

1 BASEMENT PLAN

SCALE: 1/8" = 1'-0"

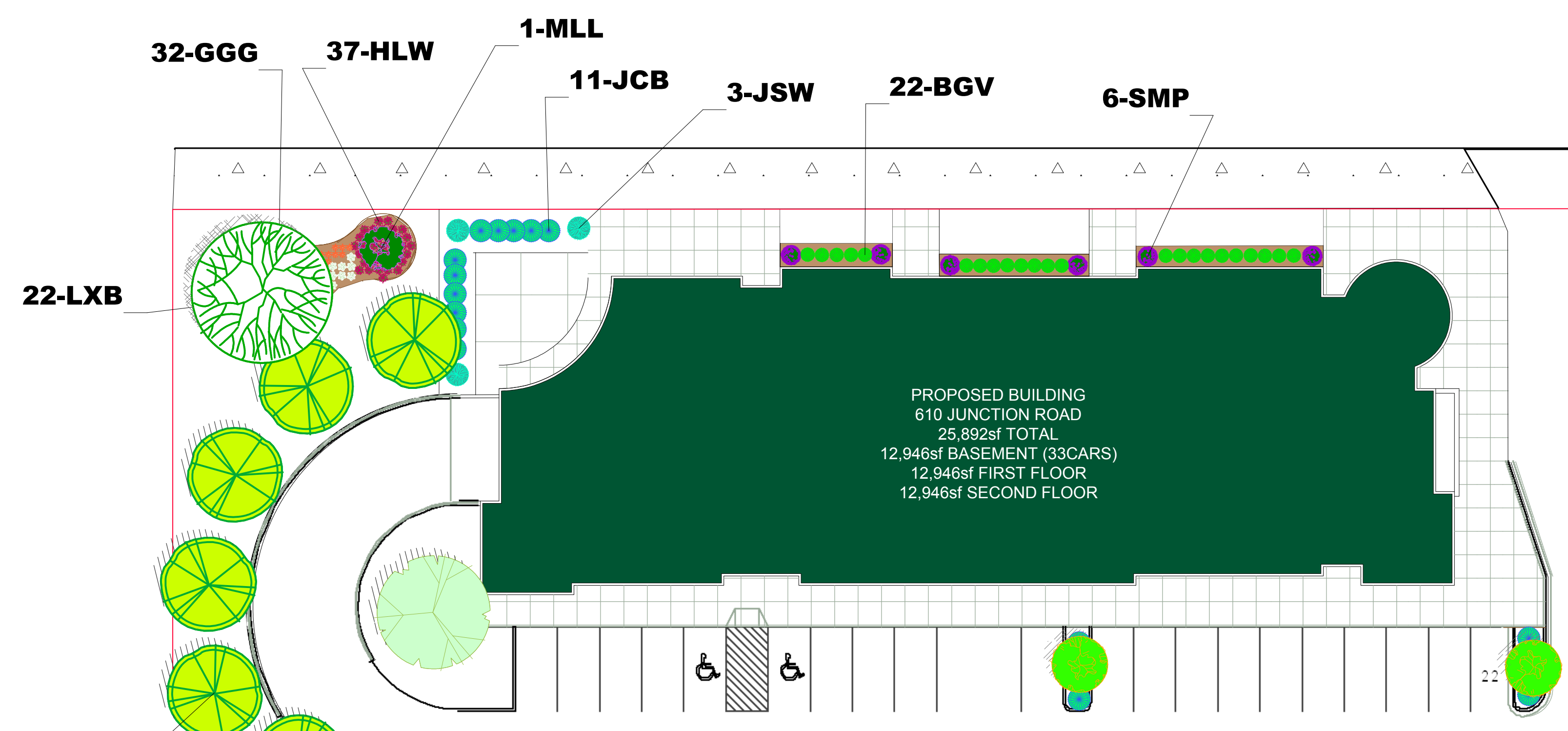


5 3 0 C I T Y C E N T E R J U N C T I O N

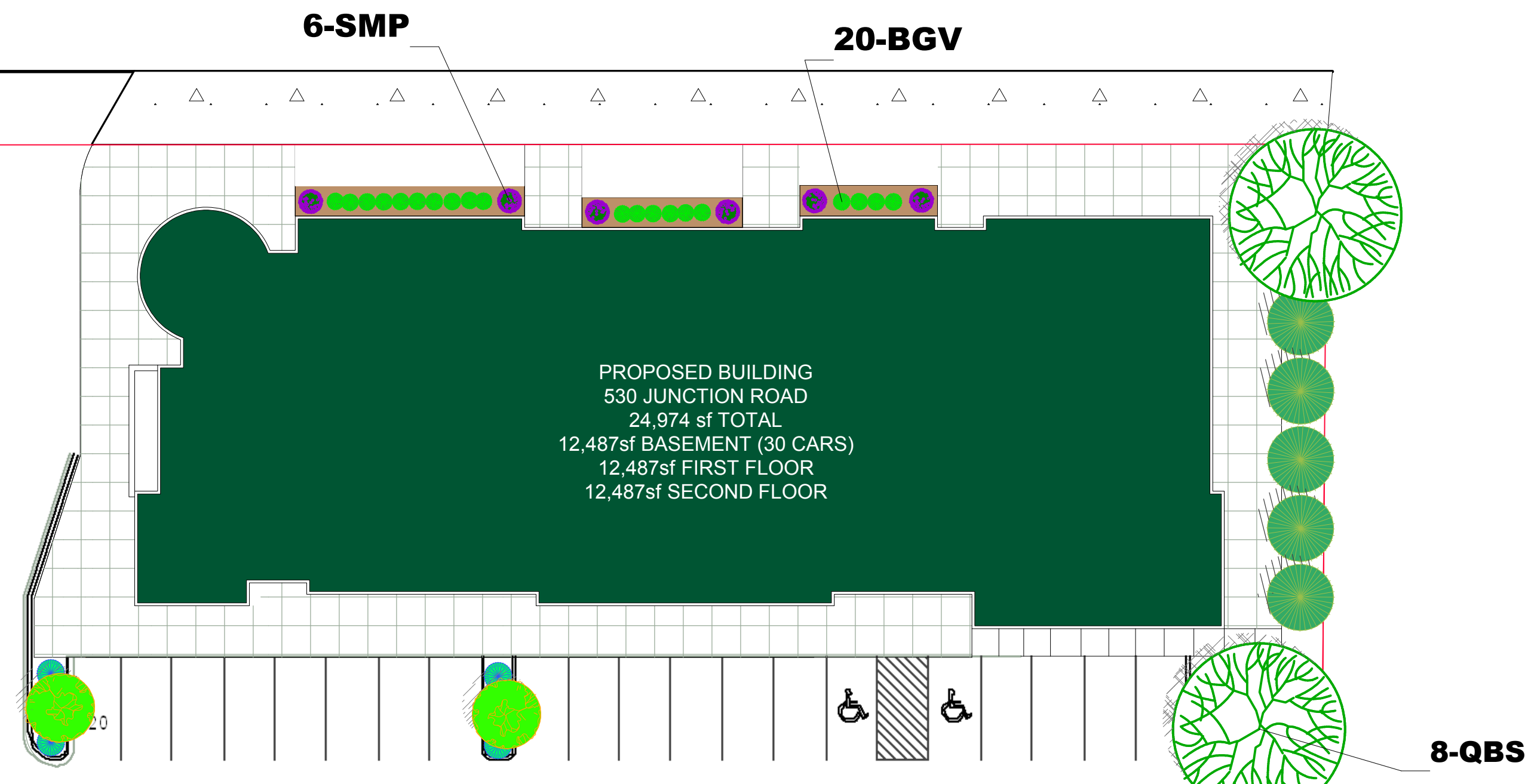


WELMAN
ARCHITECTS
I R C
DATE: 11-31-2006
JOB #: 26098

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PROPOSED BUILDING
610 JUNCTION ROAD
25,892sf TOTAL
12,946sf BASEMENT (33CARS)
12,946sf FIRST FLOOR
12,946sf SECOND FLOOR



PROPOSED BUILDING
530 JUNCTION ROAD
24,974 sf TOTAL
12,487sf BASEMENT (30 CARS)
12,487sf FIRST FLOOR
12,487sf SECOND FLOOR

Planting Key				
ID	Qty	Botanical Name	Common Name	Scheduled Size
AFC	17	Acer x freemanii 'Celzam'	Celebration Maple	2.0" CAL
BGV	43	Buxus x 'Green Velvet'	Green Velvet Boxwood	18 Pot
CXH	13	Cotoneaster x 'Hesse'	Hesse Cotoneaster	4.5" Pot
GBA	15	Ginkgo biloba 'Autumn Gold'	Autumn Gold Ginkgo	2.5" BB
GGG	32	Gaillardia grandiflora 'Goblin'	Goblin Blanketflower	4.5" Pot
HLW	420	Hemerocallis 'Little Wine Cup'	Little Wine Cup Daylily	4.5" Pot
JCB	63	Juniperus horizontalis 'Broadmoor'	Broadmoor Creeping Juniper	18 Pot
JSW	3	Juniperus scopulorum 'Wichita Blue'	Wichita Blue Juniper	5' BB
LXB	22	Leucanthemum x 'Becky'	Backy Shasta Daisy	4.5" Pot
MLL	1	Magnolia loeberi 'Leonard Messel'	Leonard Messel Magnolia	8' BB
MPR	16	Malus 'Prairie Rose'	Prairie Rose Crabapple	1.5" CAL
PCC	8	Pyrus calleryana 'Cleveland Select'	Cleveland Select Flowering Pear	1.5" CAL
QBS	8	Quercus bicolor	Swamp White Oak	2.0" CAL
RAG	51	Rhus aromatica 'Gro-low'	Gro-low Fragrant Sumac	18 Pot
SMP	12	Syringa meyerii 'Palibin'	Dwarf Korean Lilac	24" BB
STG	8	Picea pungens var. glauca	Colorado Blue Spruce	6' BB

PRELIMINARY LANDSCAPE PLAN SCALE: 1" = 20'-0"

Stano LANDSCAPE DESIGN AND DEVELOPMENT
6565 NORTH INDUSTRIAL ROAD
MILWAUKEE, WISCONSIN 53223
414-358-1800
www.stanolandscaping.com

City Center Junction
530-610 Junction Road
Madison, WI 53717

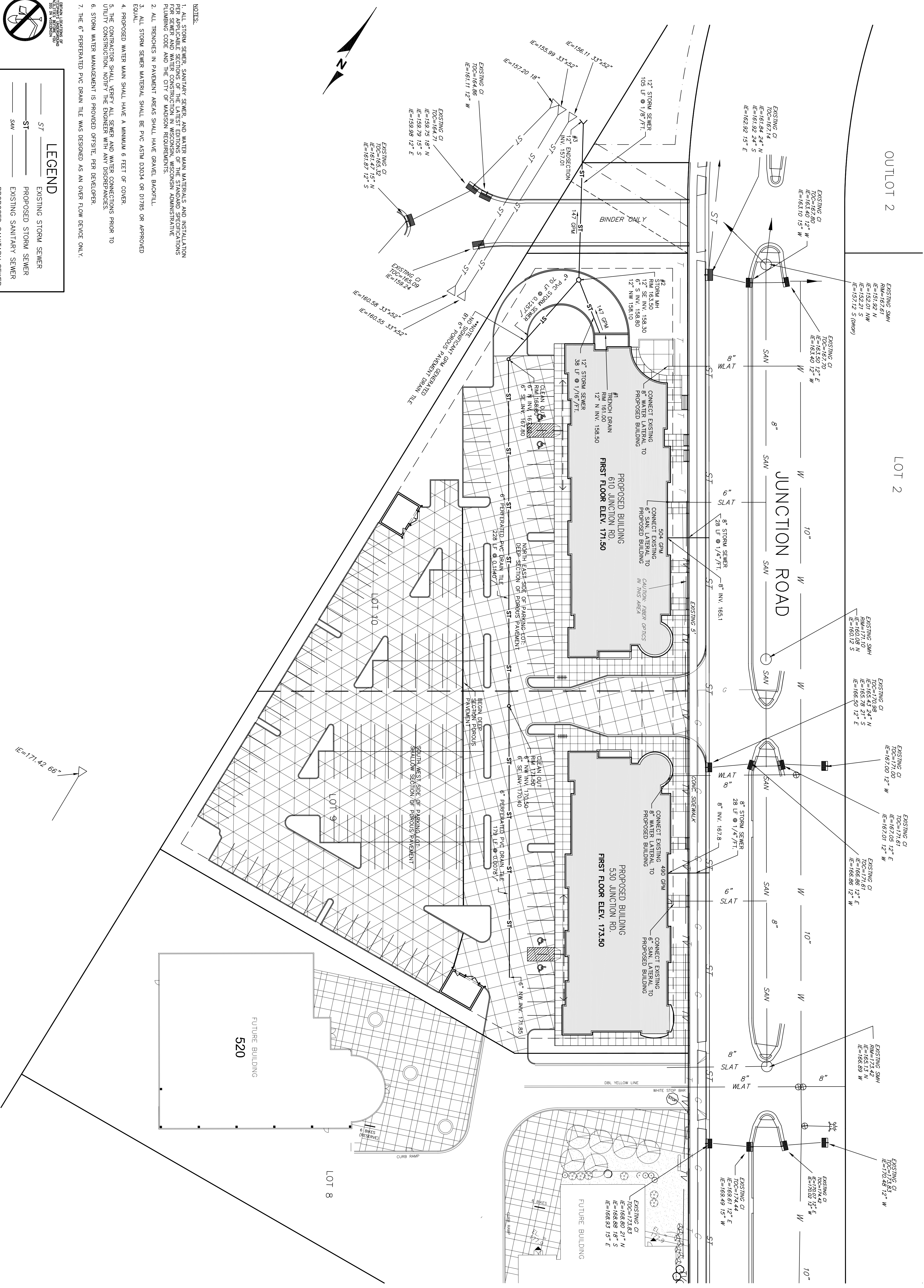
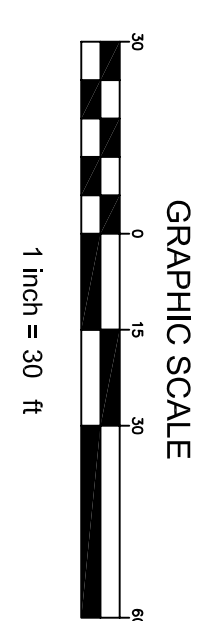
Design by: ACM
Drawn by: ACM
Date: 04/18/07
Scale: 1" = 20'
Sheet: L1

CITY CENTER JUNCTION
MADISON, WI

CJE NO.: 0712R3
APRIL 17, 2007

PRELIMINARY
SITE UTILITY PLAN

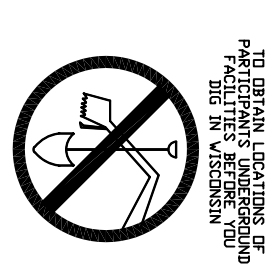
C2.0



- NOTES:**
1. ALL STORM SEWER, SANITARY SEWER, AND WATER MAIN MATERIALS AND INSTALLATION PER APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, PART 200, AND THE CITY OF MADISON ADMINISTRATIVE FLOWING CODE AND THE CITY OF MADISON REQUIREMENTS.
 2. ALL TRENCHES IN PAVEMENT AREAS SHALL HAVE GRAVEL BACKFILL.
 3. ALL STORM SEWER MATERIAL SHALL BE PVC ASTM D3034 OR D1785 OR APPROVED EQUAL.
 4. PROPOSED WATER MAIN SHALL HAVE A MINIMUM 6 FEET OF COVER.
 5. THE CONTRACTOR SHALL VERIFY ALL SEWER AND WATER CONNECTIONS PRIOR TO UTILITY CONSTRUCTION. NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.
 6. STORM WATER MANAGEMENT IS PROVIDED OFFSITE, PER DEVELOPER.
 7. THE 6" PERFORATED PVC DRAIN TILE WAS DESIGNED AS AN OVER FLOW DEVICE ONLY.

LEGEND

ST	EXISTING STORM SEWER
ST	PROPOSED STORM SEWER
SAW	EXISTING SANITARY SEWER
SAN	PROPOSED SANITARY SEWER
W	EXISTING WATER MAIN
W	PROPOSED WATER MAIN



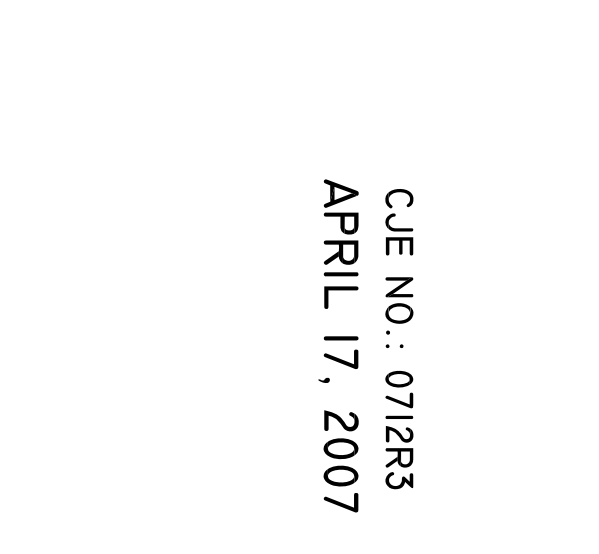
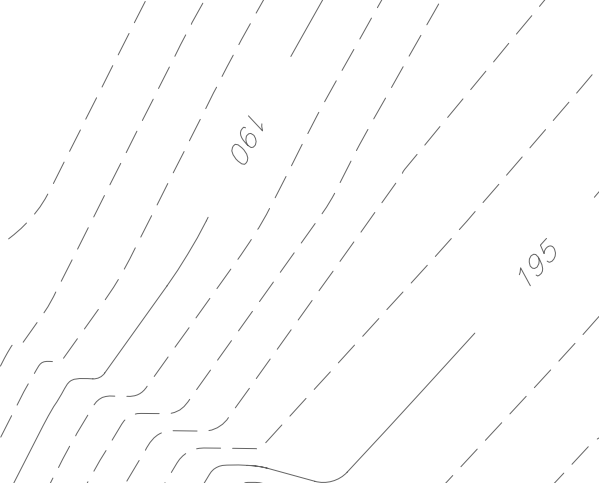
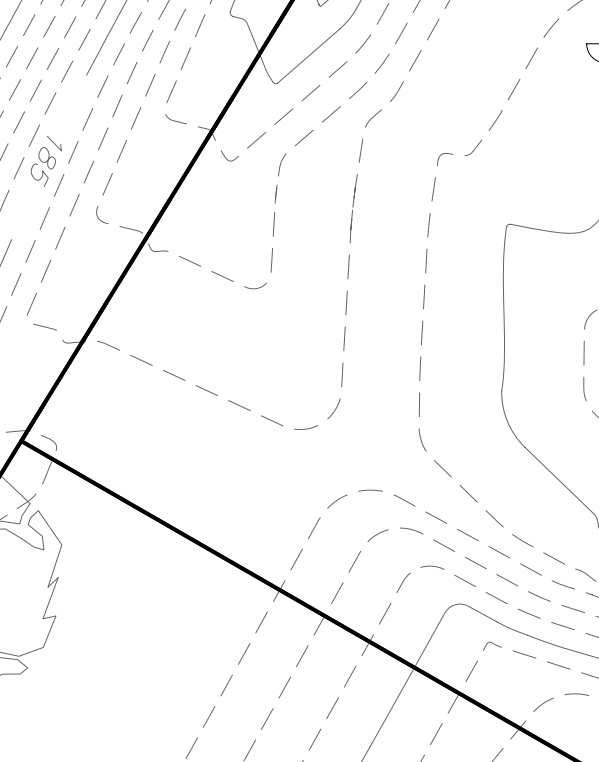
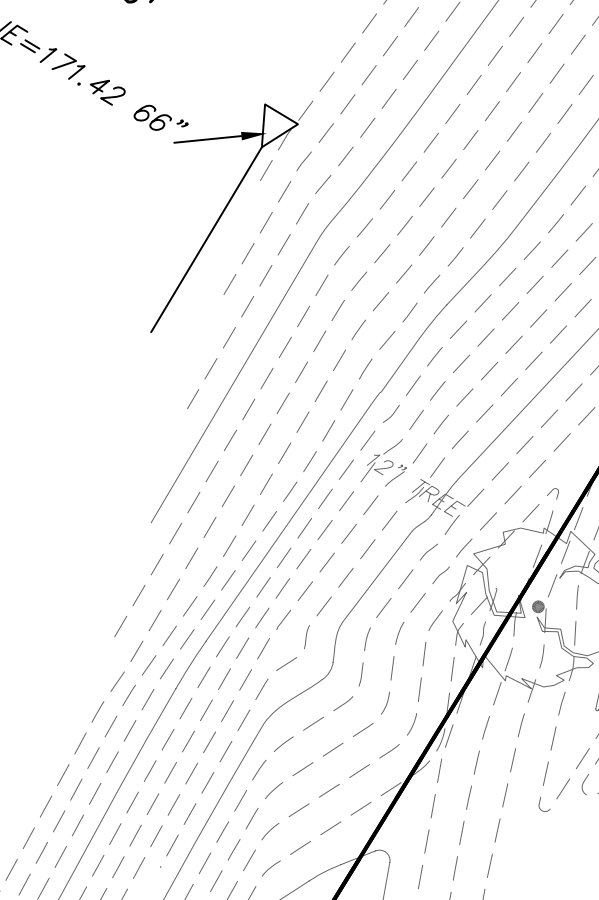
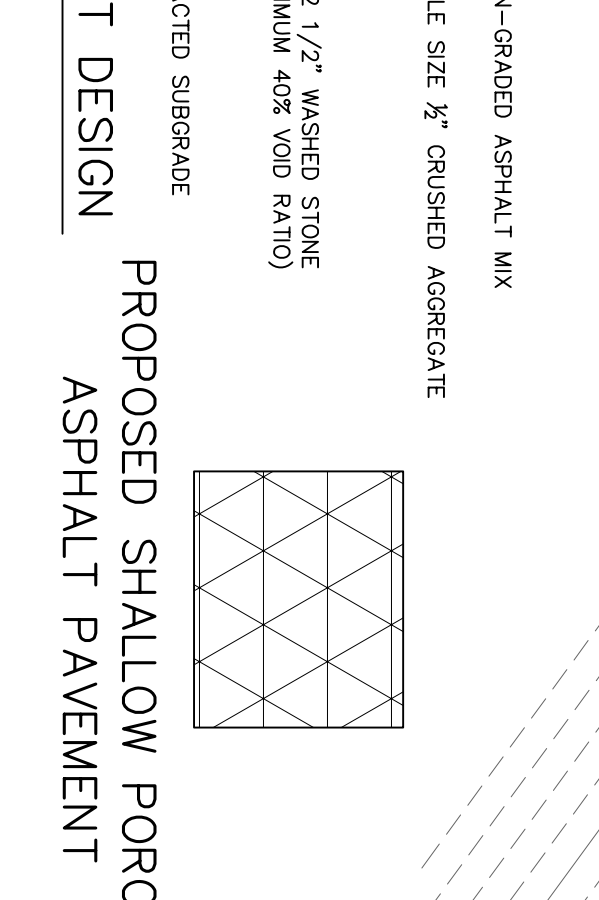
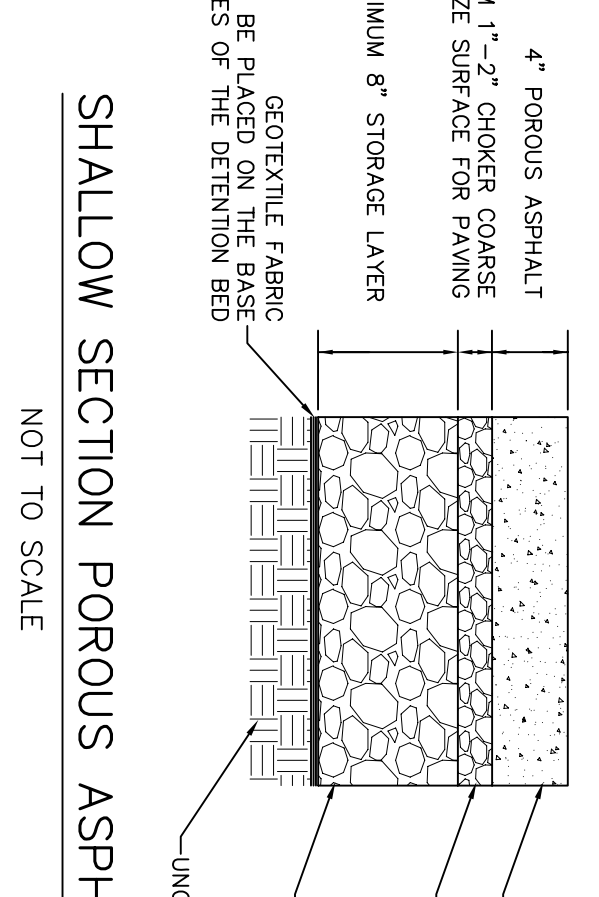
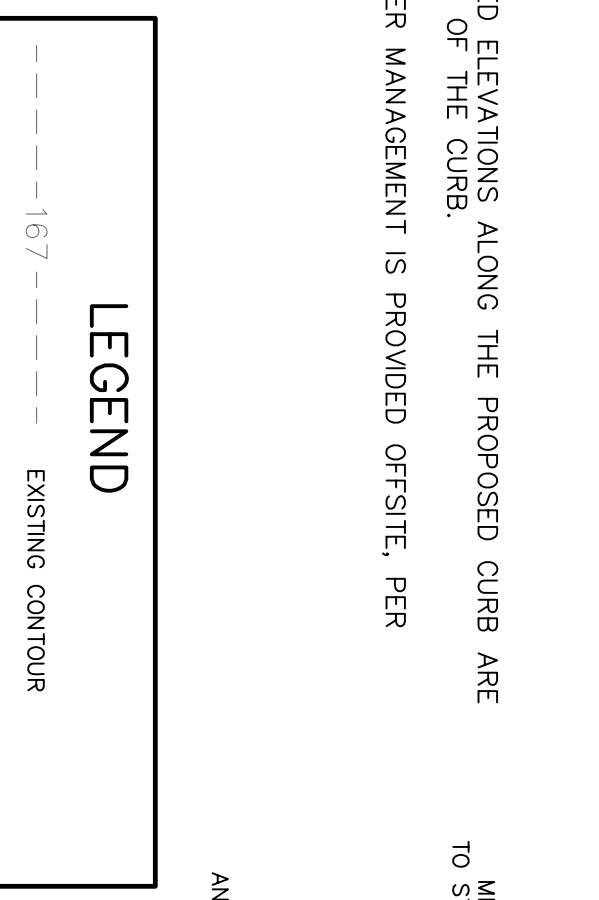
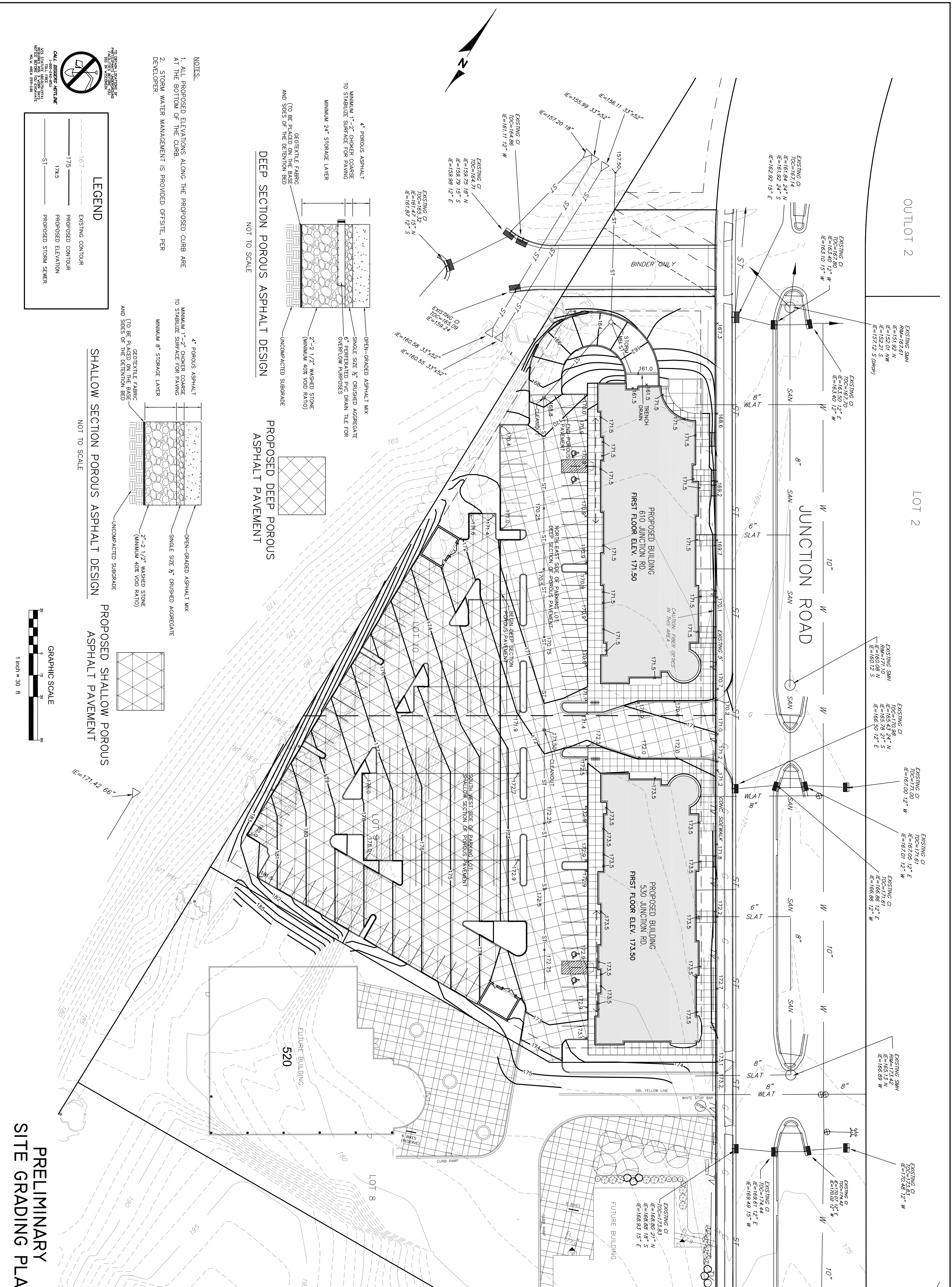
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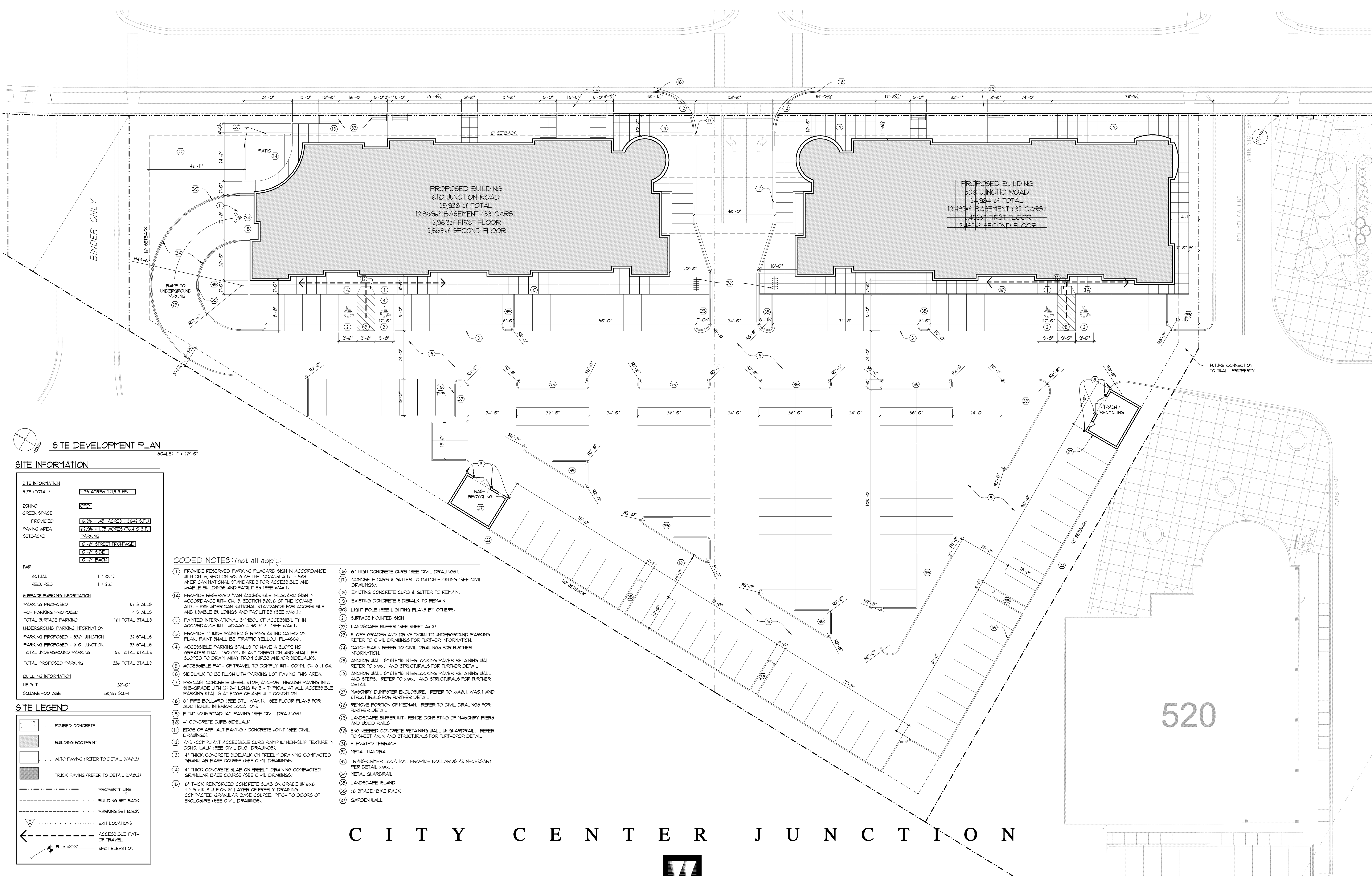
CITY CENTER JUNCTION
MADISON, WI

PRELIMINARY
SITE GRADING PLAN

C1.0

CJE NO.: 0712R3
APRIL 17, 2007



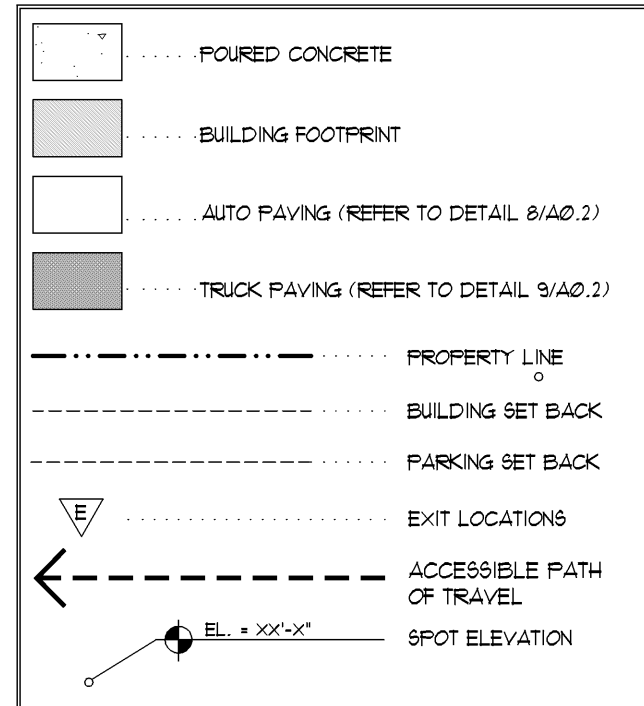


SITE DEVELOPMENT PLAN
SCALE: 1" = 30'-0"

SITE INFORMATION

SITE INFORMATION	
SIZE (TOTAL)	0.73 ACRES (31,513 SF)
ZONING	GPD
GREEN SPACE PROVIDED	16.2% = 481 ACRES (13,642 S.F.)
PAVING AREA	62.9% = 1,775 ACRES (176,410 S.F.)
SETBACKS	PARKING: 10'-0" STREET FRONTAGE, 10'-0" SIDE, 10'-0" BACK
FAR	
ACTUAL	1 : 0.42
REQUIRED	1 : 2.0
SURFACE PARKING INFORMATION	
PARKING PROPOSED	197 STALLS
HCP PARKING PROPOSED	4 STALLS
TOTAL SURFACE PARKING	161 TOTAL STALLS
UNDERGROUND PARKING INFORMATION	
PARKING PROPOSED - 530 JUNCTION	32 STALLS
PARKING PROPOSED - 610 JUNCTION	33 STALLS
TOTAL UNDERGROUND PARKING	65 TOTAL STALLS
TOTAL PROPOSED PARKING	226 TOTAL STALLS
BUILDING INFORMATION	
HEIGHT	32'-0"
SQUARE FOOTAGE	50,922 SQ. FT.

SITE LEGEND



CODED NOTES: (not all apply)

- (1) PROVIDE RESERVED PARKING PLACARD SIGN IN ACCORDANCE WITH CH. 5, SECTION 502.6 OF THE ICC(A)S; A117.1-1998 AMERICAN NATIONAL STANDARDS FOR ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (SEE X/AX.1).
- (1A) PROVIDE RESERVED VAN ACCESSIBLE PLACARD SIGN IN ACCORDANCE WITH CH. 5, SECTION 502.6 OF THE ICC(A)S; A117.1-1998 AMERICAN NATIONAL STANDARDS FOR ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (SEE X/AX.1).
- (2) PAINTED INTERNATIONAL SYMBOL OF ACCESSIBILITY IN ACCORDANCE WITH ADAAG 4.30.7(1). (SEE X/AX.1)
- (3) PROVIDE 4" WIDE PAINTED STRIPING AS INDICATED ON PLAN. PAINT SHALL BE "TRAFFIC YELLOW" PL-4666.
- (4) ACCESSIBLE PARKING STALLS TO HAVE A SLOPE NO GREATER THAN 1:50 (2%) IN ANY DIRECTION, AND SHALL BE SLOPED TO DRAIN AWAY FROM CURBS AND/OR SIDEWALKS.
- (5) ACCESSIBLE PATH OF TRAVEL TO COMPLY WITH COMM. CH 61.1104.
- (6) SIDEWALK TO BE FLUSH WITH PARKING LOT PAVING THIS AREA.
- (7) PRECAST CONCRETE WHEEL STOP, ANCHOR THROUGH PAVING INTO SUB-GRADE WITH (2) 24" LONG #6'S - TYPICAL AT ALL ACCESSIBLE PARKING STALLS AT EDGE OF ASPHALT CONDITION.
- (8) 6" PIPE BOLLARD (SEE DTL. X/AX.1). SEE FLOOR PLANS FOR ADDITIONAL INTERIOR LOCATIONS.
- (9) BITUMINOUS ROADWAY PAVING (SEE CIVIL DRAWINGS).
- (10) 4" CONCRETE CURB SIDEWALK
- (11) EDGE OF ASPHALT PAVING / CONCRETE JOINT (SEE CIVIL DRAWINGS).
- (12) ANSI-COMPLIANT ACCESSIBLE CURB RAMP W/ NON-SLIP TEXTURE IN CONC. WALK (SEE CIVIL Dwg. DRAWINGS).
- (13) 4" THICK CONCRETE SIDEWALK ON FREELY DRAINING COMPACTED GRANULAR BASE COURSE (SEE CIVIL DRAWINGS).
- (14) 4" THICK CONCRETE SLAB ON FREELY DRAINING COMPACTED GRANULAR BASE COURSE (SEE CIVIL DRAWINGS).
- (15) 6" THICK REINFORCED CONCRETE SLAB ON GRADE W/ 6x6 W/J, 3 W/2 S W/P ON 8" LAYER OF FREELY DRAINING COMPACTED GRANULAR BASE COURSE. FITCH TO DOORS OF ENCLOSURE (SEE CIVIL DRAWINGS).
- (16) 6" HIGH CONCRETE CURB (SEE CIVIL DRAWINGS).
- (17) CONCRETE CURB & GUTTER TO MATCH EXISTING (SEE CIVIL DRAWINGS).
- (18) EXISTING CONCRETE CURB & GUTTER TO REMAIN.
- (19) EXISTING CONCRETE SIDEWALK TO REMAIN.
- (20) LIGHT POLE (SEE LIGHTING PLANS BY OTHERS)
- (21) SURFACE MOUNTED SIGN
- (22) LANDSCAPE BUFFER (SEE SHEET AX.2)
- (23) SLOPE GRADES AND DRIVE DOWN TO UNDERGROUND PARKING. REFER TO CIVIL DRAWINGS FOR FURTHER INFORMATION.
- (24) CATCH BASIN REFER TO CIVIL DRAWINGS FOR FURTHER INFORMATION.
- (25) ANCHOR WALL SYSTEMS INTERLOCKING PAVEMENT RETAINING WALL. REFER TO X/AX.1 AND STRUCTURALS FOR FURTHER DETAIL
- (26) ANCHOR WALL SYSTEMS INTERLOCKING PAVEMENT RETAINING WALL AND STEPS. REFER TO X/AX.1 AND STRUCTURALS FOR FURTHER DETAIL
- (27) MASONRY DUMPSTER ENCLOSURE. REFER TO X/A0.1, X/A0.1 AND STRUCTURALS FOR FURTHER DETAIL
- (28) REMOVE PORTION OF MEDIAN. REFER TO CIVIL DRAWINGS FOR FURTHER DETAIL.
- (29) LANDSCAPE BUFFER WITH FENCE CONSISTING OF MASONRY PIERS AND WOOD RAILS
- (30) ENGINEERED CONCRETE RETAINING WALL W/ GUARDRAIL. REFER TO SHEET AX.X AND STRUCTURALS FOR FURTHER DETAIL
- (31) ELEVATED TERRACE
- (32) METAL HANDRAIL
- (33) TRANSFORMER LOCATION. PROVIDE BOLLARDS AS NECESSARY PER DETAIL X/AX.1.
- (34) METAL GUARDRAIL
- (35) LANDSCAPE ISLAND
- (36) (6 SPACES) BIKE RACK
- (37) GARDEN WALL

C I T Y C E N T E R J U N C T I O N



DATE: 04-18-2007
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1 EAST ELEVATION
SCALE: 1/8" = 1'-0"

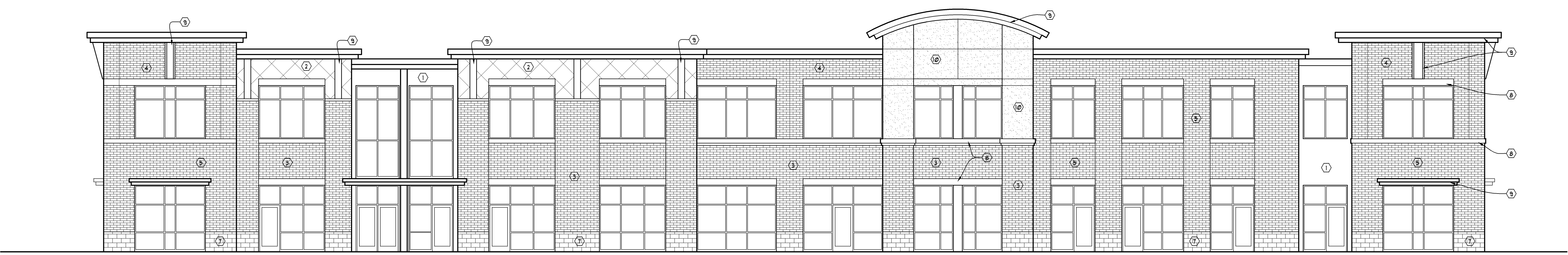


3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

- ELEVATION CODED NOTES:
- 1 METAL PANEL #1
 - 2 METAL PANEL #2
 - 3 BRICK #1
 - 4 BRICK #2
 - 5 BRICK #3
 - 6 ANNO. ALUMINUM STOREFRONT SYSTEM TYPICAL
 - 7 PRECAST STONE
 - 8 PRECAST BAND/INTEL
 - 9 METAL SOFFIT, FASCIA, AND TRIM
 - 10 EIFS
 - 11 METAL RAILING
- EXTERIOR ELEVATION NOTES
1. CONTRACTOR TO FIELD VERIFY ALL ROUGH OPENINGS.
 2. WINDOW SYSTEM TO BE EXTERIOR GLAZED.

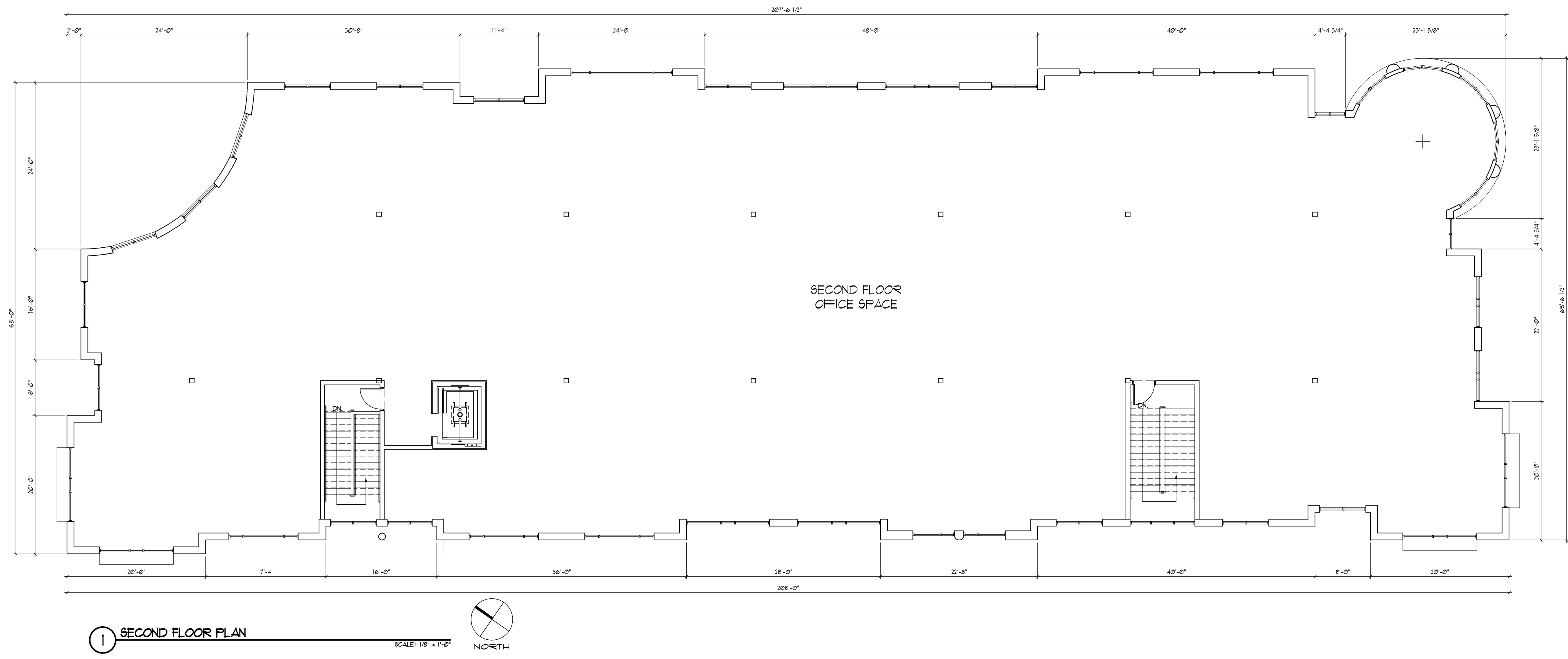


2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



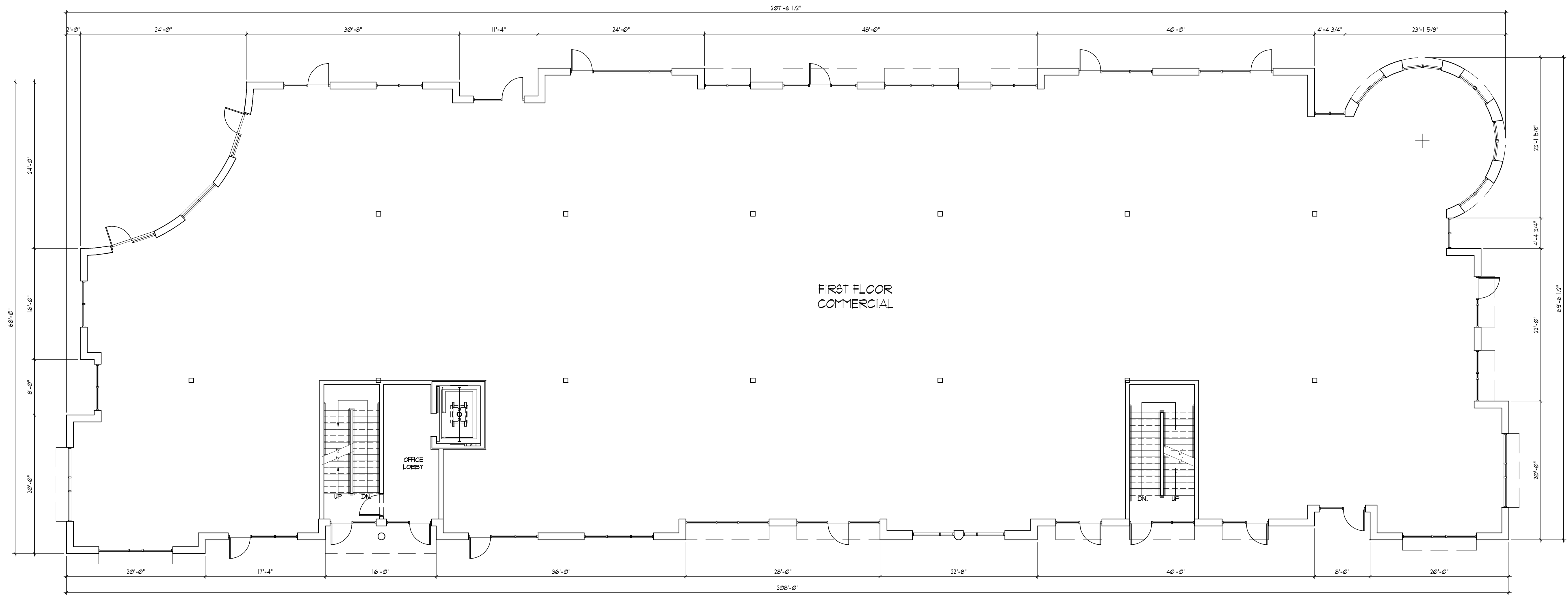
4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

610 CITY CENTER JUNCTION



6 1 0 C I T Y C E N T E R J U N C T I O N





1 FIRST FLOOR PLAN

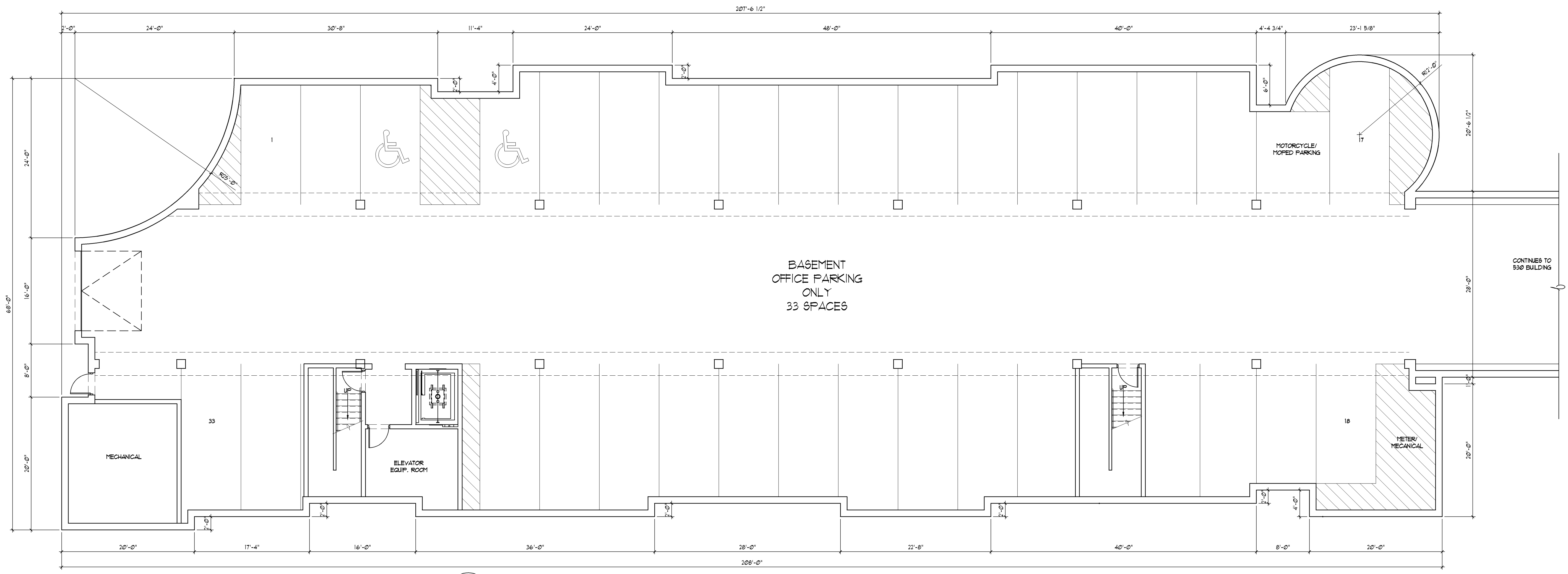
SCALE: 1/8" = 1'-0"



610 CITY CENTER JUNCTION



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INC.
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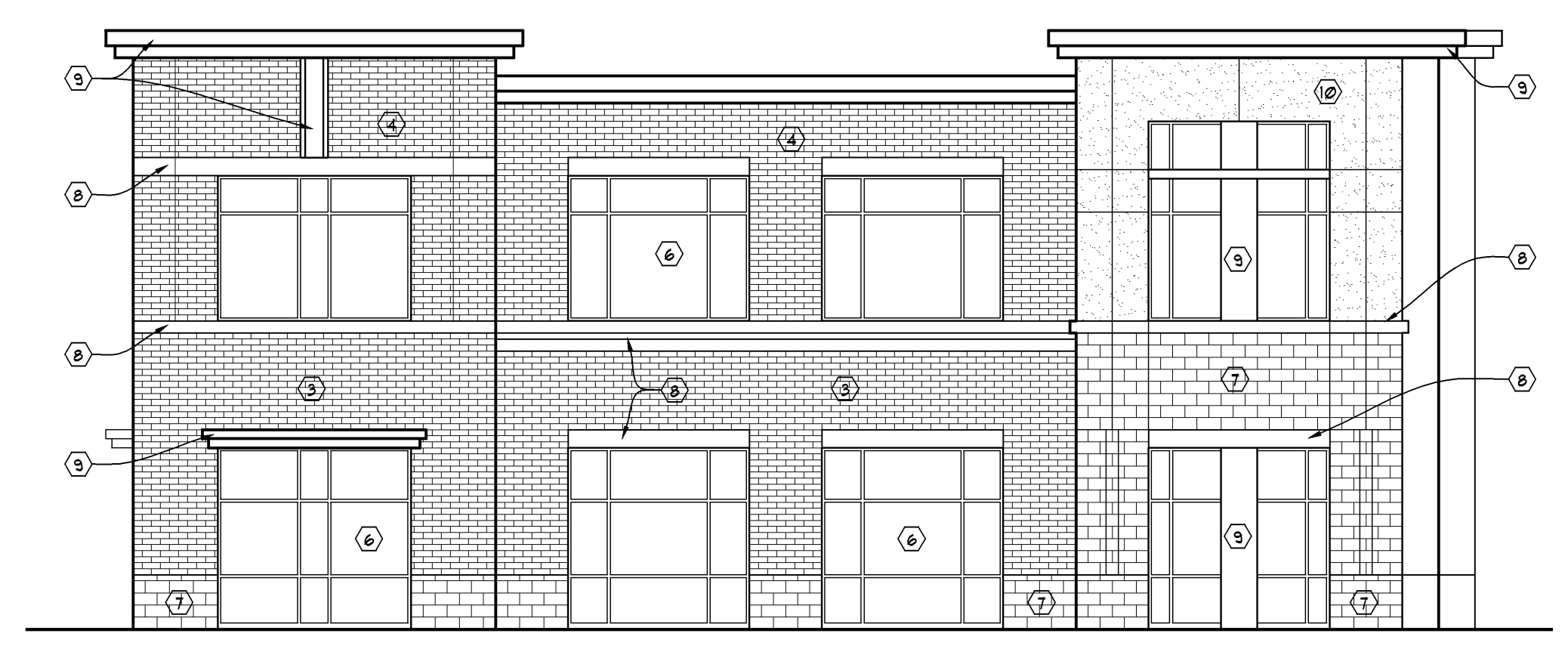
1 BASEMENT PLAN
 SCALE: 1/8" = 1'-0"
 NORTH

6 1 0 C I T Y C E N T E R J U N C T I O N





1 EAST ELEVATION SCALE: 1/8" = 1'-0"



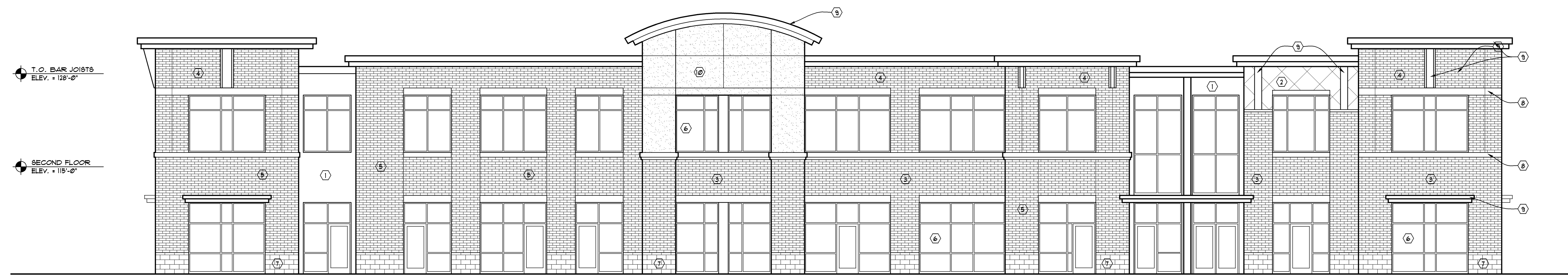
3 SOUTH ELEVATION SCALE: 1/8" = 1'-0"

- ELEVATION CODED NOTES:
- 1 METAL PANEL #1
 - 2 METAL PANEL #2
 - 3 BRICK #1
 - 4 BRICK #2
 - 5 BRICK #3
 - 6 ANOD. ALUMINUM STOREFRONT SYSTEM TYPICAL
 - 7 PRECAST STONE
 - 8 PRECAST BAND/LINTEL
 - 9 METAL SOFFIT, FASCIA, AND TRIM
 - 10 EIFS

- EXTERIOR ELEVATION NOTES
1. CONTRACTOR TO FIELD VERIFY ALL ROUGH OPENINGS.
 2. WINDOW SYSTEM TO BE EXTERIOR GLAZED.

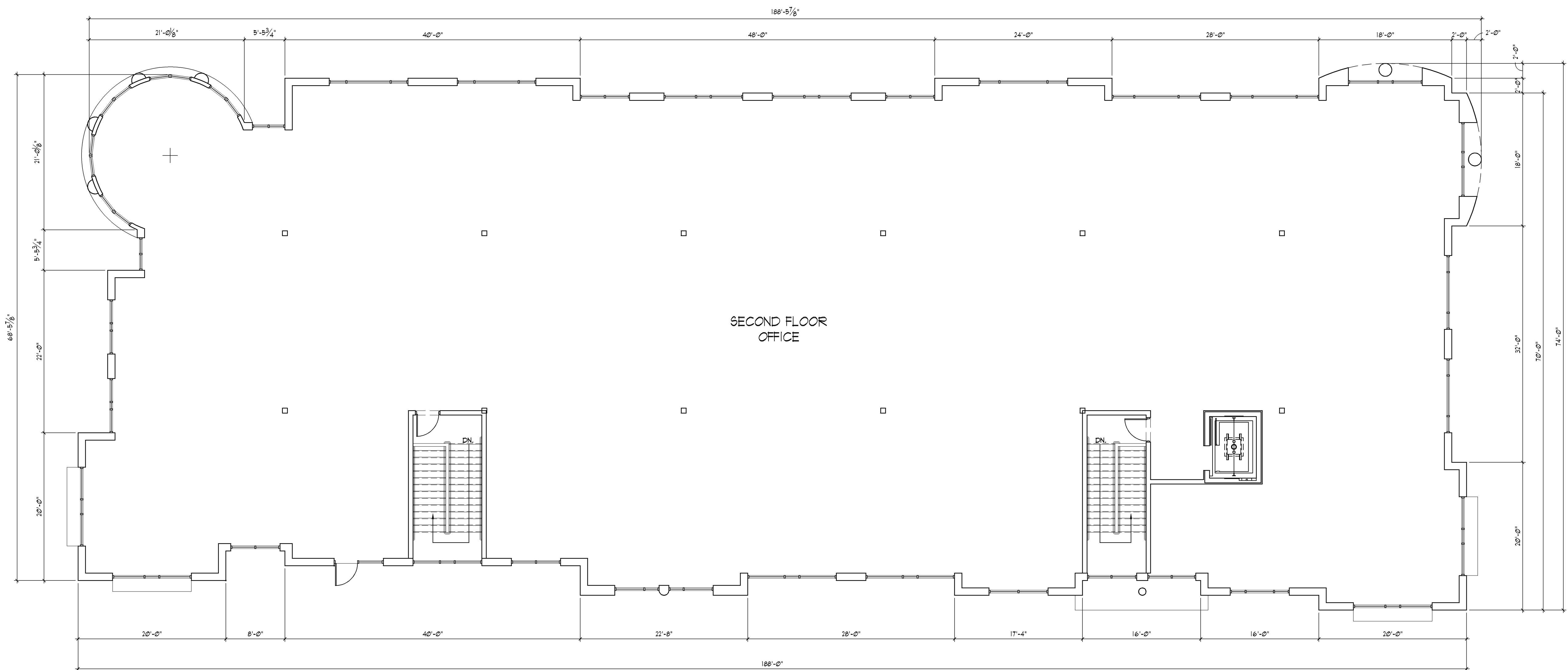


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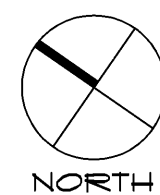
4 WEST ELEVATION SCALE: 1/8" = 1'-0"

530 CITY CENTER JUNCTION



1 SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

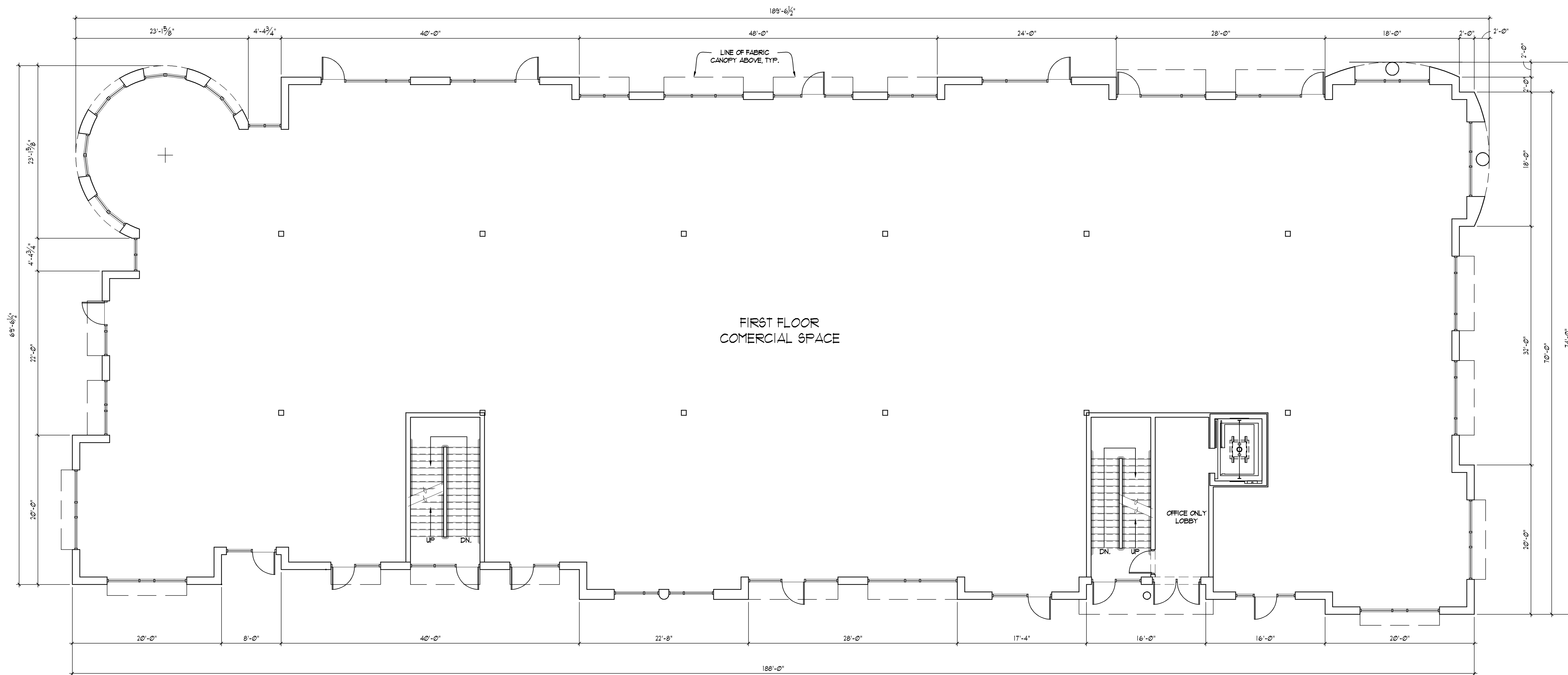


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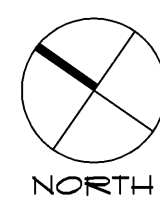
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1 FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



5 3 0 C I T Y C E N T E R J U N C T I O N



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DATE: APRIL 18, 2007

CITY CENTER JUNCTION

PROJECT No: 26098

ARCHITECT

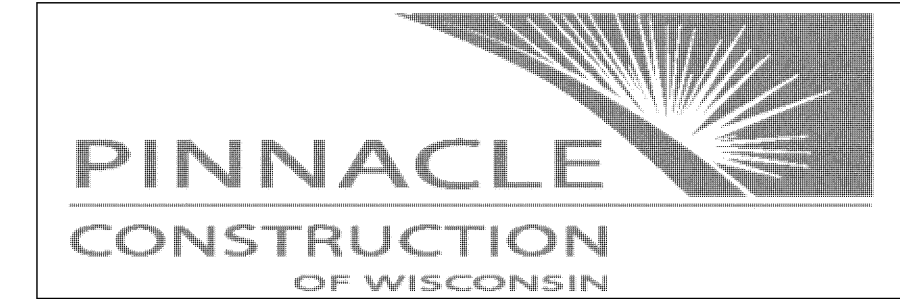
OWNER

CONTRACTOR

ENGINEERING CONSULTANTS



21675 LONG VIEW DRIVE
SUITE 500
WAUKESHA, WISCONSIN 53186
FAX (262) 798-7001
PHONE (262) 798-7000
E-MAIL welman@welmanarch.com



CJ
engineering
civil design and consulting
13005 W. Bluemound Rd.
Suite 250
Brookfield, WI 53005
PH. (262) 641-2848
FAX (262) 641-2871
www.cj-engineering.com

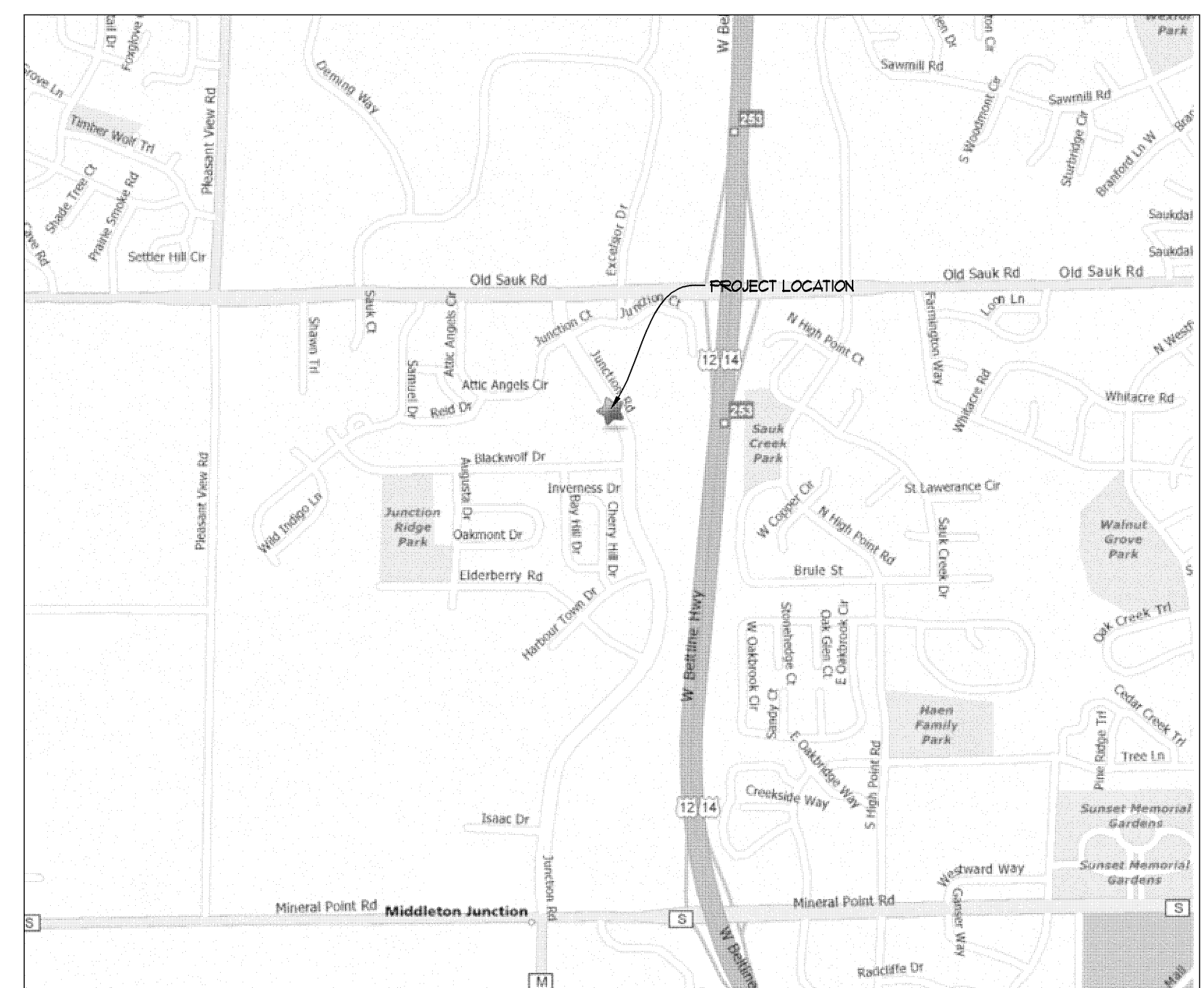
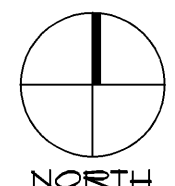
CIVIL

STRUCTURAL

Structural Dimension Inc.
11529 NORTH AVENUE
WAUWATOSA, WI 53226
Tel: (414) 771-4652 Fax: (414) 771-4653

CITY CENTER JUNCTION

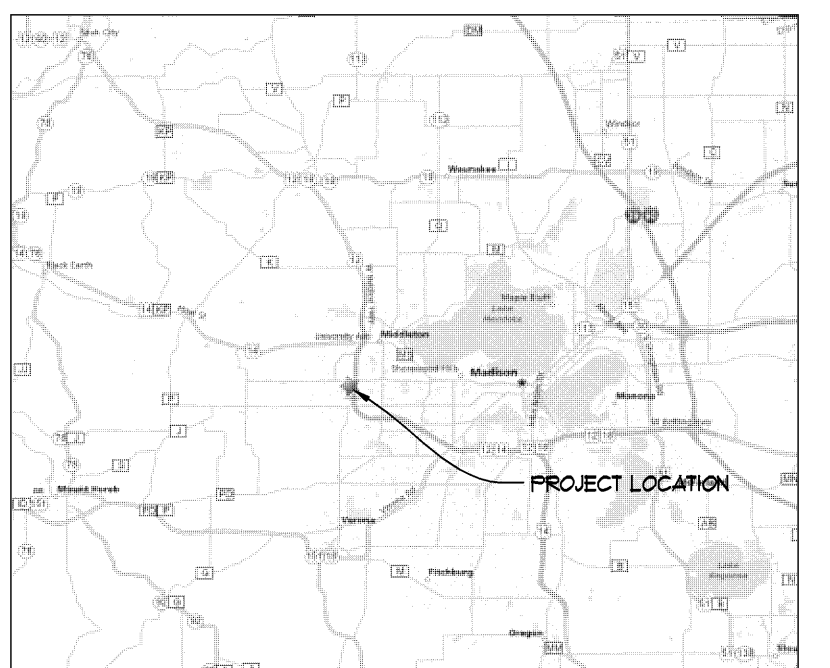
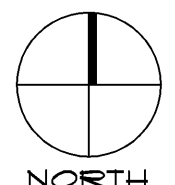
KEY PLAN



BUILDING INFORMATION

BUILDING TYPE	II-B
OCCUPANCY	MIXED USE
SPRINKLER SYSTEM	YES
SQUARE FOOTAGE	
530 BUILDING	24,984 S.F.
610 BUILDING	29,998 S.F.
TOTAL	50,922 S.F.

VICINITY MAP



WELMAN ARCHITECTS, INC.