



SUBDIVISION APPLICATION

Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
 PO Box 2985; Madison, Wisconsin 53701-2985
 Phone: 608.266.4635 | Facsimile: 608.267.8739

**** Please read both pages of the application completely and fill in all required fields****

This application form may also be completed online at www.cityofmadison.com/planning/plan.html

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, of if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.

1a. Application Type.

Preliminary Subdivision Plat Final Subdivision Plat Land-Division/Certified Survey Map (CSM)

If a Plat, Proposed Subdivision Name: _____

1b. Review Fees. Make checks payable to "City Treasurer." Note: New fees effective May 2012 (!)

- For Preliminary and/or Final Plats, an application fee of \$250, plus \$50 per lot or outlot contained on the plat.
- For Certified Survey Maps, an application fee of \$250 plus \$200 per lot and outlot contained on the CSM.

2. Applicant Information.

Name of Property Owner: Stone House Development Inc. Representative, if any: Richard Arnesen
 Street Address: 625 N. Segoe Road, Suite 107 City/State: Madison, WI Zip: 53705
 Telephone: (608) 251-6000 Fax: () Email: rarnesen@stonehousedevelopment.com
 Firm Preparing Survey: Vierbicher Associates, Inc Contact: Michael S. Marty
 Street Address: 999 Fourier Drive, Suite 201 City/State: Madison, WI Zip: 53717
 Telephone: (608) 821-3955 Fax: (608) 826-0530 Email: mmar@vierbicher.com

Check only ONE – ALL Correspondence on this application should be sent to: Property Owner, OR Survey Firm

3a. Project Information.

Parcel Addresses (note town if located outside City): 1002 & 1028 E. Washington Ave; 1031 E Mifflin St;
 Tax Parcel Number(s): 0709-131-1610-3; 0709-131-1615-3; 0709-131-1617-9;
 Zoning District(s) of Proposed Lots: TE School District: Madison

→ Please provide a Legal Description on your CSM or plat. Note your development schedule in your Letter of Intent.

3b. For Properties Located Outside the Madison City Limits in the City's Extraterritorial Jurisdiction:

Date of Approval by Dane County: _____ Date of Approval by Town: _____

→ For an extraterritorial request to be scheduled, approval letters from both the Town and Dane County must be submitted.

4. Subdivision Contents and Description. Complete table as it pertains to your request; do not complete gray areas.

Land Use	Lots	Outlots	Acres
Residential			
Retail/Office			
Industrial			
Other (state use):	3		4.28
Res./Retail/Office			

Land Use	Lots	Outlot	Acres
Outlots Dedicated to the Public (Parks, Stormwater, etc.)			
Outlots Maintained by a Private Group or Association			
PROJECT TOTALS			

OVER →

5. **Required Submittals.** Your application is required to include the following (check all that apply):

- Map Copies** (prepared by a Registered Land Surveyor):
 - For Preliminary Plats, **eighteen (18) copies** of the drawing drawn to scale are required. The drawing is required to provide all information as set forth in Section 16.23 (7)(a) of the Madison General Ordinances. The drawings shall include, but are not limited to, a description of existing site conditions and natural features, delineation of all public and private utilities that serve the site (denote field located versus record drawings), the general layout of the proposed subdivision, the dimensions of lots and outlots, widths of existing and proposed rights of way, topographic information, and any other information necessary for the review of the proposed subdivision.
 - For Final Plats, **sixteen (16) copies** of the drawing are required to be submitted. The final plat shall be drawn to the specifications of Section 236.20 of the Wisconsin Statutes.
 - For Certified Survey Maps (CSM), **sixteen (16) copies** of the drawing are required. The drawings shall include all of the information set forth in Sections 16.23(7)(a)&(d) of the Madison General Ordinances, including existing site conditions, the nature of the proposed division and any other necessary data. Utility data (field located or from utility maps) may be provided on a separate map submitted with application.
 - All surveys submitted with this application are required to be collated, stapled and folded so as to fit within an 8 1/2" X 14" folder. An **8-1/2 X 11-inch reduction of each sheet** shall also be submitted.
- Letter of Intent: Twelve (12) copies** of a letter describing the proposed subdivision in detail including, but not limited to: the number and type/ use of lots proposed with this subdivision; existing conditions and uses of the property; development and phasing schedule for the project, and; the names of persons involved (contractor, architect, landscaper, business manager, etc.). ***The letter of intent for a subdivision can be the same document as the letter of intent required for a concurrent Land Use Application for the same property. **A letter of intent is not required for Subdivision Applications for lot combinations or split duplexes.**
- Report of Title and Supporting Documents:** All plats and certified surveys submitted for approval shall include a Report of Title satisfactory to the Office of Real Estate Services as required in Section 16.23 of the Madison General Ordinances. A minimum of **two (2) copies** of a City of Madison standard 60-year Report of Title shall be obtained from a title insurance company. **Title insurance or a title commitment policy is NOT acceptable** (i.e. a Preliminary Title Report or a Record Information Certificate). The applicant shall submit a copy of all documents listed in the Report of Title for each copy of the report submitted.
- For any plat or CSM creating common areas to be maintained by private association: Two (2) copies** of proposed development restrictions and covenants shall be submitted for City approval prior to recording of the survey instrument.
- For Surveys Outside the Madison City Limits:** A copy of the approval letters from both the Town where the property is located and Dane County must be submitted with your request. The City of Madison may not consider a survey within its extraterritorial jurisdiction without prior approval **Town and Dane County**.
- For Surveys Conveying Land to the Public:** A Phase I Environmental Site Assessment Report may be required if any interest in these lands are to be conveyed to the public. Please contact the City's Office of Real Estate Services at 266-4222 for a determination as soon as possible.
- Electronic Application Submittal:** All applicants are required to submit a copy of this completed application form, and preliminary and/or final plats or Certified Survey Map as individual Adobe Acrobat PDF files compiled either on a non-returnable CD-ROM to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The transmittal shall include the name of the project and applicant.

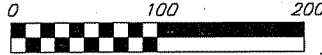
6. **Applicant Declarations:**

The signer attests that the application has been completed accurately and all required materials have been submitted:

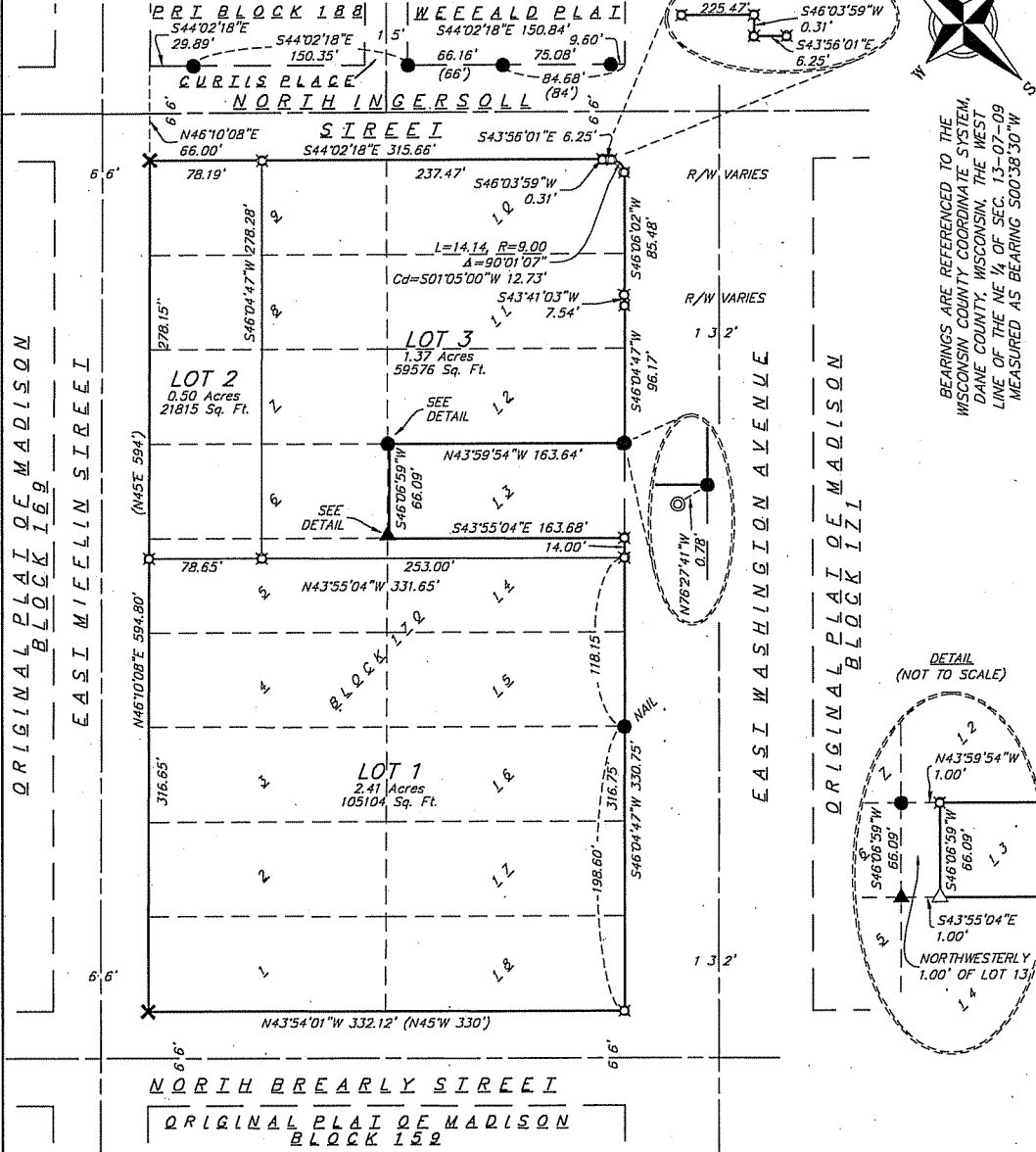
Applicant's Printed Name Michael S. Marty Signature Michael S. Marty
Date October 15, 2015 Interest In Property On This Date Surveyor

CERTIFIED SURVEY MAP No.

LOTS 1-9, PART OF LOTS 10 & 11, LOT 12, PART OF LOT 13, AND LOTS 14-18, ALL IN BLOCK 170, ORIGINAL PLAT OF MADISON, LOCATED IN THE SW 1/4 - NE 1/4 OF SECTION 13, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.



SCALE: 1" = 100'



NOTES:

1. SEE SHEET 2 FOR SECTION MONUMENT TIES AND LEGEND.
2. SEE SHEET 3 EXISTING EASEMENT AND BUILDING DETAIL.
3. SEE SHEET 4 FOR ADDITIONAL NOTES.

vierbicher
planners | engineers | advisors



REEDSBURG - MADISON - PRAIRIE DU CHIEN
999 Fouquier Drive, Suite 201 Madison, Wisconsin 53717
Phone: (608) 826-0532 Fax: (608) 826-0530

FN: 140156
DATE: 10/15/2015
REV:
Drafted By: MMAR
Checked By: MZIE

SURVEYED FOR:
Stone House
Development Corp.
P.O. Box 5308
Madison, WI 53705

C.S.M. No. _____
Doc. No. _____
Vol. _____ Page _____

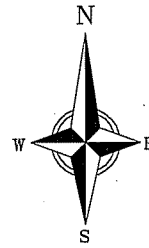
SHEET
1 OF 6

15 Oct 2015 - 128p Mt\Stone House Development\140156_Madison Dairy Practice Co file [E Washington Ave]\CADD\140156_CSM.dwg By: mmr

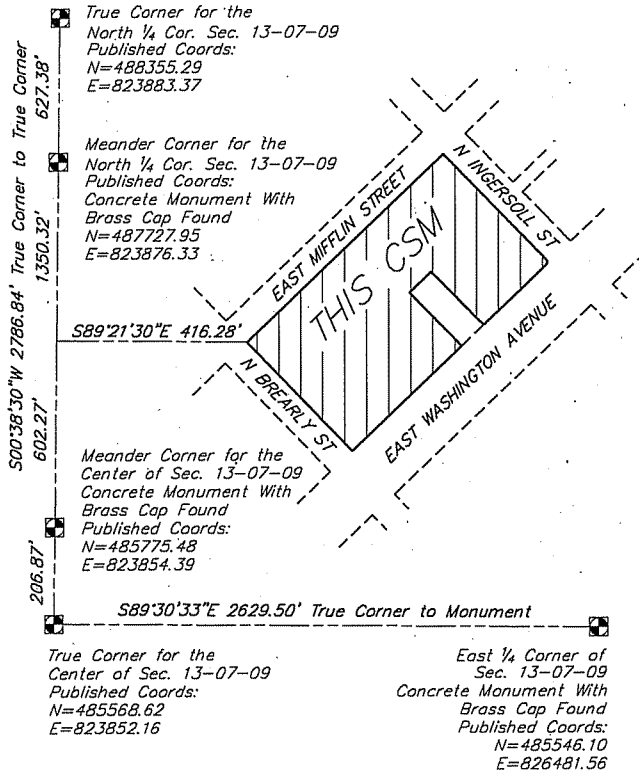
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SECTION CORNER TIE DETAIL (Detail not to Scale)



BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, WISCONSIN, THE WEST LINE OF THE NE 1/4 OF SEC. 13-07-09 MEASURED AS BEARING 500°38'30"W



SURVEY LEGEND

- ✕ CHISELED "X" FOUND
- ▲ PK NAIL FOUND
- ⊙ 1" IRON PIPE FOUND
- △ PK NAIL SET
- 3/4" SOLID IRON RE-ROD FOUND
- ⊠ SET 3/4"x18" SOLID IRON RE-ROD MIN. WT. 1.50 lbs./ft.
- () INDICATES RECORDED AS DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT

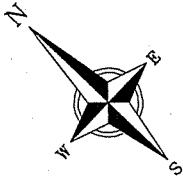
15 Oct 2015 - 1:28p M:\Stone House Development\140156_Madison Dairy Produce Co file (E Washington Ave)\CADD\140156_CSM.dwg by: mmr

vierbicher planners engineers advisors REEDSBURG - MADISON - PRAIRIE DU CHIEN 999 Fourier Drive, Suite 201 Madison, Wisconsin 53717 Phone: (608) 826-8532 Fax: (608) 826-8530		FN: 140156 DATE: 10/15/2015	SURVEYED FOR: Stone House Development Corp. P.O. Box 5308 Madison, WI 53705	C.S.M. No. _____ Doc. No. _____ Vol. _____ Page _____	SHEET 2 OF 6
		REV: Drafted By: MMAR Checked By: MZIE			

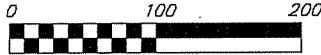
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CERTIFIED SURVEY MAP No.

LOTS 1-9, PART OF LOTS 10 & 11, LOT 12, PART OF LOT 13, AND LOTS 14-18, ALL IN BLOCK 170, ORIGINAL PLAT OF MADISON, LOCATED IN THE SW 1/4 - NE 1/4 OF SECTION 13, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.



BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, WISCONSIN. THE WEST LINE OF THE NE 1/4 OF SEC. 13-07-09 MEASURED AS BEARING S00°38'30"W



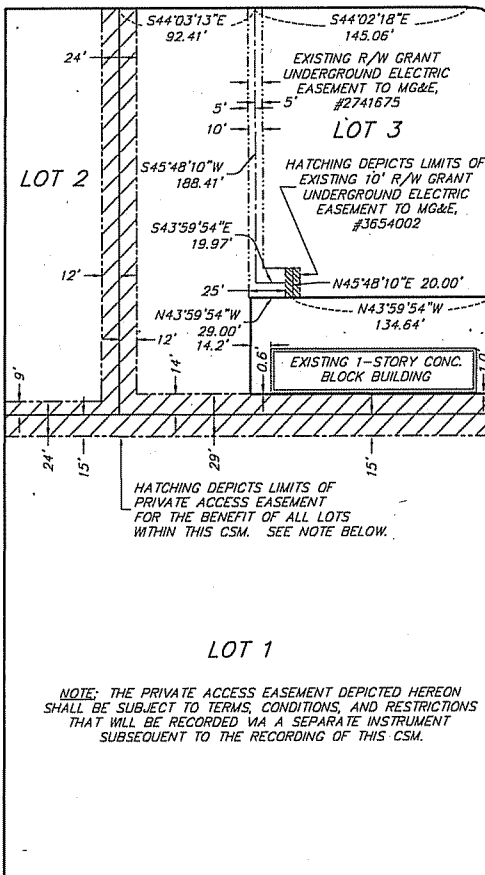
SCALE: 1" = 100'

EXISTING EASEMENT DETAIL

PRI BLOCK 188 | WEEEALD PLAI

CURIS PLAGE
NORTH INGERSOLL STREET

ORIGINAL PLAT OF MADISON
BLOCK 169
EAST WHEELIN STREET



EAST WASHINGTON AVENUE
ORIGINAL PLAT OF MADISON
BLOCK 171

NORTH BREARLY STREET

ORIGINAL PLAT OF MADISON
BLOCK 159

NOTE: THE PRIVATE ACCESS EASEMENT DEPICTED HEREON SHALL BE SUBJECT TO TERMS, CONDITIONS, AND RESTRICTIONS THAT WILL BE RECORDED VIA A SEPARATE INSTRUMENT SUBSEQUENT TO THE RECORDING OF THIS CSM.

15 Oct 2015 - 1:29p M:\Stone House Development\140156_Madison Dairy Produce Co Site (E Washington Ave)\CADD\140156_CSM.dwg by: mmar

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planners | engineers | advisors



REEDSBURG - MADISON - PRAIRIE DU CHIEN
999 Fouler Drive, Suite 201 Madison, Wisconsin 53717
Phone: (608) 826-0532 Fax: (608) 826-0530

FN: 140156
DATE: 10/15/2015
REV:
Drafted By: MMAR
Checked By: MZIE

SURVEYED FOR:
Stone House
Development Corp.
P.O. Box 5308
Madison, WI 53705

C.S.M. No. _____
Doc. No. _____
Vol. _____ Page _____

SHEET
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CERTIFIED SURVEY MAP No. _____

LOTS 1-9, PART OF LOTS 10 & 11, LOT 12, PART OF LOT 13, AND LOTS 14-18, ALL IN
BLOCK 170, ORIGINAL PLAT OF MADISON, LOCATED IN THE SW 1/4 - NE 1/4 OF SECTION 13,
TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

NOTES:

1. All lots created by this Certified Survey Map are individually responsible for compliance with Chapter 37 of the Madison General Ordinances in regard to storm water management at the time they develop.
2. No changes in drainage patterns associated with development on any or all lots within this CSM shall be allowed without prior approval of the City Engineer.
3. Distances are ground and are measured to the nearest hundredth of a foot (0.01').
4. Existing structures and improvements located within this Certified Survey Map that will be demolished or removed have not been shown.
5. Lots/buildings within this subdivision/development are subject to impact fees that are due and payable at the time building permit(s) are issued.
6. Lots within this CSM are inter-dependent upon one another for stormwater runoff conveyance. A stormwater easement agreement for the entire site shall be recorded subsequent to the recording of this CSM.
7. The Right of Way Grant Underground Electric Easement to Madison Gas and Electric Company recorded in Vol. 306 of Records, Page 198, as Document #1312685 has been released by Easement Release Document recorded as Document # _____, therefore easement has not been shown.
8. Lot 3 is subject to Right of Way Grant Underground Electric Easement to Madison Gas and Electric Company recorded as Document #2741675. See Sheet 3 for easement location.
9. Lot 3 is subject to Right of Way Grant Underground Electric Easement to Madison Gas and Electric Company recorded as Document #3654002. See Sheet 3 for easement location.
10. Lot 3 is subject to covenants and conditions to the City of Madison as set forth in Warranty Deed recorded as Document #3853677.
11. The Right of Way Grant Underground Electric Easement to Madison Gas and Electric Company recorded in Vol. 7009 of Records, Page 34, as Document #1888874 has been released by Easement Release Document recorded as Document # _____, therefore easement has not been shown.
11. The Right of Way Grant Underground Electric Easement to Madison Gas and Electric Company recorded in Vol. 14375 of Records, Page 5, as Document #2207812 has been released by Easement Release Document recorded as Document # _____, therefore easement has not been shown.
12. The Right of Way Grant Underground Electric Easement to Madison Gas and Electric Company recorded in Vol. 17476 of Records, Page 13, as Document #2311520 has been released by Easement Release Document recorded as Document # _____, therefore easement has not been shown.
13. Subject to Agreement permitting encroachment into public property recorded in Vol. 23682 of Records, Page 6, as Document #2493348. Amendment to Encroachment Agreement recorded as Document #3904958.

15 Oct 2015 - 1:29p M:\Stone House Development\140156_Madison Daily Produce Co Site (E-Washington Ave)\CADD\140156_CSM.dwg br:mmar

 <p style="font-size: small;">planners engineers advisors</p> <p style="font-size: x-small;">REEDSBURG - MADISON - PRAIRIE DU CHIEN 999 Foulier Drive, Suite 201 Madison, Wisconsin 53717 Phone: (608) 824-0532 Fax: (608) 824-0530</p>		FN: 140156	SURVEYED FOR:	C.S.M. No. _____	<p style="font-size: large; font-weight: bold;">SHEET</p> <p style="font-size: large; font-weight: bold;">4 OF 6</p>
		DATE: 10/15/2015	Stone House Development Corp. P.O. Box 5308 Madison, WI 53705	Doc. No. _____	
		REV:			Vol. _____ Page _____
		Drafted By: MMAR			
		Checked By: MZIE			

CERTIFIED SURVEY MAP No. _____

LOTS 1 -12, LOTS 14 - 18 AND PART OF LOT 13, BLOCK 170, ORIGINAL PLAT OF MADISON
AND LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 13,
TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

OWNER'S CERTIFICATE

_____ as owner(s), we hereby certify that we caused the land described on this Certified Survey Map to be surveyed, divided, mapped and dedicated as represented on the map hereon. We further certify that this Certified Survey map is required by S236.34 to be submitted to the City of Madison for approval. Witness the hand and seal of said owner this _____ day of _____, 2015.

By: _____

State of Wisconsin)
)ss.
County of Dane)

Personally came before me this _____ day of _____, 2015, the above named _____ to me known to be the persons who executed the foregoing instrument and acknowledged the same.

Notary Public, State of Wisconsin
My Commission expires: _____

CONSENT OF MORTGAGEE

_____, a banking association duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping, and dedicating of the land described on this Certified Survey Map and does hereby consent to the Owner's Certificate.

IN WITNESS WHEREOF, the said _____, has caused these presents to be signed by this _____ day of _____, 20____, its _____ at _____, Wisconsin, on _____

By: _____

State of Wisconsin)
)ss.
County of _____)

Personally came before me this _____ day of _____, 20____, _____ of the above named banking association, to me known to be the persons who executed the foregoing instrument, and to me known to be such _____ of said banking association, and acknowledged that they executed the foregoing instrument as such officer as the deed of said banking association, by its authority.



Notary Public, State of Wisconsin
My Commission expires: _____

CITY OF MADISON COMMON COUNCIL RESOLUTION

Resolved that the certified survey map located in the City of Madison was hereby approved by Enactment Number _____, File ID Number _____, adopted on the _____ day of _____, 20____, and that said enactment further provided for the acceptance of those lands dedicated and rights conveyed by said certified survey map to the City of Madison for public use.

Dated this _____ day of _____, 20____,

Maribeth Witzel-Behl, City Clerk, City of Madison

 planners engineers advisors REEDSBURG - MADISON - PRAIRIE DU CHIEN 999 Foulier Drive, Suite 201 Madison, Wisconsin 53717 Phone: (608) 826-0532 Fax: (608) 826-0530		FN: 140156 DATE: 10/15/2015 REV: Drafted By: MMAR Checked By: MZIE	SURVEYED FOR: Stone House Development Corp. P.O. Box 5308 Madison, WI 53705	C.S.M. No. _____ Doc. No. _____ Vol. _____ Page _____	SHEET 5 OF 6

15 Oct 2015 - 1:29p M:\Stone House Development\140156_Madison Daily Produce Co Site (E-Washington Ave)\CADD\140156_CSM.dwg by: mmar

CERTIFIED SURVEY MAP No. _____

LOTS 1 - 12, LOTS 14 - 18 AND PART OF LOT 13, BLOCK 170, ORIGINAL PLAT OF MADISON
AND LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 13,
TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE:

I, Michael S. Marty, Professional Land Surveyor No. 2452, hereby certify: That in full compliance with the provisions of Chapter 236.34 of the Wisconsin Statutes and the subdivision regulations of the City of Madison, and under the direction of _____, owner of said land, I have surveyed, divided and mapped this Certified Survey Map; that such Certified Survey Map correctly represents all exterior boundaries and the subdivision of the land surveyed; and that this land is described as Lots 1-9, part of Lots 10 & 11, Lot 12, part of Lot 13, and Lots 14-18, all in Block 170, Original Plat of Madison, located in the SW $\frac{1}{4}$ -NE $\frac{1}{4}$ of Section 13, Township 07 North, Range 09 East, City of Madison, Dane County, Wisconsin, more fully described as follows:

Commencing at the Meander corner for the North $\frac{1}{4}$ corner of said Section 13; thence S00°38'30"W along the West line of the NE $\frac{1}{4}$ of said Section 13, 1350.32 feet; thence S89°21'30"E, 416.28 feet to the westerly most corner of said Block 170 and the point of beginning; thence N46°10'08"E along the northwesterly line of said Block 170, 594.80 feet to the northerly most corner of said Block 170; thence S44°02'18"E along the northeasterly line of said Block 170, 315.66 feet to the northwesterly line of lands as described in Warranty Deed recorded as Document Number 3853677, Dane County Registry; thence along the northwesterly boundary of lands as described in said Warranty Deed for the next four (4) courses; 1-thence S46°03'59"W, 0.31 feet, (recorded as N46°07'13"E); 2- thence S43°56'01"E, 6.25 feet, (recorded as N43°52'47") to a point of curvature; 3-thence 14.14 feet along the arc of a curve to the right, through a central angle of 90°01'07", a radius of 9.00 feet, and a chord bearing S01°05'00"W, 12.73 feet, (recorded as N01°08'14"E); 4-thence S46°06'02"W, 85.48 feet, (recorded as N46°09'16"E) to the southeasterly line of said Block 170; thence S46°04'47"W along said southeasterly line of said Block 170, 96.17 feet to the easterly most corner of said Lot 13; thence N43°59'54"W along the northeasterly line of said Lot 13, 163.64 feet to a point of intersection with a line southeasterly of and 1.00 feet perpendicular measure to, the northwesterly line of said Lot 13; thence S46°06'59"W along a line parallel with, southeasterly of and 1.00 feet perpendicular measure to, said northwesterly line of Lot 13, 66.09 feet to a point of intersection with the southwesterly line of said Lot 13; thence S43°55'04"E along said southwesterly line of said Lot 13, 163.68 feet to the southeasterly line of said Block 170; thence S46°04'47"W along said southeasterly line of Block 170, 330.75 feet to the southerly most corner of said Block 170; thence N43°54'01"W along the southwesterly line of said Block 170, 332.12 feet to the point of beginning. Said description contains 186,512 square feet or 4.28 acres more or less.

Vierbicher Associates, Inc.
By: Michael S. Marty, P.L.S. No. 2452

Dated this _____ day of _____, 201_____

Signed: _____
Vierbicher Associates, Inc.
Michael S. Marty, P.L.S. No. 2452

CITY OF MADISON APPROVAL


Approved for recording per the Secretary of the City of Madison Plan Commission.

By: _____ Date: _____
Natalie Erdman,
Acting Secretary Plan Commission

REGISTER OF DEEDS CERTIFICATE

Received for recording this _____ day of _____, 20_____
at _____ o'clock _____m. and recorded in Volume _____ of Certified
Survey Maps on pages _____ as Doc. No. _____

Kristi Chlebowski,
Dane County Register of Deeds

 planners engineers advisors REEDSBURG - MADISON - PRAIRIE DU CHIEN 999 Fourier Drive, Suite 201 Madison, Wisconsin 53717 Phone: (608) 824-0532 Fax: (608) 824-0530	FN: 140156 DATE: 10/15/2015 REV: _____ Drafted By: MMAR Checked By: MZIE	SURVEYED FOR: Stone House Development Corp. P.O. Box 5308 Madison, WI 53705	C.S.M. No. _____ Doc. No. _____ Vol. _____ Page _____	SHEET 6 OF 6
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15 Oct 2015 - 1:27p M:\Stone House Development\140156_Madison Daily Produce Co Site (E-Washington Ave)\CADD\140156_CSM.dwg by: mmar

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