

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
 Planning Division
 126 S. Hamilton St.
 P.O. Box 2985
 Madison, WI 53701-2985
 (608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____
 Date received _____
 Received by _____
 Aldermanic District _____
 Zoning District _____
 Urban Design District _____
 Submittal reviewed by _____

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: 118-126 State Street
 Title: The Dayton-Carroll Hotel Project

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested August 8, 2018
 New development Alteration to an existing or previously-approved development
 Informational Initial approval Final approval

3. Project Type

Project in an Urban Design District
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
 Planned Development (PD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Multi-Use Site or Residential Building Complex

Signage
 Comprehensive Design Review (CDR)
 Signage Variance (i.e. modification of signage height, area, and setback)

Other
 Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name Eric Nordeen Company 122 State Street Group LLC
Street address 2001 W. Beltline Hwy., Ste. 200 City/State/Zip Madison, WI 53713
Telephone 608-250-2099 Email eric@ascendant-holdings.com

Project contact person Jeff Vercauteren Company Husch Blackwell LLP
Street address 33 E. Main St., Ste. 200 City/State/Zip Madison, WI 53703
Telephone 608-234-6052 Email jeff.vercauteren@huschblackwell.com

Property owner (if not applicant) _____
Street address _____ City/State/Zip _____
Telephone _____ Email _____

5. Required Submittal Materials

- Application Form**
- Letter of Intent**
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
 - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- Development plans** (Refer to checklist provided below for plan details)
- Filing fee**
- Electronic Submittal***

Each submittal must include fourteen (14) 11" x 17" collated paper copies. Landscape and Lighting plans (if required) must be full-sized. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Janine Glaeser on April 26, 2018.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Applicant name 122 State Street Group LLC Relationship to property Owner
 Authorized signature of **Property Owner**  Date 06.20.18

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per §35.24(6) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information what should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1" = 40' or larger

**** All plans must be legible, including the full-sized landscape and lighting plans (if required)**

2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in both black & white and color for all building sides (include material callouts)
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- Grading Plan
- Proposed Signage (if applicable)
- Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials (presented at the UDC meeting)

4. Comprehensive Design Review (CDR) and Variance Requests (*Signage applications only*)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit

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Jeffrey L. Vercauteren
Partner

33 E. Main Street, Suite 300, P.O. Box 1379
Madison, WI 53701-1379
Direct: 608.234.6052
Fax: 608.258.7138
Jeff.Vercauteren@huschblackwell.com

June 20, 2018

Natalie Erdman, Director
Department of Planning, Community & Economic Development
126 South Hamilton Street
Madison, WI 53701

Re: Request for Zoning Map and Height Map Amendment – 118-126 State Street

Ms. Erdman:

On behalf of 122 State Street Group LLC, we are requesting an amendment to the Downtown Height Map as part of a Planned Development District to allow 19 feet of additional height at 118-126 State Street. The Height Map currently allows a maximum building height of 88 feet on the project site, with a 30-foot setback on State Street. The requested amendment seeks to construct to a maximum height of 107 feet on West Dayton Street and North Carroll Street, with a maximum height of 95 feet at the top of the parapet (see diagram below).

The proposed project includes the construction of a new building with approximately 130 hotel guest rooms. The proposal would replace the existing non-conforming 6-story building at 122 State Street and bring the project site into compliance with the State Street viewshed setback by reducing the height of the building on State Street to 4 stories.

As discussed further below, the proposal is consistent with the Downtown Plan, which provides “a flexible framework for building scale that encourages innovation and growth” and provides that “maximum building heights may be exceeded through the planned development process.”

1. The Proposed Amendment Meets the Standards for Additional Height.

The Zoning Code allows the Plan Commission to grant approval of the proposed amendment pursuant to MGO 28.098(2)(h) based on the following standards:

A. The additional height is compatible with the existing and planned character of the surrounding area.

- The proposed project will maintain and restore the historic façades and portions of 118 and 126 State Street, thereby maintaining and enhancing the historic character of State Street, and will bring the project site into compliance with the State Street

frontage setback requirements by reducing the existing 6-story front face of the building to 4 stories.

- The Dayton and Carroll portions of the building, with a maximum height of 107 feet, will provide a gradual transition to higher-density blocks adjacent to the project site, including the Concourse Hotel (167 feet), 30 On The Square (128 feet) and the proposed Drury Hotel (107 feet).
- This is the only block on State Street that backs into buildings with this type of additional mass and height, creating a unique context for this hotel proposal.

B. The additional height allows for a demonstrated higher quality building.

- The additional height allows the utilization of higher quality building materials, cladding components, glazing assemblies and crafted design components.
- The construction economics of hotels constrain projects into utilizing building materials that are often less permanent in nature and prone to premature failure or high long-term maintenance costs. Standard assemblies such as metal panels, applied plaster or EIFS systems, pre-painted fiber cement panels or other hardboard products are not designed to age. The project will utilize lifetime finishes such as stone and masonry afforded in a higher service, specialty independent hotel that could not be sustained with a lower height and density.
- The additional height allows the project to meet the requirements for a high-quality hotel operator with a sufficient number of rooms to support first-class food and beverage service and other hotel services.
- The additional height allows for rooftop views providing downtown residents and visitors with views of Lake Mendota, thereby furthering one goal of the Downtown Plan to increase access to the lakes.

C. The scale, massing and design of the new building complement and positively contribute to the setting of the adjacent landmark building.

- The proposed building complements the adjacent landmark building at 114 State Street by maintaining and restoring the historic façade at 118 State Street and by restoring the historic rhythm and relationship of the street-level façades between 114 and 126 State Street.
- The project maintains a similar three-story façade with bay windows at 126 State Street, providing a complementary bookend to the landmark at 114 State Street.
- On the Carroll Street frontage, the proposed building replaces the existing non-compatible 1970s façade with materials and architectural rhythm to better align with the historic materials and building form of 114 State Street.
- The 4-story datum on the building creates a more harmonious interaction with the adjacent landmark building and the 4-story building at 100 State Street.

D. There are no negative impacts on viewsheds and other views and vistas identified on the Downtown Plan.

- The proposed building protects and enhances the State Street viewshed corridor by removing the existing non-conforming 6-story building at 122 State Street that

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does not comply with the State Street stepback requirement. The proposal would remove the building mass on the fifth and sixth floors of the existing building facing State Street.

- Additionally, the project would remove the existing elevated pedestrian walkway crossing Dayton Street, thereby creating a new viewshed of the Overture Center from Dayton Street that has never existed before and providing a unique and historic vantage point on the outer loop of the Capitol Square.
- The project team obtained a viewshed study which demonstrated no negative impacts on the viewsheds on State Street, Carroll Street or Dayton Street.

BUILDING HEIGHT DIAGRAM



METROSTUDIO
NEW ORLEANS
architecture planning interiors



The Dayton & Carroll Hotel Project
6.20.18

2. The Proposed Project and Amendment are Consistent with Adopted Plans.

The proposed project and the requested Height Map amendment are consistent with the Comprehensive Plan and the Downtown Plan as follows:

A. *The project supports the revitalization of this property as a mixed-use commercial site consistent with the Comprehensive Plan.*

- The project fits within the recommended land uses of the State Street Downtown Mixed-Use Sub-District. The project is mixed-use commercial hospitality space with dining and entertainment amenities, and contains usable open space through two outdoor terraces.

- The project reduces the height of the existing building on State Street to four stories to create a more pedestrian friendly scale along the street and to enhance the State Street viewshed corridor.
- The project will bring in thousands of new visitors annually encouraging additional commercial activity in the district including retail, service, restaurant and entertainment uses—a new vitality now lacking in the 100 block at the top of State Street and connecting Carroll Street with the Capitol Square.
- The project will improve the pedestrian experience on State Street by creating more pedestrian-friendly storefronts and will encourage retail demand through increased visitor traffic on State Street.

B. The project supports several goals of the Downtown Plan such as improving the State Street commercial district, expanding usable open space and improving views of the Capitol, University and Lake Mendota.

- The project will create a “vibrant, engaging downtown environment” on the 100 block by attracting new visitors interested in more experiential hospitality, which will support retail, service, entertainment and other businesses (Key 2).
- The project will “ensure a quality urban environment” by replacing an outdated, non-conforming building with a high-quality, pedestrian-friendly building that positively relates to the surrounding urban context (Key 3).
- The project will “maintain strong neighborhoods and districts” by revitalizing this block of State Street and creating more activity at the top of State Street to support other existing and future businesses (Key 4).
- The project is consistent with the policy goals of the downtown height limits, which “are not intended to promote the status quo, or unreasonably restrict redevelopment potential” (Recommendation 49) and “provide a flexible framework for building scale that encourages innovation and growth while reflecting the existing or planned character of the area” (Objective 3.3).
- The project would replace an existing out-of-context building to enhance the area with a building of higher-quality design (Recommendation 21).

3. The Unique Conditions of this Site Support a Planned Development District.

This site has a number of unique conditions that support additional height on this specific site:

- 122 State Street is one of only a few through-lot buildings on State Street that has multiple frontages on three major streets. While there are other through-lot buildings on State Street, the unique three-frontage condition distinguishes this site from other sites.
- 122 State Street is one of only a few buildings on State Street which currently violates the 4-story height and stepback requirements, and the only building on the first four blocks of State Street which currently violates those requirements. The project can offer something that nearly no other property on State Street can—the elimination of this non-conforming condition that intrudes into the State

Street view corridor. This project will bring the site into conformity with the 4-story height limitation on State Street, a significant and truly unique opportunity to improve the State Street view corridor.

- The irregular shape of the parcel creates unique challenges with designing efficient floor plates, requiring more mass and height to support the required minimum program.
- The project is also distinguishable because it removes the existing skywalk across Dayton Street, which interferes with the view approaching the Overture Center.

4. The Proposed Project Meets the Planned Development Standards.

The project satisfies the standards for approval of a zoning map amendment for a Planned Development District under MGO 28.098(2) as follows:

- A. *No other base zoning district can be used to achieve a substantially similar pattern of development.*** The existing Downtown Core district does not allow adequate height to support the redevelopment of this infill site that includes the enhancement of the pedestrian experience on State Street, Dayton Street and Carroll Street, the preservation of portions of 118 and 126 State Street, the creation of two terrace areas with usable open space, and the facilitation of a high-quality development consistent with the Downtown Plan.
- B. *The PD District plan facilitates the redevelopment goals of the Comprehensive Plan and the Downtown Plan.*** [See comments above.]
- C. *The PD District plan does not adversely affect the economic health of the City or the area of the City where the development is proposed.*** The redevelopment will be served by existing City utilities and will substantially improve the economic contribution of this site to the City by bringing hotel and restaurant guests to the downtown area. This project, with 130 rooms, can be financially sustainable with high quality construction materials and without use of TIF support. The project will generate additional property taxes and new room taxes that are not generated by the current buildings.
- D. *The PD District plan does not create traffic or parking demands disproportionate to the facilities and improvements designed to meet those demands.*** The proposed hotel would have a lower parking demand than the existing office use for the site. Off-site vehicle valet parking will be provided for hotel guests at existing downtown parking facilities with excess capacity. Arrival and departures can be accommodated without using travel lanes on either Carroll St. or Dayton St. The project team has prepared a detailed traffic study which concluded there are minimal impacts on the surrounding streets based on the proposed use.
- E. *The PD District plan coordinates architectural styles and building forms to achieve greater compatibility with surrounding land uses and create an environment of sustained aesthetic desirability compatible with the existing or intended character of the area and the statement of purpose of the PD District.*** The building architecture is compatible with the historic, pedestrian-scale nature of State Street and the taller scale of adjacent buildings on Dayton Street and Carroll Street. The

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building contributes to all three facades of this unique site through the use of differing heights, setbacks and building materials. The proposal will replace the existing non-conforming building with a structure that is more compatible with surrounding uses including materials, window openings, rhythm, height, depth and architecture.

- F. *The PD District plan includes open space suitable to the type and character of development proposed.*** As an urban, lifestyle hotel, the project includes two outdoor terrace areas that provide additional open space amenities to guests and visitors while maximizing the pedestrian experience at the street level.
- G. *The PD District includes suitable assurances that each phase could be completed in a manner that would not result in an adverse effect upon the community as a result of termination at that point.*** The project will be built in a single phase.

We look forward to working with you throughout the development process. Please contact us with any questions you may have.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jeffrey L. Vercauteren', with a stylized, cursive script.

Jeffrey L. Vercauteren



June 20, 2018

Plan Commission
Urban Design Commission
City of Madison
126 South Hamilton Street
Madison, WI 53703

Re: Proposed Hotel Development – 118-126 State Street

Dear Commission Members:

On behalf of 122 State Street Group LLC, I am pleased to submit the enclosed application for a proposed building consisting of approximately 130 hotel guest rooms at 118-126 State Street. The proposal includes a request to redevelop the existing buildings at 122 and 124 State Street, to redevelop a portion of the buildings at 118 and 126 State Street, and for a zoning map amendment to rezone the properties from the Downtown Core (DC) District to the Planned Development (PD) District. The Urban Design Commission previously reviewed a prior version of this proposal on March 22, 2017, November 8, 2017, and May 23, 2018.

Project Updates

Since our previous submission we have updated the building design to address Commission comments on the prior proposal:

- The State Street façade has been revised to reduce the amount of volumetric variation. The building now reads as a consistent, singular four-story limestone façade between 118 and 126 State Street.
- The proposed building mass above the retained historic buildings at 118 and 126 State Street has been stepped back an additional 15 feet to allow each building to stand with autonomy. This also provides a more sensitive relationship with the adjacent landmark building at 114 State Street.
- On the Dayton and Carroll Street sides, the material selection above the four-story limestone base has been changed to a lighter, glass form. This provides a meaningful contrast of materials and improves what was a more heavy, monolithic limestone scheme on the prior design iteration.

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- Transoms above the storefronts have been re-inserted into the design to better integrate with the prevailing conditions nearby.
- The building height on the Dayton and Carroll Street sides has been further reduced. The elevation of the 8th floor cornice, at 95 feet, sits just 7 feet above the 88 feet of height allowable under existing zoning. The top of the 9th floor rooftop lounge, which is stepped back from the edge of the building, is at a height of 107 feet.

Project Summary

The proposal would redevelop the existing buildings at 122 and 124 State Street and portions of the existing buildings at 118 and 126 State Street. The new building would incorporate the façades and portions of the existing structures at 118 and 126 State Street and would include four stories facing State Street with a rooftop terrace above the fourth floor, and eight stories facing West Dayton Street and North Carroll Street with a stepped back ninth story rooftop terrace area. The primary hotel entrance would be located on North Carroll Street, with passenger and delivery loading areas on North Carroll Street, and the primary restaurant entrance would be on State Street. The hotel, restaurant and bar would be permitted uses in the proposed Planned Development zoning district.

Project Objectives and Benefits

The Project will benefit the City of Madison in the following ways:

- Improve the quality of architecture, site design and urban design on State Street, West Dayton Street and North Carroll Street by replacing deteriorating commercial buildings with a high-quality, durable and attractive building that activates the pedestrian experience on all three street frontages.
- Restore the State Street viewshed corridor by replacing the existing 6-story building that does not comply with the 30-foot setback requirement with a building that complies with the setback requirement with a 4-story façade on State Street.
- Retain the historic façades and portions of 118 and 126 State Street to keep the scale of the block intact and to anchor the new building in a way that is sensitive to the adjacent landmark at 114 State Street.
- Activate the 100 Block of North Carroll Street and the top of State Street by increasing pedestrian activity and providing a primary entrance on North Carroll Street, including a pick-up and drop-off area staffed by hotel employees throughout the day and night.
- Remove the existing skywalk to improve visibility of the Overture Center and to enhance the Dayton Street pedestrian experience.

- Increase commercial activity on the 100 Block of State Street by attracting hotel and restaurant guests to the downtown area, directly benefitting State Street retailers through consumer spending from hotel guests.

Existing Site Conditions

The existing site is located at 118 State Street (PIN 0709-1442-6064), 122 State Street (PIN 0709-1442-6056), and 124-126 State Street (PIN 0709-144-2610-5) constituting 0.30 acres (12,929 sq. ft.) fronting on State Street, West Dayton Street and North Carroll Street. 122 State Street Group LLC owns the property located at 122 State Street and has an option to purchase the property located at 118 State Street, which is currently owned by 118 LLC. An affiliated entity, AH 126 State LLC, owns 124-126 State Street.

The site is bounded by a commercial building containing Michelangelo's Coffee House to the east, State Street to the south, a commercial building containing Capitol Corn Popper to the west, and West Dayton Street and North Carroll Street to the north. The site is part of the Downtown Core (DC) District. The site currently contains four commercial buildings.

Access to the site is provided directly from the City right-of-way on State Street, West Dayton Street and North Carroll Street. A Madison Metro bus stop for lines 2, 3, 4, 6, 7, 8, 11, 12, 14, 15, 29, 37, 47, 56, 57, 58, 70, 71 and 72 is located within walking distance of the property on State Street. Two Madison BCycle stations are located within walking distance of the property on North Carroll Street and West Mifflin Street.

Compliance with Downtown Design Guidelines

The Project complies with the Downtown Design Guidelines as follows:

- **Building Orientation:** The building addresses the scale of the street and the design integrates all entrances and services to support the surrounding context. The street level fenestration promotes interaction between pedestrians and occupants and allows for additional site furniture, outdoor dining and landscaping. Entrances on Carroll and Dayton create a strong corner presence at the intersection.
- **Access and Site Circulation:** Traffic patterns and existing parallel parking have been maintained on West Dayton Street. The proposed drop off/entry point is located on North Carroll Street, which is not a through street. The hotel will be served by valet parking at existing off-site parking structures. The hotel will also be served by on-site valet bike parking.
- **Traffic Study:** A traffic study for the project modeled existing and projected site conditions, trip generation, travel and parking demand, valet service, public transit options, motor vehicle traffic volumes, and pedestrian and bicycle access. Simulating the anticipated demands for the proposed project, the report indicated "negligible impacts on the existing intersection and manageable vehicle storage needs for the valet service."

Furthermore, the traffic study indicates that the proposed project will reduce vehicle parking demand at the site compared to the current condition.

- **Landscaping:** The project will preserve existing mature canopy trees on State Street and will include new plantings and landscaping on North Carroll Street. The project will include landscaped roof terraces on the fifth and ninth floors.
- **Massing:** The building does not obstruct any views of the Capitol or the lakes in any of the designated view corridors. The building uses stepbacks on State Street to create a sense of scale consistent with the context of the block and minimize shadow effects. The façade of the building is composed of materials that represent a human scale consistent with the pedestrian friendly neighborhood. The existing building on State Street has 6 stories of frontage while the proposed building reduces the State Street exposure to only 4 stories in accordance with the current Downtown Plan. The proposed building also respects the adjacent landmark at 114 State Street by changing material to a glass façade above the four-story limestone base on Carroll Street.
- **Building Components:** In addition to creating usable outdoor space, the rooftop area screens the mechanical equipment from nearby buildings and integrates the elevator penthouses in a complimentary manner. The base of the building introduces a new restaurant space which will connect to State Street with operable glass doors and windows. The scale of the materials and openings at the street elevations is intended to match the scale of the adjacent buildings so that the rhythm of the street is preserved.
- **Building Materials:** The architectural design of the building emphasizes the use of limestone masonry at the four-story base and distinctive glass façade above.. The richness of these natural elements creates a palette that will be of consistent quality with the historic buildings in the area. The palette of materials has been distilled down to consistent selections which are used on all sides of the building.
- **Visual Interest/Door and Window Openings:** The building is designed with a 4-story limestone base and a contrasting glass façade above, which breaks down the massing. The design reads as an 8-story building with a cornice at the top. The stepped-back 9th floor is not part of the traditional building form, and is instead a different material palette of zinc paneling and glass. The cadence of the windows and framing on State Street reflect similar proportions to the existing fabric of the street. Guestroom windows are contained within the perimeter of the building creating relief from the façade and punctuation vertically on the building.
- **Awnings, Canopies and Signage:** All projections from the building have been designed to be compatible with the building architecture and prioritize their form and function equally. Proposed projections are integrated into the exterior design and do not obstruct any architectural details.

Project Data

<u>Location:</u>	118-126 State Street
<u>Start Construction:</u>	Approximately first quarter 2019
<u>Complete Construction:</u>	Approximately third quarter 2020
<u>Type of Building:</u>	Commercial
<u>Land Area:</u>	0.30 acres (12,929 sq. ft.)
<u>Site Access:</u>	State Street, West Dayton Street, North Carroll Street

Project Financial Information

Value of Land: The land at 118 State Street is currently assessed at \$182,000 and improvements at \$989,000 for a total assessed value of \$1,171,000. The land at 122 State Street is currently assessed at \$339,000 and improvements at \$1,959,000 for a total assessed value of \$2,298,000. The land at 124-126 State Street is currently assessed at \$136,000 and improvements at \$904,000 for a total assessed value of \$1,040,000. The total combined assessed value for the properties is \$5,055,000.

Estimated Project Cost: \$40,000,000

Number of Jobs: 95 construction jobs and 70 full-time equivalent jobs.

Public Subsidy Requested: None.

Project Team

Owner:
122 State Street Group LLC
2001 W. Beltline Hwy., Suite 200
Madison, WI 53713
Contact: Eric Nordeen and Matt Prescott

Architects:
MetroStudio/KKAD
6501 Spanish Fort Blvd.
New Orleans, LA 70124
Contact: Ken Gowland

52 Main Street, Suite 3
Chester, NJ 07930
Contact: Kraig Kalashian

We look forward to presenting these materials to you for your review of this proposal to revitalize and enhance this site.

Sincerely,

A handwritten signature in blue ink, appearing to read "Eric Nordeen", with a long horizontal flourish extending to the right.

Eric Nordeen
122 State Street Group LLC

DAYTON/CARROLL CORNER PERSPECTIVE



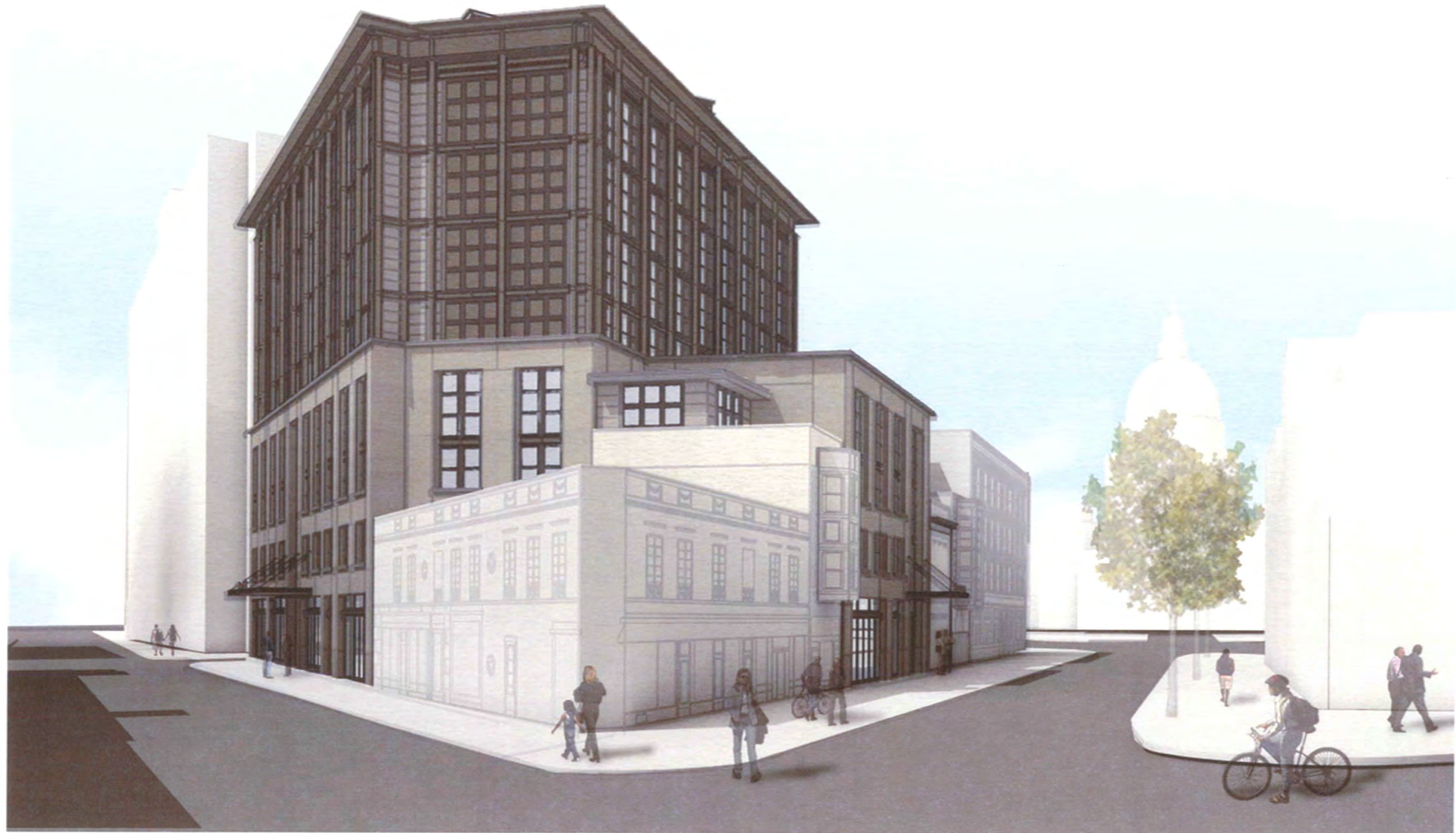
CARROLL STREET PERSPECTIVE



STATE STREET WEST-FACING PERSPECTIVE

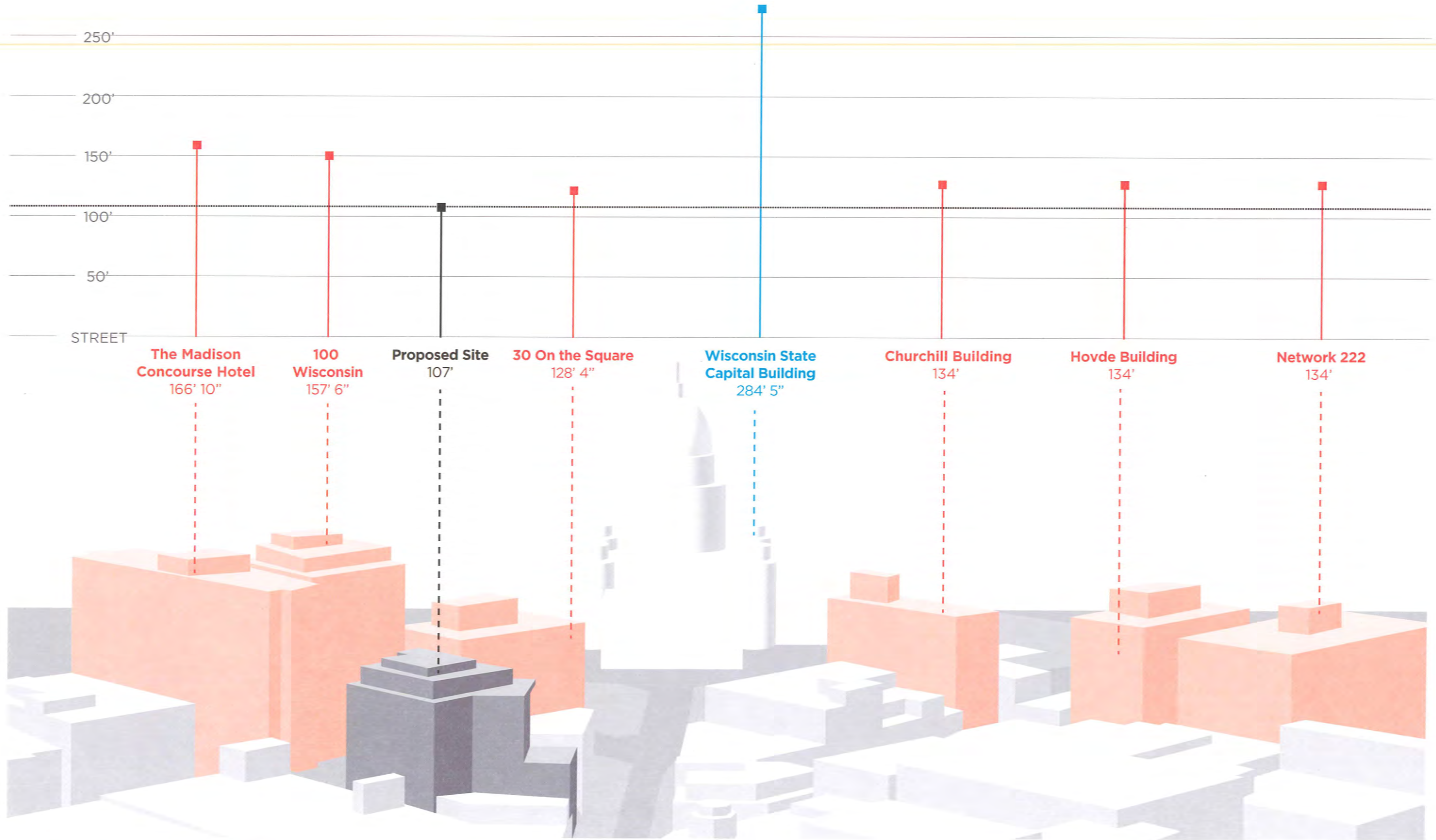


STATE STREET EAST-FACING PERSPECTIVE



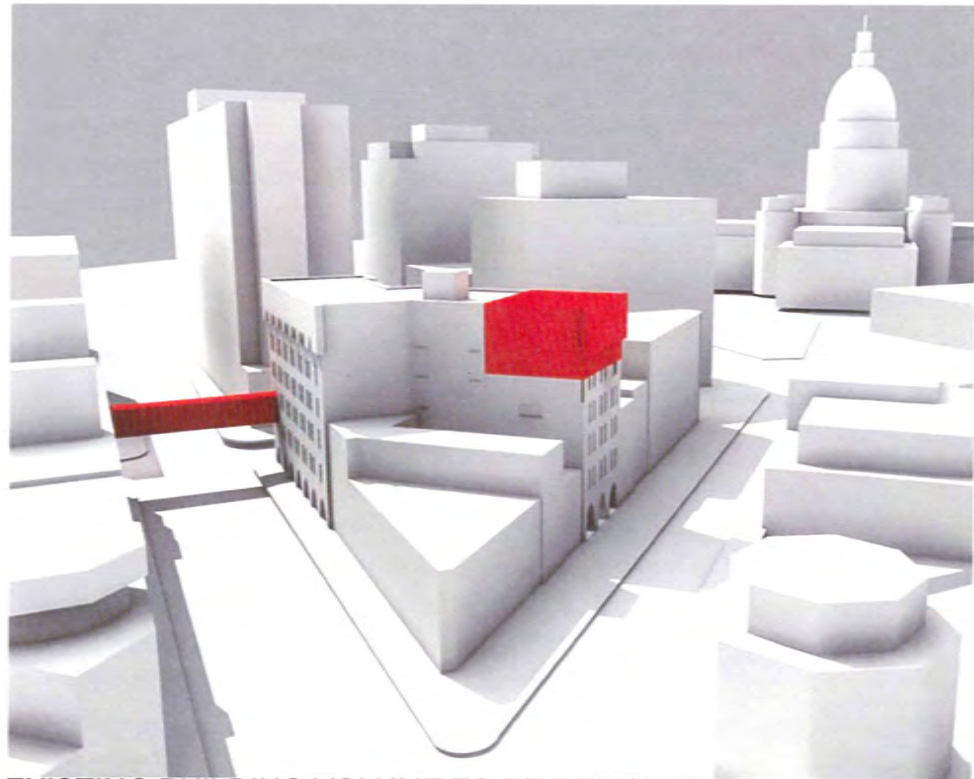
DAYTON STREET PERSPECTIVE



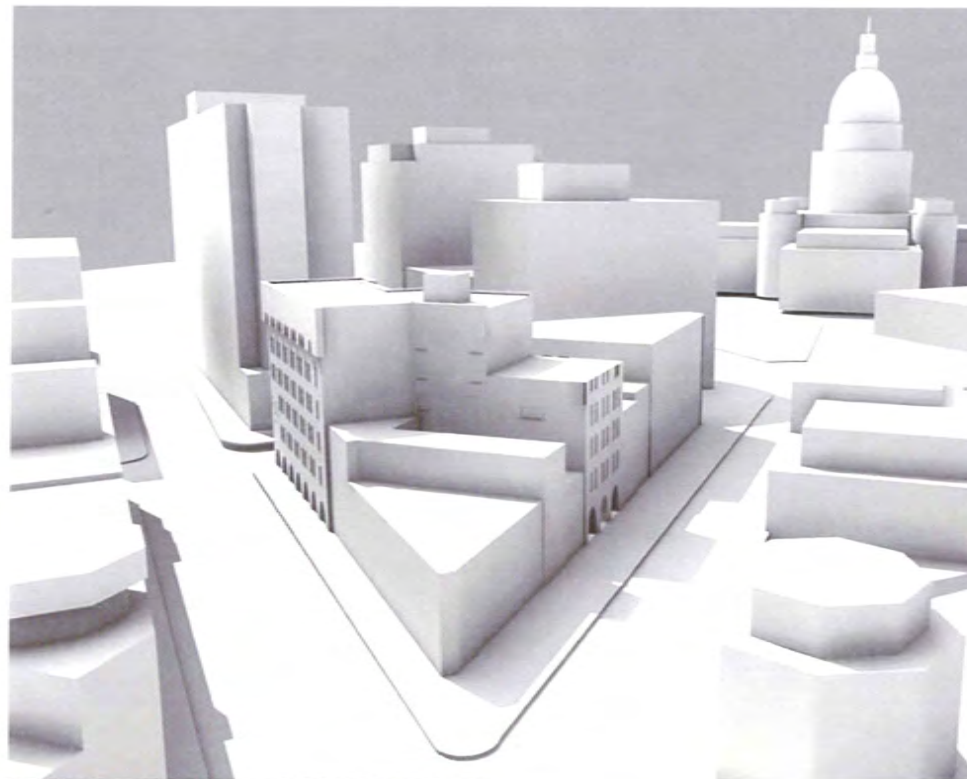


BUILDING HEIGHT DIAGRAM





EXISTING BUILDING VOLUME TO BE REMOVED



RESULTANT BUILDING VOLUME

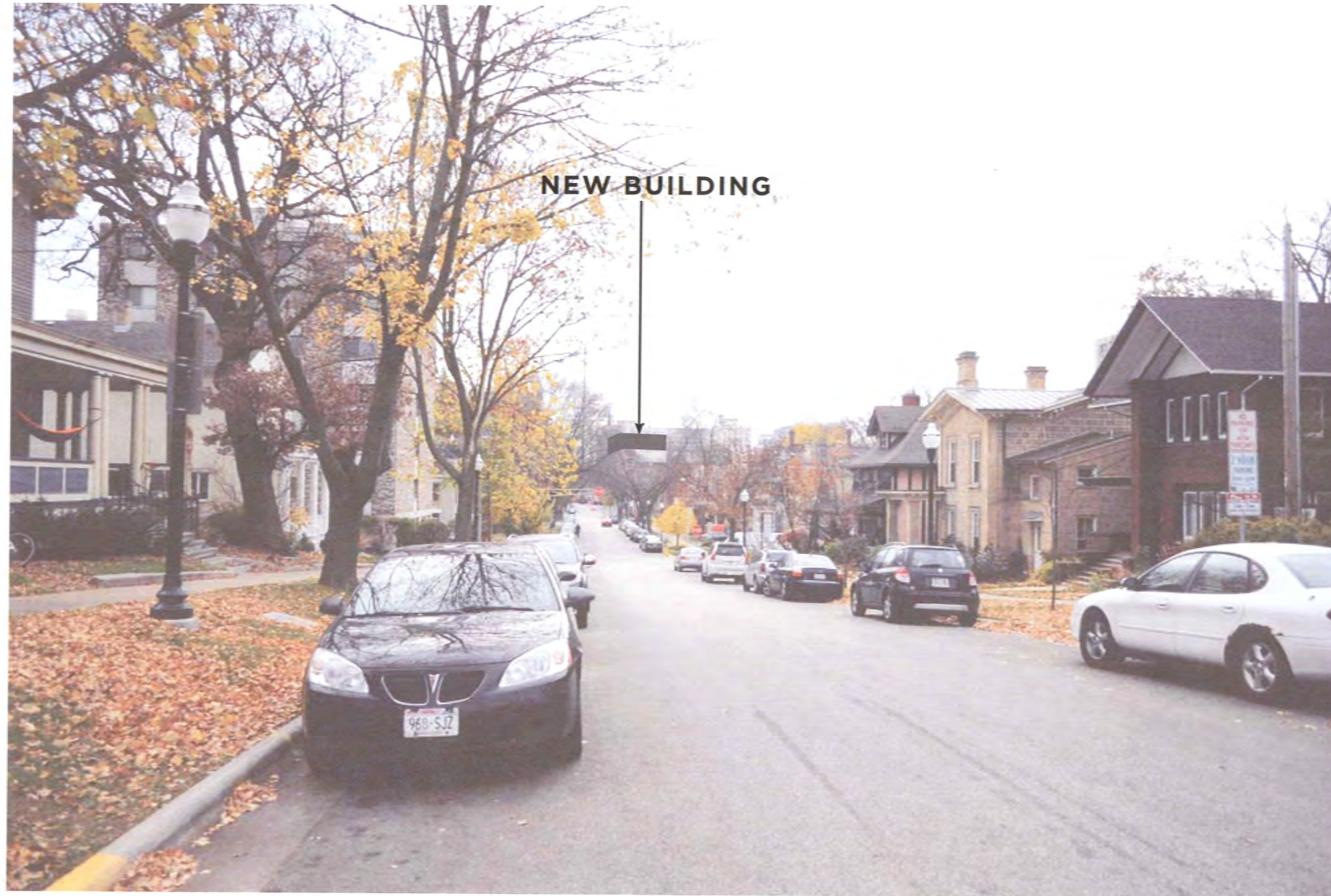


PROPOSED NEW BUILDING

VIEW FROM BASCOM HILL LOOKING EAST TOWARD SITE



VIEW FROM LANGDON & CARROLL LOOKING SOUTHEAST TOWARD SITE

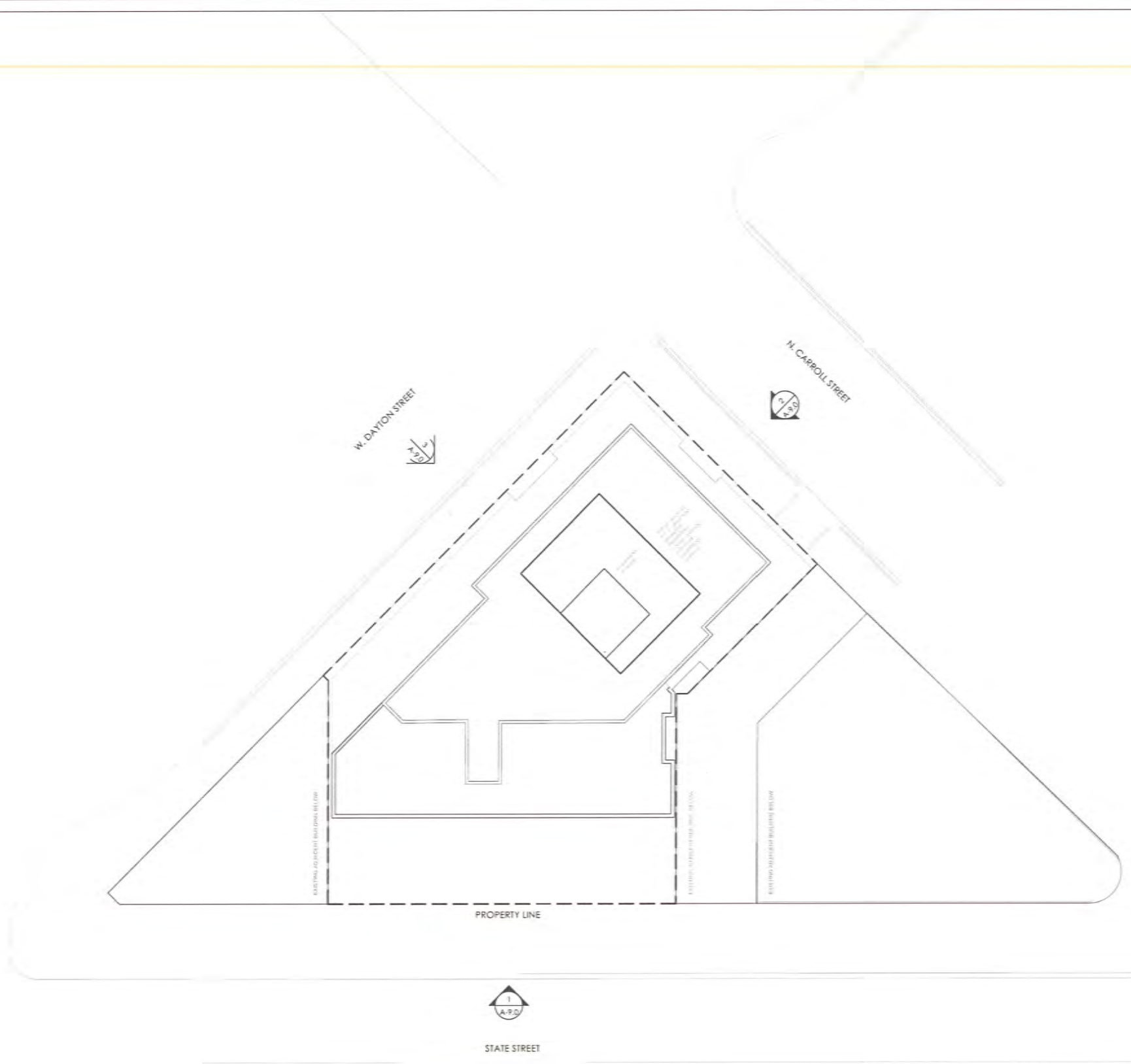


VIEW FROM STATE & JOHNSON LOOKING EAST TOWARD SITE



VIEW FROM WEST WASHINGTON & CARROLL LOOKING NORTHWEST TOWARD SITE





LAND USE SUMMARY

TOTAL PARCEL AREA	9,835 S.F.	0.23 ACRES
RIGHT-OF-WAY PAVED AREA	4,995 S.F.	0.11 ACRES
RIGHT-OF-WAY LANDSCAPED AREA	0 S.F.	0.00 ACRES
TOTAL SITE AREA	14,830 S.F.	0.34 ACRES

BUILDING SUMMARY

BASEMENT	13,125 S.F.
FIRST FLOOR/ LOBBY	13,125 S.F.
2ND FLOOR	12,989 S.F.
3RD FLOOR	12,989 S.F.
4TH FLOOR	12,579 S.F.
5TH FLOOR	10,131 S.F.
6TH FLOOR	10,131 S.F.
7TH FLOOR	10,131 S.F.
8TH FLOOR	10,131 S.F.
BAR/ LOUNGE/ TERRACE	10,057 S.F.
ROOF/ MECH	5,216 S.F.
GROSS BUILDING	106,388 S.F.
OVERALL BUILDING SITE	13,237 S.F.
LOT COVERAGE	99%
USABLE OPEN SPACE	0 S.F.
LANDSCAPE AREA	0 S.F.
PAVED AREA	0 S.F.
TOTAL ROOM NUMBER	133

UNIT SIZE BREAKDOWN BY BEADROOM = SEE ARCHITECTURAL PLANS
 NUMBER AND SIZE OF TENANT UNIT = SEE ARCHITECTURAL PLANS

122 STATE ST.
 NEW HOTEL AND RESTAURANT
 122 STATE ST.
 MADISON, WI. 53703



CONSULTANTS:

1	ISSUED FOR PLANNING	06/20/18
#	REVISION / ISSUE	DATE

SEAL

THESE DOCUMENTS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION, AND THEY COMPLY WITH ALL CITY REQUIREMENTS

SHEET TITLE:
 ARCHITECTURAL SITE PLAN

PROJECT # 18PH
A-2.1
 1/16" = 1'-0"





122 STATE ST.
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 122 STATE ST.
 MADISON, WI. 53703



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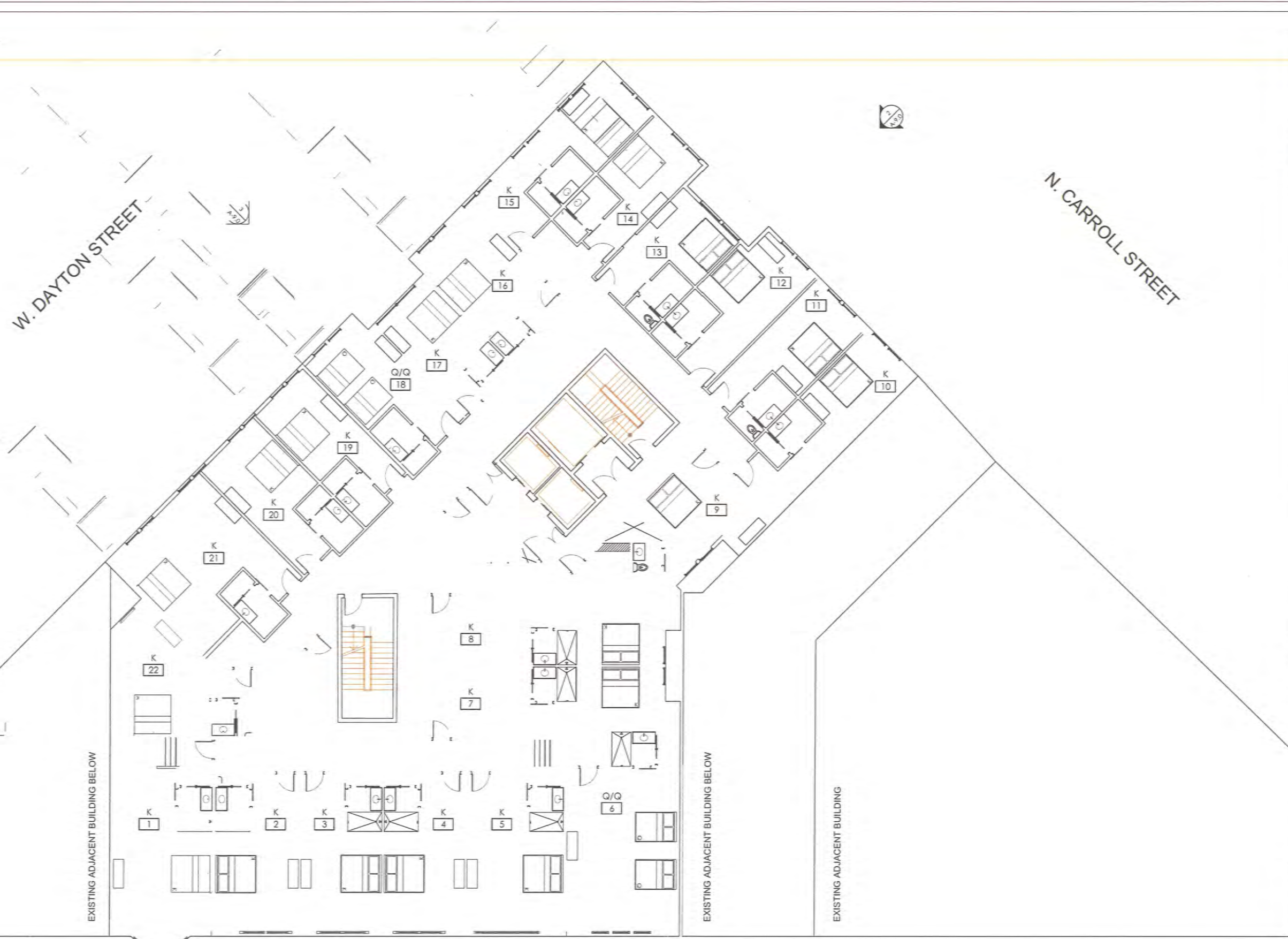
THESE DOCUMENTS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THEY COMPLY WITH ALL CITY REQUIREMENTS

SHEET TITLE:
 FIRST FLOOR CONSTRUCTION PLAN

PROJECT # 18P
A-2.1
 1/8" = 1'-0"

W. DAYTON STREET

N. CARROLL STREET



122 STATE ST.
 NEW HOTEL AND RESTAURANT
 122 STATE ST.
 MADISON, WI. 53703

KKAD METROSTUDIO

CONSULTANTS:

#	REVISION / ISSUE	DATE
1	ISSUED FOR PLANNING	06/20/18

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SHEET TITLE:

SECOND & THIRD FLOOR CONSTRUCTION PLAN

PROJECT # 1811

A-2.2

1/8" = 1'-0"



W. DAYTON STREET

N. CARROLL STREET

EXISTING ADJACENT BUILDING BELOW

EXISTING ADJACENT BUILDING

EXISTING ADJACENT BUILDING

122 STATE ST.
NEW HOTEL AND RESTAURANT
122 STATE ST.
MADISON, WI. 53703

KKAD METROSTUDIO

CONSULTANTS

#	REVISION / ISSUE	DATE
1	ISSUED FOR PLANNING	06/20/18

SEAL

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SHEET TITLE:

FOURTH FLOOR CONSTRUCTION PLAN

PROJECT #:

A-2.3

1/8" = 1'-0"



122 STATE ST.

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122 STATE ST.
MADISON, WI. 53703



CONSULTANTS

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1	ISSUED FOR PLANNING	06/20/18

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SHEET TITLE:

5TH FLOOR CONSTRUCTION PLAN

PROJECT #:

A-2.4

1/8" = 1'-0"



122 STATE ST.

NEW HOTEL AND RESTAURANT

122 STATE ST.
MADISON, WI. 53703



CONSULTANTS:

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#	REVISION / ISSUE	DATE

SEAL

THESE DOCUMENTS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION, AND THEY COMPLY WITH ALL CITY REQUIREMENTS

SHEET TITLE:

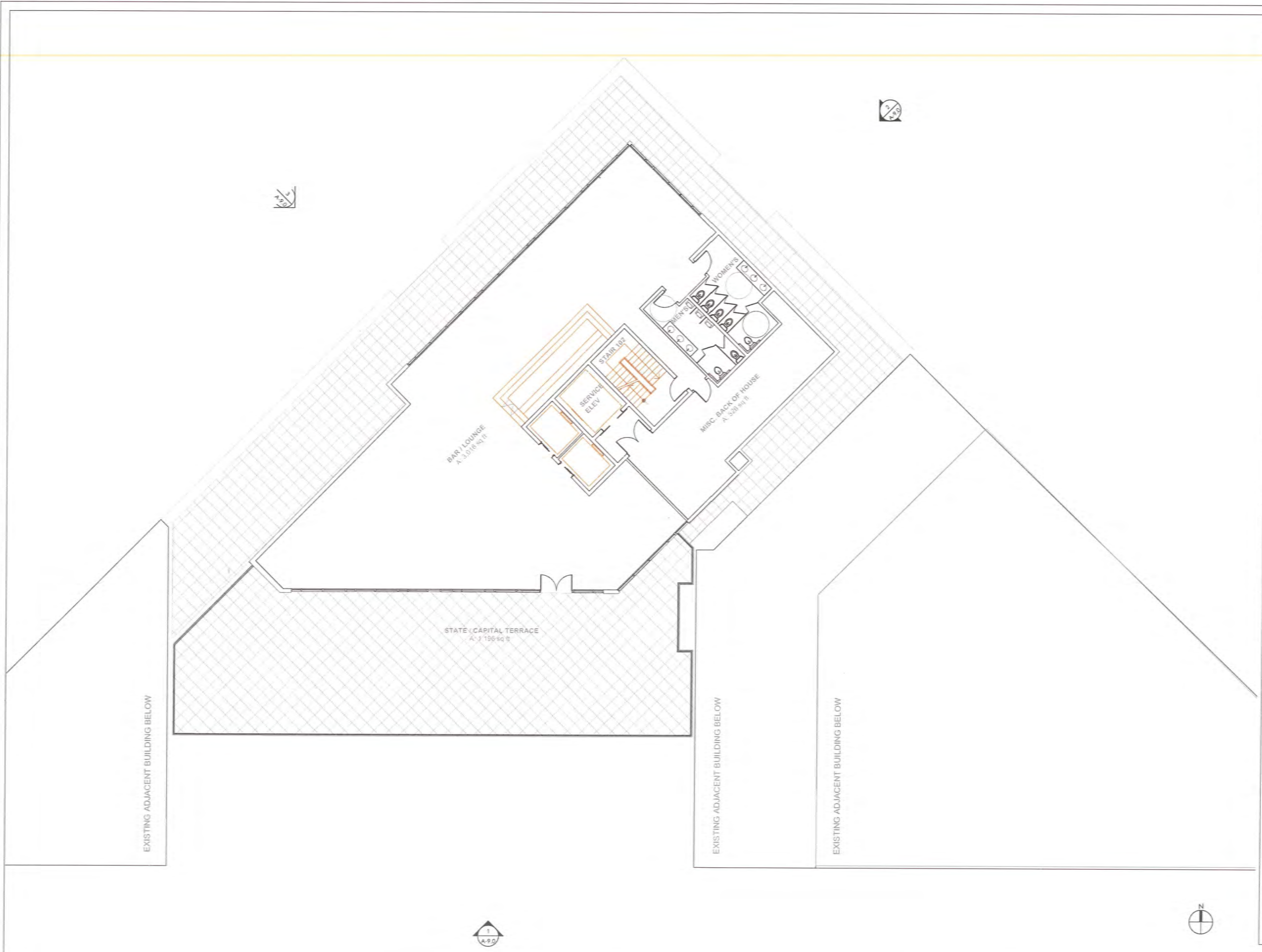
SIXTH EIGHTH FLOOR CONSTRUCTION PLAN

PROJECT # / PH:

A-2.5

1/8" = 1'-0"





122 STATE ST.
 NEW HOTEL AND RESTAURANT
 122 STATE ST.
 MADISON, WI. 53703



CONSULTANTS:

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#	REVISION / ISSUE	DATE

SEAL

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SHEET TITLE:
 NINTH FLOOR CONSTRUCTION PLAN

PROJECT # #P#
A-2.6
 1/8" = 1'-0"

EXISTING ADJACENT BUILDING BELOW

EXISTING ADJACENT BUILDING BELOW

EXISTING ADJACENT BUILDING BELOW

BAR / LOUNGE
 A-3,016 sq ft

MISC. BACK OF HOUSE
 A-3,500 sq ft

STATE / CAPITAL TERRACE
 A-2,196 sq ft

SERVICE ELEV

STAIR 102

MEN'S

WOMEN'S

UNISEX



122 STATE ST.
NEW HOTEL AND RESTAURANT
122 STATE ST.
MADISON, WI. 53703



CONSULTANTS:

#	REVISION / ISSUE	DATE
1	ISSUED FOR PLANNING	06/20/18

SEAL

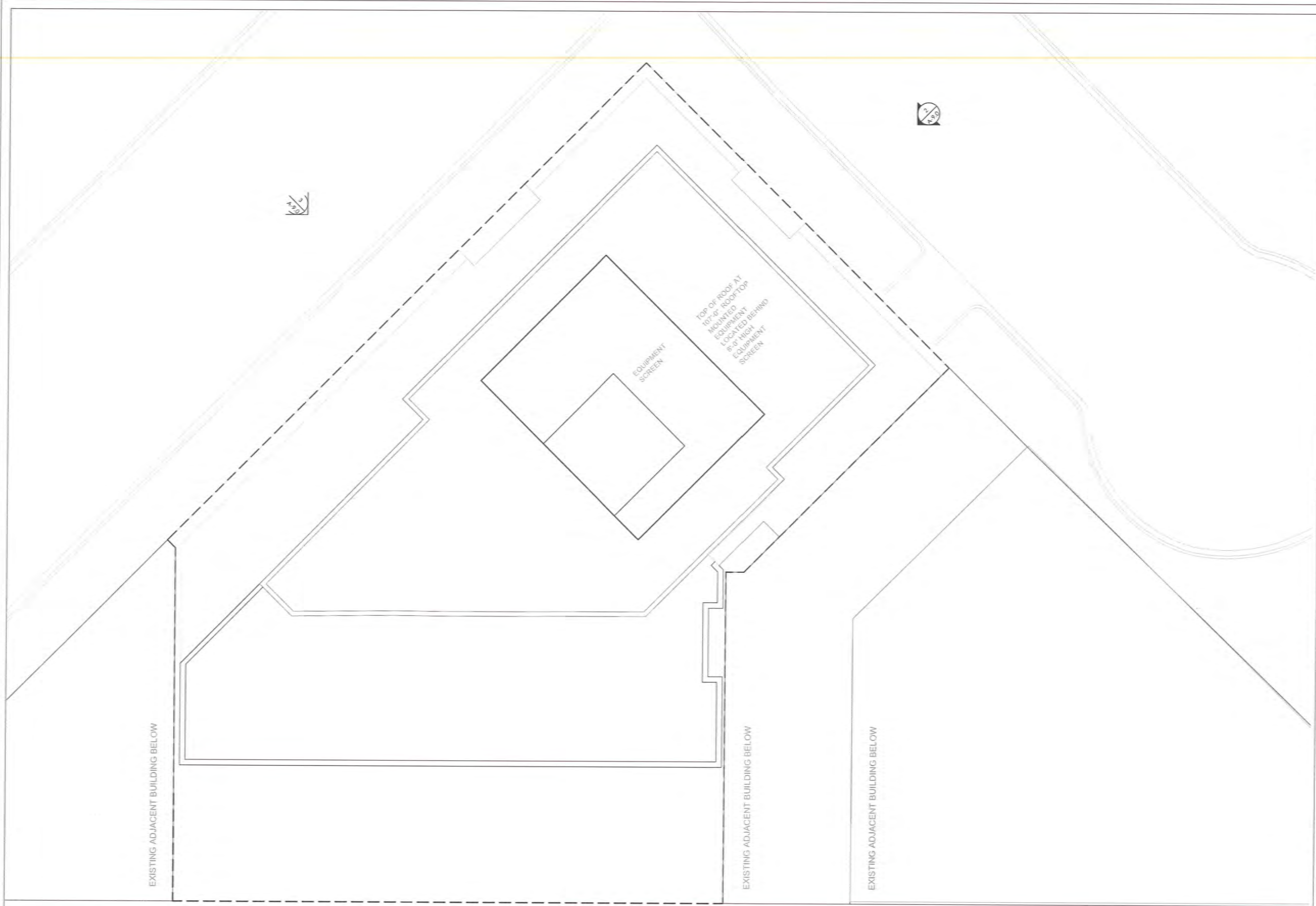
THESE DOCUMENTS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION, AND THEY COMPLY WITH ALL CITY REQUIREMENTS

SHEET TITLE:

ROOF PLAN

PROJECT # / P#: A-2.7

1/8" = 1'-0"



EXISTING ADJACENT BUILDING BELOW

EXISTING ADJACENT BUILDING BELOW

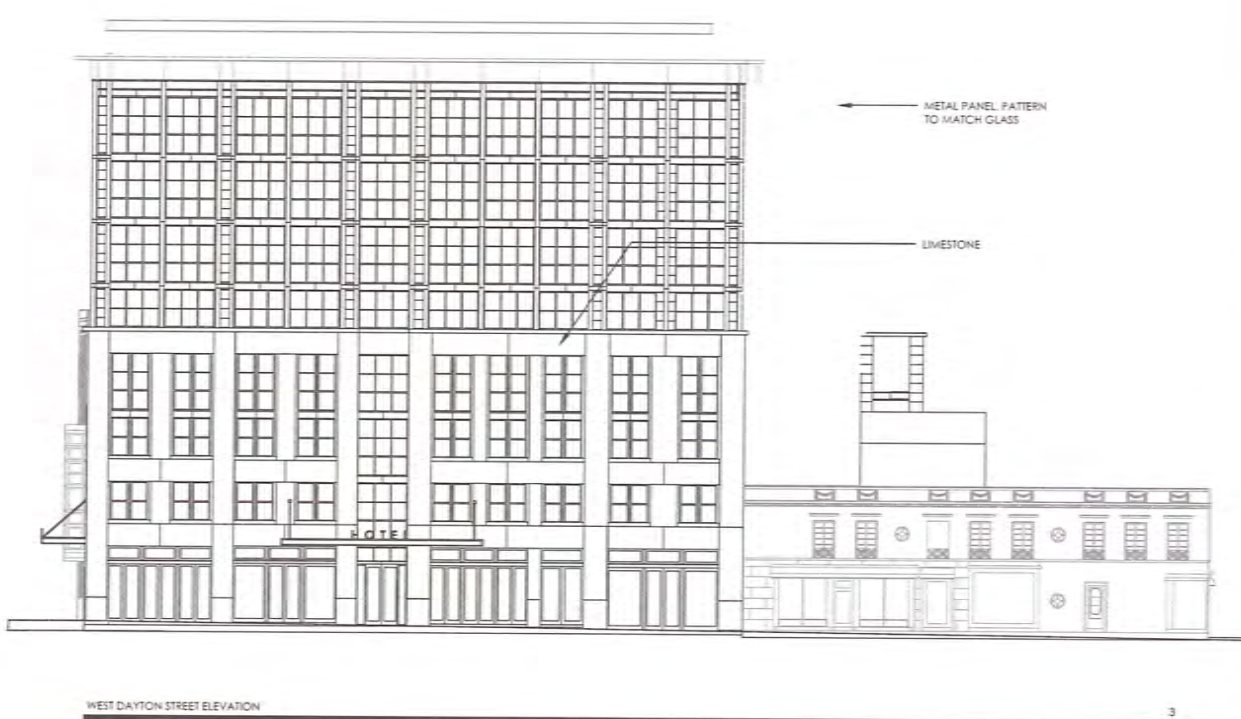
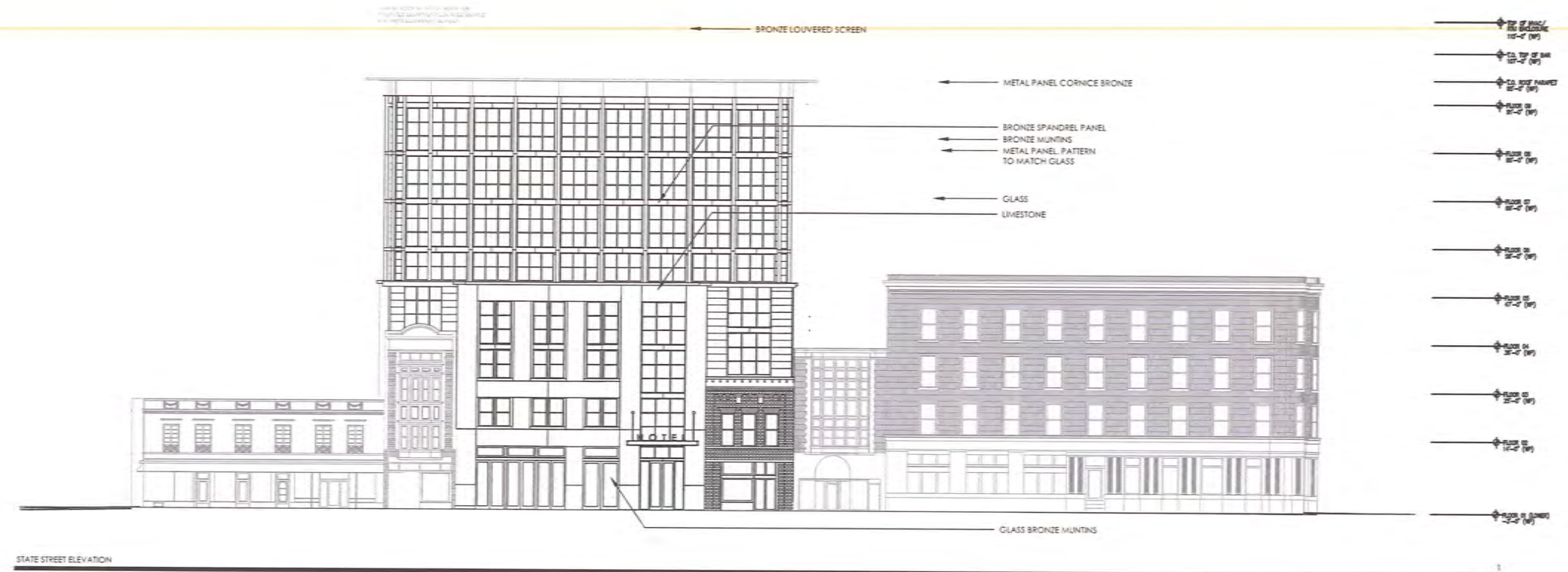
EXISTING ADJACENT BUILDING BELOW

EQUIPMENT SCREEN

TOP OF ROOF AT 107'-0" ROOFTOP EQUIPMENT LOCATED BEHIND 8'-0" HIGH EQUIPMENT SCREEN



122 STATE ST. NEW HOTEL AND RESTAURANT
 122 STATE ST. MADISON, WI 53703



122 STATE ST.
 NEW HOTEL AND RESTAURANT
 122 STATE ST.
 MADISON, WI 53703



CONSULTANTS:

1	ISSUED FOR PLANNING	06/20/18
#	REVISION / ISSUE	DATE

1	ISSUED FOR PLANNING	06/20/18
#	REVISION / ISSUE	DATE

SEAL

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SHEET TITLE:
 EXTERIOR ELEVATIONS

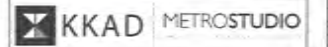
PROJECT # 9th
A-9.0
 1/16" = 1'-0"

GENERAL NOTES

1. THE BASE SURVEY WAS PREPARED BY BIRRENKOTT SURVEYING INC. ON OCTOBER 21, 2015. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EXACT LOCATION OF ALL UNDERGROUND UTILITIES.
2. VERTICAL DATUM IS BASED ON XXXX.
3. BENCHMARKS
1.
2.
4. CONTRACTOR SHALL VERIFY LOCATION OF WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WORK.

122 STATE ST.
NEW HOTEL AND RESTAURANT

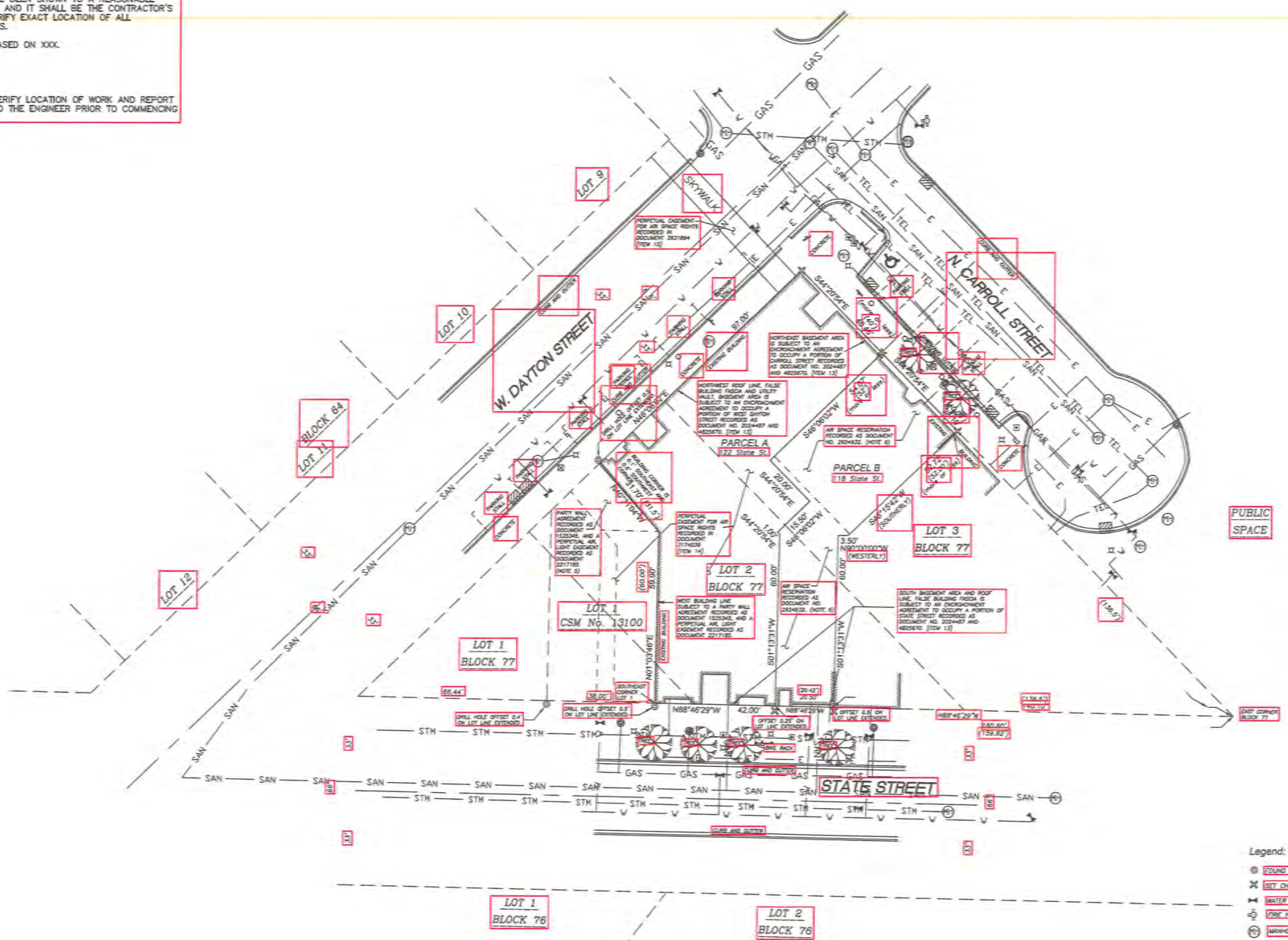
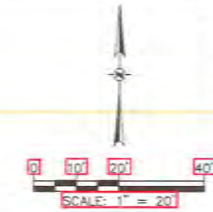
122 STATE ST.
MADISON, WI 53703



CONSULTANTS:

STRUCTURAL/CIVIL ENGINEER:
GRAEF
5126 W. TERRACE DRIVE
MADISON, WI 53718
P. 604.242.1550

MEP ENGINEER:
CDA
46 RIVERSIDE AVE.
WESTPORT, CT 06880
P. 203.299.0250



- Legend:**
- ⊗ FOUND DRILL HOLE IN CONCRETE
 - ⊗ SET CHISELED 'X' IN CONCRETE
 - ⊗ WATER SHUTOFF
 - ⊗ FIRE HYDRANT
 - ⊗ MANHOLE (SAN, STORM, WGBT)
 - ⊗ CURB INLET
 - ⊗ LIGHT POLE
 - ⊗ PARKING STALL / SIGN
 - ⊗ TRAFFIC SIGN
 - ⊗ PARKING METER
 - ⊗ FLUSH BOX
 - ⊗ GAS VALVE
 - ⊗ HANDICAP PARKING STALL
 - EASEMENT LINE
 - SAN --- SANITARY SEWER
 - STH --- STORM SEWER
 - W --- WATER MAIN
 - E --- BURIED ELECTRICAL
 - TEL --- BURIED TELEPHONE
 - TV --- BURIED TELEVISION
 - GAS --- BURIED GAS

NOTICE:
In accordance with Wisconsin statute 182.0170, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

DISCLAIMER:
The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

1	LANDUSE APPLICATION	08.05.2017
#	REVISION / ISSUE	DATE

SEAL

THESE DOCUMENTS HAVE BEEN PREPARED BY US OR UNDER MY CLOSE PERSONAL SUPERVISION AND THEY COMPLY WITH ALL CITY REQUIREMENTS

SHEET TITLE:
EXISTING CONDITIONS PLAN

PROJECT # 4PH
C100

GENERAL NOTES

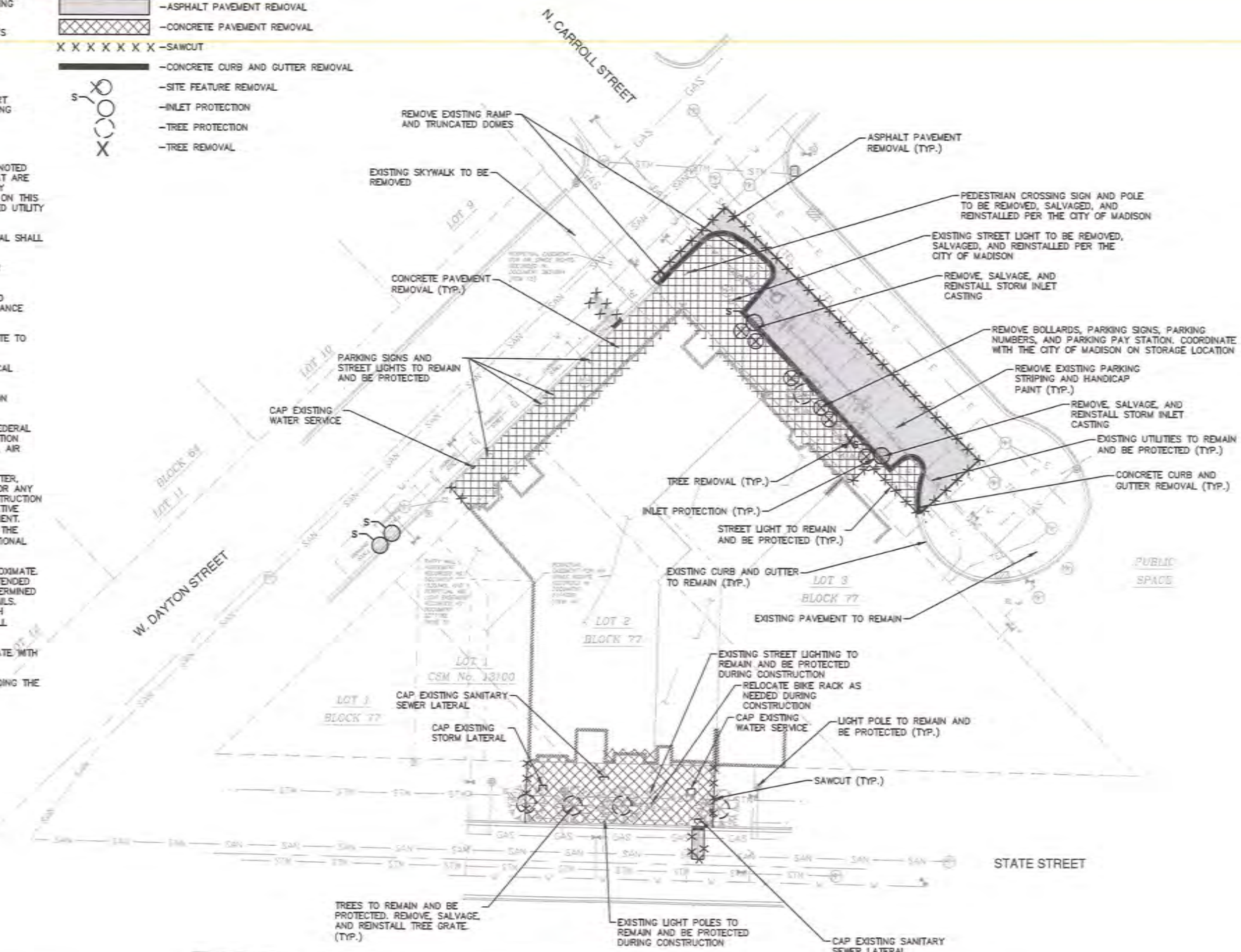
1. THE BASE SURVEY WAS PREPARED BY BIRRENKOTT SURVEYING INC. ON OCTOBER 21, 2015. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THERETO.
2. REFER TO SHEET C100 FOR BENCHMARKS, DATUM, AND TOPOGRAPHIC ELEMENTS.
3. CONTRACTOR SHALL VERIFY LOCATION OF WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WORK.

REMOVAL NOTES

1. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LINES NOTED FOR ABANDONMENT OR REMOVAL. EXISTING UTILITIES THAT ARE TO BE ABANDONED OR REMOVED SHALL BE RESPECTIVELY ABANDONED OR REMOVED TO THE LOCATIONS INDICATED ON THIS PLAN. ALL UTILITY STRUCTURES LOCATED ALONG REMOVED UTILITY LINES SHALL BE REMOVED IN THEIR ENTIRETY.
2. ASPHALT AND CONCRETE PAVEMENT NOTED FOR REMOVAL SHALL BE SAW CUT TO FULL DEPTH PRIOR TO REMOVAL.
3. CONCRETE CURB AND GUTTER AND SIDEWALK NOTED FOR REMOVAL SHALL BE REMOVED AT THE NEAREST JOINT.
4. ITEMS SCHEDULED FOR REMOVAL AND EXCESS EXCAVATED MATERIALS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ANY APPLICABLE REGULATIONS.
5. CONTRACTOR IS RESPONSIBLE FOR SECURING THE JOB SITE TO PROTECT THE PUBLIC.
6. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH LOCAL ORDINANCES FOR DUST CONTROL.
7. UTILITIES SHALL BE REMOVED TO LOCATIONS INDICATED ON PLANS.
8. CONTRACTOR SHALL COMPLY WITH LOCAL, STATE, AND FEDERAL CODES, RULES AND REGULATIONS APPLICABLE TO DEMOLITION WORK INCLUDING BUT NOT LIMITED TO EROSION CONTROL, AIR POLLUTION, NOISE POLLUTION, AND WASTE DISPOSAL.
9. CONTRACTOR SHALL REPLACE PAVEMENT, CURB AND GUTTER, TREES, LAWN AREA, ANY ABOVE GROUND APPURTENANCES, OR ANY OTHER ITEM THAT WAS DAMAGED AS A RESULT OF CONSTRUCTION RELATED ACTIVITIES AS DEEMED BY OWNER'S REPRESENTATIVE THAT WAS NOT CALLED OUT FOR REMOVAL OR REPLACEMENT. CONTRACTOR SHALL REPLACE/REPAIR DAMAGED ITEM TO THE SATISFACTION OF OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
10. TREE PROTECTION FENCING LOCATIONS SHOWN ARE APPROXIMATE. ALL EXISTING TREES OUTSIDE OF PROJECT LIMITS ARE INTENDED TO REMAIN. FINAL LOCATIONS OF FENCING SHALL BE DETERMINED IN THE FIELD AND AS IDENTIFIED ON CONSTRUCTION DETAILS. ADDITIONAL FENCING MAY BE REQUIRED. COORDINATE WITH OWNER'S REPRESENTATIVE. TREE PROTECTION FENCE SHALL REMAIN IN PLACE THROUGHOUT CONSTRUCTION.
11. REMOVE ALL PLANTER POTS AND TRASH CANS. COORDINATE WITH THE CITY OF MADISON ON FINAL LOCATION.
12. CONTRACTOR SHALL FILL ALL EXISTING VAULTS SURROUNDING THE BUILDING THAT ARE TO BE ABANDONED.

LEGEND

- ASPHALT PAVEMENT REMOVAL
- CONCRETE PAVEMENT REMOVAL
- SAWCUT
- CONCRETE CURB AND GUTTER REMOVAL
- SITE FEATURE REMOVAL
- INLET PROTECTION
- TREE PROTECTION
- TREE REMOVAL



EROSION CONTROL NOTES

1. CONSTRUCTION SITE EROSION CONTROL AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF MADISON, AND SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) "CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS".
2. ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE, BUT NO LESS THAN ONCE EVERY WEEK. MAINTENANCE OF ALL EROSION CONTROL STRUCTURES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. REPAIRS AND MAINTENANCE SHALL BE COMPLETED WITHIN 24 HOURS OF INSPECTION. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AND REMOVAL OF ALL SEDIMENT WHEN LEAVING PROPERTY. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT END OF EACH WORK DAY.
4. PERIODIC STREET SWEEPING SHALL BE COMPLETED TO MAINTAIN THE PUBLIC STREET FREE OF DUST AND DIRT.
5. CONSTRUCTION SEQUENCE FOR EROSION CONTROL INCLUDES:
 1. INSTALL INLET PROTECTION.
 2. REMOVE EXISTING PAVEMENT AND UTILITIES NOTED FOR REMOVAL.
 3. PERFORM MASS EXCAVATION.
 4. COMPLETE BUILDING CONSTRUCTION, INSTALLING ALL OTHER UTILITIES, AND FINAL GRADING.
 5. PAVE PARKING LOTS, DRIVES, AND SIDEWALKS.
 6. REMOVE EROSION CONTROL DEVICES ONCE THE SITE IS STABILIZED AND PERMANENT VEGETATION IS ESTABLISHED AS APPROVED BY THE ENGINEER.
6. SITE DEWATERING. WATER PUMPED FROM THE SITE SHALL BE TREATED BY APPROPRIATE BEST MANAGEMENT PRACTICES SPECIFIED IN THE WDNR "CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS" AND IN ACCORDANCE WITH CITY OF MADISON ENGINEERING DEPARTMENT. WATER SHALL NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, ADJACENT SITES, OR RECEIVING CHANNELS.
7. WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
8. SEDIMENT CLEANUP. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE THE WORK DAY.
9. WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY BEST MANAGEMENT PRACTICES.
10. NOTIFY THE CITY OF MADISON WITHIN TWO WORKING DAYS OF COMMENCING ANY LAND DEVELOPMENT OR LAND DISTURBING ACTIVITY.
11. NOTIFY THE CITY OF MADISON OF COMPLETION OF ANY BEST MANAGEMENT PRACTICES WITHIN THE NEXT WORKING DAY AFTER THEIR INSTALLATION.
12. OBTAIN PERMISSION IN WRITING FROM THE CITY OF MADISON ENGINEERING DEPARTMENT PRIOR TO MODIFYING THE EROSION CONTROL PLAN. NOTIFY WDNR AT LEAST FIVE WORKING DAYS PRIOR TO IMPLEMENTING CHANGES TO THE EROSION CONTROL PLAN.
13. REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DEVELOPMENT OR LAND DISTURBING ACTIVITIES.
14. KEEP A COPY OF THE EROSION CONTROL PLAN ON SITE.

NOTICE:
In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

DISCLAIMER:
The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, other in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

122 STATE ST.
NEW HOTEL AND RESTAURANT

122 STATE ST.
MADISON, WI 53703



CONSULTANTS:

STRUCTURAL CIVIL ENGINEER
GRAEF
5126 W. TERRACE DRIVE
MADISON, WI 53718
P. 604.242.1550

MSP ENGINEER
CDA
46 RIVERSIDE AVE.
WESTPORT, CT 06880
P. 203.299.0250

#	REVISION / ISSUE	DATE
1	LANDUSE APPLICATION	08.05.2017

SEAL

THESE DOCUMENTS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THEY COMPLY WITH ALL CITY REQUIREMENTS

SHEET TITLE:
DEMOLITION AND EROSION CONTROL PLAN

PROJECT # 19th
C200

X:\MD\2016\20160209\CAD\Site\dwg\001C_200_Demo_Plan_5029 9/1/2017 4:23 PM

GENERAL NOTES

1. THE BASE SURVEY WAS PREPARED BY BIRRENKOTT SURVEYING INC. ON OCTOBER 21, 2015. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THERE TO.
2. REFER TO SHEET C100 FOR BENCHMARKS, DATUM, AND TOPOGRAPHIC ELEMENTS.
3. CONTRACTOR SHALL VERIFY LOCATION OF WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WORK.

LAYOUT NOTES

1. THE BUILDING OUTLINES SHOWN ARE FOR REFERENCE PURPOSES ONLY AND SHALL NOT BE USED FOR STAKING PURPOSES. THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT AND STRUCTURAL ENGINEER ON THE STAKING OF THE BUILDING.
2. DIMENSIONS AND RADII ARE SHOWN FROM FACE OF CURB TO BUILDING FACE OR TO RIGHT-OF-WAY LINE WITHIN THE SIDEWALK.
3. CONTRACTOR SHALL MATCH EXISTING SIDEWALK JOINTING PATTERN.
4. CONTRACTOR SHALL COORDINATE WITH THE CITY OF MADISON ON ANY RELOCATION AND REINSTALLATIONS OF STREET LIGHTS, SIGNS, AND PAY STATION.
5. ALL PROPOSED WORK WITHIN RIGHT-OF-WAY WILL NEED TO MEET CITY OF MADISON STANDARDS AND SPECIFICATIONS.

LAND USE SUMMARY

TOTAL PARCEL AREA	9,835 S.F.	0.23 ACRES
RIGHT-OF-WAY PAVED AREA	4,995 S.F.	0.11 ACRES
RIGHT-OF-WAY LANDSCAPED AREA	0 S.F.	0.00 ACRES
TOTAL SITE AREA	14,830 S.F.	0.34 ACRES

BUILDING SUMMARY

BASEMENT	10,366 S.F.
1ST FLOOR/LOBBY/LOWER LOBBY	10,366 S.F.
2ND FLOOR	10,242 S.F.
3RD FLOOR	10,115 S.F.
4TH FLOOR	10,115 S.F.
5TH FLOOR	10,188 S.F.
6TH FLOOR	8,270 S.F.
7TH FLOOR	8,270 S.F.
8TH FLOOR	8,165 S.F.
PENTHOUSE/TERR	8,563 S.F.
ROOF/MECH	5,050 S.F.
GROSS BUILDING	99,650 S.F.
OVERALL BUILDING SITE	10,336 S.F.
LOT COVERAGE	100%
USEABLE OPEN SPACE	0 S.F.
LANDSCAPE AREA	0 S.F.
PAVED AREA	0 S.F.

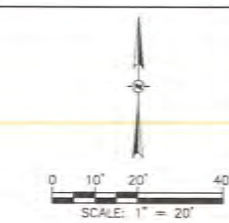
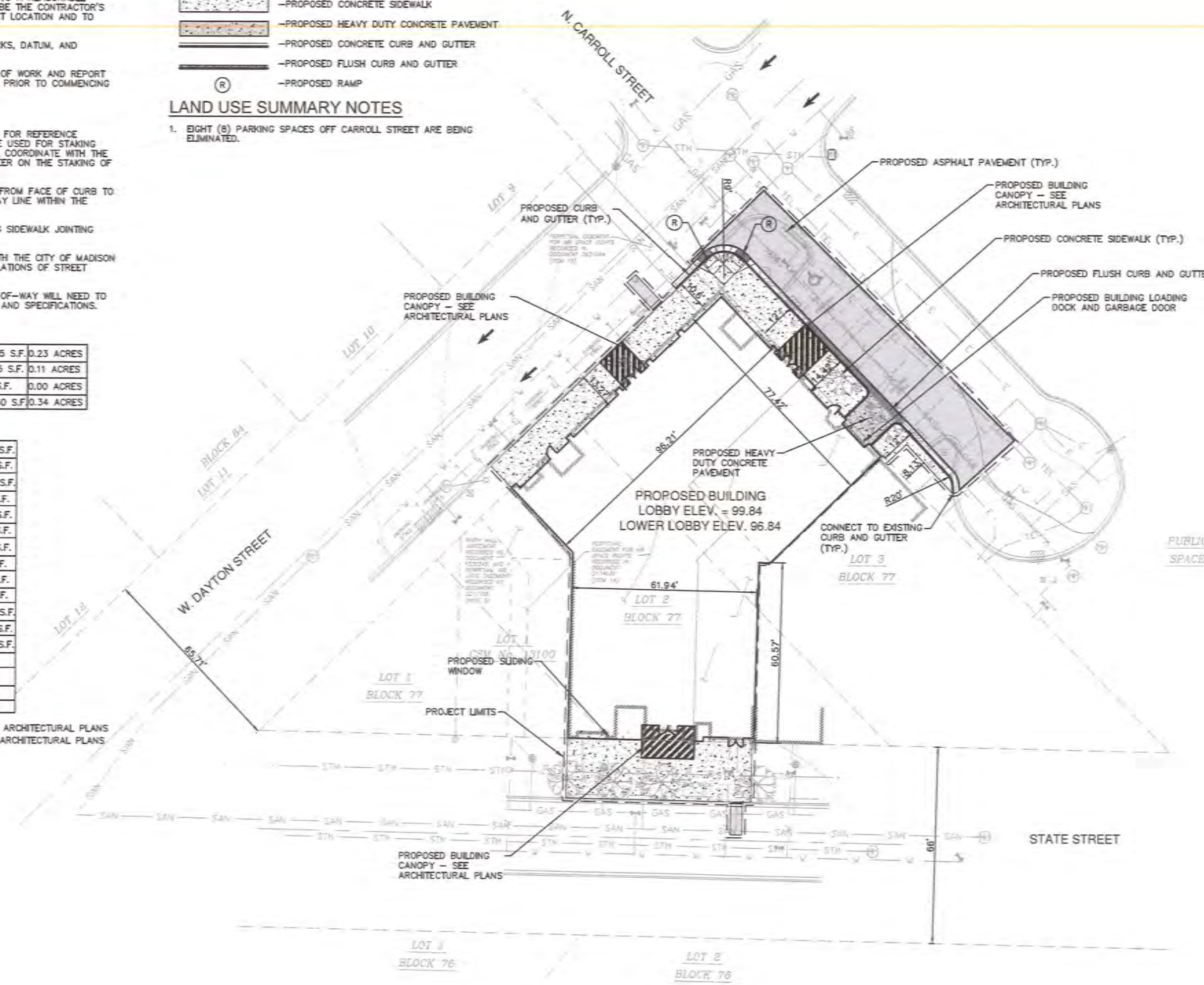
UNIT SIZE BREAKDOWN BY BEDROOM = SEE ARCHITECTURAL PLANS
 NUMBER AND SIZE OF TENANT UNIT = SEE ARCHITECTURAL PLANS

LEGEND

- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED CONCRETE CURB AND GUTTER
- PROPOSED FLUSH CURB AND GUTTER
- PROPOSED RAMP

LAND USE SUMMARY NOTES

1. EIGHT (8) PARKING SPACES OFF CARROLL STREET ARE BEING ELIMINATED.



122 STATE ST.
 NEW HOTEL AND RESTAURANT
 122 STATE ST.
 MADISON, WI. 53703



CONSULTANTS:
 STRUCTURAL/CIVIL ENGINEER:
 GRAEF
 5126 W. TERRACE DRIVE
 MADISON, WI 53718
 P. 604.242.1550
 MEP ENGINEER:
 CDA
 46 RIVERSIDE AVE.
 WESTPORT, CT 06880
 P. 203.299.0250

1	LANDUSE APPLICATION	08.05.2017
#	REVISION / ISSUE	DATE

SEAL

THESE DOCUMENTS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THEY COMPLY WITH ALL CITY REQUIREMENTS

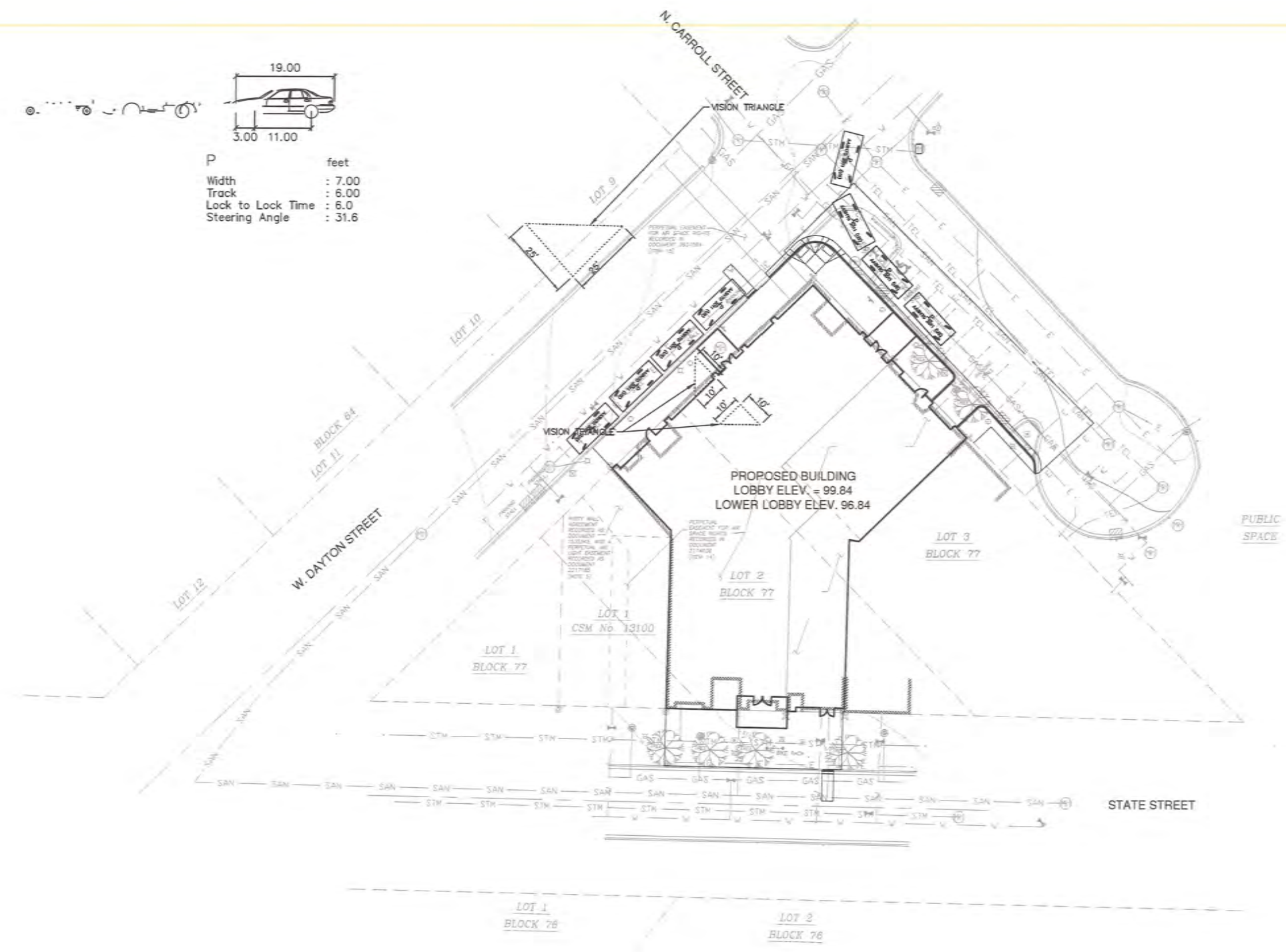
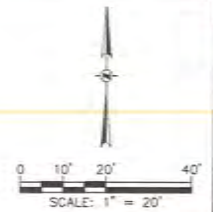
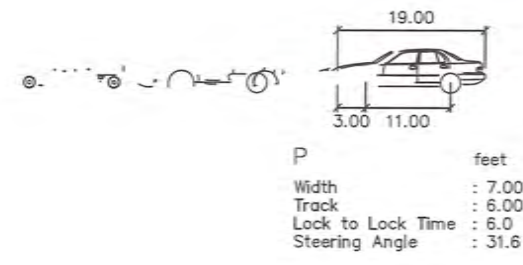
SHEET TITLE:
OVERALL SITE PLAN

PROJECT # RP#
C300

X:\MD\2016\20160209\CAD\Site\dwg\001C_300_Overall_Site_Plan_5029 9/1/2017 4:23 PM

NOTICE:
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122 STATE ST.
NEW HOTEL AND RESTAURANT

122 STATE ST.
MADISON, WI. 53703



CONSULTANTS:

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1	LANDUSE APPLICATION	08.05.2017
4	REVISION / ISSUE	DATE

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SHEET TITLE:
AUTO TURN EXHIBIT - CARS

PROJECT # 4P#
C301

NOTICE:
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122 STATE ST.
NEW HOTEL AND RESTAURANT

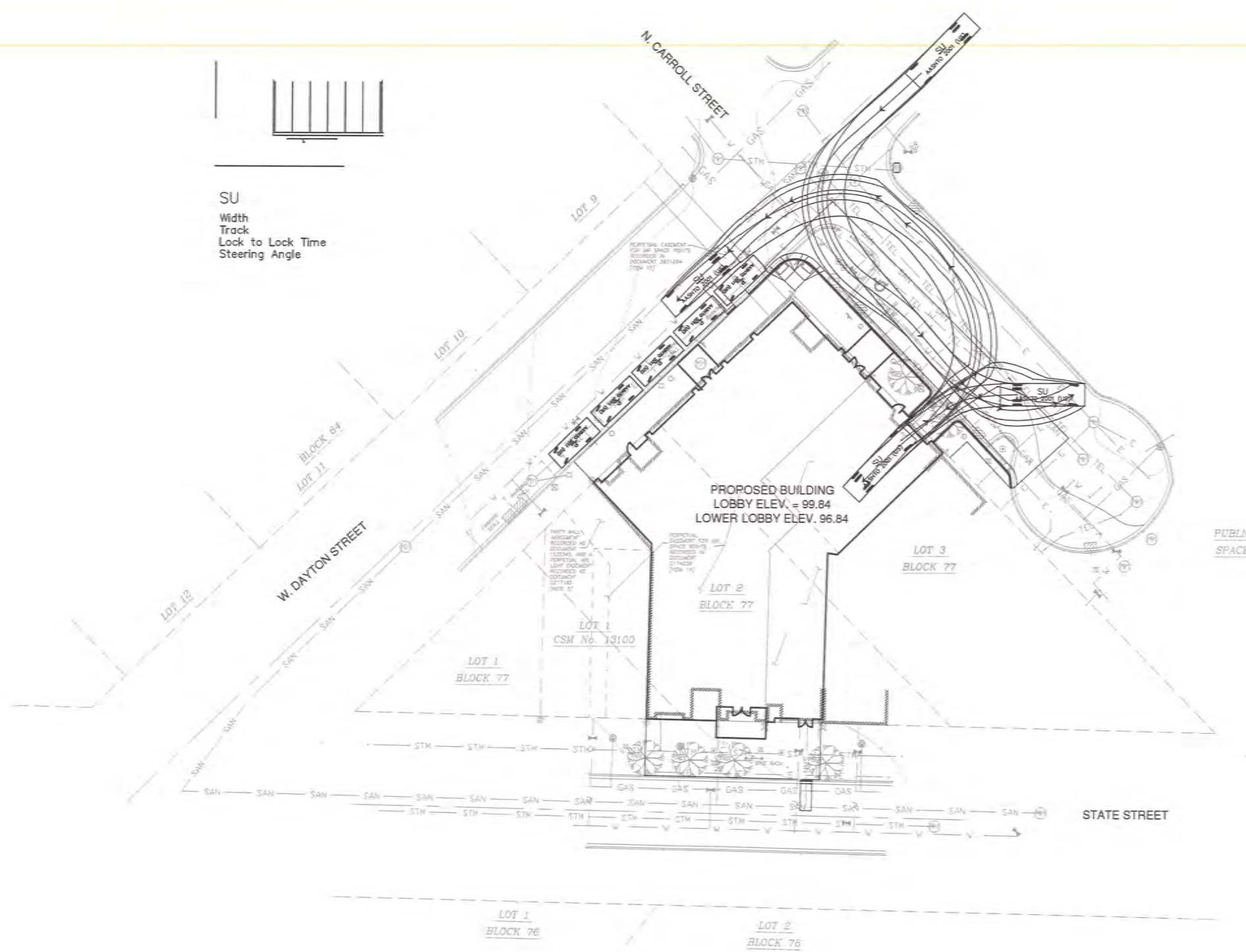
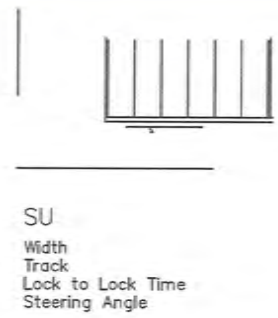
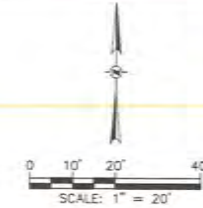
122 STATE ST.
MADISON, WI. 53703



CONSULTANTS

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PROPOSED BUILDING
LOBBY ELEV. = 99.84
LOWER LOBBY ELEV. 96.84

LOT 1
BLOCK 77
CSM No. 13100

LOT 3
BLOCK 77

LOT 1
BLOCK 77

STATE STREET

LOT 1
BLOCK 76

LOT 2
BLOCK 76

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SHEET TITLE:
AUTO TURN EXHIBIT - TRUCK

PROJECT # 496
C302

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LEGEND

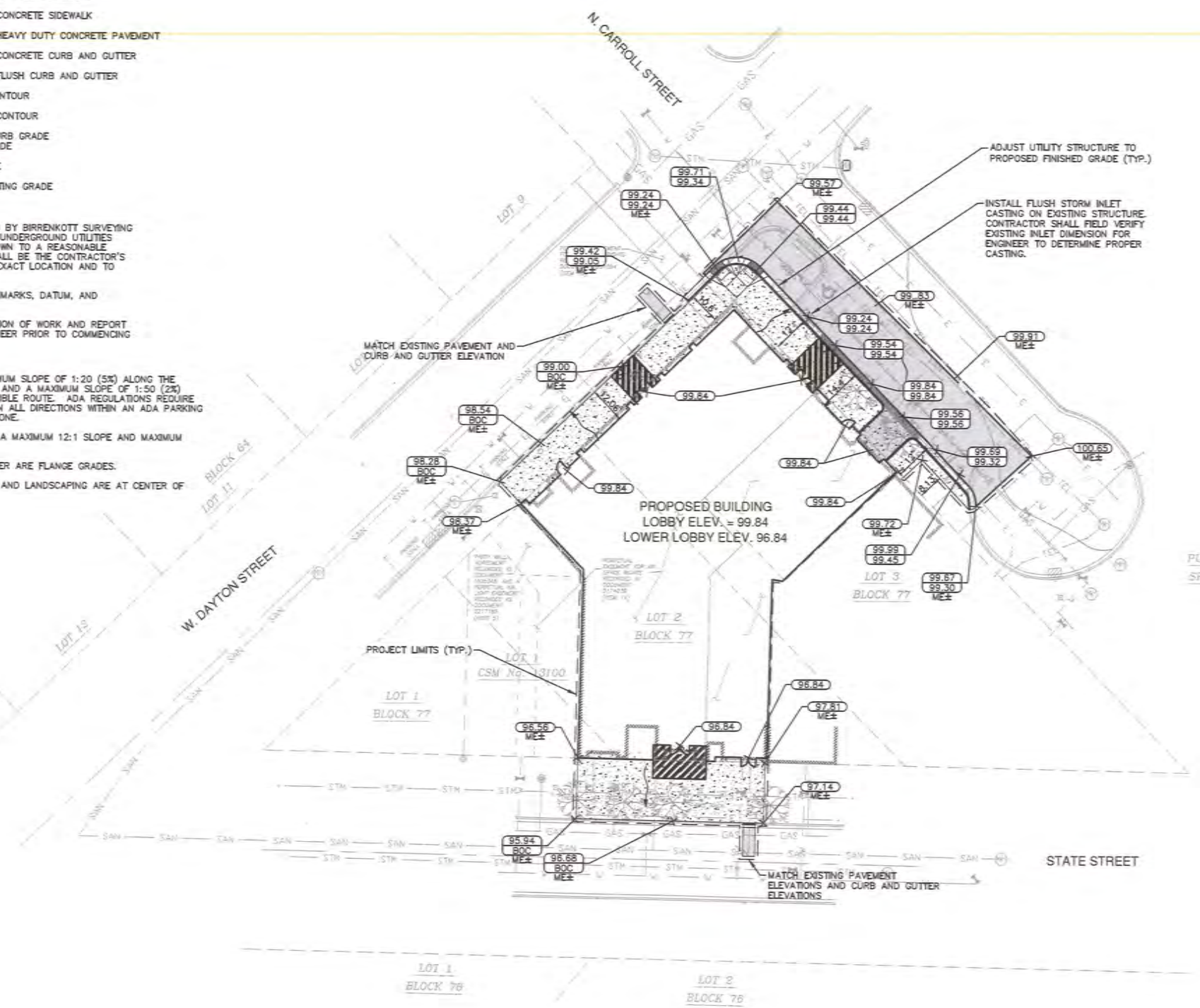
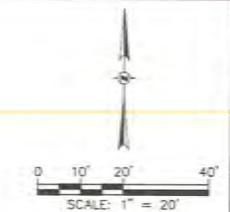
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED CONCRETE CURB AND GUTTER
- PROPOSED FLUSH CURB AND GUTTER
- EXISTING CONTOUR
- PROPOSED CONTOUR
- BACK OF CURB GRADE
- FLANGE GRADE
- SPOT GRADE
- MATCH EXISTING GRADE

GENERAL NOTES

1. THE BASE SURVEY WAS PREPARED BY BIRRENKOTT SURVEYING INC. ON OCTOBER 21, 2015. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THERETO.
2. REFER TO SHEET C100 FOR BENCHMARKS, DATUM, AND TOPOGRAPHIC ELEMENTS.
3. CONTRACTOR SHALL VERIFY LOCATION OF WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WORK.

GRADING NOTES

1. ADA REGULATIONS REQUIRE A MAXIMUM SLOPE OF 1:20 (5%) ALONG THE LENGTH OF THE ACCESSIBLE ROUTE AND A MAXIMUM SLOPE OF 1:50 (2%) ACROSS THE WIDTH OF THE ACCESSIBLE ROUTE. ADA REGULATIONS REQUIRE A MAXIMUM SLOPE OF 1:50 (2%) IN ALL DIRECTIONS WITHIN AN ADA PARKING STALL AND ADJACENT UNLOADING ZONE.
2. ALL HANDICAP RAMPS SHALL HAVE A MAXIMUM 12:1 SLOPE AND MAXIMUM LENGTH OF 6 FEET.
3. RIM ELEVATIONS IN CURB AND GUTTER ARE FLANGE GRADES.
4. RIM ELEVATIONS WITHIN PAVEMENTS AND LANDSCAPING ARE AT CENTER OF STRUCTURE.



122 STATE ST.
NEW HOTEL AND RESTAURANT

122 STATE ST.
MADISON, WI 53703

KKAD METROSTUDIO

CONSULTANTS:

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MEP ENGINEER:
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SHEET TITLE:
SITE GRADING PLAN

PROJECT # 4P#
C400

NOTICE:
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GENERAL NOTES

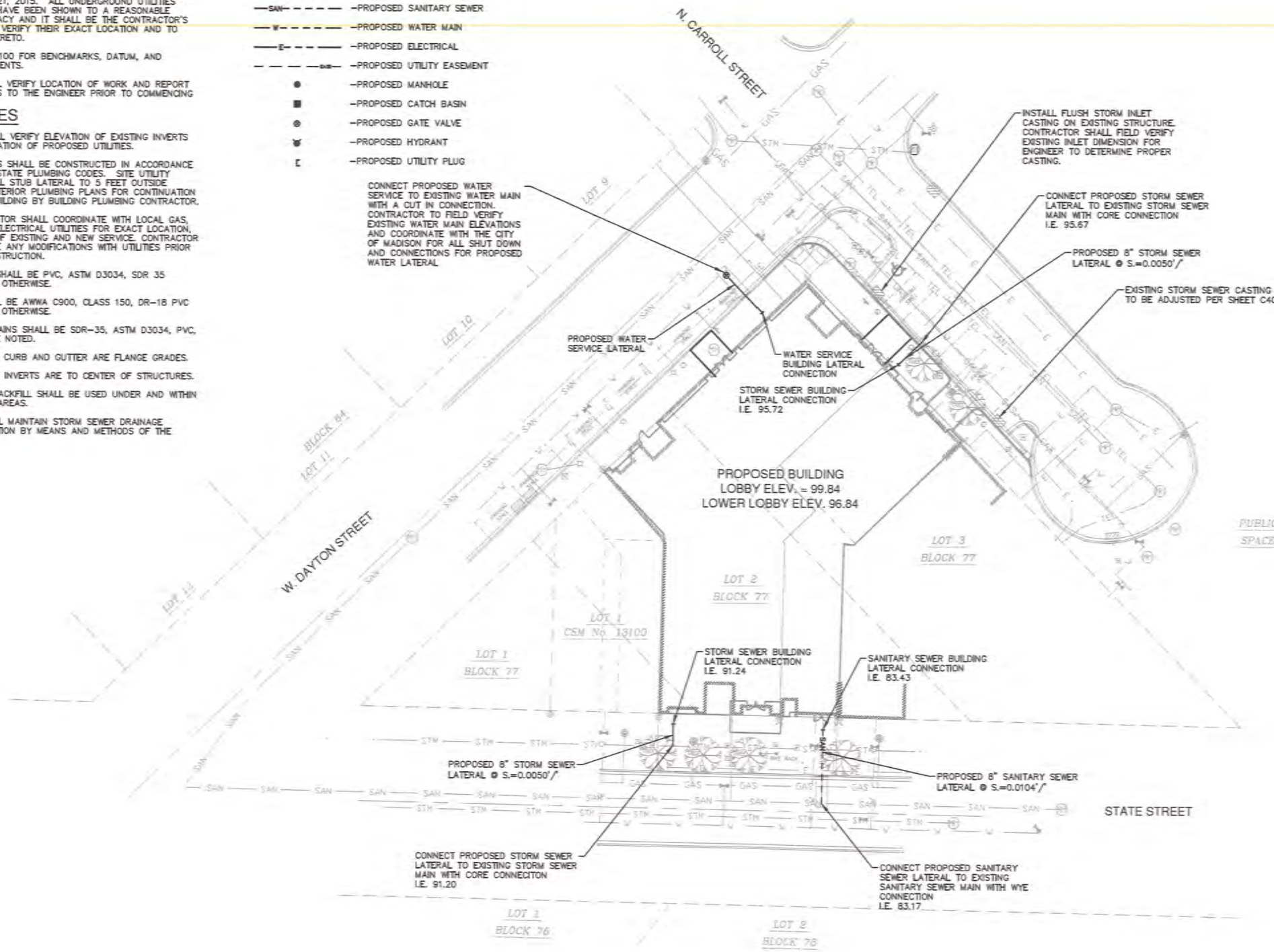
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2. REFER TO SHEET C100 FOR BENCHMARKS, DATUM, AND TOPOGRAPHIC ELEMENTS.
3. CONTRACTOR SHALL VERIFY LOCATION OF WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WORK.

UTILITY NOTES

1. CONTRACTOR SHALL VERIFY ELEVATION OF EXISTING INVERTS PRIOR TO INSTALLATION OF PROPOSED UTILITIES.
2. BUILDING LATERALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL AND STATE PLUMBING CODES. SITE UTILITY CONTRACTOR SHALL STUB LATERAL TO 5 FEET OUTSIDE BUILDING. SEE INTERIOR PLUMBING PLANS FOR CONTINUATION OF PIPING INTO BUILDING BY BUILDING PLUMBING CONTRACTOR.
3. GENERAL CONTRACTOR SHALL COORDINATE WITH LOCAL GAS, TELEPHONE, AND ELECTRICAL UTILITIES FOR EXACT LOCATION, SIZE AND DEPTH OF EXISTING AND NEW SERVICE. CONTRACTOR SHALL COORDINATE ANY MODIFICATIONS WITH UTILITIES PRIOR TO STARTING CONSTRUCTION.
4. SANITARY SEWER SHALL BE PVC, ASTM D3034, SDR 35 UNLESS INDICATED OTHERWISE.
5. WATER MAIN SHALL BE AWWA C900, CLASS 150, DR-18 PVC UNLESS INDICATED OTHERWISE.
6. BUILDING ROOF DRAINS SHALL BE SDR-35, ASTM D3034, PVC, UNLESS OTHERWISE NOTED.
7. RIM ELEVATIONS IN CURB AND GUTTER ARE FLANGE GRADES.
8. PIPE LENGTHS AND INVERTS ARE TO CENTER OF STRUCTURES.
9. CRUSHED STONE BACKFILL SHALL BE USED UNDER AND WITHIN 5' OF ALL PAVED AREAS.
10. CONTRACTOR SHALL MAINTAIN STORM SEWER DRAINAGE DURING CONSTRUCTION BY MEANS AND METHODS OF THE CONTRACTOR.

LEGEND

- STM--- --PROPOSED STORM SEWER
- SAN--- --PROPOSED SANITARY SEWER
- W--- --PROPOSED WATER MAIN
- E--- --PROPOSED ELECTRICAL
- --PROPOSED UTILITY EASEMENT
- --PROPOSED MANHOLE
- --PROPOSED CATCH BASIN
- --PROPOSED GATE VALVE
- ⊕ --PROPOSED HYDRANT
- ⊔ --PROPOSED UTILITY PLUG



122 STATE ST.
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SHEET TITLE:
SITE UTILITY PLAN

PROJECT # 8PH
C500

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NOTICE:
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LEGEND

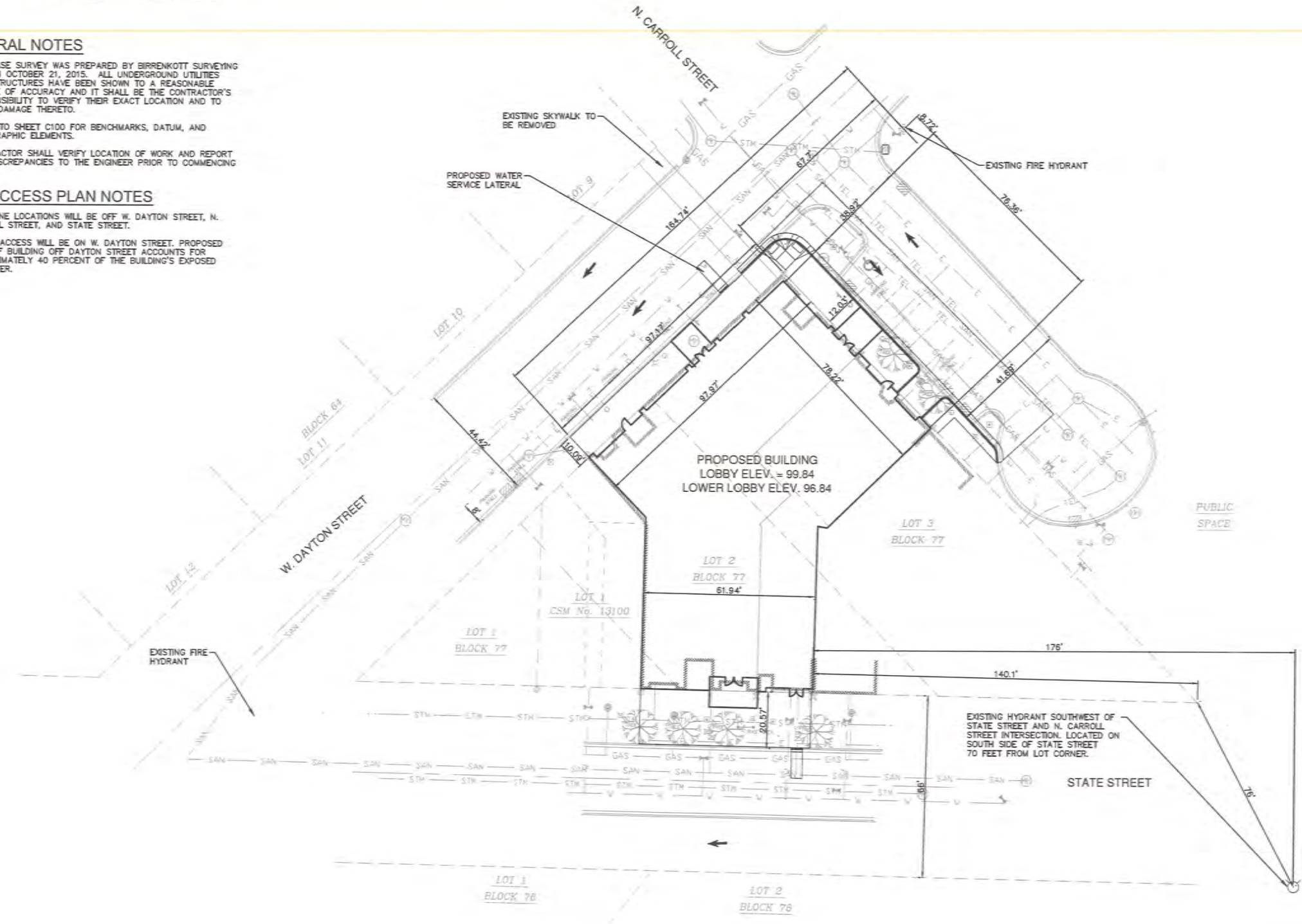
--- PROPOSED WATER SERVICE LATERAL

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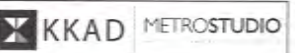
FIRE ACCESS PLAN NOTES

1. FIRE LANE LOCATIONS WILL BE OFF W. DAYTON STREET, N. CARROLL STREET, AND STATE STREET.
2. AERIAL ACCESS WILL BE ON W. DAYTON STREET. PROPOSED FACE OF BUILDING OFF DAYTON STREET ACCOUNTS FOR APPROXIMATELY 40 PERCENT OF THE BUILDING'S EXPOSED PERIMETER.



122 STATE ST.
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SHEET TITLE:

FIRE ACCESS PLAN

PROJECT # 1616

C600

NOTICE:
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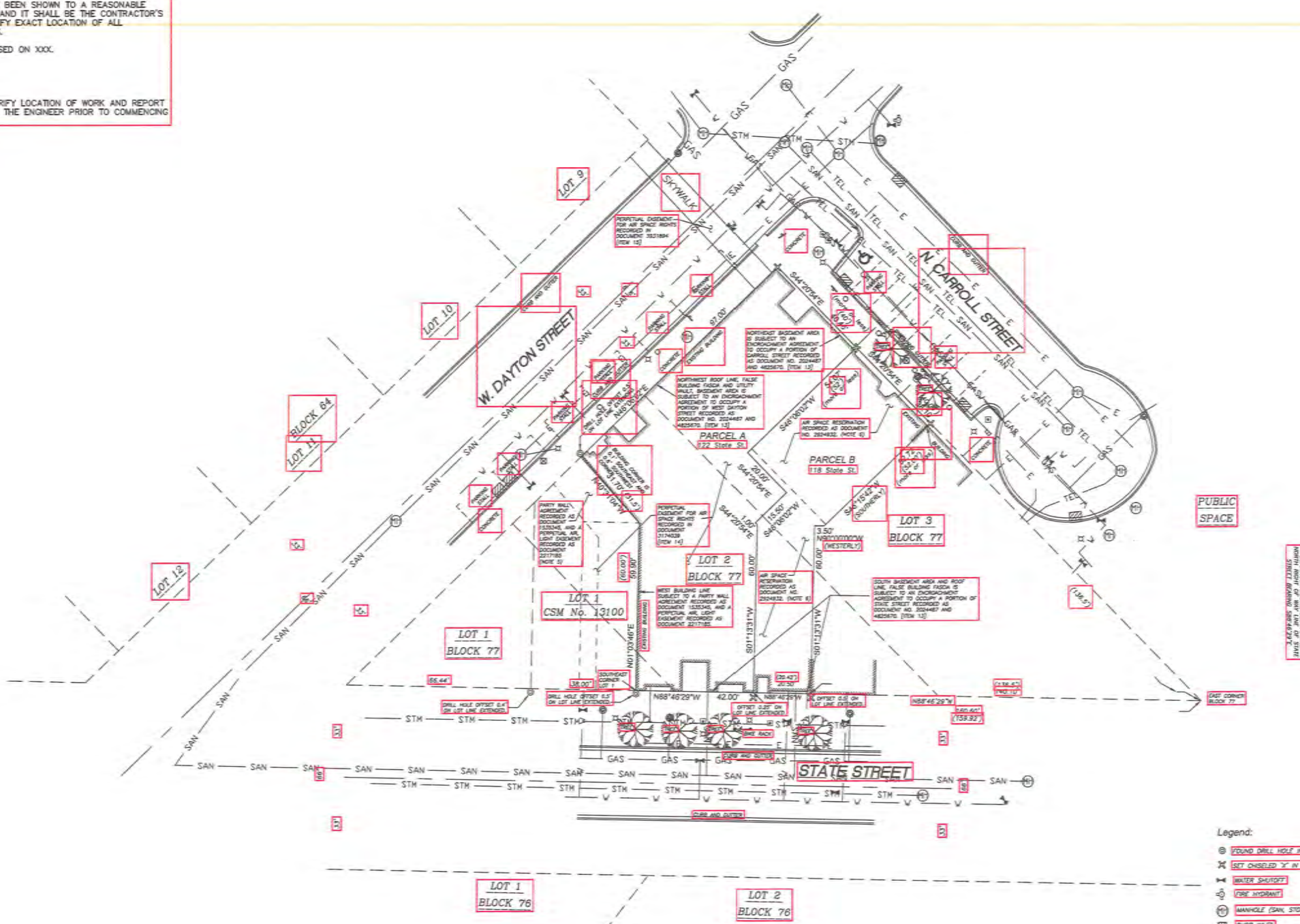
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2. VERTICAL DATUM IS BASED ON XXX.
3. BENCHMARKS
1.
2.
4. CONTRACTOR SHALL VERIFY LOCATION OF WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WORK.

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- Legend:
- ⊙ FOUND DRILL HOLE IN CONCRETE
 - ✕ SET CHISELED "X" IN CONCRETE
 - ⊖ WATER SHUTOFF
 - ⊕ FIRE HYDRANT
 - ⊕ MANHOLE (SAN, STORM, WGA)
 - ⊖ CURB INLET
 - ⊖ LIGHT POLE
 - PARKING STALL # SON
 - ⊖ TRAFFIC SIGN
 - ⊖ PARKING METER
 - ⊖ FLUSH BOX
 - ⊖ GAS VALVE
 - ⊖ HANDICAP PARKING STALL
 - SAN SANITARY SEWER
 - STH STORM SEWER
 - W WATER MAIN
 - E BURIED ELECTRIC
 - TEL BURIED TELEPHONE
 - TV BURIED TELEVISION
 - GAS BURIED GAS

1	LANDUSE APPLICATION	07.12.18
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SHEET TITLE:
EXISTING CONDITIONS PLAN

PROJECT # RPN
C100

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GENERAL NOTES

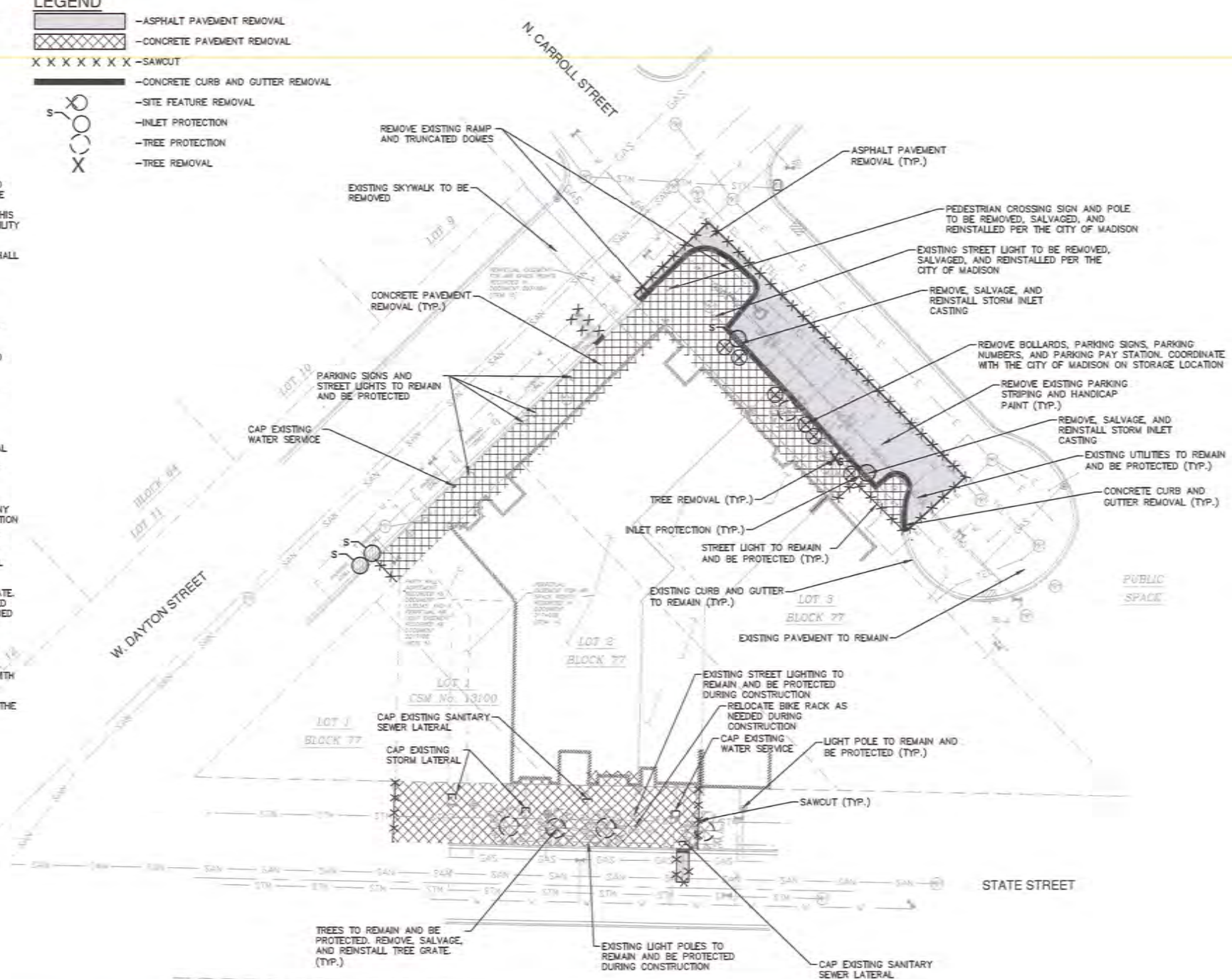
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2. REFER TO SHEET C100 FOR BENCHMARKS, DATUM, AND TOPOGRAPHIC ELEMENTS.
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REMOVAL NOTES

1. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LINES NOTED FOR ABANDONMENT OR REMOVAL. EXISTING UTILITIES THAT ARE TO BE ABANDONED OR REMOVED SHALL BE RESPECTIVELY ABANDONED OR REMOVED TO THE LOCATIONS INDICATED ON THIS PLAN. ALL UTILITY STRUCTURES LOCATED ALONG REMOVED UTILITY LINES SHALL BE REMOVED IN THEIR ENTIRETY.
2. ASPHALT AND CONCRETE PAVEMENT NOTED FOR REMOVAL SHALL BE SAW CUT TO FULL DEPTH PRIOR TO REMOVAL.
3. CONCRETE CURBS AND GUTTER AND SIDEWALK NOTED FOR REMOVAL SHALL BE REMOVED AT THE NEAREST JOINT.
4. ITEMS SCHEDULED FOR REMOVAL AND EXCESS EXCAVATED MATERIALS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ANY APPLICABLE REGULATIONS.
5. CONTRACTOR IS RESPONSIBLE FOR SECURING THE JOB SITE TO PROTECT THE PUBLIC.
6. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH LOCAL ORDINANCES FOR DUST CONTROL.
7. UTILITIES SHALL BE REMOVED TO LOCATIONS INDICATED ON PLANS.
8. CONTRACTOR SHALL COMPLY WITH LOCAL, STATE, AND FEDERAL CODES, RULES AND REGULATIONS APPLICABLE TO DEMOLITION WORK INCLUDING BUT NOT LIMITED TO EROSION CONTROL, AIR POLLUTION, NOISE POLLUTION, AND WASTE DISPOSAL.
9. CONTRACTOR SHALL REPLACE PAVEMENT, CURB AND GUTTER, TREES, LAWN AREA, ANY ABOVE GROUND APPURTENANCES, OR ANY OTHER ITEM THAT WAS DAMAGED AS A RESULT OF CONSTRUCTION RELATED ACTIVITIES AS DEEMED BY OWNER'S REPRESENTATIVE THAT WAS NOT CALLED OUT FOR REMOVAL OR REPLACEMENT. CONTRACTOR SHALL REPLACE/REPAIR DAMAGED ITEM TO THE SATISFACTION OF OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
10. TREE PROTECTION FENCING LOCATIONS SHOWN ARE APPROXIMATE. ALL EXISTING TREES OUTSIDE OF PROJECT LIMITS ARE INTENDED TO REMAIN. FINAL LOCATIONS OF FENCING SHALL BE DETERMINED IN THE FIELD AND AS IDENTIFIED ON CONSTRUCTION DETAILS. ADDITIONAL FENCING MAY BE REQUIRED. COORDINATE WITH OWNER'S REPRESENTATIVE. TREE PROTECTION FENCE SHALL REMAIN IN PLACE THROUGHOUT CONSTRUCTION.
11. REMOVE ALL PLANTER POTS AND TRASH CANS. COORDINATE WITH THE CITY OF MADISON ON FINAL LOCATION.
12. CONTRACTOR SHALL FILL ALL EXISTING VAULTS SURROUNDING THE BUILDING THAT ARE TO BE ABANDONED.

LEGEND

- ASPHALT PAVEMENT REMOVAL
- CONCRETE PAVEMENT REMOVAL
- SAWCUT
- CONCRETE CURB AND GUTTER REMOVAL
- SITE FEATURE REMOVAL
- INLET PROTECTION
- TREE PROTECTION
- TREE REMOVAL



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SHEET TITLE:

DEMOLITION AND EROSION CONTROL PLAN

PROJECT # 494

C200

EROSION CONTROL NOTES

1. CONSTRUCTION SITE EROSION CONTROL AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF MADISON, AND SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) "CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS".
2. ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE, BUT NO LESS THAN ONCE EVERY WEEK. MAINTENANCE OF ALL EROSION CONTROL STRUCTURES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. REPAIRS AND MAINTENANCE SHALL BE COMPLETED WITHIN 24 HOURS OF INSPECTION. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AND REMOVAL OF ALL SEDIMENT WHEN LEAVING PROPERTY. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT END OF EACH WORK DAY.
4. PERIODIC STREET SWEEPING SHALL BE COMPLETED TO MAINTAIN THE PUBLIC STREET FREE OF DUST AND DIRT.
5. CONSTRUCTION SEQUENCE FOR EROSION CONTROL INCLUDES:
 1. INSTALL INLET PROTECTION.
 2. REMOVE EXISTING PAVEMENT AND UTILITIES NOTED FOR REMOVAL.
 3. PERFORM MASS EXCAVATION.
 4. COMPLETE BUILDING CONSTRUCTION, INSTALLING ALL OTHER UTILITIES, AND FINAL GRADING.
 5. PAVE PARKING LOTS, DRIVES, AND SIDEWALKS.
 6. REMOVE EROSION CONTROL DEMOS ONCE THE SITE IS STABILIZED AND PERMANENT VEGETATION IS ESTABLISHED AS APPROVED BY THE ENGINEER.
6. SITE DEWATERING. WATER PUMPED FROM THE SITE SHALL BE TREATED BY APPROPRIATE BEST MANAGEMENT PRACTICES SPECIFIED IN THE WDNR "CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS" AND IN ACCORDANCE WITH CITY OF MADISON ENGINEERING DEPARTMENT. WATER SHALL NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, ADJACENT SITES, OR RECEIVING CHANNELS.
7. WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
8. SEDIMENT CLEANUP. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE THE WORK DAY.
9. WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY BEST MANAGEMENT PRACTICES.
10. NOTIFY THE CITY OF MADISON WITHIN TWO WORKING DAYS OF COMMENCING ANY LAND DEVELOPMENT OR LAND DISTURBING ACTIVITY.
11. NOTIFY THE CITY OF MADISON OF COMPLETION OF ANY BEST MANAGEMENT PRACTICES WITHIN THE NEXT WORKING DAY AFTER THEIR INSTALLATION.
12. OBTAIN PERMISSION IN WRITING FROM THE CITY OF MADISON ENGINEERING DEPARTMENT PRIOR TO MODIFYING THE EROSION CONTROL PLAN. NOTIFY WDNR AT LEAST FIVE WORKING DAYS PRIOR TO IMPLEMENTING CHANGES TO THE EROSION CONTROL PLAN.
13. REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DEVELOPMENT OR LAND DISTURBING ACTIVITIES.
14. KEEP A COPY OF THE EROSION CONTROL PLAN ON SITE.

NOTICE:
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GENERAL NOTES

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2. REFER TO SHEET C100 FOR BENCHMARKS, DATUM, AND TOPOGRAPHIC ELEMENTS.
3. CONTRACTOR SHALL VERIFY LOCATION OF WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WORK.

LAYOUT NOTES

1. THE BUILDING OUTLINES SHOWN ARE FOR REFERENCE PURPOSES ONLY AND SHALL NOT BE USED FOR STAKING PURPOSES. THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT AND STRUCTURAL ENGINEER ON THE STAKING OF THE BUILDING.
2. DIMENSIONS AND RADII ARE SHOWN FROM FACE OF CURB TO BUILDING FACE OR TO RIGHT-OF-WAY LINE WITHIN THE SIDEWALK.
3. CONTRACTOR SHALL MATCH EXISTING SIDEWALK JOINTING PATTERN.
4. CONTRACTOR SHALL COORDINATE WITH THE CITY OF MADISON ON ANY RELOCATION AND REINSTALLATIONS OF STREET LIGHTS, SIGNS, AND PAY STATION.
5. ALL PROPOSED WORK WITHIN RIGHT-OF-WAY WILL NEED TO MEET CITY OF MADISON STANDARDS AND SPECIFICATIONS.

LAND USE SUMMARY

TOTAL PARCEL AREA	13,210 S.F. 0.30 ACRES
RIGHT-OF-WAY PAVED AREA	7,185 S.F. 0.16 ACRES
RIGHT-OF-WAY LANDSCAPED AREA	0 S.F. 0.00 ACRES
TOTAL SITE AREA	20,395 S.F. 0.47 ACRES

BUILDING SUMMARY

BASEMENT	13,125 S.F.
1ST FLOOR/LOBBY/LOWER LOBBY	13,125 S.F.
2ND FLOOR	12,989 S.F.
3RD FLOOR	12,989 S.F.
4TH FLOOR	12,579 S.F.
5TH FLOOR	10,131 S.F.
6TH FLOOR	10,131 S.F.
7TH FLOOR	10,131 S.F.
8TH FLOOR	10,131 S.F.
BAR/LOUNGE/TERRACE	10,057 S.F.
ROOF/MECH	5,216 S.F.
GROSS BUILDING	106,388 S.F.
OVERALL BUILDING SITE	13,237 S.F.
LOT COVERAGE	99%
USEABLE OPEN SPACE	0 S.F.
LANDSCAPE AREA	0 S.F.
PAVED AREA	0 S.F.
TOTAL ROOM NUMBER	133

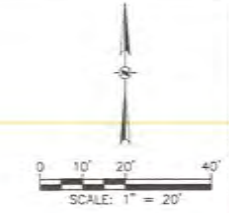
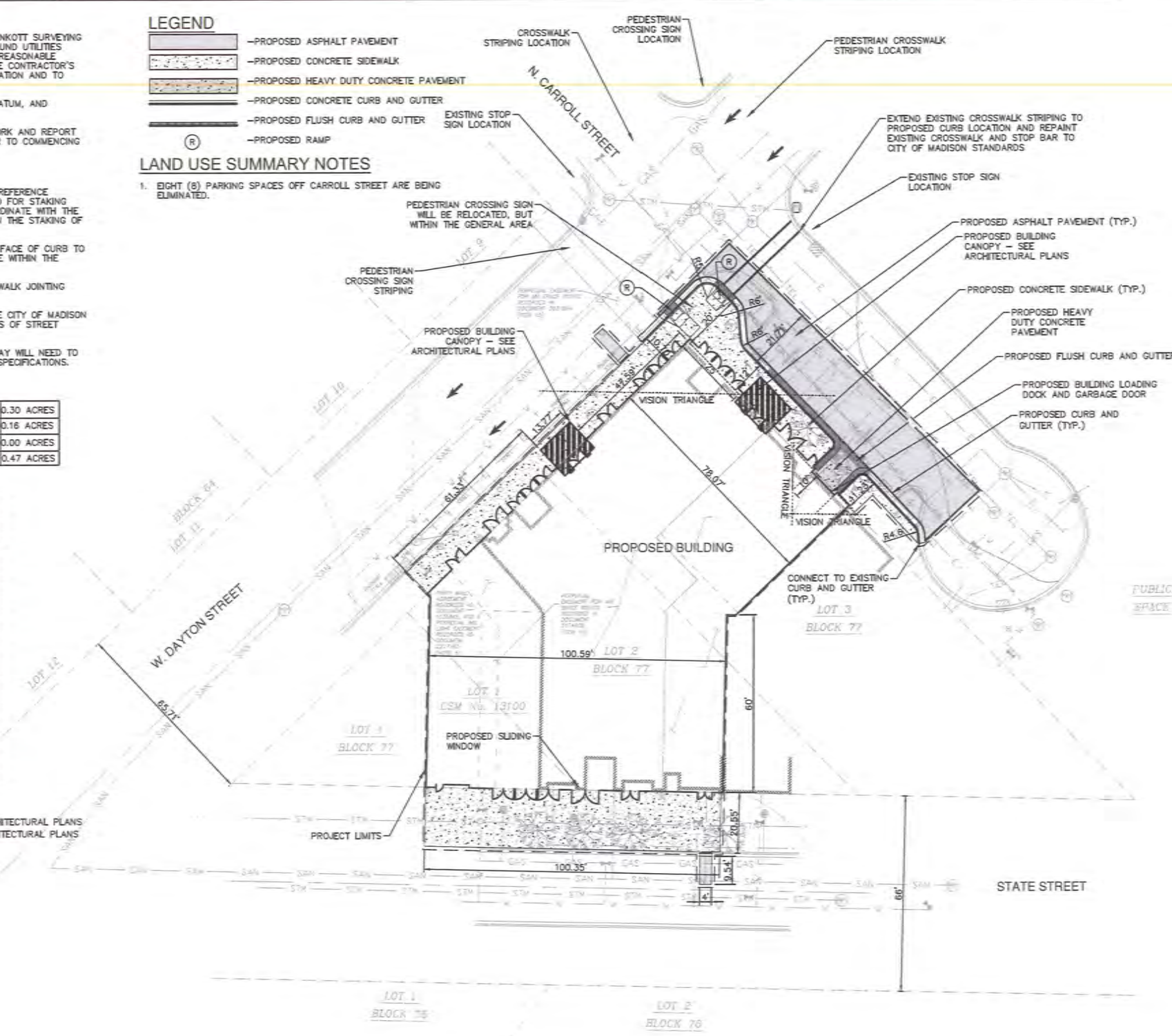
UNIT SIZE BREAKDOWN BY BEDROOM = SEE ARCHITECTURAL PLANS
 NUMBER AND SIZE OF TENANT UNIT = SEE ARCHITECTURAL PLANS

LEGEND

- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED CONCRETE CURB AND GUTTER
- PROPOSED FLUSH CURB AND GUTTER
- PROPOSED RAMP

LAND USE SUMMARY NOTES

1. EIGHT (8) PARKING SPACES OFF CARROLL STREET ARE BEING ELIMINATED.



122 STATE ST.
 NEW HOTEL AND RESTAURANT
 122 STATE ST.
 MADISON, WI. 53703



CONSULTANTS:
 C STRUCTURAL/CIVIL ENGINEER:
 GRAEF
 5126 W. TERRACE DRIVE
 MADISON, WI 53718
 P. 604.242.1550
 MEP ENGINEER:
 CDA
 46 RIVERSIDE AVE.
 WESTPORT, CT 06880
 P. 203.299.0250

1	LANDUSE APPLICATION	07.12.18
#	REVISION / ISSUE	DATE

SEAL

THESE DOCUMENTS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THEY COMPLY WITH ALL CITY REQUIREMENTS.

SHEET TITLE:
OVERALL SITE PLAN

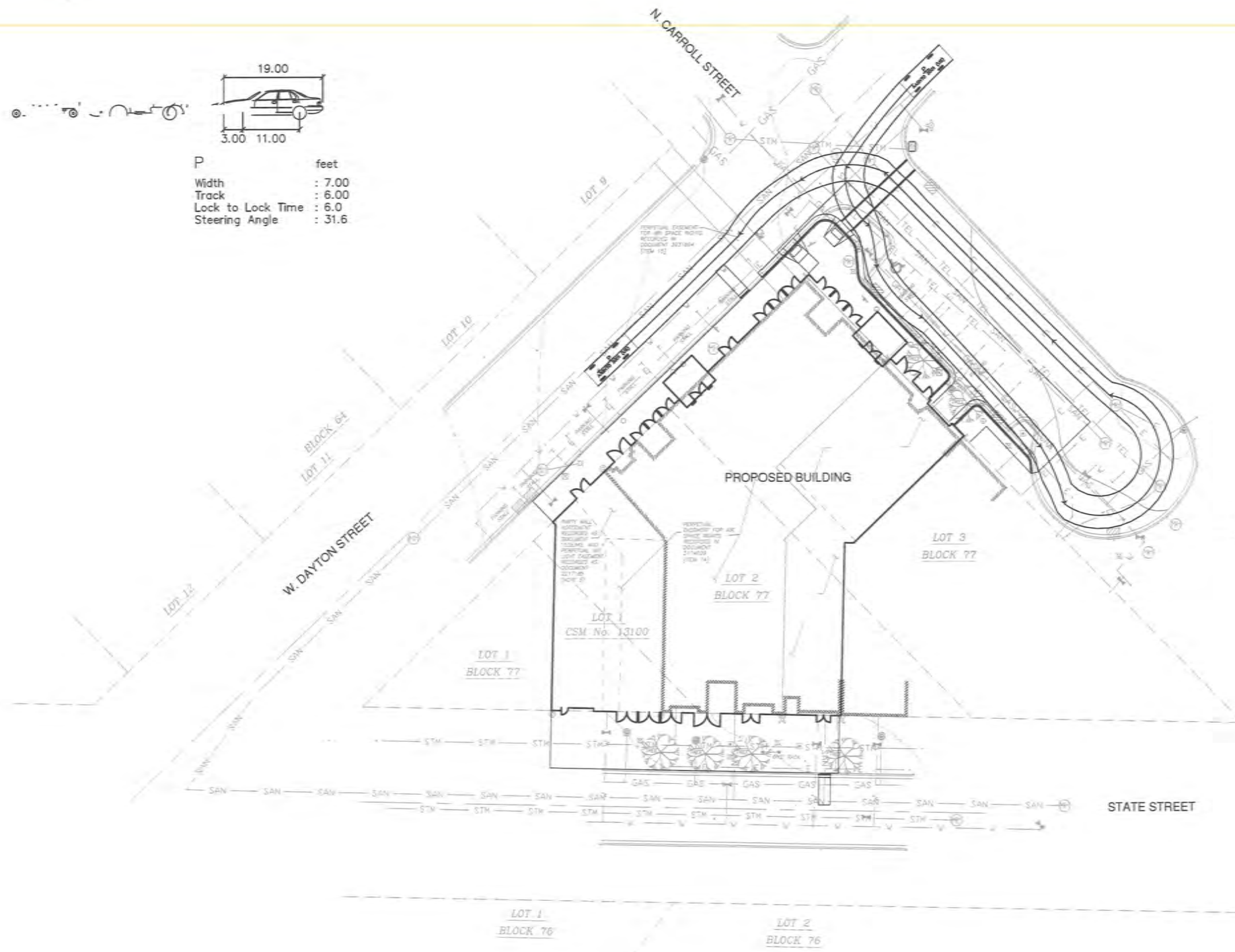
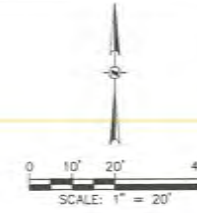
PROJECT # 4P18
C300

NOTICE:
 In accordance with Wisconsin statute 183.0775, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

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P feet
 Width : 7.00
 Track : 6.00
 Lock to Lock Time : 6.0
 Steering Angle : 31.6



122 STATE ST.
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 WESTPORT, CT 06880
 P. 203.299.0250

#	REVISION / ISSUE	DATE
1	LANDUSE APPLICATION	07.12.18
#	REVISION / ISSUE	DATE

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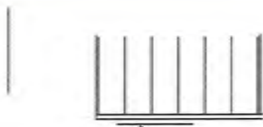
SHEET TITLE:
AUTO TURN EXHIBIT - CARS

PROJECT # RP#
C301

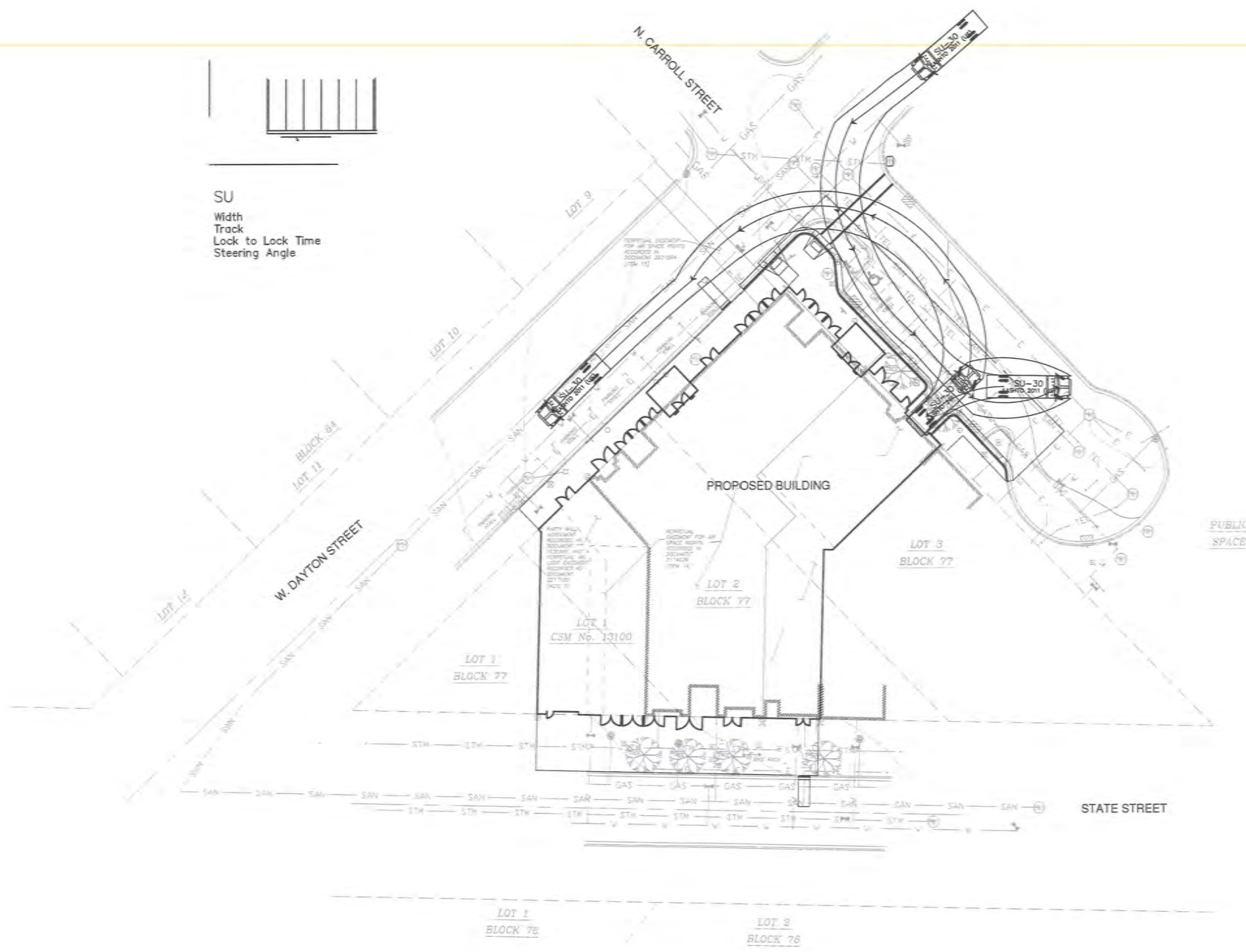
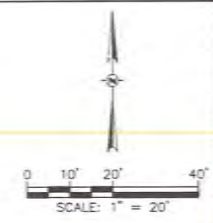
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SU
Width
Track
Lock to Lock Time
Steering Angle



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MADISON, WI. 53703



CONSULTANTS:
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1	LANDUSE APPLICATION	07.12.15
4	REVISION / ISSUE	DATE

SEAL

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SHEET TITLE:
AUTO TURN EXHIBIT - TRUCK

PROJECT # 016
C302

NOTICE:
In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

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LEGEND

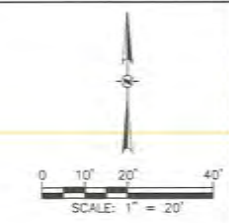
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED CONCRETE CURB AND GUTTER
- PROPOSED FLUSH CURB AND GUTTER
- EXISTING CONTOUR
- PROPOSED CONTOUR
- BACK OF CURB GRADE
- FLANGE GRADE
- SPOT GRADE
- MATCH EXISTING GRADE

GENERAL NOTES

1. THE BASE SURVEY WAS PREPARED BY BIRRENKOTT SURVEYING INC. ON OCTOBER 21, 2015. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THERETO.
2. REFER TO SHEET C100 FOR BENCHMARKS, DATUM, AND TOPOGRAPHIC ELEMENTS.
3. CONTRACTOR SHALL VERIFY LOCATION OF WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WORK.

GRADING NOTES

1. ADA REGULATIONS REQUIRE A MAXIMUM SLOPE OF 1:20 (5%) ALONG THE LENGTH OF THE ACCESSIBLE ROUTE AND A MAXIMUM SLOPE OF 1:50 (2%) ACROSS THE WIDTH OF THE ACCESSIBLE ROUTE. ADA REGULATIONS REQUIRE A MAXIMUM SLOPE OF 1:50 (2%) IN ALL DIRECTIONS WITHIN AN ADA PARKING STALL AND ADJACENT UNLOADING ZONE.
2. ALL HANDICAP RAMPS SHALL HAVE A MAXIMUM 12:1 SLOPE AND MAXIMUM LENGTH OF 6 FEET.
3. RIM ELEVATIONS IN CURB AND GUTTER ARE FLANGE GRADES.
4. RIM ELEVATIONS WITHIN PAVEMENTS AND LANDSCAPING ARE AT CENTER OF STRUCTURE.



122 STATE ST.
NEW HOTEL AND RESTAURANT

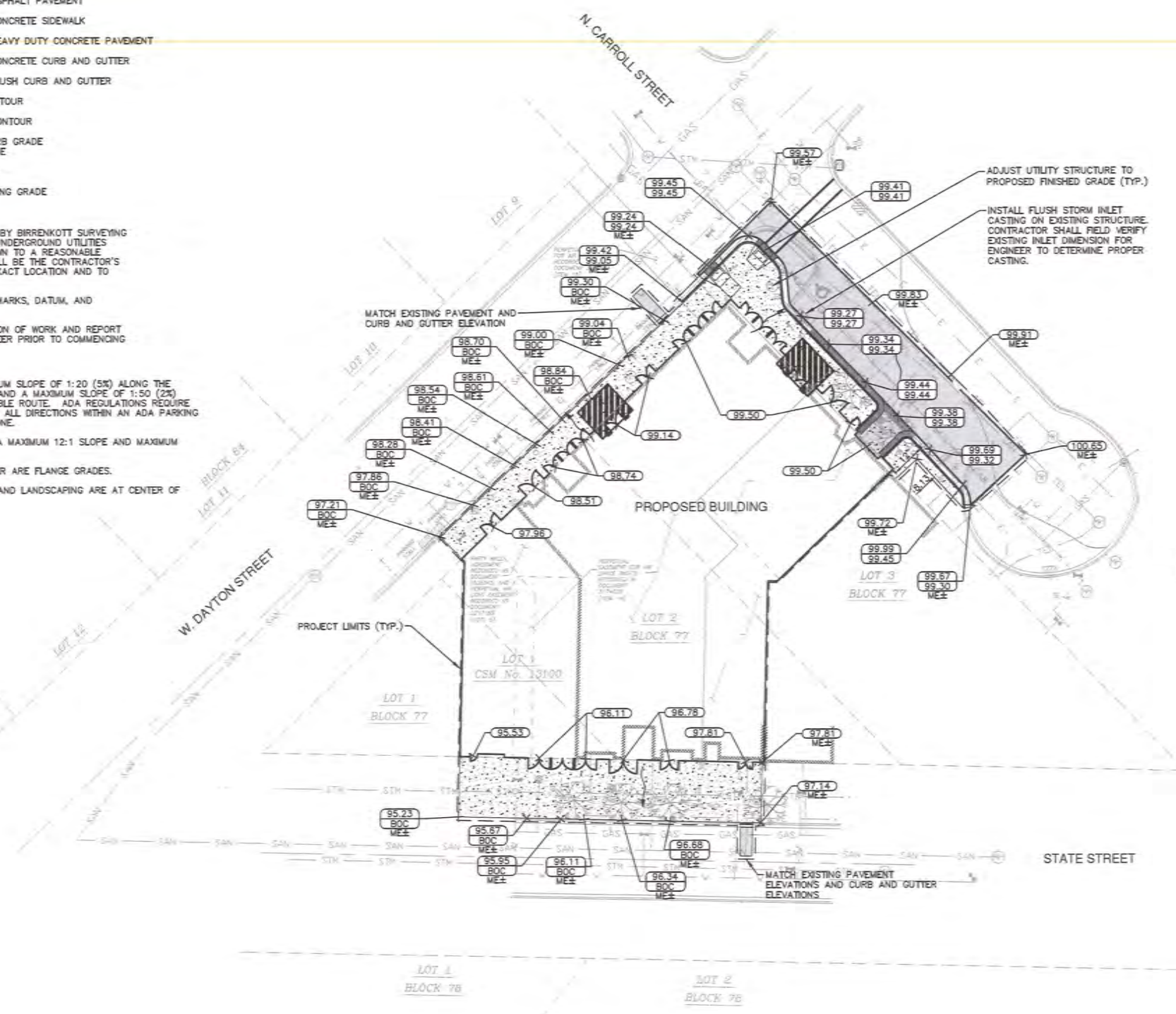
122 STATE ST.
MADISON, WI. 53703

KKAD METROSTUDIO

CONSULTANTS:

C STRUCTURAL/CIVIL ENGINEER:
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P. 604.242.1550

MEP ENGINEER:
CDA
46 RIVERSIDE AVE.
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1	LANDUSE APPLICATION	07.12.18
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SHEET TITLE

SITE GRADING PLAN

PROJECT # 496

C400

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GENERAL NOTES

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2. REFER TO SHEET C100 FOR BENCHMARKS, DATUM, AND TOPOGRAPHIC ELEMENTS.
3. CONTRACTOR SHALL VERIFY LOCATION OF WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WORK.

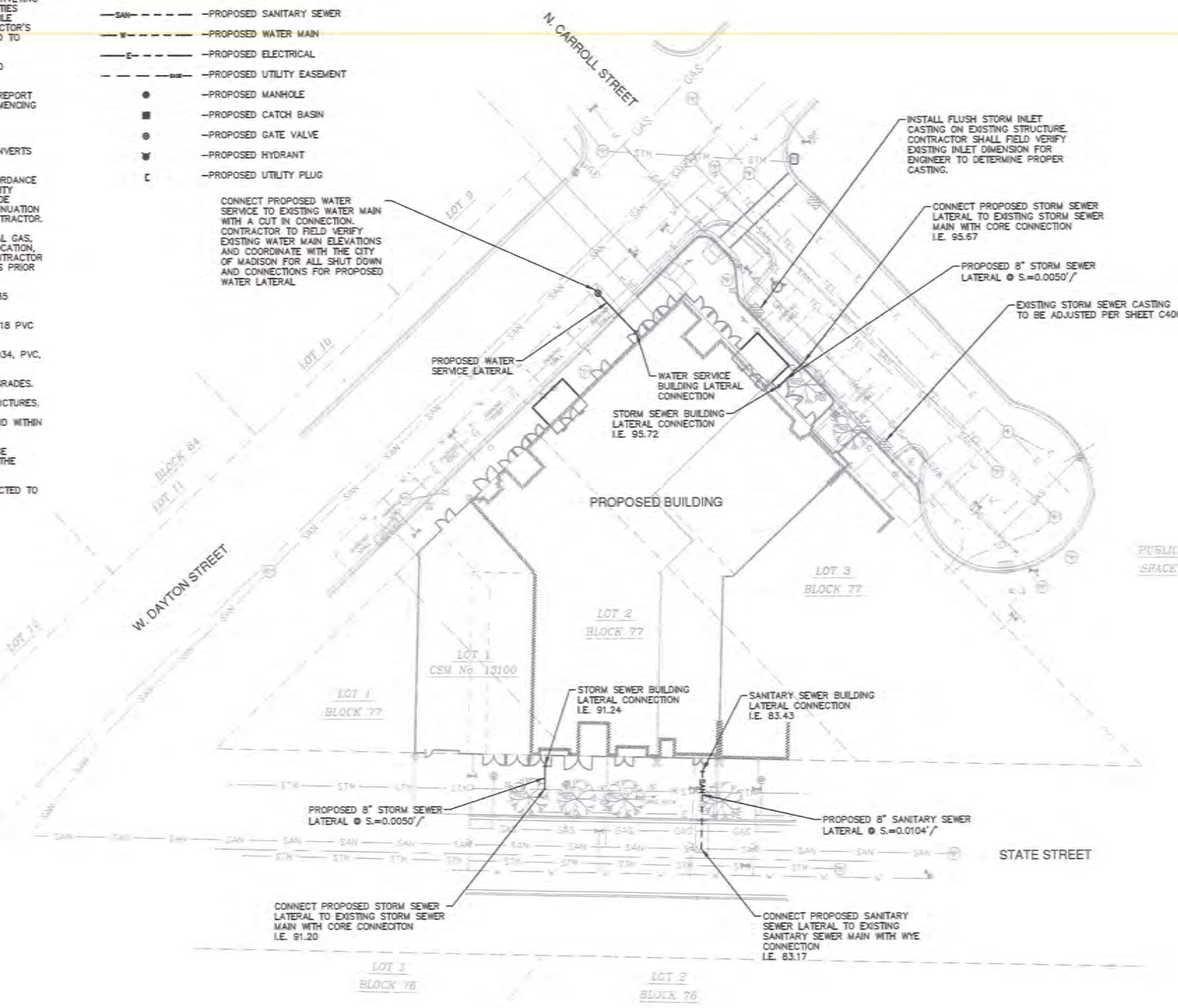
UTILITY NOTES

1. CONTRACTOR SHALL VERIFY ELEVATION OF EXISTING INVERTS PRIOR TO INSTALLATION OF PROPOSED UTILITIES.
2. BUILDING LATERALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL AND STATE PLUMBING CODES. SITE UTILITY CONTRACTOR SHALL STUB LATERAL TO 5 FEET OUTSIDE BUILDING. SEE INTERIOR PLUMBING PLANS FOR CONTINUATION OF PIPING INTO BUILDING BY BUILDING PLUMBING CONTRACTOR.
3. GENERAL CONTRACTOR SHALL COORDINATE WITH LOCAL GAS, TELEPHONE, AND ELECTRICAL UTILITIES FOR EXACT LOCATION, SIZE AND DEPTH OF EXISTING AND NEW SERVICE. CONTRACTOR SHALL COORDINATE ANY MODIFICATIONS WITH UTILITIES PRIOR TO STARTING CONSTRUCTION.
4. SANITARY SEWER SHALL BE PVC, ASTM D3034, SDR 35 UNLESS INDICATED OTHERWISE.
5. WATER MAIN SHALL BE AWWA C900, CLASS 150, DR-18 PVC UNLESS INDICATED OTHERWISE.
6. BUILDING ROOF DRAINS SHALL BE SDR-35, ASTM D3034, PVC, UNLESS OTHERWISE NOTED.
7. RIM ELEVATIONS IN CURB AND GUTTER ARE FLANGE GRADES.
8. PIPE LENGTHS AND INVERTS ARE TO CENTER OF STRUCTURES.
9. CRUSHED STONE BACKFILL SHALL BE USED UNDER AND WITHIN 5' OF ALL PAVED AREAS.
10. CONTRACTOR SHALL MAINTAIN STORM SEWER DRAINAGE DURING CONSTRUCTION BY MEANS AND METHODS OF THE CONTRACTOR.
11. ALL CANOPY STORM SEWER DRAINS SHALL BE CONNECTED TO EXISTING STORM SEWER SYSTEM.

LEGEND

- STM--- --PROPOSED STORM SEWER
- SAN--- --PROPOSED SANITARY SEWER
- W--- --PROPOSED WATER MAIN
- E--- --PROPOSED ELECTRICAL
- S--- --PROPOSED UTILITY EASEMENT
- --PROPOSED MANHOLE
- --PROPOSED CATCH BASIN
- --PROPOSED GATE VALVE
- ⊕ --PROPOSED HYDRANT
- ⊔ --PROPOSED UTILITY FLUG

CONNECT PROPOSED WATER SERVICE TO EXISTING WATER MAIN WITH A CUT IN CONNECTION. CONTRACTOR TO FIELD VERIFY EXISTING WATER MAIN ELEVATIONS AND COORDINATE WITH THE CITY OF MADISON FOR ALL SHUT DOWN AND CONNECTIONS FOR PROPOSED WATER LATERAL



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MEP ENGINEER:
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#	REVISION / ISSUE	DATE
1	LANDUSE APPLICATION	07.12.18

SEAL

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SHEET TITLE:
SITE UTILITY PLAN

PROJECT # 494
C500

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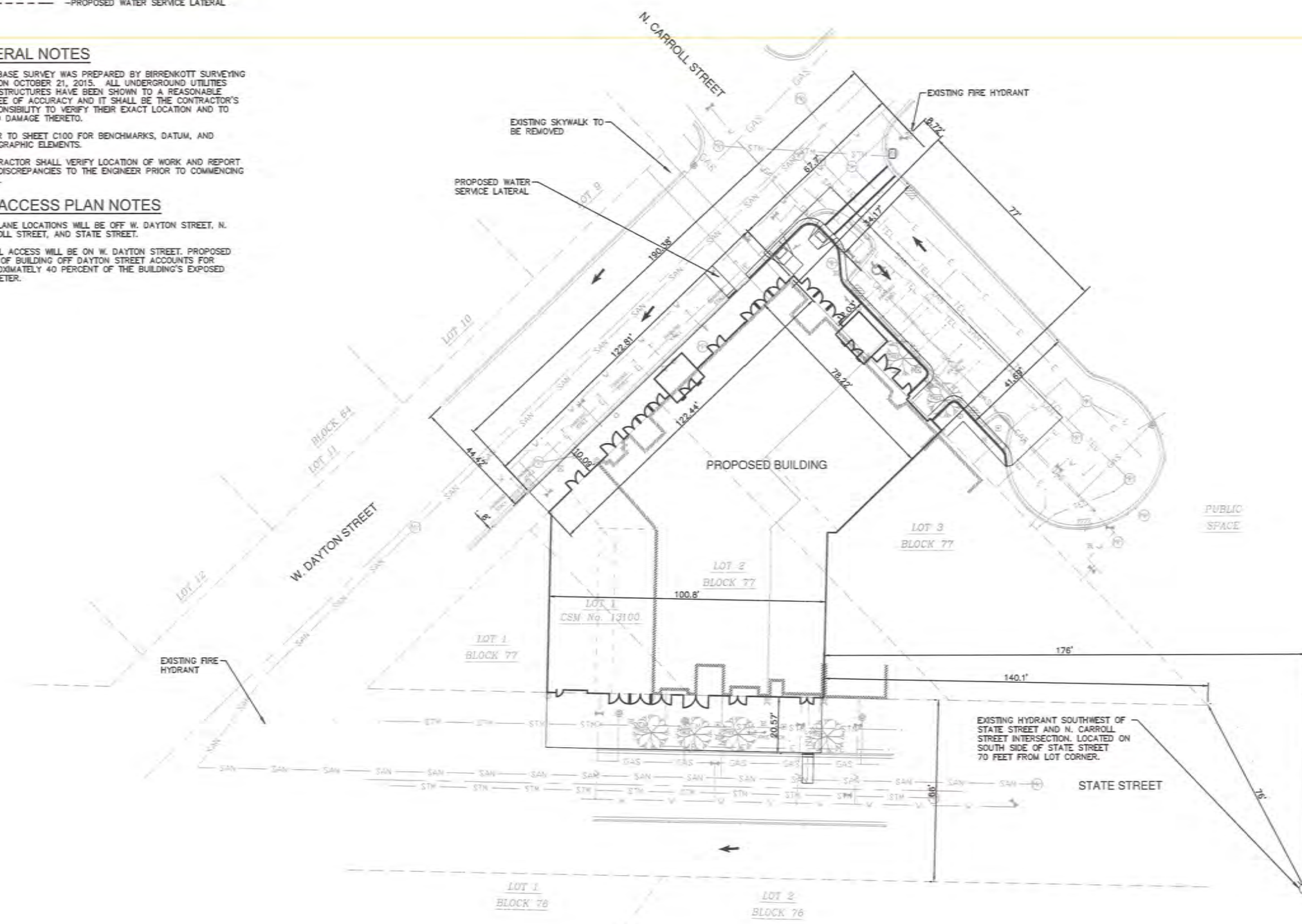
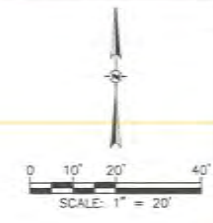
--- PROPOSED WATER SERVICE LATERAL

GENERAL NOTES

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FIRE ACCESS PLAN NOTES

1. FIRE LANE LOCATIONS WILL BE OFF W. DAYTON STREET, N. CARROLL STREET, AND STATE STREET.
2. AERIAL ACCESS WILL BE ON W. DAYTON STREET. PROPOSED FACE OF BUILDING OFF DAYTON STREET ACCOUNTS FOR APPROXIMATELY 40 PERCENT OF THE BUILDING'S EXPOSED PERIMETER.



122 STATE ST.
NEW HOTEL AND RESTAURANT

122 STATE ST.
MADISON, WI 53703

KKAD METROSTUDIO

CONSULTANTS:

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#	LANDUSE APPLICATION	DATE
1	LANDUSE APPLICATION	07.12.18
#	REVISION / ISSUE	DATE

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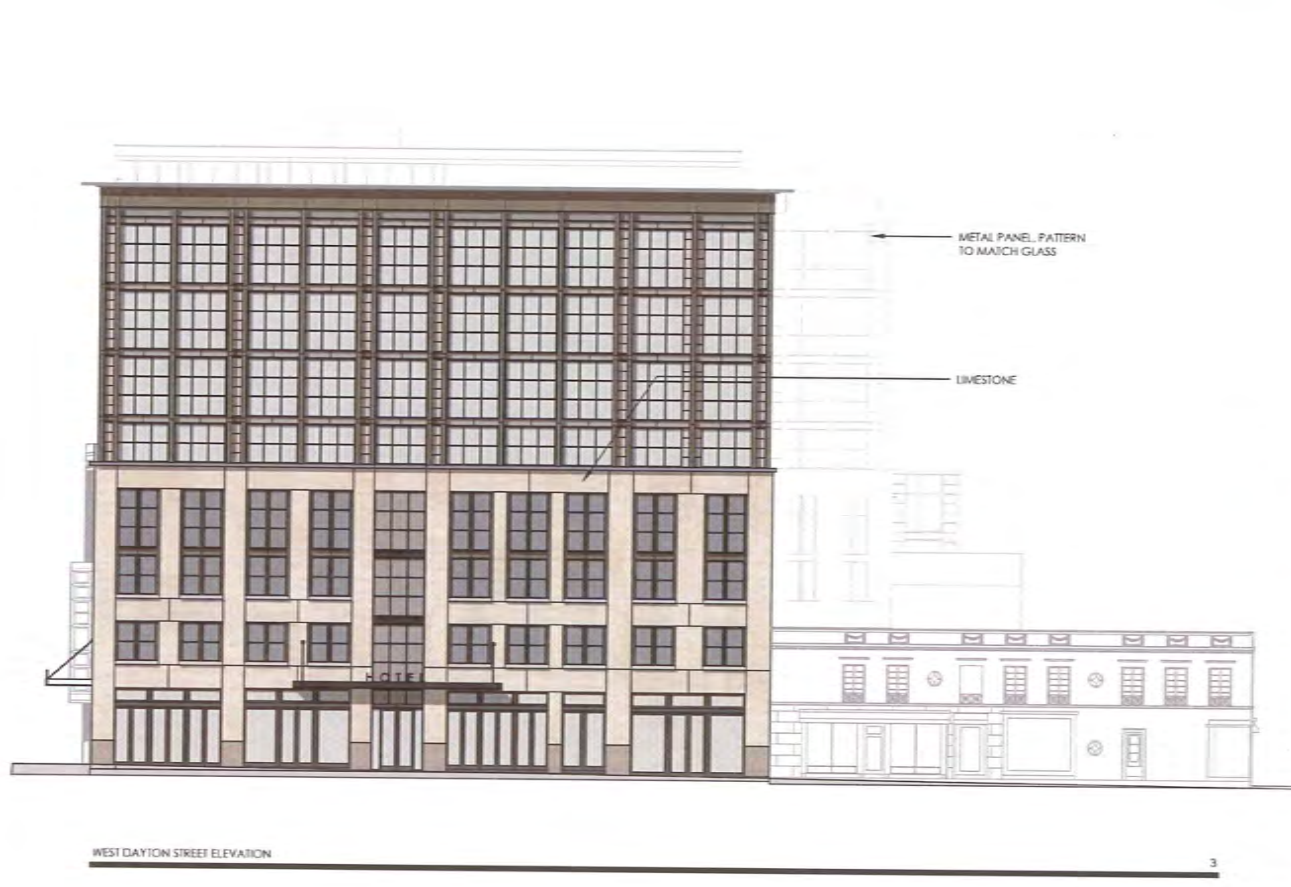
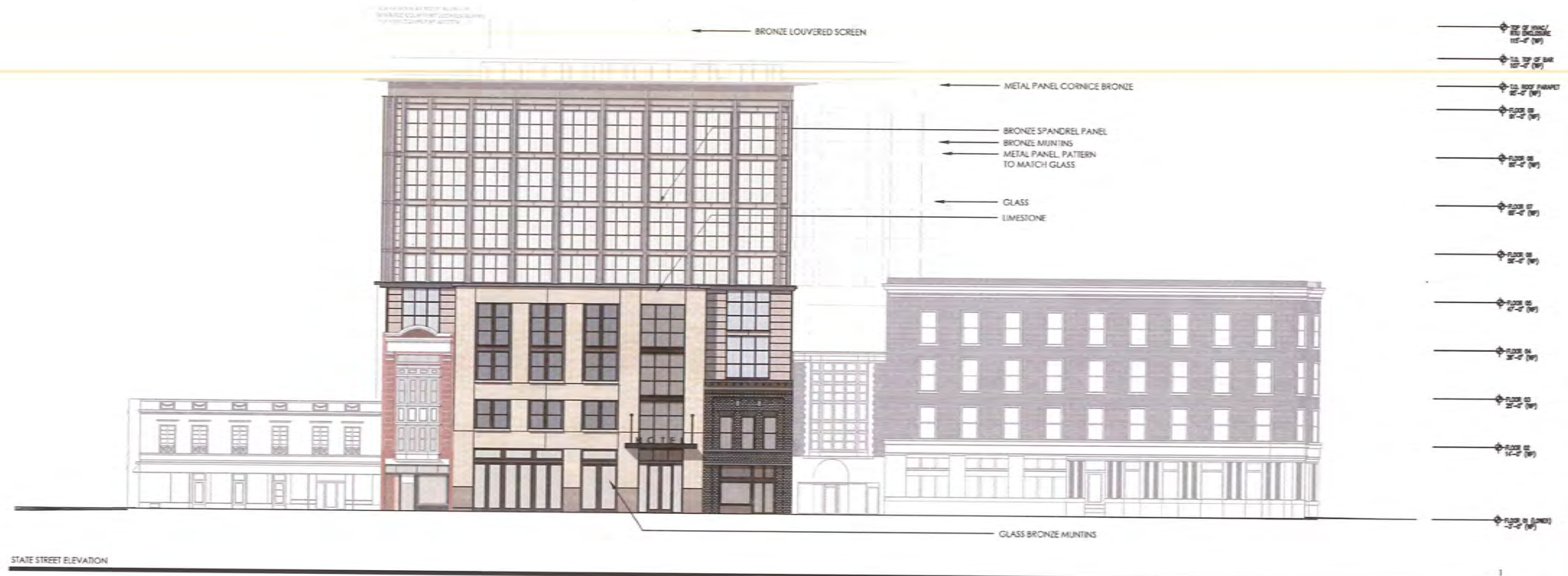
SHEET TITLE:
FIRE ACCESS PLAN

PROJECT # 896
C600

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CONSULTANTS:

CONSULTANTS:		

1	ISSUED FOR PLANNING	06/20/18
#	REVISION / ISSUE	DATE

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SHEET TITLE:
 EXTERIOR ELEVATIONS

PROJECT # 1801
A-9.0
 1/16" = 1'-0"