



City of Madison

Proposed Demolition & Conditional Use

Location

330 East Wilson Street

Project Name

Palladia Mixed-Use Building

Applicant

Palladia, LLC/Josh Wilcox –
Gary Brink & Associates

Existing Use

Office building

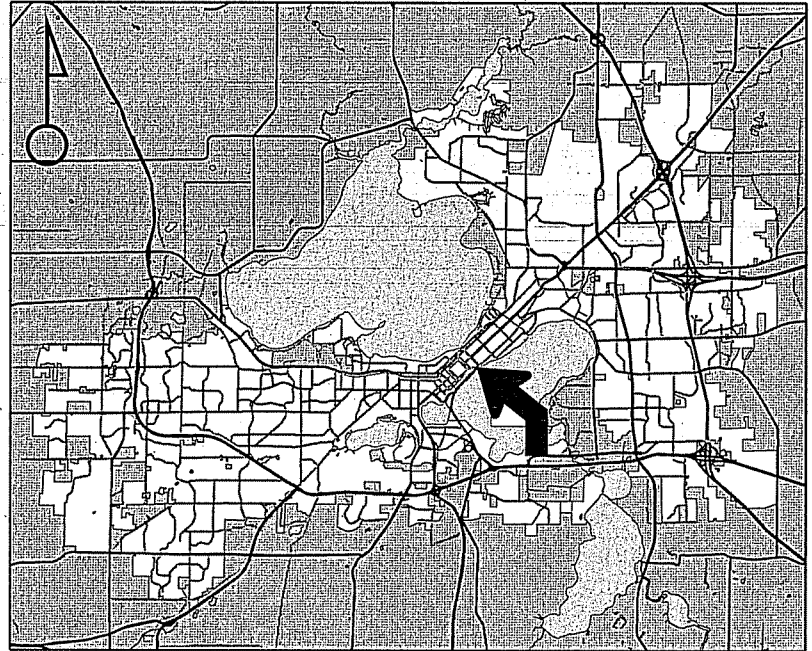
Proposed Use

Demolish office building to allow construction of mixed-use building with 1,300 square feet of commercial space and 30 apartments

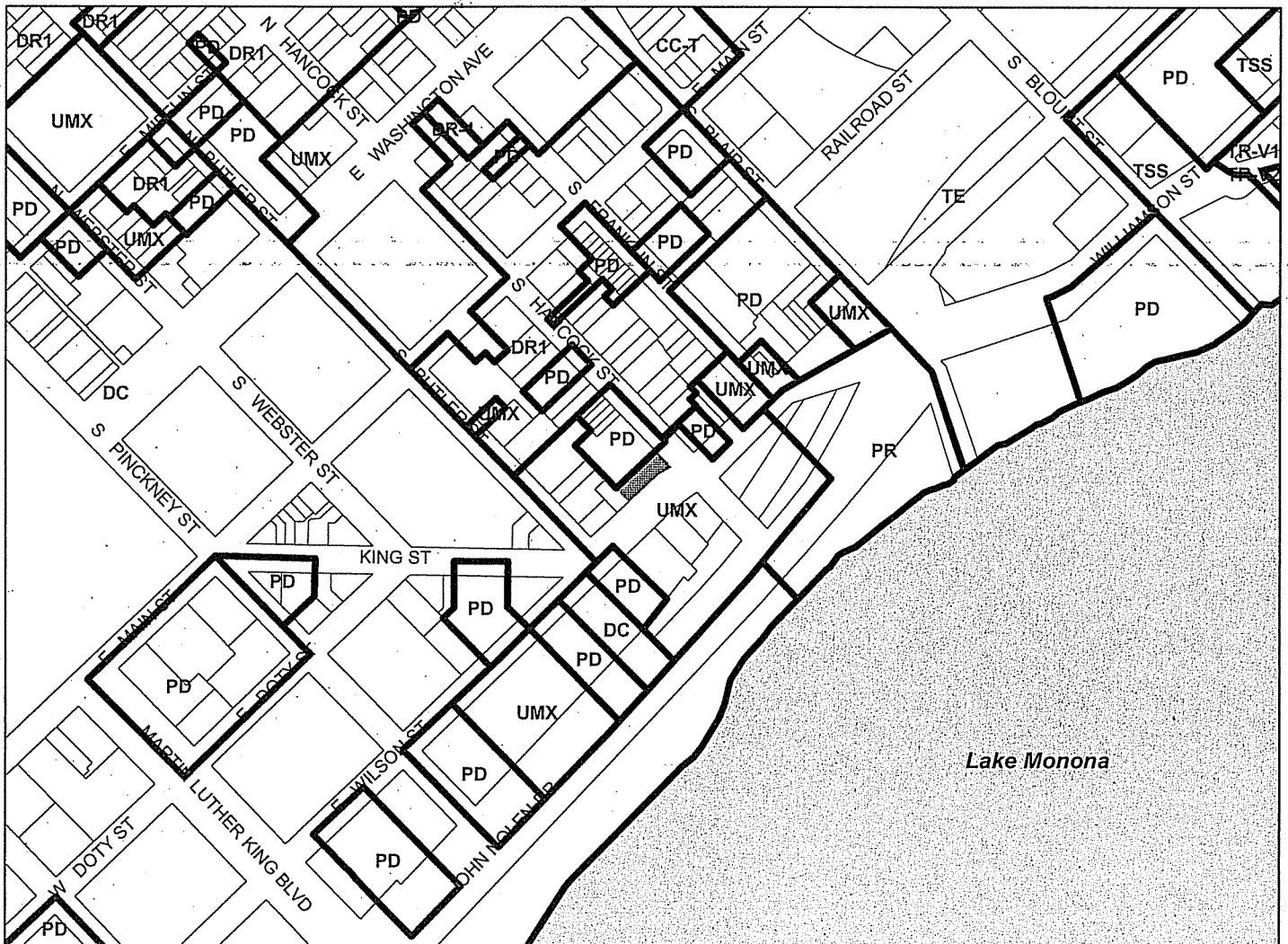
Public Hearing Date

Plan Commission

28 July 2014



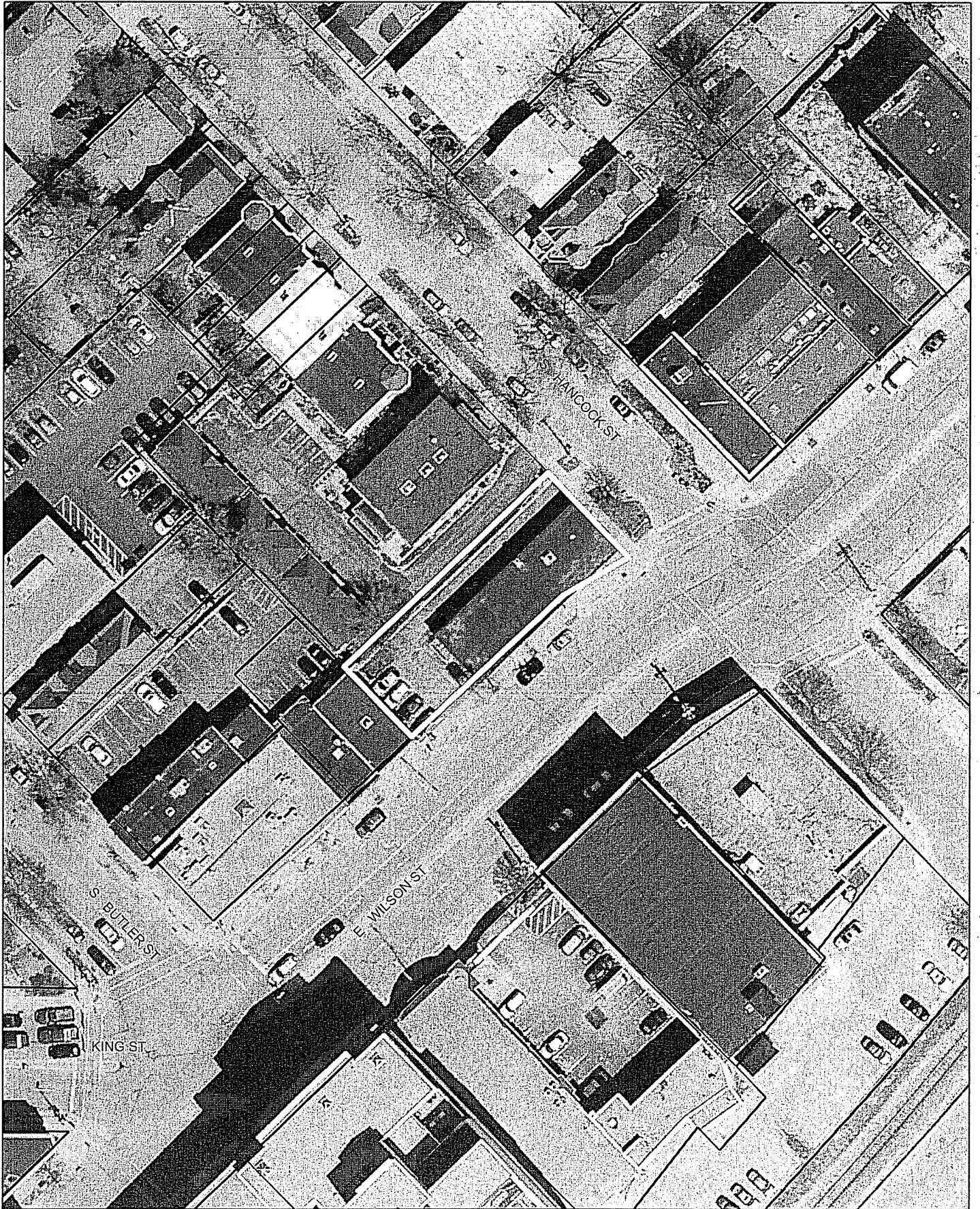
For Questions Contact: Heather Stouder at: 266-5974 or hstouder@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 17 July 2014

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LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:	
Amt. Paid <u>\$ 1550</u>	Receipt No. <u>153376</u>
Date Received <u>4/23/14</u>	
Received By <u>SA</u>	
Parcel No. <u>0709-133-2624-9</u>	
Aldermanic District <u>6 Rummel</u>	
Zoning District <u>UMX</u>	
Special Requirements _____	
Review Required By:	
<input checked="" type="checkbox"/> Urban Design Commission	<input checked="" type="checkbox"/> Plan Commission
<input type="checkbox"/> Common Council	<input type="checkbox"/> Other: _____

Form Effective: February 21, 2013

1. **Project Address:** 330 E. Wilson Street

Project Title (if any): _____

2. **This is an application for (Check all that apply to your Land Use Application):**

- Zoning Map Amendment from _____ to _____
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: _____

3. **Applicant, Agent & Property Owner Information:**

Applicant Name: Palladia, LLC Company: Kothe Real Estate Partners
 Street Address: 115 E. Main Street, Suite 210 City/State: Madison/WI Zip: 53703
 Telephone: (608) 469-0059 Fax: () Email: kevin@kotherep.com

Project Contact Person: Josh Wilcox Company: Gary Brink & Associates, Inc.
 Street Address: 7780 Elmwood Avenue, Suite 204 City/State: Middleton/WI Zip: 53562
 Telephone: (608) 829-1750 Fax: (608) 829-3056 Email: josh.wilcox@garybrink.com

Property Owner (if not applicant): _____
 Street Address: _____ City/State: _____ Zip: _____

4. **Project Information:**

Provide a brief description of the project and all proposed uses of the site: _____

Demolition and re-development of property located at 330 E. Wilson Street

Development Schedule: Commencement August 2014 Completion May 2015

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/alterd buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:
2/12/14 (Alder Marsha Rummel); 2/12/14 (Jim Skrentny First Settlement District)

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Heather Stouder Date: 1/23/14 Zoning Staff: Matt Tucker Date: 1/23/14

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Palladia, LLC

Relationship to Property: Developer

Authorizing Signature of Property Owner 

Date 4/23/14



April 23, 2014

Matthew Tucker
Zoning Administrator
Madison Municipal Building, LL 100
215 Martin Luther King, Jr. Blvd
PO Box 2984
Madison, WI 53701-2984

Re: Conditional Use
Letter of Intent for 330 E. Wilson Street

Dear Matt:

This is our Letter of Intent (Conditional Use) for the property located at 330 E. Wilson Street.

The proposed project consists of a 6-story, 30-unit residential apartment project with 1,283 sf of commercial space. The total square footage of the building is 29,405 sf. There are provisions for (38) bicycle stalls. Trash and recyclables will be located on the first floor.

The new structure will house a total of 30 apartment units with a unit mix as indicated below:

<u>Unit size</u>	<u>Qty Units</u>	<u># of bedrooms</u>
Efficiency/Studio	10	10
(1) Bedroom	10	10
(2) Bedroom	5	10
(3) Bedroom	5	15
Total	30	45

The usable open space is as follows:

- Balcony: 580 sf
 - Roof Deck: 321 sf
- Total 901 sf

The lot coverage is as follows:

- Proposed 1st Floor Building Footprint: 36%
- Proposed 2nd Floor Building Footprint: 81%

The proposed construction schedule is for demolition of the existing structure to commence August, 2014 with new construction to commence immediately thereafter, and construction completion to be May, 2015. The development shall include the demolition of the existing structure on the building site.

The current assessed value of the land is \$309,000.

The people involved in the project are as follows:

Owner:

Palladia, LLC
c/o Kothe Real Estate Partners
115 E. Main Street, Suite 210
Madison, WI 53703
Contact: Kevin Page
Phone: 608-469-0059
kevin@kotherep.com

Architect:

Gary Brink & Associates, Inc.
7780 Elmwood Avenue, Suite 204
Middleton, WI 53562
Contact: Josh Wilcox
Phone: 608-829-1750
josh.wilcox@garybirnk.com

General Contractor:

Landgraf Construction
5964 Executive Drive
Madison, WI 53719
Contact: Mark Landgraf
Phone: 608-274-4700
mark.landgraf@landgrafconstruction.com

Civil Engineer:

Quam Engineering
4604 Siggelkow Road, Suite A
McFarland, WI 53558
Contact: Ryan Quam
Phone: 608-838-7750
rquam@quamengineering.com

Landscape Designer:

Ken Saiki Design, Inc.
303 S. Paterson
Suite One
Madison, WI 53703
Contact: Abbie Moilien
Phone: 608-251-3600
amoilien@ksd-la.com

Please refer to the attached plans for additional information.

Sincerely,



Josh Wilcox
VP/Senior Project Manager



GARY BRINK & ASSOCIATES
ARCHITECTS
7780 ELMWOOD AVE. STE. 204
MIDDLETON, WI 53562
608-829-1750
608-829-3856 (FAX)

330 E. WILSON MIXED USE

330 E. WILSON STREET MADISON, WI 53703

UDC / PLAN COMMISSION SUBMITTAL

APRIL 23, 2014



ZONING CODE:

- URBAN MIXED-USE (UMU) DISTRICT
- MINIMUM FRONT YARD SETBACK • 0'-0", MAXIMUM FRONT YARD SETBACK • 10'-0"
- PROPOSED • 1'-0"
- SIDE YARD SETBACK • 0'-0"
- PROPOSED • 0'-0"
- REAR YARD SETBACK • 10'-0"
- PROPOSED • 10'-0"
- MAXIMUM LOT COVERAGE • 80%
- PROPOSED 1ST FLOOR BUILDING FOOTPRINT • 36%
- PROPOSED 2ND FLOOR BUILDING FOOTPRINT • 8%
- LOT SIZE: 6,711 SF
- 1ST FLOOR BUILDING FOOTPRINT: 2,244 SF
2,244 • 36%
6,711 SF
- 2ND FLOOR BUILDING FOOTPRINT: 4985 SF
4,985 SF • 8%
6,711 SF
- MINIMUM HEIGHT • 2 STORIES, MAXIMUM HEIGHT • 4 STORIES (PER DOWNTOWN HEIGHT MAP), 6 STORIES PER CONDITIONAL USE.
- USABLE OPEN SPACE • 10 SF PER BEDROOM • 450 SF, REQUIRED
TOTAL BALCONY SF • 360 SF,
TOTAL ROOF DECK SF • 301 SF,
PROPOSED USABLE OPEN SPACE • 501 SF.
- BIKE PARKING REQUIREMENTS:
1 STALL PER UNIT UP TO 2 BEDROOMS, 3 STALLS PER ADDITIONAL BEDROOM,
1 GUEST SPACE PER 10 UNITS,
2 STALLS REQUIRED FOR COMMERCIAL SPACE.
- DESIGN OPTION REQUIRES 30 BIKE STALLS
- PROVIDED STALLS • 30 BIKE STALLS
- AREA OF THE SITE • 6,711 SQ. FT.
PAVED AREAS • 2,261 SQ. FT.

330 E. WILSON MIXED USE							
Floor / Level	UNIT TYPE				UNITS PER FLOOR	BEDROOMS PER FLOOR	SQUARE FOOTAGE PER FLOOR
	EFFICIENCY / STUDIO	(1) BEDROOM	(2) BEDROOM	(3) BEDROOM			
Basement	0	0	0	0	0	0	2236
1st	0	0	0	0	0	0	2244
2nd	2	2	1	1	6	9	4985
3rd	2	2	1	1	6	9	4985
4th	2	2	1	1	6	9	4985
5th	2	2	1	1	6	9	4985
6th	2	2	1	1	6	9	4985
Total	10	10	5	5	30	45	29405

SHEET INDEX

- T-1 COVER SHEET & PROJECT CONTACTS
- CIVIL DRAWINGS
 - C1.00 EXISTING SITE PLAN
 - C1.01 GRADING AND EROSION CONTROL PLAN
 - C1.02 UTILITY PLAN
- LANDSCAPE DRAWING
 - L1.00 PLANTING PLAN
- ARCHITECTURAL DRAWINGS
 - A1.00 PHOTOMETRICS
 - A2.00 BASEMENT FLOOR PLAN
 - A2.01 FIRST FLOOR PLAN / SITE PLAN
 - A2.02 SECOND THROUGH SIXTH FLOOR PLAN
 - A2.03 ROOF FLOOR PLAN
 - A6.01 EXTERIOR SOUTH ELEVATION
 - A6.02 EXTERIOR EAST & WEST ELEVATIONS
 - A6.03 EXTERIOR NORTH ELEVATION
 - R1.01 CONCEPTUAL RENDERING
 - EX.01 SUPPLEMENTARY CONTEXT

CITY OF MADISON

JUL 18 2014

Planning & Community
& Economic Development

PROJECT: 330 E. WILSON
330 E. WILSON STREET
MADISON, WI 53703
CLIENT: KOTHE REAL ESTATE PARTNERS
115 E. MAIN STREET SUITE 210
MADISON, WI 53703

OWNER/DEVELOPER:
PALLADIA, LLC
c/o KOTHE REAL ESTATE PARTNERS
115 E. MAIN ST., SUITE 210
MADISON, WISCONSIN 53703
PHONE: (608) 469-0059
EMAIL: kevin@kotherep.com
PRINCIPAL CONTACT: KEVIN PAGE

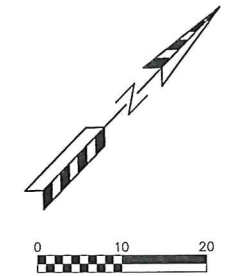
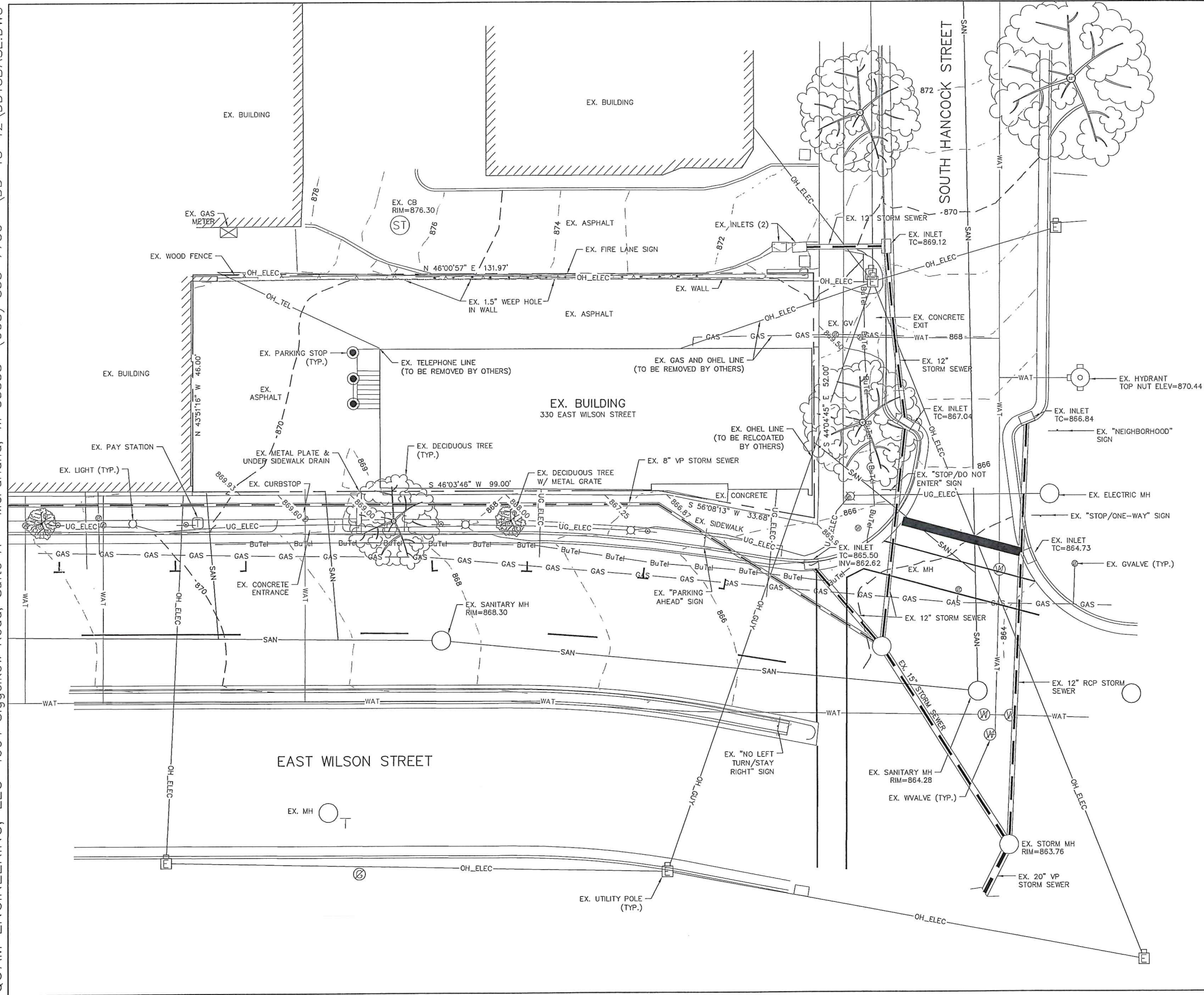
ARCHITECT:
GARY BRINK & ASSOCIATES, INC.
7780 ELMWOOD AVENUE, SUITE 204
MIDDLETON, WISCONSIN 53562
PHONE: (608) 829-1750
EMAIL: josh.wilcox@garybrink.com
PRINCIPAL CONTACT: JOSH WILCOX

GENERAL CONTRACTOR:
LANDGRAF CONSTRUCTION
5964 EXECUTIVE DRIVE
MADISON, WISCONSIN 53719
PHONE: (608) 274-4700
EMAIL: mark.landgraf@landgrafconstruction.com
PRINCIPAL CONTACT: MARK LANDGRAF

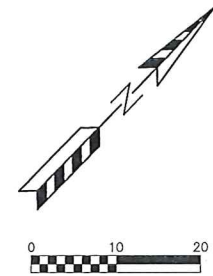
CIVIL/SITE ENGINEER:
QUAM ENGINEERING, LLC
4604 SIGGELKOW ROAD, SUITE A
McFARLAND, WISCONSIN 53558
PHONE: (608) 838-7750
EMAIL: rquam@quamengineering.com
PRINCIPAL CONTACT: RYAN QUAM

LANDSCAPE DESIGNER:
KEN SAIKI DESIGN, INC.
303 S. PATERSON, SUITE ONE
MADISON, WISCONSIN 53703
PHONE: (608) 251-3600
EMAIL: amolien@ksd-la.com
PRINCIPAL CONTACT: ABBIE MOLLIEN

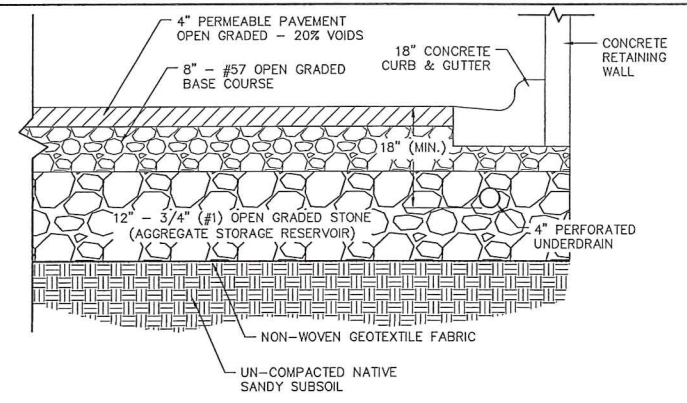
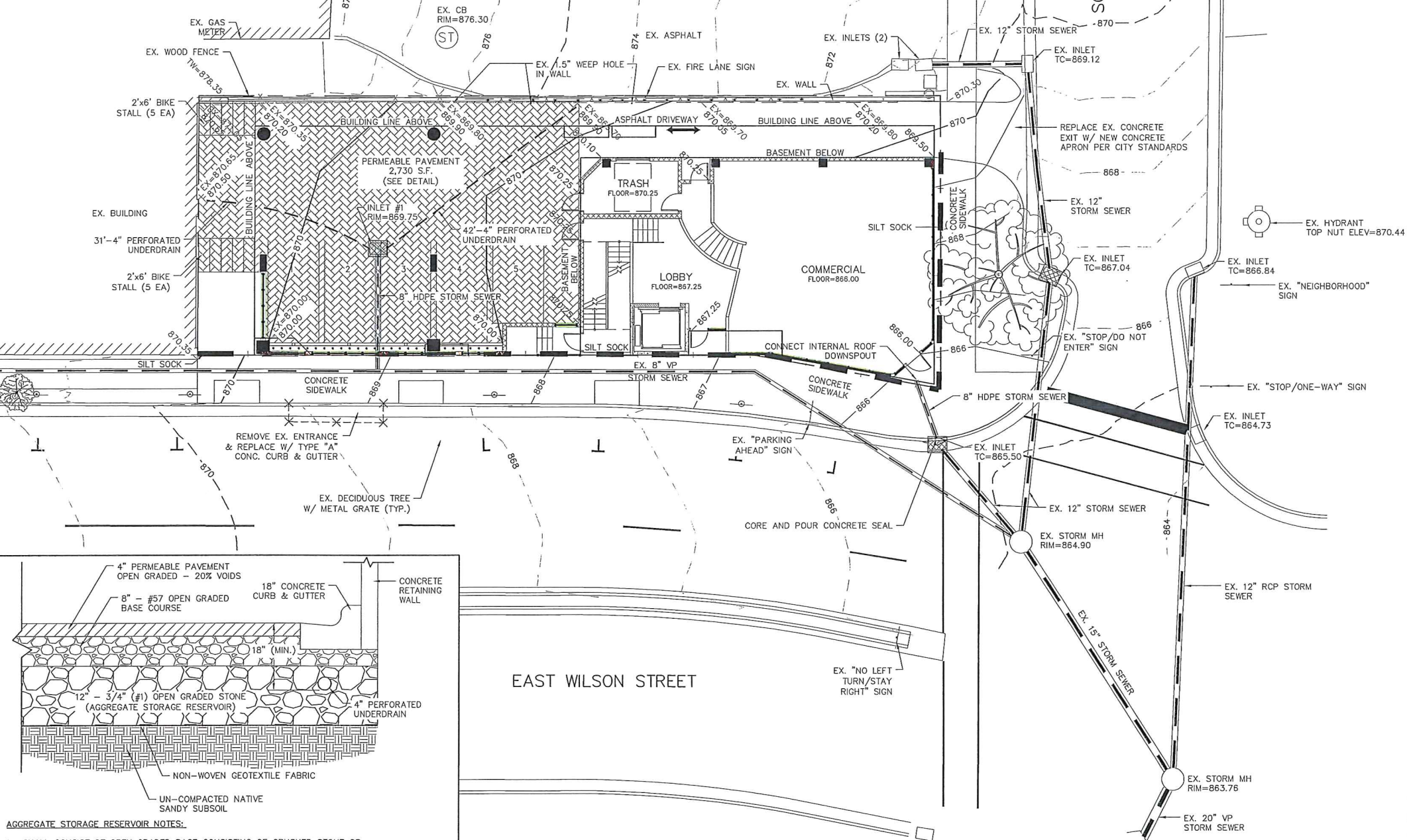
©2014 GARY BRINK & ASSOC.
Any duplication, reproduction, or use by any other party is prohibited unless prior written authorization is received from GARY BRINK & ASSOC.
PROJECT: 201249
DRAWN BY:
DATE:
SCALE: AS NOTED



330 E. WILSON STREET - CITY OF MADISON
 EXISTING SITE PLAN
 SHEET: C1.00
 DATED: APRIL 22, 2014
QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
 www.quamengineering.com
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE
 TDD(FOR THE HEARING IMPAIRED)(800)542-2289
 WIS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE.



- AGGREGATE STORAGE RESERVOIR NOTES:**
- SHALL CONSIST OF OPEN GRADED BASE CONSISTING OF CRUSHED STONE OR CRUSHED GRAVEL WITH NO GREATER THAN 5% PASSING THE NO. 200 SIEVE.
 - PROVIDE A MINIMUM POROSITY OF 30% PER ASTM C29 STANDARD TEST METHOD FOR BULK DENSITY ("UNIT WEIGHT") AND VOIDS IN AGGREGATE.
 - COMPLY WITH SOUNDNESS AND WEAR, AND FRACTURE REQUIREMENTS LISTED IN WISCONSIN DOT STANDARD SPECIFICATIONS SECTION 301.2.4.5 - AGGREGATE BASE PHYSICAL PROPERTIES.
 - COMPLY WITH CONSTRUCTION REQUIREMENT IN WISCONSIN DOT STANDARD SPECIFICATIONS SECTION 301.3 OR ADMINISTERING AUTHORITY.

PERMEABLE PAVEMENT DETAIL

EROSION NOTES:
 THE EXISTING ASPHALT PAVEMENT SHALL ACT AS THE TRACKING PAD DURING CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.

EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

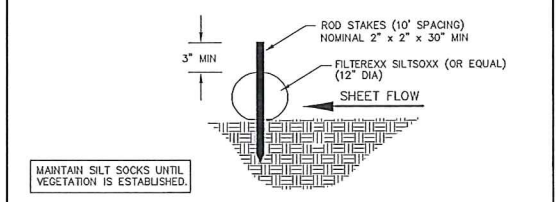
CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.
 EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

TIME SCHEDULE:
 AUGUST 1, 2014 INSTALL INITIAL EROSION CONTROL DEVICES.
 AUGUST 1, 2014 - APRIL 30, 2015 CONSTRUCT BUILDING, PARKING, UTILITIES AND RESTORE PERVIOUSLY DISTURBED AREAS.

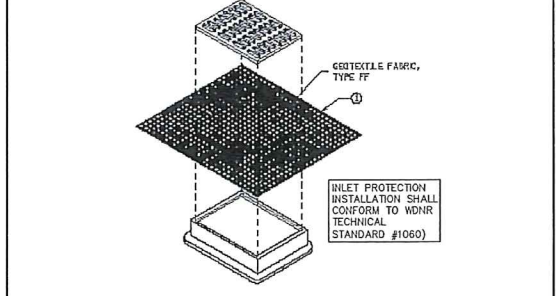
RESTORATION NOTES:
 ALL PERVIOUSLY DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEED AND MULCH. ALL PERVIOUSLY DISTURBED AREAS SHALL RECEIVE FERTILIZER EXCEPT NATIVE PLANTING AREAS. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. SEED MIXTURE 40 SHALL BE USED ON ALL DISTURBED AREAS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.

SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE.
 FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%.

OWNER: ROBERT J. RUBIN, 317 E WILSON STREET, MADISON, WI 53703
ENGINEER: QUAM ENGINEERING, LLC, ATTN: RYAN QUAM, 4604 SIGELKOW ROAD, SUITE A, MCFARLAND, WI 53558



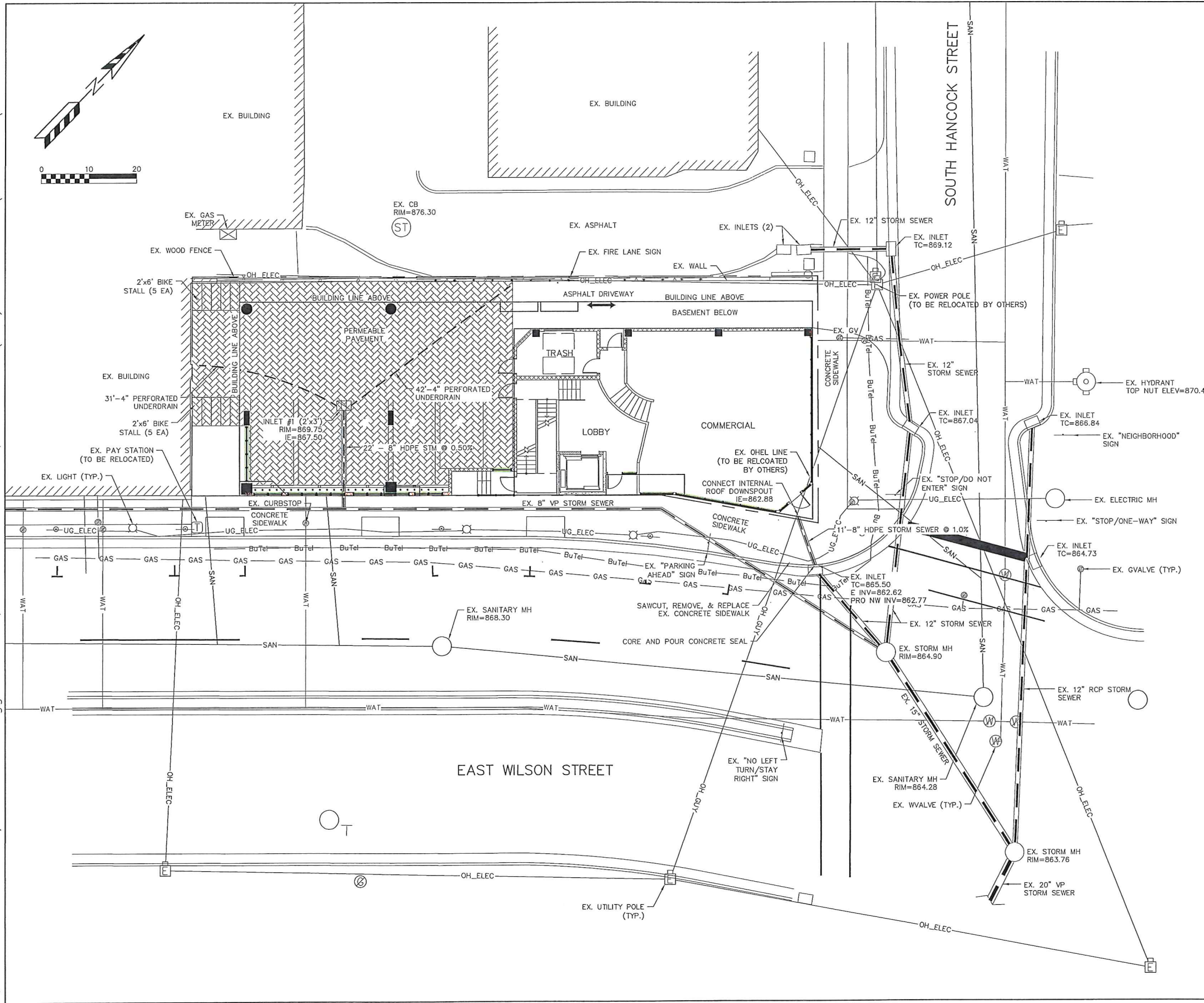
SILT SOCK DETAIL



TYPE B INLET PROTECTION DETAIL

- LEGEND:**
- - 869 - - - EXISTING MINOR CONTOUR.
 - - 870 - - - EXISTING MAJOR CONTOUR.
 - - 869 - - - PROPOSED MINOR CONTOUR.
 - - 870 - - - PROPOSED MAJOR CONTOUR.
 - 896.00 - - PROPOSED SPOT ELEVATION
 - [Hatched Box] - INSTALL WDOT TYPE B INLET PROTECTION.

330 E. WILSON STREET - CITY OF MADISON
 GRADING AND EROSION CONTROL PLAN
 SHEET: C1.01
 DATED: APRIL 22, 2014
QUAM ENGINEERING, LLC
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 www.quamengineering.com
 4604 Sigelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752



GENERAL NOTES:

ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A PRE-APPROVED CONTRACTOR AUTHORIZED TO WORK IN THE RIGHT-OF-WAY.

THE CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB WHICH ABUTS THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK AND CURB WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS, SIZES, MATERIALS, AND ELEVATIONS PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL OBTAIN A PERMIT TO PLUG EACH EXISTING SANITARY SEWER LATERAL THAT SERVES A BUILDING THAT IS PROPOSED FOR DEMOLITION. FOR EACH LATERAL TO BE PLUGGED THE CONTRACTOR SHALL DEPOSIT \$1,000 WITH THE CITY ENGINEER IN TWO SEPARATE CHECKS IN THE FOLLOWING AMOUNTS: (1). \$100 NON REFUNDABLE DEPOSIT FOR THE COST OF INSPECTION OF THE PLUGGING BY CITY STAFF; AND (2). \$900 FOR THE COST OF CITY CREWS TO PERFORM THE PLUGGING. IF THE CONTRACTOR ELECTS TO COMPLETE THE PLUGGING OF A LATERAL AND THE PLUGGING IS INSPECTED AND APPROVED BY THE CITY ENGINEER, THE \$900 FEE SHALL BE RETURNED TO THE CONTRACTOR. THIS PERMIT APPLICATION IS AVAILABLE ONLINE AT [HTTP://WWW.CITYOFMADISON.COM/ENGINEERING/PERMITS.CFM](http://www.cityofmadison.com/engineering/permits.cfm)

UTILITY NOTES:

ALL SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF COMMERCE STANDARDS.

THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.

ALL WATER MAIN SHALL BE BURIED TO A DEPTH OF 6.5 FEET. THE DEPTH IS DEFINED AS THE DISTANCE BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF WATER MAIN OR SERVICE.

MAINTAIN AN 8 FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN PUBLIC SANITARY SEWER, WATER MAIN AND STORM SEWER. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER MAIN AND PROVIDE 6" MINIMUM VERTICAL SEPARATION WHERE WATER MAIN CROSSES OVER SEWER.

ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.

ALL UNDERGROUND EXTERIOR NON-METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORDANCE WITH 182.0715(2r) OF STATE STATUTES.

THE PROPOSED ELECTRIC, TELEPHONE AND GAS UTILITY LOCATIONS ARE NOT SHOWN. ACTUAL LOCATIONS AND DESIGN SHALL BE COMPLETED BY OTHERS.

ANY DAMAGE TO EAST WILSON STREET OR SOUTH HANCOCK STREET PAVEMENT WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY OF MADISON PATCHING CRITERIA.

THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS, SIZES, MATERIALS, AND ELEVATIONS PRIOR TO CONSTRUCTION.

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
 TDD(FOR THE HEARING IMPAIRED)(800)542-2289

WIS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE

330 E. WILSON STREET - CITY OF MADISON
 UTILITY PLAN
 SHEET: C1.02
 DATED: APRIL 22, 2014

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
www.quamengineering.com

4604 Siggeikow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752



GARY BRINK & ASSOCIATES
ARCHITECTS
7780 ELMWOOD AVE. STE. 204
MIDDLETON, WI 53562
608-829-1750
608-829-3056 (FAX)



KEN SAIKI DESIGN
LANDSCAPE ARCHITECTS

NOTE:
1. Protect all existing pavements, curbs, utilities, and other improvements during planting.
2. All plant beds shall have shredded hardwood bark mulch unless otherwise noted.
3. Plantings shall not be permanently irrigated.
4. Contractor shall notify City Forestry at least 48 hours prior to pouring terrace concrete so the planting site can be located in the field.
5. Contractor shall contact City Forestry at least 48 hours prior to any work on street trees. Contact Dean Kahl, 608-266-4816, DKahl@cityofmadison.com
6. Street trees shall be planted in 4'x8' tree grates as determined by City Engineering.

City of Madison, WI Landscape Worksheet
22-Apr-14
Urban Mixed Use

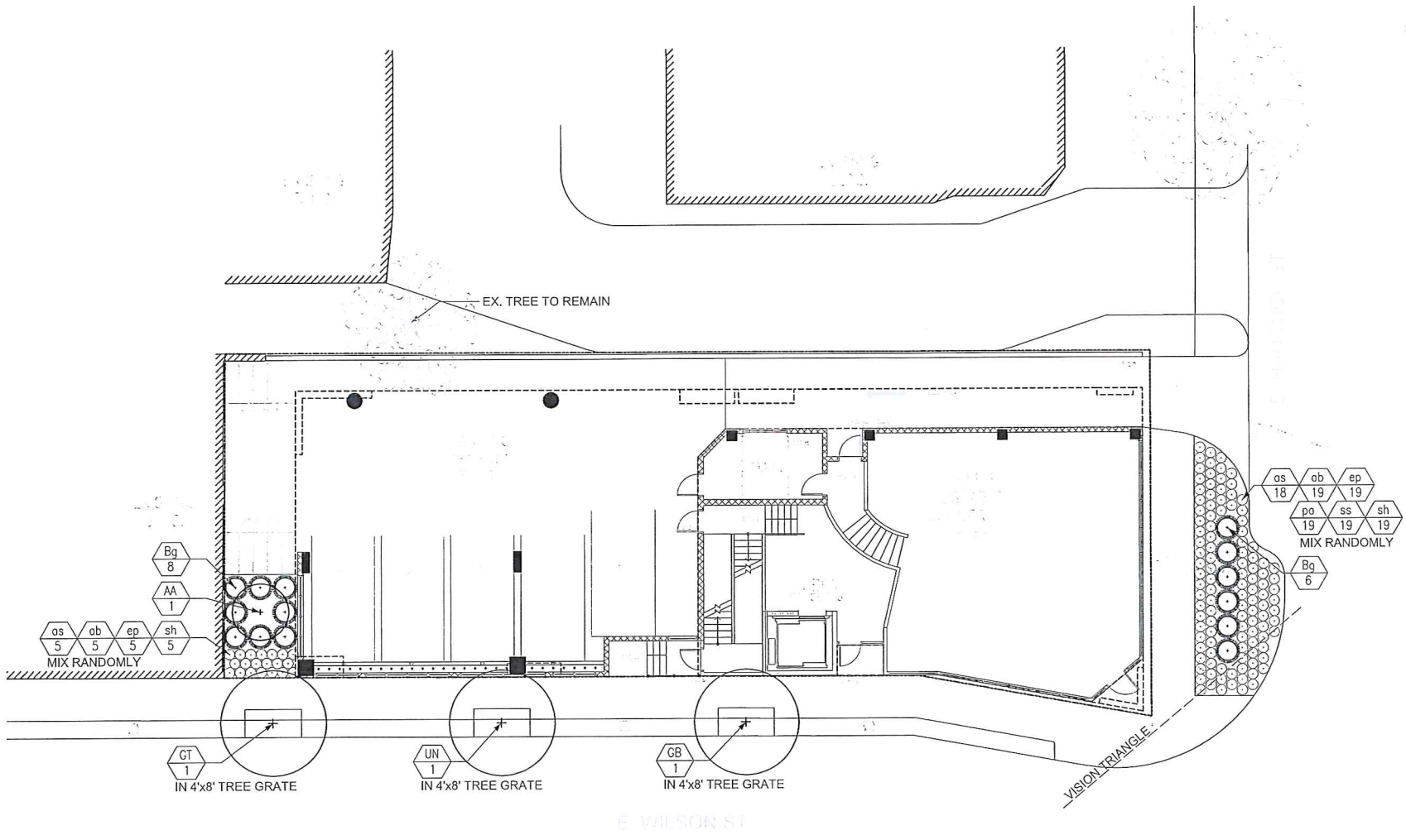
Developed Lots	SF	Landscape Units Required
Total Developed Area	6,180	21
		Landscape Points Required
		103

Development Frontage	LF	Overstory Trees Required	Shrubs Required
Total LF of Street Frontage Between Bldg./Parking & Street (where not zero-setback)	15	1	3

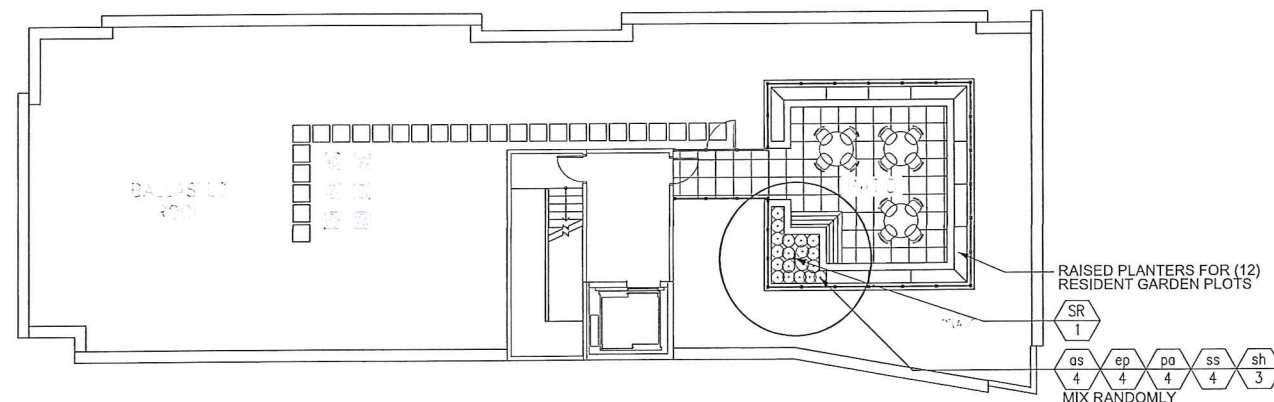
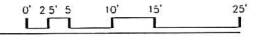
Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Ornamental Tree	15	1		15
Shrub, evergreen	3	6		18
Development Frontage Deduction Total				39

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35			0
Ornamental Tree	15	1		15
Evergreen Tree	15			0
Shrub, deciduous	2			0
Shrub, evergreen	3	6		18
Ornamental Grass	2	52		104
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4			0
General Site Plantings Total				137

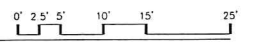
TOTAL LANDSCAPE POINTS ACHIEVED 176



1 PLANTING PLAN
1" = 10'-0"



2 ROOF PLANTING PLAN
1" = 10'-0"



Key	Botanical Name	Common Name	Quantity	Size	Spec	Comments	Mature Size
Deciduous Trees							
GB	<i>Ginkgo biloba</i> 'Princeton Sentry'	Princeton Sentry Ginkgo	1	2.5" Cal.	B&B	Single, straight leader, match specimens; branching shall start at 5'-0" min.	40' ht x 15-30' sp
GT	<i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Skycole'	Skyline Honeylocust	1	2.5" Cal.	B&B	Single, straight leader, match specimens; branching shall start at 5'-0" min.	50-60' ht x 35-45' sp
UN	<i>Ulmus</i> x 'NewHorizon'	New Horizon Elm	1	2.5" Cal.	B&B	Single, straight leader, match specimens; branching shall start at 5'-0" min.	50-60' ht x 40-50' sp
Ornamental Trees							
AA	<i>Amelanchier arborea</i>	Downy Serviceberry	1	6" ht.	B&B	Multistem, min. 3 leaders; well-developed crown; no overlapping leaders	15-25' ht x 10-12' sp
SR	<i>Syringa reticulata</i> 'Summer Snow'	Summer Snow Tree Lilac	1	2" Cal.	B&B	Single, straight leader, match specimens; branching shall start at 5'-0" min.	20' ht x 25' sp
Evergreen Shrubs							
Bg	<i>Buxus</i> x 'Green Velvet'	Green Velvet Boxwood	14	5 gal.	Cont.	Space 3'-6" o.c.	3-4' ht x 4-5' sp
Ornamental Grasses							
es	<i>Schizachyrium scoparium</i> 'The Blues'	The Blues Little Bluestem	23	1 gal.	Cont.	Space 18" o.c.	1.5-2.5' ht x 1.5-2' sp
sh	<i>Sporobolus heterolepis</i> 'Tara'	Tara Prairie Dropseed	27	1 gal.	Cont.	Space 18" o.c.	1.5-2' ht x 1.5' sp
Perennials/Grasscovers							
ab	<i>Agastache</i> x 'Blue Fortune'	Blue Fortune Agastache	24	1 qt.	Cont.	Space 18" o.c.	2.5-3' ht x 1.5-2' sp
as	<i>Allium</i> x 'Summer Beauty'	Summer Beauty Allium	27	1 qt.	Cont.	Space 18" o.c.	1.5' ht x 1.5' sp
ep	<i>Echinacea</i> 'Pixie Meadowbrite'	Pixie Meadowbrite Purple Coneflower	28	1 gal.	Cont.	Space 18" o.c.	1.5-2' ht x 1-1.5' sp
pa	<i>Perovskia atriplicifolia</i> 'Little Spire'	Little Spire Russian Sage	23	1 qt.	Cont.	Space 18" o.c.	1.5-2' ht x 1.5-2.5' sp

PROJECT: 330 E. WILSON
330 E. WILSON STREET
MADISON, WI 53703
CLIENT: KOTHE REAL ESTATE PARTNERS
115 E. MAIN STREET SUITE 210
MADISON, WI 53703

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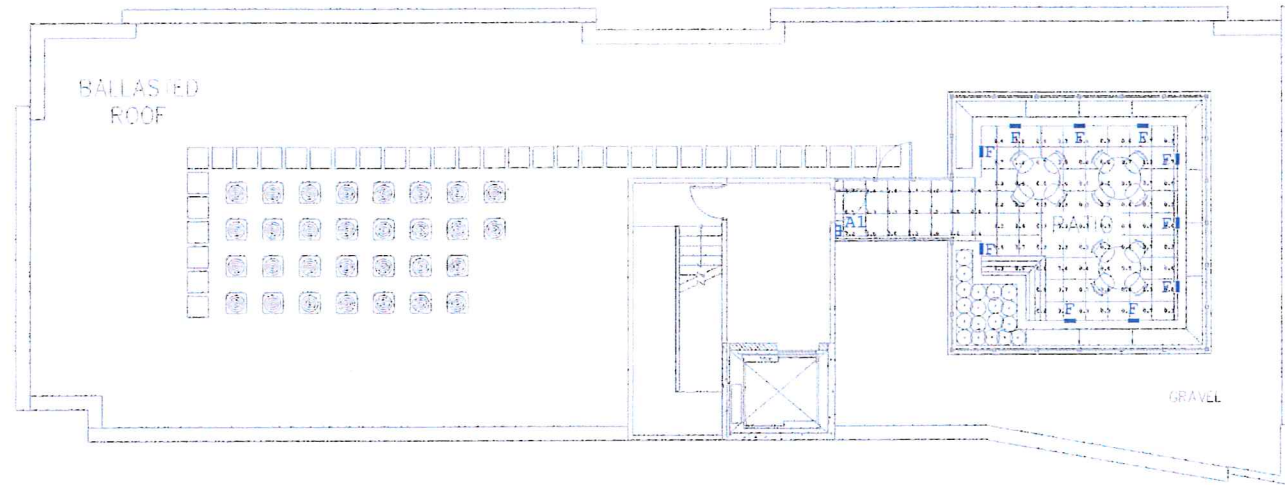
PROJECT: 201249
DRAWN BY: ARM
DATE: 04/22/2014
SCALE: AS NOTED

PLANTING PLAN

L1.00

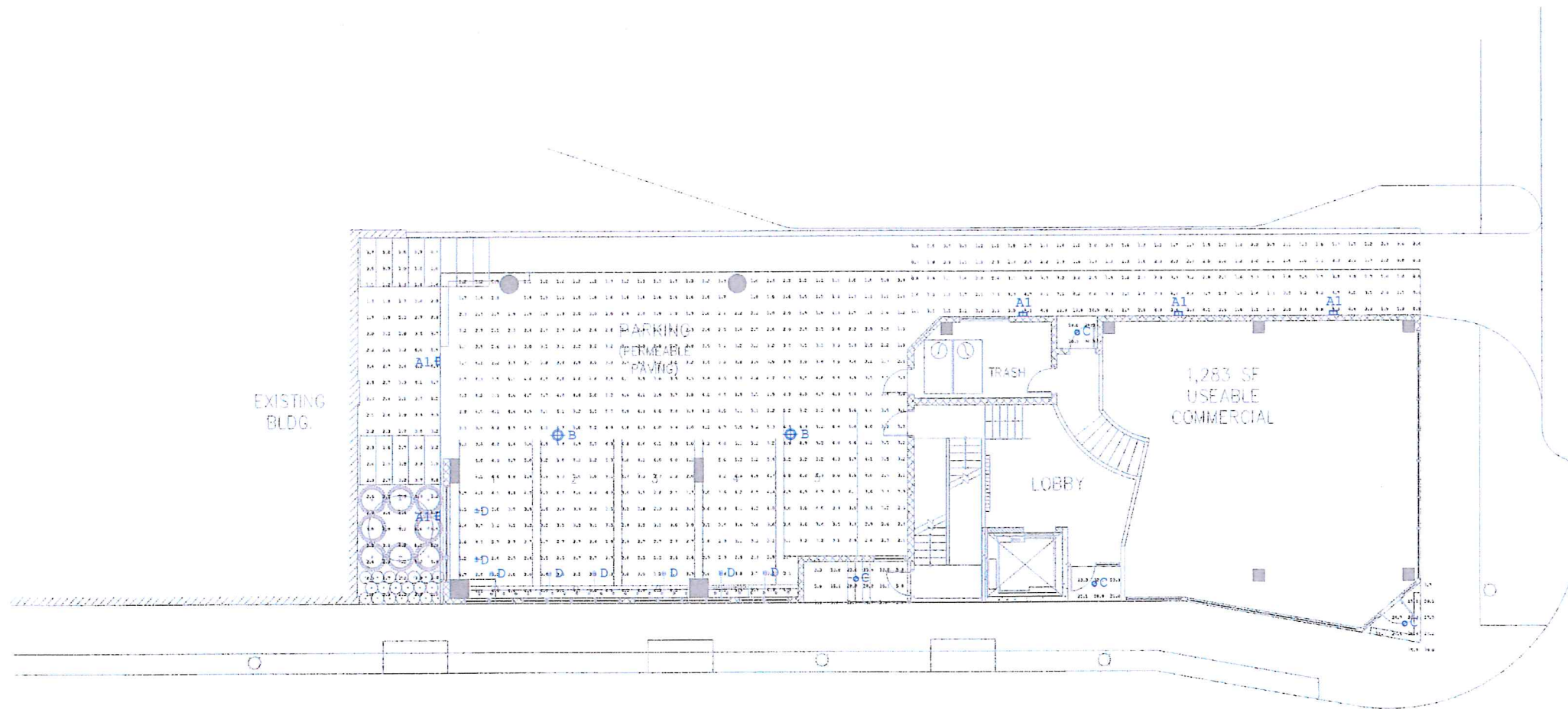


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ARCHITECTS
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MIDDLETON, WI 53562
608-829-1150
608-829-3056 (FAX)



Luminaire Schedule					
Qty	Label	Arrangement	Lum. Lumens	LLF	Description
6	A	SINGLE	735	0.900	LUMARK + XTOR1A
2	B	SINGLE	5170	0.900	McGRAW-EDISON + TT-A3-LED-E1-WQ
4	C	SINGLE	1477	0.900	PORTFOLIO + LD4A13D010TE-ERM4A13835-4LM1LI
8	D	SINGLE	405	0.900	LUMENPULSE + LBS-120-27K-WFL-SI
10	F	SINGLE	25	0.900	COLE + L158W-N-J

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
BIKE RACKS & PLANTING AREA	Illuminance	Fc	2.96	6.6	0.7	4.23	9.43
COMMERCIAL ENTRY	Illuminance	Fc	17.25	28.8	3.7	4.66	7.78
DRIVE ACCESS	Illuminance	Fc	2.51	17.8	0.4	6.28	44.50
EXIT TO DRIVE	Illuminance	Fc	29.15	30.3	28.0	1.04	1.08
LOBBY ENTRY	Illuminance	Fc	24.95	32.1	21.0	1.19	1.53
PARKING	Illuminance	Fc	3.47	6.5	0.9	3.86	7.22
ROOF PATIO	Illuminance	Fc	0.48	1.3	0.2	2.40	6.50
ROOF PATIO_1	Illuminance	Fc	2.59	7.2	0.4	6.48	18.00
STAIR EXIT	Illuminance	Fc	13.87	28.8	3.8	3.65	7.58



E. WILSON ST.

PROJECT: 330 E. WILSON
330 E. WILSON STREET
MADISON, WI 53703
CLIENT: KOIHE REAL ESTATE PARTNERS
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MADISON, WI 53703

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SITE
LIGHTING
CALCULATIONS
A1.00

SPECIFICATION SHEET

lumenbeam™

SMALL
WHITE & STATIC COLORS
333 E. Wilson
Type D
LBS-X-27K-WFL-X-X

Client: _____
Project name: _____
Order #: _____
Type: _____ City: _____

FEATURES AND BENEFITS

- Physical :**
- Low copper content high pressure die-cast aluminum housing
 - Heavy aluminum formed yoke
 - Stainless steel hardware
 - Silicone sealing gasket
 - Clear tempered glass
 - Dual chamber design for heat management and ease of maintenance
 - Electrostatically applied polyester powder coat finish
 - 2.40 sq ft / 5.20 lbs
 - EPI: Foot = 0.35 sq ft / 0.033 sq m. Side = 0.31 sq ft / 0.029 sq m
 - IP65
 - Corrosion-resistant option for marine applications

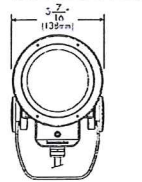
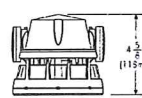
- Performance :**
- 6°, 10°, 20°, 40°, 60°, Elliptical emission on 10° and 40° optics
 - CRI values: 78+
 - Lumen maintenance: 120,000 hrs (L70 @ 25°C)
 - Operating temperatures: -25° C to 50° C (-13° F to 122° F)

- Electrical :**
- Line voltage luminaire for 120 to 277V
 - Power and data in 1 cable, 3ft/1m cord (1.6-5)
 - 14 wires
 - 0-10 volt, DMX or DALI dimming options



Wiring detail

WIRE COLOR / USE	GROUND
GREEN	GROUND
WHITE	NEUTRAL LINE 120/277V
BLACK	0-10V / DATA
RED	0-10V / DATA
ORANGE	0-10V / DATA



Standard Yoke Mounting Option

5 year warranty

lumenpulse
Sustainable architectural LED lighting systems

1/8 Lumenpulse reserves the right to make changes to this product at any time without prior notice and such modification shall be effective immediately.

SPECIFICATION SHEET

lumenbeam™

SMALL
WHITE & STATIC COLORS

HOW TO ORDER

LBS	Select:	Select:	Select:	Select:	Select:	Select:	Select:	Select:
Housing	Voltage	Colors and color temperatures	Optic	Optical Option	Finish	Dimming	Mounting Option	Option
1	2	3	4	5	6	7	8	9

Housing:
LBS - lumenbeam™ Small

Voltage:
120 - 120 volts
208 - 208 volts
220/240 - 220 to 240 volts
277 - 277 volts

Colors and Color temperatures:
27K - 2700K
30K - 3000K
35K - 3500K
40K - 4000K
57K - 5700K
RD - Red
GR - Green
BL - Blue

Optic:
VN - Very Narrow 6°
NS - Narrow Spot 10°
NF - Narrow Flood 20°
FL - Flood 40°
WFL - Wide Flood 60°

Optical Option:
LSH - Linear Spread lens Horizontal distribution
LSV - Linear Spread lens Vertical distribution

Finish:
SI - Silver Sand/Sea
BK - Black Sand/Sea
WH - White
CC - Custom (please specify RAL color)

Dimming:
DIM - 0-10V Dimming option (10% minimum dimming value)
DMX - DMX Dimming option (1% minimum dimming value)
DALI - DALI Dimming option (1% minimum dimming value)
NO - No Dimming

Mounting Option:
SK - Stake Mounting
KN - Knuckle Mounting
CN - Canopy Cover Mounting

Option:
CRC - Corrosion-resistant Coating

8/8 Lumenpulse reserves the right to make changes to this product at any time without prior notice and such modification shall be effective immediately.

lumenpulse
Sustainable architectural LED lighting systems

COLE LIGHTING

333 E. Wilson
Type F
L156W-N-J

Series	LED	Floor	Incan.	Dimming	Exterior	Interior	Feed-Thru	Other Options
158								Faceplate color LED color Sharp cutoff lower Junction box

Steeplites

158 SERIES

Description
The 158 Series of SteepLites is a low-profile, "brick star" style fixture with LED, fluorescent, and incandescent lamp options. It is suitable for a variety of interior or exterior applications. The rugged construction, engineering excellence, and quality make these fixtures ideal for specification in most public areas.

Features
Lowers in the 158 Series are more widely spaced than most fixtures of this type, allowing for significantly greater forward projected illumination. Exceptional durability is provided by the thick cast aluminum faceplate and the tempered glass diffuser. Louvered models offer even greater protection to the diffuser while controlling the distribution of light. Cole SteepLites feature an optional cast aluminum junction box which may be easily field mounted to either the back or bottom of the housing to best suit installation conditions.

Applications
The 158 Series SteepLites are suitable for concrete pour/block wall and stud wall mounting in indoor or outdoor installations. They are ideal in low walls and side mounting applications. LED and incandescent fixtures will work well in extremely cold climates. The LED and fluorescent lamp options may be specified for interior combustible conditions. They are ideal in low walls and step risers.

Custom
If your project demands a special fixture we would be pleased to discuss the production of modified standard fixtures or custom fixtures to suit your specific conditions. For more information on our custom capabilities, please contact your local Cole representative.

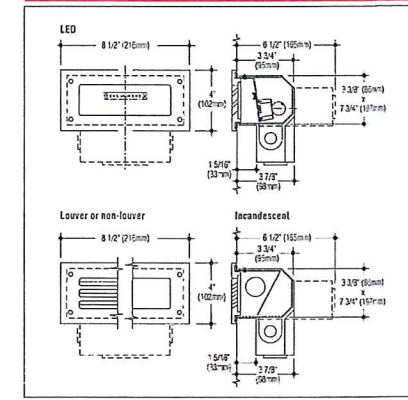


The junction box on Cole SteepLites may be field mounted to the back or bottom of the fixture.

COLE
Lighting

C.W. Cole & Company, Inc.
2560 N. Rosemead Boulevard
South El Monte, CA 91733-1593
Tel. (626) 443-2473
Fax (626) 443-9253
info@colelighting.com
www.colelighting.com

COLE LIGHTING



Lamp	Faceplate	Non-louver
LED L5W (126 lm @ 3000°K)	L158W	L158GW
LED 3.6W (215 lm @ 3000°K)	L158W-HO	L158GW-HO
LED 7W (430 lm @ 3000°K)	L158W-HO-2	L158GW-HO-2
One 7W or 9W (267 base) compact fluorescent	F158W-7 or -9	F158GW-7 or -9
One 40W T10 medium base incandescent	T158W	T158G

Options
If your project demands a special fixture we would be pleased to discuss the production of modified standard fixtures or custom fixtures to suit your specific conditions. For more information on our custom capabilities, please contact your local Cole representative.

Junction box: Bottom or back mounted junction box for feed-thru. Add suffix -J.
Stainless steel faceplate: 3/16" thick 316 stainless steel faceplate. Add suffix -N.
Sharp cutoff lower: Reduces illumination pattern. Add suffix -SCL.
Bronze faceplate: Satin finish, clear coated. Add suffix -B.
Voltage: Fluorescent 277V ballast. Add suffix -277. (LED Universal voltage standard)
Dimming: Universal voltage 0-10V driver. Add suffix -DIM.
Faceplate color: Black or white. Add suffix -BLK or -WH.

Tamperproof screws: Tamperproof socket head faceplate screws. Add suffix -TP.
LED colors:
4000°K (145 lm) -HO (249 lm) -HO-2 (198 lm)
add suffix -4K
Amber, add suffix -AMB
Blue, add suffix -BLU

How to Specify
1. Select catalog number with desired features.
2. Add suffixes for options required in most job conditions.

Steeplites

158 SERIES

Specifications

Construction
• Fixture housing is constructed from die-formed 16 gauge electro-galvanized steel finished with a white polyester coating • Faceplate is cast aluminum with metallic aluminum polyester coating, gasketed and retained by stainless steel screws • Diffuser is frosted tempered glass, set in silicone sealant • Reflector is constructed of die-formed white aluminum • Optional junction box is cast aluminum with polyester coating • Incandescent models for concrete pour/block wall construction only • LED and fluorescent models for any wall construction

Electrical
• Fixture is wired with high performance LEDs, one compact fluorescent or one 40W A19 incandescent lamp • Driver is standard universal voltage • Ballast is standard 120V (277V optional) electronic • Optional junction box allows 8 wire thru, wiring 4 in and 4 out. Provided with two 1/2" tapered conduit entrances in the bottom and one 1/2" conduit entrance in each side

Mounting
Housing has flange with holes for mounting

COLE
Lighting

C.W. Cole & Company, Inc.
2560 N. Rosemead Boulevard
South El Monte, CA 91733-1593
Tel. (626) 443-2473
Fax (626) 443-9253
info@colelighting.com
www.colelighting.com



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ARCHITECTS
7780 ELMWOOD AVE. STE. 204
MIDDLETON, WI 53562
608-829-1750
608-829-3056 (FAX)

PROJECT:
330 E. WILSON
330 E. WILSON STREET
MADISON, WI 53703
CLIENT:
KOTHE REAL ESTATE PARTNERS
115 E. MAIN STREET SUITE 210
MADISON, WI 53703

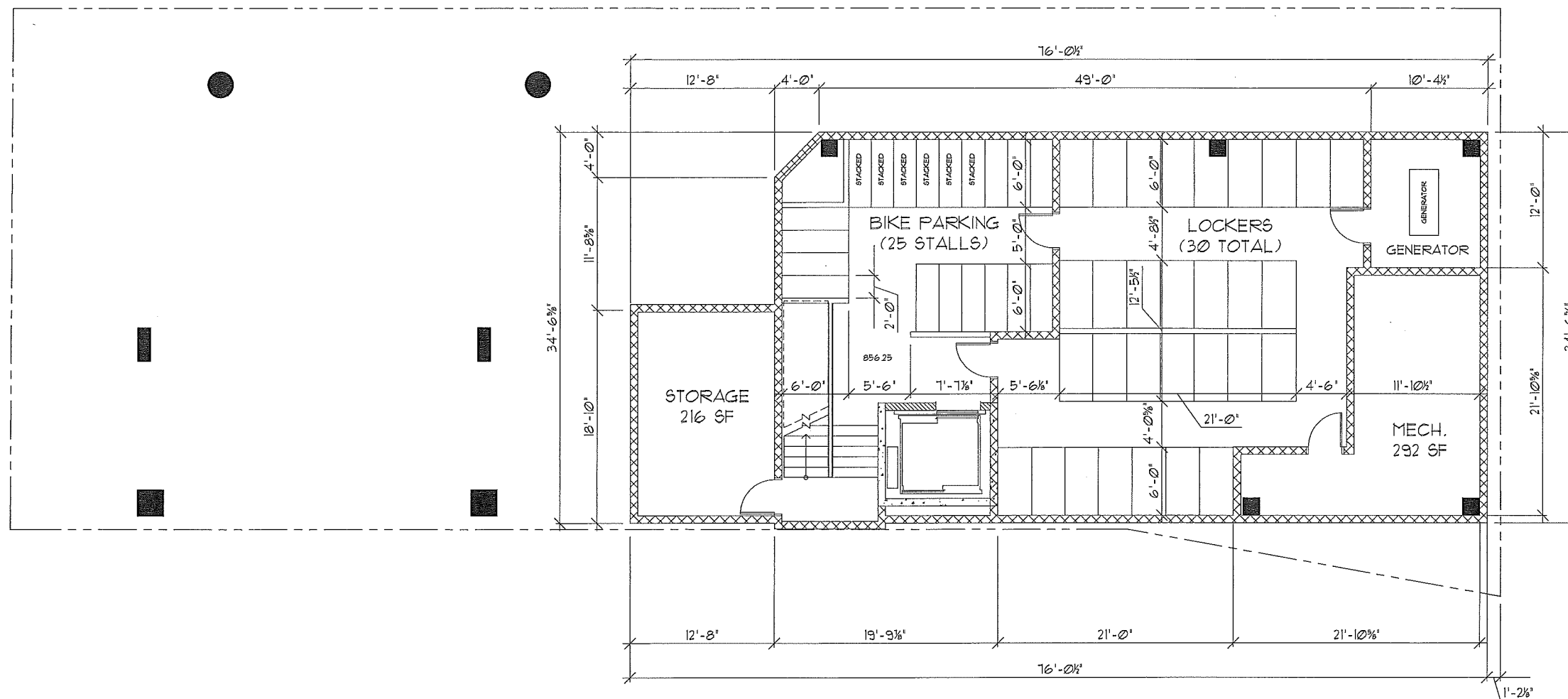
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SITE LIGHTING
FIXTURE
CUT SHEETS
A1.02



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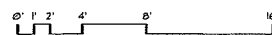
PROJECT: 330 E. WILSON
330 E. WILSON STREET
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CLIENT: KOTHE REAL ESTATE PARTNERS
116 E. MAIN STREET SUITE 210
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1 BASEMENT FLOOR PLAN
SCALE: 3/16" = 1'-0"

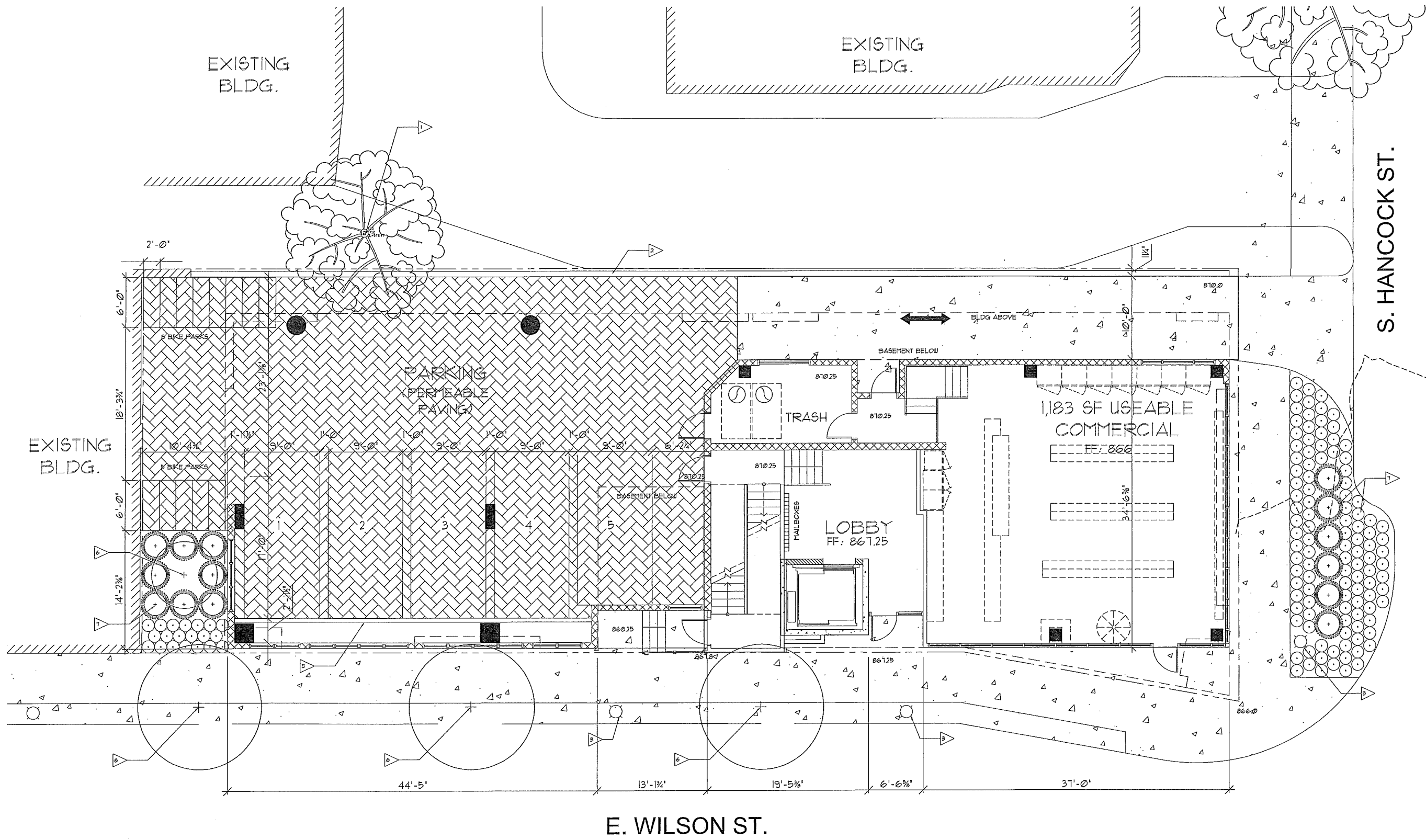


BASEMENT
FLOOR
PLAN

A2.00



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MIDDLETON, WI 53562
608-839-1750
608-829-3056 (FAX)



S. HANCOCK ST.

E. WILSON ST.

KEYED NOTES	
1.	EXISTING TREE
2.	EXISTING RETAINING WALL
3.	EXISTING STREET LAMP
4.	NOT USED
5.	INTERACTIVE CHARITY DISPLAY
6.	NEW TREE - REFERENCE L100 FOR DETAILS
7.	NEW PLANTINGS - REFERENCE L100 FOR DETAILS



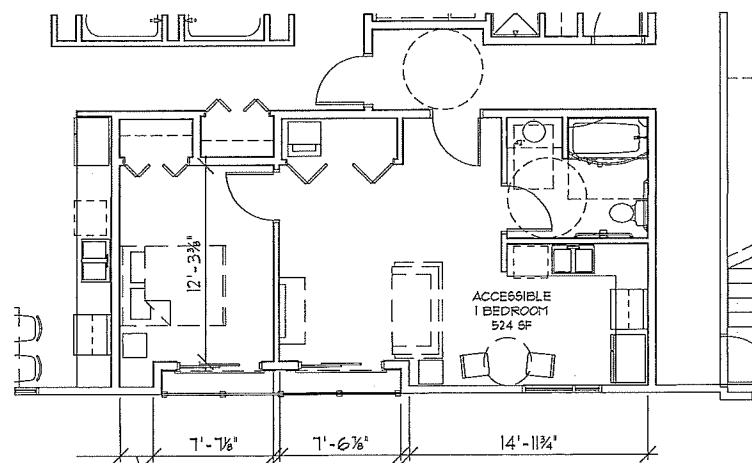
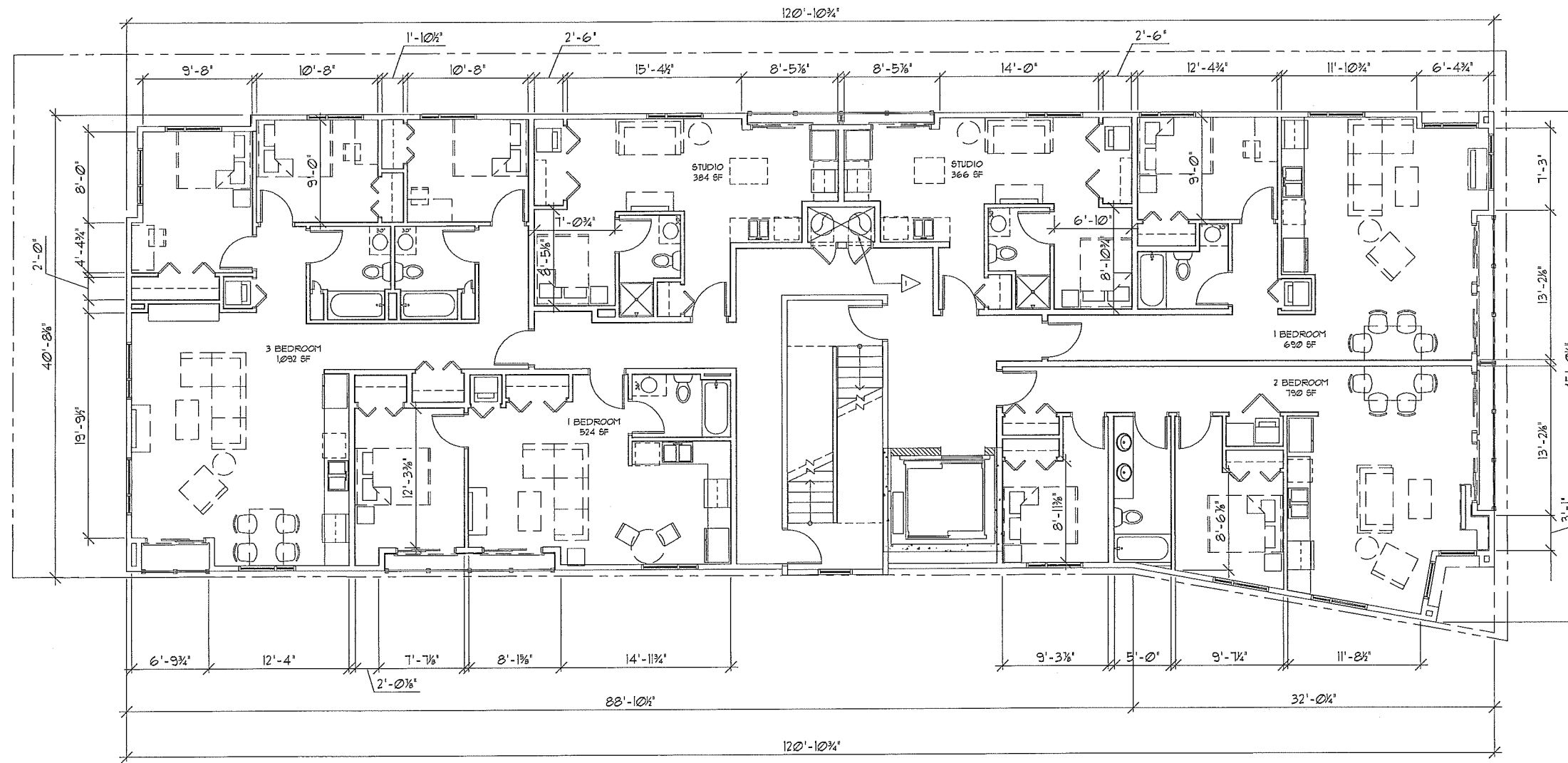
PROJECT: 330 E. WILSON
330 E. WILSON STREET
MADISON, WI 53703
CLIENT: KOTHE REAL ESTATE PARTNERS
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MADISON, WI 53703

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PROJECT: 201249
DRAWN BY:
DATE:
SCALE: AS NOTED

FIRST FLOOR
PLAN / SITE
PLAN
A2.01



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MIDDLETON, WI 53562
608-829-1750
608-829-3056 (FAX)



1 2nd THROUGH 6th FLOOR PLAN
SCALE: 3/16" = 1'-0"

1 2nd FLOOR ACCESSIBLE PLAN
SCALE: 3/16" = 1'-0"

KEYED NOTES
L TRASH CHUTE FROM 2ND TO 1ST FLOOR ONLY

PROJECT: **330 E. WILSON**
330 E. WILSON STREET
MADISON, WI 53703
CLIENT: **KOTHE REAL ESTATE PARTNERS**
115 E. MAIN STREET SUITE 210
MADISON, WI 53703

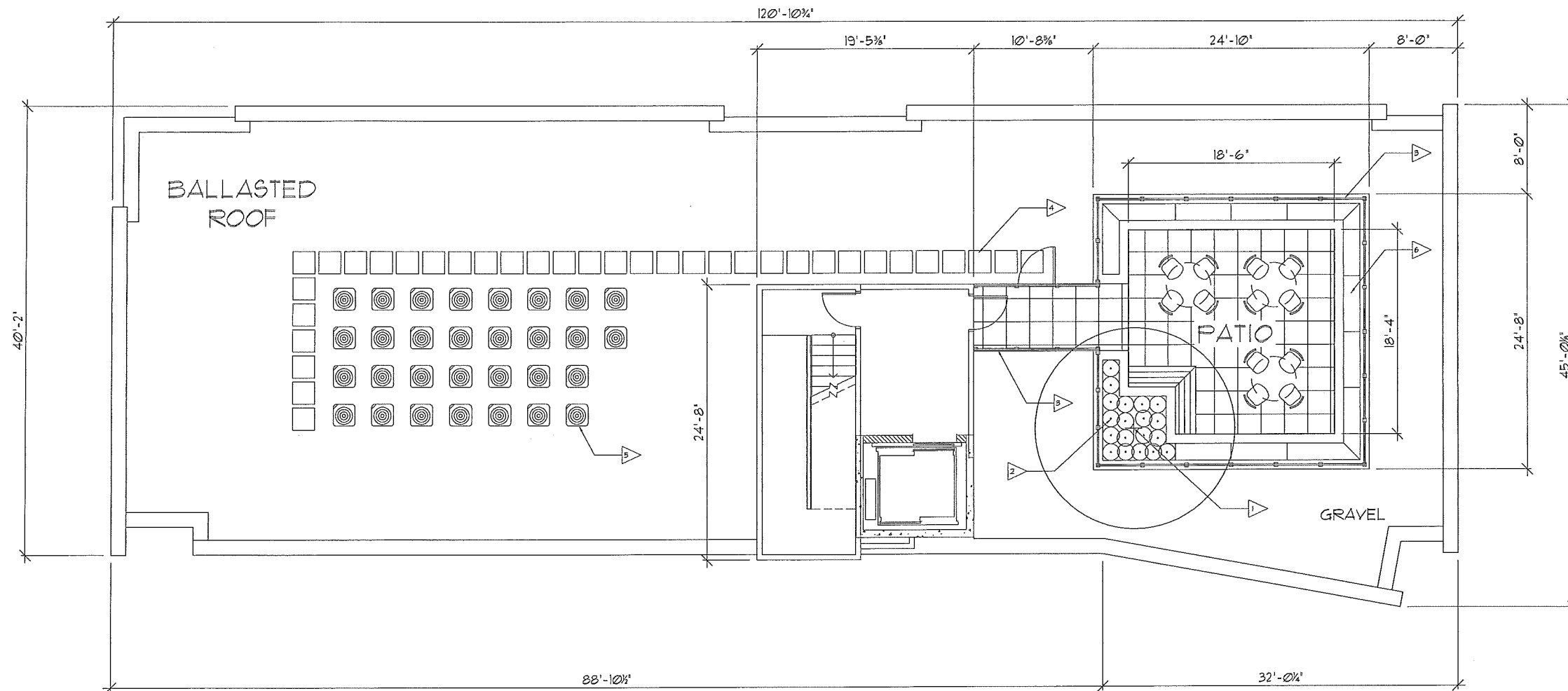
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DRAWN BY:
DATE:
SCALE: AS NOTED

2ND THROUGH 6TH
FLOOR
PLAN
A2.02



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7780 ELMWOOD AVE. STE. 204
MIDDLETON, WI 53562
608-839-1750
608-829-3056 (FAX)



KEYED NOTES	
1.	TREE - REFERENCE L1.00 FOR DETAILS
2.	PLANTINGS - REFERENCE L1.00 FOR DETAILS
3.	GUARDRAIL / FENCING - TOP @ 42" AFF
4.	BALKWAY PAD
5.	CONDENSER UNITS
6.	RAISED PLANTER / GARDEN

1 ROOF PLAN
SCALE: 3/16" = 1'-0"
0' 1' 2' 4' 8' 16'

PROJECT: 330 E. WILSON
330 E. WILSON STREET
MADISON, WI 53705
CLIENT: KOTHE REAL ESTATE PARTNERS
115 E. MAIN STREET SUITE 210
MADISON, WI 53703

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PROJECT: 201249
DRAWN BY:
DATE:
SCALE: AS NOTED

ROOF
PLAN

A2.03



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608-829-1750
608-829-3056 (FAX)



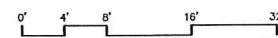
PROJECT: 330 E. WILSON
330 E. WILSON STREET
MADISON, WI 53703
CLIENT: KOTHE REAL ESTATE PARTNERS
116 E. MAIN STREET SUITE 210
MADISON, WI 53703

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PROJECT: 201249
DRAWN BY:
DATE:
SCALE: AS NOTED

GRAPHIC	KEY	EXTERIOR FINISH DESCRIPTION
	(ST-1)	MASONRY FIELD MFR: ABRASCRAFT INTERNATIONAL SIZE: 8"x24" COLOR: SMOOTH GINGER
	(M-1)	ALUMINUM PANEL MFR: DRI DESIGN SIZE: N.A. COLOR: SMOKE EMBERS
	(M-2)	ALUMINUM PANEL MFR: DRI DESIGN SIZE: N.A. COLOR: REGAL BLUE
	(GL-1)	GLASS FIELD (CLEAR) MFR: VIRAICON SIZE: REFER TO SPECIFICATIONS TYPE: VIRAICON SOLARSREEN VE4-2M
	(GL-2)	GLASS FIELD (FROSTED) MFR: VIRAICON SIZE: REFER TO SPECIFICATIONS TYPE: FROSTED VIRAICON SOLARSREEN
	(GL-3)	GLASS FIELD (SPANDREL) MFR: VIRAICON SIZE: REFER TO SPECIFICATIONS TYPE: FROSTED SPANDREL

PLAN SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



PLAN SOUTH
ELEVATION
A6.01



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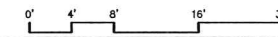
PLAN WEST ELEVATION

SCALE: 1/8" = 1'-0"



PLAN EAST ELEVATION

SCALE: 1/8" = 1'-0"



GRAPHIC	KEY	EXTERIOR FINISH DESCRIPTION
	ST-1	MASONRY FIELD MFR: ARBISCRAFF INTERNATIONAL SIZE: 8"x24" COLOR: SMOOTH GINGER
	M-1	ALUMINUM PANEL MFR: DRI DESIGN SIZE: N/A COLOR: SMOKE EMBERS
	M-2	ALUMINUM PANEL MFR: DRI DESIGN SIZE: N/A COLOR: REGAL BLUE
	GL-1	GLASS FIELD (CLEAR) MFR: VIRAON SIZE: REFER TO SPECIFICATIONS TYPE: VIRAON SOLARSCREEN VE4-2M
	GL-2	GLASS FIELD (FROSTED) MFR: VIRAON SIZE: REFER TO SPECIFICATIONS TYPE: FROSTED VIRAON SOLARSCREEN
	GL-3	GLASS FIELD (SPANDREL) MFR: VIRAON SIZE: REFER TO SPECIFICATIONS TYPE: FROSTED SPANDREL

PROJECT: 330 E. WILSON
330 E. WILSON STREET
MADISON, WI 53703
CLIENT: KOTHE REAL ESTATE PARTNERS
115 E. MAIN STREET SUITE 210
MADISON, WI 53703

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PROJECT: 201249
DRAWN BY:
DATE:
SCALE: AS NOTED

PLAN
EASTWEST
ELEVATION
A6.02



GARY BRINK & ASSOCIATES
ARCHITECTS
7780 ELMWOOD AVE. STE. 204
MIDDLETON, WI 53562
608-829-1750
608-829-3056 (FAX)



PLAN NORTH ELEVATION
SCALE: 1/8" = 1'-0"



GRAPHIC	KEY	EXTERIOR FINISH DESCRIPTION
	ST-1	MASONRY FIELD MFR: ARRCRAFT INTERNATIONAL SIZE: 8"x24" COLOR: SMOOTH GINGER
	M-1	ALUMINUM PANEL MFR: DRI DESIGN SIZE: N.A. COLOR: SMOKE EMBERS
	M-2	ALUMINUM PANEL MFR: DRI DESIGN SIZE: N.A. COLOR: REGAL BLUE
	GL-1	GLASS FIELD (CLEAR) MFR: VIBACON SIZE: REFER TO SPECIFICATIONS TYPE: VIBACON SOLARSREEN VE4-2M
	GL-2	GLASS FIELD (FROSTED) MFR: VIBACON SIZE: REFER TO SPECIFICATIONS TYPE: FROSTED VIBACON SOLARSREEN
	GL-3	GLASS FIELD (SPANDRL) MFR: VIBACON SIZE: REFER TO SPECIFICATIONS TYPE: FROSTED SPANDRL

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PLAN NORTH
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