



REFERENCE AERIAL



ENTRANCE TO PARCEL



EXISTING BUILDING ON PARCEL



VIEW TO SOUTHERN END OF PARCEL



EXISTING FIRE LANE ACCESS



EXISTING ACCESS TO ADJACENT PARCEL

UNIVERSITY AVE MIXED-USE  
EXISTING CONDITIONS - IMAGE BOARD 1







REFERENCE AERIAL



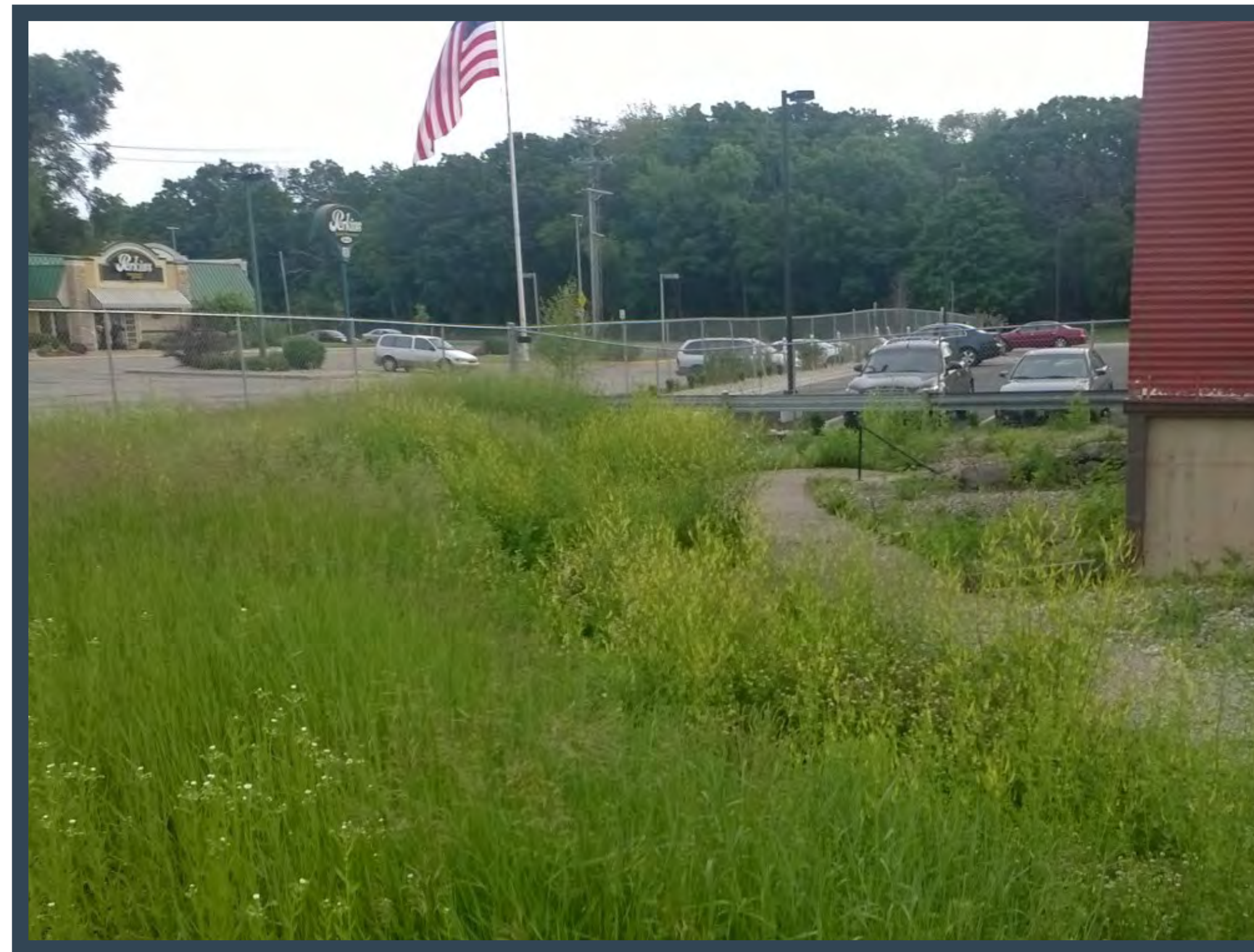
VIEW OF SOUTHEAST PROPERTY LINE



VIEW OF REAR YARD LOOKING  
SOUTHWEST



VIEW OF REAR PROPERTY LINE EXISTING FENCE



VIEW LOOKING FROM BACK OF LOT NORTHEAST  
TOWARDS UNIVERSITY AVE.



VIEW OF REAR PROPERTY LINE EXISTING FENCE

UNIVERSITY AVE MIXED-USE  
EXISTING CONDITIONS - IMAGE BOARD 2







EXISTING BUILDING A (PERKINS) : LOCATION



IMAGE 1 : ENTRY/FRONT COUNTER



IMAGE 2 : EAST DINING ROOM



IMAGE 3 : WEST DINING ROOM



IMAGE 4 : PREP AREA

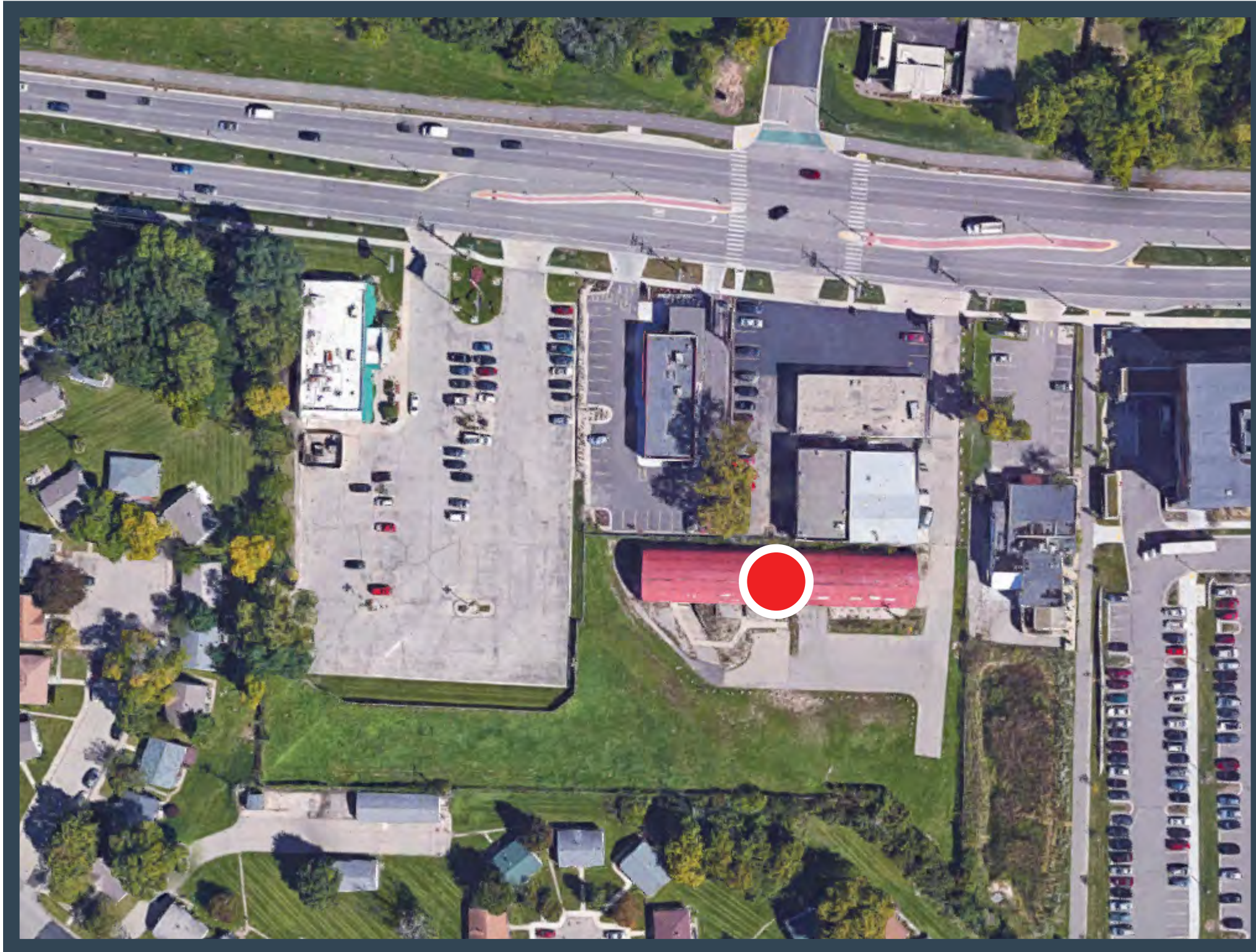


IMAGE 5 : KITCHEN AREA

UNIVERSITY AVE MIXED-USE  
EXISTING CONDITIONS - IMAGE BOARD 3







EXISTING BUILDING B (WAREHOUSE) : LOCATION



IMAGE 1 : WAREHOUSE EAST END



IMAGE 2 : WAREHOUSE WEST END



IMAGE 3 : LOWER LEVEL ENTRY



IMAGE 4 : LOWER LEVEL OFFICE

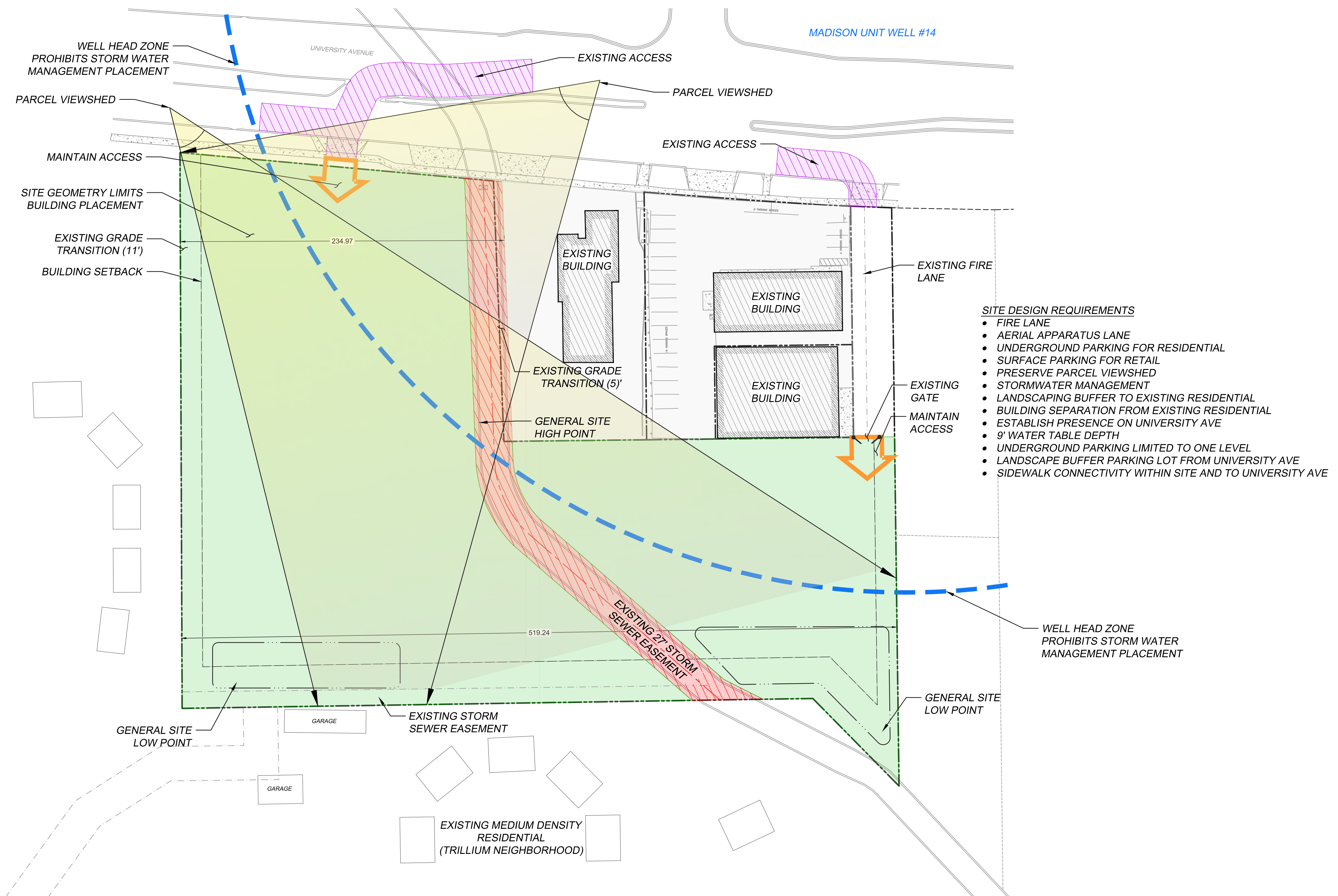


IMAGE 5 : LOWER LEVEL STORAGE

UNIVERSITY AVE MIXED-USE  
EXISTING CONDITIONS - IMAGE BOARD 4

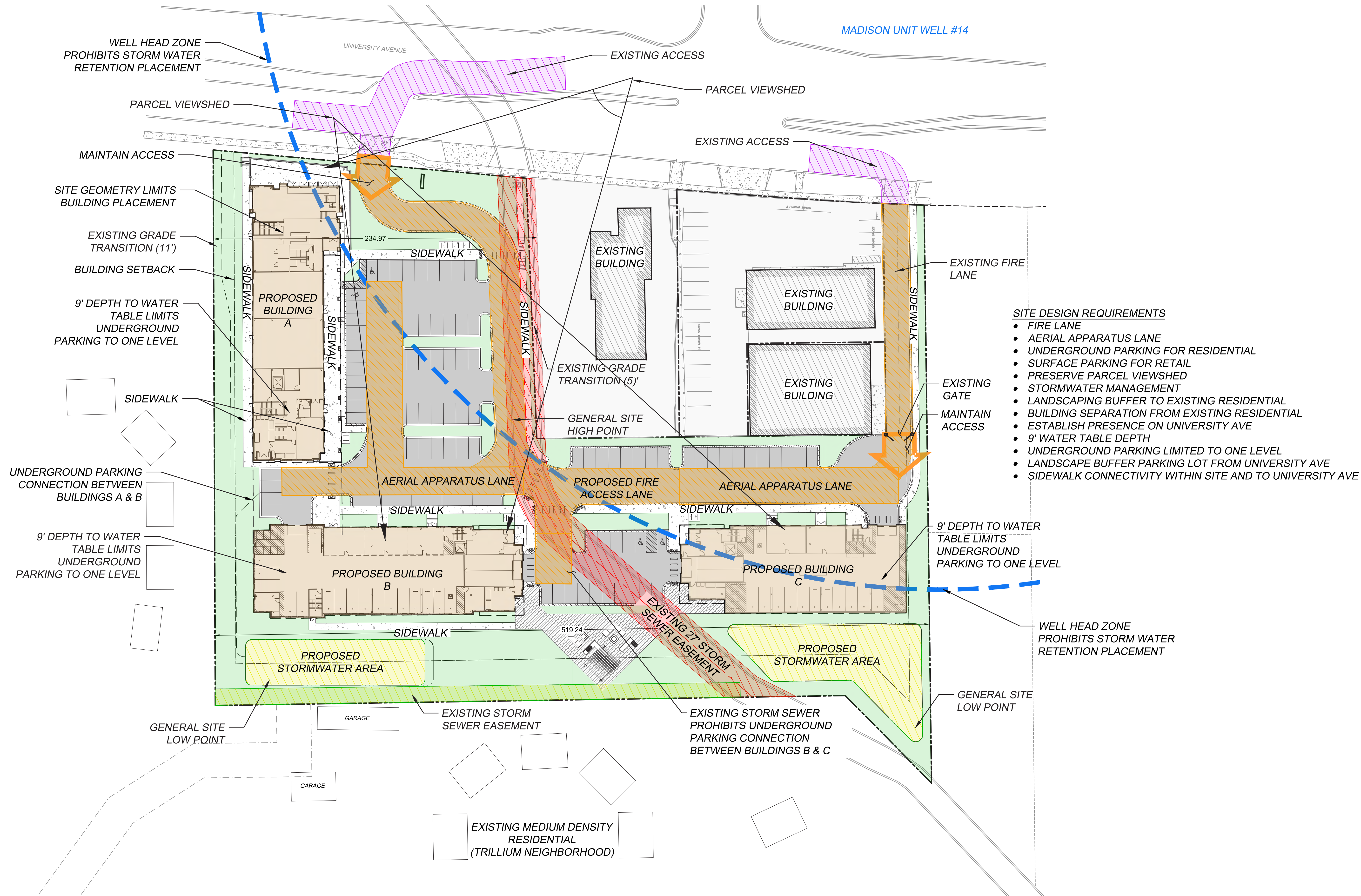






**UNIVERSITY AVE MIXED-USE  
OPPORTUNITIES & CONSTRAINTS - EXISTING**





- SITE DESIGN REQUIREMENTS**
- FIRE LANE
  - AERIAL APPARATUS LANE
  - UNDERGROUND PARKING FOR RESIDENTIAL
  - SURFACE PARKING FOR RETAIL
  - PRESERVE PARCEL VIEWSHED
  - STORMWATER MANAGEMENT
  - LANDSCAPING BUFFER TO EXISTING RESIDENTIAL
  - BUILDING SEPARATION FROM EXISTING RESIDENTIAL
  - ESTABLISH PRESENCE ON UNIVERSITY AVE
  - 9' WATER TABLE DEPTH
  - UNDERGROUND PARKING LIMITED TO ONE LEVEL
  - LANDSCAPE BUFFER PARKING LOT FROM UNIVERSITY AVE
  - SIDEWALK CONNECTIVITY WITHIN SITE AND TO UNIVERSITY AVE

**UNIVERSITY AVE MIXED-USE  
OPPORTUNITIES & CONSTRAINTS - PROPOSED**

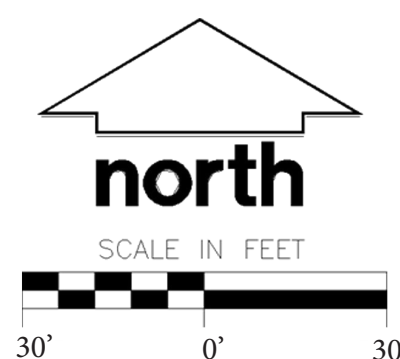


UNIVERSITY AVENUE

UNIVERSITY AVE



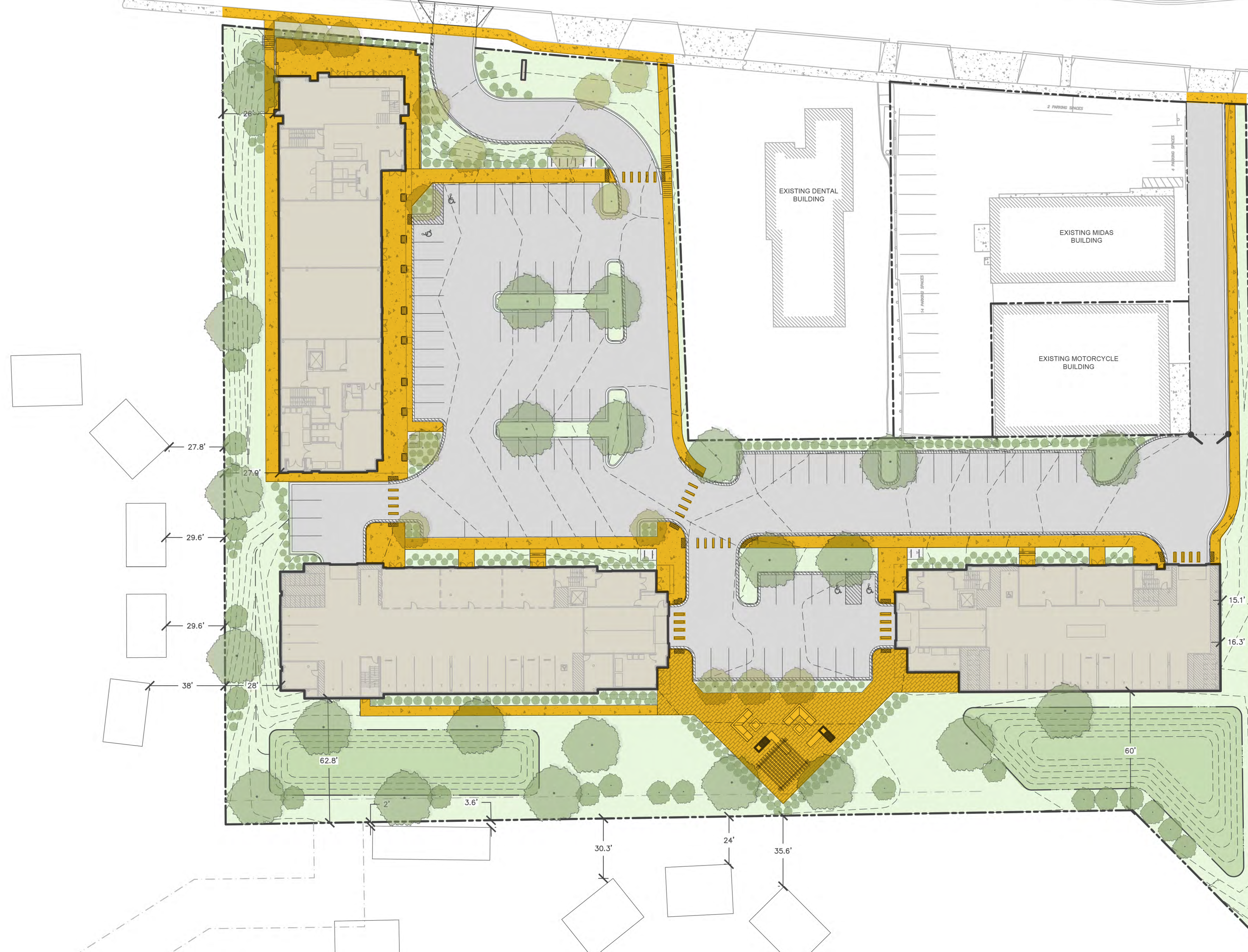
UNIVERSITY AVE MIXED-USE  
CONCEPT PLAN



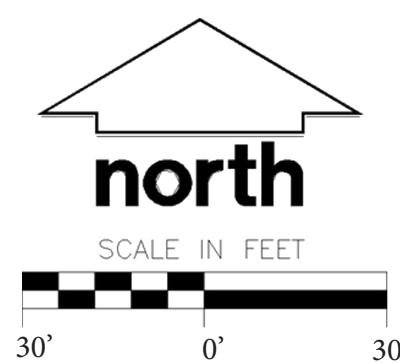


UNIVERSITY AVENUE

UNIVERSITY AVE



UNIVERSITY AVE MIXED-USE  
 PEDESTRIAN ACCESS





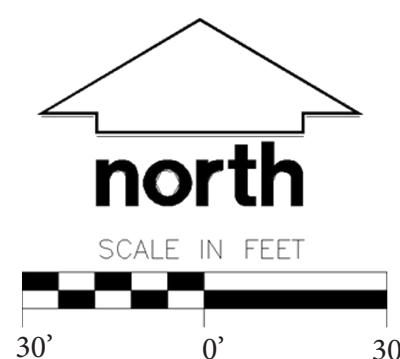
UNIVERSITY AVENUE

# UNIVERSITY AVE

Usable Open Space - Residential Only	400 sq.ft./unit 79 units/31,600 sq.ft.	Ground Level (Open Space >200 SF & 8 FT MIN WIDTH): 25,796 SF Ground Level (PATH 5 FT WIDE OR LESS): 2,458 SF Private Balconies: 5,796 SF <b>TOTAL: 34,050 SF</b>
--------------------------------------	--	--



UNIVERSITY AVE MIXED-USE  
**USABLE OPEN SPACE**





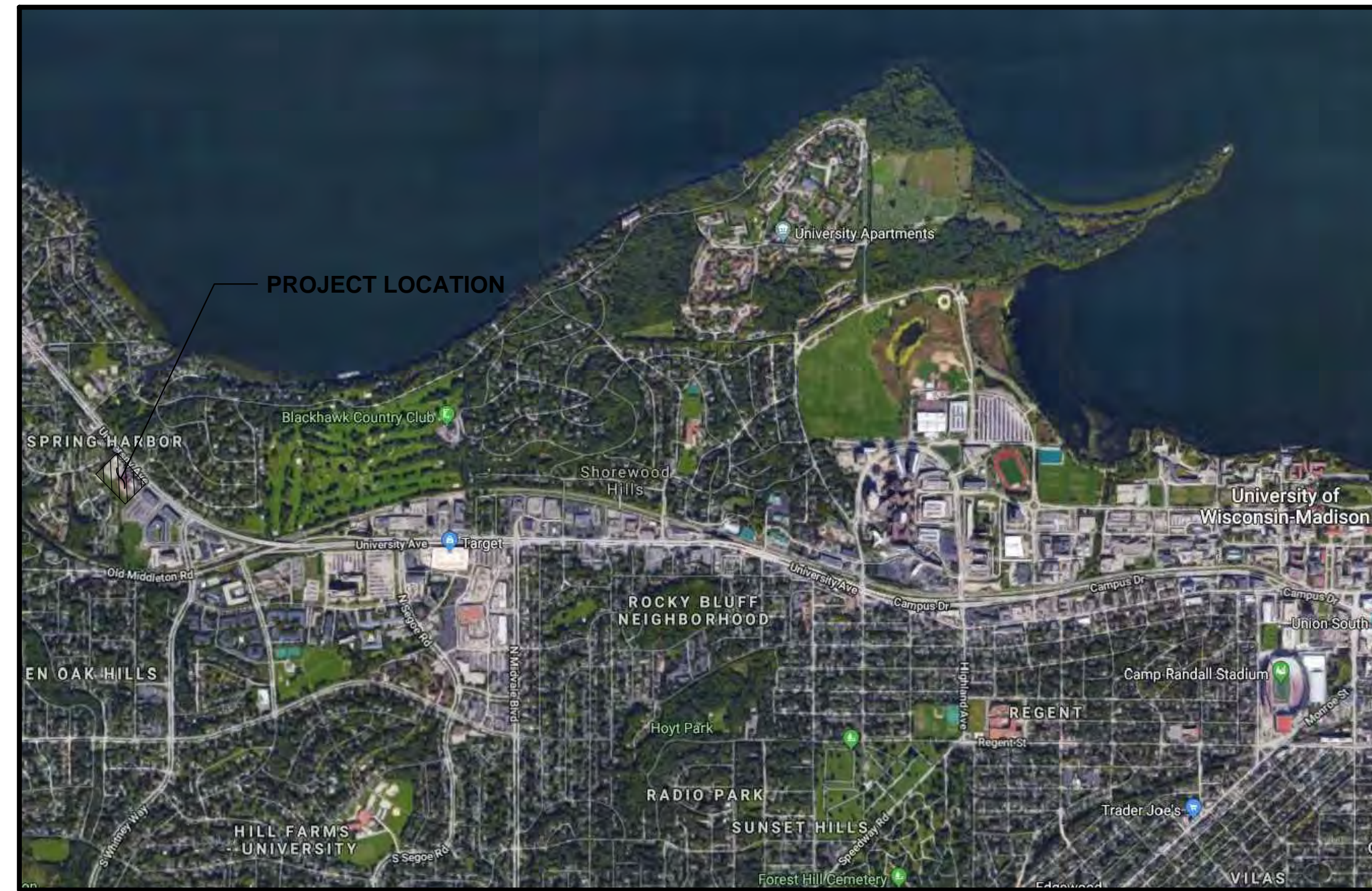
# 5133 & 5237 UNIVERSITY AVE

## CITY OF MADISON, WISCONSIN

4 1/4, SW 1/4, SECTION 18, TOWNSHIP 07 (NORTH), RANGE 09 (EAST)

### DRAWING INDEX

C0.0	TITLE SHEET
1 OF 1	EXISTING CONDITIONS
C2.0	DEMOLITION PLAN
C3.0	SITE PLAN
C3.1	SITE PLAN - 20 SCALE
C4.0	EROSION CONTROL
C5.0	GRADING PLAN
C6.0	UTILITY PLAN
C7.0	FIRE ACCESS PLAN
C8.0	DETAILS
L1.0	OVERALL LANDSCAPE PLAN
L1.1	DETAILED LANDSCAPE PLAN
L1.2	DETAILED LANDSCAPE PLAN
L2.0	LANDSCAPE NOTES, DETAILS, AND SPECIFICATIONS



**PROJECT AREA**  
NOT TO SCALE



### PROJECT INFORMATION

**OWNER**  
DEGEN & ASSOCIATES, LLC  
TOM DEGEN  
P.O. BOX 5567  
MADISON, WI 53705  
P: (608) 239-3142  
tdegen@tds.net

**CIVIL CONSULTANT**  
JSD PROFESSIONAL SERVICES, INC.  
JUSTIN FRAHM  
161 HORIZON DRIVE, SUITE 101  
VERONA, WI 53593  
P: (715) 298-6330  
justin.frahm@jsdinc.com

**ARCHITECT**  
JLA ARCHITECTS & PLANNERS  
DALE STREITENBRGER  
311 E CHICAGO STREET, SUITE 240  
MILWAUKEE, WI 53202  
P: (414) 988-7520  
dstreit@jla-ap.com

**ELECTRICAL**  
CRESCENT ELECTRIC  
TREVIS BAKER  
1417 WRIGHT STREET  
MADISON, WI 53708  
P: (608) 216-6713  
trevis.baker@cesco.com



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE  
KENOSHA | APPLETON | WAUSAU

**MADISON REGIONAL OFFICE**  
161 HORIZON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
P. 608.848.5060

CLIENT:  
**DEGEN & ASSOCIATES, LLC**

CLIENT ADDRESS:  
PO BOX 5567  
MADISON, WI 53705-0567

PROJECT:  
**5133 & 5237 UNIVERSITY AVE**

PROJECT LOCATION:  
**MADISON, WI  
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date	Description
1	01.15.2020	LAND USE UDC INITIAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

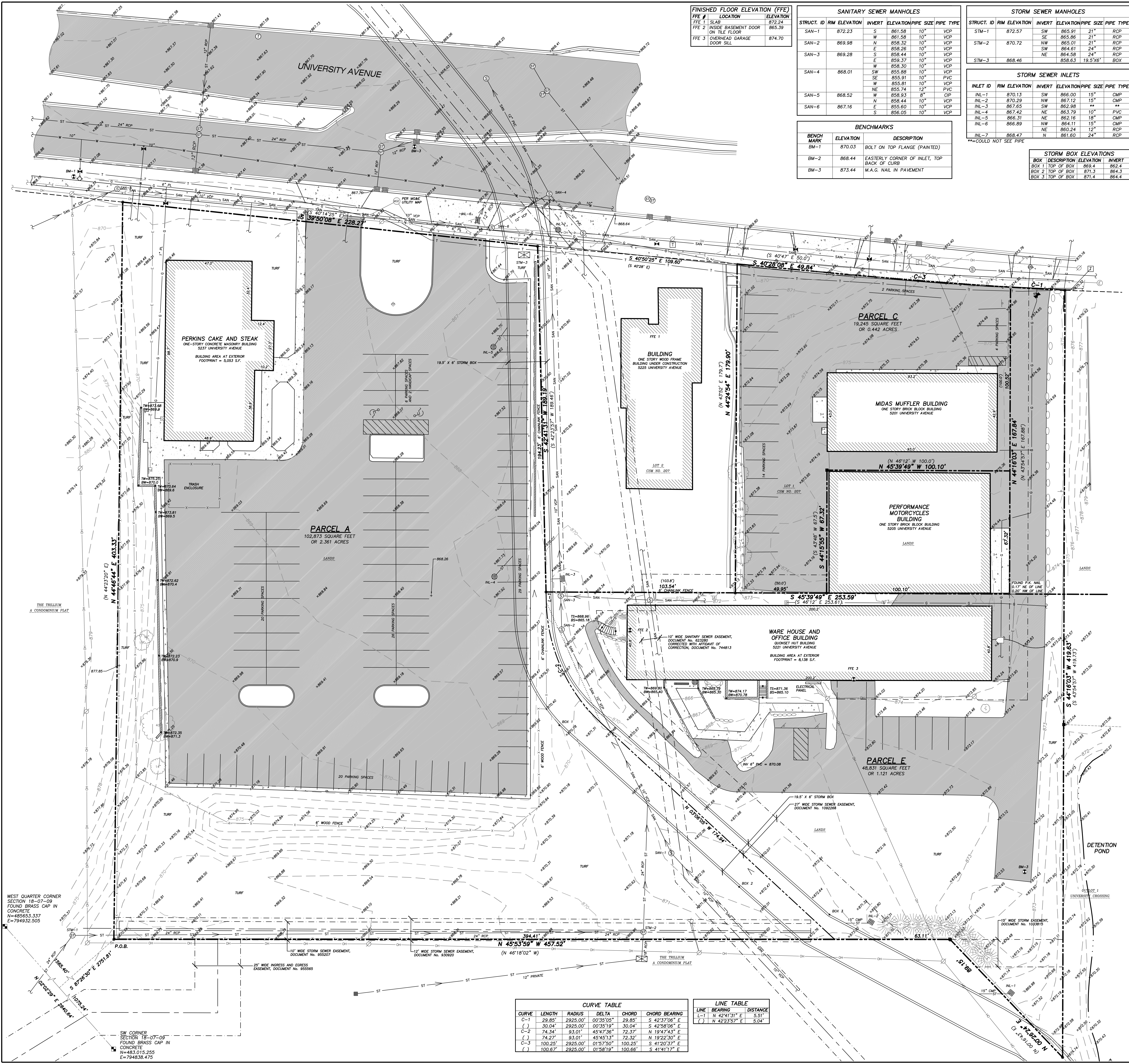
Design/Drawn: CEJ, KJS  
Approved: AJS, JLF

SHEET TITLE:  
**TITLE SHEET**

SHEET NUMBER:  
**C0.0**







FINISHED FLOOR ELEVATION (FFE)	FFE #	LOCATION	ELEVATION
FFE 1	SLAB		872.24
FFE 2	INSIDE BASEMENT DOOR ON TILE FLOOR		865.39
FFE 3	OVERHEAD GARAGE DOOR SILL		874.70

SANITARY SEWER MANHOLES			
STRUCT. ID	RM ELEVATION	INVERT ELEVATION	PIPE SIZE / PIPE TYPE
SAN-1	872.23	S 861.58	10" VCP
SAN-2	869.98	W 861.58	10" VCP
SAN-3	869.28	E 858.44	10" VCP
SAN-4	868.01	SW 858.30	10" VCP
SAN-5	868.52	SE 858.91	10" VCP
SAN-6	867.16	E 855.60	10" VCP

STORM SEWER MANHOLES			
STRUCT. ID	RM ELEVATION	INVERT ELEVATION	PIPE SIZE / PIPE TYPE
STM-1	872.57	SW 865.91	21" RCP
STM-2	870.72	SE 865.01	21" RCP
STM-3	868.46	NE 864.58	24" RCP

BENCHMARKS		
BENCH MARK	ELEVATION	DESCRIPTION
BM-1	870.03	BOLT ON TOP FLANGE (PAINTED)
BM-2	868.44	EASTERLY CORNER OF INLET, TOP BACK OF CURB
BM-3	873.44	M.A.G. NAIL IN PAVEMENT

STORM SEWER INLETS			
INLET ID	RM ELEVATION	INVERT ELEVATION	PIPE SIZE / PIPE TYPE
INL-1	870.13	SW 866.00	15" CMP
INL-2	870.29	NW 867.12	15" CMP
INL-3	867.65	SW 862.98	**
INL-4	867.42	NE 863.79	10" PVC
INL-5	866.31	NE 862.16	18" CMP
INL-6	866.69	NW 864.11	15" CMP
INL-7	868.47	N 861.60	24" RCP

STORM BOX ELEVATIONS		
BOX	DESCRIPTION	ELEVATION
BOX 1	TOP OF BOX	869.4
BOX 2	TOP OF BOX	871.3
BOX 3	TOP OF BOX	871.4

- LEGEND**
- GOVERNMENT CORNER
  - 3/4" REBAR FOUND
  - PK/MAG NAIL FOUND
  - COTTON SPINDLE SET
  - BENCHMARK
  - FINISHED FLOOR SHOT LOCATION
  - FLAG POLE
  - SIGN
  - SANITARY MANHOLE
  - HYDRANT
  - WATER OR GAS VALVE
  - WATER VALVE BOX
  - STORM MANHOLE
  - ROUND CASTED INLET
  - SQUARE CASTED INLET
  - CHUB INLET
  - STORM SEWER ACCESS
  - GAS REGULATOR/METER
  - MANHOLE
  - ELECTRIC MANHOLE
  - ELECTRIC MANHOLE
  - ELECTRIC TRANSFORMER
  - POWER POLE W/GUY
  - LIGHT POLE
  - TELEPHONE MANHOLE
  - DECIDUOUS TREE
  - HANDICAP PARKING
  - SECTION LINE
  - PARCEL BOUNDARY
  - RIGHT-OF-WAY LINE
  - CENTERLINE
  - PLATTED LOT LINE
  - EASEMENT LINE
  - FENCE LINE
  - STONE WALL
  - SHORE LINE
  - EDGE OF PAVEMENT
  - CONCRETE CURB & GUTTER
  - SANITARY SEWER
  - WATER LINE
  - ST
  - ST
  - NATURAL GAS
  - OVERHEAD ELECTRIC
  - UNDERGROUND ELECTRIC
  - INTERMEDIATE CONTOUR
  - SPOT ELEVATION
  - BITUMINOUS PAVEMENT
  - CONCRETE PAVEMENT
  - DISCONTINUED MAPPED PIPE LINE
  - RECORDED INFORMATION

- NOTES**
- FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON SEPTEMBER 23, 2013.
  - BEARINGS FOR THIS SURVEY AND MAP ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), DANE COUNTY, THE WEST LINE OF THE SOUTHWEST QUARTER, BEARS N 02°02'21" E.
  - ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83). BENCHMARK IS A BRASS CAP IN CONCRETE MONUMENT MARKING THE SOUTHWEST CORNER OF SECTION 18, TOWNSHIP 07 NORTH, RANGE 09 EAST, ELEVATION = 886.40'.
  - CONTOUR INTERVAL IS ONE FOOT.
  - SPOT ELEVATIONS SHOWN ALONG CURB AND GUTTER REFERENCE THE TOP BACK OF CURB.
  - SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGER'S HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGER'S HOTLINE TICKET NO. 20133802558 AND 20133802568.
  - BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGER'S HOTLINE, AT 1.800.242.8811.
  - THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. JSD PROFESSIONAL SERVICES, INC. DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.
  - COMBINED LOT AREAS = 151,704 SQUARE FEET OR 3.483 ACRES.
  - THERE ARE 101 REGULAR PARKING SPACES AND 2 HANDICAP SPACES FOR A TOTAL OF 103 PARKING SPACES.
  - STORM SEWER AND SANITARY SEWER ALONG UNIVERSITY AVENUE ARE BASED ON CITY OF MADISON AS-BUILT PLANS, 5992-08-79, 5992-08-86, 5992-08-87 AND 5992-08-82.
  - UNDERGROUND ELECTRIC AND GAS ARE BASED ON UTILITY MAPS SUPPLIED BY MADISON GAS AND ELECTRIC COMPANY.
  - THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.

**LEGAL DESCRIPTION**

**PARCEL A**  
 BEING A PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 7 NORTH, RANGE 9 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 18; THENCE NORTH 02 DEGREES 02 MINUTES 29 SECONDS EAST, ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, 1075.24 FEET; THENCE SOUTH 87 DEGREES 28 MINUTES 30 SECOND EAST, 2751.81 FEET TO THE POINT OF BEGINNING; THENCE NORTH 44 DEGREES 46 MINUTES 44 SECONDS EAST, 403.33 FEET TO A POINT ON THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF UNIVERSITY AVENUE; THENCE SOUTH 39 DEGREES 50 MINUTES 08 SECONDS EAST ALONG SAID RIGHT-OF-WAY LINE, 228.27 FEET TO THE NORTHERLY CORNER OF LOT 2 OF CERTIFIED SURVEY MAP NUMBER 207 AS RECORDED IN VOLUME 1 OF CERTIFIED SURVEY MAPS, ON PAGES 207-207B, AS DOCUMENT NUMBER 1141736, DANE COUNTY REGISTRY; THENCE SOUTH 42 DEGREES 41 MINUTES 31 SECONDS WEST ALONG SAID WESTERLY LINE, 194.70 FEET TO A POINT OF CURVE; THENCE 74.27 FEET ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 93.01 FEET, THE CHORD BEARING SOUTH 19 DEGREES 47 MINUTES 43 SECONDS WEST, 174.54 FEET; THENCE SOUTH 03 DEGREES 08 MINUTES 05 SECONDS EAST, 174.54 FEET; THENCE NORTH 45 DEGREES 53 MINUTES 59 SECONDS WEST, 394.41 FEET TO THE POINT OF BEGINNING. THIS DESCRIPTION CONTAINS 102,873 SQUARE FEET OR 2.361 ACRES.

**PARCEL B**  
 BEING A PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 7 NORTH, RANGE 9 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 18; THENCE NORTH 02 DEGREES 02 MINUTES 29 SECONDS EAST, ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, 1075.24 FEET; THENCE SOUTH 87 DEGREES 28 MINUTES 30 SECONDS EAST, 2751.81 FEET TO THE POINT OF BEGINNING; THENCE NORTH 44 DEGREES 46 MINUTES 44 SECONDS EAST, 403.33 FEET TO A POINT ON THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF UNIVERSITY AVENUE; THENCE SOUTH 39 DEGREES 50 MINUTES 08 SECONDS EAST ALONG SAID RIGHT-OF-WAY LINE, 228.27 FEET TO THE NORTHERLY CORNER OF LOT 2 OF CERTIFIED SURVEY MAP NUMBER 207 AS RECORDED IN VOLUME 1 OF CERTIFIED SURVEY MAPS, ON PAGES 207-207B, AS DOCUMENT NUMBER 1141736, DANE COUNTY REGISTRY; THENCE SOUTH 42 DEGREES 41 MINUTES 31 SECONDS WEST ALONG SAID WESTERLY LINE, 194.70 FEET TO A POINT OF CURVE; THENCE 74.27 FEET ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 93.01 FEET, THE CHORD BEARING SOUTH 19 DEGREES 47 MINUTES 43 SECONDS WEST, 174.54 FEET; THENCE SOUTH 03 DEGREES 08 MINUTES 05 SECONDS EAST, 174.54 FEET; THENCE NORTH 45 DEGREES 53 MINUTES 59 SECONDS WEST, 394.41 FEET TO THE POINT OF BEGINNING. THIS DESCRIPTION CONTAINS 102,873 SQUARE FEET OR 2.361 ACRES.

**PARCEL C**  
 BEING A PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 7 NORTH, RANGE 9 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 18; THENCE NORTH 02 DEGREES 02 MINUTES 29 SECONDS EAST, ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, 1075.24 FEET; THENCE SOUTH 87 DEGREES 28 MINUTES 30 SECONDS EAST, 2751.81 FEET TO THE POINT OF BEGINNING; THENCE NORTH 44 DEGREES 46 MINUTES 44 SECONDS EAST, 403.33 FEET TO A POINT ON THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF UNIVERSITY AVENUE; THENCE SOUTH 39 DEGREES 50 MINUTES 08 SECONDS EAST ALONG SAID RIGHT-OF-WAY LINE, 228.27 FEET TO THE NORTHERLY CORNER OF LOT 2 OF CERTIFIED SURVEY MAP NUMBER 207 AS RECORDED IN VOLUME 1 OF CERTIFIED SURVEY MAPS, ON PAGES 207-207B, AS DOCUMENT NUMBER 1141736, DANE COUNTY REGISTRY; THENCE SOUTH 42 DEGREES 41 MINUTES 31 SECONDS WEST ALONG SAID WESTERLY LINE, 194.70 FEET TO A POINT OF CURVE; THENCE 74.27 FEET ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 93.01 FEET, THE CHORD BEARING SOUTH 19 DEGREES 47 MINUTES 43 SECONDS WEST, 174.54 FEET; THENCE SOUTH 03 DEGREES 08 MINUTES 05 SECONDS EAST, 174.54 FEET; THENCE NORTH 45 DEGREES 53 MINUTES 59 SECONDS WEST, 394.41 FEET TO THE POINT OF BEGINNING. THIS DESCRIPTION CONTAINS 102,873 SQUARE FEET OR 2.361 ACRES.

**SURVEYOR'S CERTIFICATE**

I, JOHN KREBS, WISCONSIN REGISTERED LAND SURVEYOR NO. S-1878, HEREBY CERTIFY THAT THIS EXISTING CONDITIONS SURVEY AND MAP IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED.

JOHN KREBS, S-1878 REGISTERED LAND SURVEYOR DATE

SCALE 1" = 20'

CALL DIGGER'S HOTLINE 1-800-242-8811 TOLL FREE

PREPARED FOR:  
 DEGAN AND ASSOCIATES  
 5133 UNIVERSITY AVENUE  
 MADISON, WI 53705

WEST QUARTER CORNER SECTION 18-07-09 FOUND BRASS CAP IN CONCRETE N=485653.337 E=794832.505

SW CORNER SECTION 18-07-09 FOUND BRASS CAP IN CONCRETE N=483,015.255 E=794838.475

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	CHORD BEARING
C-1	29.85'	2925.00'	00'35'09"	29.85' S 42°37'06" E
( )	30.04'	2925.00'	00'35'19"	30.04' S 42°58'06" E
C-2	74.34'	93.01'	45'47'36"	72.37' N 19°47'43" E
( )	74.27'	93.01'	45'45'13"	72.32' N 19°22'30" E
C-3	100.25'	2925.00'	01'57'50"	100.25' S 41°20'37" E
( )	100.67'	2925.00'	01'58'19"	100.66' S 41°41'00" E

LINE TABLE		
LINE BEARING	LENGTH	DISTANCE
( )	N 42°41'31" E	5.51'
( )	N 42°23'57" E	5.04'

**EXISTING CONDITIONS SURVEY**  
 PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN

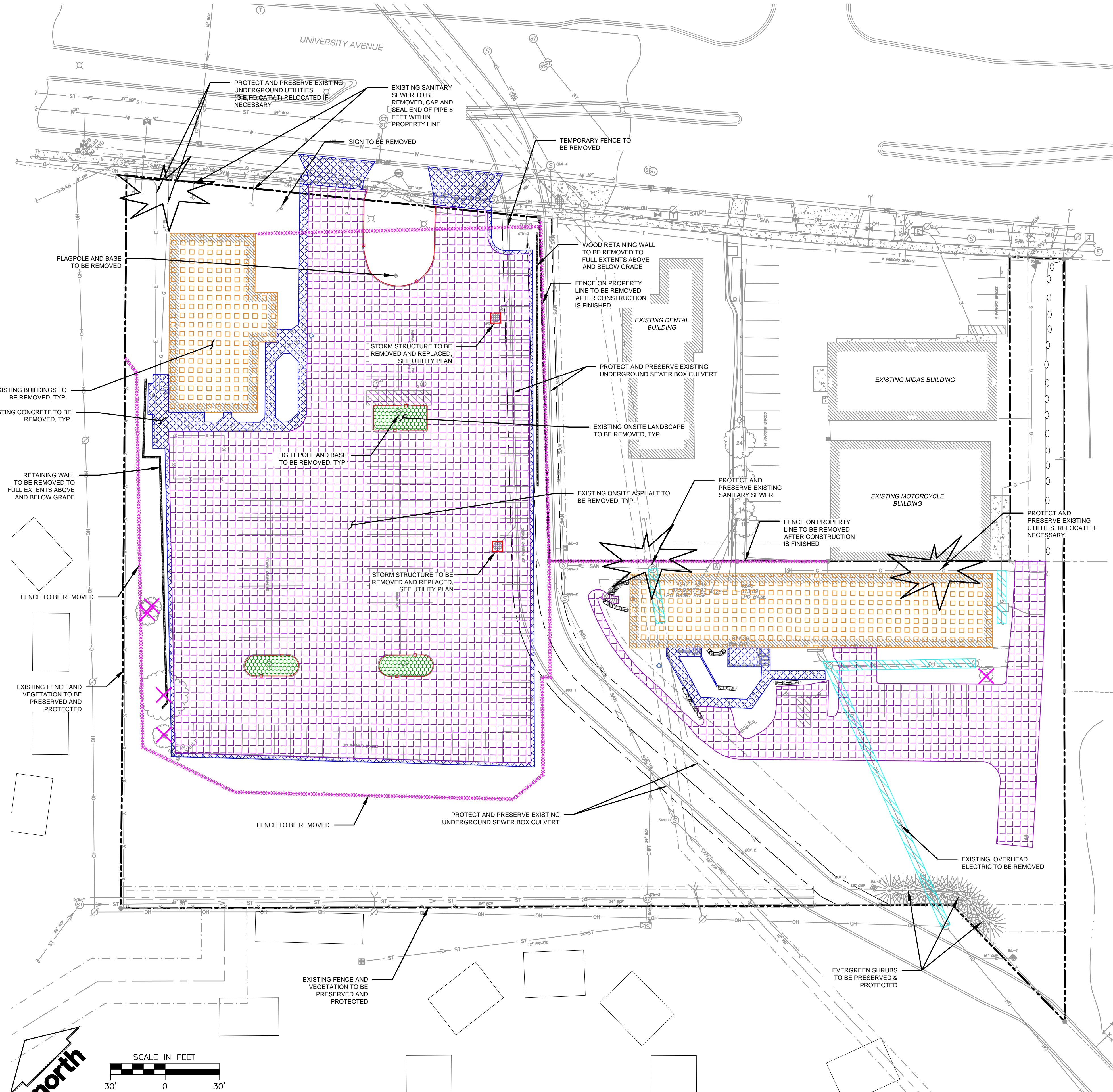
DATE: 09-24-2013  
 CHECKED BY: JK  
 DATE: 10-07-2013  
 APPROVED BY: HPL  
 DATE: 10-08-2013

PROJECT NO.: 07-2912  
 FILE NO.: E-175  
 SURVEYED BY: JK  
 F.B. NO./P.G.: 225/88  
 SHEET NO.: 1 OF 1

JSD Professional Services, Inc.  
 Engineers • Surveyors • Planners  
 161 HORIZON DRIVE, SUITE 101  
 MADISON, WISCONSIN 53703  
 PHONE: (608)846-1860



File: I:\2007\072912\dwg\07-2912 Construction Documents.dwg Layout: C2.0 DEMO PLAN User: cjbones Plotted: Jan 13, 2020 - 4:32pm Xref's:

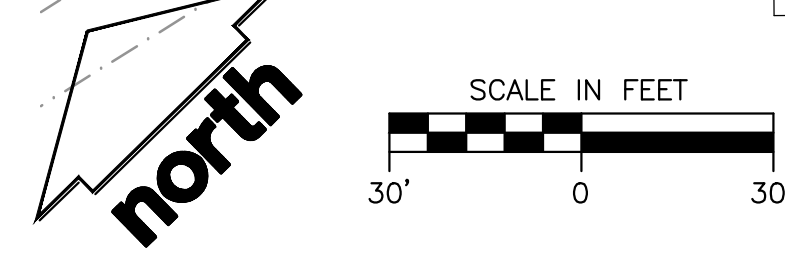


### LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- DEMOLITION - REMOVAL OF ONSITE CURB SURFACES AND BASE COURSE
- DEMOLITION - REMOVAL OF RETAINING WALL
- DEMOLITION - REMOVAL OF ASPHALT SURFACES
- DEMOLITION - REMOVAL OF CONCRETE SURFACES
- DEMOLITION - REMOVAL OF BUILDINGS/STRUCTURES
- DEMOLITION - REMOVAL OF UTILITIES
- DEMOLITION - REMOVAL OF LANDSCAPE BEDDING
- DEMOLITION - REMOVAL OF FENCE
- REMOVE AND REPLACE STRUCTURE, SEE UTILITY PLAN
- TREE REMOVAL
- SHRUB REMOVAL
- PROTECT EXISTING TREE

- ### GENERAL NOTES
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
  - ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
  - EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
  - NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
  - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

- ### DEMOLITION NOTES
- THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE, "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE HIS OWN DUE DILIGENCE TO INCLUDE IN HIS BID WHAT ADDITIONAL ITEMS, IN HIS OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
  - CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
  - ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.
  - ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. SALVAGE FOR RELOCATION. COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
  - ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
  - CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTIES, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
    - EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
    - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
    - NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
    - NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
  - ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
  - CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
  - CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
  - ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED MUNICIPALITY RECYCLING PLAN.
  - ANY CONTAMINATED SOILS SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROVED LANDFILL.
  - ALL EXISTING UTILITIES TO BE FIELD LOCATED AND FLAGGED BY CONTRACTOR.
  - EXISTING FIBER OPTIC LINE TO BE CLEARLY MARKED PRIOR TO ANY EXCAVATION. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OCCUR IN THE LOCATION SHOWN OR PROPOSED IMPROVEMENTS IMPACTING EXISTING FIBER OPTIC LINE LOCATION.
  - SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24, OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF MADISON SPECIFICATIONS.
  - WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.14.0 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF MADISON SPECIFICATIONS.
  - ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS AND PAVEMENT FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
  - BUILDING REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR. CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS, DISCONNECT ALL UTILITIES, OBTAIN ALL APPLICABLE PERMITS AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE LANDFILLS. DEMOLISHED MATERIALS SHALL NOT BE BURIED ON SITE. IF ENCOUNTERED, ANY CONTAMINATED SOILS SHALL BE REMOVED TO A LANDFILL IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS.
  - CONTRACTOR TO REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL".
  - RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL. THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.
  - ALL LIGHT POLES WITHIN THE LIMITS OF CONSTRUCTION TO BE REMOVED.



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE  
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE  
161 HORIZON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
P. 608.848.5060

CLIENT:  
**DEGEN & ASSOCIATES, LLC**

CLIENT ADDRESS:  
PO BOX 5567  
MADISON, WI 53705-0567

PROJECT:  
5133 & 5237  
UNIVERSITY AVE

PROJECT LOCATION:  
MADISON, WI  
DANE COUNTY

PLAN MODIFICATIONS:

#	Date	Description
1	01.15.2020	LAND USE UDC INITIAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: CEJ, KJS  
Approved: AJS, JLF

SHEET TITLE:  
**DEMO PLAN**

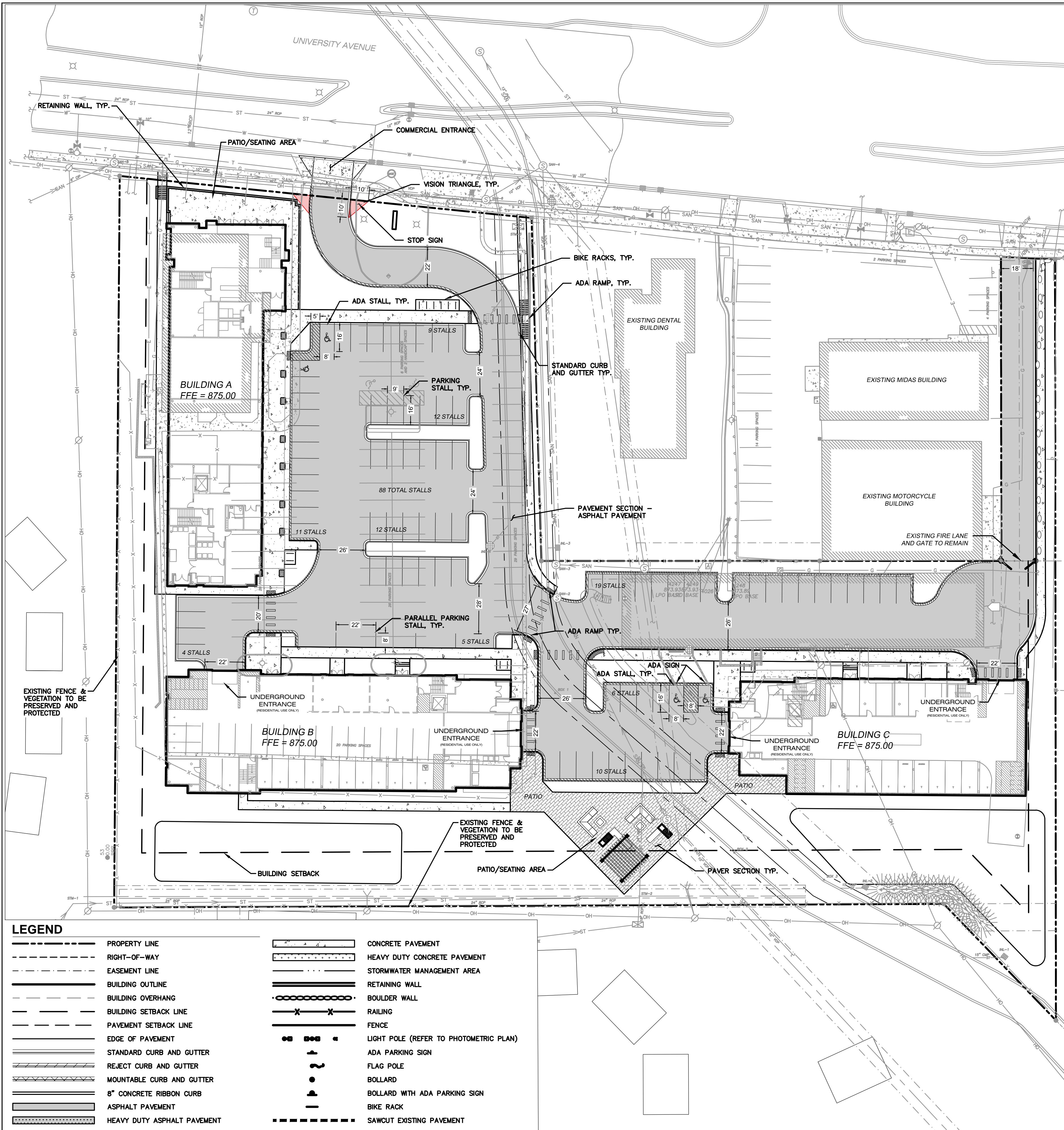
SHEET NUMBER:  
**C2.0**



THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.



File: I:\2007\072912\dwg\07\_2912\_Construction Documents.dwg Layout: C3.0 SITE PLAN User: cjbnes Plotted: Jan 13, 2020 - 4:55pm Xref: f:



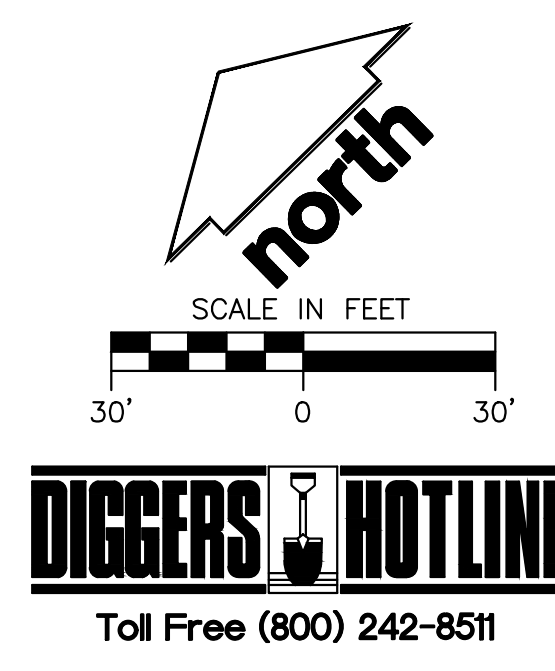
**GENERAL NOTES**

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

**PAVING NOTES**

1. **GENERAL**
  - 1.1. ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION, APPLICABLE CITY OF MADISON ORDINANCES AND THE GEOTECHNICAL REPORT PREPARED BY CGC, INC. DATED 4/6/2018.
  - 1.2. ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
  - 1.3. SURFACE PREPARATION - NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
  - 1.4. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET MUNICIPALITY REQUIREMENTS.
2. **ASPHALTIC CONCRETE PAVING SPECIFICATIONS**
  - 2.1. CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
  - 2.2. WEATHER LIMITATIONS - APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 55° F (11° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
  - 2.3. GRADE CONTROL - ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
  - 2.4. CRUSHED AGGREGATE BASE COURSE - THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
  - 2.5. BINDER COURSE AGGREGATE - THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460 AND 315, STATE HIGHWAY SPECIFICATIONS.
  - 2.6. SURFACE COURSE AGGREGATE - THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS.
  - 2.7. ASPHALTIC MATERIALS - THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.
3. **CONCRETE PAVING SPECIFICATIONS**
  - 3.1. CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
  - 3.2. CONCRETE PAVEMENT SHALL BE REINFORCED WITH NOVOMESH 950 (OR EQUAL) FIBER REINFORCEMENT AT A RATE OF 5 LBS/CUBIC YARD.
  - 3.3. CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
  - 3.4. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
  - 3.5. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
  - 3.6. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
  - 3.7. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
4. **PAVEMENT MARKING SPECIFICATIONS**
  - 4.1. USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
  - 4.2. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
  - 4.3. ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER SPECIFICATIONS.
  - 4.4. 2' x 5' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMP.

SITE INFORMATION BLOCK	
Site Address	5237 University Ave.
Site Acreage (total)	3.482 Acres
Number of Building Stories-- Building A, B, & C (above grade)	3-4
Total Building Square Footage--Building A	12,743 SF
Total Building Square Footage--Building B	12,331 SF
Total Building Square Footage--Building C	9,950 SF
Use of property	Mixed Use--Commercial/Residential
Number of parking stalls:	
Automobile Stall	84
Underground/In-Building Automobile Stall	111
Accessible	9 (4 SURFACE, 5 IN-BUILDING)
Total Automobile Stalls	204
Bicycle	96
Impervious vs. Pervious Areas:	
Existing Impervious	76,993 S.F.
Existing Pervious	74,684 S.F.
Existing Impervious/Pervious Ratio	0.51
Proposed Impervious	98,235 S.F.
Proposed Pervious	53,470 S.F.
Proposed Impervious/Pervious Ratio	0.65
Required Usable Open Space	31,600 S.F.
Proposed Usable Open Space	34,050 S.F.



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE  
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE  
161 HORIZON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
P. 608.848.5060

CLIENT:  
**DEGEN & ASSOCIATES, LLC**

CLIENT ADDRESS:  
**PO BOX 5567  
MADISON, WI 53705-0567**

PROJECT:  
**5133 & 5237  
UNIVERSITY AVE**

PROJECT LOCATION:  
**MADISON, WI  
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date:	Description:
1	01.15.2020	LAND USE UDC INITIAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: CEJ, KJS  
Approved: AJS, JLF

SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:

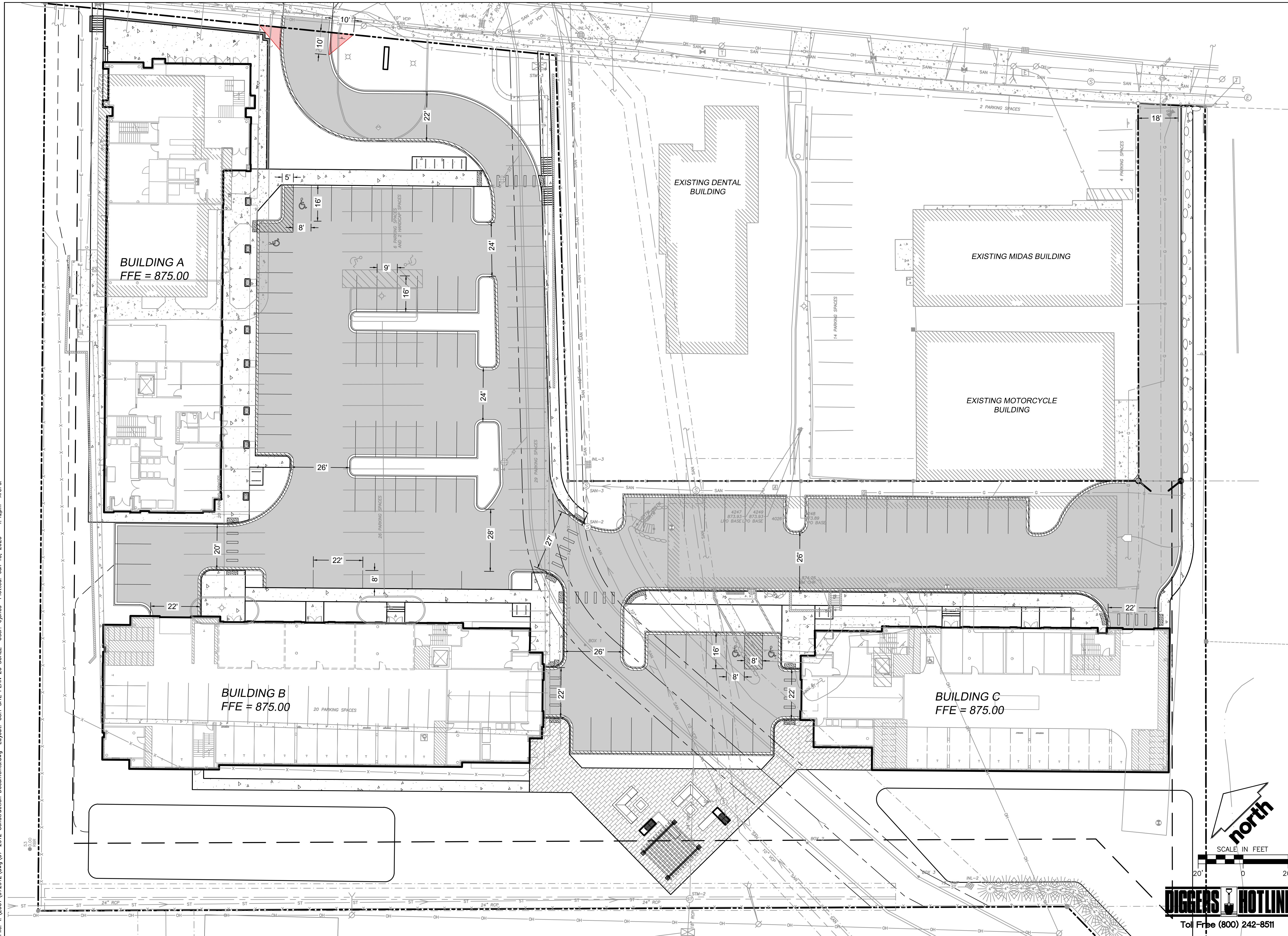
**C3.0**

JSD PROJECT NO: 07-2912

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.



File: I:\2007\072912\dwg\07-2912 Construction Documents.dwg Layout: C3.1 SITE PLAN 20 SCALE User: cpmes Plotted: Jun 13, 2020 - 4:42pm Xref's:



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE  
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE  
161 HORIZON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
P. 608.848.5060

CLIENT:  
**DEGEN & ASSOCIATES, LLC**

CLIENT ADDRESS:  
**PO BOX 5567  
MADISON, WI 53705-0567**

PROJECT:  
**5133 & 5237  
UNIVERSITY AVE**

PROJECT LOCATION:  
**MADISON, WI  
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date:	Description:
1	01.15.2020	LAND USE UDC INITIAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: CEJ, KJS  
Approved: AJS, JLF

SHEET TITLE:  
**SITE PLAN - 20 SCALE**

SHEET NUMBER:

**C3.1**

JSD PROJECT NO: 07-2912

**north**

SCALE IN FEET

20' 0 20'

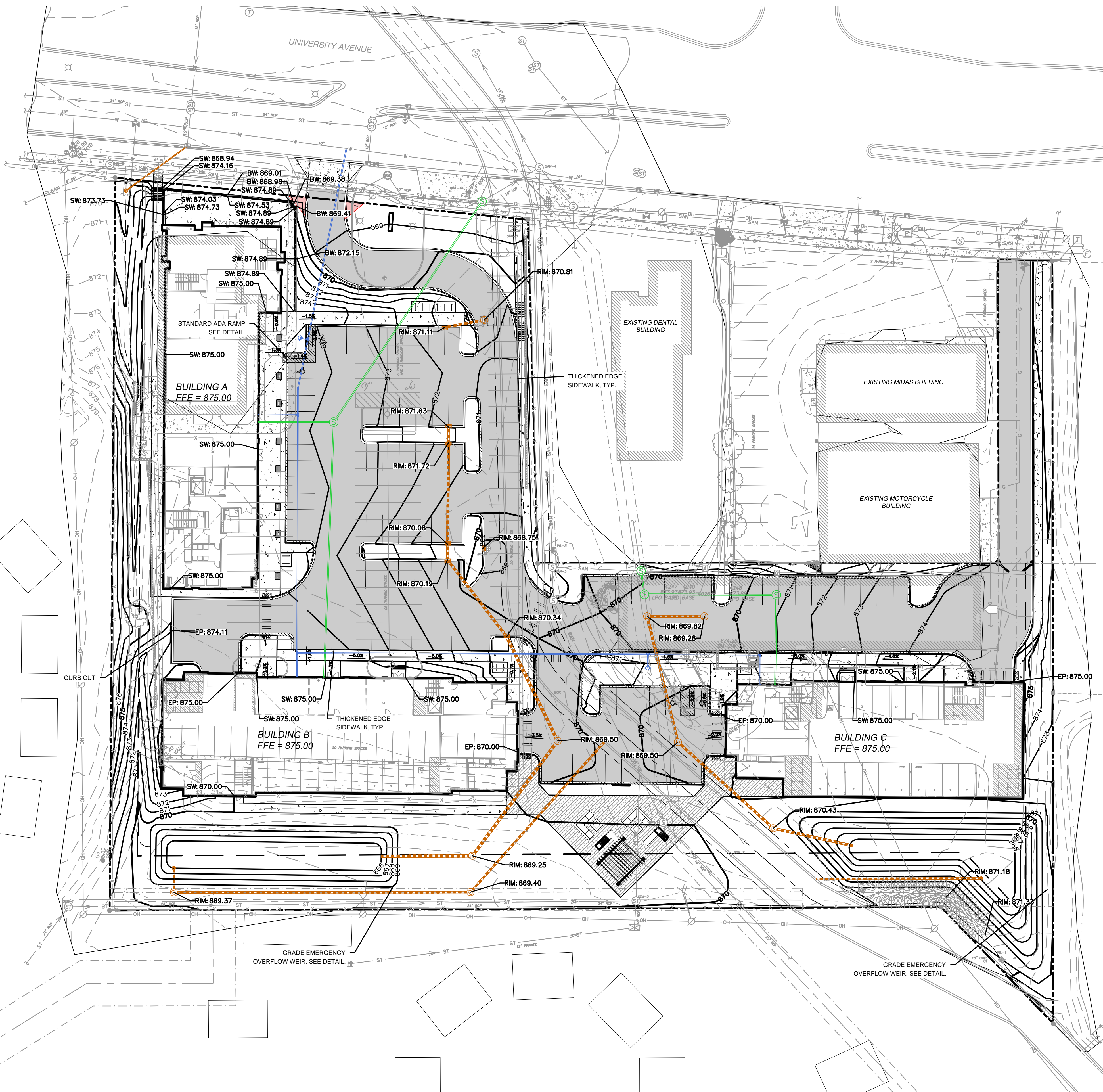
**DIGGERS HOTLINE**

Toll Free (800) 242-8511

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.



File: I:\2007\072912\dwg\07-2912 Construction Documents.dwg Layout: C5.0 GRADING PLAN-NO SPOTS User: cspnes Plotted: Jan 13, 2020 - 4:43pm Xref:s:



**GENERAL NOTES**

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

**GRADING AND SEEDING NOTES**

1. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES. WHILE JSD PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
3. PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS OTHERWISE NOTED.
4. ANY WORK WITHIN RIGHT-OF-WAY SHALL BE PROPERLY PERMITTED AND COORDINATED WITH THE APPROPRIATE OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS.
5. CONTRACTOR SHALL PROVIDE NOTICE TO THE MUNICIPALITY IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES, IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
6. ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
7. CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SODDING AND/OR SEEDING AND MULCHING TO PROMOTE INFILTRATION.
8. CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
9. CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
10. ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.
11. ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 30 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059 AND CITY OF MADISON ORDINANCE.

**CONSTRUCTION SEQUENCING**

1. INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
2. STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
3. ROUGH GRADE RETENTION PONDS AND INSTALL POND OUTLETS.
4. CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AS NEEDED.
5. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
6. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
7. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROL MEASURES AS INDICATED ON PLANS.
8. RESTORE RETENTION POND (FINAL GRADE RETENTION POND PER PLAN REQUIREMENTS)
9. EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% VEGETATIVE COVER IS ESTABLISHED.

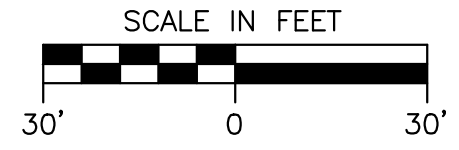
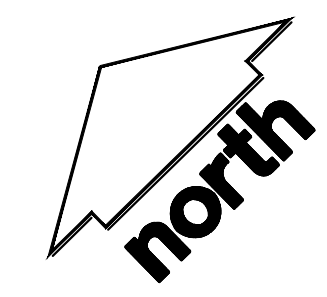
CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM NO. 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

**STORMWATER FACILITIES CONSTRUCTION NOTES**

1. ENGINEER SHALL BE NOTIFIED PRIOR TO INSTALLATION OF STORMWATER MANAGEMENT FACILITIES. CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES SHALL BE OBSERVED AND DOCUMENTED BY THE ENGINEER, OR AN OWNER'S REPRESENTATIVE.
2. STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AFTER SUBSTANTIAL COMPLETION OF FINAL SITE GRADING AND SOILS HAVE BEEN STABILIZED.
3. AREAS USED FOR TEMPORARY SEDIMENT BASINS SHALL BE REMOVED IN THEIR ENTIRETY AFTER CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES.
4. CONSTRUCTION TRAFFIC, HEAVY EQUIPMENT AND SOIL STOCKPILES SHALL NOT BE PLACED IN AREAS WHERE PROPOSED STORMWATER MANAGEMENT FACILITIES ARE LOCATED.
5. NATIVE SOIL INFILTRATION RATES BELOW STORMWATER FACILITIES SHALL BE VERIFIED BY THE OWNER'S GEOTECHNICAL ENGINEER PRIOR INSTALLATION OF FACILITIES. NATIVE SOIL INFILTRATION RATES SHALL BE EQUAL TO OR GREATER THAN DESIGN INFILTRATION RATES.
6. NATIVE SOILS SHALL BE BLENDED A MINIMUM OF TWO FEET PRIOR TO INSTALLATION OF STORMWATER INFILTRATION FACILITIES TO BREAKUP ANY LOWER PERMEABILITY SEAMS THAT MAY BE PRESENT.
7. THICKER SILT OR CLAY LAYERS SHALL BE OVER-EXCAVATED AND BACKFILLED WITH GRANULAR MATERIALS CONFORMING TO SPECIFICATIONS PER WDNR TECH STANDARD 1004.

**LEGEND**

---	PROPERTY LINE	---	PROPOSED 1 FOOT CONTOUR
---	RIGHT-OF-WAY	---	PROPOSED 5 FOOT CONTOUR
---	EASEMENT LINE	---	EXISTING 1 FOOT CONTOUR
---	BUILDING OUTLINE	---	EXISTING 5 FOOT CONTOUR
---	BUILDING OVERHANG	---	DRAINAGE DIRECTION
---	EDGE OF PAVEMENT	---	GRADE BREAK
---	STANDARD CURB AND GUTTER	---	STORMWATER MANAGEMENT AREA
---	REJECT CURB AND GUTTER	---	RETAINING WALL
---	MOUNTABLE CURB AND GUTTER	---	BOULDER WALL
---	8" CONCRETE RIBBON CURB	---	RAILING
---	ASPHALT PAVEMENT	---	FENCE
---	HEAVY DUTY ASPHALT PAVEMENT	---	SPOT ELEVATION
---	CONCRETE PAVEMENT	---	EP - EDGE OF PAVEMENT
---	HEAVY DUTY CONCRETE PAVEMENT	---	FG - FINISH GRADE
		---	EC - EDGE OF CONCRETE
		---	BOC - BACK OF CURB
		---	HP - HIGH POINT
		---	SW - SIDEWALK



Design/Drawn: CEJ, KJS  
 Approved: AJS, JLF

SHEET TITLE:  
**GRADING PLAN**

SHEET NUMBER:  
**C5.0**

JSD PROJECT NO: 07-2912



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE  
 KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE  
 161 HORIZON DRIVE, SUITE 101  
 VERONA, WISCONSIN 53593  
 P. 608.848.5060

CLIENT:  
**DEGEN & ASSOCIATES, LLC**

CLIENT ADDRESS:  
**PO BOX 5567  
 MADISON, WI 53705-0567**

PROJECT:  
**5133 & 5237  
 UNIVERSITY AVE**

PROJECT LOCATION:  
**MADISON, WI  
 DANE COUNTY**

PLAN MODIFICATIONS:

#	Date:	Description:
1	01.15.2020	LAND USE UDC INITIAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: CEJ, KJS  
 Approved: AJS, JLF

SHEET TITLE:  
**GRADING PLAN**

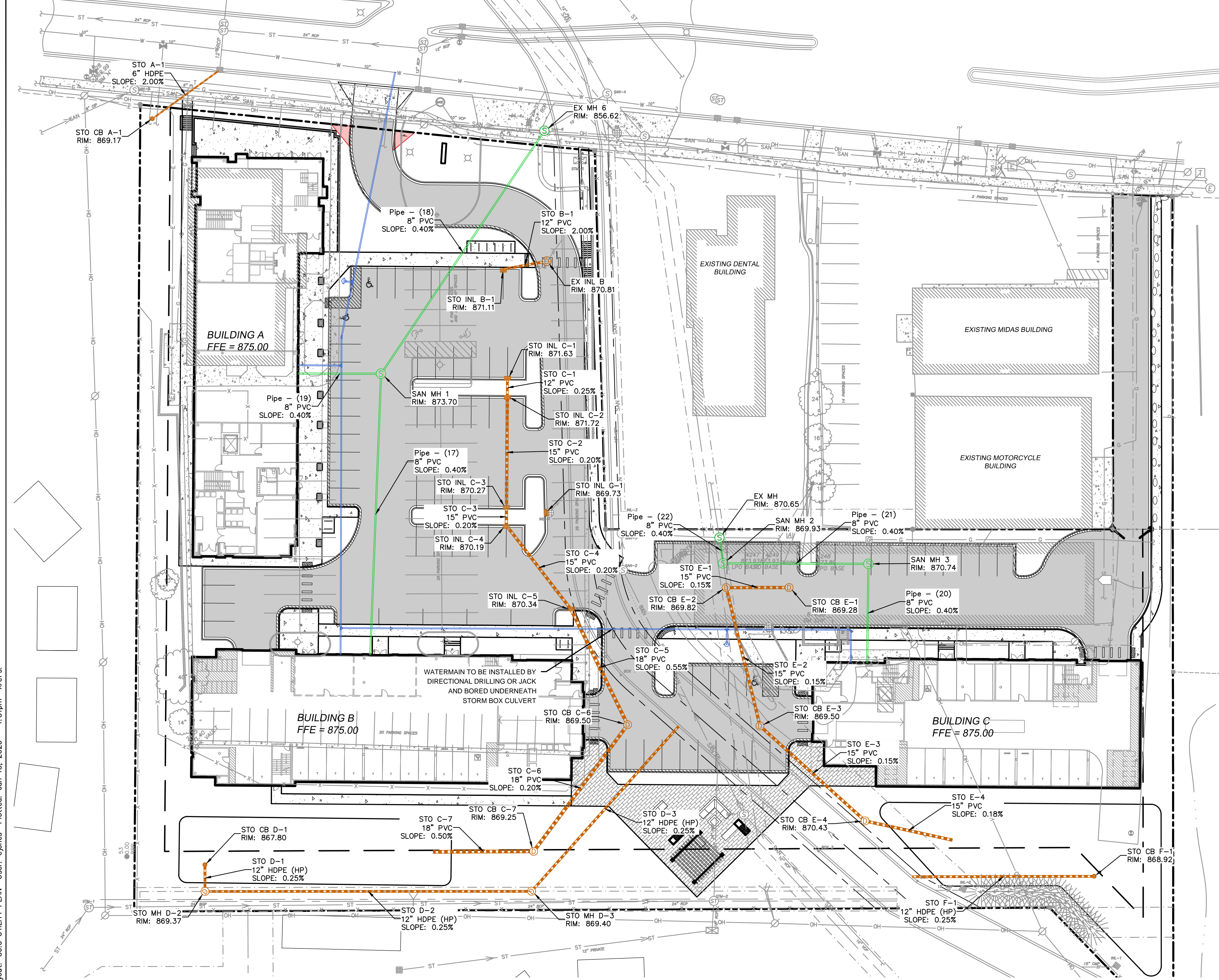
SHEET NUMBER:  
**C5.0**

JSD PROJECT NO: 07-2912

THESE PLANS AND DESIGNS ARE COPYRIGHTED PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.



File: I:\2007\072912\dwg\07-2912 Construction Documents.dwg Layout: C6.0 UTILITY PLAN User: cjbnes Plotted: Jan 13, 2020 - 4:51pm Xref's:



GENERAL NOTES

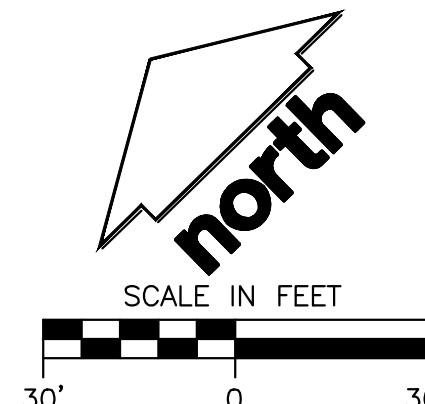
- 1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

LEGEND

Table with 2 columns: Symbol and Description. Includes Property Line, Right-of-Way, Easement Line, Building Outline, Building Overhang, Edge of Pavement, Standard Curb and Gutter, Reject Curb and Gutter, Mountable Curb and Gutter, 8" Concrete Ribbon Curb, Asphalt Pavement, Heavy Duty Asphalt Pavement, Concrete Pavement, Heavy Duty Concrete Pavement, Stormwater Management Area, Retaining Wall, Boulder Wall, Railing, Fence, Sanitary Sewer, Watermain, Storm Sewer, 8'x4'x2" Insulation (Plan View), 8'x4'x2" Insulation (Profile View).

UTILITY NOTES

- 1. ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
2. PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR:
- EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
- OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
- VERIFYING ALL ELEVATIONS, LOCATIONS AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
- NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
- NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
- COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
3. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN - AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
4. SPECIFICATIONS SHALL COMPLY WITH THE CITY OF MADISON SPECIAL PROVISIONS.
5. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
6. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
7. CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
8. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
9. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
10. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
11. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
12. STORM SEWER SPECIFICATIONS -
PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS III (MINIMUM) C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. HIGH DENSITY DUAL-WALL POLYETHYLENE CORRUGATED PIPE SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE "S".
INLETS - INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 28 OF THE "STANDARD SPECIFICATIONS", OR APPROVED EQUAL WITH A 1'-8" X 2'-6" MAXIMUM OPENING. CURB FRAME & GRATE SHALL BE NEENAH R-3067 WITH TYPE R GRATE, OR EQUAL.
BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
13. WATER MAIN SPECIFICATIONS -
PIPE - DUCTILE IRON PIPE SHALL BE CLASS 52 CONFORMING TO AWWA C151 AND CHAPTER 8.18.0 OF THE "STANDARD SPECIFICATIONS". POLYVINYL CHLORIDE (PVC) PIPE SHALL MEET THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-18, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. NON-METALLIC WATER MAINS SHALL BE INSTALLED WITH BLUE INSULATION TRACER WIRE AND CONFORM WITH SPS 382.30(11)(h).
VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.
HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE CITY OF MADISON. THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES (SEE DETAIL).
BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.4.3.2 OF THE "STANDARD SPECIFICATIONS".
BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
14. SANITARY SEWER SPECIFICATIONS -
PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.
BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.4.3.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."
BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE CITY OF MADISON.
MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
15. WATERMAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND INSTALLATION SHALL BE CONFORMING WITH CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).



DIGGERS HOTLINE Toll Free (800) 242-8511



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE KENOSHA | APPLETON | WAUSAU
MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT: DEGEN & ASSOCIATES, LLC

CLIENT ADDRESS: PO BOX 5567 MADISON, WI 53705-0567

PROJECT: 5133 & 5237 UNIVERSITY AVE

PROJECT LOCATION: MADISON, WI DANE COUNTY

PLAN MODIFICATIONS table with columns: #, Date, Description. Row 1: 1, 01.15.2020, LAND USE UDC INITIAL.

Design/Drawn: CEJ, KJS Approved: AJS, JLF

SHEET TITLE: UTILITY PLAN

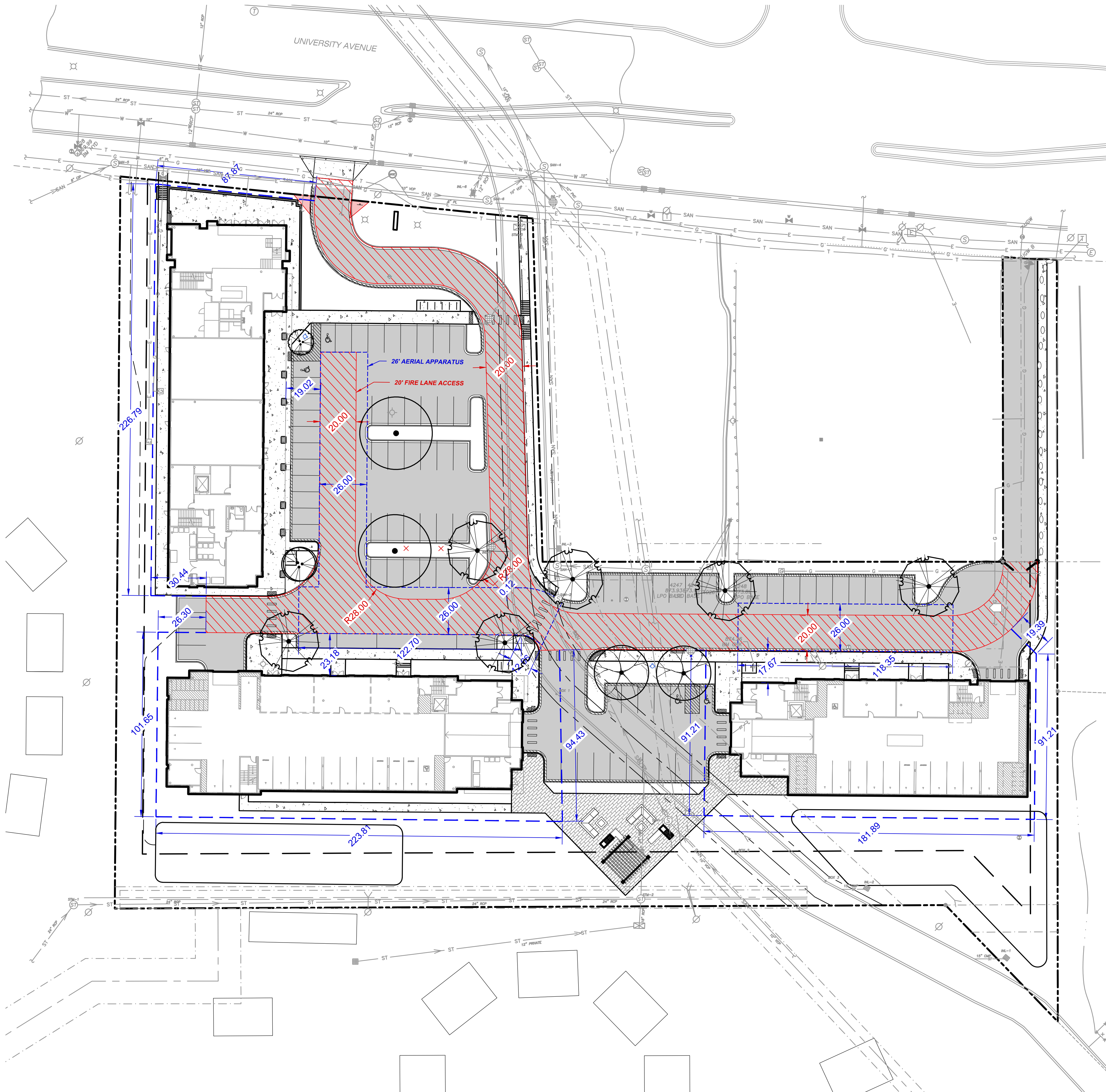
SHEET NUMBER: C6.0


JSD PROJECT NO: 07-2912

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.



File: I:\2007\072912\dwg\07-2912 Construction Documents.dwg Layout: C7.0 FIRE ACCESS PLAN User: c Jones Plotted: Jan 13, 2020 4:53pm Xref's:





### City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506  
 Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

**Project Address:** 5237 UNIVERSITY AVENUE  
**Contact Name & Phone #:** JUSTIN FRAHM, (715) 298-6330

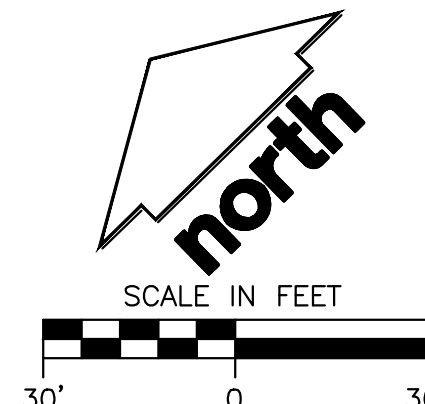
#### FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13 1/2-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
4. Is the fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
6. Is any part of the building greater than 30-feet above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus. a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3 1/2-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1 1/2-feet, within 5-feet of a fire hydrant? Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on MGO 34.503 and IFC 2015 Edition Chapter 5 and Appendix D; please see the codes for further information.

Revised 1/21/2016



**DIGGERS HOTLINE**  
 Toll Free (800) 242-8511



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE  
 KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE  
 161 HORIZON DRIVE, SUITE 101  
 VERONA, WISCONSIN 53593  
 P. 608.848.5060

CLIENT:  
**DEGEN & ASSOCIATES, LLC**

CLIENT ADDRESS:  
 PO BOX 5567  
 MADISON, WI 53705-0567

PROJECT:  
**5133 & 5237 UNIVERSITY AVE**

PROJECT LOCATION:  
**MADISON, WI DANE COUNTY**

PLAN MODIFICATIONS:

#	Date:	Description:
1	01.15.2020	LAND USE UDC INITIAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: CEJ, KJS  
 Approved: AJS, JLF

SHEET TITLE:  
**FIRE ACCESS PLAN**

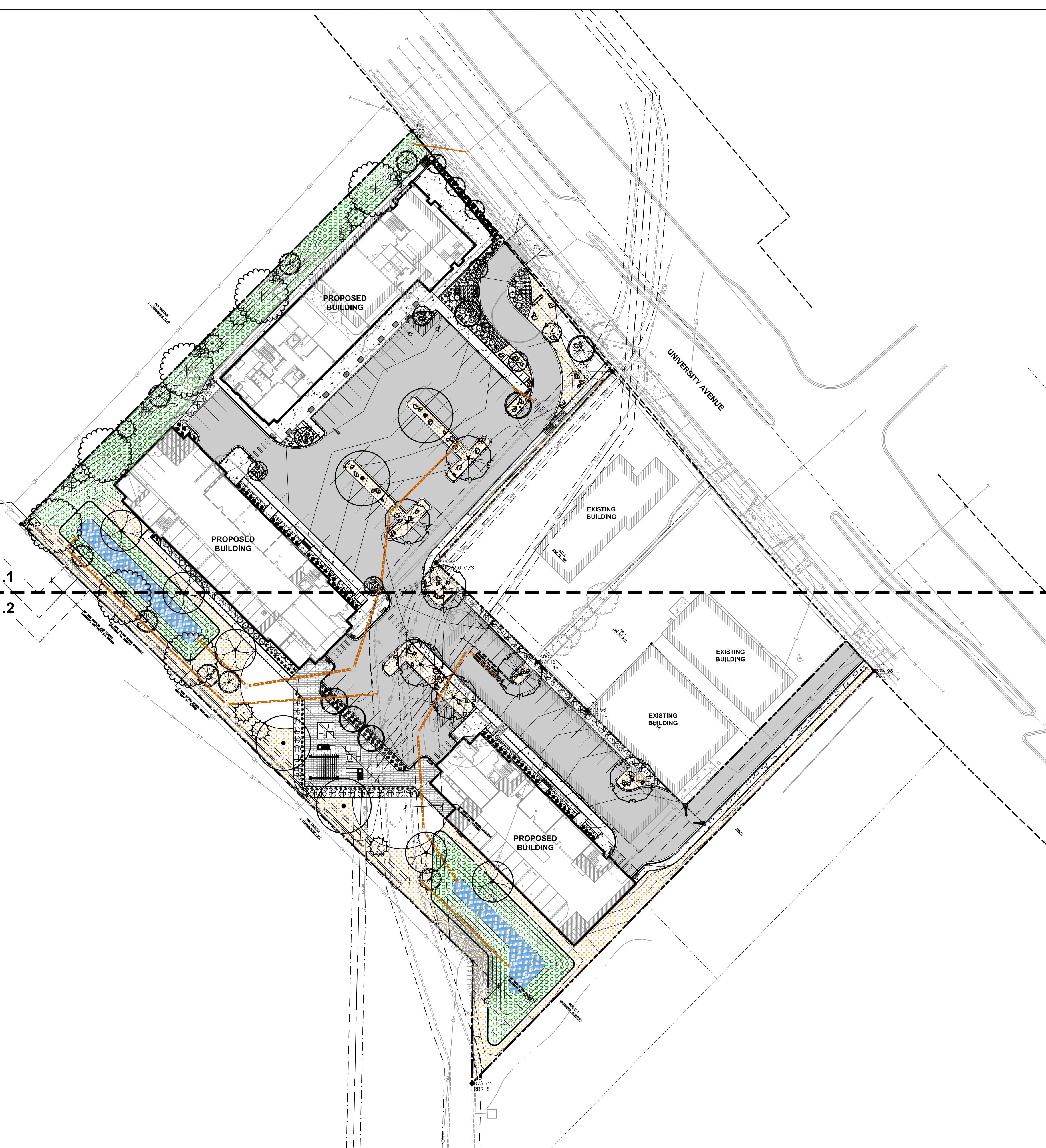
SHEET NUMBER:  
**C7.0**

JSD PROJECT NO: 07-2912

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.



File: I:\2007\072912.dwg\07-2912 Landscape.dwg Layout: L1.0 User: kschmidt Plotted: Jan 13, 2020 - 5:04pm Xrefs: 07-2912 University Ave



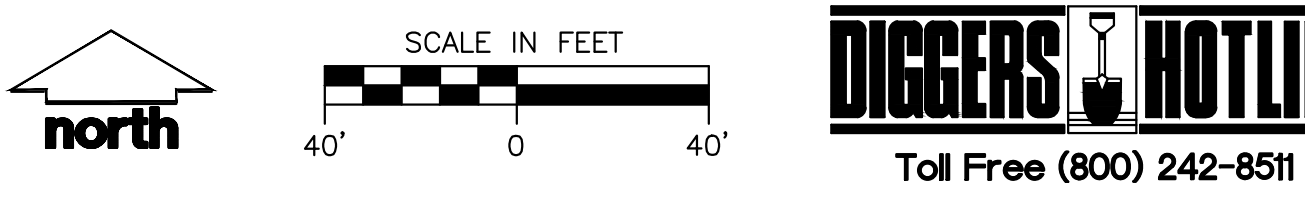
### LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OUTLINE
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	REJECT CURB AND GUTTER
	MOUNTABLE CURB AND GUTTER
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	959 PROPOSED 1 FOOT CONTOUR
	959 EXISTING 1 FOOT CONTOUR
	STORMWATER MANAGEMENT AREA
	STORM SEWER
	SAN EXISTING SANITARY SEWER
	W EXISTING WATERMAIN
	ST EXISTING STORM SEWER
	X EXISTING FENCE
	RETAINING WALL
	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
	ADA PARKING SIGN
	BIKE RACK
	LANDSCAPE EDGING
	BIORETENTION PLANTINGS (REFER TO L2.0)
	PRAIRIE SEED MIX 1 (REFER TO L2.0)
	PRAIRIE SEED MIX 2 (REFER TO L2.0)
	GRANITE RIP RAP

- ### GENERAL NOTES
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
  - ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
  - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
  - DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
  - THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
  - REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN
  - CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT
  - DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION, AND FINISH GRADING ARE COMPLETE

### PLANT SCHEDULE

ORNA	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
	8	Autumn Brilliance Serviceberry	<i>Amelanchier x grandiflora 'Autumn Brilliance'</i>	B & B	1.5" Cal (Multi-Stem)	15
	10	Eastern Redbud	<i>Cercis canadensis</i>	B & B	1.5" Cal (Multi-Stem)	15
	4	Sugar Maple	<i>Acer saccharum</i>	B & B	2.5" Cal	35
OVERSTORY DECIDUOUS TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
	7	Swamp White Oak	<i>Quercus bicolor</i>	B & B	2.5" Cal	35
	5	Northern Pin Oak	<i>Quercus nigricarpa</i>	B & B	2.5" Cal	35
	7	Northern Red Oak	<i>Quercus rubra</i>	B & B	2.5" Cal	35
	8	Shawnee Brave B&U Cypress	<i>Taxodium distichum 'Mickelson'</i>	B & B	2.5" Cal	35
TALL EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
	8	Black Hills Spruce	<i>Picea glauca 'Densata'</i>	B & B	6' Tall	35
DECIDUOUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
	86	Arctic Fire Red Twig Dogwood	<i>Cornus sericea 'Farrow'</i>	3 gal	36" Min. ht.	3
EVERGREEN SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
	23	Sea Green Juniper	<i>Juniperus chinensis 'Sea Green'</i>	3 gal	24" Tall/Wide	4
	18	Mini Arcado Juniper	<i>Juniperus sibirica 'Mini Arcado'</i>	3 gal	18" Tall/Wide	4
ORNA GRASSES/PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
	74	Robust Male Fern	<i>Dryopteris x complexa 'Robust'</i>	1 gal	Cont.	2
	94	Northern Switch Grass	<i>Panicum virgatum 'North Wind'</i>	1 gal	Cont.	2
	44	Shawandaah Red Switch Grass	<i>Panicum virgatum 'Shawandaah'</i>	1 gal	Cont.	2
	89	Little Spire Russian Sage	<i>Perovskia atriplicifolia 'Little Spire'</i>	1 gal	Cont.	2
	12	Winkelaar Goldenrod	<i>Solidago rugosa 'Fireworks'</i>	1 gal	Cont.	2



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE  
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE  
161 HORIZON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
P. 608.848.5060

CLIENT:  
**DEGEN & ASSOCIATES, LLC**

CLIENT ADDRESS:  
**PO BOX 5567  
MADISON, WI 53705-0567**

PROJECT:  
**5133 & 5237  
UNIVERSITY AVE**

PROJECT LOCATION:  
**MADISON, WI  
DANE COUNTY**

### PLAN MODIFICATIONS:

#	Date:	Description:
1	01.15.2020	LAND USE UDC INITIAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: **KJS**  
Approved: **MAS**

SHEET TITLE:  
**OVERALL  
LANDSCAPE PLAN**

SHEET NUMBER:  
**L1.0**

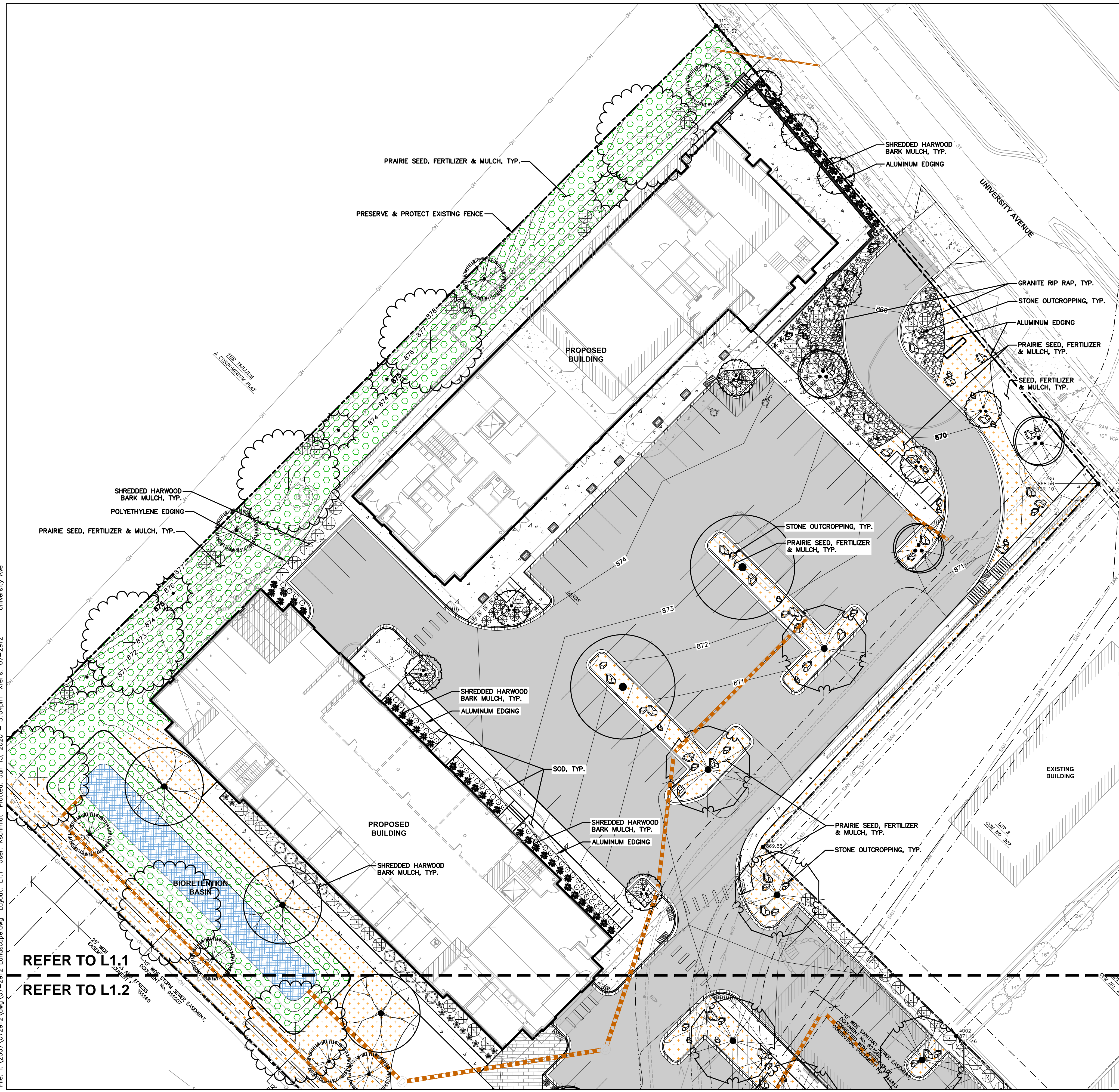
JSD PROJECT NO: 07-2912



THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.



File: I:\2007\072912.dwg, 07-2912 Landscape.dwg Layout: L1.1 User: kschmidt Plotted: Jan 13, 2020 - 5:04pm Xref: 07-2912 University Ave



**LEGEND**

	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OUTLINE
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	REJECT CURB AND GUTTER
	MOUNTABLE CURB AND GUTTER
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	959 PROPOSED 1 FOOT CONTOUR
	959 EXISTING 1 FOOT CONTOUR
	STORMWATER MANAGEMENT AREA
	STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATERMAIN
	EXISTING STORM SEWER
	EXISTING FENCE
	RETAINING WALL
	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
	ADA PARKING SIGN
	BIKE RACK
	LANDSCAPE EDGING
	BIORETENTION PLANTINGS (REFER TO L2.0)
	PRAIRIE SEED MIX 1 (REFER TO L2.0)
	PRAIRIE SEED MIX 2 (REFER TO L2.0)
	GRANITE RIP RAP

**PLANT SCHEDULE**

SYMBOL	QTY	COMMON NAME	BOTANICAL NAME	CONT.	SIZE	LS POINTS
	8	Autumn Brilliance Serviceberry	<i>Amelanchier x grandiflora 'Autumn Brilliance'</i>	B & B	1.5" Cal (Multi-Stem)	15
	10	Eastern Redbud	<i>Cercis canadensis</i>	B & B	1.5" Cal (Multi-Stem)	15
	4	Sugar Maple	<i>Acer saccharum</i>	B & B	2.5" Cal	35
	7	Swamp White Oak	<i>Quercus bicolor</i>	B & B	2.5" Cal	35
	5	Northern Pin Oak	<i>Quercus elipsooides</i>	B & B	2.5" Cal	35
	7	Northern Red Oak	<i>Quercus rubra</i>	B & B	2.5" Cal	35
	8	Shawnee Brave Bald Cypress	<i>Taxodium distichum 'Mickelson'</i>	B & B	2.5" Cal	35
	8	Black Hill Spruce	<i>Picea glauca 'Densata'</i>	B & B	6" Tall	35
	86	Arctic Fire Red Twig Dogwood	<i>Cornus sericea 'Farrow'</i>	3 gal	36" Min. ht.	3
	23	Sea Green Juniper	<i>Juniperus chinensis 'Sea Green'</i>	3 gal	24" Tall/Wide	4
	18	Mini Arcado Juniper	<i>Juniperus sibirica 'Mini Arcado'</i>	3 gal	18" Tall/Wide	4
	74	Robust Male Fern	<i>Dryopteris x complexa 'Robust'</i>	1 gal	Cont.	2
	94	Northwind Switch Grass	<i>Panicum virgatum 'North Wind'</i>	1 gal	Cont.	2
	44	Shawandaah Red Switch Grass	<i>Panicum virgatum 'Shawandaah'</i>	1 gal	Cont.	2
	89	Little Spire Russian Sage	<i>Perovskia atriplicifolia 'Little Spire'</i>	1 gal	Cont.	2
	12	Winklesel Goldenrod	<i>Solidago rugosa 'Fireworks'</i>	1 gal	Cont.	2



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE  
KENOSHA | APPLETON | WAUSAU

**MADISON REGIONAL OFFICE**  
161 HORIZON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
P. 608.848.5060

CLIENT:  
**DEGEN & ASSOCIATES, LLC**

CLIENT ADDRESS:  
**PO BOX 5567  
MADISON, WI 53705-0567**

PROJECT:  
**5133 & 5237  
UNIVERSITY AVE**

PROJECT LOCATION:  
**MADISON, WI  
DANE COUNTY**

**PLAN MODIFICATIONS:**

#	Date:	Description:
1	01.15.2020	LAND USE UDC INITIAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: **KJS**  
Approved: **MAS**

SHEET TITLE:  
**DETAILED  
LANDSCAPE PLAN**

SHEET NUMBER:  
**L1.1**

JSD PROJECT NO: 07-2912

REFER TO L1.1  
REFER TO L1.2

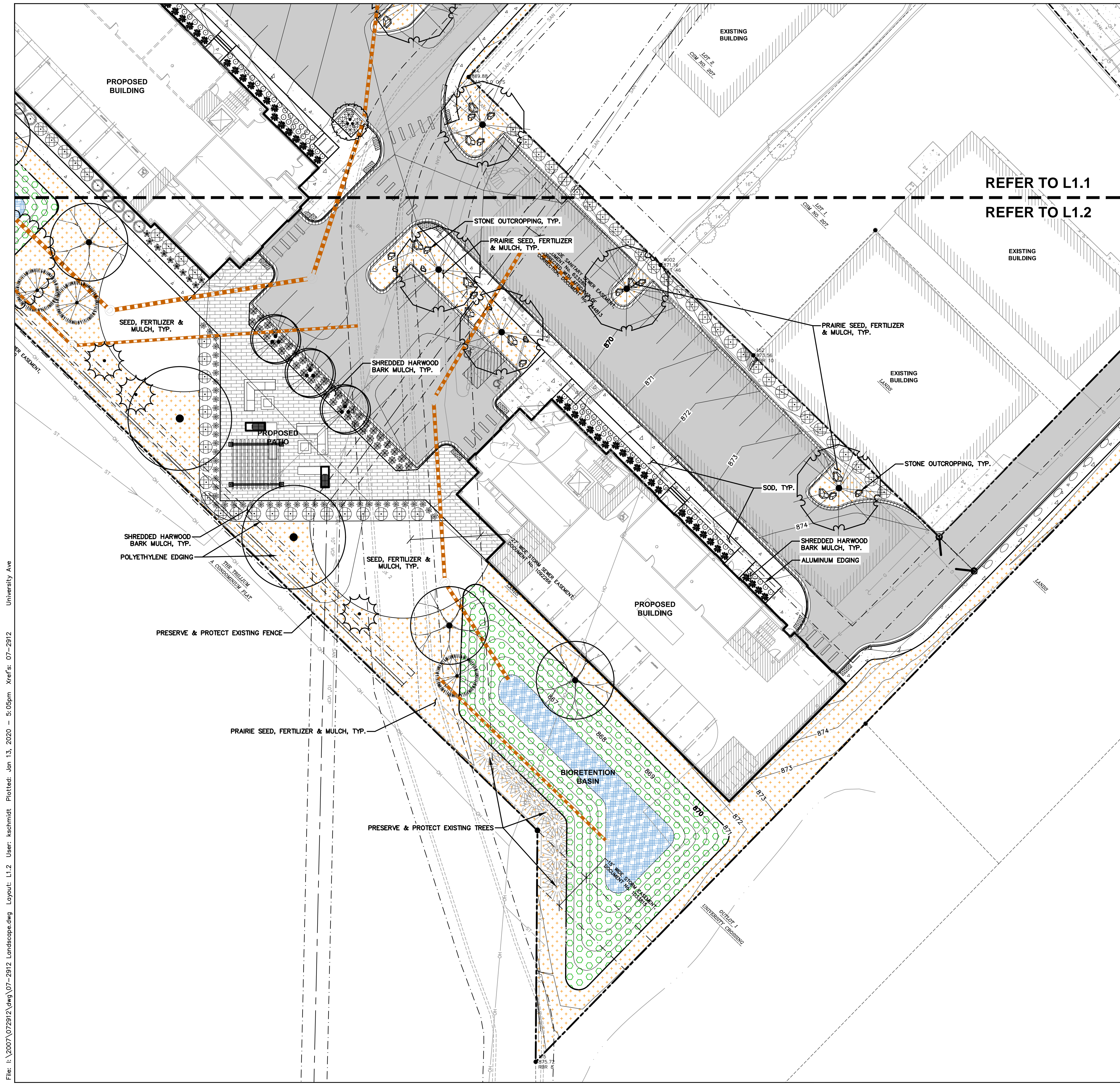
north

SCALE IN FEET  
20' 0 20'

**DIGGERS HOTLINE**  
Toll Free (800) 242-8511

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.





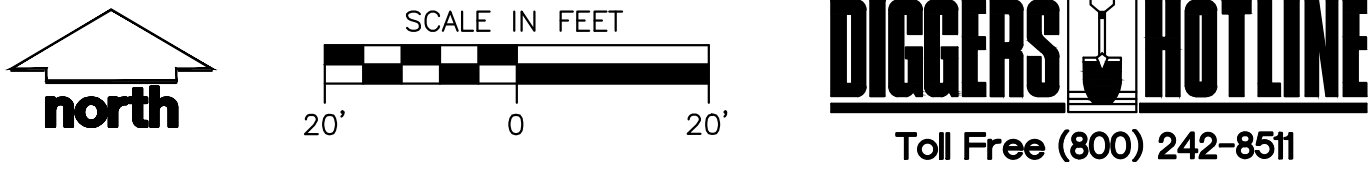
**LEGEND**

	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OUTLINE
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	REJECT CURB AND GUTTER
	MOUNTABLE CURB AND GUTTER
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	959 PROPOSED 1 FOOT CONTOUR
	959 EXISTING 1 FOOT CONTOUR
	STORMWATER MANAGEMENT AREA
	STORM SEWER
	SAN EXISTING SANITARY SEWER
	W EXISTING WATERMAIN
	ST EXISTING STORM SEWER
	X EXISTING FENCE
	RETAINING WALL
	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
	ADA PARKING SIGN
	BIKE RACK
	LANDSCAPE EDGING
	BIORETENTION PLANTINGS (REFER TO L2.0)
	PRAIRIE SEED MIX 1 (REFER TO L2.0)
	PRAIRIE SEED MIX 2 (REFER TO L2.0)
	GRANITE RIP RAP

REFER TO L1.1  
REFER TO L1.2

**PLANT SCHEDULE**

ORNA	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
	8	Autumn Brilliance Serviceberry	<i>Amelanchier x grandiflora 'Autumn Brilliance'</i>	B & B	1.5" Cal (Multi-Stem)	15
	10	Eastern Redbud	<i>Cercis canadensis</i>	B & B	1.5" Cal (Multi-Stem)	15
	4	Sugar Maple	<i>Acer saccharum</i>	B & B	2.5" Cal	35
	7	Swamp White Oak	<i>Quercus bicolor</i>	B & B	2.5" Cal	35
	5	Northern Pin Oak	<i>Quercus elipsooides</i>	B & B	2.5" Cal	35
	7	Northern Red Oak	<i>Quercus rubra</i>	B & B	2.5" Cal	35
	8	Shawnee Brave Bark Cypress	<i>Taxodium distichum 'Mickelson'</i>	B & B	2.5" Cal	35
	8	Black Hill Spruce	<i>Picea glauca 'Densata'</i>	B & B	6' Tall	35
	86	Arctic Fire Red Twig Dogwood	<i>Cornus sericea 'Farrow'</i>	3 gal	36" Min. ht.	3
	23	Sea Green Juniper	<i>Juniperus chinensis 'Sea Green'</i>	3 gal	24" Tall/Wide	4
	18	Mini Arcadia Juniper	<i>Juniperus sibirica 'Mini Arcadia'</i>	3 gal	18" Tall/Wide	4
	74	Robust Male Fern	<i>Dryopteris x complexa 'Robust'</i>	1 gal	Cont.	2
	94	Northwind Switch Grass	<i>Panicum virgatum 'North Wind'</i>	1 gal	Cont.	2
	44	Shawandaah Red Switch Grass	<i>Panicum virgatum 'Shawandaah'</i>	1 gal	Cont.	2
	89	Little Spire Russian Sage	<i>Perovskia atriplicifolia 'Little Spire'</i>	1 gal	Cont.	2
	12	Winkelaar Goldenrod	<i>Solidago rugosa 'Fireworks'</i>	1 gal	Cont.	2



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE  
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE  
161 HORIZON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
P. 608.848.5060

CLIENT:  
**DEGEN & ASSOCIATES, LLC**

CLIENT ADDRESS:  
**PO BOX 5567  
MADISON, WI 53705-0567**

PROJECT:  
**5133 & 5237  
UNIVERSITY AVE**

PROJECT LOCATION:  
**MADISON, WI  
DANE COUNTY**

**PLAN MODIFICATIONS:**

#	Date:	Description:
1	01.15.2020	LAND USE UDC INITIAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: **KJS**  
Approved: **MAS**

SHEET TITLE:  
**DETAILED  
LANDSCAPE PLAN**

SHEET NUMBER:  
**L1.2**

JSD PROJECT NO: 07-2912

File: I:\2007\072912.dwg, 07-2912 Landscape.dwg Layout: L1.2 User: kschmidt Plotted: Jan 13, 2020 - 5:05pm Xrefs: 07-2912 University Ave

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.



# DEGEN UNIVERSITY AVENUE MIXED-USE

MADISON, WISCONSIN



#### PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

## LAND USE UDC INITIAL

JANUARY 15, 2020



# JLA

ARCHITECTS

JLA PROJECT NUMBER: 18-1112





**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY  
AVENUE MIXED-USE

LAND USE UDC INITIAL

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE JANUARY 15, 2020

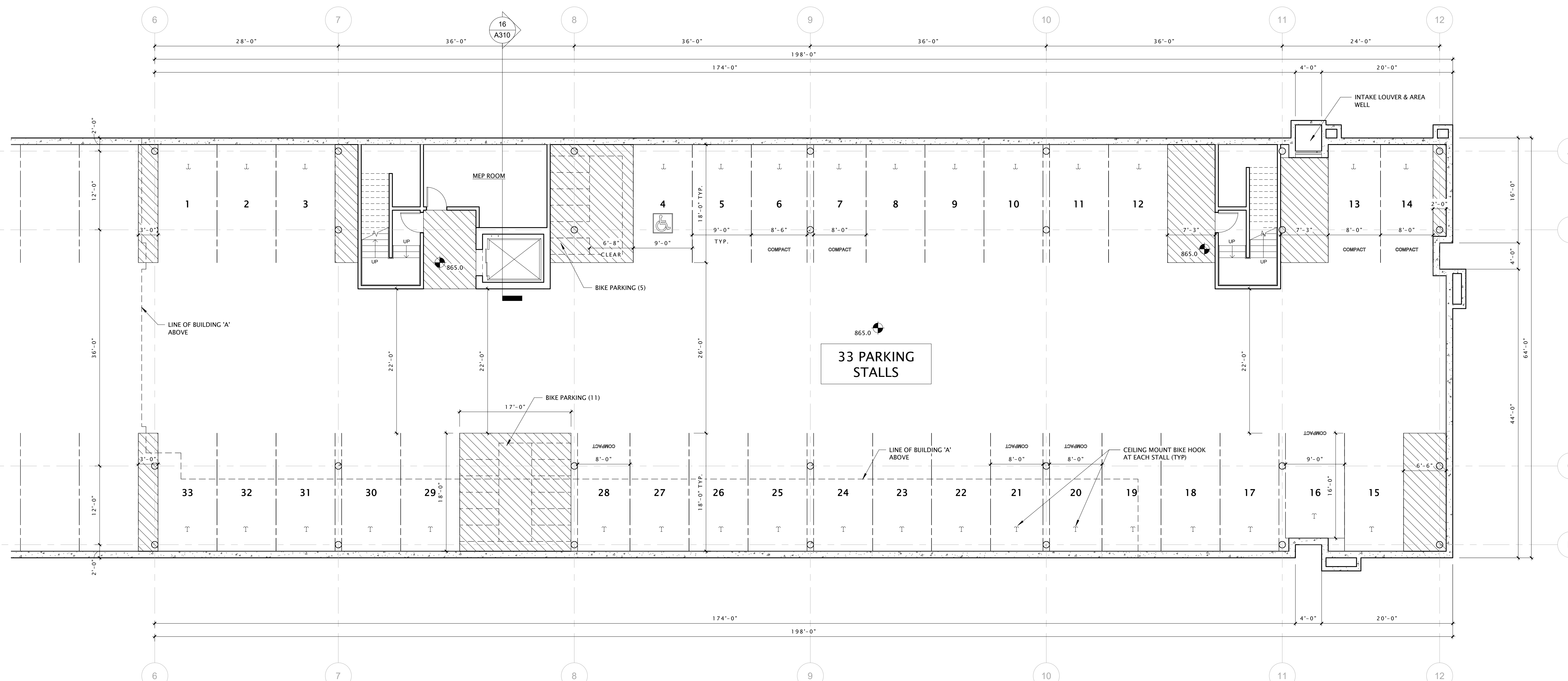
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

LOWER LEVEL PLAN -  
BUILDING 'A'

SHEET NUMBER

A100-A



16 LOWER LEVEL PLAN - 'A' BUILDING  
1/8" = 1'-0"





**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-1112



**DEGEN UNIVERSITY AVENUE MIXED-USE**

LAND USE UDC INITIAL

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE JANUARY 15, 2020

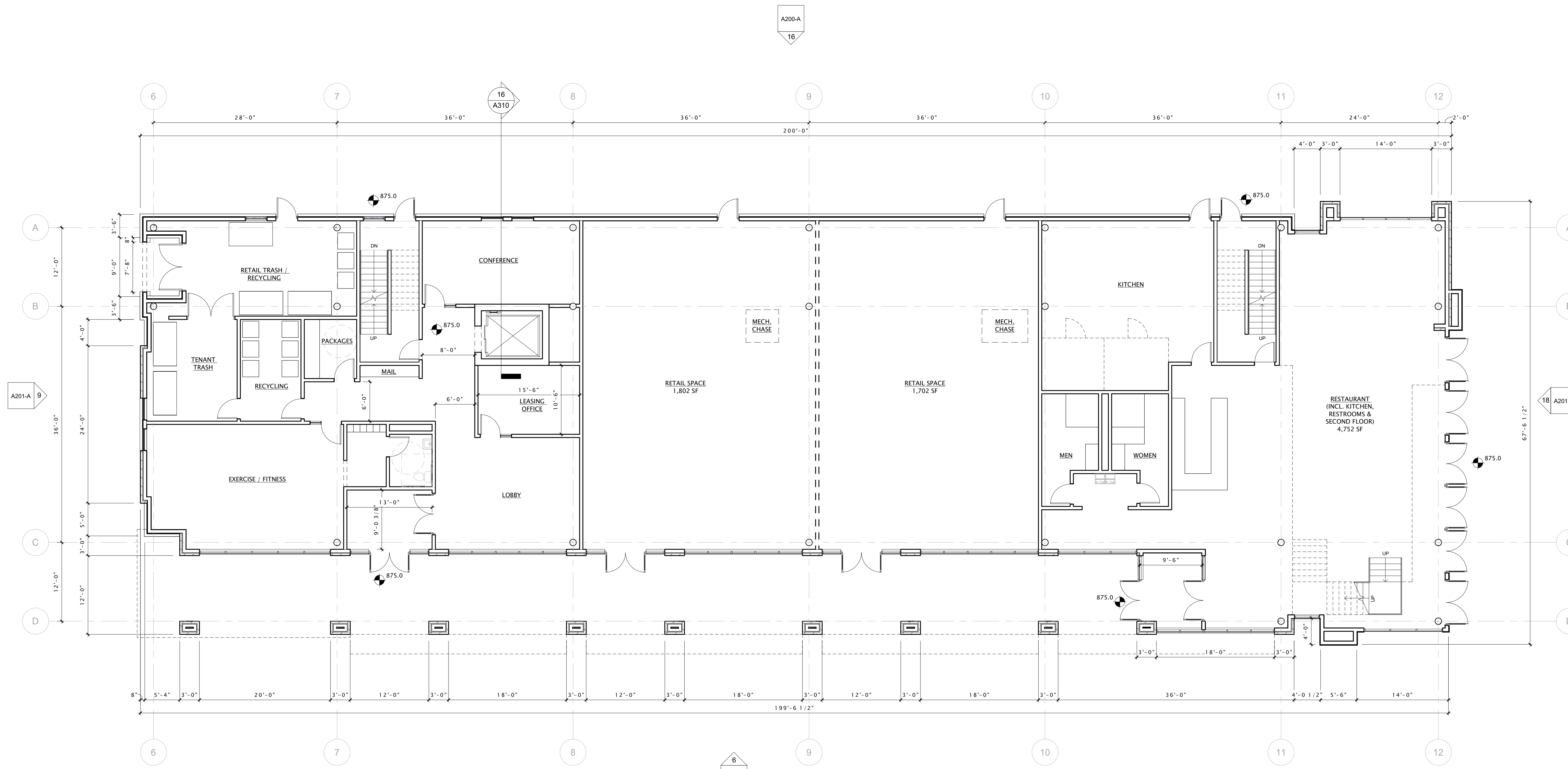
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

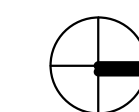
**FIRST FLOOR PLAN - BUILDING 'A'**

SHEET NUMBER

**A101-A**



**16** FIRST FLOOR PLAN - BUILDING 'A'  
1/8" = 1'-0"







**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY  
AVENUE MIXED-USE

LAND USE UDC INITIAL

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE JANUARY 15, 2020

REVISION SCHEDULE

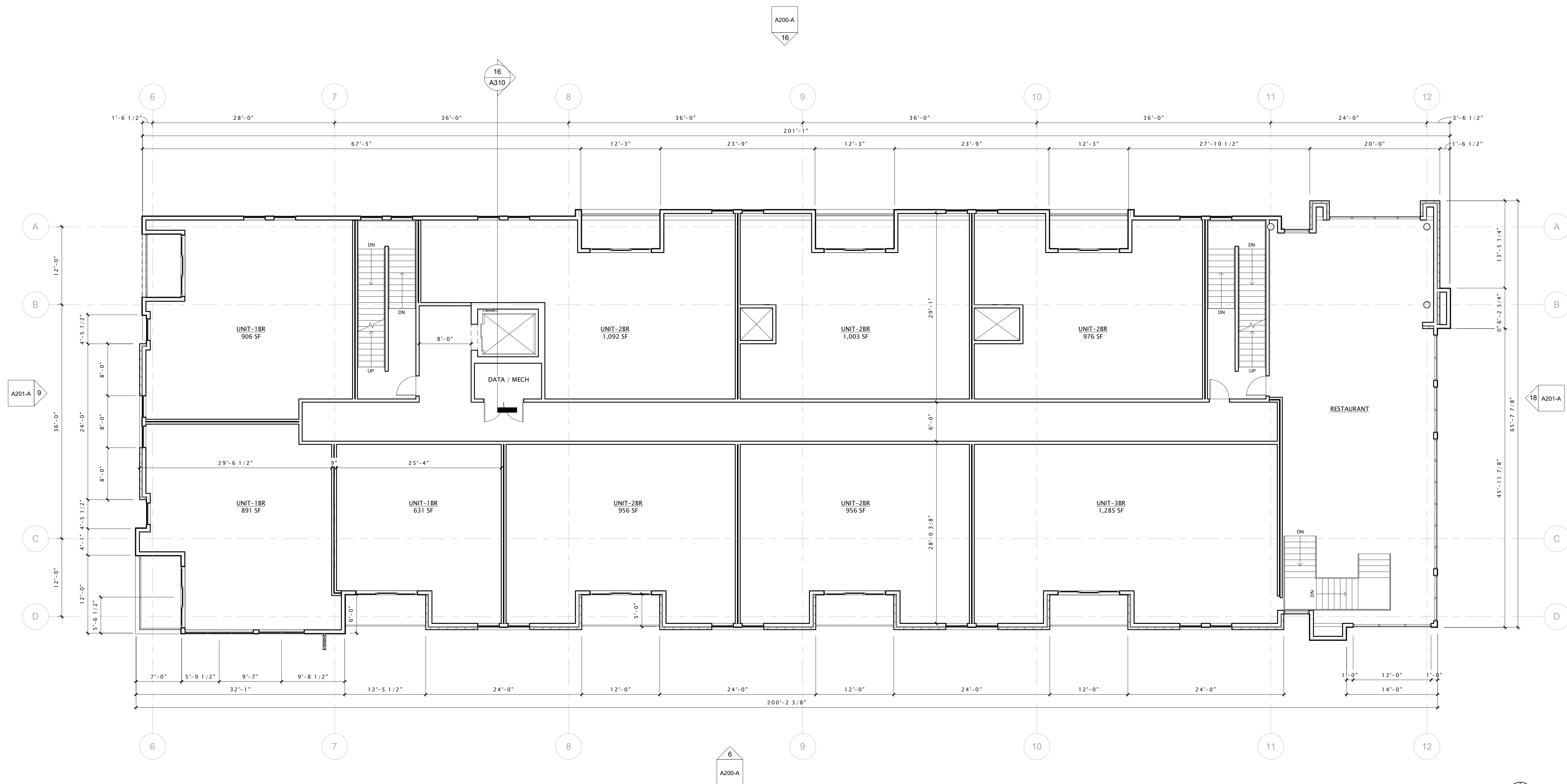
Mark Description Date

SHEET TITLE

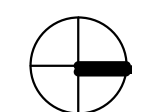
SECOND FLOOR PLAN  
- BUILDING 'A'

SHEET NUMBER

A102-A



16 SECOND FLOOR PLAN - BUILDING 'A'  
1/8" = 1'-0"







**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY  
AVENUE MIXED-USE

LAND USE UDC INITIAL

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE JANUARY 15, 2020

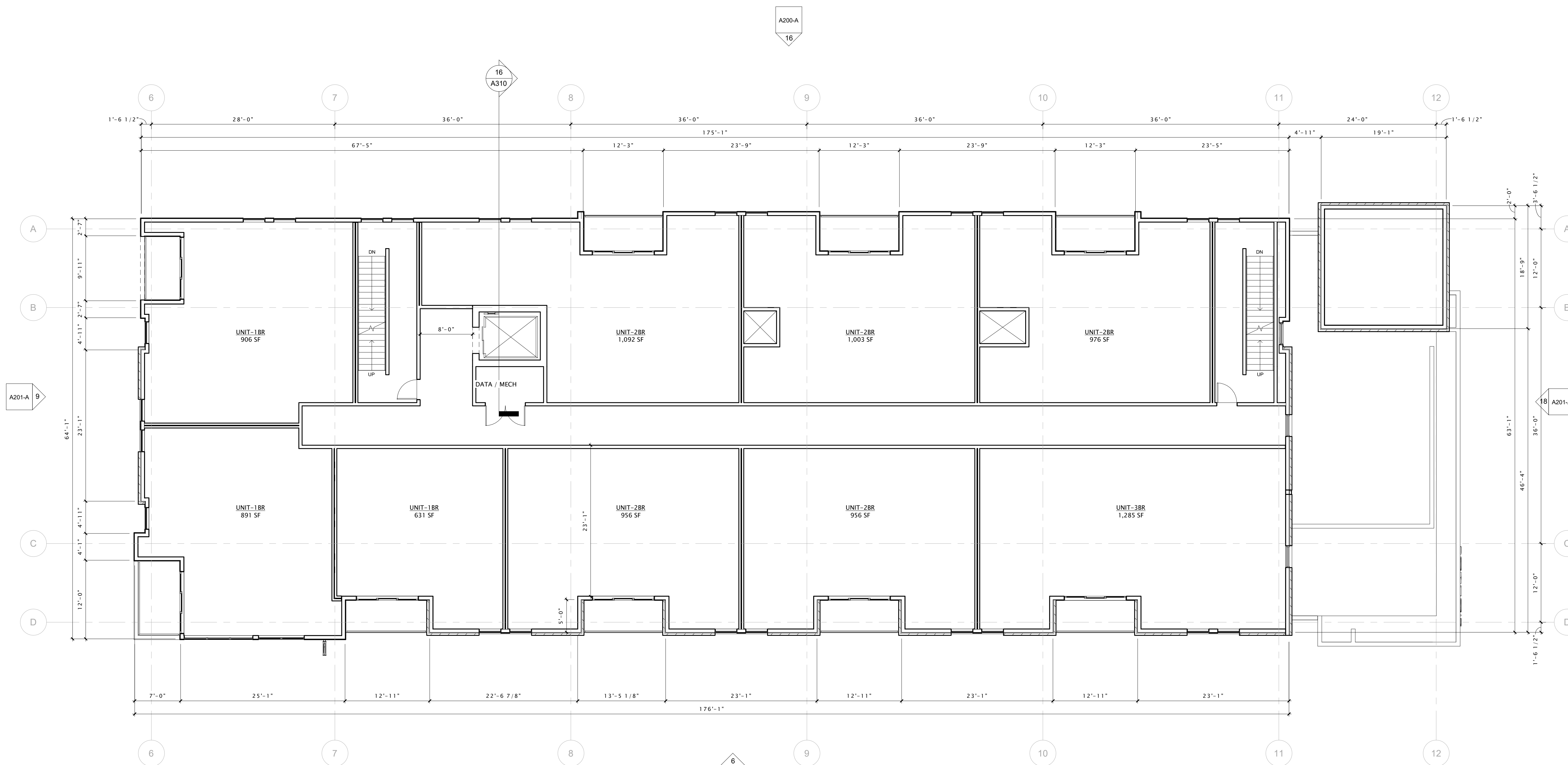
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

THIRD FLOOR PLAN -  
BUILDING 'A'

SHEET NUMBER

A103-A



16 THIRD FLOOR PLAN - BUILDING 'A'  
1/8" = 1'-0"

1/13/2020 12:21:40 PM





**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY  
AVENUE MIXED-USE

LAND USE UDC INITIAL

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE JANUARY 15, 2020

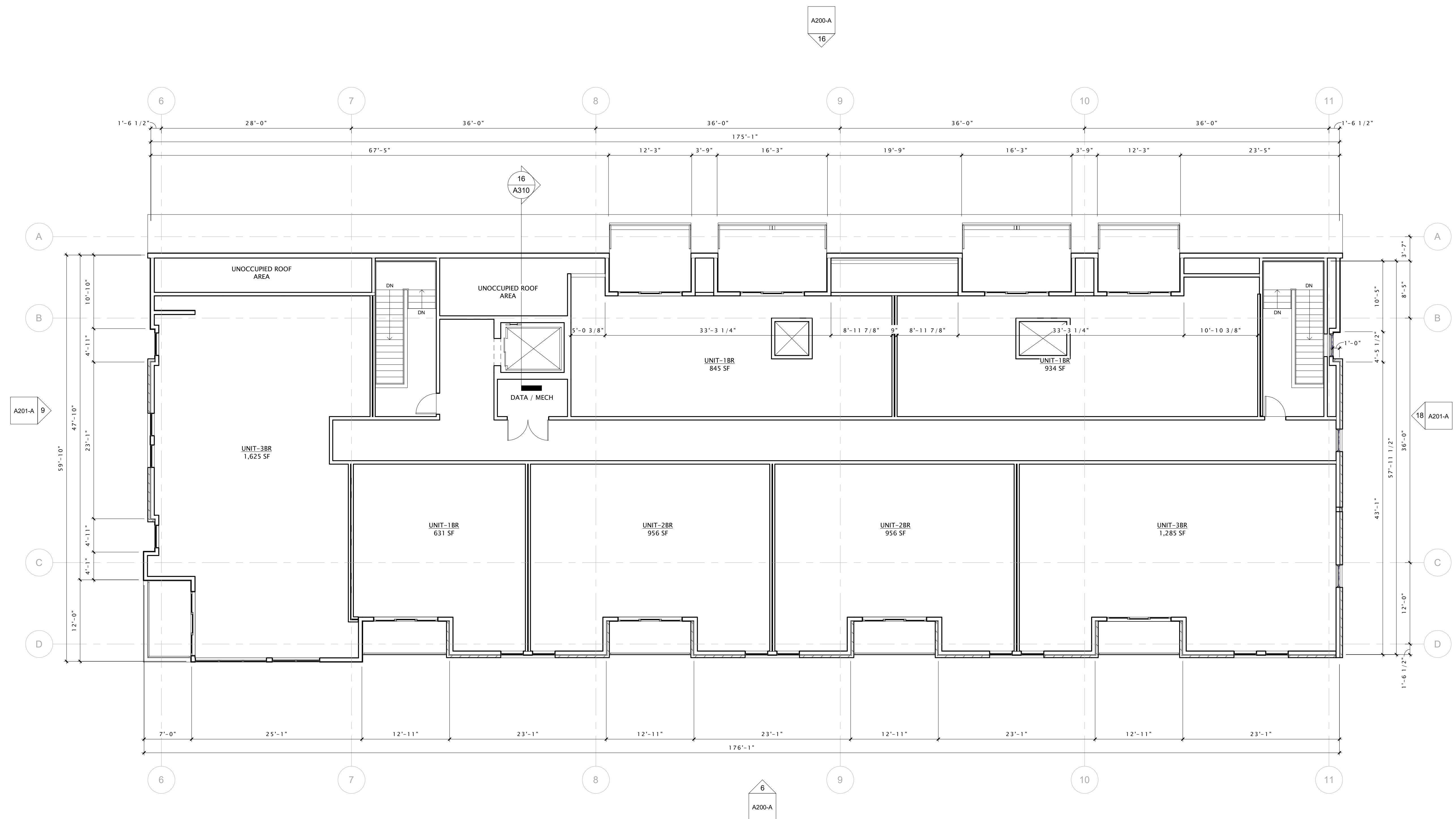
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

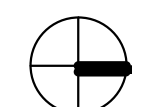
FOURTH FLOOR PLAN -  
BUILDING 'A'

SHEET NUMBER

A104-A



16 FOURTH FLOOR PLAN - BUILDING 'A'  
1/8" = 1'-0"







**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY  
AVENUE MIXED-USE

LAND USE UDC INITIAL

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE JANUARY 15, 2020

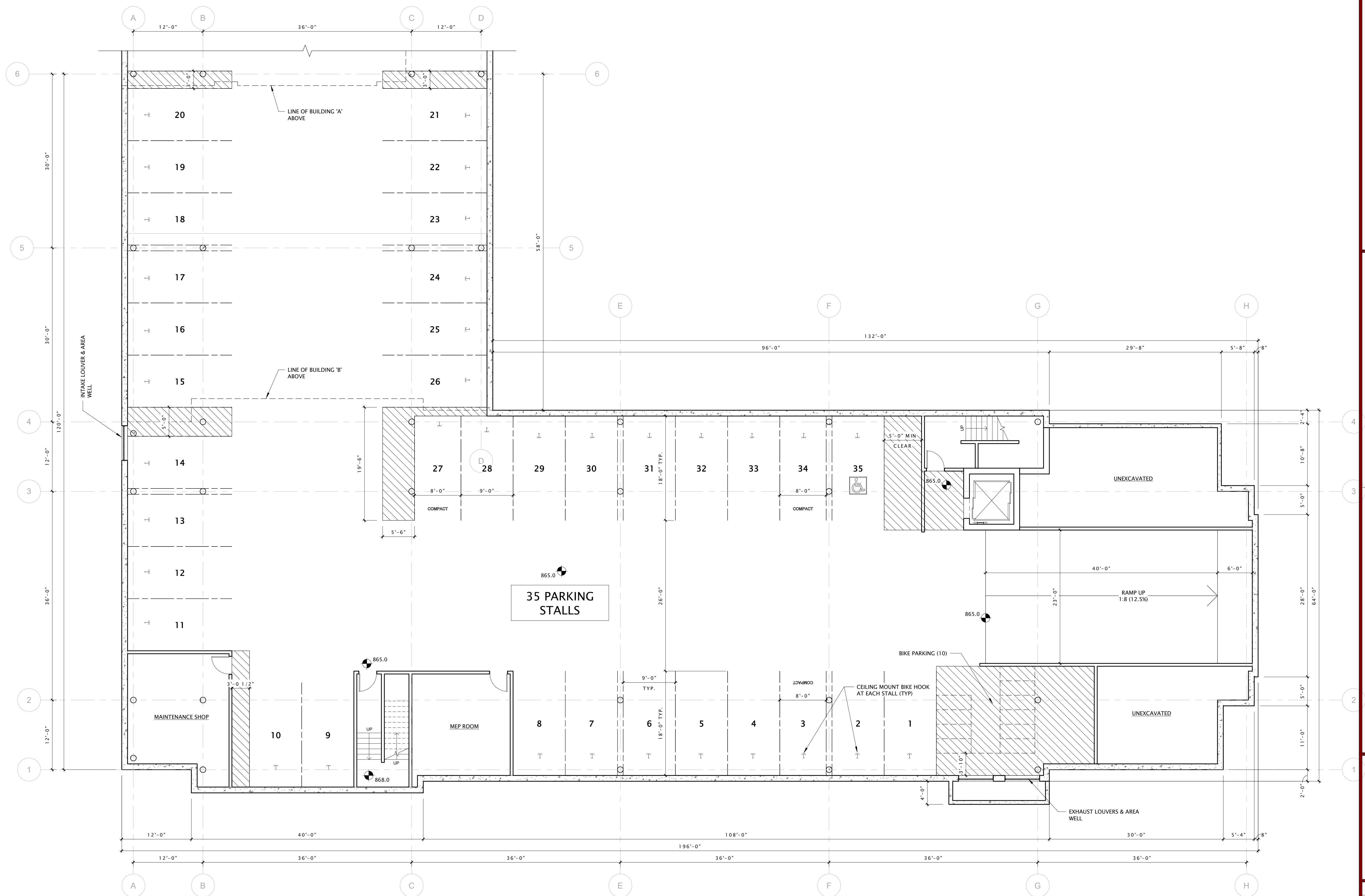
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

LOWER LEVEL PLAN -  
BUILDING 'B'

SHEET NUMBER

A100-B



16 LOWER LEVEL PLAN - 'B' BUILDING  
1/8" = 1'-0"





**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY  
AVENUE MIXED-USE

LAND USE UDC INITIAL

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE JANUARY 15, 2020

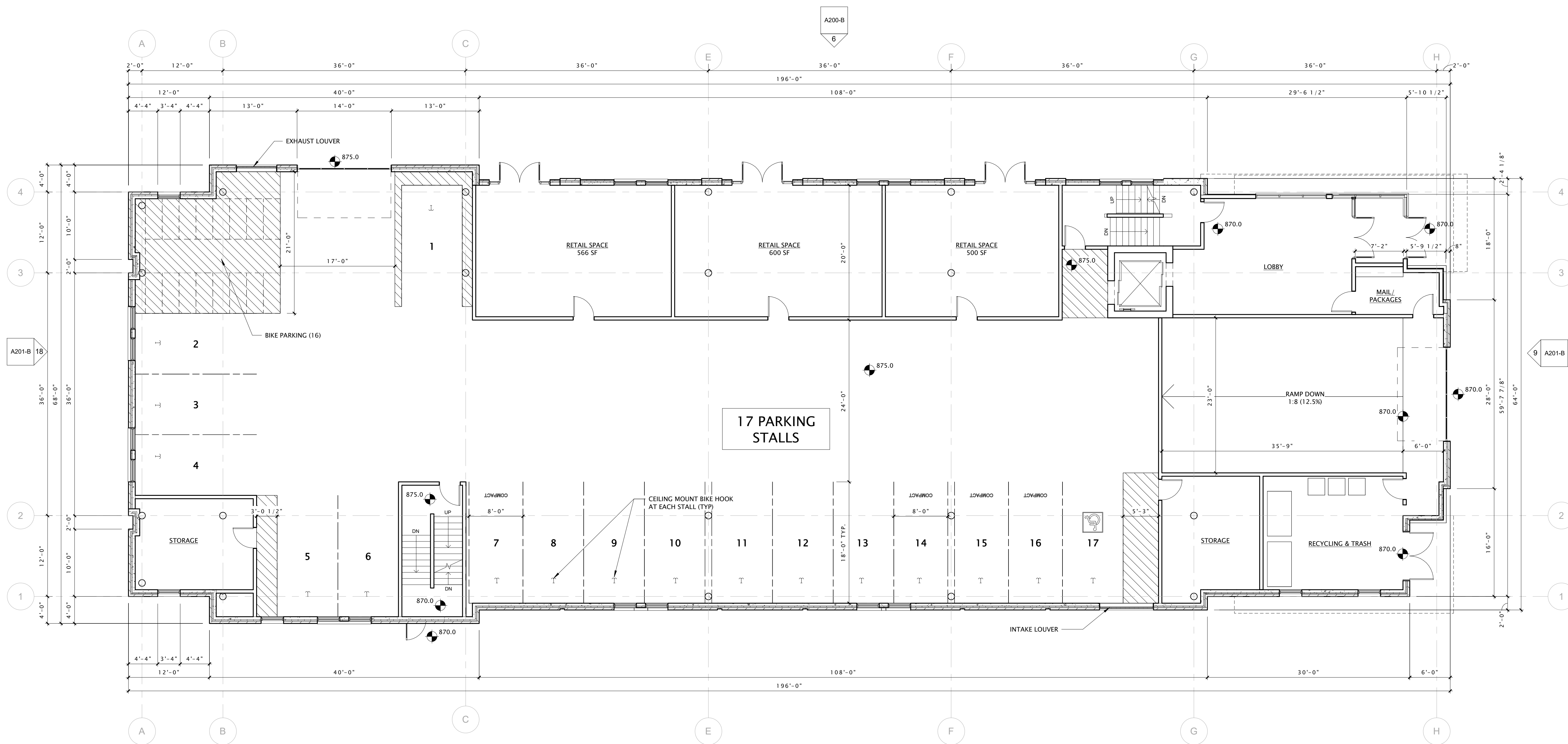
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

FIRST FLOOR PLAN -  
BUILDING 'B'

SHEET NUMBER

**A101-B**



16 FIRST FLOOR PLAN - BUILDING 'B'  
1/8" = 1'-0"







**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY  
AVENUE MIXED-USE

LAND USE UDC INITIAL

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE JANUARY 15, 2020

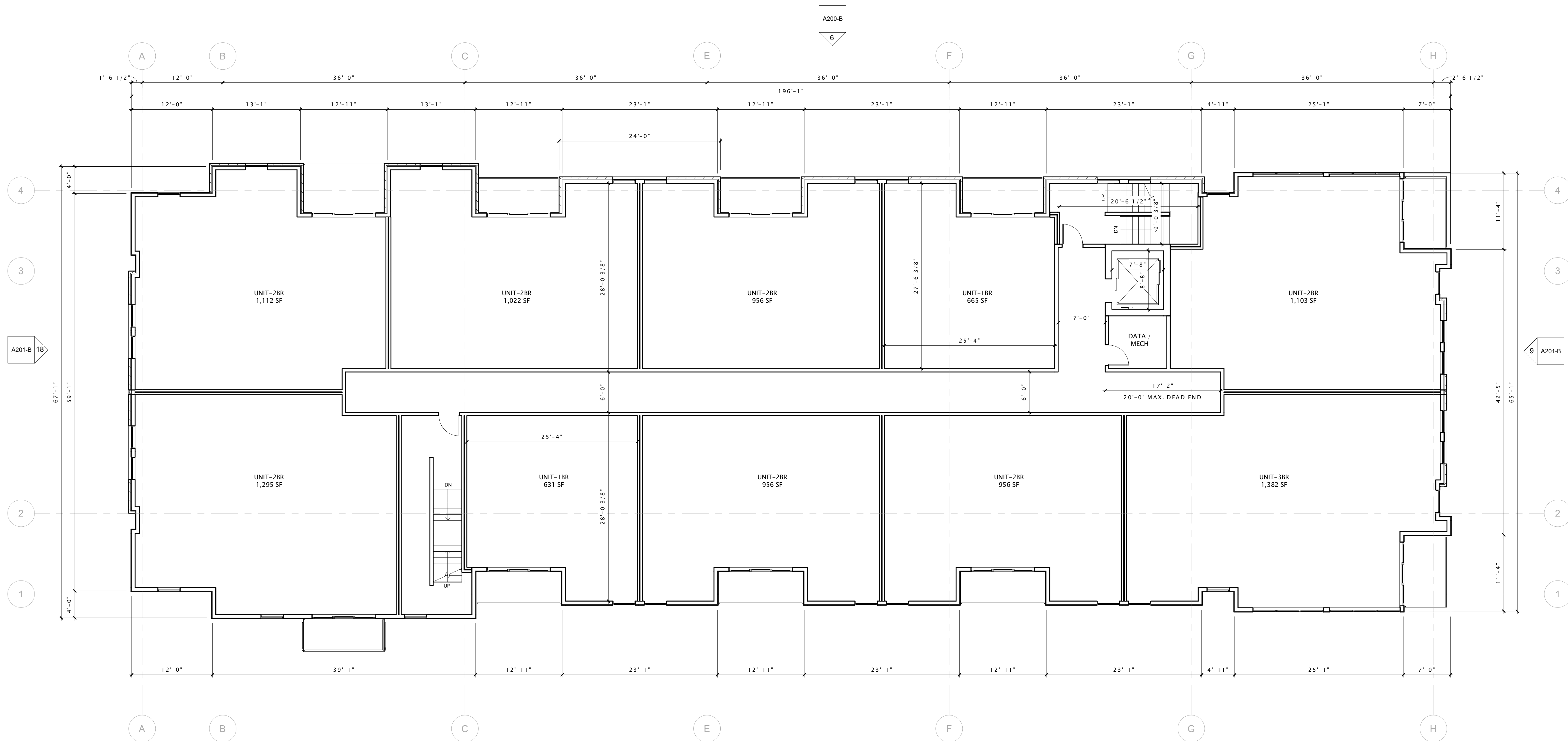
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SECOND FLOOR PLAN  
- BUILDING 'B'

SHEET NUMBER

A102-B



16 SECOND FLOOR PLAN - BUILDING 'B'  
1/8" = 1'-0"





**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY  
AVENUE MIXED-USE

LAND USE UDC INITIAL

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE JANUARY 15, 2020

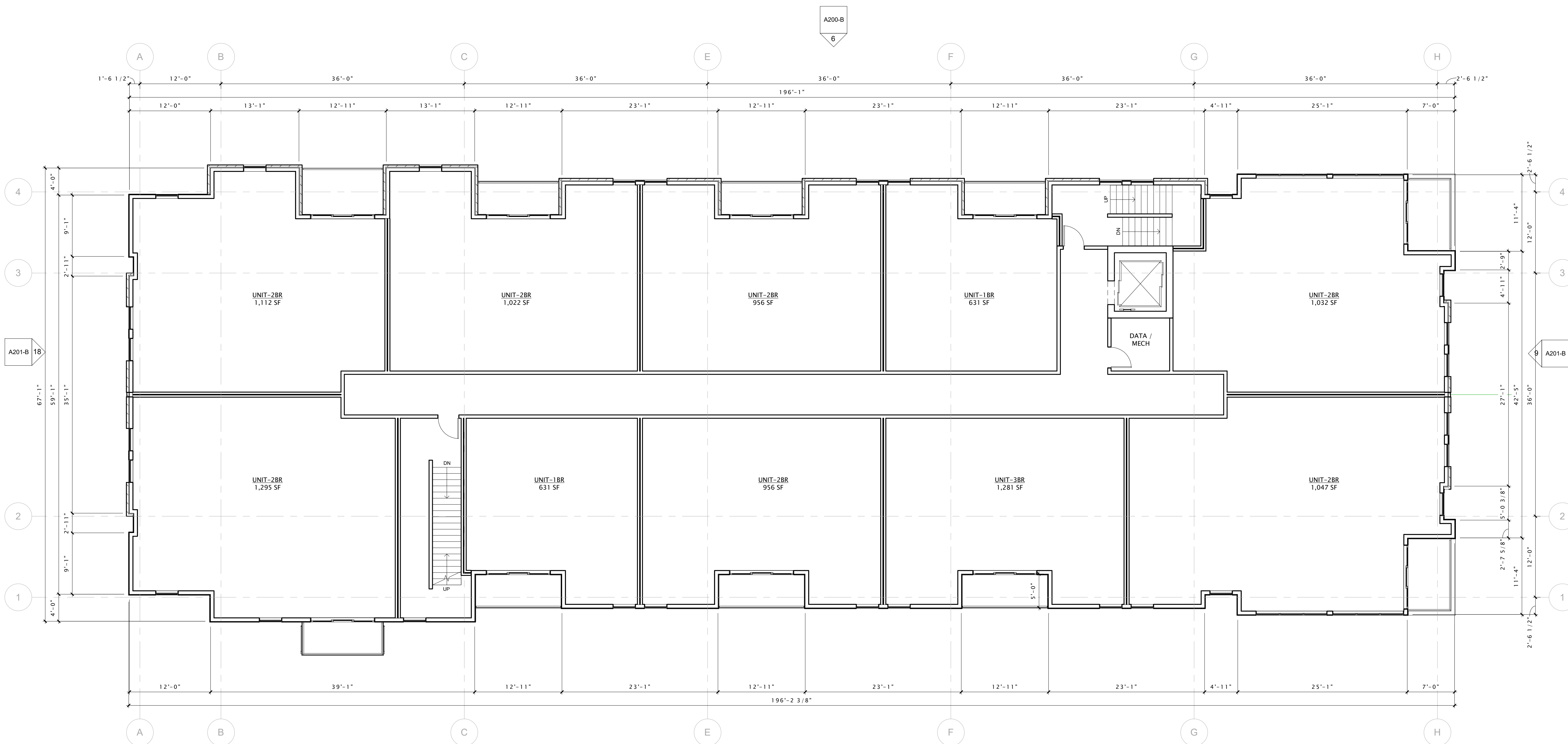
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

THIRD FLOOR PLAN -  
BUILDING 'B'

SHEET NUMBER

A103-B



16 THIRD FLOOR PLAN - BUILDING 'B'  
1/8" = 1'-0"





**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY  
AVENUE MIXED-USE

LAND USE UDC INITIAL

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE JANUARY 15, 2020

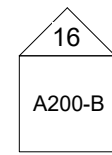
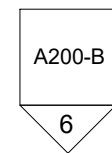
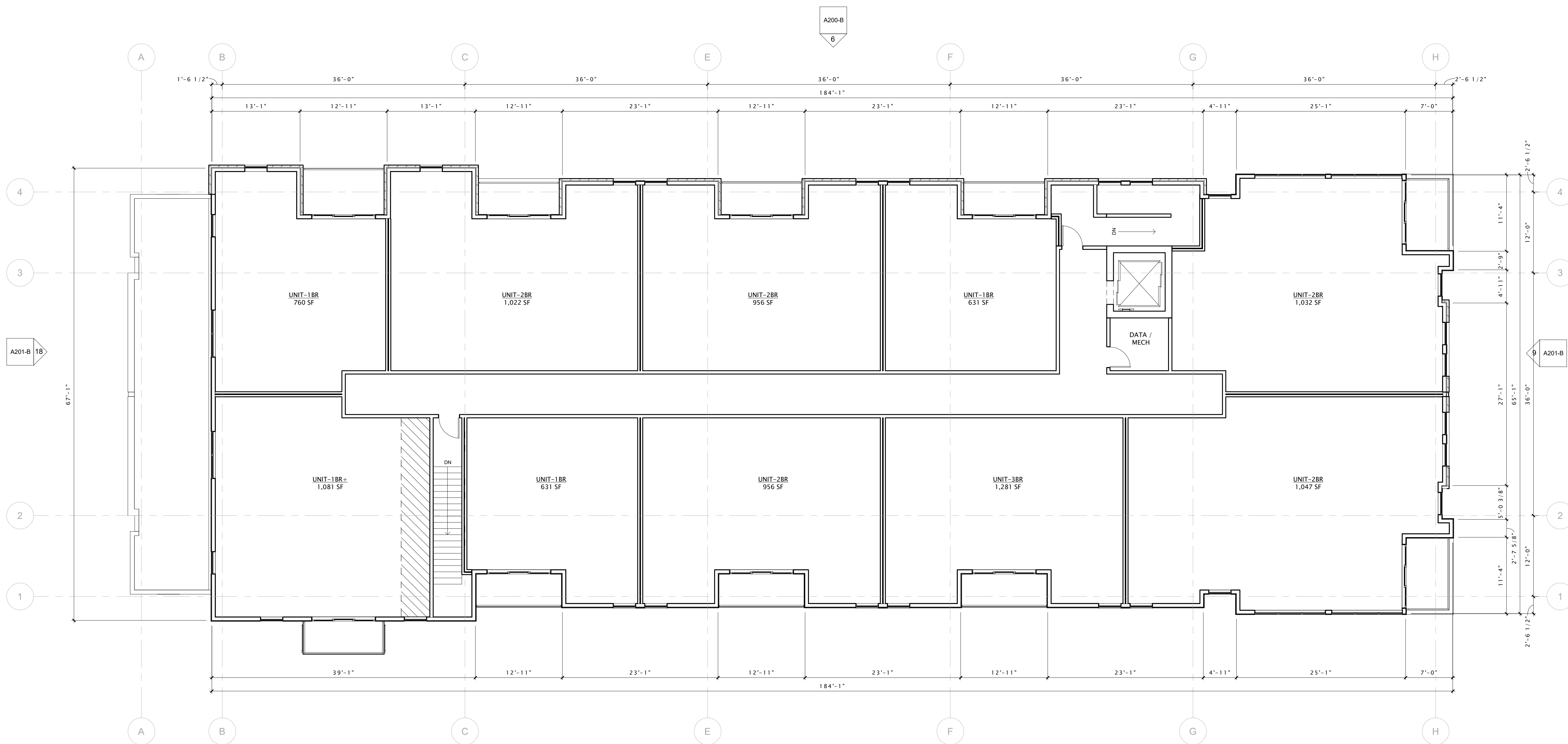
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

FOURTH FLOOR PLAN -  
BUILDING 'B'

SHEET NUMBER

A104-B



16 FOURTH FLOOR PLAN - BUILDING 'B'  
1/8" = 1'-0"







**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY  
AVENUE MIXED-USE

LAND USE UDC INITIAL

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE JANUARY 15, 2020

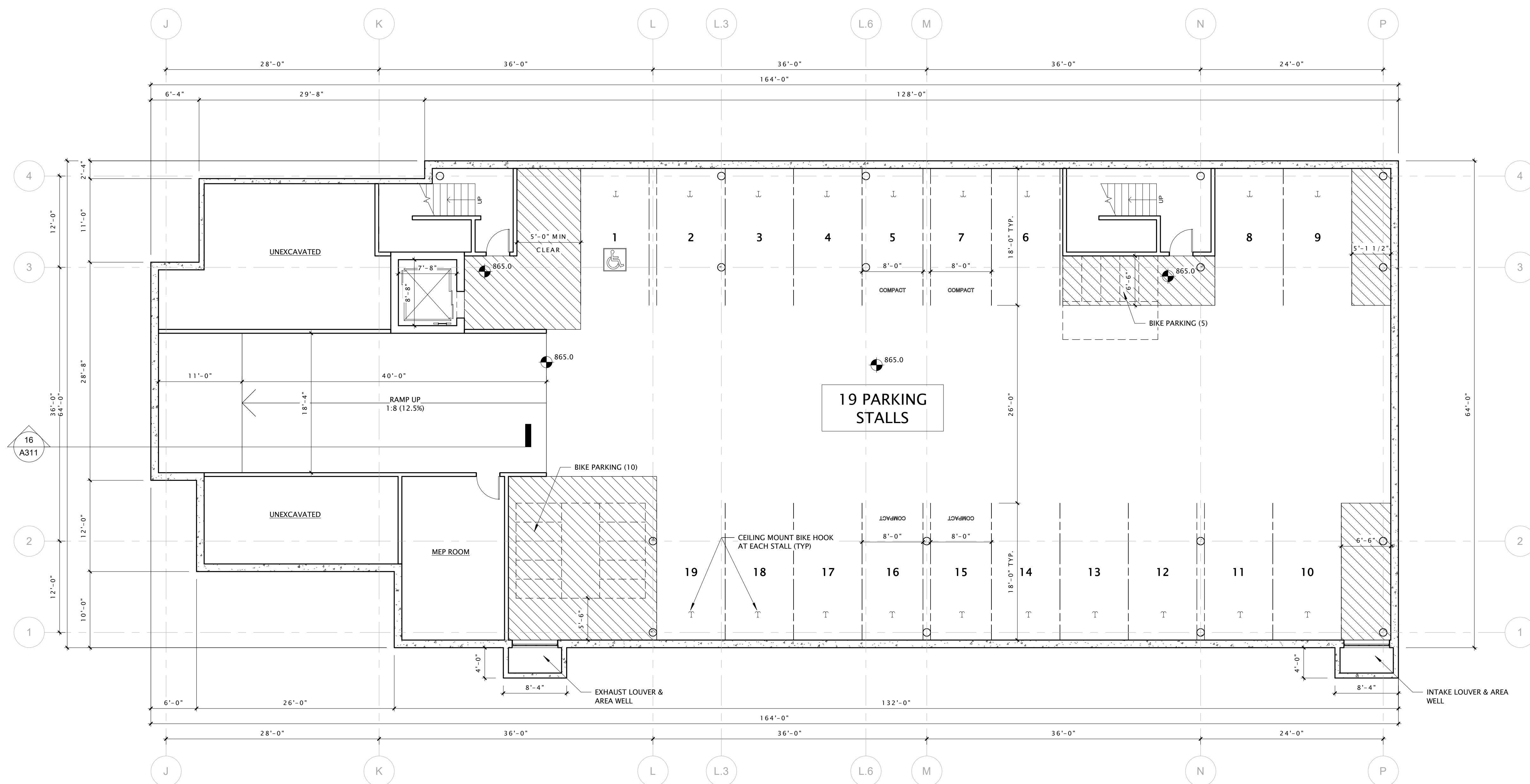
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

LOWER LEVEL PLAN -  
BUILDING 'C'

SHEET NUMBER

A100-C



16 LOWER LEVEL PLAN - 'C' BUILDING  
1/8" = 1'-0"





**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY  
AVENUE MIXED-USE

LAND USE UDC INITIAL

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE JANUARY 15, 2020

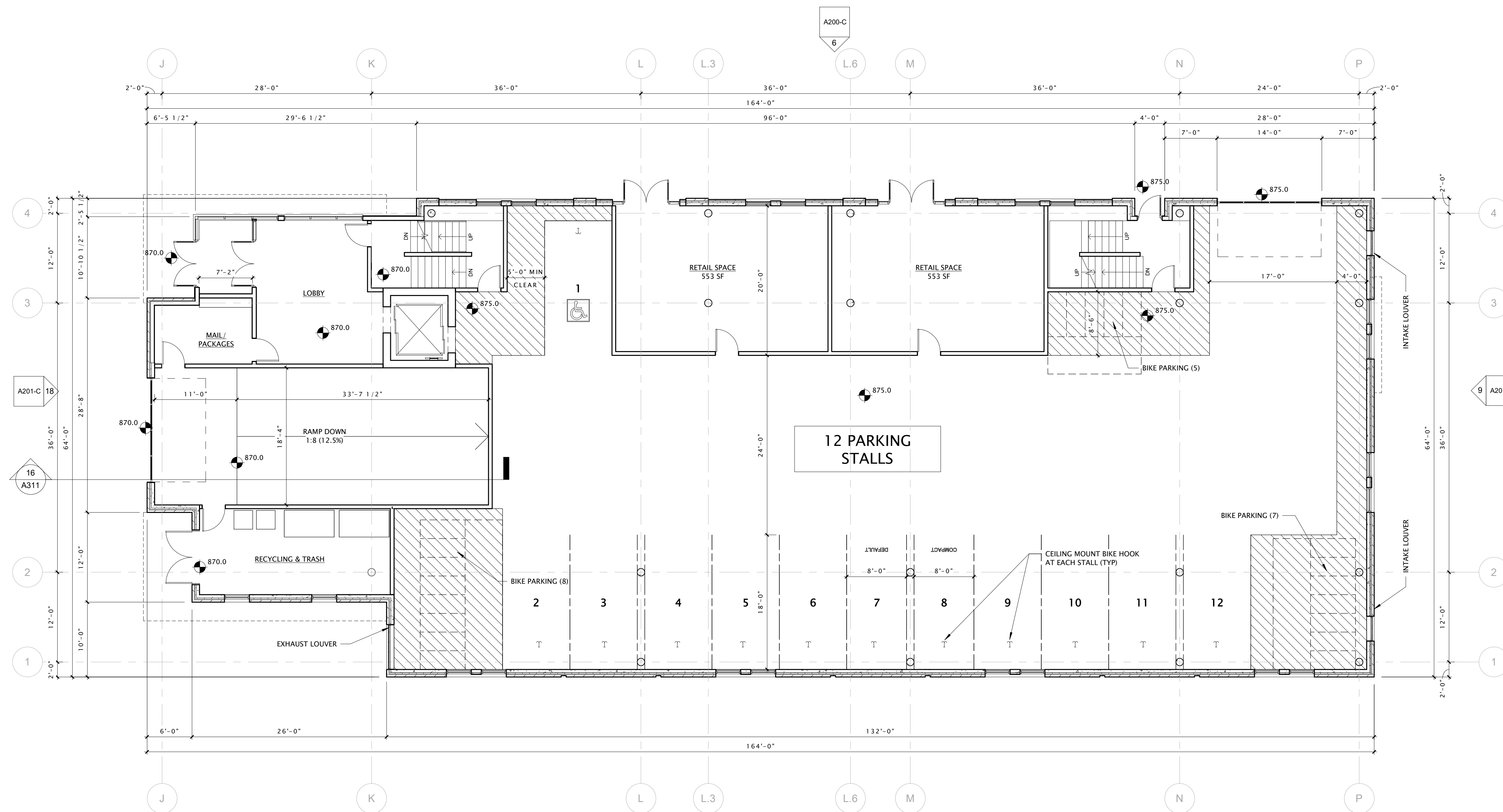
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

FIRST FLOOR PLAN -  
BUILDING 'C'

SHEET NUMBER

A101-C



16 FIRST FLOOR PLAN - BUILDING 'C'  
1/8" = 1'-0"







**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY  
AVENUE MIXED-USE

LAND USE UDC INITIAL

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE JANUARY 15, 2020

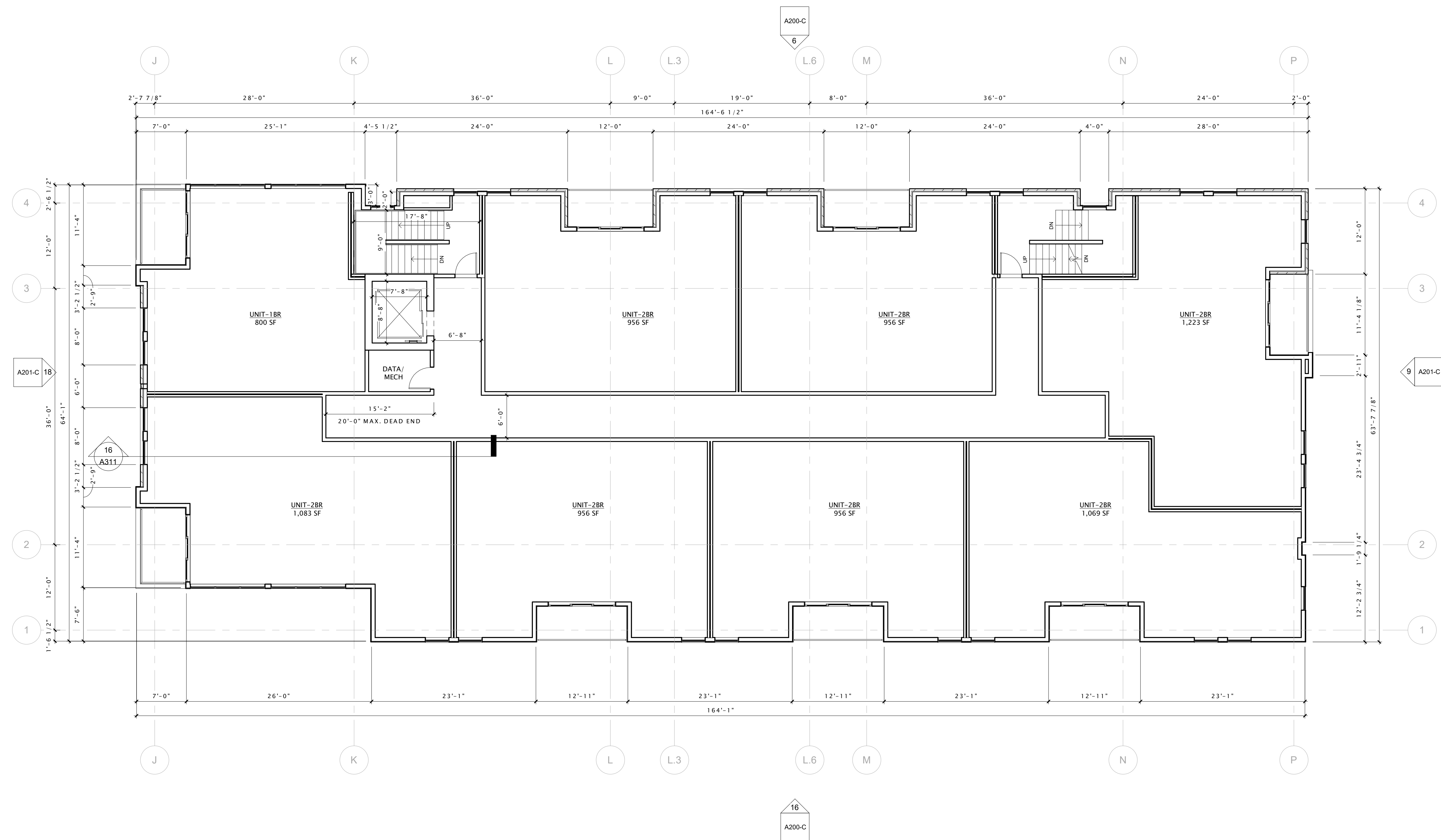
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SECOND FLOOR PLAN  
- BUILDING 'C'

SHEET NUMBER

A102-C



16 SECOND FLOOR PLAN - BUILDING 'C'  
1/8" = 1'-0"





**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY  
AVENUE MIXED-USE

LAND USE UDC INITIAL

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE JANUARY 15, 2020

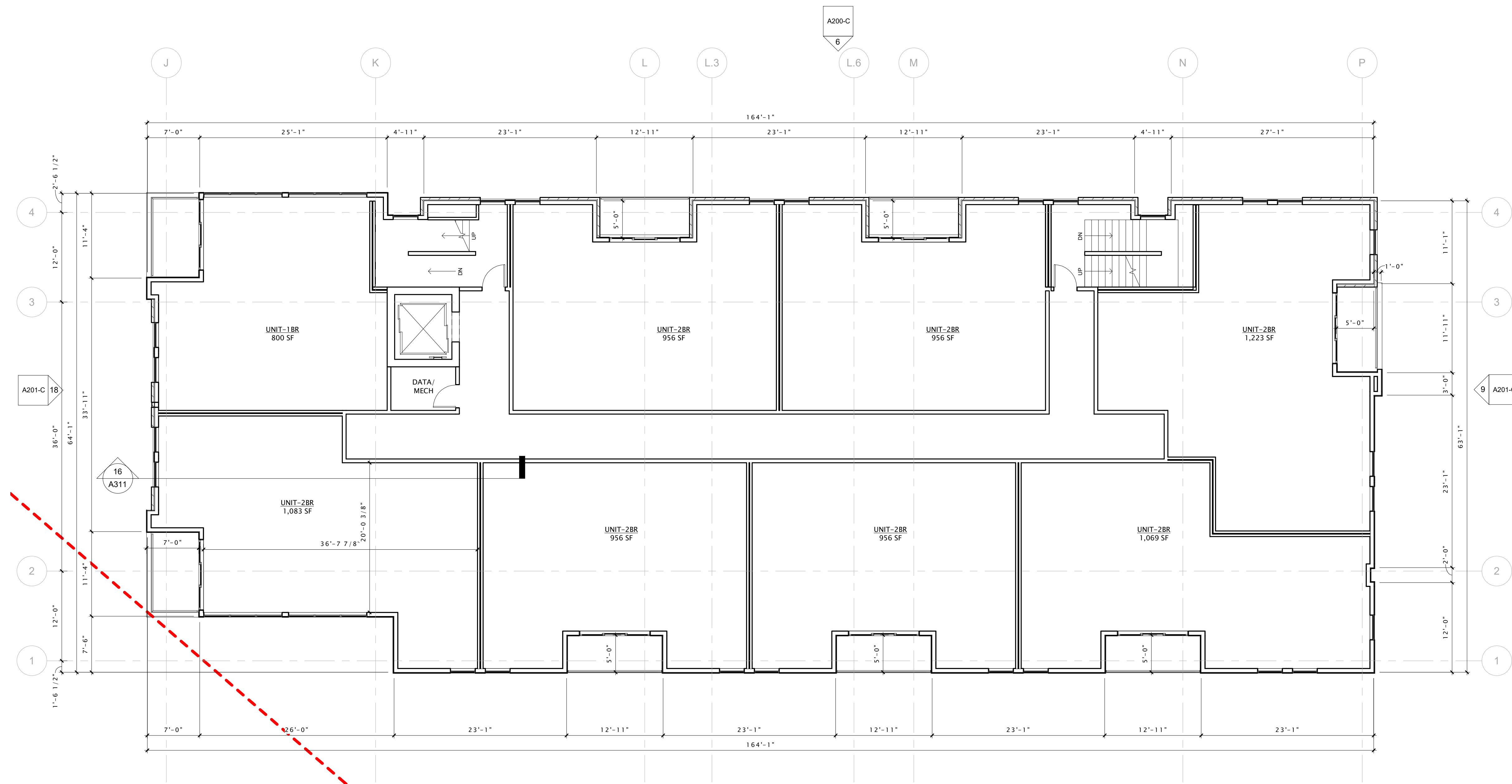
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

THIRD FLOOR PLAN -  
BUILDING 'C'

SHEET NUMBER

A103-C



1 THIRD FLOOR PLAN - BUILDING 'C'  
1/8" = 1'-0"

1/13/2020 12:22:21 PM





**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY  
AVENUE MIXED-USE

LAND USE UDC INITIAL

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE JANUARY 15, 2020

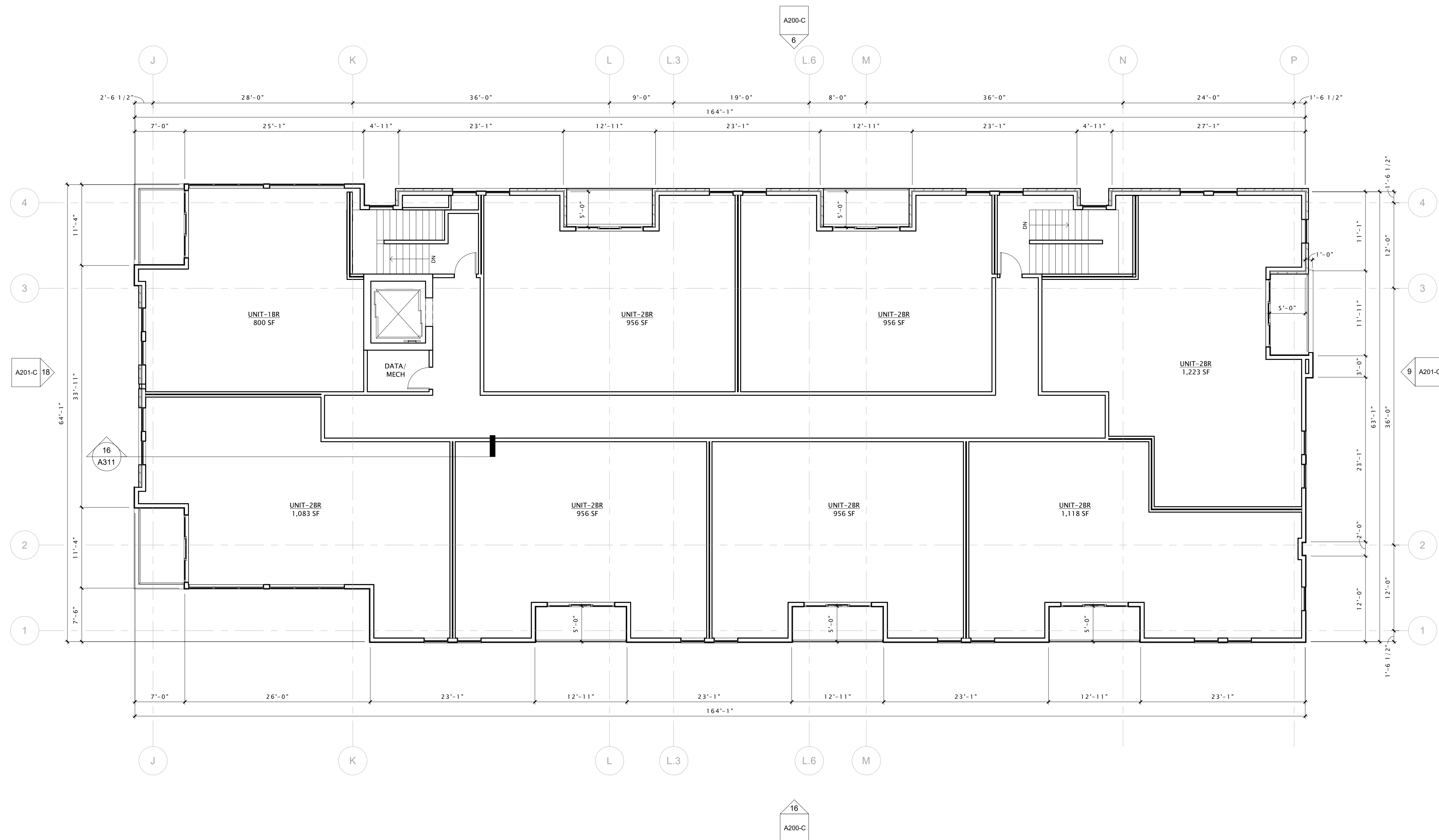
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

FOURTH FLOOR PLAN -  
BUILDING 'C'

SHEET NUMBER

A104-C



16 FOURTH FLOOR PLAN - BUILDING 'C'  
1/8" = 1'-0"





6 BUILDING 'A' - EAST ELEVATION  
1/8" = 1'-0"



16 BUILDING 'A' - WEST ELEVATION  
1/8" = 1'-0"



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY  
AVENUE MIXED-USE

LAND USE UDC INITIAL

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE JANUARY 15, 2020

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS-  
BUILDING 'A'

SHEET NUMBER

A200-A





**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY  
AVENUE MIXED-USE

LAND USE UDC INITIAL

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE JANUARY 15, 2020

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS-  
BUILDING 'A'

SHEET NUMBER

A201-A



9 BUILDING 'A' - SOUTH ELEVATION  
1/8" = 1'-0"



18 BUILDING 'A' - NORTH ELEVATION  
1/8" = 1'-0"





6 BUILDING 'B' - NORTH ELEVATION  
1/8" = 1'-0"



16 BUILDING 'B' - SOUTH ELEVATION  
1/8" = 1'-0"



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY  
AVENUE MIXED-USE

LAND USE UDC INITIAL

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE JANUARY 15, 2020

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS-  
BUILDING 'B'

SHEET NUMBER

A200-B





**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY  
AVENUE MIXED-USE

LAND USE UDC INITIAL

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE JANUARY 15, 2020

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS-  
BUILDING 'B'

SHEET NUMBER

**A201-B**



9 BUILDING 'B' - EAST ELEVATION  
1/8" = 1'-0"



18 BUILDING 'B' - WEST ELEVATION  
1/8" = 1'-0"





JLA ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY AVENUE MIXED-USE

LAND USE UDC INITIAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE JANUARY 15, 2020

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE  
EXTERIOR ELEVATIONS-  
BUILDING 'C'

SHEET NUMBER  
A200-C



6 BUILDING 'C' - NORTH ELEVATION  
1/8" = 1'-0"



16 BUILDING 'C' - SOUTH ELEVATION  
1/8" = 1'-0"





**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY  
AVENUE MIXED-USE

LAND USE UDC INITIAL

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE JANUARY 15, 2020

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS-  
BUILDING 'C'

SHEET NUMBER

A201-C



9 BUILDING 'C' - EAST ELEVATION  
1/8" = 1'-0"



10 BUILDING 'C' - WEST ELEVATION  
1/8" = 1'-0"