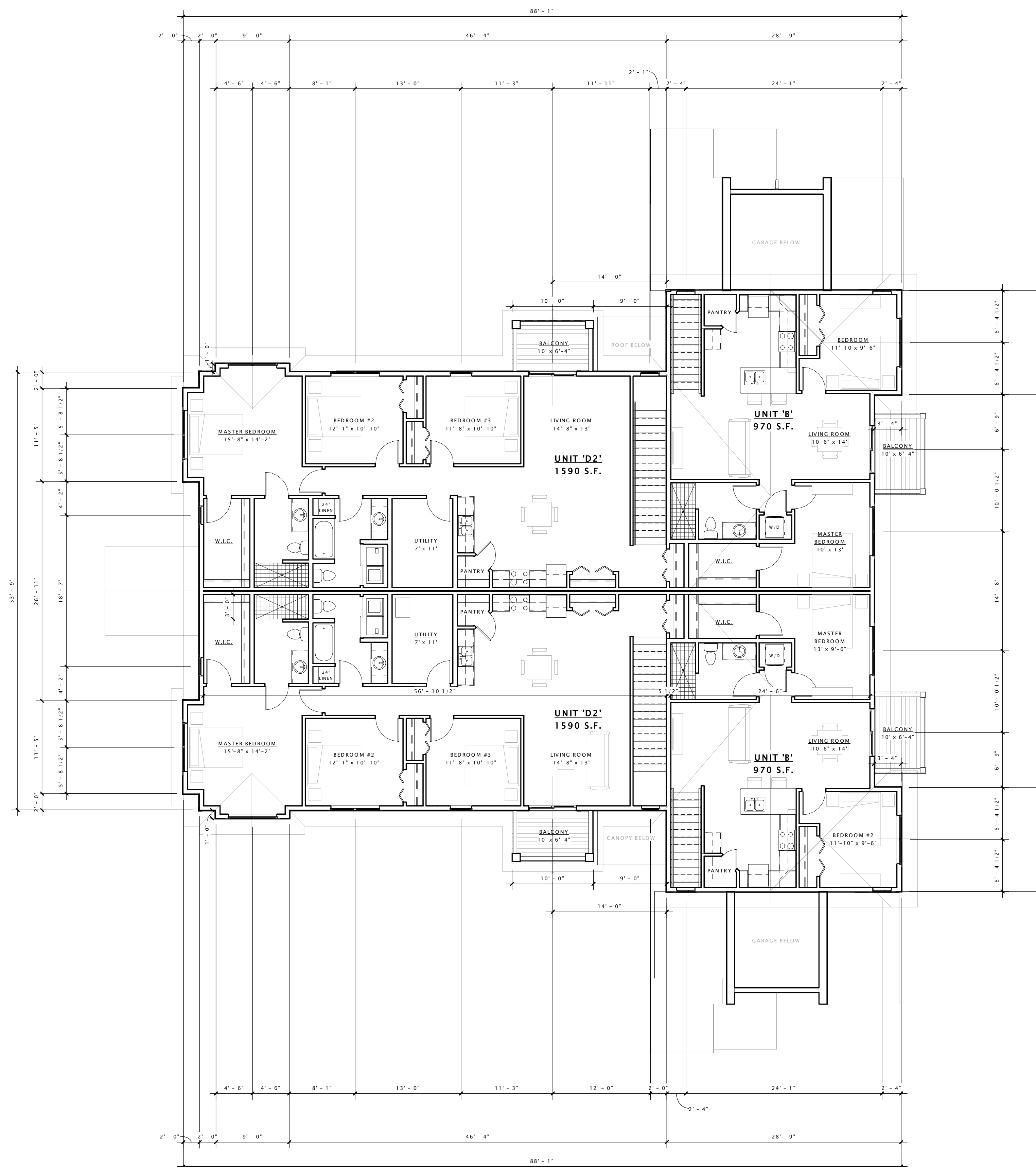
Revision Schedule		
Mark	Description	Date

SHEET TITLE

**SECOND FLOOR PLAN
- BUILDING TYPE 'B'**

SHEET NUMBER

A102-B



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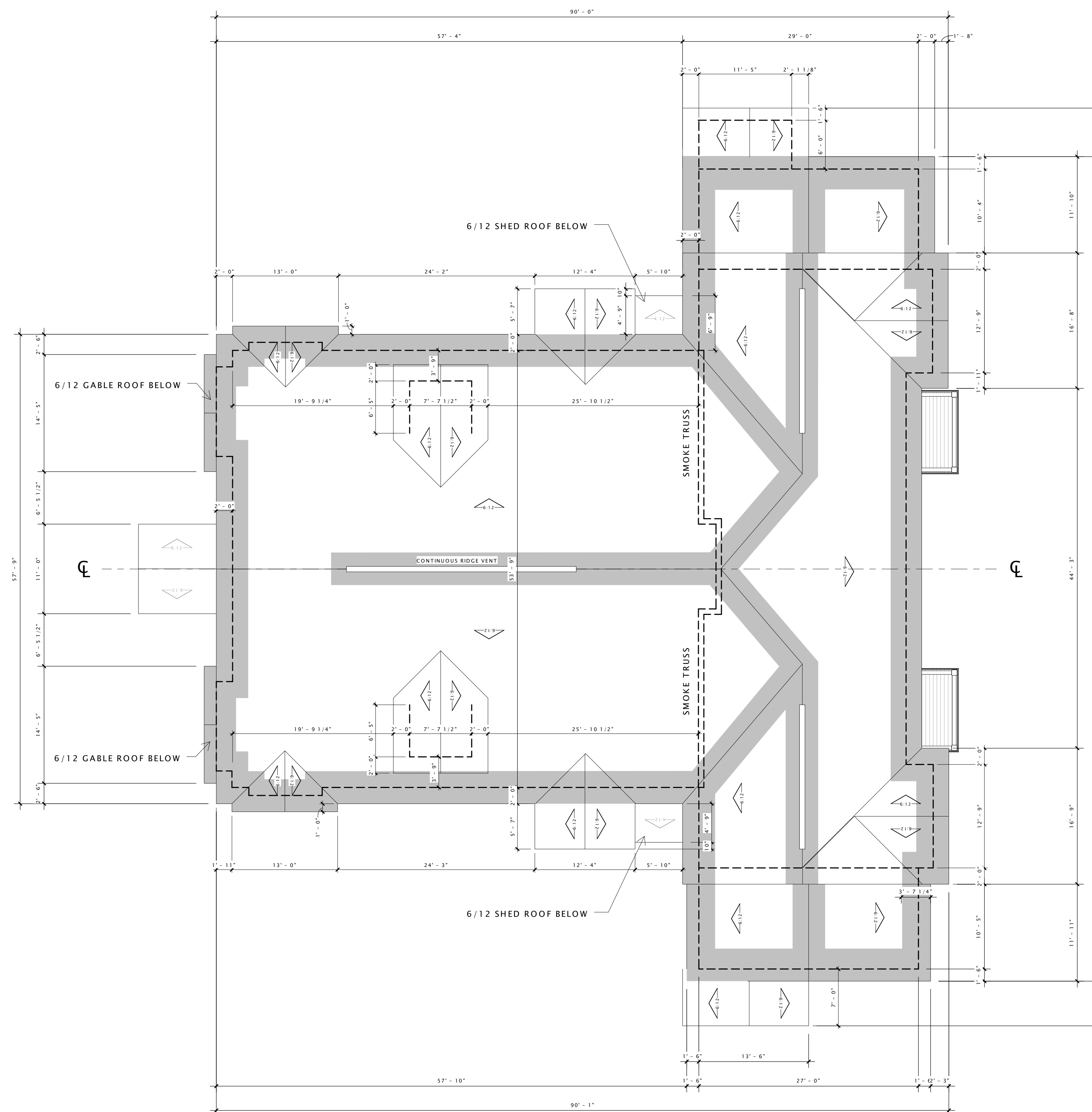
Revision Schedule		
Mark	Description	Date

SHEET TITLE

**ROOF PLAN -
BUILDING TYPE 'B'**

SHEET NUMBER

A109-B



1 ROOF PLAN - BUILDING 'B'
1/8" = 1'-0"



- 9" HORIZONTAL COMPOSITE SIDING (PELICAN)
- 6' X 8' VINYL SLIDING PATIO DOOR
- DECORATIVE BRACKET
- 3' X 6' SINGLE VINYL WINDOW
- 2'-6" X 2'-6" VINYL WINDOW
- 9" HORIZONTAL COMPOSITE SIDING (PELICAN)
- 9" VINYL SHAKES (SABLE BROWN)
- 6" COMPOSITE TRIM (LIGHT GRAY)
- BALCONY
- 9" HORIZONTAL COMPOSITE SHAKES (LIGHT GRAY)
- 2' X 2'-6" TRIPLE VINYL WINDOW
- 6" HORIZONTAL COMPOSITE SIDING (SMOKY ASH)
- STONE VENEER
- 3' X 6'-8" ENTRY DOOR (WOOD)

⑥ BUILDING 'B' - SIDE ELEVATION 1
3/16" = 1'-0"



⑩ BUILDING 'B' - SIDE ELEVATION 2
3/16" = 1'-0"

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS

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DATE OF ISSUANCE 6 APRIL, 2016

Mark	Revision Schedule	
	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A200-B

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS

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DATE OF ISSUANCE 6 APRIL, 2016

Mark	Revision Schedule	
	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A201-B



- DECORATIVE BRACKET
- 9" COMPOSITE SHAKES (LIGHT GRAY)
- 6" COMPOSITE TRIM (LIGHT GRAY)
- 3' X 6' DOUBLE VINYL WINDOW
- 9" COMPOSITE SIDING (PELICAN)
- BALCONY
- 6" COMPOSITE TRIM (LIGHT GRAY)
- 9" HORIZONTAL VINYL SIDING (SMOKY ASH)
- PRECAST CAP
- STONE VENEER
- 3' X 6' DOUBLE VINYL WINDOW
- 3' X 6'-8" ENTRY DOOR (WOOD)

6 BUILDING 'B' - FRONT ELEVATION
3/16" = 1'-0"



16 BUILDING 'B' - REAR ELEVATION
3/16" = 1'-0"

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS

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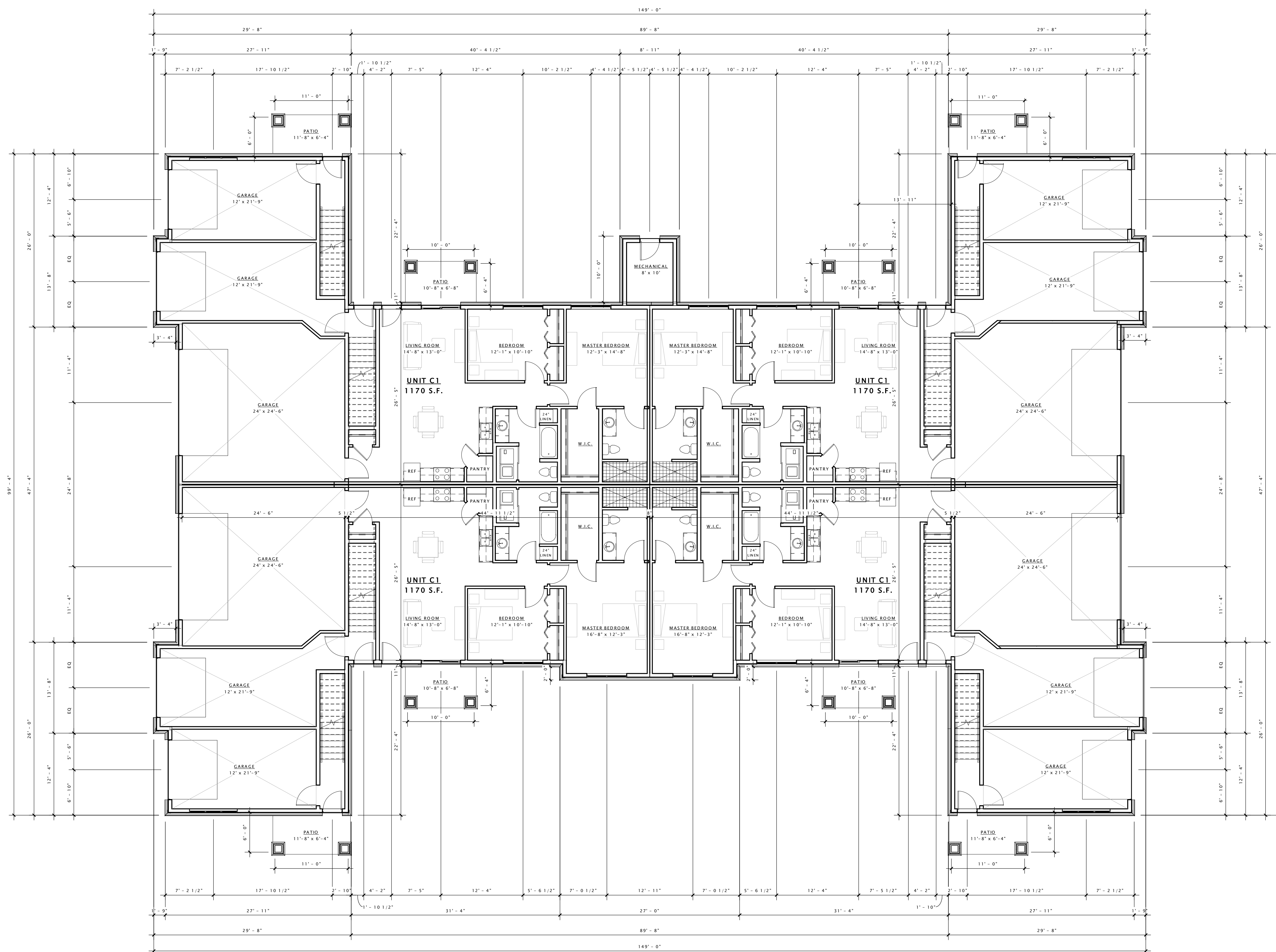
Revision Schedule		
Mark	Description	Date

SHEET TITLE

FIRST FLOOR PLAN -
BUILDING TYPE 'C'

SHEET NUMBER

A101-C



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PROGRESS DOCUMENTS

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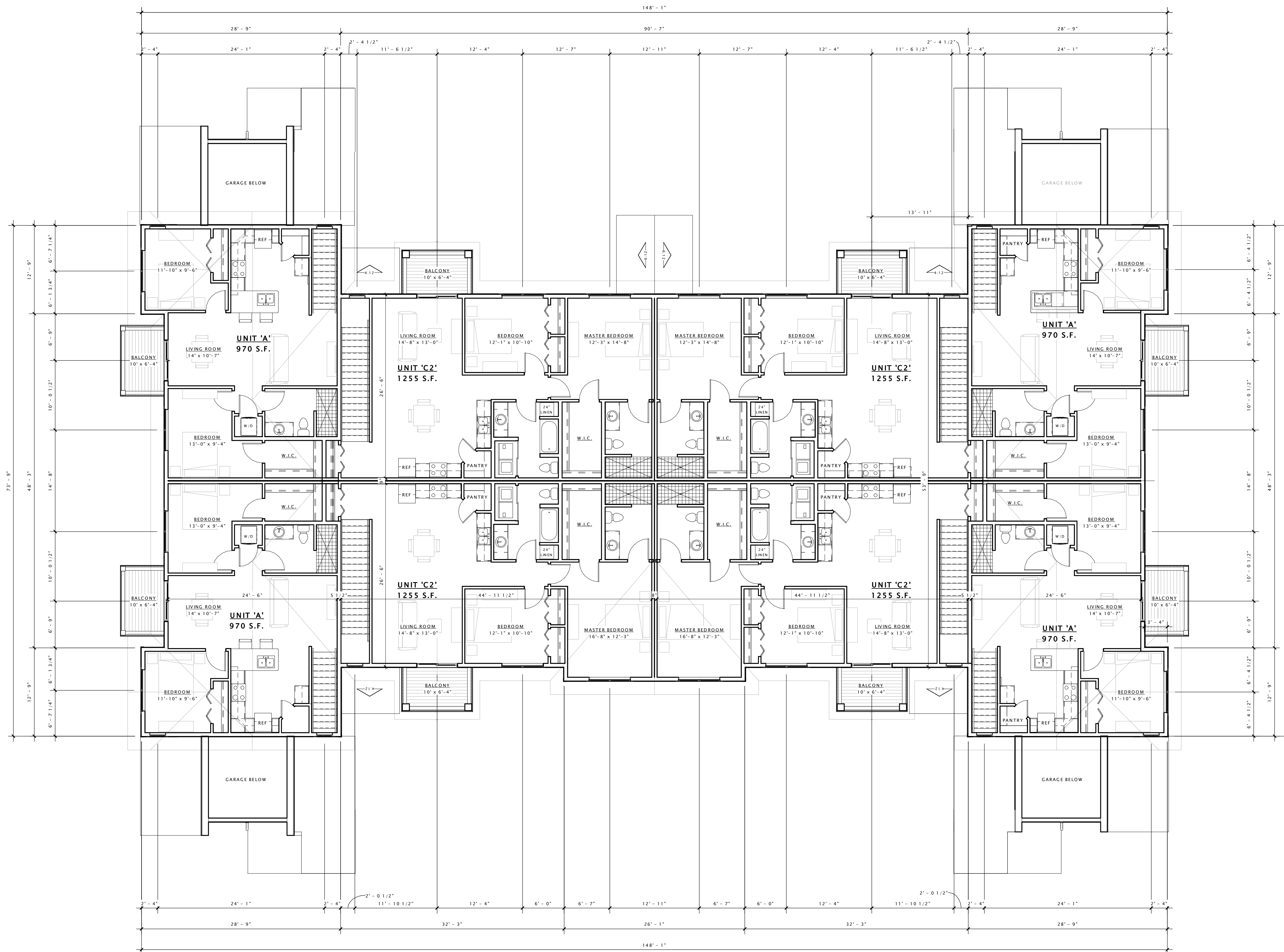
Revision Schedule		
Mark	Description	Date

SHEET TITLE

**SECOND FLOOR PLAN
- BUILDING TYPE 'C'**

SHEET NUMBER

A102-C



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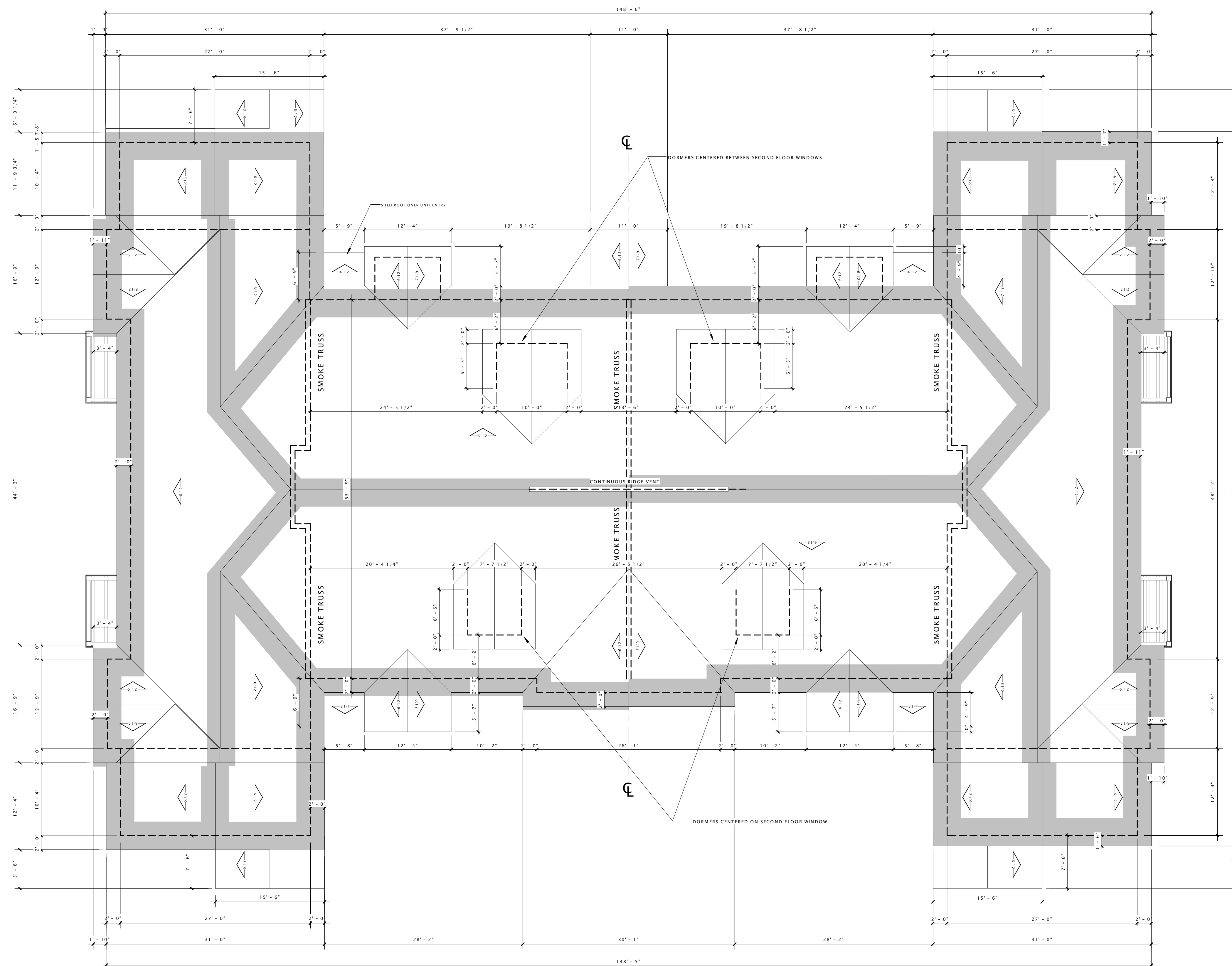
Revision Schedule		
Mark	Description	Date

SHEET TITLE

ROOF PLAN -
BUILDING TYPE 'C'

SHEET NUMBER

A109-C





- 2' X 2'-6" DOUBLE VINYL WINDOW
- 9" VINYL SHAKES (LIGHT GRAY)
- 6' X 8' VINYL PATIO DOOR
- 2'-6" X 4' VINYL SINGLE WINDOW
- 9" VINYL SHAKES (LIGHT GRAY)
- 9" HORIZONTAL COMPOSITE SIDING (PELICAN)
- 2'-6" X 2'-6" SINGLE VINYL WINDOW
- 6" COMPOSITE TRIM (WHITE)
- 6" HORIZONTAL COMPOSITE SIDING (SMOKY ASH)
- 2' X 2'-6" TRIPLE VINYL WINDOW
- STONE VENEER
- PRECAST CAP
- 3' X 6'-8" ENTRY DOOR (WOOD)
- 3' X 6' DOUBLE VINYL WINDOW

⑥ BUILDING 'C' - FRONT ELEVATION
1/8" = 1'-0"



①⑥ BUILDING 'C' - REAR ELEVATION
1/8" = 1'-0"

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS

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DATE OF ISSUANCE 6 APRIL, 2016

Mark	Revision Schedule	
	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A200-C

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS

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DATE OF ISSUANCE: 6 APRIL, 2016

Mark	Revision Schedule	
	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A201-C



- 3' X 6' DOUBLE VINYL WINDOW
- 6' X 8' VINYL PATIO DOOR
- 9" HORIZONTAL COMPOSITE SIDING (PELICAN)
- 6" COMPOSITE TRIM
- DECORATIVE BRACKET
- 9" VINYL SHAKES (SABLE BROWN)
- 3' X 6' DOUBLE VINYL WINDOW
- 6" COMPOSITE TRIM (LIGHT GRAY)
- 6" HORIZONTAL COMPOSITE SIDING (SMOKY ASH)
- 6" COMPOSITE TRIM (LIGHT GRAY)
- 7' X 16' OVERHEAD DOOR (TERRA BRONZE)
- PRECAST CAP
- STONE VENEER

⑥ BUILDING 'C' - SIDE ELEVATION 1
3/16" = 1'-0"



⑩ BUILDING 'C' - SIDE ELEVATION 2
3/16" = 1'-0"

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS

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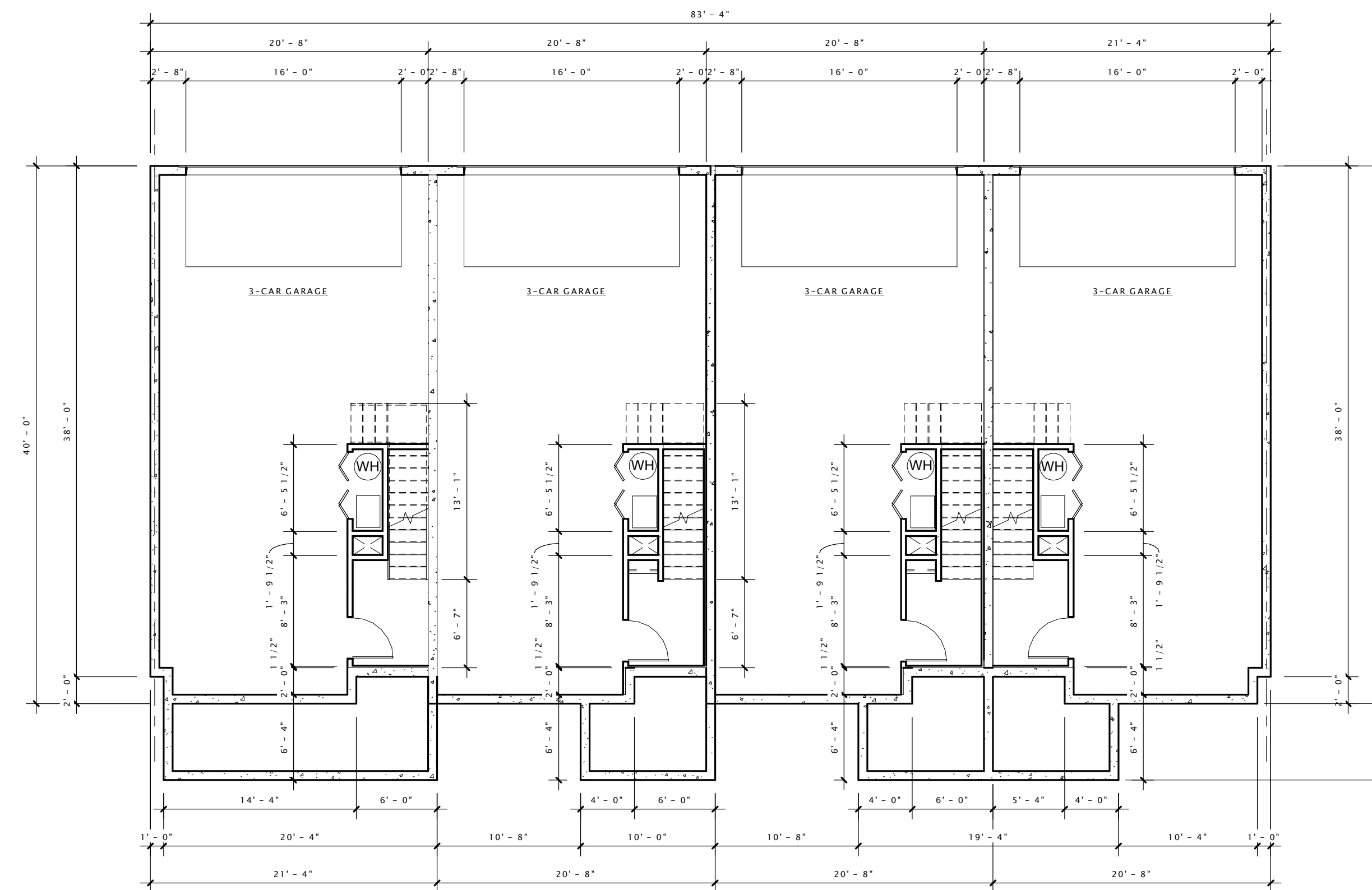
Revision Schedule		
Mark	Description	Date

SHEET TITLE

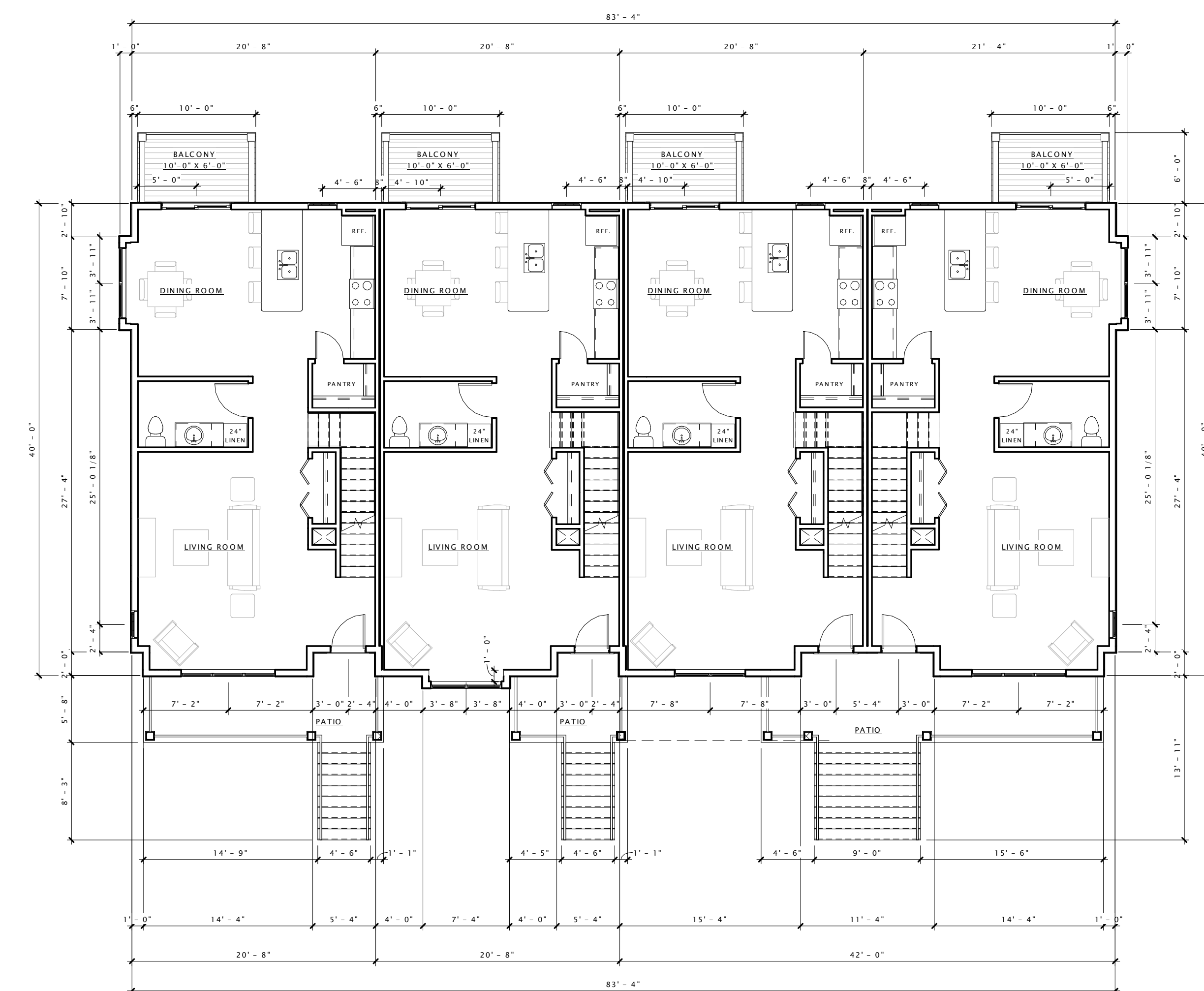
LOWER LEVEL & FIRST
FLOOR PLAN -
BUILDING TYPE 'D'

SHEET NUMBER

A101-D



① 00 - LOWER LEVEL PLAN - BUILDING 'D'
1/8" = 1'-0"



② FIRST FLOOR PLAN - BUILDING 'D'
1/8" = 1'-0"

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

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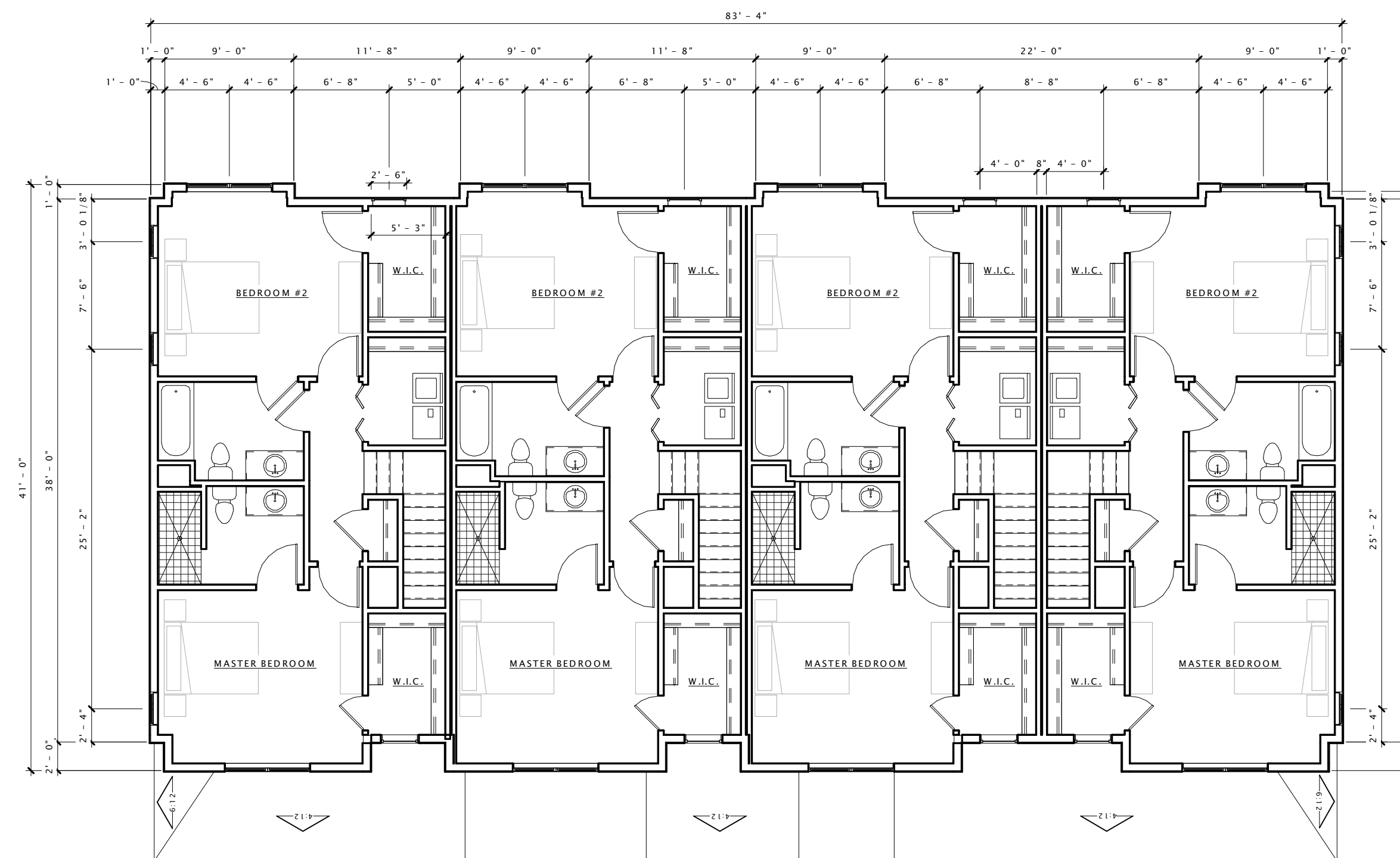
Revision Schedule		
Mark	Description	Date

SHEET TITLE

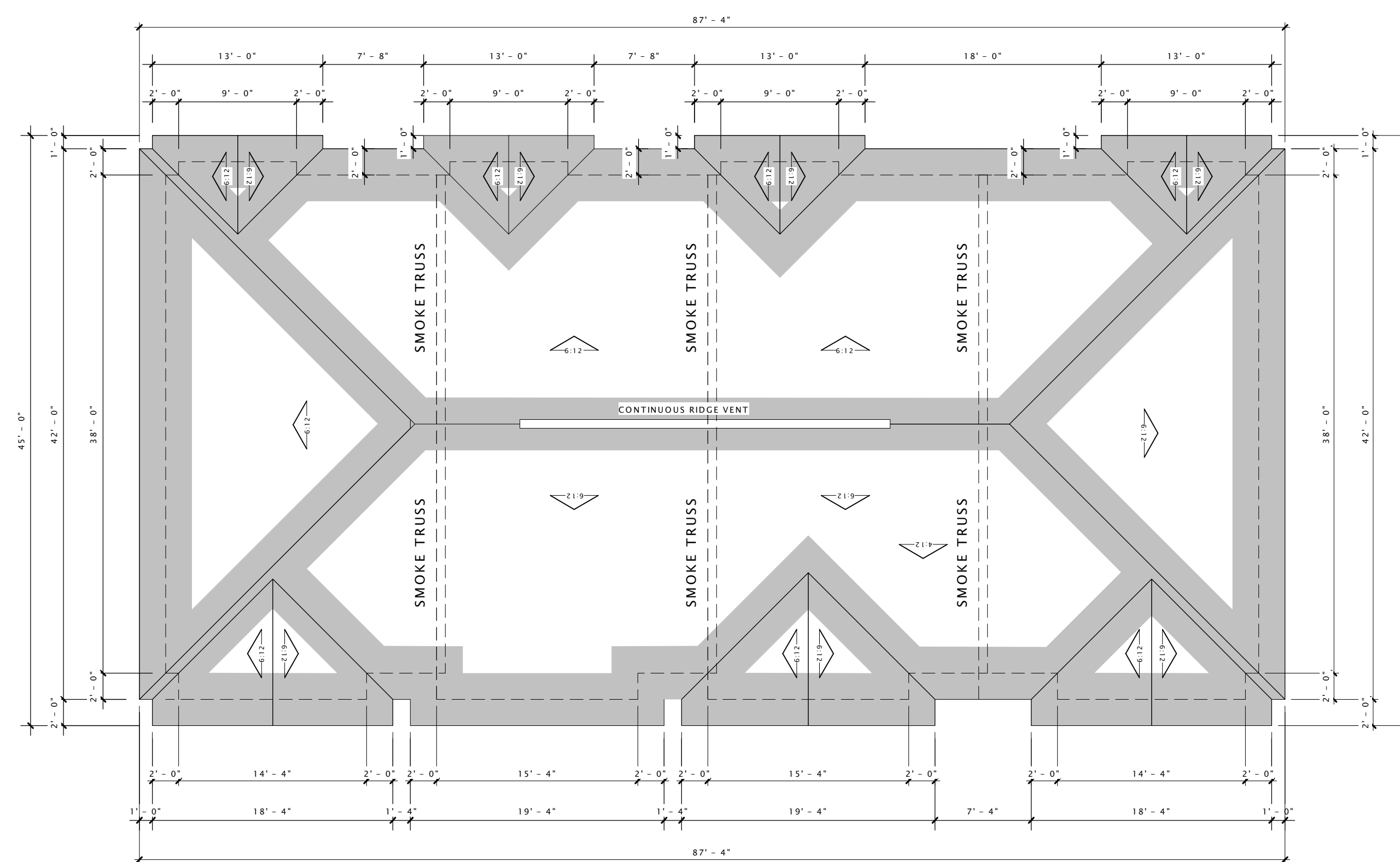
SECOND FLOOR &
ROOF PLAN -
BUILDING TYPE 'D'

SHEET NUMBER

A102-D



7 SECOND FLOOR PLAN - BUILDING 'D'
1/8" = 1'-0"



17 03 - ROOF PLAN - BUILDING 'D'
1/8" = 1'-0"



- 6" HORIZONTAL COMPOSITE SIDING (TERRA BRONZE)
- 2' X 2'-6" TRIPLE VINYL WINDOW (TERRA BRONZE)
- 6" HORIZONTAL SIDING (OYSTER SHELL)
- DECORATIVE CHIMNEY
- DECORATIVE BRACKET
- 9" VINYL SHAKES (CHOCOLATE)
- 3' X 6' DOUBLE VINYL WINDOW (TERRA BRONZE)
- 6" COMPOSITE TRIM (OYSTER SHELL)
- 2'-6" X 2'-6" VINYL WINDOWS (TERRA BRONZE)
- 3' X 6' TRIPLE VINYL WINDOW (TERRA BRONZE)
- PRECAST CAP
- STONE VENEER
- 3' X 6'-8" ENTRY DOOR (WOOD)
- 3' X 6' DOUBLE VINYL WINDOW (TERRA BRONZE)

6 BUILDING 'D' - FRONT ELEVATION
3/16" = 1'-0"



16 BUILDING 'D' - REAR ELEVATION
3/16" = 1'-0"

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

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DATE OF ISSUANCE 6 APRIL, 2016

Revision Schedule		
Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A200-D



- DECORATIVE CHIMNEY
- 2'-6" X 2'-6" VINYL WINDOW (TERRA BRONZE)
- 9" COMPOSITE SHAKES (CHOCOLATE)
- 2' X 2'-6" VINYL WINDOW (TERRA BRONZE)
- 6" HORIZONTAL COMPOSITE SIDING (MOUNTAIN CEDAR)
- 2'-6" X 3' VINYL WINDOW (TERRA BRONZE)
- 3' X 6' DOUBLE VINYL WINDOW (TERRA BRONZE)
- 6" COMPOSITE TRIM (OYSTER SHELL)
- BALCONY
- PRECAST CAP
- STONE VENEER

6 BUILDING 'D' - SIDE ELEVATION 1
3/16" = 1'-0"



16 BUILDING 'D' - SIDE ELEVATION 2
3/16" = 1'-0"

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

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Revision Schedule		
Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A201-D

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

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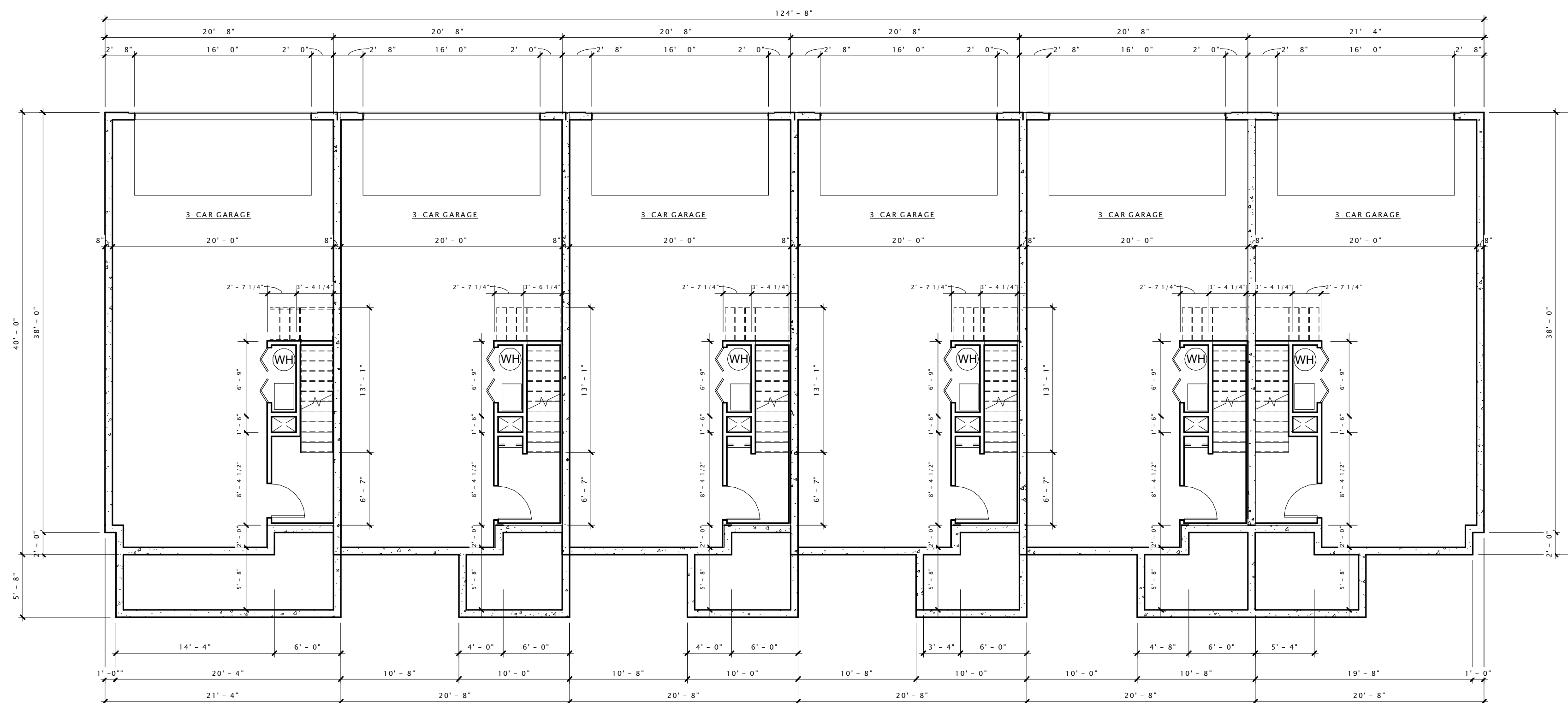
Revision Schedule		
Mark	Description	Date

SHEET TITLE

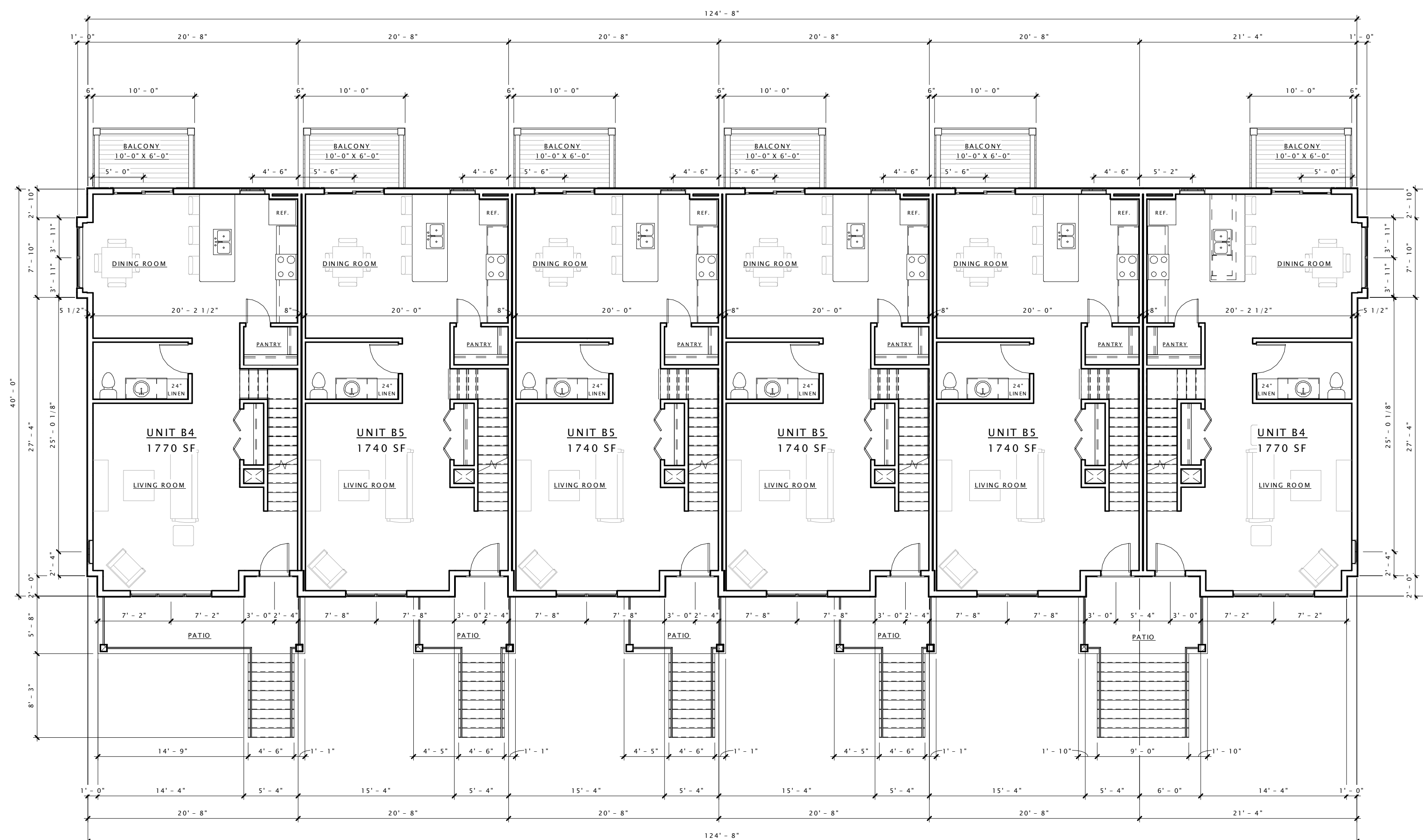
LOWER LEVEL & FIRST
FLOOR PLAN -
BUILDING TYPE 'E1'

SHEET NUMBER

A101-E1



15 00 - LOWER LEVEL PLAN - BUILDING 'E1'
1/8" = 1'-0"



16 FIRST FLOOR PLAN - BUILDING 'E1'
1/8" = 1'-0"

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS

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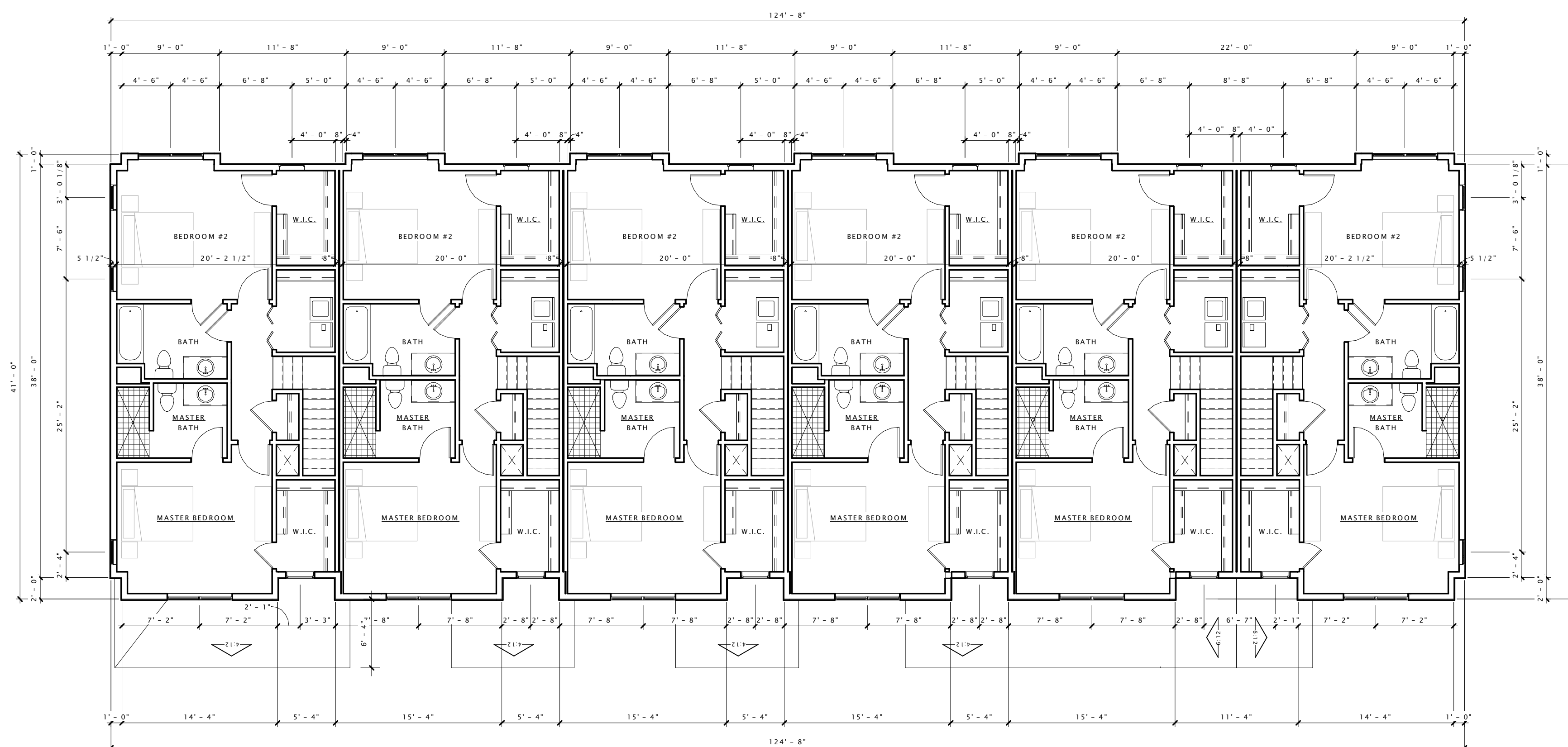
Revision Schedule		
Mark	Description	Date

SHEET TITLE

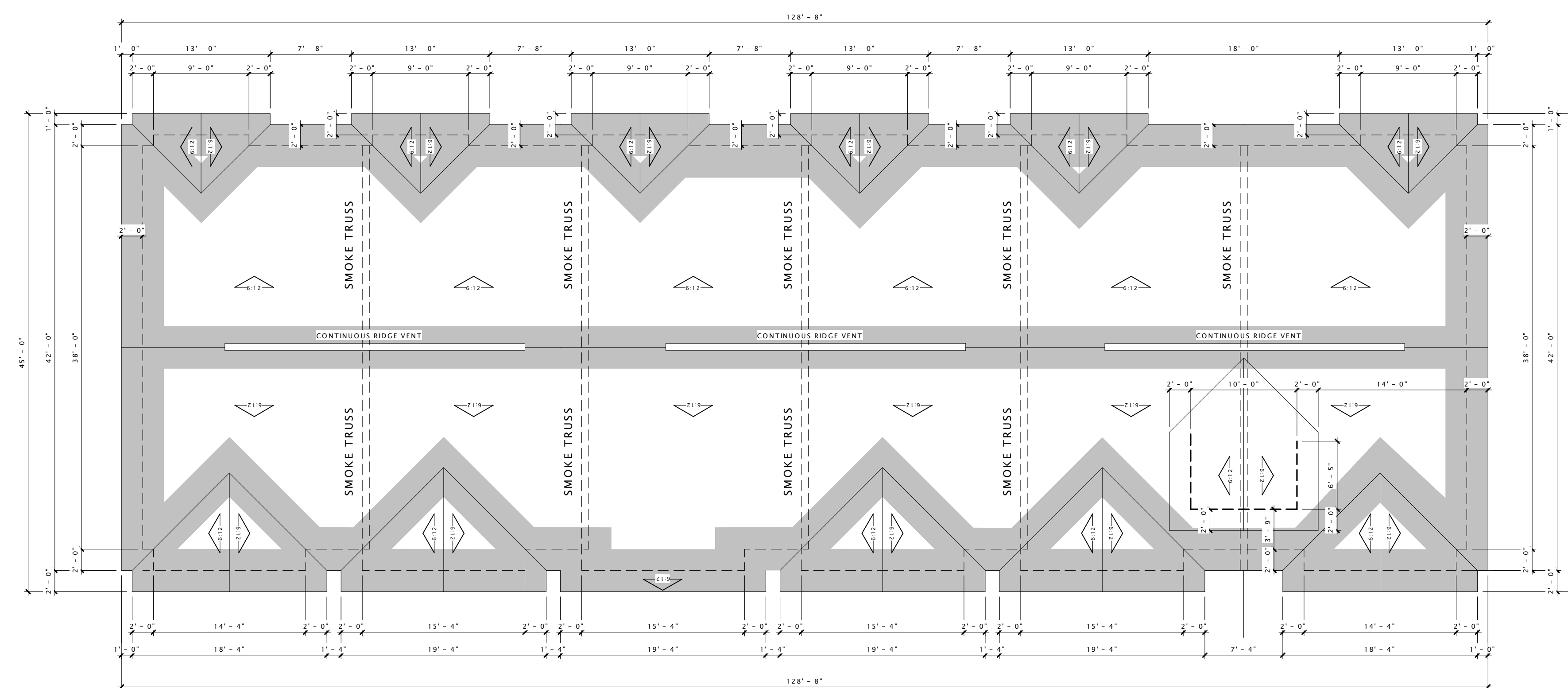
**SECOND FLOOR &
ROOF PLAN -
BUILDING TYPE 'E'**

SHEET NUMBER

A102-E1



⑥ SECOND FLOOR PLAN - BUILDING 'E'
1/8" = 1'-0"



⑩ 03 - ROOF PLAN - BUILDING 'E1'
1/8" = 1'-0"



- 6" HORIZONTAL COMPOSITE SIDING (TERRA BRONZE)
- 6" HORIZONTAL SIDING (OYSTER SHELL)
- DECORATIVE BRACKET
- 9" COMPOSITE SHAKES (COFFEE)
- 2' X 2'-6" TRIPLE VINYL WINDOW (TERRA BRONZE)
- 9" COMPOSITE SHAKES (COFFEE)
- 3' X 6' DOUBLE VINYL WINDOW (TERRA BRONZE)
- 6" COMPOSITE TRIM (OYSTER SHELL)
- 3' X 6' TRIPLE VINYL WINDOW (TERRA BRONZE)
- STONE VENEER
- 3' X 6'-8" ENTRY DOOR (WOOD)
- 2'-6" X 2'-6" VINYL WINDOW (TERRA BRONZE)
- 3' X 6' DOUBLE VINYL WINDOW (TERRA BRONZE)

⑥ BUILDING 'E' - FRONT ELEVATION
1/8" = 1'-0"

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

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DATE OF ISSUANCE 6 APRIL, 2016

Revision Schedule		
Mark	Description	Date



⑩ BUILDING 'E' - REAR ELEVATION
1/8" = 1'-0"

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A200-E1



- DECORATIVE BRACKET
- 2'-6" X 2'-6" VINYL WINDOW (TERRA BRONZE)
- 9" COMPOSITE SHAKES (COFFEE)
- 2'-6" X 2'-6" VINYL WINDOW (TERRA BRONZE)
- 6" HORIZONTAL COMPOSITE SIDING (TERRA BRONZE)
- 2'-6" X 4' VINYL WINDOW
- 6" COMPOSITE TRIM (OYSTER SHELL)
- BALCONY
- 3' X 6' DOUBLE BAY WINDOW (TERRA BRONZE)
- STONE VENEER

⑥ BUILDING 'E' - SIDE ELEVATION 1
3/16" = 1'-0"



⑩ BUILDING 'E' - SIDE ELEVATION 2
3/16" = 1'-0"

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

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Revision Schedule		
Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A201-E1

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

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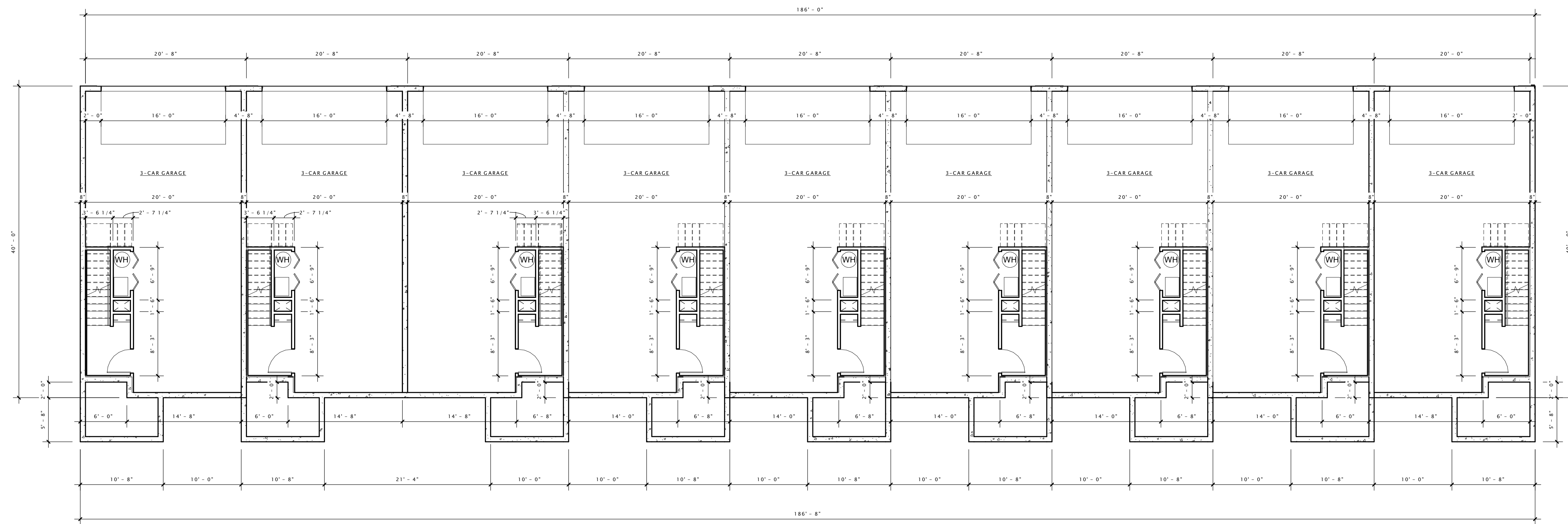
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Revision Schedule		
Mark	Description	Date

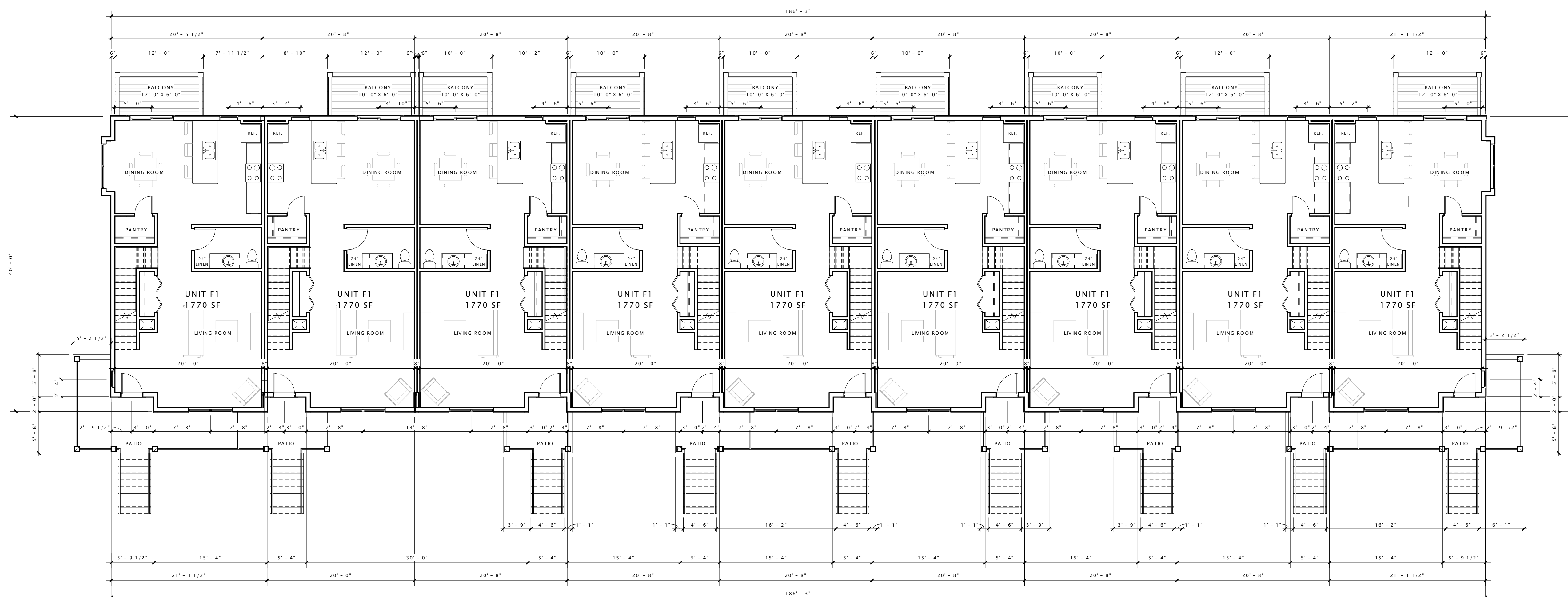
SHEET TITLE
**LOWER LEVEL & FIRST
FLOOR PLAN -
BUILDING TYPE 'F'**

SHEET NUMBER

A101-F



⑥ 00 - LOWER LEVEL PLAN - BUILDING 'F'
1/8" = 1'-0"



⑩ FIRST FLOOR PLAN - BUILDING 'F'
1/8" = 1'-0"

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS

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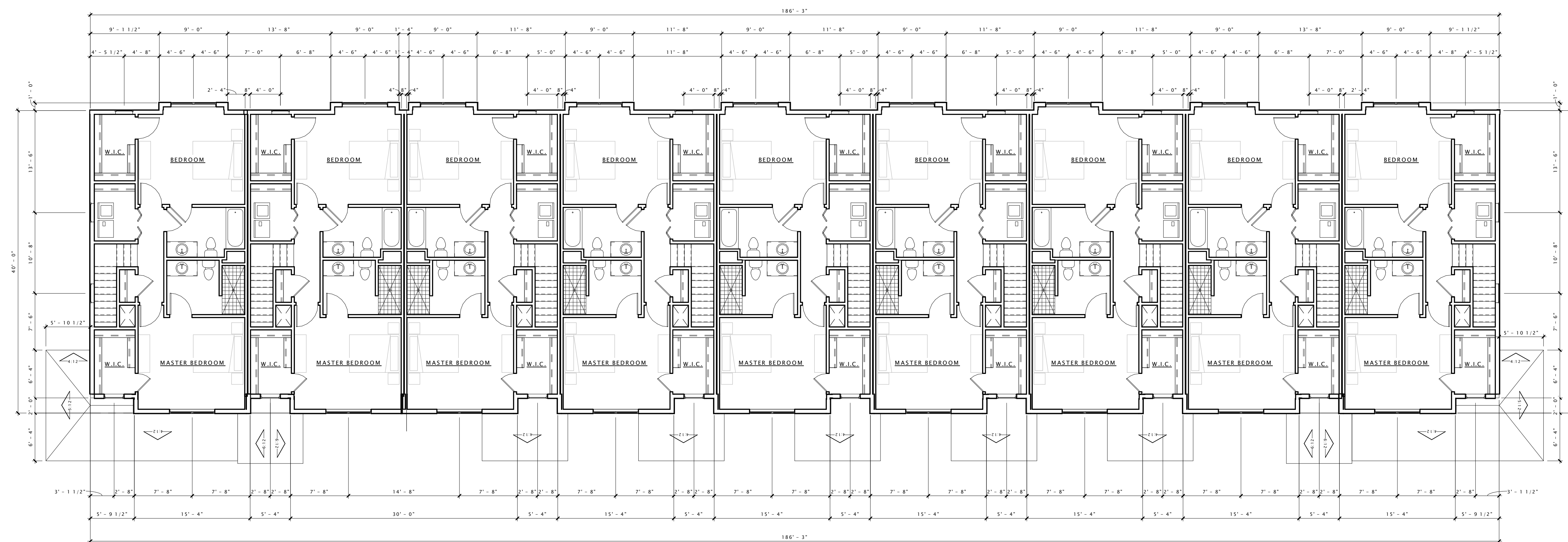
Revision Schedule		
Mark	Description	Date

SHEET TITLE

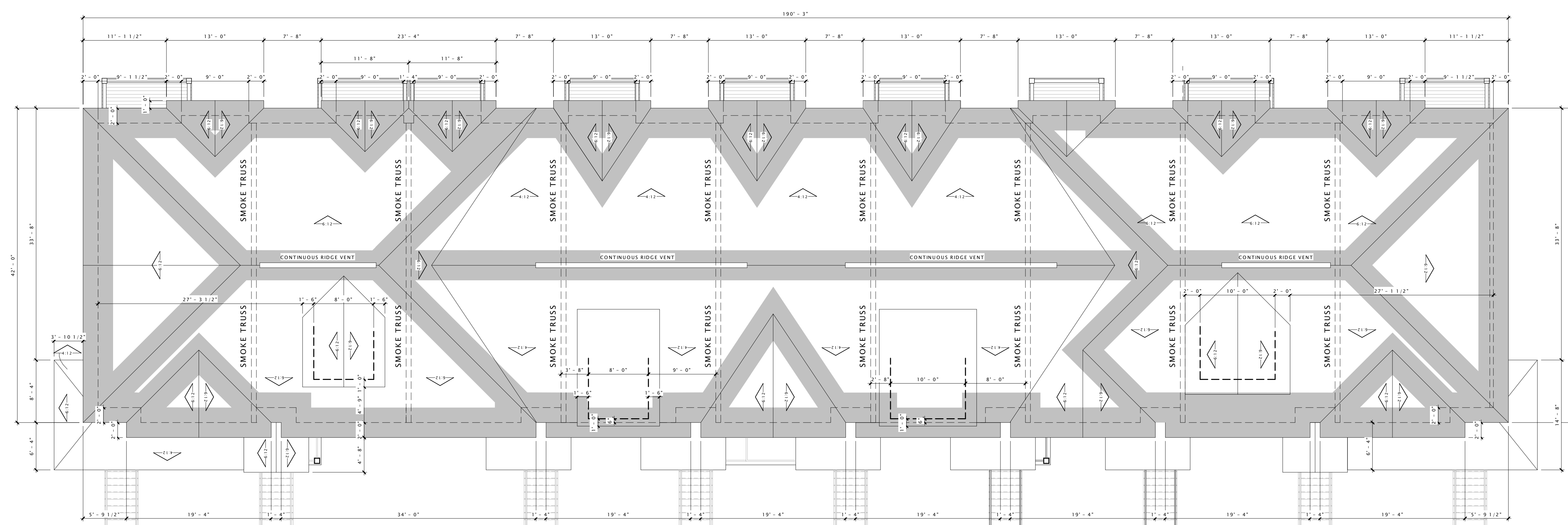
**SECOND FLOOR &
ROOF PLAN -
BUILDING TYPE 'F'**

SHEET NUMBER

A102-F



⑥ SECOND FLOOR PLAN - BUILDING 'F'
1/8" = 1'-0"



⑩ ROOF PLAN - BUILDING 'F'
1/8" = 1'-0"

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

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DATE OF ISSUANCE: 6 APRIL, 2016

Revision Schedule		
Mark	Description	Date

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A200-F



- 6" HORIZONTAL COMPOSITE SIDING (SMOKY ASH)
- 9" HORIZONTAL COMPOSITE SIDING (PELICAN)
- DECORATIVE BRACKET
- 9" COMPOSITE SHAKES (LIGHT GRAY)
- 2'-6" X 2'-6" VINYL WINDOW
- 3' X 6' DOUBLE VINYL WINDOW
- 6" COMPOSITE TRIM (LIGHT GRAY)
- 3' X 6' TRIPLE VINYL WINDOW
- 3' X 6'-8" ENTRY DOOR (WOOD)
- STONE VENEER
- 3' X 6' DOUBLE BAY WINDOW
- 2'-6" X 2'-6" VINYL WINDOW

6 BUILDING 'F' - FRONT ELEVATION
1/8" = 1'-0"



16 BUILDING 'F' - BACK ELEVATION
1/8" = 1'-0"



- 2'-6" X 2'-6" VINYL WINDOW
- 9" COMPOSITE SHAKES (LIGHT GRAY)
- 2'-6" X 2'-6" VINYL WINDOW
- 6" HORIZONTAL COMPOSITE SIDING (PELICAN)
- 6" HORIZONTAL COMPOSITE SIDING (TERRA BRONZE)
- 3' X 4' VINYL WINDOW
- 6" COMPOSITE TRIM (LIGHT GRAY)
- BALCONY
- 3' X 6' DOUBLE BAY WINDOW
- STONE VENEER

⑥ 160422 - 9 TOWNHOMES - FRONT ELEVATION
3/16" = 1'-0"



⑩ 160422 - 9 TOWNHOMES - REAR ELEVATION
1/8" = 1'-0"

DECKER PROPERTIES,
INC.

CATALINA CROSSING
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	Description	Date

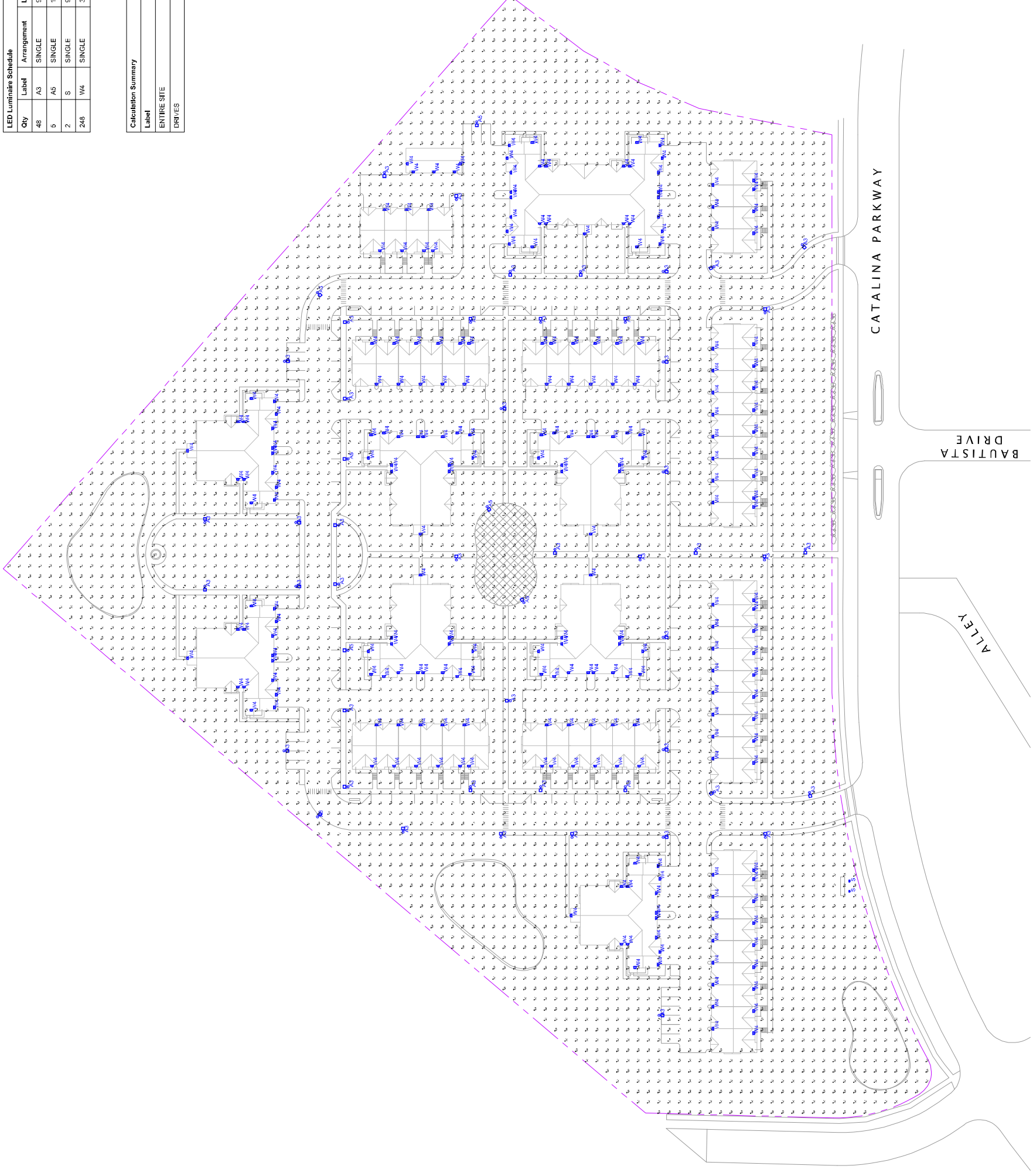
SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A201-F

LED Luminaire Schedule						
Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description
48	A3	SINGLE	9370	87	0.450	AMERLUX + (1) DT1_T3_AVL_HH (10' POLE, 2' BASE)
5	A5	SINGLE	10827	87	0.450	AMERLUX + (1) DT1_T5_AVL_HH (10' POLE, 2' BASE)
2	S	SINGLE	9432	85	0.500	LUMARK + NFFLD-A2E-L-68-S-RZ
248	W4	SINGLE	395	8	0.500	PROGRESS - 946067130X9

Calculation Summary

Label	Calc Type	Units	Avg	Max	Min	Avg/Min	Max/Min
ENTIRE SITE	ILLUMINANCE	Fc	0.61	7.8	0.0	N.A.	N.A.
DRIVES	ILLUMINANCE	Fc	1.13	7.8	0.0	N.A.	N.A.



CATALINA CROSSING
McFARLAND, WISCONSIN

SITE LIGHTING PLAN

DATE	MAY 10, 2016	SCALE	1" = 50'-0"	SHEET NUMBER	E1
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Enterprise Lighting Ltd
Manufacturers' Representative

Date: May 10, 2016

Enterprise Lighting, LTD.
2007 Pewaukee Rd.
Waukesha WI 53188
Phone: (262) 953-2700
Fax: (262) 953-2710

Job Name
Catalina Crossing
McFarland WI

Bid Date
Mar 30, 2016

Submittal Date
Mar 30, 2016

Submitted by Enterprise Lighting, LTD.



Job Name:
Catalina Crossing

Catalog Number:
D171-T3-AVI-4H

Notes:

Type:

A3

D171 LED LUMINAIRE

U.4.1.16

DESCRIPTION:

The D171 is a large scale teardrop style luminaire designed for use at mounting heights of 12' or greater. A precise injection molded acrylic refractor combined with a faceted aluminum reflector delivers IES Type III (**T3**) or Type V (**T5**) performance for roadway and area lighting applications. It requires one of the brackets shown below.

LED LUMINAIRE:

Multiple LED systems available with convection cooled driver, options for intensity, distribution and color. They operate with over voltage and short circuit protection and automatic voltage sensing for 120 to 277v input. (See next page for LED availability)

- 50,000+ hours of operational life
- Warm 3000K, neutral 4000K, or cool white 5000K color
- Dimmable (controller by others)
- Suitable for wet locations

ETL listed, suitable for wet locations.

INSTALLATION:

The luminaire will mount to the bracket with one thru bolt for security, and set screws for leveling and aligning the fixture.

LENS:

- Refractive acrylic or polycarbonate lens
- Specify Type III (**T3**) or Type V (**T5**) light distribution

FINISH:

Premium quality thermoset polyester powdercoat for a durable finish in the following:

Standard:

- BLK** - Satin Black
- CLB** - Classic Bronze
- GRN** - Green
- TBK** - Textured Black

Premium:

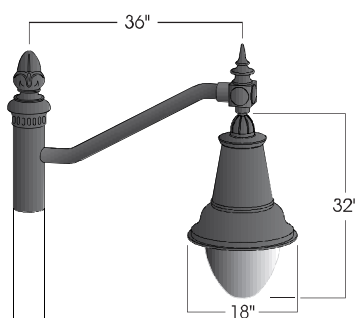
- ATC** - Antique Copper
- GTG** - Granite Green
- WHT** - White

D171
LED



PROJECT:

TYPE:



CBR01-1-36/ FIN-02/ D171
(For 4" or 5" OD poles)



CBR-33-D171
(Fits 4" OD tenon)

Ordering Information:

Model	Light Distribution	LED System	Order Code	Finish	Option
D171	T3 (Type III) T5 (Type V)	DSM	3VL,4VL,5VL 3L,4L,5L	ATC BLK CLB GRN GTG TBK WHT	PCL
		AVI	3H,4H,5H 3L,4L,5L		

Ordering options in **BOLD**



5 year limited warranty
AMERLUX LED



Part String

Example: **D131/AO21PC-CL/LSK-SY-3H/BLK**

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Amerlux reserves the right to change details that do not affect overall function and performance.



Submitted by Enterprise Lighting, LTD.



Job Name:
Catalina Crossing

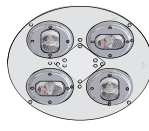
Catalog Number:
D171-T3-AVI-4H

Notes:

Type:


A3

LED Options (bold indicates ordering code)



LED System	Code	CCT	CRI	Light Engine Lumens	Nominal Input Power	Dimmable
DSM	3L	3,000K	80	5,700 lm	82W	0-10V
	4L	4,000K	80	5,800 lm		
	5L	5,000K	65	6,000 lm		
	3VL	3,000K	80	4,300 lm	58W	
	4VL	4,000K	80	4,500 lm		
	5VL	5,000K	65	4,800 lm		

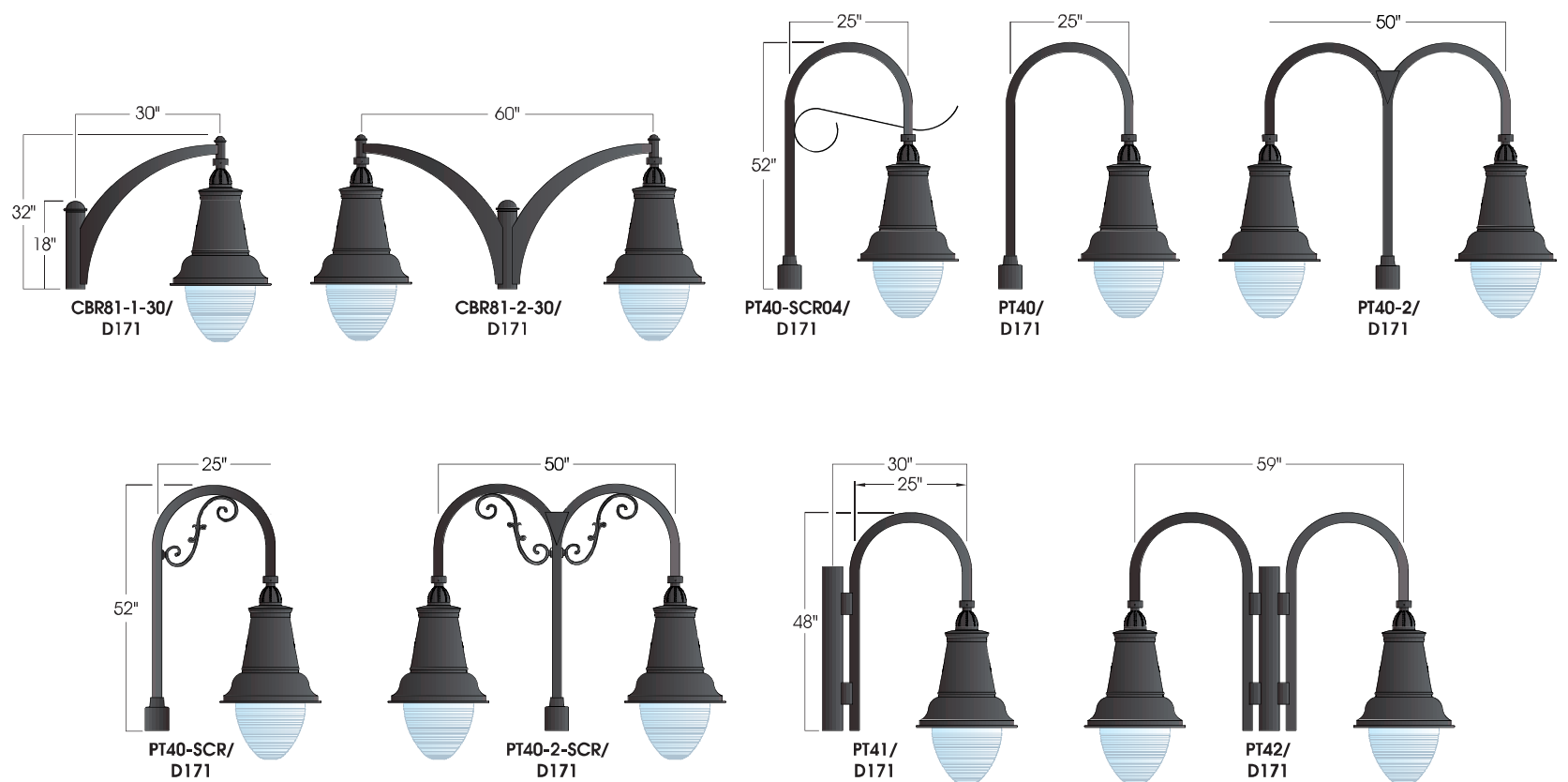
Example: D171/DSM-5H/BLK



LED System	Code	CCT	CRI	Light Engine Lumens	Nominal Input Power
AVI	3H	3,000K	80	4,450 lm	57W
	4H	4,000K	80	5,100 lm	
	5H	5,000K	70	5,870 lm	
	3L	3,000K	80	2,940 lm	41W
	4L	4,000K	80	3,460 lm	
	5L	5,000K	70	4,070 lm	

Example: D171/AVI-SY-3H/BLK

Mounting Options (Slip fits 4"OD tenon)



Submitted by Enterprise Lighting, LTD.



Job Name:
Catalina Crossing

Catalog Number:
D171-T3-AVI-4H

Notes:

Type:

A5

D171 LED LUMINAIRE

U.4.1.16

DESCRIPTION:

The D171 is a large scale teardrop style luminaire designed for use at mounting heights of 12' or greater. A precise injection molded acrylic refractor combined with a faceted aluminum reflector delivers IES Type III (**T3**) or Type V (**T5**) performance for roadway and area lighting applications. It requires one of the brackets shown below.

LED LUMINAIRE:

Multiple LED systems available with convection cooled driver, options for intensity, distribution and color. They operate with over voltage and short circuit protection and automatic voltage sensing for 120 to 277v input. (See next page for LED availability)

- 50,000+ hours of operational life
- Warm 3000K, neutral 4000K, or cool white 5000K color
- Dimmable (controller by others)
- Suitable for wet locations

ETL listed, suitable for wet locations.

INSTALLATION:

The luminaire will mount to the bracket with one thru bolt for security, and set screws for leveling and aligning the fixture.

LENS:

- Refractive acrylic or polycarbonate lens
- Specify Type III (**T3**) or Type V (**T5**) light distribution

FINISH:

Premium quality thermoset polyester powdercoat for a durable finish in the following:

Standard:

- BLK** - Satin Black
- CLB** - Classic Bronze
- GRN** - Green
- TBK** - Textured Black

Premium:

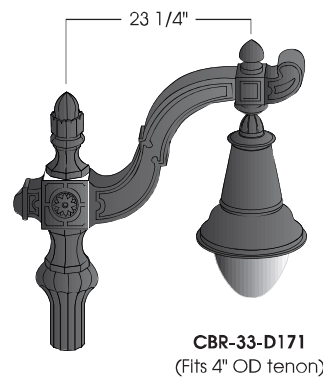
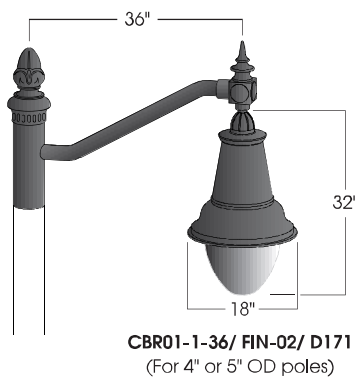
- ATC** - Antique Copper
- GTG** - Granite Green
- WHT** - White

D171
LED



PROJECT:

TYPE:



Ordering Information:

Model	Light Distribution	LED System	Order Code	Finish	Option
D171	T3 (Type III) T5 (Type V)	DSM	3VL,4VL,5VL 3L,4L,5L	ATC BLK CLB GRN GTG TBK WHT	PCL
		AVI	3H,4H,5H 3L,4L,5L		

Ordering options in **BOLD**



5 year limited warranty
AMERLUX LED



Part String

Example: **D131/AO21PC-CL/LSK-SY-3H/BLK**

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Amerlux reserves the right to change details that do not affect overall function and performance.



Submitted by Enterprise Lighting, LTD.



Job Name:
Catalina Crossing

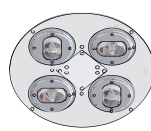
Catalog Number:
D171-T3-AVI-4H

Notes:

Type:

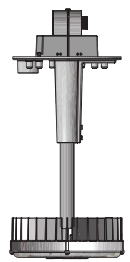
A5

LED Options (bold indicates ordering code)



LED System	Code	CCT	CRI	Light Engine Lumens	Nominal Input Power	Dimmable
DSM	3L	3,000K	80	5,700 lm	82W	0-10V
	4L	4,000K	80	5,800 lm		
	5L	5,000K	65	6,000 lm		
	3VL	3,000K	80	4,300 lm	58W	
	4VL	4,000K	80	4,500 lm		
	5VL	5,000K	65	4,800 lm		

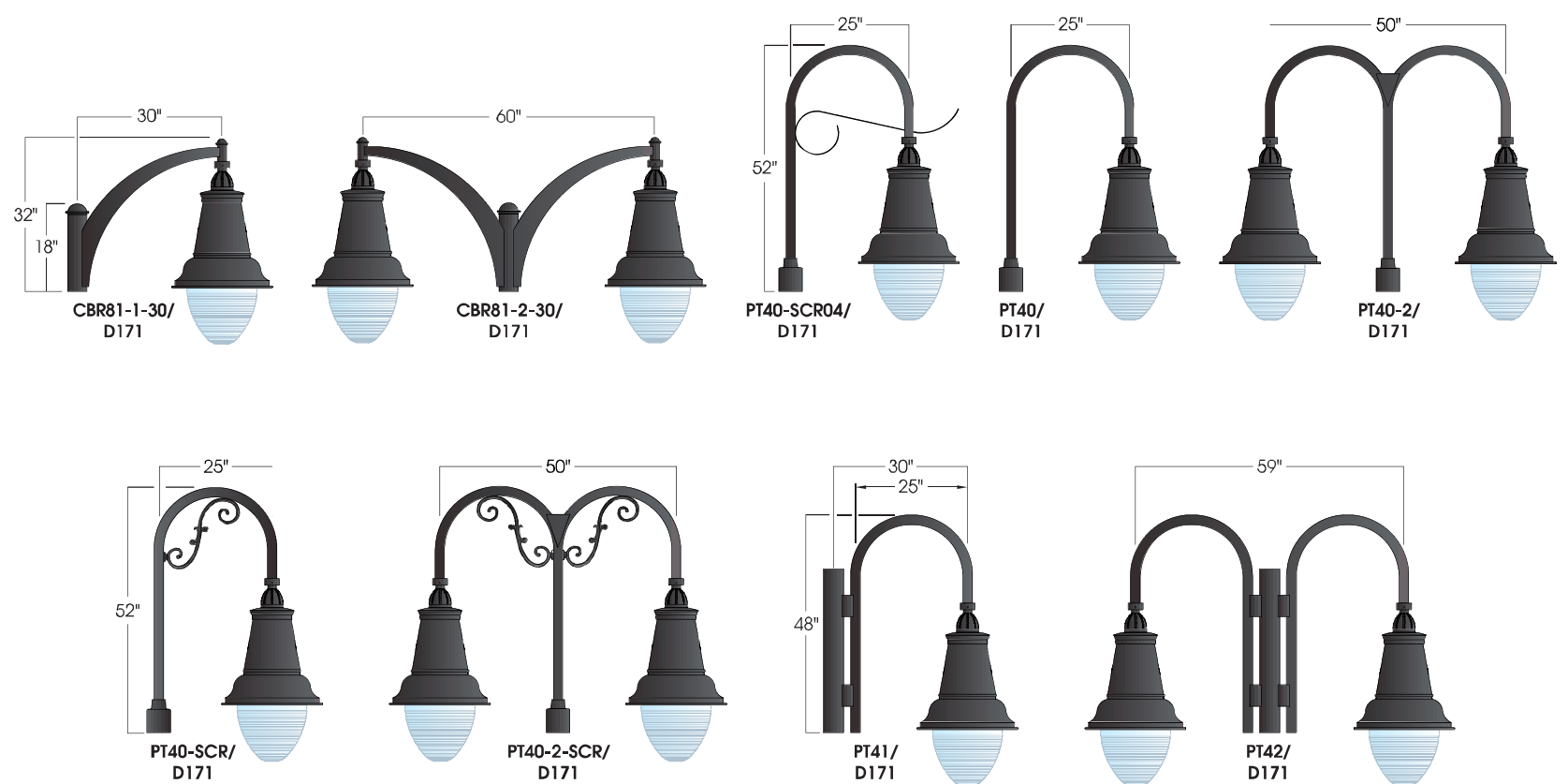
Example: D171/DSM-5H/BLK



LED System	Code	CCT	CRI	Light Engine Lumens	Nominal Input Power
AVI	3H	3,000K	80	4,450 lm	57W
	4H	4,000K	80	5,100 lm	
	5H	5,000K	70	5,870 lm	
AVI	3L	3,000K	80	2,940 lm	41W
	4L	4,000K	80	3,460 lm	
	5L	5,000K	70	4,070 lm	

Example: D171/AVI-SY-3H/BLK

Mounting Options (Slip fits 4"OD tenon)



Submitted by Enterprise Lighting, LTD.



Job Name:
Catalina Crossing

Catalog Number:
NFFLD-A25-E-UNV-66-S-BZ

Type:

S

Notes:

LUMARK® energy solutions

DESCRIPTION

The Night Falcon™ LED floodlight luminaire combines high-efficiency optics, superior thermal management and energy efficiency in a cost-effective solution. The compact, robust design incorporates a separate driver compartment for maximum heat dissipation to insure longevity of both the fixture and the LEDs. The Night Falcon luminaire uses precision engineered optics delivering superior uniformity and excellent illumination to the targeted application. Typical applications include area lighting for security, building facade lighting, accent and signage lighting in both commercial and industrial applications. The Night Falcon luminaire is UL/cUL listed for wet locations and is IP66 rated.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Construction

Heavy-duty, die cast aluminum housing, driver compartment and driver housing door. A separate driver compartment and external fins provide optimal thermal management that result in longer LED and driver life. The housing, driver compartment and optical chamber are IP66 rated. Access to the driver for maintenance is achieved with a removable driver door using pan head screws. A one-piece silicone gasket seals the door to the fixture housing. The fixture is 3G vibration rated (ANSI C136.31) to ensure durability in area and site lighting applications.

Optics

The LED chamber incorporates a vacuum metalized reflector that provides high-efficiency illumination. Optics are precisely designed to shape the wide NEMA type 6H x 6V distribution, maximizing efficiency and application spacing. Clear glass tempered lens with full circumference form-in-place silicone gasket protects the optics from damage. Offered standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 5700K CCT and 3000K CCT and minimum 70 CRI are available.

Electrical

LED driver is mounted to the removable die-cast aluminum door for optimal heat sinking and ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. Integral 6kV surge is standard. 10kV/10kA common- and differential- mode surge protection available as an option. 0-10V dimming driver is available to accommodate controls capability such as dimming and occupancy. Standard NEMA 3-PIN twistlock photocontrol receptacle and NEMA 7-PIN twistlock photocontrol receptacles are available as options. Suitable for ambient temperatures from -40°C to 40°C. Optional 50°C HA (high ambient) available. 90% lumen maintenance greater than 50,000 hours per IESNA TM-21.

Accessories

Heavy-duty steel top and side visors control glare and spill light. 1/8" thick UV stabilized vandal guard shields glass lens from impact when mounted at low levels. Easy to install wire guard features a heavy-gauge welded construction with corrosion resistant polyester powder coat finish to protect glass from projected objects.

Mounting

Mounting options include an integral die-cast aluminum slipfitter that is preset to a tilt of 45°. The knuckle base is supplied with a tooth lock adjustment that can be adjusted in 5° increments to provide flexibility in aiming the fixture from a variety of surfaces. Visual 15° adjustment indicators on the knuckle allow for 180° field rotation of the floodlight assembly. The slipfitter fits standard 2-3/8"-3" O.D. tenon. The trunnion mounting includes a 3/16" polyester powder coated galvanized steel trunnion with a 16/3 SOW cord. The trunnion mount uses an interlocking slide adjustment that is locked into place with a set screw.

Finish

Housing and cast parts finished in five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard color is carbon bronze. Additional colors available in summit white, grey and black. Consult your Eaton's Cooper Lighting business representative for a complete selection of standard colors.

Warranty

Five-year warranty.



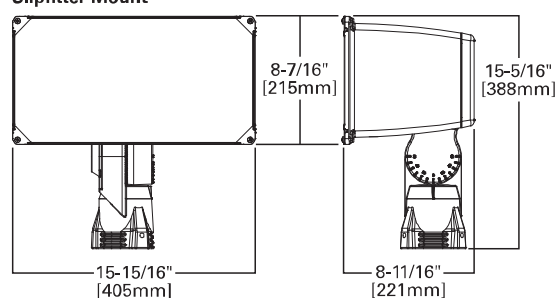
NFFLD NIGHT FALCON

Solid State LED

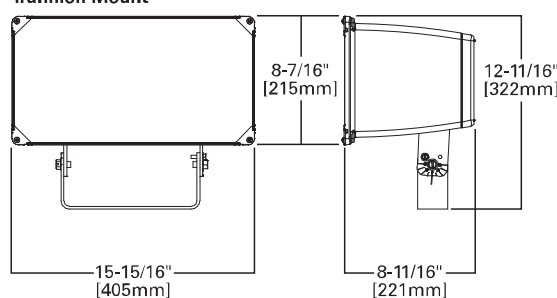
FLOODLIGHT

DIMENSIONS

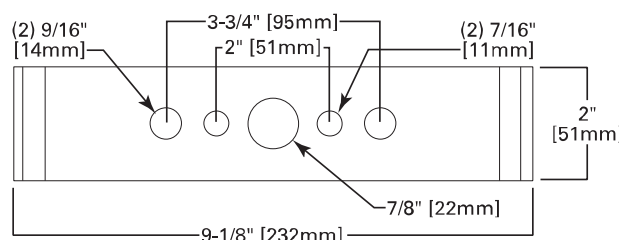
Slipfitter Mount



Trunnion Mount



TRUNNION MOUNT DRILL PATTERN



Cooper Lighting
by **EATON**

CERTIFICATION DATA

UL/cUL Wet Location Listed
IP66 Fixture and Optical Chamber
LM79/LM80 Compliant
3G Vibration Rated
RoHS Compliant

ENERGY DATA

Electronic LED Driver
> 0.9 Power Factor
< 20% Total Harmonic Distortion
120V 50/60Hz, 347V/60Hz and 480V/60Hz
-40°C Minimum Ambient Temperature Rating
+40°C Maximum Ambient Temperature Rating

EPA

Effective Projected Area (Sq. Ft.): 1.25

SHIPPING DATA

Approximate Net Weight:
20 lbs. (9.09 kgs.)



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Submitted by Enterprise Lighting, LTD.



Job Name:
Catalina Crossing

Catalog Number:
NFFLD-A25-E-UNV-66-S-BZ

Type:

S

Notes:

NFFLD NIGHT FALCON

POWER AND LUMENS

A25 LED	NFFLD-A25	NFFLD-A25-7060	NFFLD-A25-7030
Delivered Lumens	9,432	9,937	9,297
CCT (Kelvin)	4000K	5700K	3000K
CRI (Color Rendering Index)	70	70	70
NEMA Distribution (H x V)	6 x 6 Wide	6 x 6 Wide	6 x 6 Wide
Power Consumption (Watts)	85W	85W	85W
A40 LED	NFFLD-A40	NFFLD-A40-7060	NFFLD-A40-7030
Delivered Lumens	14,683	15,468	14,473
CCT (Kelvin)	4000K	5700K	3000K
CRI (Color Rendering Index)	70	70	70
NEMA Distribution (H x V)	6 x 6 Wide	6 x 6 Wide	6 x 6 Wide
Power Consumption (Watts)	129W	129W	129W

CURRENT DRAW

Voltage (V)	Model Series	
	NFFLD-A25	NFFLD-A40
	Current (A)	Current (A)
120V	1.105	1.697
208V	0.725	1.074
240V	0.631	0.973
277V	0.556	0.879
347V	0.372	0.591
480V	0.275	0.434

LUMEN MULTIPLIER

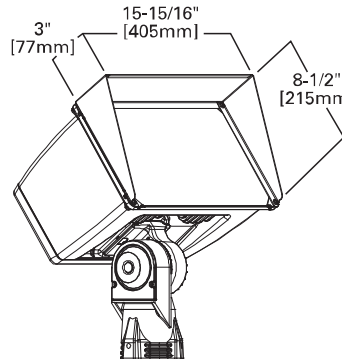
Ambient Temperature	Lumen Multiplier
10°C	1.04
15°C	1.03
25°C	1.00
40°C	0.96
50°C	0.92

LUMEN MAINTENANCE

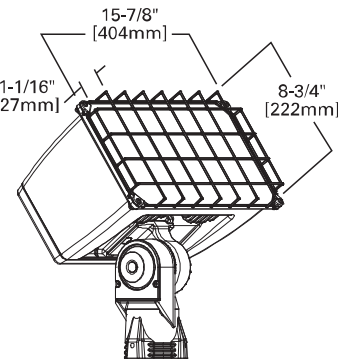
Ambient Temperature	TM-21 Lumen Maintenance (50,000 Hours)	Theoretical L70 (Hours)
NFFLD-A25		
25°C	> 93%	> 300,000
40°C	> 93%	> 295,000
50°C	> 92%	> 285,000
NFFLD-A40		
25°C	> 93%	> 290,000
40°C	> 92%	> 285,000
50°C	> 92%	> 280,000

ACCESSORIES

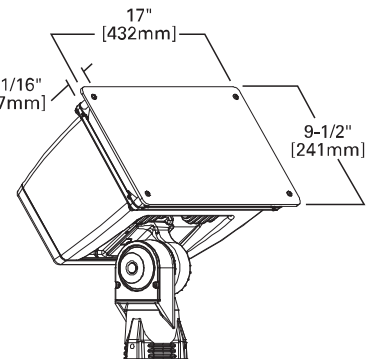
Top and Side Visors



Wire Guard



Vandal Shield



ORDERING INFORMATION

Sample Number: NFFLD-A40-E-UNV-66-S-CB-PER

Product Family	Light Engine ¹	Driver ²	Voltage	Distribution	Mounting	Color
NFFLD=Night Falcon LED Floodlight	A25=9,400 Nominal Lumens A40=14,600 Nominal Lumens	E=Non-Dimming D=Dimming (0-10V)	UNV=120-277V 347=347V ³ 480=480V ³	66=NEMA 6H x6V Wide	S=Slipfitter ⁴ T=Trunnion	CB=Carbon Bronze (Standard) BK=Black AP=Grey WHT=Summit White BZ= Bronze
Options (Add as Suffix)			Accessories (Order Separately) ⁷			
7030=70 CRI / 3000K ⁵ 7060=70 CRI / 5700K ⁵ PER=NEMA 3-PIN Twistlock Photocontrol Receptacle PER7=NEMA 7-PIN Twistlock Photocontrol Receptacle ⁶ 10K=10kV/10kA UL 1449 Surge Protective Device HA=50°C High Ambient Temperature D10=<10% Dimming			FA63=3" O.D. Surface Mount Bracket ⁸ OA1223=10kV/10kA UL 1449 Surge Protective Device Replacement OA/RA1013=Photocontrol Shorting Cap OA/RA1014=NEMA Photocontrol - 120V OA/RA1016=NEMA Photocontrol - Multi-Tap OA/RA1027=NEMA Photocontrol - 480V OA/RA1201=NEMA Photocontrol - 347V RAB-XX=Right Angle Pipe Bracket for Slipfitter SAB-XX=Steel Angle Bracket for Trunnion TYS-XX=Slipfitter Adapter for 2-3/8", 3" or 3-1/2" O.D. Tenon ⁹ TS2/NFFLD-XX=Top and Side Visors ¹⁰ VS/NFFLD=Vandal Shield ¹⁰ WG/NFFLD=Wire Guard ¹⁰			

NOTES:

- Standard 4000K CCT and minimum 70 CRI. Consult IES file for actual lumen output.
- Consult factory for driver surge protection values.
- Not recommended for use with ungrounded, delta configured systems.
- Fits 2-3/8" to 3" O.D. tenon, wire leads run through slipfitter.
- Extended lead times apply. Use dedicated IES files for 3000K and 5700K when performing layouts. These files are published on the Night Falcon luminaire product page on the website.
- Must order with dimming driver.
- Replace XX with color designation. Additional brackets and adaptors available on the poles product page on the website.
- Not available with tenon mount.
- Not available with slipfitter mount.
- Cannot combine TS2 (Top and Side Visor), VS (Vandal Shield), or WG (Wire Guard), limited to one external guard per fixture.

STOCK ORDERING INFORMATION

Stock Sample Number: NFFLD-A40-S

Series	Light Engine	Mounting	Voltage
NFFLD=Night Falcon	A25=9,400 Nominal Lumens A40=14,600 Nominal Lumens	S=Slipfitter T=Trunnion	[BLANK]=120-277V 347=347V

NOTES: Options not available with stock products. Order accessories as separate items for field installation. Refer to standard ordering information to add options. Refer to In-Stock Guide for availability. Stock fixture is 4000K, non-dimming, 120-277V or 347V, carbon bronze only.

Cooper Lighting
by **EATON**

Eaton
1000 Eaton Boulevard
Cleveland, OH 44122
United States
Eaton.com

Eaton's Cooper Lighting Business
1121 Highway 74 South
Peachtree City, GA 30269
P: 770-486-4800
www.cooperlighting.com

Specifications and dimensions subject to change without notice.

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Submitted by Enterprise Lighting, LTD.



Job Name:
Catalina Crossing

Catalog Number:
P6067-3130K9

Type:

W4

Notes:



Project: _____

Fixture Type: _____

Location: _____

Contact: _____

ARRIVE

Wall mount • Wet location listed



Specifications:

P6067-3130K9

Description:

Arrive LED lanterns feature a die-cast aluminum, powder coated frame and heavily textured glass. One-light small wall lantern. 90+ CRI, 3000K, 623 lumens. Energy Star.

Images:



Construction:

- Black (-31) (painted)
- Clear Seeded glass panels
- LED Module is replaceable (part # 93054049)
- Flicker-free dimming to 10% brightness with most ELV type dimmers (See Dimming Notes)
- Title 24 compliant
- Back plate covers a standard 4" hexagonal recessed outlet box
- Mounting strap for outlet box included
- Six inches of wire supplied

Performance:

Number of Modules	1
Input Power	9W
Input Voltage	120V
Input Frequency	60Hz
Lumens/LPW	623/69.2 (LM-79) per module
CCT	3000K
CRI	90
Life	60,000 (L70/TM-21)
EMI/RFI	FCC Title 47, Part 15, Class B
Min. Start Temp	-30 C
Max. Operating Temp	30 C
Warranty	5 year warranty
Labels	cCSAus Wet location listed ENERGY STAR® qualified

Dimensions:

Width: 6"
Height: 8-3/4"
Depth: 7-3/8"
H/CTR: 4"

Catalog number:

Base

P6067

Finish

31 - Black

Color Temp

30K - 3000K

CRI

9 - 90 CRI

For more information visit our website: www.progresslighting.com

Progress Lighting • 701 Millennium Boulevard • Greenville, SC 29607

Submitted by Enterprise Lighting, LTD.



Enterprise Light
Manufacturers' Repres

Job Name:
Catalina Crossing

Catalog Number:
P6067-3130K9

Notes:

Type:

W4



ARRIVE

Wall mount • Wet location listed

PROGRESS **LED**



P6067-3130K9

Dimming Notes:

P6067 is designed to be compatible with many Electronic Low Voltage (ELV-Reverse Phase) controls.

The following is a partial list of known compatible dimmer controls:

Electronic Low Voltage ELV Reverse Phase Controls

Lutron	Diva Series	(Part Number DVELV-300P)
Lutron	Nova T Series	(Part Number NTELV-300)
Lutron	Vierti Series	(Part Number VTELV-600)
Lutron		(Part Number MAELV-600)
Lutron		(Part Number SPELV-600)
Leviton		(Part Number AWRMG-EAW)
Leviton		(Part Number 6615-P)

Digital type dimmers are not recommended.

Dimming capabilities will vary depending on the dimmer control, load, and circuit installation.
Always refer to dimmer manufacturer instructions or a controls specialist for specific requirements.

Dimmer control brand names where identified above are trade names or registered trademarks of each respective company.