

## **Legal Description**

222 N. Charter Street

BROOKS' ADDITION TO MADISON, BLK 8, ALL OF LOT 7 LYING S OF A LINE DRAWN PARALLEL TO & 60 FT S OF S LINE OF JOHNSON ST & THAT PART OF LOT 6 DESC AS FOL - BEG ON COMMON LOT LINE BETW LOTS 6 & 7, 75.5 FT S OF S LINE OF JOHNSON ST, TH W 25 FT, TH S 46 FT TO RR R/W, TH S ELY ALG R/W TO LINE BETW LOTS 6 & 7, TH N ALG SD LINE TO POB.



# City of Madison Fire Department

30 West Mifflin Street, 8<sup>th</sup> & 9<sup>th</sup> Floors, Madison, WI 53703-2579

Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: [fire@cityofmadison.com](mailto:fire@cityofmadison.com)

**Project Address:** 222 N. Charter Street

**Contact Name & Phone #:** Duane Johnson 608-836-3690

## FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? <b>If non-sprinklered</b> , fire lanes extend to within 150-feet of all portions of the exterior wall? <b>If sprinklered</b> , fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A

*Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.*

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2012 Edition Chapter 5 and Appendix D**; please see the codes for further information.

**PD-Zoning Text**

222 N. Charter Street

September 19, 2018

Legal Description:

BROOKS' ADDITION TO MADISON, BLK 8, ALL OF LOT 7 LYING S OF A LI NE DRAWN PARA TO & 60 FT S OF S LINE OF JOHNSON ST & THAT PART OF LOT 6 DESC AS FOL - BEG ON COMMON LOT LINE BETW LOTS 6 & 7, 75.5 FT S OF S LINE OF JOHNSON ST , TH W 25 FT, TH S 46 FT TO RR R/W, TH S ELY ALG R/W TO LINE BETW LOTS 6 & 7, TH N ALG SD LINE TO POB.

A. Statement of Purpose: This zoning district is established to allow for the construction of a student housing building with 43 units.

B. Permitted Uses: Following are permitted uses:

1. Multifamily residential uses as shown on approved plans.
2. Accessory uses including but not limited to:
  - a. Accessory uses directly associated with those permitted uses including parking for residents and guests.
  - b. Temporary buildings for storage of building materials and equipment for construction purposes when on the same lot as a principle use for a period not to exceed the duration of such construction.

C. Lot Area: As shown on the approved plans.

D. Height Regulations: As shown on the approved plans.

E. Yard Regulations: As shown on the approved plans.

F. Landscaping: Site Landscaping will be provided as shown on the approved plans.

G. Usable Open Space Requirements: Usable open space will be provided as shown on the approved plans.

H. Parking & Loading: Off-street parking and loading shall be provided as shown on the approved plans.

I. Family Definition: The family definition shall coincide with the definition given in M.G.O. for the TR-UI zoning district.

J. Signage: As affirmed in MGO Sec. 31.13(4)(a), the Zoning Administrator has determined that signage will be allowed as per Chapter 31 of the Madison General Ordinances, as compared to the TR-UI (Traditional Residential Urban District I) zoning district.

K. Alterations and Revisions: Alterations shall only be approved according to MGO Sec. 28.098(6). Requests to alter a Planned Development District shall be made to the Director of Planning and Community and Economic Development. Upon receipt of the request, the Director shall determine if the request constitutes a major or minor alteration to the Planned Development District. The Director may refer any request for alteration to the Urban Design Commission for an advisory recommendation.

## HALO LED ICAT SHALLOW HOUSING for NEW CONSTRUCTION

The H2750ICAT is a dedicated LED new construction housing for use in shallow ceilings where 2x6 joist construction is used. The H2750ICAT is designed to fit in shallow insulated ceilings and can be in direct contact with ceiling insulation\*. This AIR-TITE housing design prevents airflow between conditioned and unconditioned spaces for savings on both heating and air conditioning costs. The LED connector system provides high efficacy code compliance when used with designated HALO LED modules and trims.

### DESIGN FEATURES

#### Housings

- Aluminum housing for greater heat dissipation. H2750ICAT housing is gasketed to prevent airflow from heated or air conditioned spaces

#### Plaster Frame

- Galvanized steel frame. Housing adjusts in plaster frame to accommodate up to 1-3/8" ceiling thickness.
- Regressed locking screw for securing hanger bars.
- Cutouts included for easily crimping hanger bars in position.

#### Slide-N-Side™ Junction Box

- Positioned to accommodate straight conduit runs.
- Seven 1/2" trade size conduit knockouts with true pry-out slots.
- Slide-N-Side wire traps allow non metallic sheathed cable to be installed without tools and without removing knockouts.
- Allows wiring connections to be made outside the box.
- Simply insert the cable directly into the trap after connections are made.
- Accommodates the following standard non-metallic sheathed cable type:
  - U.S. #14/2, #14/3, #12/2, #12/3
  - Canada: #14/2, #14/3, #12/2

#### GOT NAIL! Pass -N-Thru™ Bar Hangers

Bar Hanger features include

- Pre-installed nail easily installs in regular lumber, engineered lumber and laminated beams.
- Safety and Guidance system prevents snagging, ensures smooth, straight nail penetration and allows bar hangers to be easily removed if necessary
- Automatic leveling flange aligns the housing and allows holding the housing in place with one hand while driving nails.
- Housing can be positioned at any point within 24" joist spans
- Score lines allow tool-free shortening for 12" joists and bar hangers do not need to be removed for shortening.
- Bar hangers may be repositioned 90° on plaster frame
- Integral T-bar clip snaps onto T-bars – no additional clips are required.

#### LED Module Connection

Halo shallow LED modules simply install with a plug-in 120V/277V rated line voltage wiring connector (UL and CSA Listed Luminaire Disconnect).

This non-screw-base connection preserves the high efficacy rating and prevents use of low efficacy incandescent sources (see LED Module specifications).

Catalog #	<b>H2750ICAT/5609930/691WB</b>	Type	
Project			<b>A</b>
Comments	<b>FRONT MAIN ENTRY EXTERIOR</b>	Date	
Prepared by			

#### Caution

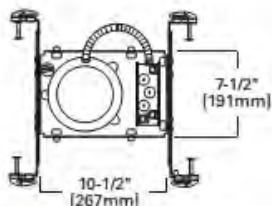
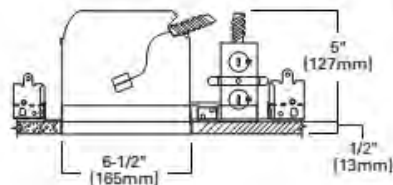
LED connection is rated for 120V and 277V input. Installer must verify LED module voltage is compatible with the applicable voltage input. If uncertain, consult a qualified electrician.

#### Labels

- UL/cUL Listed 1598 Luminaire
- CE Marking - "Conformité Européene" conformity with the Council of European Communities Directives, meeting internationally recognized compliance when used with ML56 Series LED modules
- UL/cUL Listed for Feed Through
- UL/cUL Listed for Damp Location
- UL/cUL Listed for Wet Location with select trims
- UL/cUL Listed for direct contact with insulation and combustible material\*
- Rated for 20W maximum

#### Qualification

- May be used with qualified Halo LED modules and designated trims for High Efficacy Luminaire Compliance:
- State of California Title 24
  - International Energy Conservation Code (IECC)
  - Washington State Energy Code
  - New York State Energy Conservation Construction Code - AIR-TITE™ Compliant
  - Certified under ASTM-E283 standard for air-tight construction



## H2750ICAT

**6" New Construction IC AIR-TITE™ Housing For Designated Halo LED Modules and Trims**

- RA56 Series
- RL56 Series
- ML56 Series

High Efficacy LED Housing

FOR USE IN INSULATED CEILINGS

FOR DIRECT CONTACT WITH INSULATION\*

FOR USE IN SHALLOW CEILINGS



Qualified and compliant with select trims. Refer to ENERGY STAR® Qualified Products List and CEC (T24) Appliance Database for listings.

## ORDERING INFORMATION - RL56 SERIES

SAMPLE NUMBER: H2750ICAT - RL560WH6927

Order housing, light module, trim and separately.

Housing	RL56 Series - Compatible LED Retrofit Modules
H2750ICAT= 6" Dedicated LED Insulated Ceiling, AIR-TITE New Construction Housing for Shallow Ceilings	<p><b>80 CRI</b></p> <p>RL560WH6827= 5" / 6" Retrofit Baffle - Trim LED Module, 80CRI, 2700K, Matte White            RL560SN6827= 5" / 6" Retrofit Baffle - Trim LED Module, 80CRI, 2700K, Satin Nickel            RL560WH6830= 5" / 6" Retrofit Baffle - Trim LED Module, 80CRI, 3000K, Matte White            RL560SN6830= 5" / 6" Retrofit Baffle - Trim LED Module, 80CRI, 3000K, Satin Nickel            RL560WH6835= 5" / 6" Retrofit Baffle - Trim LED Module, 80CRI, 3500K, Matte White</p> <p><b>90 CRI</b></p> <p>RL560WH6927= 5" / 6" Retrofit Baffle - Trim LED Module, 90CRI, 2700K, Matte White            RL560SN6927= 5" / 6" Retrofit Baffle - Trim LED Module, 90CRI, 2700K, Satin Nickel            RL560WH6930= 5" / 6" Retrofit Baffle - Trim LED Module, 90CRI, 3000K, Matte White            RL560SN6930= 5" / 6" Retrofit Baffle - Trim LED Module, 90CRI, 3000K, Satin Nickel            RL560WH6935= 5" / 6" Retrofit Baffle - Trim LED Module, 90CRI, 3500K, Matte White</p>

## ORDERING INFORMATION - RA56 SERIES

SAMPLE NUMBER: H2750ICAT - RA5606927WH

Order housing, light module, trim and separately.

Housing	RA56 Series - Compatible LED Retrofit Modules
H2750ICAT= 6" Dedicated LED Insulated Ceiling, AIR-TITE New Construction Housing for Shallow Ceilings	<p><b>Very Wide Flood - VWFL Models</b></p> <p>RA5606927WH= 5" / 6" LED Adjustable Gimbal, 90CRI, 2700K, White, Very Wide Flood            RA5606930WH= 5" / 6" LED Adjustable Gimbal, 90CRI, 3000K, White, Very Wide Flood</p> <p><b>Narrow Flood - NFL Models</b></p> <p>RA5606927NFLWH= 5" / 6" LED Adjustable Gimbal, 90CRI, 2700K, White, Narrow Flood            RA5606930NFLWH= 5" / 6" LED Adjustable Gimbal, 90CRI, 3000K, White, Narrow Flood</p>

## ORDERING INFORMATION - ML56 SERIES

SAMPLE NUMBER: H2750ICAT - ML5606830 - 696WB

Order housing, light module, trim and separately.

Housing	ML56 LED Light Modules	ML56 LED Trims	ML56 System Accessories
H2750ICAT= 6" Dedicated LED Insulated Ceiling, AIR-TITE New Construction Housing for Shallow Ceilings	<p><b>600 Series / 80 CRI</b></p> <p>ML5606827= 5" / 6" LED Retrofit Downlight Light Module, 600 lumen, 80CRI, 2700K            ML5606830= 5" / 6" LED Retrofit Downlight Light Module, 600 lumen, 80CRI, 3000K            ML5606835= 5" / 6" LED Retrofit Downlight Light Module, 600 lumen, 80CRI, 3500K            ML5606840= 5" / 6" LED Retrofit Downlight Light Module, 600 lumen, 80CRI, 4000K</p> <p><b>600 Series / 90 CRI</b></p> <p>ML5606927= 5" / 6" LED Retrofit Downlight Light Module, 600 lumen, 90CRI, 2700K            ML5606930= 5" / 6" LED Retrofit Downlight Light Module, 600 lumen, 90CRI, 3000K            ML5606935= 5" / 6" LED Retrofit Downlight Light Module, 600 lumen, 90CRI, 3500K            ML5606940= 5" / 6" LED Retrofit Downlight Light Module, 600 lumen, 90CRI, 4000K</p> <p><b>900 Series / 80 CRI</b></p> <p>ML5609827= 5" / 6" LED Retrofit Downlight Light Module, 900 lumen, 80CRI, 2700K            ML5609830= 5" / 6" LED Retrofit Downlight Light Module, 900 lumen, 80CRI, 3000K            ML5609835= 5" / 6" LED Retrofit Downlight Light Module, 900 lumen, 80CRI, 3500K            ML5609840= 5" / 6" LED Retrofit Downlight Light Module, 900 lumen, 80CRI, 4000K</p> <p><b>900 Series / 90 CRI</b></p> <p>ML5609927= 5" / 6" LED Retrofit Downlight Light Module, 900 lumen, 90CRI, 2700K  <b>ML5609930= 5" / 6" LED Retrofit Downlight Light Module, 900 lumen, 90CRI, 3000K</b>            ML5609935= 5" / 6" LED Retrofit Downlight Light Module, 900 lumen, 90CRI, 3500K            ML5609940= 5" / 6" LED Retrofit Downlight Light Module, 900 lumen, 90CRI, 4000K</p> <p><b>1200 Series / 80 CRI</b></p> <p>ML5612827= 5" / 6" LED Light Module, 1200 lumen, 80CRI, 2700K            ML5612830= 5" / 6" LED Light Module, 1200 lumen, 80CRI, 3000K            ML5612835= 5" / 6" LED Light Module, 1200 lumen, 80CRI, 3500K            ML5612840= 5" / 6" LED Light Module, 1200 lumen, 80CRI, 4000K</p> <p><b>1200 Series / 90 CRI</b></p> <p>ML5612927= 5" / 6" LED Light Module, 1200 lumen, 90CRI, 2700K            ML5612930= 5" / 6" LED Light Module, 1200 lumen, 90CRI, 3000K            ML5612935= 5" / 6" LED Light Module, 1200 lumen, 90CRI, 3500K            ML5612940= 5" / 6" LED Light Module, 1200 lumen, 90CRI, 4000K</p>	<p><b>690 Series - 6" LED Trims</b></p> <p><b>Non-Conductive "Dead Front" Baffles</b></p> <p>691WB=6" LED Trim, Polymer "Dead-Front", Shallow White Baffle &amp; Flange (For use with 600 Series LED Light Modules only)</p> <p><b>Semi-Regressed Eyeballs</b></p> <p>694WB=6" LED Directional Trim, White Eyeball, Baffle &amp; Flange            694SNB=6" LED Directional Trim, Satin Nickel Eyeball, Baffle &amp; Flange            694TBZB=6" LED Directional Trim, Tuscan Bronze Eyeball, Baffle &amp; Flange</p> <p><b>Shallow Baffle</b></p> <p>696WB=6" LED Trim, White Shallow Baffle &amp; Flange</p>	<p><b>ML56CLIP=</b> 6" Friction Clip Kit - For use with non-torsion spring housings. 6" clips included.</p> <p><b>WW6955C=</b> Wall Wash Insert - Specular Kick Reflector for 695WW (1 included with trim). For double wall washing or replacement.</p> <p><b>TRM690WH=</b> 6" LED Oversize Trim Ring for use with 59" series trims, White 6.9" I.D., 9.5" O.D. Ring slips over LED trim. Inset design allows 6" trim to fit into oversize ring for an even trim surface</p> <p><b>EBA560PK=</b> Replacement screwbase adapter to LED disconnect with cap</p> <p><b>ML56-1200 Series Beam Forming Optic Media</b></p> <p><b>BFR56NFL=</b>Beam forming reflector kit, narrow flood, 25" nominal</p> <p><b>BFR56MH=</b>Media holder, accepts one 3.45" lens. Requires BFR56NFL &amp; L345SF, order separately.</p> <p><b>L345SF=</b>3.45" diameter soft focus lens. Requires BFR56NFL and BFR56MH, order separately.</p>

Solited® is a registered trademark of AGC Flat Glass North America.

Catalog Number
Notes
Type

## FEATURES & SPECIFICATIONS

### INTENDED USE

Provides years of maintenance-free illumination for outdoor use in residential & commercial applications. Ideal for applications such as lighting walkways and stairways.

### CONSTRUCTION

Cast-aluminum housing with corrosion-resistant paint in either dark bronze or white finish.

ADA compliant.

### OPTICS

4000K CCT LEDs.

Polycarbonate lens protects the LED from moisture, dirt and other contaminants.

**LUMEN MAINTENANCE:** The LED will deliver 70% of its initial lumens at 50,000 hour average LED life. See Lighting Facts label on page 2 for performance details.

### ELECTRICAL

MVOLT driver operates on any line voltage from 120-277V.

Operating temperature -30°C to 40°C.

1KV surge protection standard.

### INSTALLATION

Surface mount to universal junction box (provided by others).

### LISTINGS

UL Listed to U.S. and Canadian safety standards for wet locations.

Tested in accordance with IESNA LM-79 and LM-80 standards.

### WARRANTY

Five-year limited warranty.

Full warranty terms located at [www.AcuityBrands.com/CustomerResources/Terms\\_and\\_Conditions.aspx](http://www.AcuityBrands.com/CustomerResources/Terms_and_Conditions.aspx).

Note: Specifications are subject to change without notice.

Actual performance may differ as a result of end-user environment and application.

Outdoor General Purpose

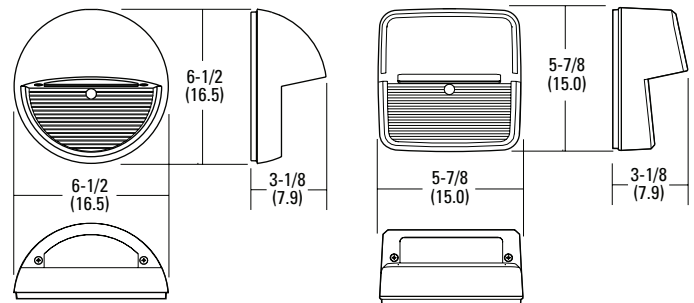
# OLSR & OLSS

LED STEP LIGHT



### Specifications

All dimensions are inches (centimeters)



### ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

**Example:** OLSS DDB

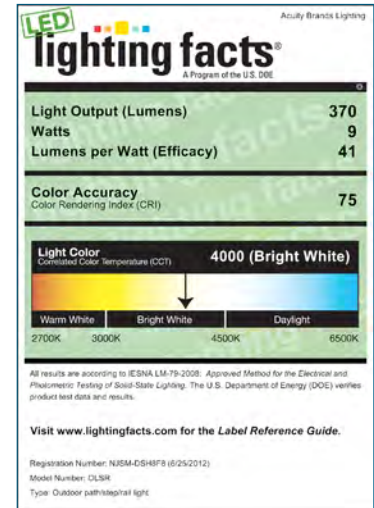
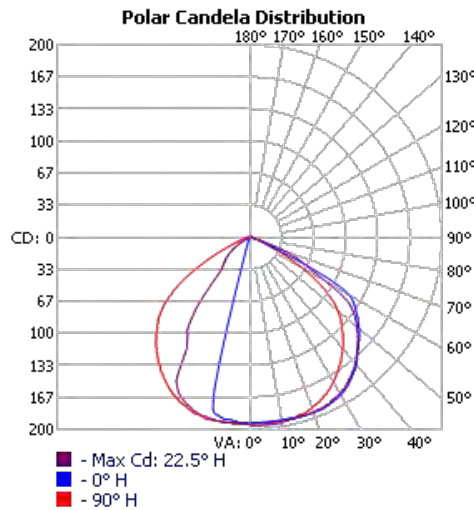
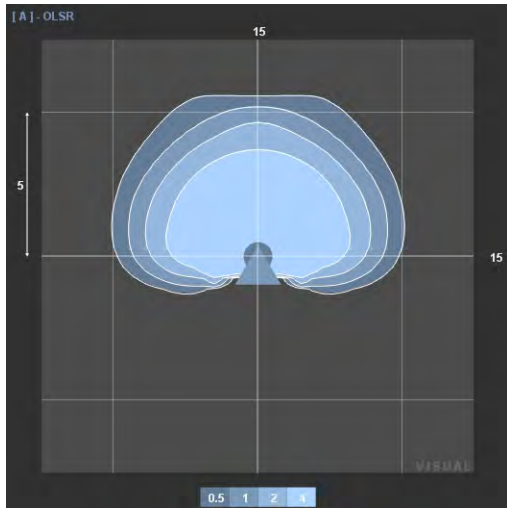
Series	Color temperature (CCT)	Voltage	Finish
OLSR Step light round	(blank) 4000K	(blank) MVOLT (120V-277V)	DDB Dark bronze
OLSS Step light square			WH White

# OLSR & OLSS LED Step Light

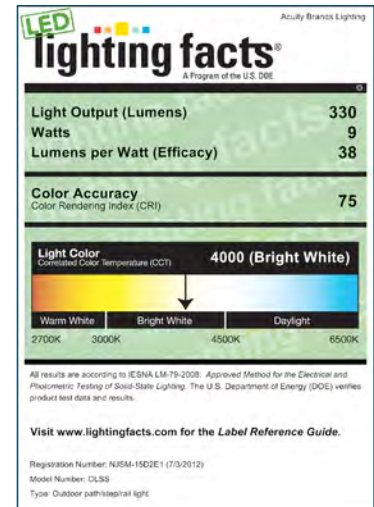
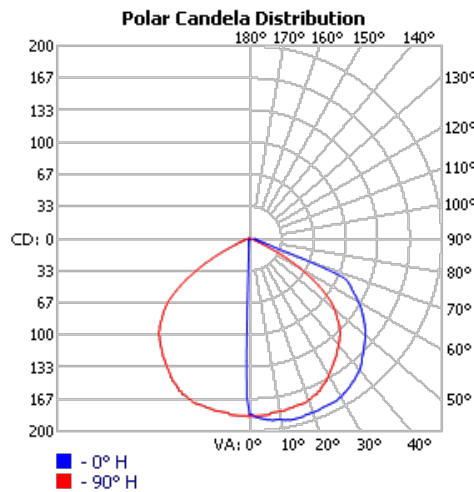
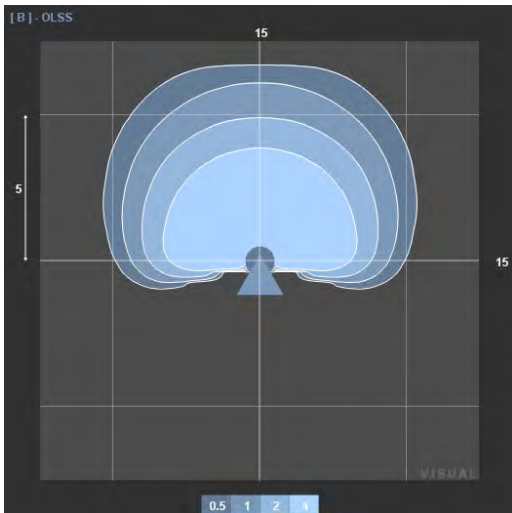
## PHOTOMETRICS

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's Outdoor LED homepage  
 Tested in accordance with IESNA LM-79 and LM-80 standards.

## OLSR



## OLSS





Natural Function  
Natural Beauty



Patented in the U.S.  
and Canada

FULLY-GROWN INVISIBLE  
MODULAR GREEN ROOF SYSTEM

*"The Hybrid System"*

SIMPLE

EFFECTIVE

ATTRACTIVE

Jon Olson • 616-935-1983 • 800-875-1392 • Jono@liveroof.com





**Sedum kamtschaticum**

(see-dum kam-chat-i-kum)

Kamchatka Sedum

Zone 3

**Evergreen**



1"-2"; full sun to moderate shade. From Siberia and super cold hardy, Kamchatka sedum displays rich green evergreen foliage that takes on purplish hues in wintertime.

Carried upon sprawling stems, the leaves make an excellent backdrop to the early summerborne, brilliant yellow, star shaped flowers. Heat and drought tolerant and requiring of little maintenance.



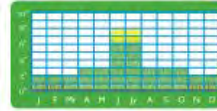
**Sedum reflexum GreenGlow®**

(see-dum re-fleks-um) Patent # 23323

Sedum GreenGlow®

Zone 3

**Evergreen**



3"-4"; 6"-8" in bloom, full sun to light shade. GreenGlow® straddles the spectrum between green and yellow. More chartreuse than green, it tends to glow and gives off an iridescent green tone to its lovely sprucelike evergreen foliage. The foliage texture and the height of its flower stalks help to make

this plant unique and will bring contrast to the roofscape.



**Sedum spurium 'John Creech'**

(see-dum spew-ree-um)

'John Creech' Sedum

Zone 3

**Semi-Evergreen**



1"-2" in bloom; full sun to light shade. Super dense growing, 'John Creech' smothers the ground with its compact habit of succulent medium green semi-evergreen foliage.

Flowering mid summer, 'John Creech' bears upright stems topped with clusters of pinkish-purple florets.



**Sedum spurium 'Pink Jewel'**

(see-dum spew-ree-um)

'Pink Jewel' Sedum

Zone 3

**Semi-Evergreen**



1 1/2"-2"; full sun to light shade. 'Pink Jewel' resembles 'Dragon's Blood' but with more compact, red-suffused foliage. Its summerborne flowers are a lovely clear pink.



**Sedum spurium 'Roseum'**

(see-dum spew-ree-um)

Pink Flowered Sedum

Zone 3

**Semi-Evergreen**



1"-2"; full sun to light shade. 'Roseum' is a very pleasing, drought and disease resistant selection with cheerful, clear, lime green semi-evergreen foliage. It fills the role of a sedum that is very "green" in color and thus is great for contrast with the dark red, blue, and purple members of the genus. 'Roseum' displays pink summerborne flowers, and in this case, they are a clear, soft, pastel pink and borne in relatively low numbers. The unique aspect of this is that the flowers and foliage complement each other and can be appreciated at the same time.



**Sedum spurium 'Tricolor'**

(see-dum spew-ree-um)

Tricolor Sedum

Zone 3

**Semi-Evergreen**



1"-2"; full sun to light shade. This cultivar is distinct for its variegated semi-evergreen foliage of pink, white, and green. Blooming during summer, its flowers are a soft pale pink. No doubt, it is one of the most colorfully foliaged of all LiveRoof plants and fantastic for infusing color highlights.

# LiveRoof<sup>®</sup> BRAND System Specifications

MODULE SIZE	<b>LiveRoof Standard:</b> 1' x 2' x 3-1/4" (soil height appx. 4.25") Soil fills soil elevator, plants and soil obscure module edges.
MODULE WEIGHT	<b>Standard:</b> 14 oz./sq. ft.
MATERIAL	100% recycled polypropylene (avg. 10% post-consumer, 90% post-industrial) 100 mil. thick walls.
WATER DISPERSAL	Approx. 10.0 gal. per min. per lineal foot. <i>Hi-Flow option available with standard and deep module.</i>
MODULE COLOR	Black or gray
WEIGHT VEGETATED (fully saturated)	<b>LiveRoof Standard:</b> approx. 27-29 lbs./SF
DRAINAGE	<a href="#">Positive drain holes</a> , at lowest point in module.
SOIL MEDIA	Proprietary <a href="#">LiveRoof specified engineered soil</a> , based upon German FLL granulometric specifications, 94+% by dry weight inorganic content for minimal shrinkage/decomposition. (92% in British Columbia). Dry weight approx. 60-65 lbs/cu.ft. May vary somewhat with local grower.
ACCEPTABLE PROTECTIVE UNDERLYING MATERIALS	Modules to be placed directly upon heavy duty (HDPE, Polypropylene, TPO, EPDM or recyclable PVC) slip sheet/root barrier of 40-60 mil. thickness with effectively bonded seams. This is placed as an additional protective barrier above roof waterproofing membrane and extended 3 inches vertically along parapet to ward against edge abrasion. This may also be glued to parapet if manufacturer approves.  Confirm suitability of waterproofing membrane with manufacturer. Alternatively low profile drain boards work well and manufacturers of cold fluid applied reinforced urethane membranes typically warrant their systems for use in conjunction with the LiveRoof <sup>®</sup> system.
IRRIGATION SYSTEM	<a href="#">Irrigation is recommended</a> for backup during prolonged hot, dry and windy weather patterns. Simple overhead system is inexpensive and effective insurance. <i>Irrigation requirements are dependent on plant selection, climate and roof design.</i>  In hot, humid or arid climates, irrigation systems should always be installed and used as needed given weather conditions. Similarly, irrigation systems are necessary on pitched green roofs and those in wind-challenged conditions, such as in coastal areas and on tall buildings.  If LiveRoof Lite system is used, irrigation will be essential in all climates.

If the Deep system is used and populated with non-succulents, irrigation is also essential.

EDGE  
TREATMENTS

Coengineered [RoofEdge®](#) aluminum edging with adequate drain perforations recommended. Any edging should allow for adequate drainage (extending to the bottom of the edging) with sidewalls tall enough to completely cover the modules and contain the soil.

PAVERS

Coengineered [LiveRoof RoofStone®](#) recommended.

WIND UPLIFT

Patent-pending [WindDisc™](#) method for improving wind uplift resistance is recommended for green roofs subject to high wind conditions.

PLANTS

Drought-tolerant, hardy RoofTop Proven™ plants recommended. Consult the [Licensed Grower](#) in your region for specific recommendations.

CONVEYANCE  
METHOD

Prevegetated modules to be delivered by [Hoppit®](#) or other appropriately engineered conveyance device.

## PART 1: GENERAL

### 1.1. SCOPE

Provide equipment, materials, tools, and labor to install vegetated roofing modules. Modules to include growth media and plants. This work shall also include edge treatments, custom shaping of modules, and installing paver stones or ballast, slip sheet/root barrier and irrigation system, if specified.

### 1.2 SUBMITTALS

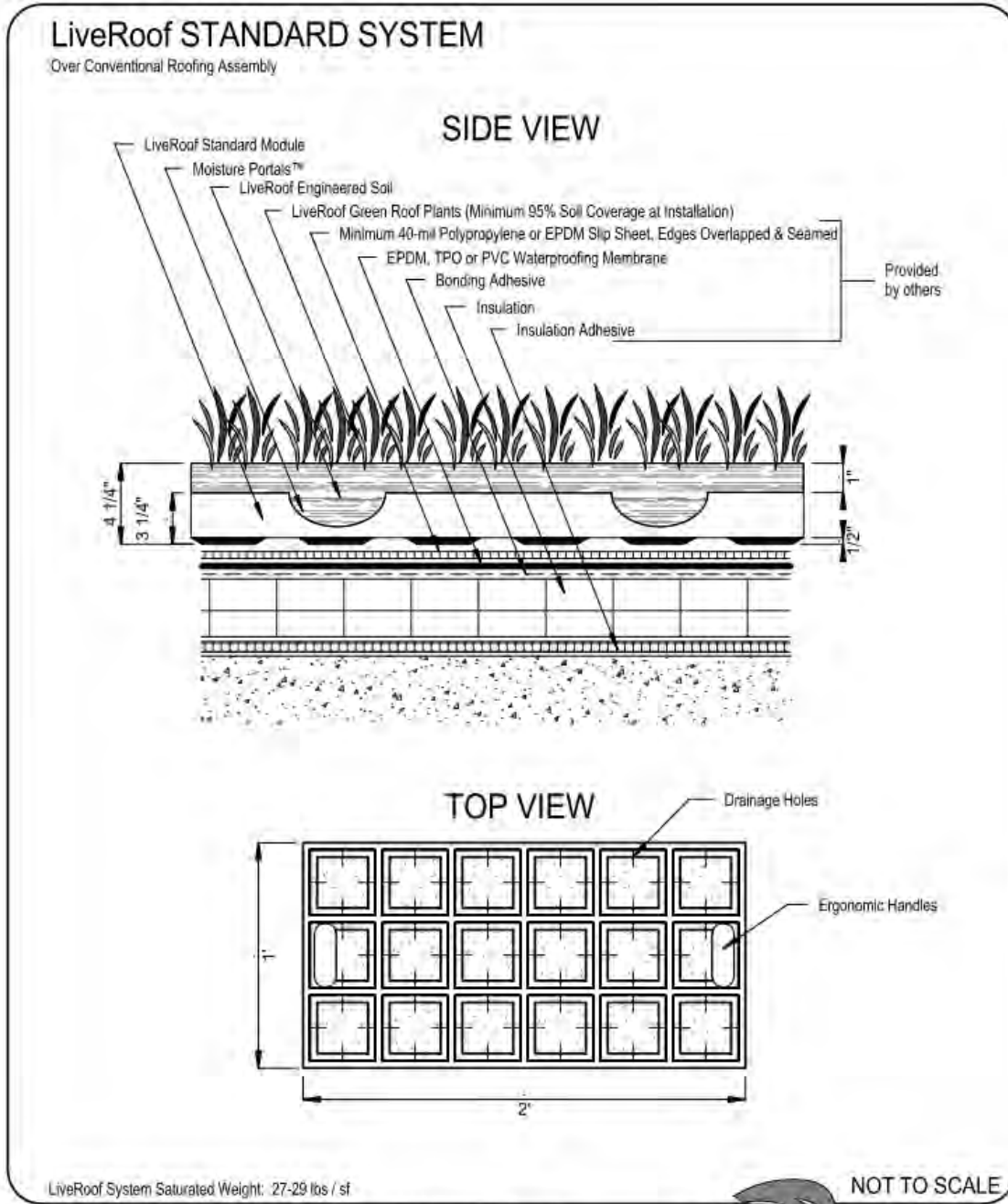
- A. Product data for vegetated roofing systems.
- B. Planting mix design indicating species.
- C. Shop Drawings: Indicating layout of modules, pavers, irrigation, and green roof area (ft<sup>2</sup> or m<sup>2</sup>).
- D. Warranty: Submit manufacturer warranty and ensure that forms have been completed in Owner's name and registered with manufacturer.
- E. Maintenance instructions for inclusion into owner's manuals.

### 1.3 QUALITY ASSURANCE

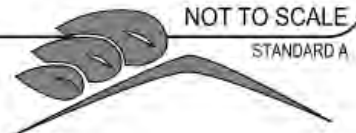
- A. No deviation should be made from this specification. Installer assumes liability for any deviations from specification.
- B. Only LiveRoof Certified Installer personnel shall complete all work.
- C. Prior to installing LiveRoof modules, the following procedures are to be conducted:
  - 1. The building Owner, Architect, or Engineer shall verify that the roof is properly designed and constructed to adequately support the load of the LiveRoof system.
  - 2. The roof is to be flood tested for water tightness for 24 hours. Water testing shall be witnessed and confirmed in writing by Owner's Representative and/or Design Professional, Waterproofing Contractor, Membrane Manufacturer, and Installation Contractor.
  - 3. Slip sheet/root barrier to be properly installed, seams overlapped and bonded, in accord with architect's and manufacturer's specifications.
  - 4. The roof is to be inspected and determined ready to accept the

# DETAIL DRAWINGS

## STANDARD 4.25" MODULE DETAIL



ILLUSTRATIONS ARE TO CONCEPTUALLY ASSIST PROFESSIONALS IN DESIGNING LIVEROOF INSTALLATIONS. LIVEROOF DOES NOT ACCEPT RESPONSIBILITY FOR ENGINEERING BASED ON ILLUSTRATIONS. A QUALIFIED ROOFING SPECIALIST SHOULD BE CONSULTED TO DETERMINE APPROPRIATE WATERPROOFING AND ROOF DECK MATERIALS AND SUITABLE DESIGN.



LiveRoof, LLC  
P.O. Box 533  
Spring Lake, MI 49456

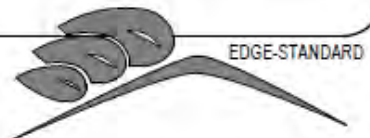
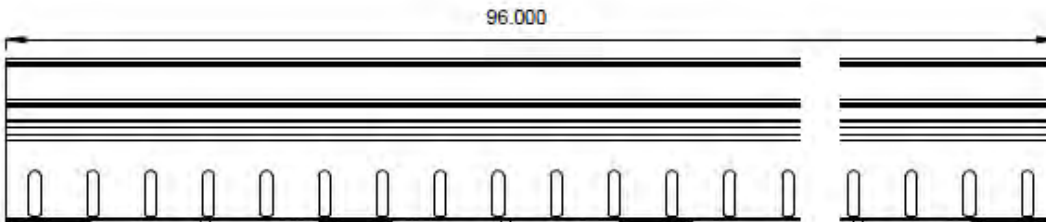
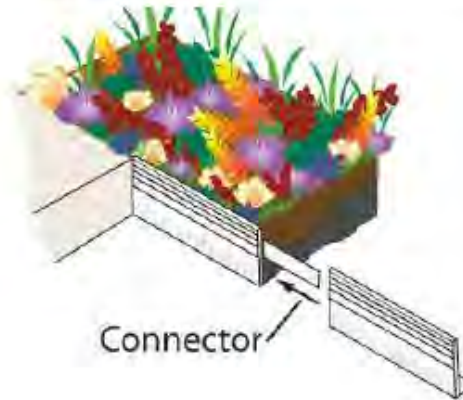
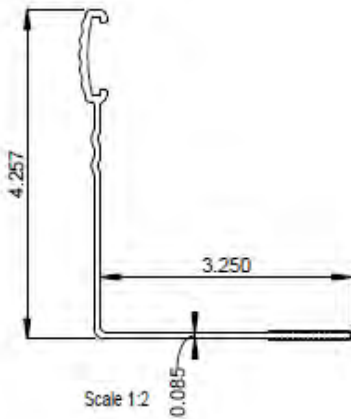
(800) 875-1392  
www.liveroof.com

# LiveRoof

ROOFEDGE® STANDARD DETAIL

RoofEdge Standard Aluminum Edge Restraint

PART NUMBER	LIVEROOF SYSTEM	DIMENSIONS	FINISH
STD-MILL-96	STANDARD	4.25"x 3.25"x 96"	MILL
STD-BRONZE-96	STANDARD	4.25"x 3.25"x 96"	BRONZE ANODIZE
STD-BLACK-96	STANDARD	4.25"x 3.25"x 96"	BLACK ANODIZE



LiveRoof Global, LLC  
P.O. Box 533  
Spring Lake, MI 49456

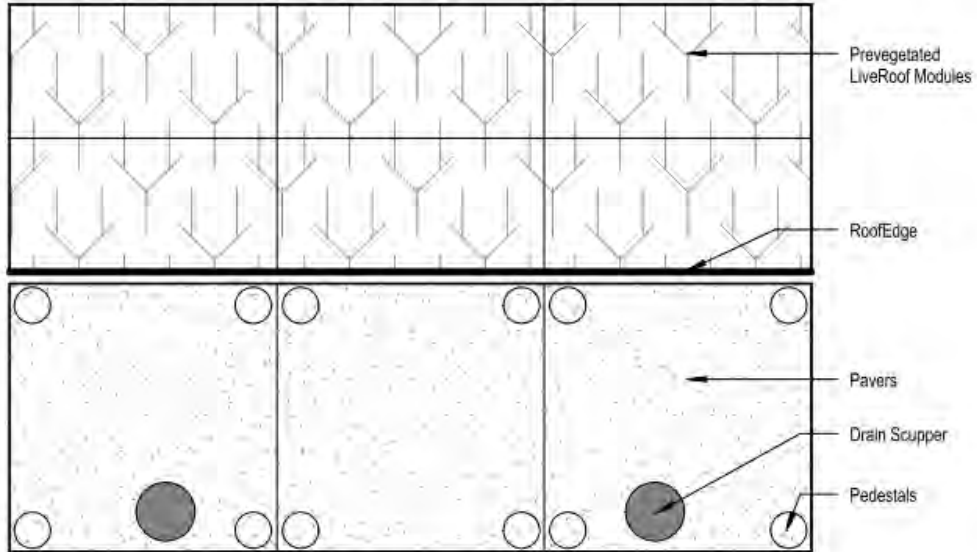
(800) 875-1392  
www.liveroof.com

# PAVER & PEDESTAL APPLICATION

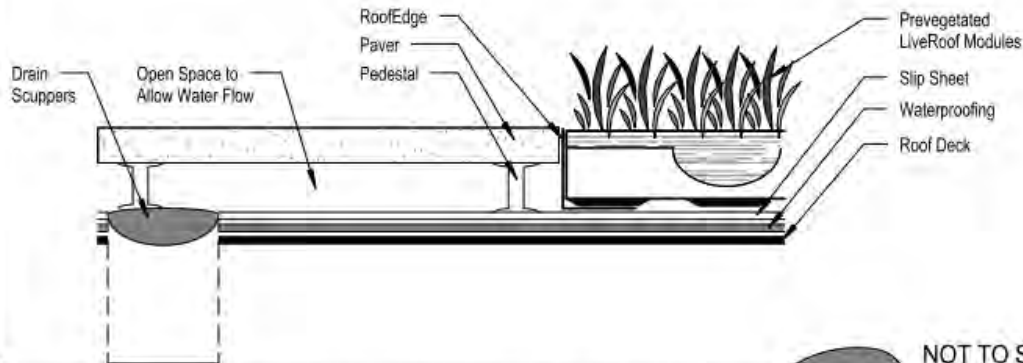
## PAVER APPLICATION

Using RoofEdge™ and Pedestals  
 Recommended for LiveRoof Maxx 8™  
 and for level applications with Standard (4.25") and Deep (6") Systems

### TOP VIEW



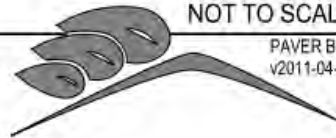
### SIDE VIEW



NOT TO SCALE

PAVER B  
 v2011-04-18

ILLUSTRATIONS ARE TO CONCEPTUALLY ASSIST PROFESSIONALS IN DESIGN OF LIVEROOF APPLICATIONS. LIVEROOF DOES NOT ACCEPT RESPONSIBILITY FOR ENGINEERING BASED ON ILLUSTRATIONS. A QUALIFIED STRUCTURAL ENGINEER SHOULD BE CONSULTED TO DETERMINE APPROPRIATE AND SUITABLE DESIGN. PAVER WALKWAYS NEAR PARAPETS SHOULD BE DESIGNED FOR SAFE USE, TAKING INTO ACCOUNT WIND FACTORS.



# LiveRoof

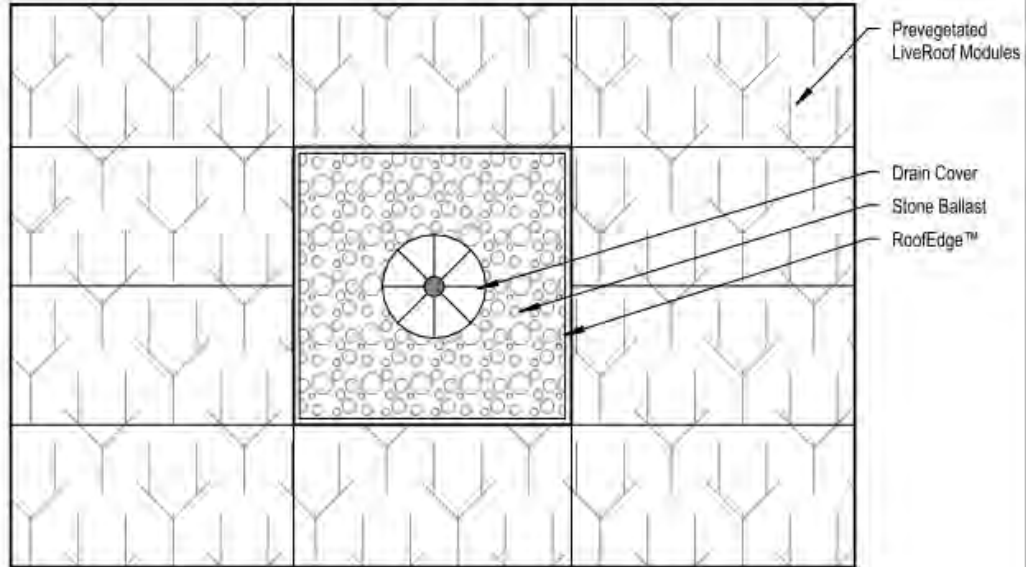
LiveRoof, LLC  
 P.O. Box 533  
 Spring Lake, MI 49456

(800) 875-1392  
 www.liveroof.com

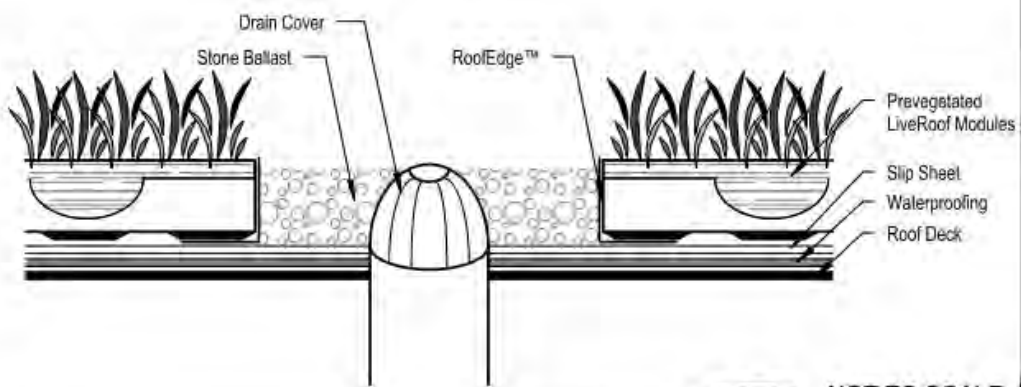
*DRAIN APPLICATION*

**Drain Application**  
Using Roof Edge and Stone Ballast

**TOP VIEW**



**SIDE VIEW**



NOT TO SCALE

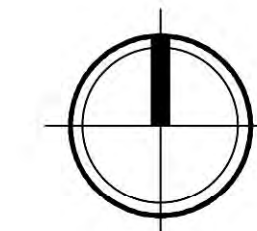
DRAIN COMPONENTS AND FLASHING SHOULD BE INSTALLED ACCORDING TO MANUFACTURER INSTRUCTION

DRAIN A

LiveRoof, LLC  
P.O. Box 533  
Spring Lake, MI 49456

(800) 875-1392  
www.liveroof.com

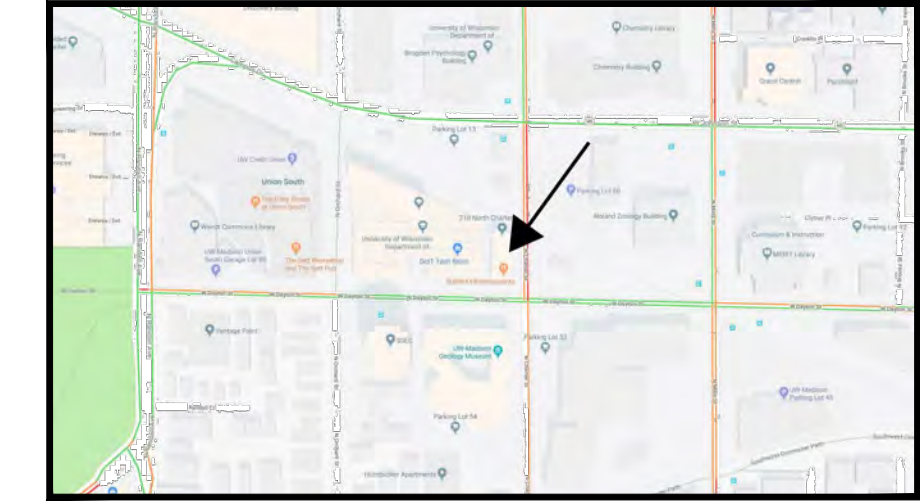
**LiveRoof**



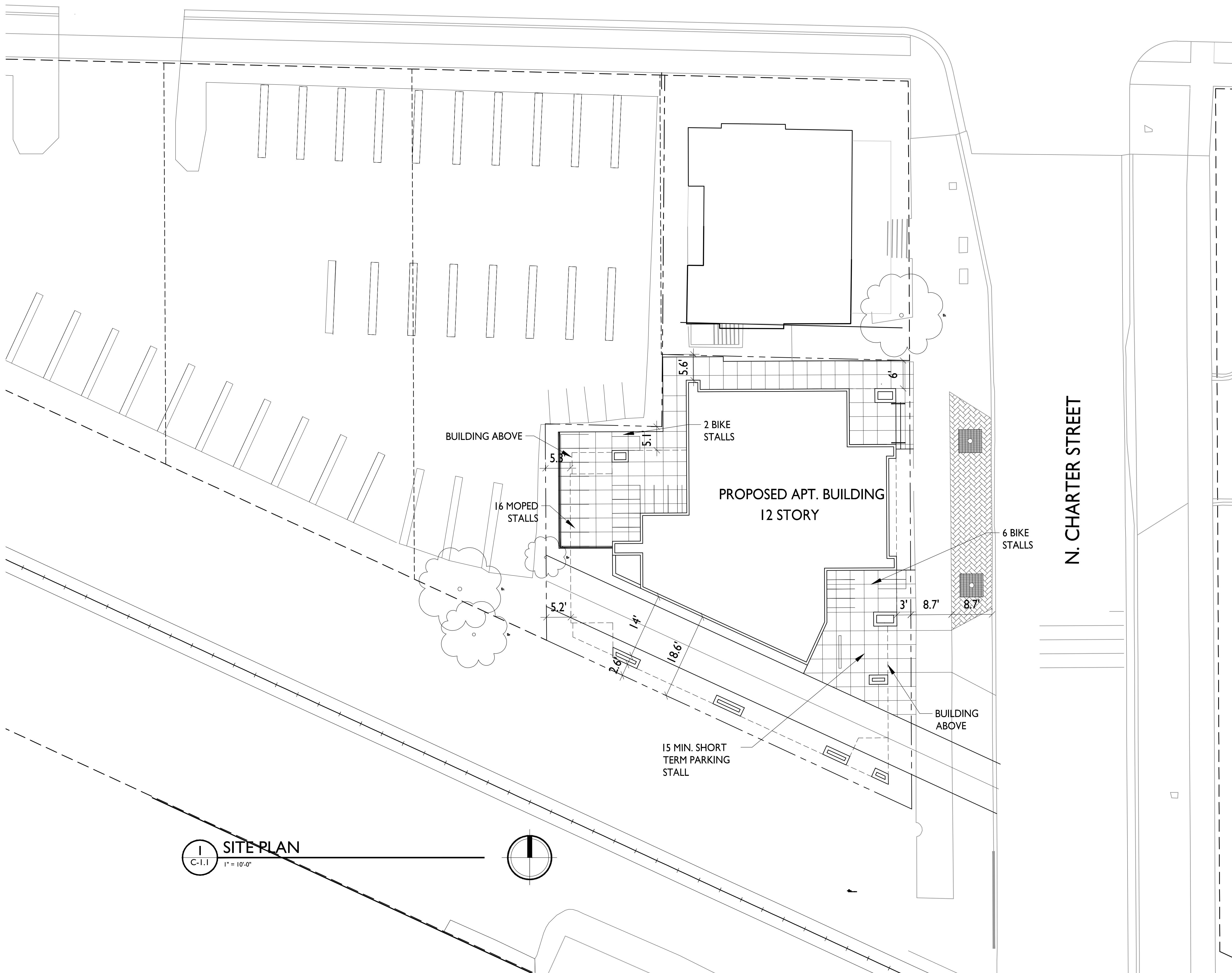
Aerial Site Plan  
N. Charter Street







SITE LOCATOR MAP



SHEET INDEX	
<b>SITE</b>	
C-1.1	SITE PLAN
C-1.2	FIRE DEPARTMENT ACCESS
C-1.3	USABLE OPEN SPACE
C-1.4	LOT COVERAGE
C-1.5	SITE LIGHTING PLAN
C-2.0	EXISTING CONDITIONS
C-3.0	DEMOLITION PLAN
C-4.0	GRADING & EROSION CONTROL PLAN
C-5.0	UTILITY PLAN
C-6.0	CONSTRUCTION DETAILS
C-7.0	CONSTRUCTION DETAILS
L-1.0	PLANTING PLAN
<b>ARCHITECTURAL</b>	
A-1.0	BASEMENT PLAN
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND & THIRD FLOOR PLAN
A-1.3	FOURTH - ELEVENTH FLOOR PLAN
A-1.4	TWELFTH FLOOR PLAN
A-2.1	ELEVATIONS
A-2.2	ELEVATIONS
A-2.3	3-D RENDERING
A-2.4	3-D RENDERING
A-2.5	3-D RENDERING

SITE DEVELOPMENT DATA:	
<b>DENSITIES:</b>	
TOTAL LOT AREA	5,812 S.F. / 1334 ACRES
DWELLING UNITS	43 UNITS
BEDROOMS	96 BEDROOMS
DENSITY	322 UNITS/ACRE
	719 BEDROOMS/ACRE
LOT COVERAGE	4,848 S.F. (83.4%)
USABLE OPEN SPACE	2,451 S.F.
BUILDING HEIGHT	12 STORIES
<b>DWELLING UNIT MIX:</b>	
ONE BEDROOM	11
TWO BEDROOM	21
THREE BEDROOM	1
FOUR BEDROOM	10
TOTAL DWELLING UNITS	43
<b>BICYCLE &amp; MOPED PARKING:</b>	
BIKE SURFACE	4 STALLS
BIKE SURFACE GUEST	4 STALLS
MOPED SURFACE	16 STALLS
BIKE UNDERGROUND GARAGE-WALL HUNG	46 STALLS
BIKE UNDERGROUND GARAGE STD. 2'X6'	47 STALLS
TOTAL	117 STALLS

- GENERAL NOTES:**
- ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
  - ALL DAMAGE TO THE PAVEMENT ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
  - THE CONTRACTOR SHALL REPLACE ALL CURB AND GUTTER ADJACENT TO THIS DEVELOPMENT AS DEEMED NECESSARY BY THE CITY ENGINEER.
  - THE MAXIMUM RUNNING SLOPE OF ALL WALKS SHALL BE 1:20. THE MAXIMUM SLOPE OF RAMPS SHALL BE 1:12. THE MAXIMUM CROSS SLOPE AT ALL WALKS & RAMPS SHALL BE 1:50.
  - RAMPS WITH A RISE OVER 6 INCHES SHALL HAVE HANDRAILS ON BOTH SIDES.
  - ALL STAIRWAYS WITH MORE THAN ONE RISER SHALL HAVE HANDRAILS ON BOTH SIDES.

**I SITE PLAN**  
C-1.1 1" = 10'-0"

**ISSUED**  
Issued for Land Use & UDC - Sept. 19, 2018

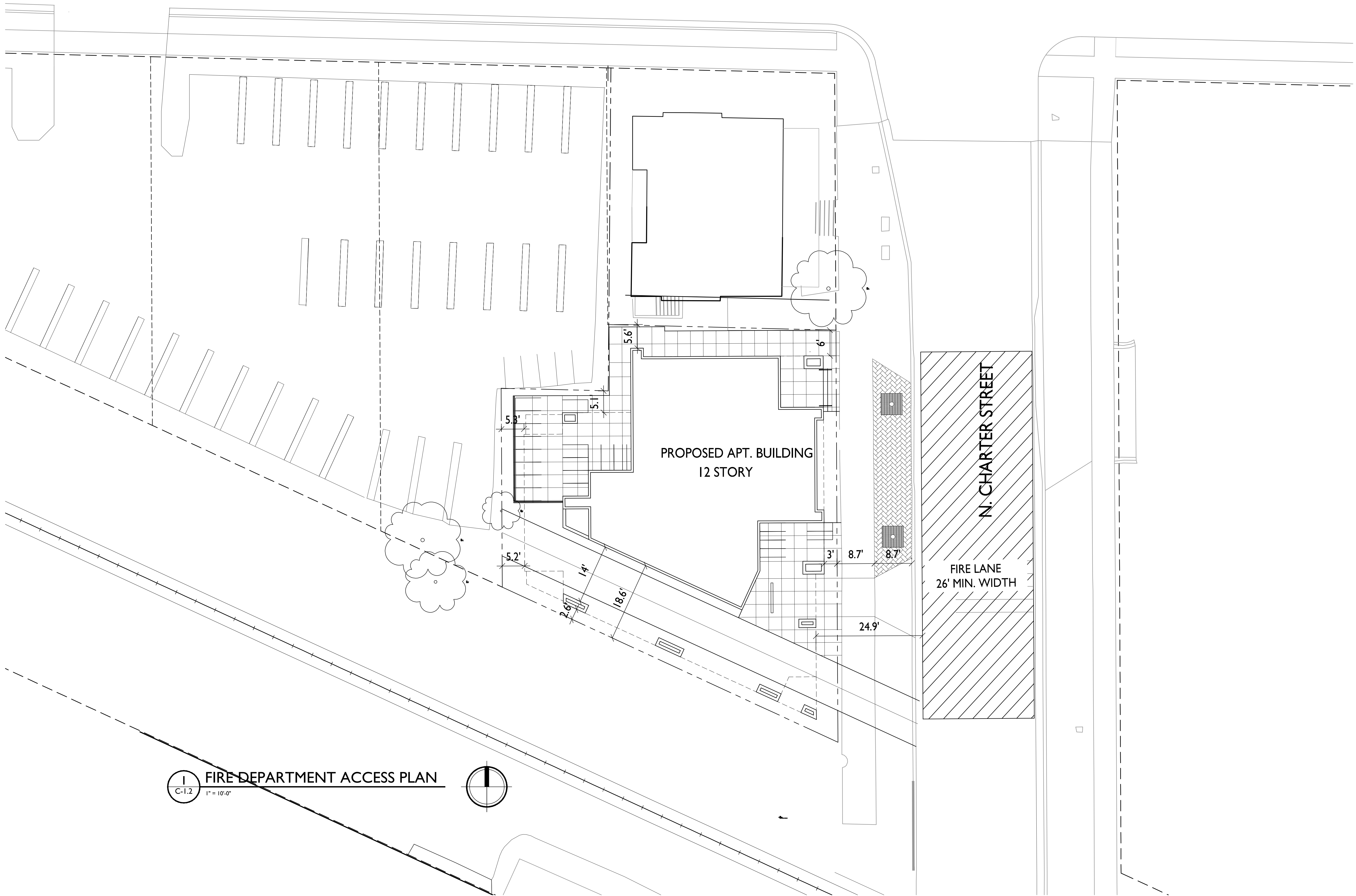
**PROJECT TITLE**  
222 N. Charter Street

**SHEET TITLE**  
Site Plan

**SHEET NUMBER**

**C-1.1**

**PROJECT NO.**  
© Knothe & Bruce Architects, LLC



**I** FIRE DEPARTMENT ACCESS PLAN  
C-1.2 1" = 10'-0"

W. JOHNSON STREET

**LOT COVERAGE**

TOTAL LOT AREA = 5,812 SF  
 LOT COVERAGE = 4,848 SF (83.4%)



**knothe • bruce**  
ARCHITECTS

Phone: 7601 University Ave, Ste 201  
608.836.3690 Middleton, WI 53562

ISSUED  
Issued for Land Use & UDC - Sept. 19, 2018

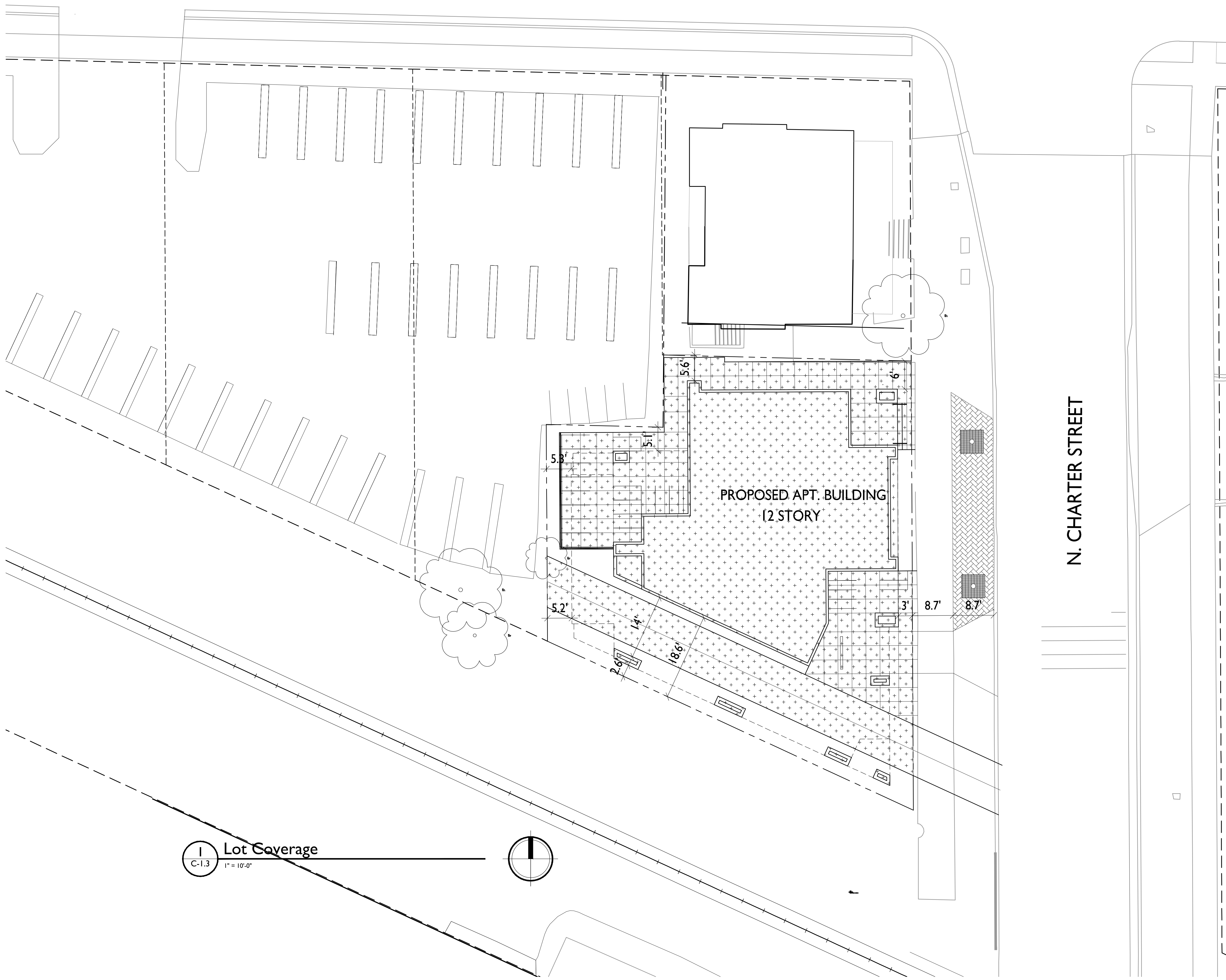
PROJECT TITLE  
222 N. Charter Street

SHEET TITLE  
Lot Coverage

SHEET NUMBER

**C-1.3**

PROJECT NO.  
© Knothe & Bruce Architects, LLC



**Lot Coverage**  
C-1.3 1" = 10'-0"

W. JOHNSON STREET

**USABLE OPEN SPACE**  
 DECKS & BALCONIES, ROOF TERRACE = 2,451 SF



**knothe • bruce**  
ARCHITECTS

Phone: 7601 University Ave, Ste 201  
608.836.3690 Middleton, WI 53562

ISSUED  
Issued for Land Use & UDC - Sept. 19, 2018

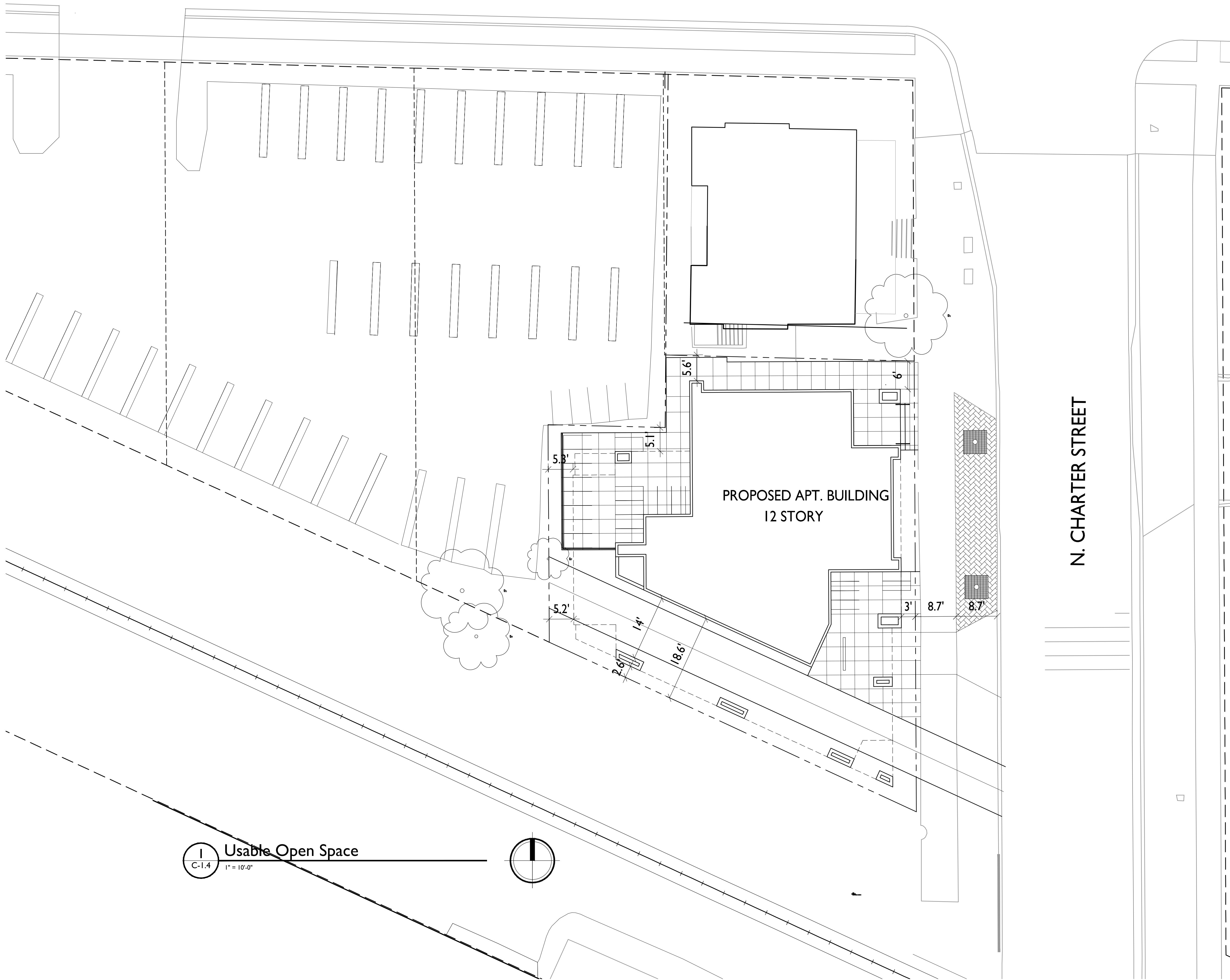
PROJECT TITLE  
222 N. Charter Street

SHEET TITLE  
Usable Open Space

SHEET NUMBER

**C-1.4**

PROJECT NO.  
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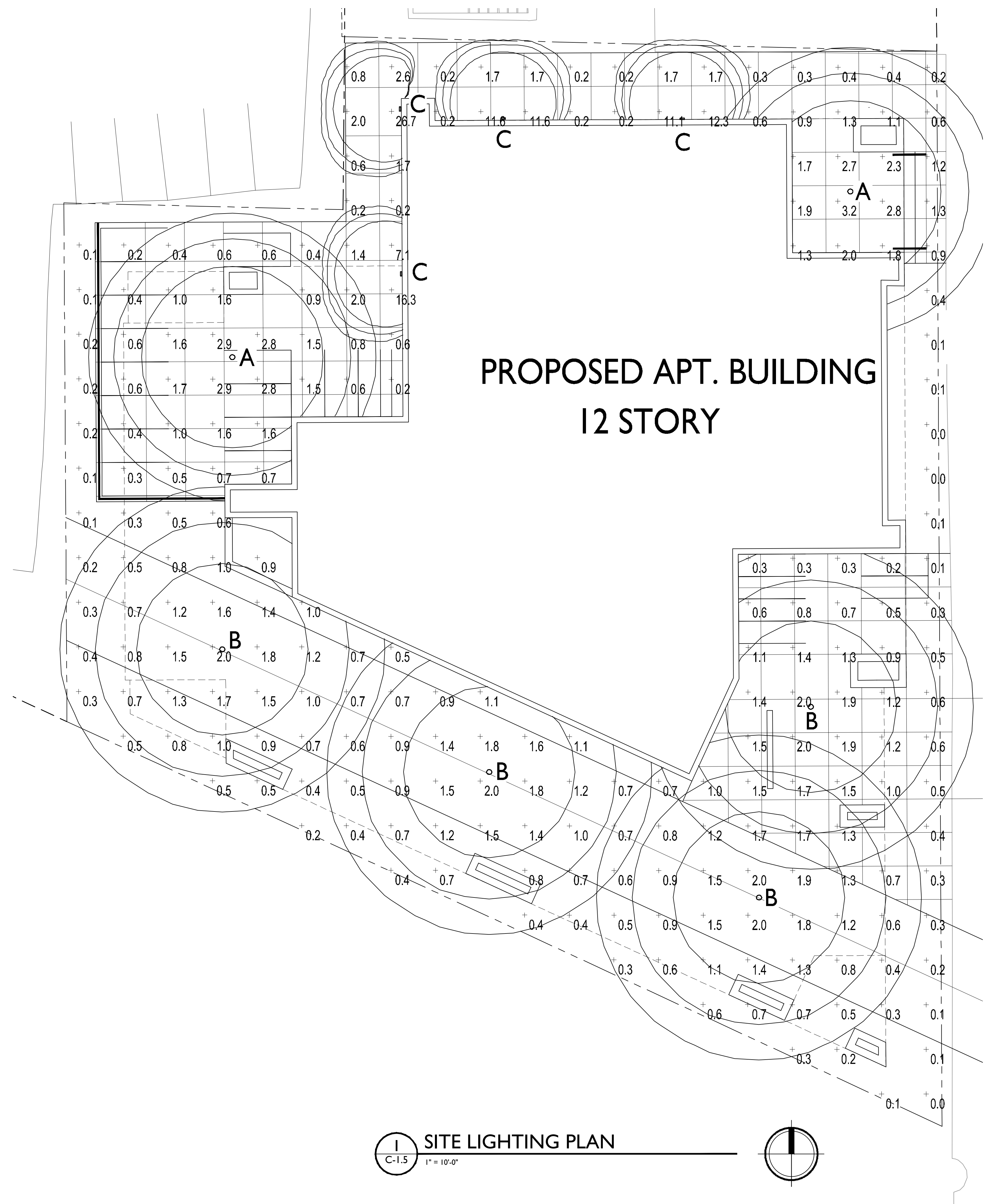
**Usable Open Space**  
 C-1.4 1" = 10'-0"

STATISTICS						
DESCRIPTION	SYMBOL	AVG.	MAX.	MIN.	MAX. / MIN.	AVG. / MIN.
Calculation Zone	+	1.3 fc	26.7 fc	0.0 fc	N/A	N/A

LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QTY.	MANUF.	CATALOG	DESCRIPTION	FILE	MOUNTING
○	A	2	COOPER LIGHTING - HALO	ML5606930-692W	HALO 6 INCH ML56 LED DOWNLIGHT WITH WHITE REFLECTOR	ML5606930-692W.ies	10'-0" ABOVE FINISHED FLOOR
○	B	4	COOPER LIGHTING - HALO	ML5606930-692W	HALO 6 INCH ML56 LED DOWNLIGHT WITH WHITE REFLECTOR	ML5606930-692W.ies	13'-0" ABOVE FINISHED FLOOR
□	C	4	LITHONIA LIGHTING	OLSS	OUTDOOR LED SQUARE STEP LIGHT WITH 4000K LEDS AND POLYCARBONATE LENS	OLSS.ies	2'-6" ABOVE FINISHED FLOOR

**EXAMPLE LIGHT FIXTURE DISTRIBUTION**



ISSUED  
 Issued for Land Use & UDC - Sept. 19, 2018

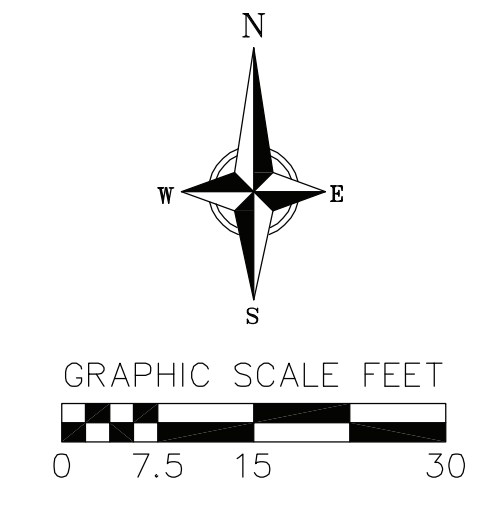
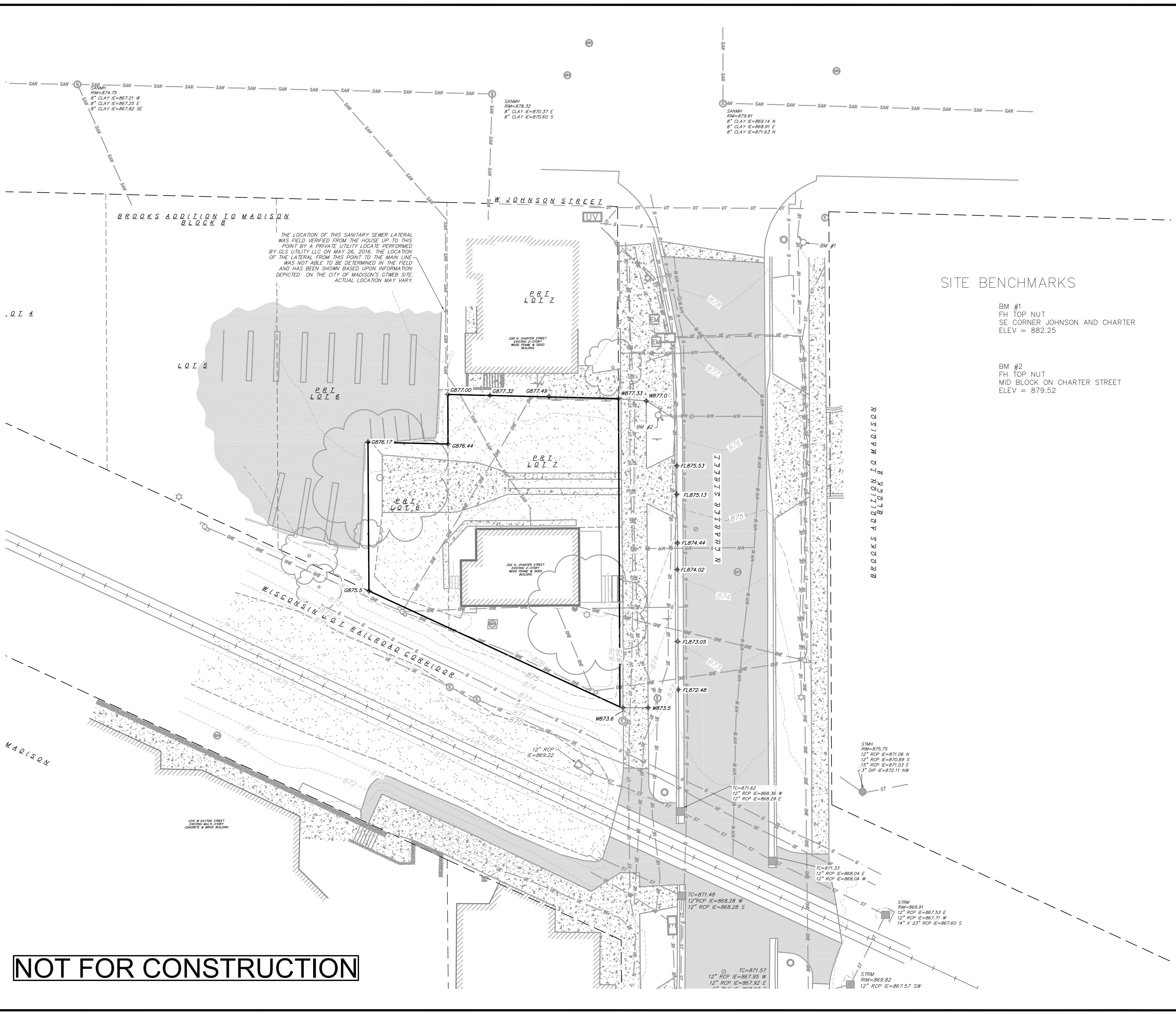
PROJECT TITLE  
**222 N. Charter Street**

SHEET TITLE  
**Site Lighting Plan**

SHEET NUMBER

**C-1.5**

PROJECT NO.  
 © Knothe & Bruce Architects, LLC



- TOPOGRAPHIC SYMBOL LEGEND**
- X— EXISTING SIGN
  - C— EXISTING CURB INLET
  - E— EXISTING ENDWALL
  - R— EXISTING FIELD INLET RECTANGULAR
  - F— EXISTING FIELD INLET
  - S— EXISTING STORM MANHOLE
  - SC— EXISTING SANITARY CLEANOUT
  - SM— EXISTING SANITARY MANHOLE
  - FH— EXISTING FIRE HYDRANT
  - WV— EXISTING WATER MAIN VALVE
  - WM— EXISTING WATER MANHOLE
  - CS— EXISTING CURB STOP
  - GM— EXISTING GAS METER
  - GV— EXISTING GAS VALVE
  - EM— EXISTING ELECTRIC MANHOLE
  - ERM— EXISTING ELECTRIC RECTANGULAR MANHOLE
  - TR— EXISTING TRANSFORMER
  - EM— EXISTING ELECTRIC METER
  - LP— EXISTING LIGHT POLE
  - UP— EXISTING UTILITY POLE
  - DG— EXISTING DOWN GUY
  - UM— EXISTING UNIDENTIFIED MANHOLE
  - UV— EXISTING UNIDENTIFIED UTILITY VAULT
  - TS— EXISTING TRAFFIC SIGNAL
  - UM— EXISTING UNIDENTIFIED MANHOLE
  - T— EXISTING DECIDUOUS TREE

**SITE BENCHMARKS**

BM #1  
FH TOP NUT  
SE CORNER JOHNSON AND CHARTER  
ELEV = 882.25

BM #2  
FH TOP NUT  
MID BLOCK ON CHARTER STREET  
ELEV = 879.52

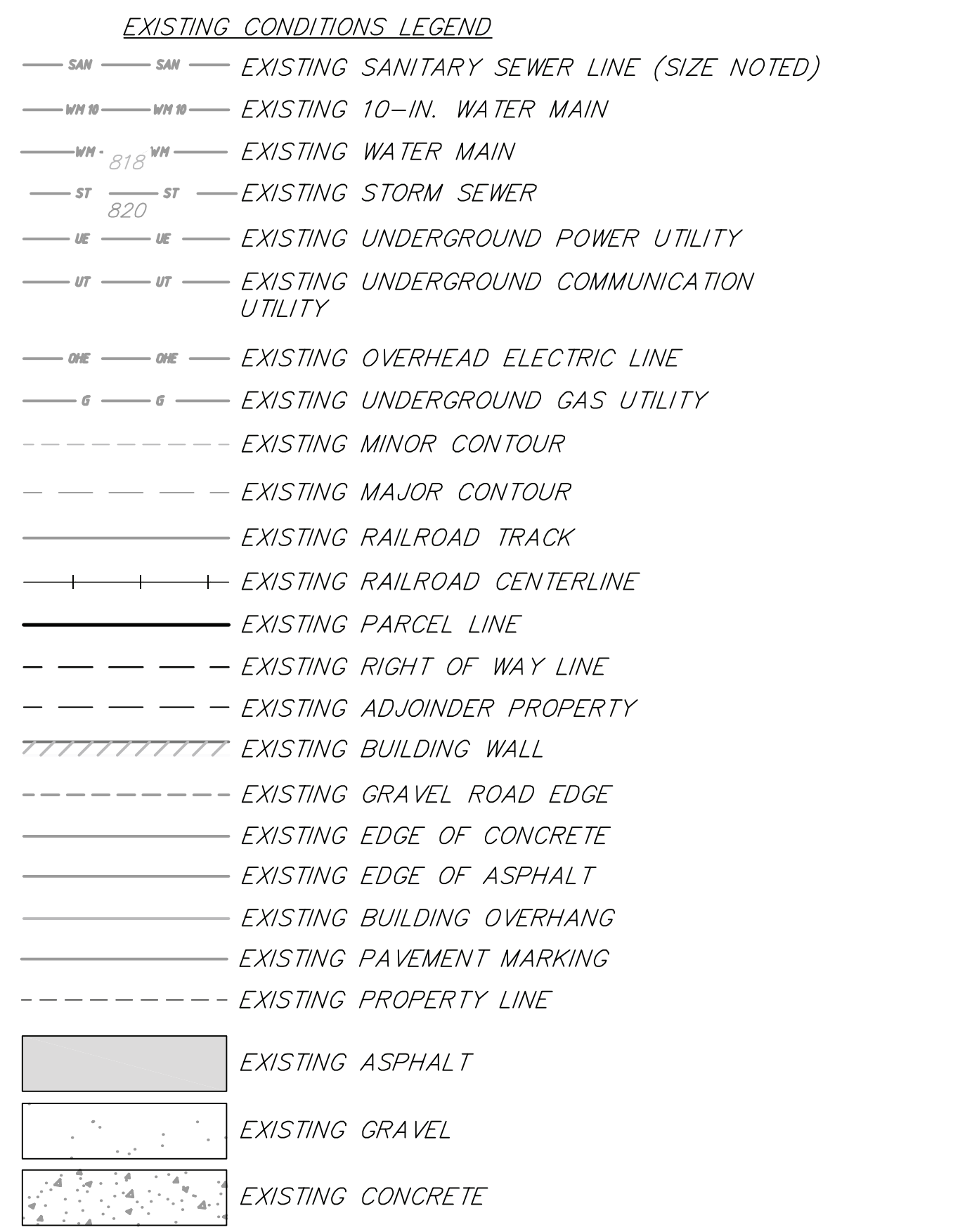
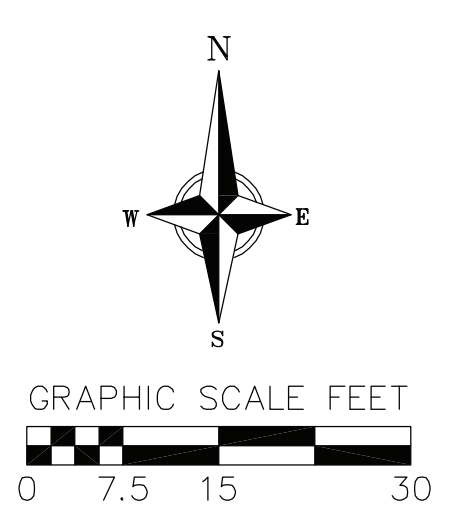
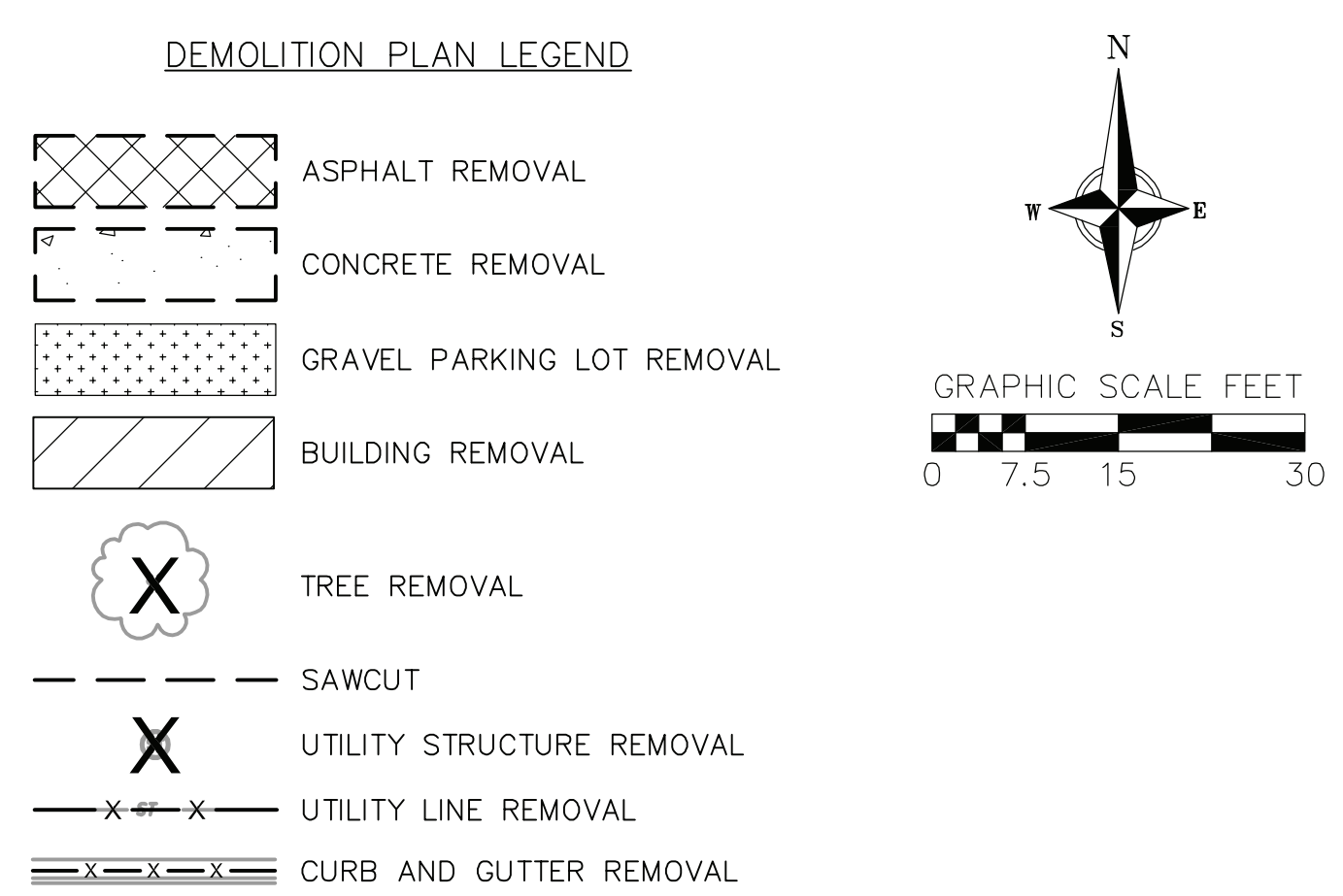
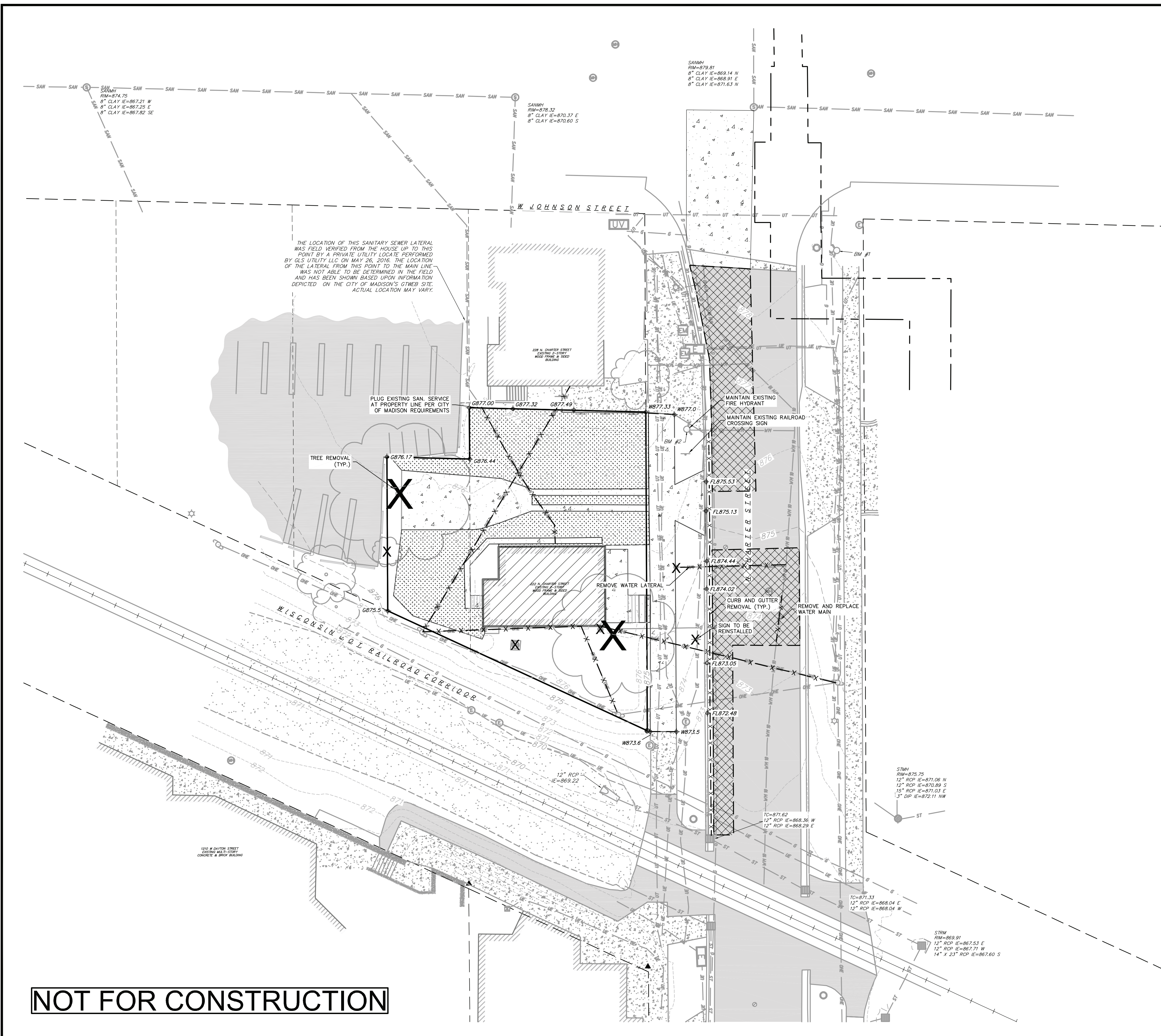
- TOPOGRAPHIC LINEWORK LEGEND**
- UT— EXISTING UNDERGROUND TELEPHONE
  - G— EXISTING GAS LINE
  - UE— EXISTING UNDERGROUND ELECTRIC LINE
  - OE— EXISTING OVERHEAD ELECTRIC LINE
  - SAH— EXISTING SANITARY SEWER LINE
  - ST— EXISTING STORM SEWER LINE
  - WH— EXISTING WATER MAIN (SIZE NOTED)
  - B20— EXISTING MAJOR CONTOUR
  - B18— EXISTING MINOR CONTOUR
  - RT— EXISTING RAILROAD TRACK
  - RC— EXISTING RAILROAD CENTERLINE
  - PL— EXISTING PARCEL LINE
  - RW— EXISTING RIGHT OF WAY LINE
  - AG— EXISTING ADJOINER PROPERTY
  - GR— EXISTING GRAVEL ROAD EDGE
  - EC— EXISTING EDGE OF CONCRETE
  - IL— EXISTING INTERIOR PROPERTY LINE
  - AS— EXISTING ASPHALT
  - GR— EXISTING GRAVEL
  - CN— EXISTING CONCRETE
  - SE— EXISTING SPOT ELEVATIONS

**NOT FOR CONSTRUCTION**

**Existing Conditions Plan**  
222 N Charter Street  
City of Madison  
Dane County, WI

REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN  
DATE 12-06-2017  
DRAFTER JMAH  
CHECKED KJEN  
PROJECT NO. 160164  
SHEET 2 OF 7  
DWG. NO. C-2.0



- GENERAL NOTES:**
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
  - CONTRACTOR SHALL KEEP ALL STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
  - ALL CURB AND GUTTER TO BE FULLY REMOVED SHALL HAVE A FULL DEPTH SAWCUT AT THE NEAREST JOINT.
  - CONTRACTOR SHALL REMOVE AND REPLACE ANY PUBLIC IMPROVEMENTS THAT ARE DAMAGED DURING CONSTRUCTION AT THE CONTRACTOR'S EXPENSE.
  - BRUSH AND MINOR TREES NOT SHOWN. CONTRACTOR ONLY TO REMOVE VEGETATION THAT CONFLICTS WITH PROPOSED WORK.
  - REMOVAL OF THE WATER LATERAL SHALL BE COMPLETED PER THE REQUIREMENTS OF THE CITY OF MADISON.
  - CONCRETE SAWCUTS SHALL BE COMPLETED AT THE NEAREST JOINT.
  - COORDINATE GAS AND ELECTRICAL DISCONNECTION AND REMOVAL WITH MADISON GAS & ELECTRIC.

**NOT FOR CONSTRUCTION**

REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN

DATE 12-06-2017

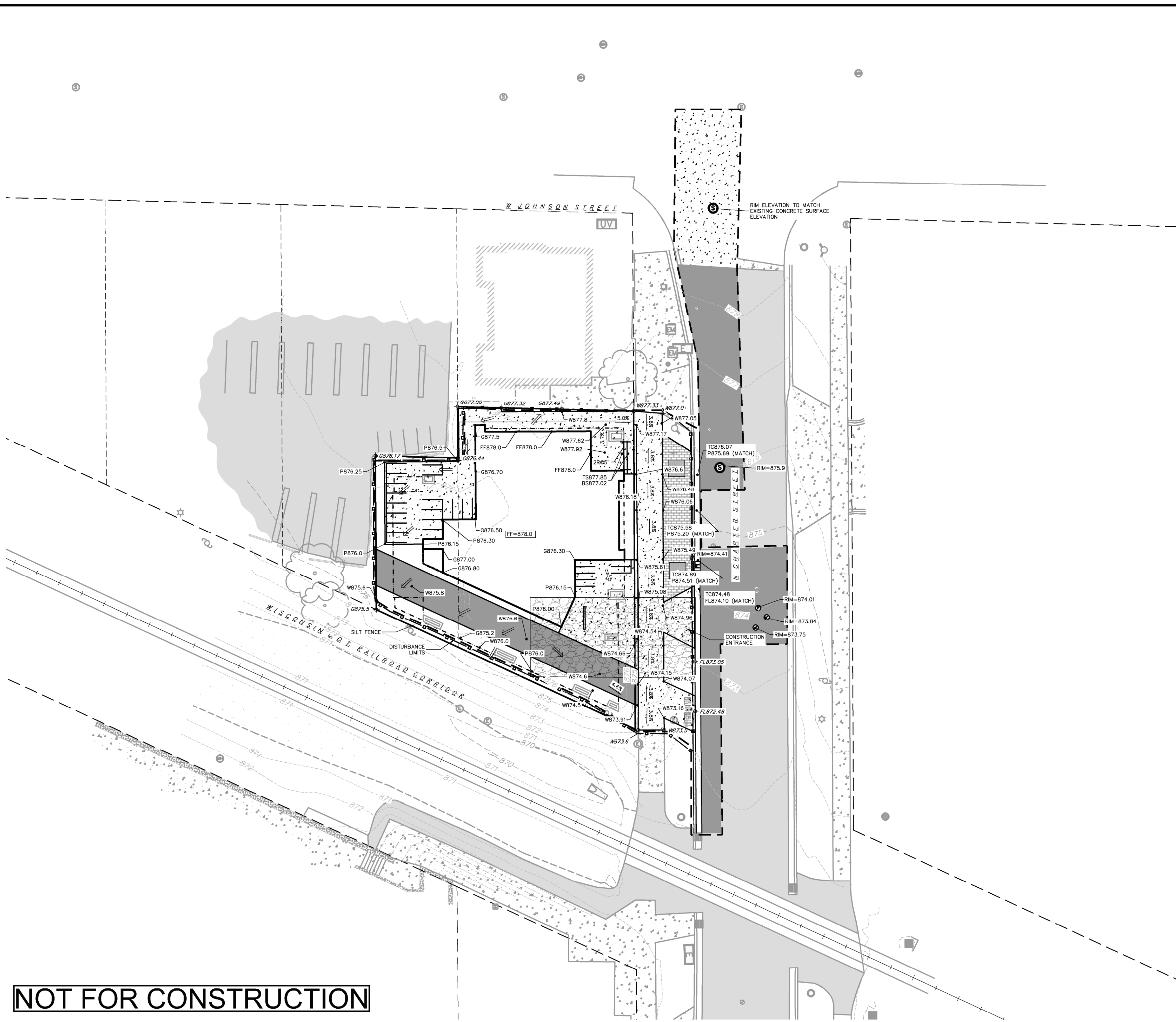
DRAFTER JMAH

CHECKED KJEN

PROJECT NO. 160164

SHEET 3 OF 7

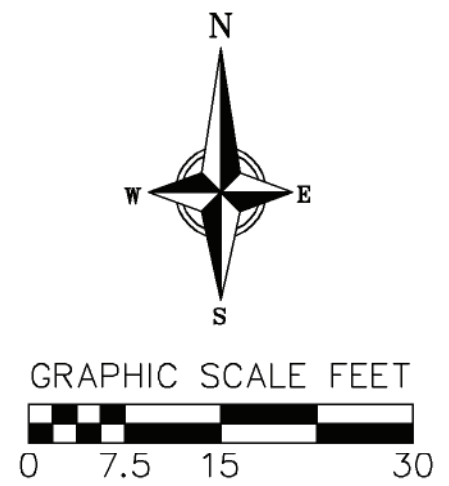
DWG. NO. C-3.0



**NOT FOR CONSTRUCTION**

**ABBREVIATIONS**

FF	- FINISHED FLOOR
W	- CONCRETE WALKWAY
P	- PAVEMENT
G	- GROUND
TS	- TOP OF STEP
BS	- BOTTOM OF STEP
R	- RISER
TC	- TOP OF CURB
FL	- FLOW LINE



**SITE PLAN LEGEND**

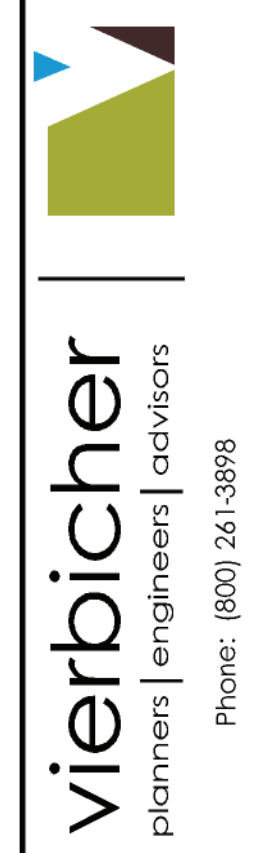
	PROPERTY BOUNDARY
	PROPOSED CONCRETE
	PROPOSED LIGHT-DUTY ASPHALT
	PROPOSED CONCRETE PAVERS
	PROPOSED RETAINING WALL
	PROPOSED PAVEMENT MARKING
	PROPOSED EDGE OF ASPHALT
	PROPOSED EDGE OF CONCRETE
	PROPOSED BUILDING FOOTPRINT
	CURB AND GUTTER (ACCEPTING CURB)
	PROPOSED ADA ROUTE
	PROPOSED ADA DETECTABLE WARNING FIELD

**GRADING AND EROSION CONTROL LEGEND**

	PROPOSED LIMITS OF DISTURBANCE
	PROPOSED SILT FENCE
	PROPOSED SLOPE ARROWS
	EXISTING SPOT ELEVATIONS
	PROPOSED SPOT ELEVATIONS
	DRAINAGE DIRECTION
	TRACKING PAD

- GRADING PLAN/SITE CONSTRUCTION NOTES:**
1. CONCRETE SIDEWALK TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
  2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
  3. CONTRACTOR SHALL DEEP TILL ANY DISTURBED AREAS AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.
  4. CONTRACTOR TO OBTAIN ANY NECESSARY UTILITY CONNECTION, DEMOLITION, DRIVEWAY CONNECTION, RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
  5. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
  6. ADA WALKWAYS MUST NOT EXCEED 5% SLOPE IN LONGITUDINAL DIRECTION WITHOUT A RAILING AND 8.3% WITH A RAILING. THE CROSS SECTION SLOPE OF AN ADA WALKWAY MUST NOT EXCEED 1.5% SLOPE.
  7. TYPICAL SIDEWALK CROSS SECTION IS 1.5% SLOPE. THIS APPLIES TO ALL WALKWAYS IN THIS PLAN UNLESS OTHERWISE NOTED.
  8. PAVEMENT PATCHES SHALL BE COMPLETED PER THE CITY OF MADISON SPECIFICATIONS.



**Grading and Erosion Control Plan**  
 222 N Charter Street  
 City of Madison  
 Dane County, WI

REVISIONS	NO.	DATE	REMARKS
	1	2-12-18	UBC SUBMITTAL

SCALE	AS SHOWN
DATE	02-12-2018
DRAFTER	JARC
CHECKED	JJOY
PROJECT NO.	160164
SHEET	4 OF 7
DWG. NO.	C-4.0



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**TOPOGRAPHIC LINEWORK LEGEND**

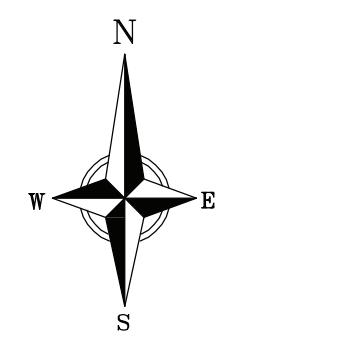
- UT — UT — EXISTING UNDERGROUND TELEPHONE
- G — G — EXISTING GAS LINE
- UE — UE — EXISTING UNDERGROUND ELECTRIC LINE
- O/E — O/E — EXISTING OVERHEAD ELECTRIC LINE
- SAN — SAN — EXISTING SANITARY SEWER LINE
- ST — ST — EXISTING STORM SEWER LINE
- WM — WM — EXISTING WATER MAIN

**PROPOSED UTILITY LEGEND**

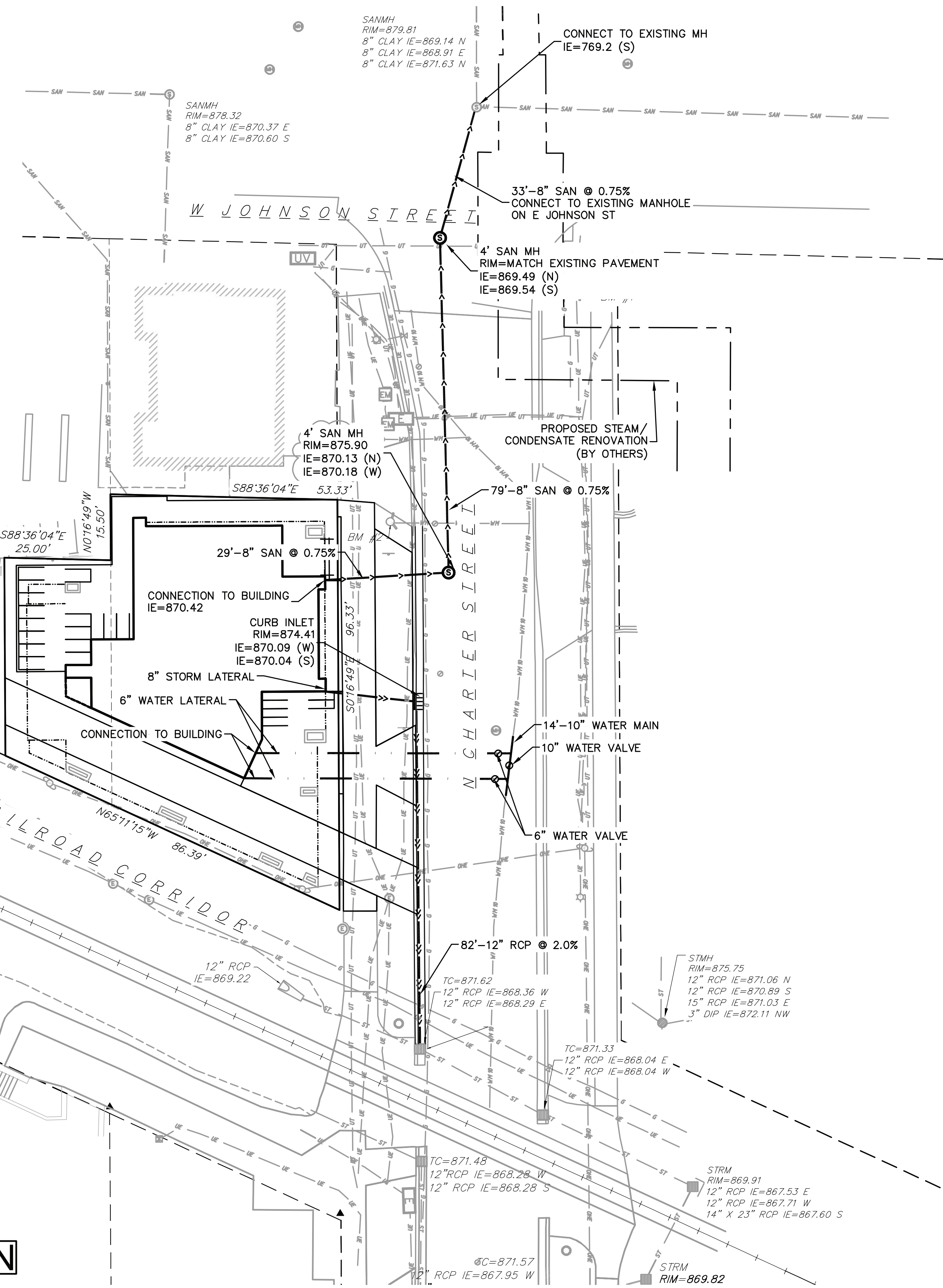
- S — S — SANITARY SEWER LATERAL
- S (M) — S (M) — SANITARY SEWER MANHOLE
- W — W — WATER SERVICE LATERAL PIPE
- W (V) — W (V) — WATER VALVE
- ST — ST — STORM SEWER PIPE
- ST (I) — ST (I) — STORM SEWER CURB INLET

**TOPOGRAPHIC SYMBOL LEGEND**

- ▣ EXISTING CURB INLET
- ▤ EXISTING ENDWALL
- ▥ EXISTING FIELD INLET RECTANGULAR
- EXISTING FIELD INLET
- ⊙ EXISTING STORM MANHOLE
- ⊕ EXISTING SANITARY CLEANOUT
- ⊙ EXISTING SANITARY MANHOLE
- ⊕ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER MAIN VALVE
- ⊙ EXISTING WATER MANHOLE
- ⊙ EXISTING CURB STOP
- ⊙ EXISTING GAS METER
- ⊕ EXISTING GAS VALVE
- ⊙ EXISTING ELECTRIC MANHOLE
- ▣ EXISTING ELECTRIC RECTANGULAR MANHOLE
- ▣ EXISTING TRANSFORMER
- ▣ EXISTING ELECTRIC METER
- ⊙ EXISTING UNIDENTIFIED MANHOLE
- ▣ EXISTING UNIDENTIFIED UTILITY VAULT



**NOT FOR CONSTRUCTION**



**UTILITY NOTES:**

1. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
3. UTILITY STRUCTURE RIM AND TOP OF CURB ELEVATIONS ON PLANS ARE APPROXIMATE. UTILITY STRUCTURES SHALL BE SET TO FINAL ELEVATIONS AFTER THE CURB & GUTTER AND BASE COURSE HAVE BEEN INSTALLED.
4. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE AND LOCATING ALL EXISTING UTILITIES AND ENSURE PROPER CLEARANCE OF NEW UTILITIES.
5. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF-WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
6. FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
7. IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED FROM THE DEPARTMENT PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
8. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
9. PRIVATE WATER SERVICES SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
10. PRIVATE SANITARY LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
11. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS AND WATER SERVICES MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(8)(k).
12. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b).
13. NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
14. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
15. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
16. PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
17. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
18. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.0' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
19. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
20. CLEAN OUT ALL STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
21. SANITARY AND WATER LATERAL LOCATIONS SHALL BE VERIFIED BY THE ARCHITECT FOR CONNECTION LOCATIONS TO THE BUILDINGS.



**vierbicher**  
planners | engineers | advisors  
Phone: (800) 261-3898

**Utility Plan**  
222 N Charter Street  
City of Madison  
Dane County, WI

REVISIONS	NO.	DATE	REMARKS
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SHEET	5 OF 7
DWG. NO.	C-5.0

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## EROSION CONTROL MEASURES

- EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
- CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
- INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
- CHANNELIZED RUNOFF: FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
- STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
- SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
- RESTORATION (SEED, FERTILIZER AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN OR THE DETENTION BASIN DETAIL SHEET.
- TERRACES SHALL BE RESTORED WITH 6" TOPSOIL, PERMANENT SEED, FERTILIZER AND MULCH. LOTS SHALL BE RESTORED WITH 6" TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.
- SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
- FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- EROSION MAT (CLASS I, TYPE A URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
- SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER THIS SHEET. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
- SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
- INSTALL MINIMUM 6'-7' WIDE EROSION MAT ALONG THE BACK OF CURB AFTER TOPSOIL HAS BEEN PLACED IN THE TERRACE IF THIS AREA WILL NOT BE SEEDED AND MULCHED WITHIN 48 HOURS OF PLACING TOPSOIL.
- SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
- SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
- ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
- ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY DANE COUNTY LAND CONSERVATION OR PERMITTING MUNICIPALITY.
- THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

## CONSTRUCTION SEQUENCE:

- INSTALL SILT FENCE AND TRACKING PAD
- STRIP TOPSOIL
- ROUGH GRADE LOT
- CONSTRUCT UNDERGROUND UTILITIES
- CONSTRUCT BUILDING AND SURFACE LOT IMPROVEMENTS
- RESTORE TERRACES
- REMOVE SILT FENCE

## SEEDING RATES:

### TEMPORARY:

- USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
- USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED

AFTER SEPTEMBER 15.

### PERMANENT:

- USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

## FERTILIZING RATES:

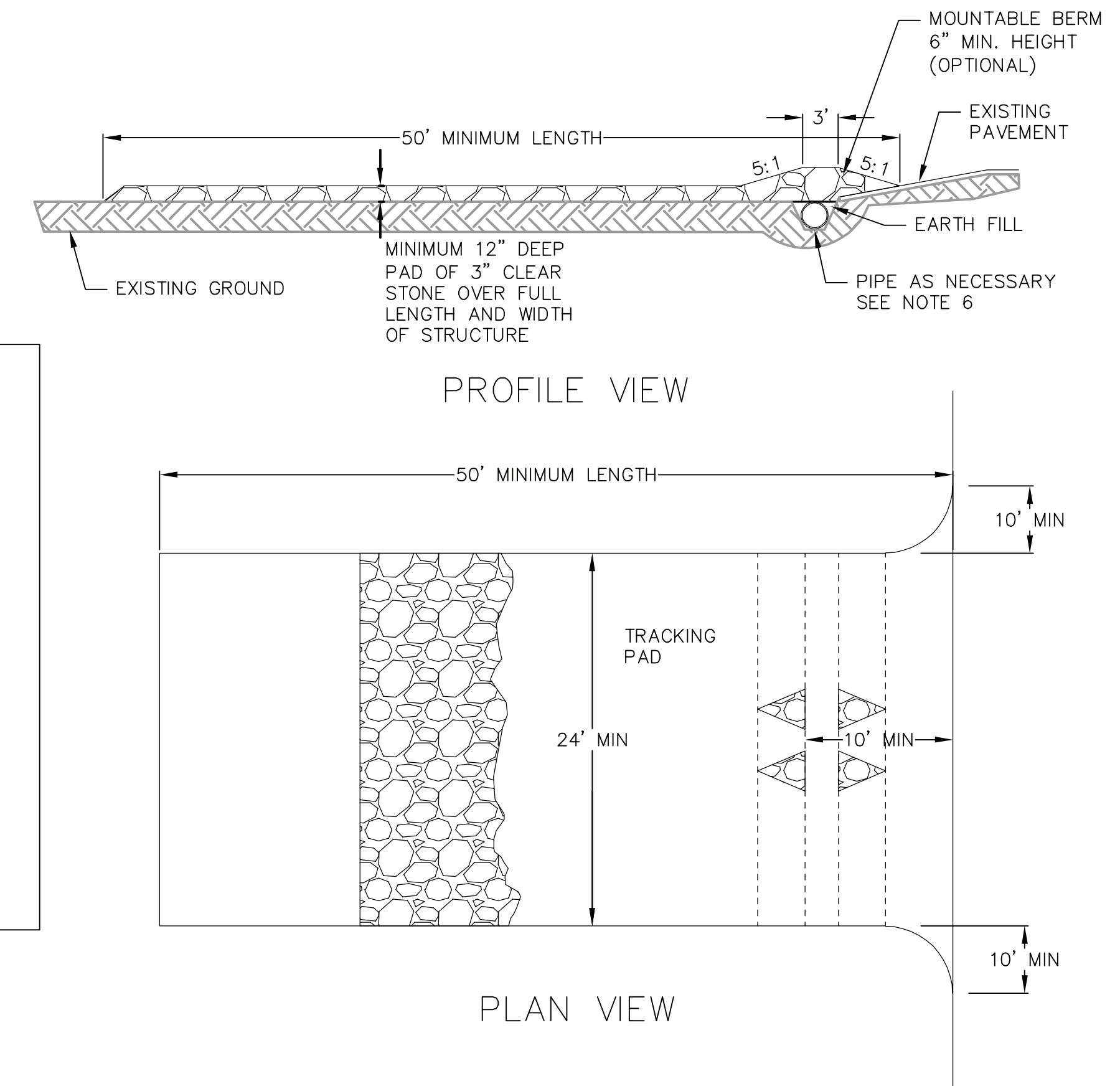
### TEMPORARY AND PERMANENT:

USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

## MULCHING RATES:

### TEMPORARY AND PERMANENT:

USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION



- FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
- LENGTH - MINIMUM OF 50'
- WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
- STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
- SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
- LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

1 TRACKING PAD  
6 NOT TO SCALE

**NOT FOR CONSTRUCTION**

REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN

DATE 12-06-2017

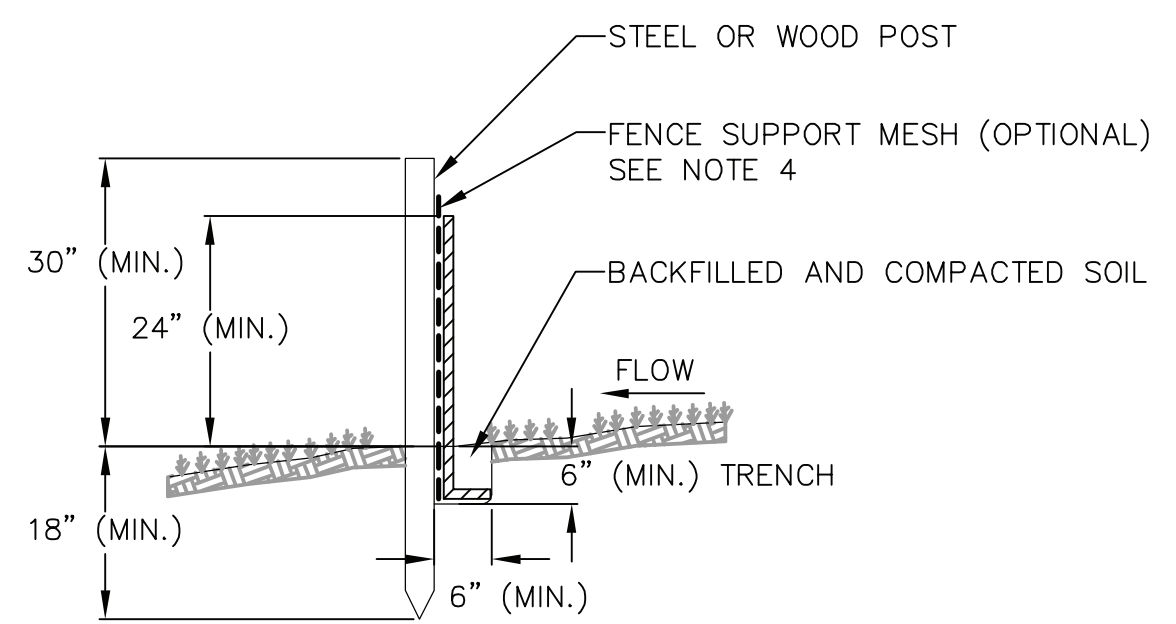
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PROJECT NO. 160164

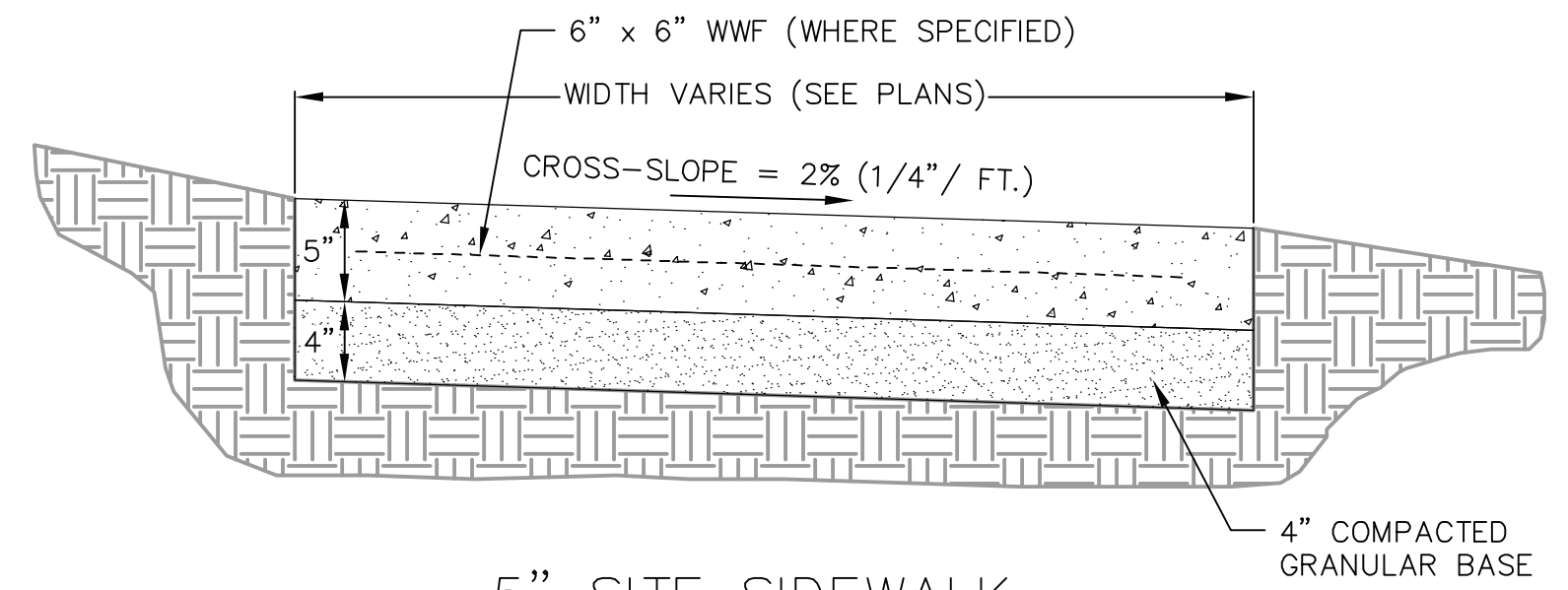
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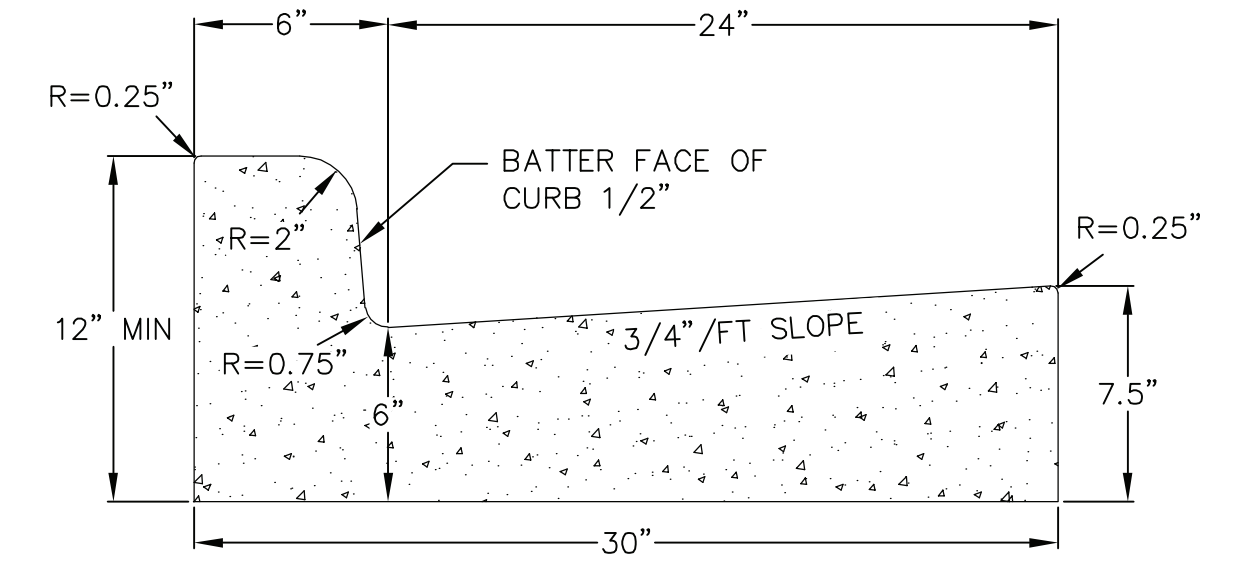


- NOTES:**
1. INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
  2. CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
  3. POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)  
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
  4. SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

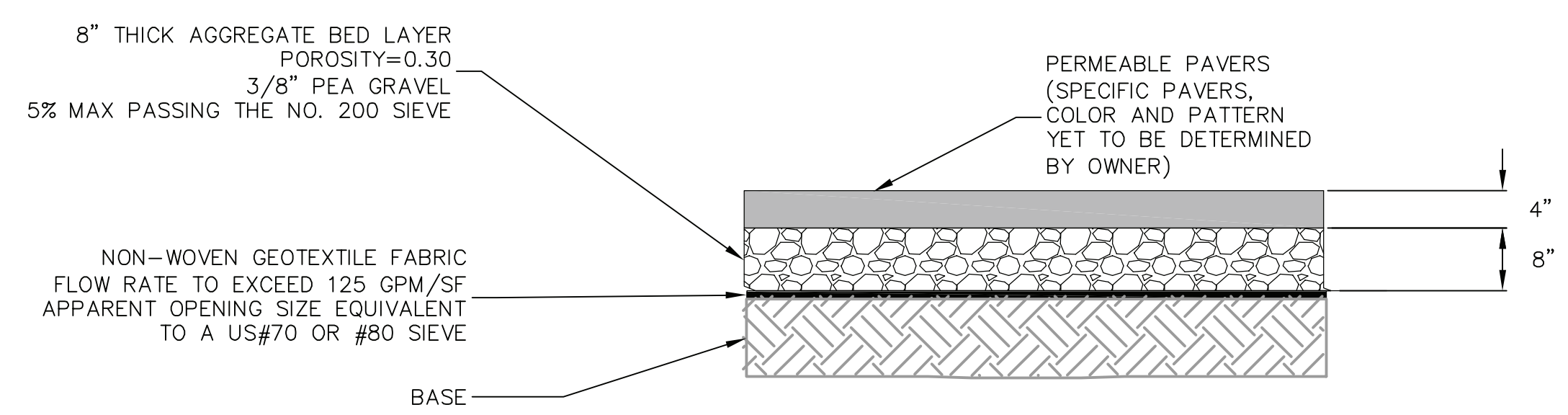
**1**  
**7** SILT FENCE  
NOT TO SCALE



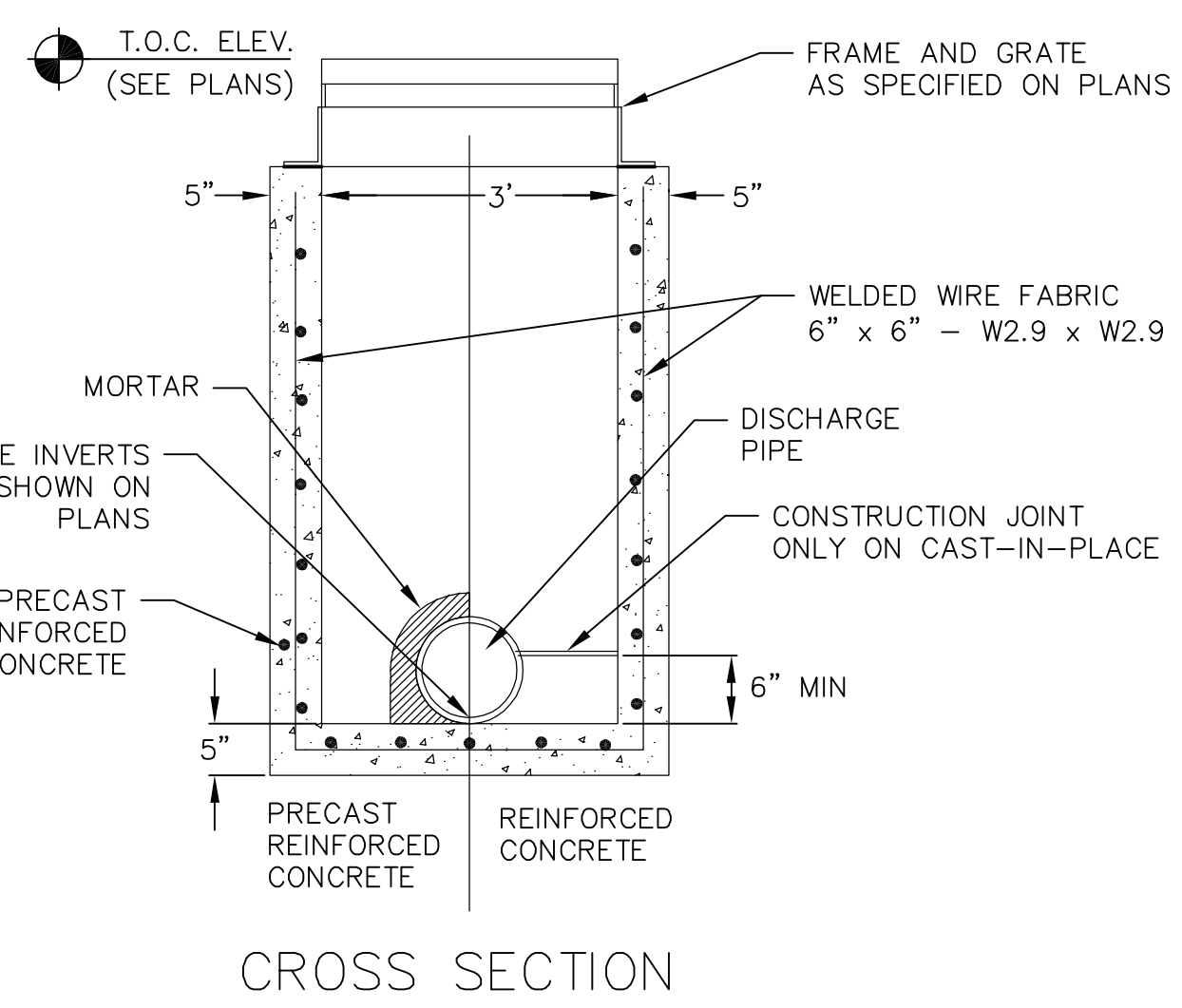
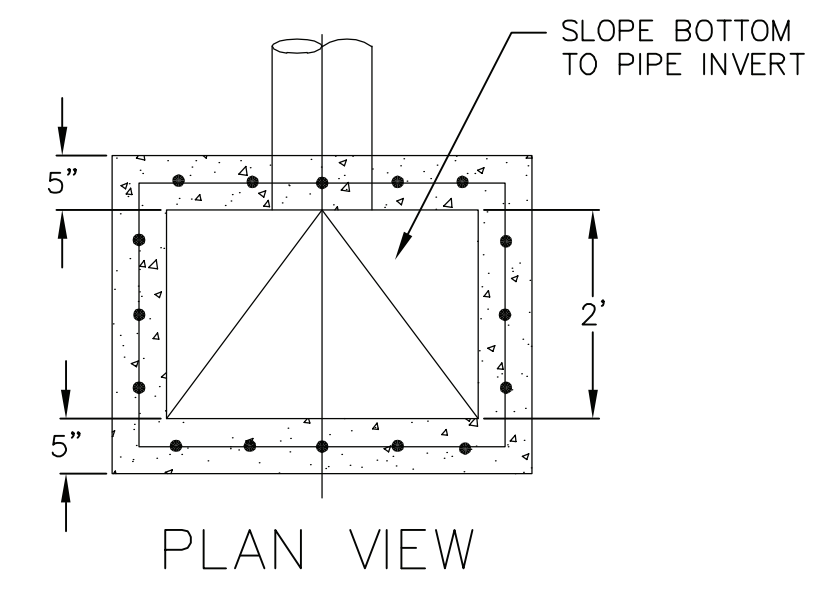
**2**  
**7** 5" SITE SIDEWALK  
NOT TO SCALE



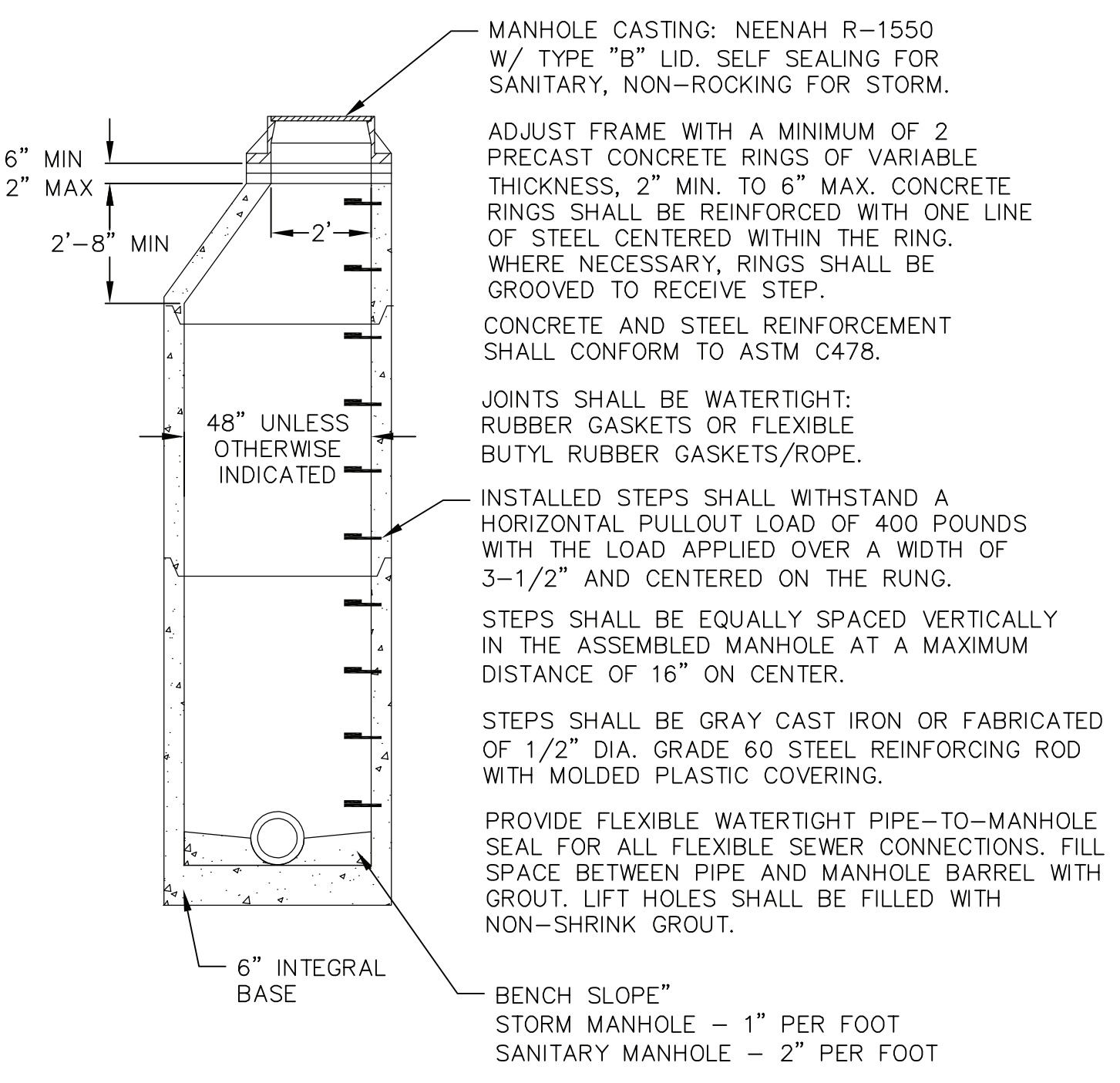
**3**  
**7** 30" CURB AND GUTTER  
NOT TO SCALE



**4**  
**7** PAVER SURFACE  
NOT TO SCALE



**6**  
**7** CURB INLET - TYPE 3, 2' x 3' BASIN  
NOT TO SCALE



**5**  
**7** PRECAST CONCRETE MANHOLE  
NOT TO SCALE

<p><b>TYPE I</b> CONCRETE PAVEMENT</p>	<p><b>TYPE I UTILITY TRENCH PATCH</b> THE PAVEMENT SHALL BE REMOVED IN TWO STAGES. THE INITIAL PAVEMENT REMOVAL SHALL BE LIMITED TO THE AREA OF THE PROPOSED TRENCH. FULL-DEPTH SAWCUTTING WILL NOT BE REQUIRED FOR THIS PHASE OF THE PAVEMENT REMOVAL. AFTER THE TRENCH HAS BEEN BACKFILLED AND COMPACTED, AND AFTER THE BASE HAS BEEN RESTORED IN THE AREA OF THE TRENCH, AND AFTER SAWCUTTING THE NEW JOINTS THE FULL DEPTH OF THE EXISTING PAVEMENT INCIDENTALLY REMAINING PAVEMENT TO BE REMOVED SHALL BE REMOVED WITHOUT DISTURBING THE EXISTING BASE.</p> <p>THE SIZE OF THE PATCH SHALL BE DETERMINED BY THE TOP WIDTH OF THE TRENCH, THE LOCATION AND SKEW OF THE EXISTING TRANSVERSE JOINTS, THE CONDITION OF THE EXISTING PAVEMENT, AND THE CONDITION OF THE BASE. NEW TRANSVERSE JOINTS SHALL BE PARALLEL TO THE EXISTING TRANSVERSE JOINTS AND SHALL BE A MINIMUM OF ONE (1) FOOT FROM THE TRENCH. THE DISTANCE BETWEEN NEW AND EXISTING TRANSVERSE JOINTS SHALL BE A MINIMUM OF EIGHT (8) FEET, MEASURED PERPENDICULAR TO THE JOINTS. THE PATCH SHALL BE A MINIMUM OF EIGHT (8) FEET IN LENGTH, AND SHALL HAVE THE SAME WIDTH AS THE PAVEMENT LANE.</p> <p>THE PATCH SHALL BE NINE (9) INCHES IN THICKNESS OF HIGH EARLY STRENGTH CONCRETE, DOWELED AND TIED WITH EPOXY COATED BARS, AND REINFORCED, ALL IN ACCORDANCE WITH THE TYPICAL SECTION.</p> <p>THE TRANSVERSE EDGES OF THE FINISHED PATCH SHALL BE FLUSH WITH THE EDGES OF THE EXISTING CONCRETE PAVEMENT. THE LONGITUDINAL SURFACE SHALL FORM A STRAIGHT LINE FROM EDGE TO EDGE WITHIN A TOLERANCE OF 1/4 INCH.</p>
<p><b>TYPE II</b> CONCRETE WITH ASPHALTIC OVERLAY</p>	<p><b>TYPE II UTILITY TRENCH PATCH</b> THE PATCH SHALL BE 7" HIGH EARLY STRENGTH CONCRETE BASE WITH THE SAME REINFORCEMENT AS THE EXISTING CONCRETE BASE, OVERLAIN WITH ASPHALT UPPER LAYER, WHERE SPECIFIED, OR DIRECTED BY THE ENGINEER. THE BASE SHALL BE CONSTRUCTED OF ASPHALTIC BASE COURSE MATERIAL, SHALL BE THE SAME THICKNESS AS THE EXISTING BASE, AND SHALL BE LAID IN TWO OR MORE COMPACTED LIFTS OF NOT MORE THAN 3" IN THICKNESS EACH.</p> <p>THE PAVEMENT ALONG THE PATCH SHALL BE SAWCUT, FULL DEPTH, AND INCIDENTAL TO THE TRENCH PATCH. THE EDGES OF THE PATCH SHALL BE VERTICAL, FREE OF LOOSE STONES OR CONCRETE PIECES, AND SHALL BE THOROUGHLY WETTED JUST PRIOR TO POURING THE NEW CONCRETE BASE.</p> <p>THE TOP OF THE NEW CONCRETE OR ASPHALT BASE SHALL BE FLUSH WITH THE TOP OF THE EXISTING CONCRETE BASE.</p> <p>PRIOR TO PLACING THE ASPHALT UPPER LAYER, THE EDGES OF THE PATCH AND THE SURFACE OF THE NEW CONCRETE BASE SHALL BE THOROUGHLY TACKED WITH LIQUID ASPHALT.</p> <p>THE ASPHALT UPPER LAYER SHALL BE OF THE SAME THICKNESS AS THE EXISTING ASPHALT OVERLAY WITH A MINIMUM THICKNESS OF 1" AND A MAXIMUM THICKNESS OF 5/4 UNLESS OTHERWISE SPECIFIED AND SHALL BE LAID IN ONE OR MORE COURSES AS DIRECTED BY THE ENGINEER. THE ASPHALTIC UPPER LAYER SHALL BE MACHINE LAID WHERE DIRECTED BY THE ENGINEER. WHERE THE ASPHALTIC UPPER LAYER IS MACHINE LAID, AND IS NOT MORE THAN 3" IN THICKNESS, THE ASPHALTIC SURFACE MAY BE LAID IN ONE LIFT.</p>
<p><b>TYPE III</b> ASPHALTIC STREET</p>	<p><b>TYPE III UTILITY TRENCH PATCH</b> THE PATCH SHALL BE CRUSHED STONE BASE COURSE, GRADATION NO. 2 OVERLAIN WITH ASPHALT UPPER LAYER EQUAL IN THICKNESS TO THE EXISTING ASPHALTIC PAVEMENT WITH A MINIMUM THICKNESS OF 3" AND A MAXIMUM THICKNESS OF 5/4 UNLESS OTHERWISE SPECIFIED AND LAID IN ONE OR MORE COURSES AS DIRECTED BY THE ENGINEER.</p> <p>THE PAVEMENT ALONG THE PATCH SHALL BE SAWCUT, FULL DEPTH, AND INCIDENTAL TO THE TRENCH PATCH. THE EDGES OF THE EXISTING ASPHALTIC PAVEMENT SHALL BE FREE OF LOOSE STONES OR PAVEMENT MATERIAL.</p> <p>THE CRUSHED STONE BASE COURSE SHALL BE INSTALLED IN TWO LIFTS. THE LOWER LIFT SHALL BE THOROUGHLY MECHANICALLY COMPACTED PRIOR TO PLACING THE UPPER LIFT.</p> <p>THE ASPHALT UPPER LAYER SHALL BE LAID IN TWO LIFTS. THE ASPHALT UPPER LAYER SHALL BE MACHINE LAID WHERE DIRECTED BY THE ENGINEER. WHERE THE ASPHALTIC UPPER LAYER IS MACHINE LAID AND IS NOT MORE THAN 3" IN THICKNESS, THE ASPHALT SURFACE COURSE MAY BE IN ONE LIFT.</p> <p>PRIOR TO PLACING THE ASPHALT UPPER LAYER, THE EDGES OF THE PATCH AND THE SURFACE OF THE CRUSHED STONE BASE SHALL BE TACKED AND PRIMED WITH LIQUID ASPHALT.</p>
<p><b>TYPE IV</b> NEW CRUSHED STONE PAVEMENT</p>	<p><b>TYPE IV UTILITY TRENCH PATCH</b> THE PATCH SHALL BE 9" CRUSHED STONE BASE COURSE, GRADATION NO. 2. FULL DEPTH SAWCUTTING OF ADJACENT PAVEMENT (IF ANY) SHALL BE CONSIDERED INCIDENTAL TO THE TRENCH PATCH.</p> <p>THE CRUSHED STONE BASE COURSE SHALL BE INSTALLED IN THREE LIFTS. EACH LIFT SHALL BE THOROUGHLY MECHANICALLY COMPACTED PRIOR TO PLACING SUCCEEDING LIFTS.</p>

**NOT FOR CONSTRUCTION**

CITY OF MADISON  
ENGINEERING DIVISION  
**TYPICAL PAVEMENT PATCH SECTIONS**  
2012 STANDARD DETAIL DRAWING 5.2.4

REVISIONS	NO.	DATE	REMARKS

SCALE: AS SHOWN  
DATE: 12-06-2017  
DRAFTER: JMAH  
CHECKED: KJEN  
PROJECT NO.: 160164  
SHEET: 7 OF 7  
DWG. NO.: C-6.1

ISSUED

Issued for Land Use & UDC - Sept. 19, 2018

PROJECT TITLE  
222 N.  
Charter  
Street

SHEET TITLE  
Planting Plan

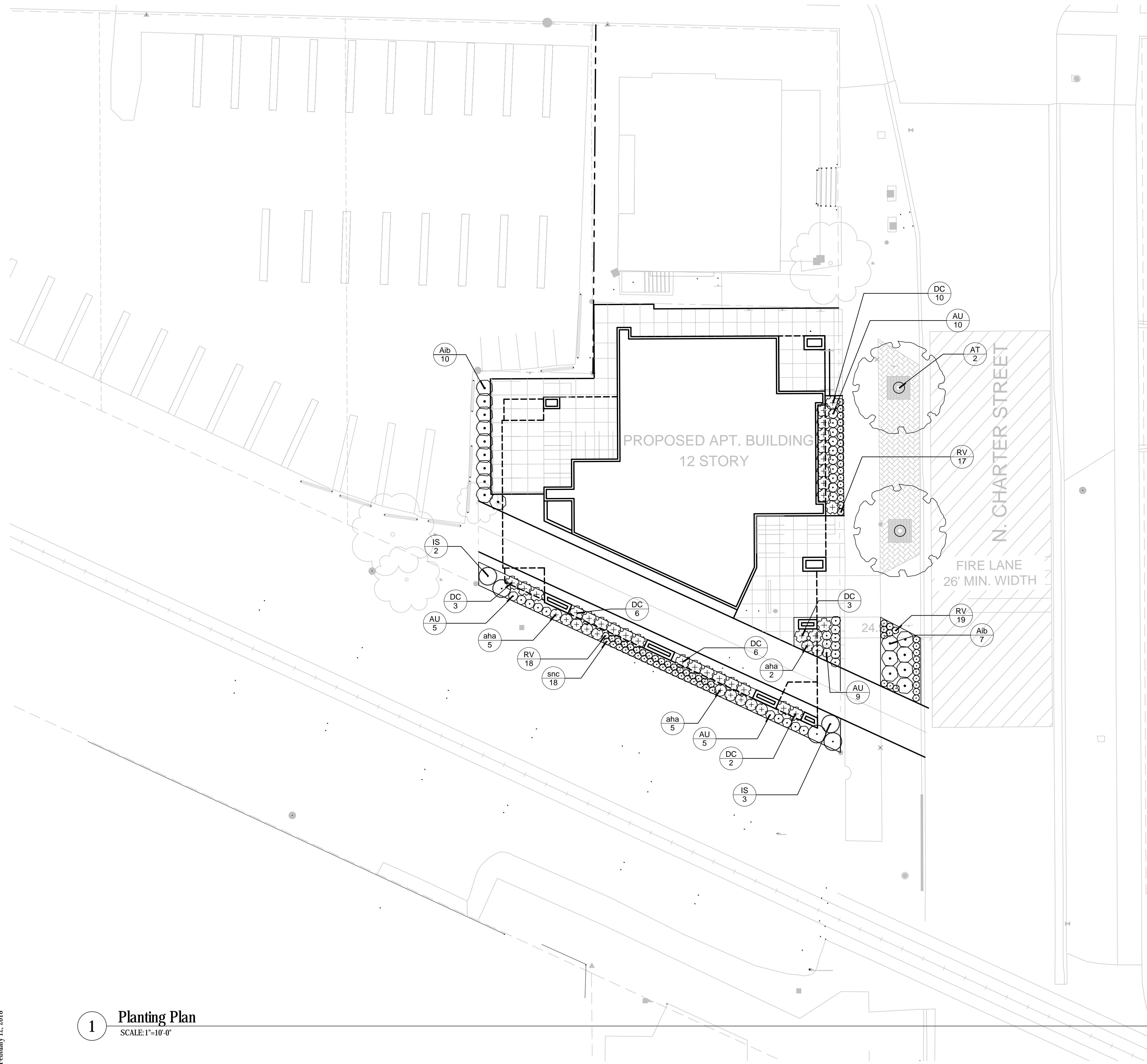
SHEET NUMBER

L-1.0

PROJECT NO.

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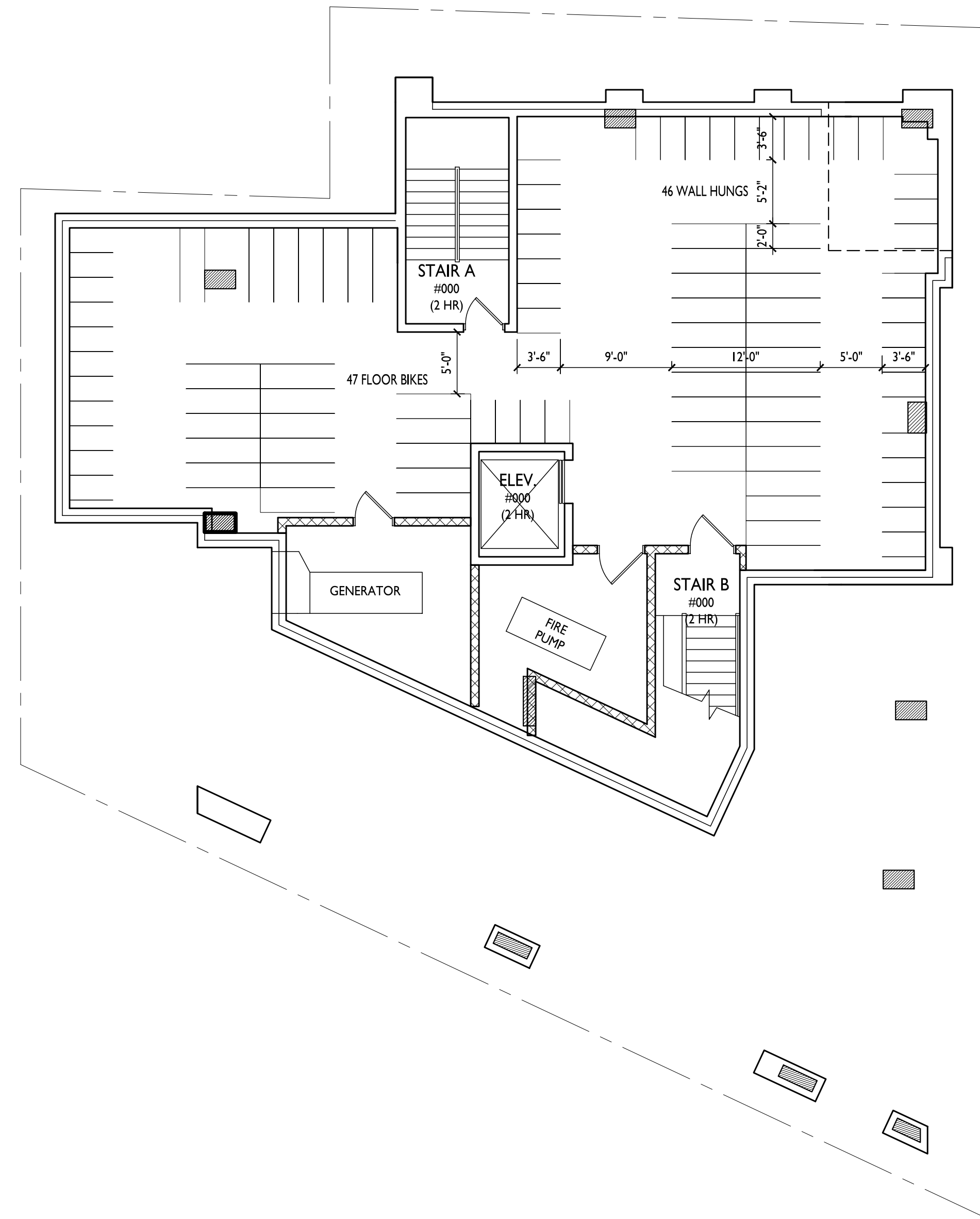
PLANT SCHEDULE					
TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	QTY	
	AT	Acer tataricum / Tatarian Maple	15 gal	2	
SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
	aha	Amsonia hubrichtii 'Halfway to Arkansas' / Arkansas Blue Star	1 gal	30" o.c.	12
	Alb	Aronia melanocarpa 'Morton' / Iroquois Beauty Black Chokeberry	3 gal	42" o.c.	17
	AU	Aronia melanocarpa 'UCONNAM165' / Lowscape Mound Chokeberry	2 gal	24" o.c.	29
	DC	Diervilla sessilifolia 'Cool Splash' / Cool Splash False Honeysuckle	3 gal	36" o.c.	30
EVERGREEN SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
	IS	Ilex glabra 'Shamrock' / Inkberry	2 gal	48" o.c.	5
PERENNIALS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
	RV	Rudbeckia fulgida speciosa 'Viete's Little Suzy' / Coneflower	1 gal	18" o.c.	54
	snc	Salvia nemorosa 'Caradonna' / Caradonna Perennial Salvia	1 gal	18" o.c.	18





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PROJECT TITLE  
222 N. Charter  
Street

SHEET TITLE  
Basement Plan

SHEET NUMBER

**A-1.0**

PROJECT NO.

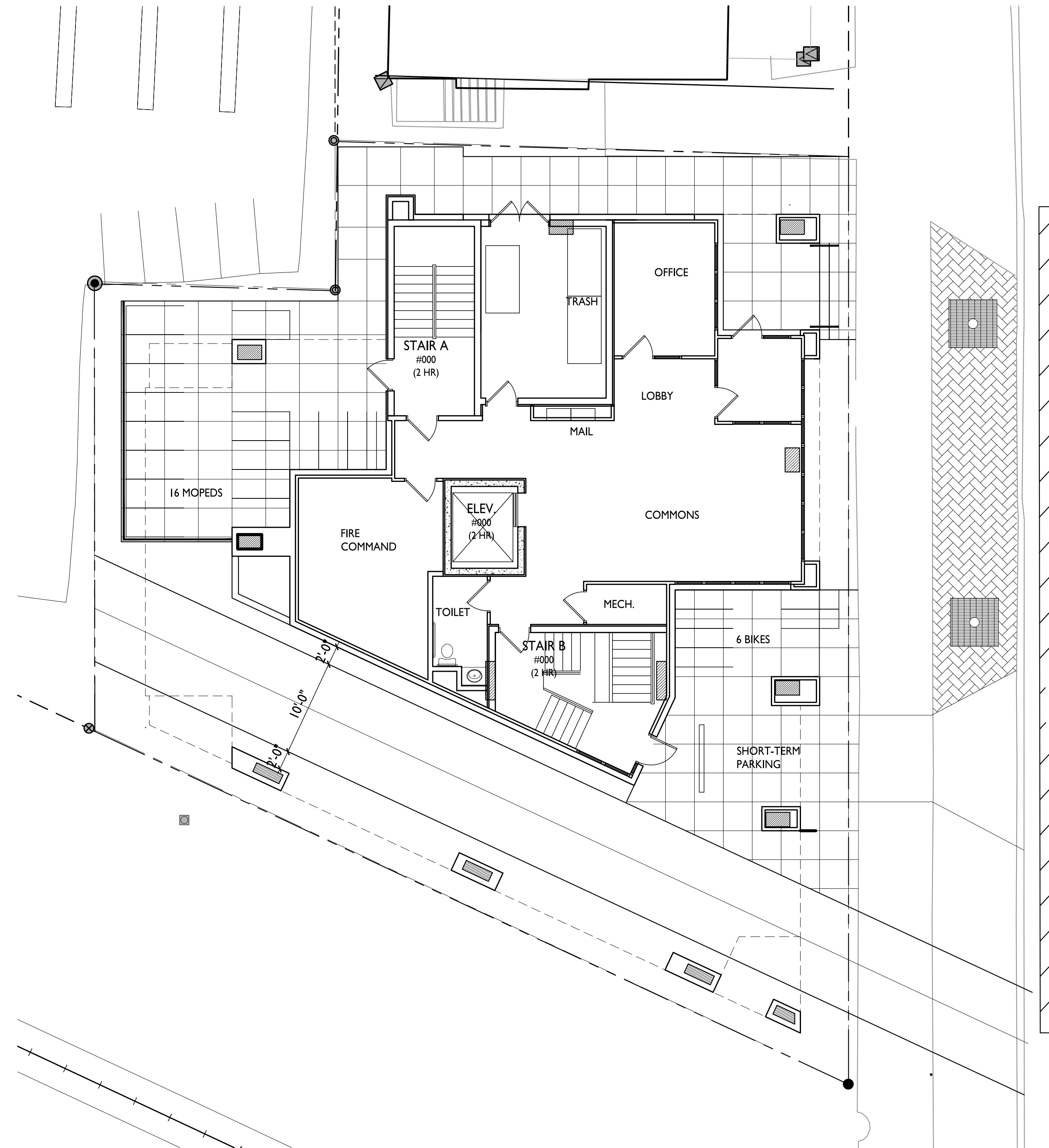
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**BASEMENT PLAN**  
A-1.0 1/8"=1'-0"

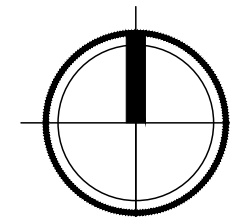


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**FIRST FLOOR PLAN**  
A-1.1 1/8"=1'-0"



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PROJECT TITLE  
**222 N. Charter Street**

SHEET TITLE  
**First Floor Plan**

SHEET NUMBER

**A-1.1**

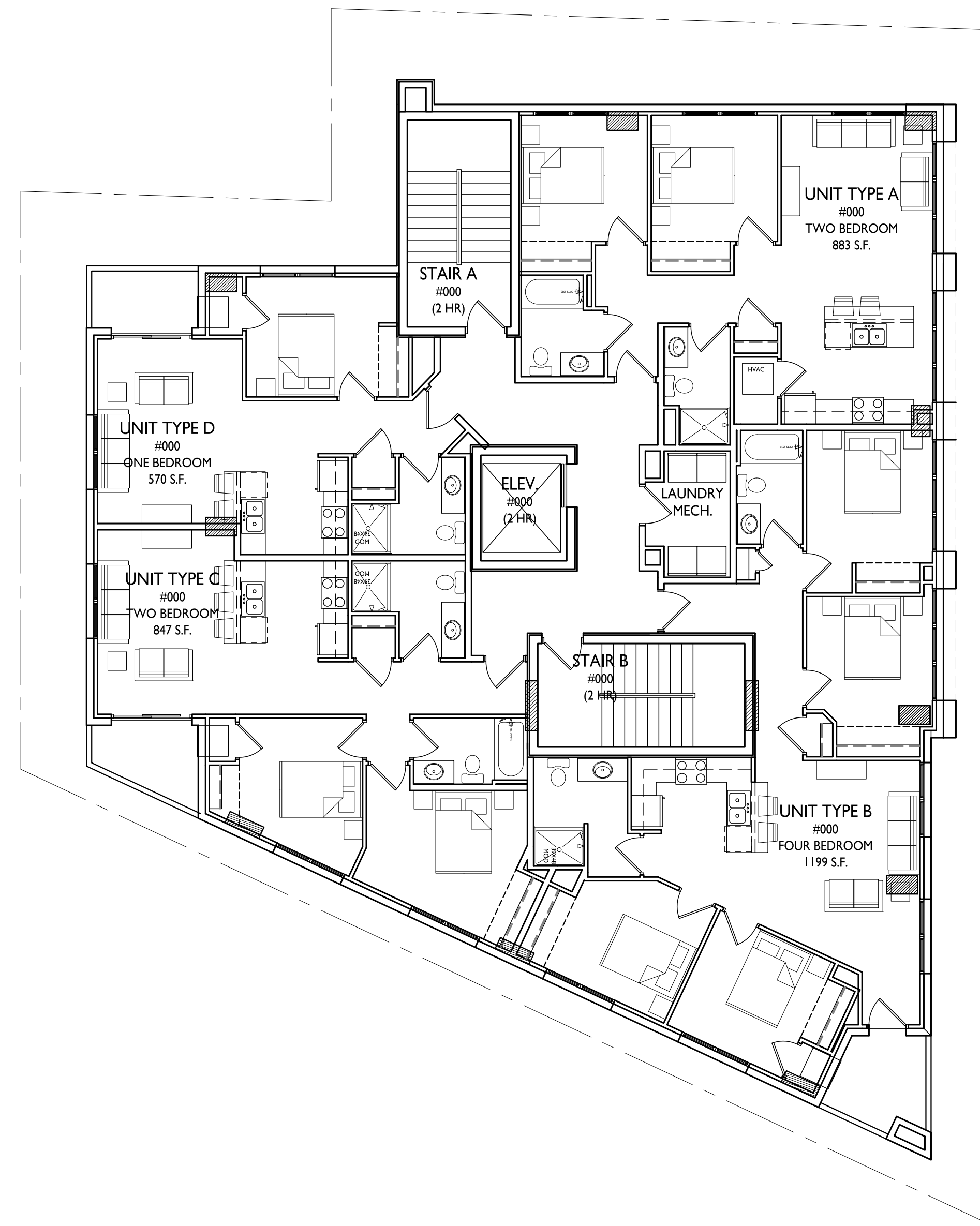
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PROJECT TITLE

222 N. Charter  
Street

SHEET TITLE

Second & Third  
Floor Plan

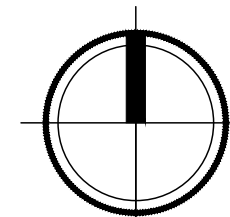
SHEET NUMBER

**A-1.2**

PROJECT NO.

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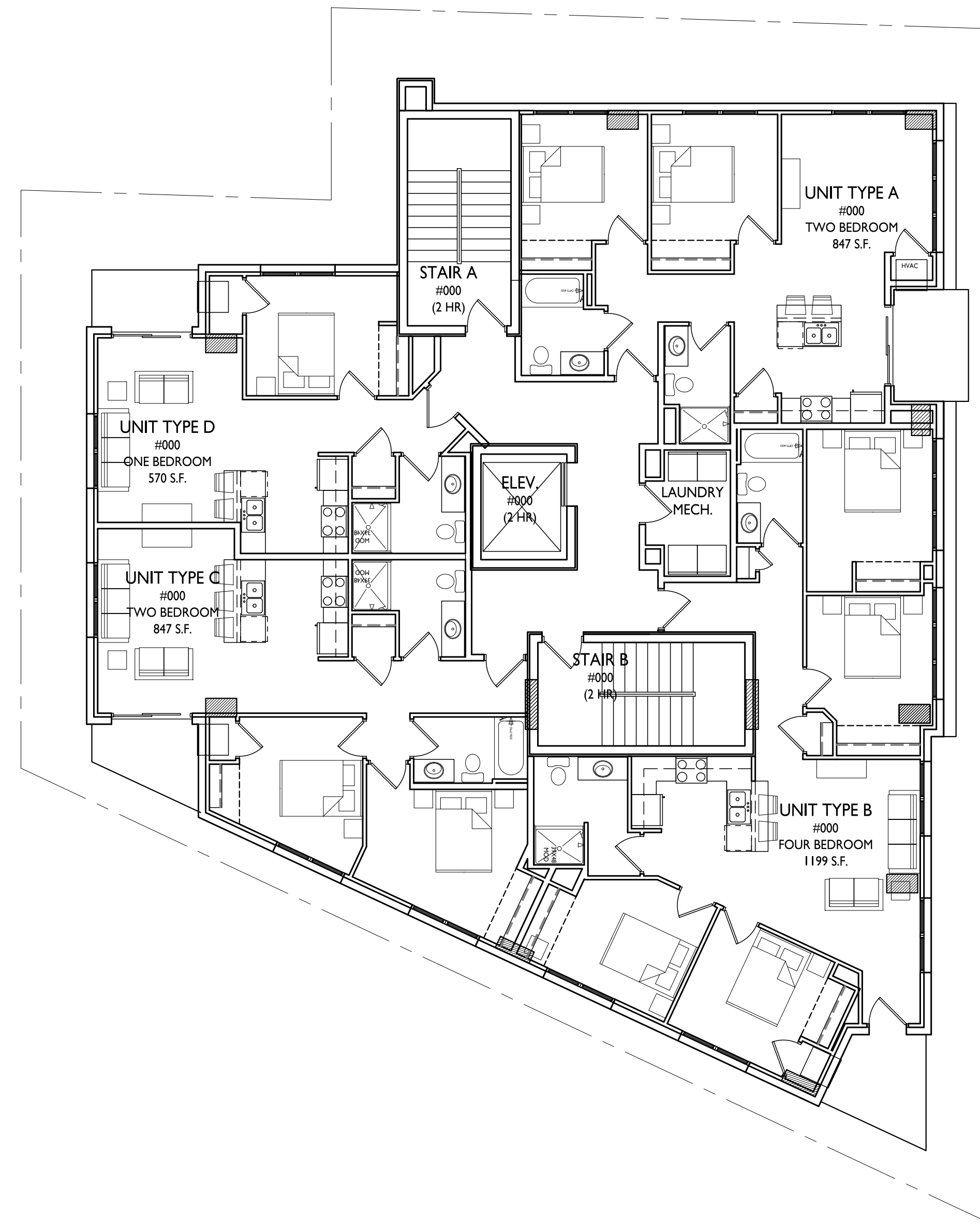
**1** SECOND & THIRD FLOOR PLAN  
A-1.2 1/8"=1'-0"





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PROJECT TITLE  
222 N. Charter  
Street

SHEET TITLE  
Fourth-Eleventh  
Floor Plan

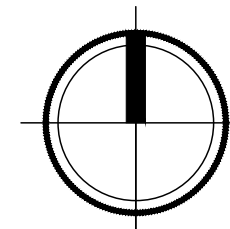
SHEET NUMBER

**A-1.3**

PROJECT NO.

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**1**  
A-1.3  
FOURTH-ELEVENTH FLOOR PLAN  
1/8"=1'-0"

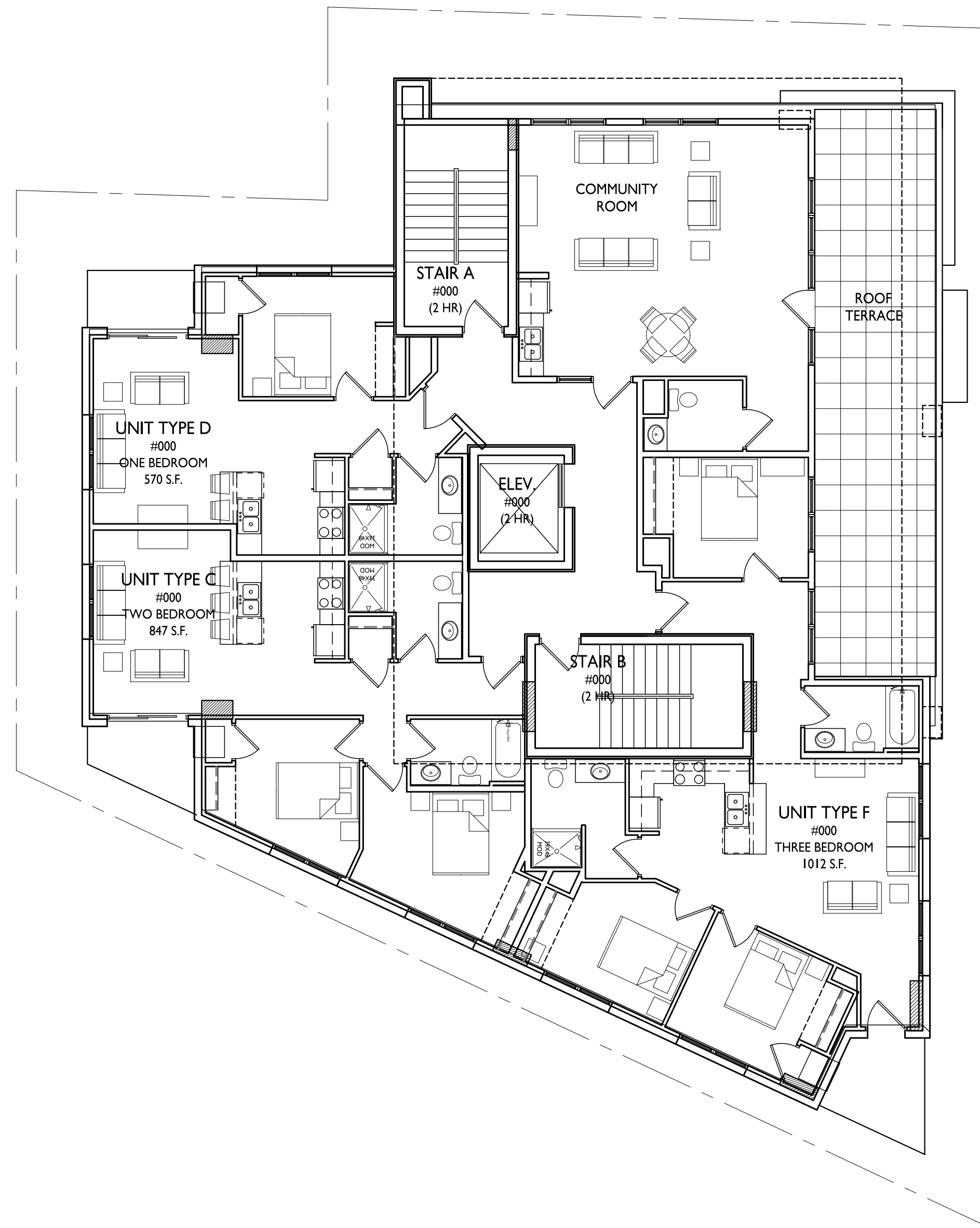






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PROJECT TITLE  
222 N. Charter  
Street

SHEET TITLE  
Twelfth Floor Plan

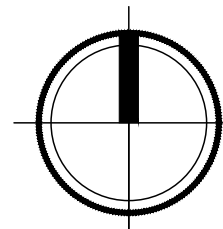
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**A-1.4**

PROJECT NO.

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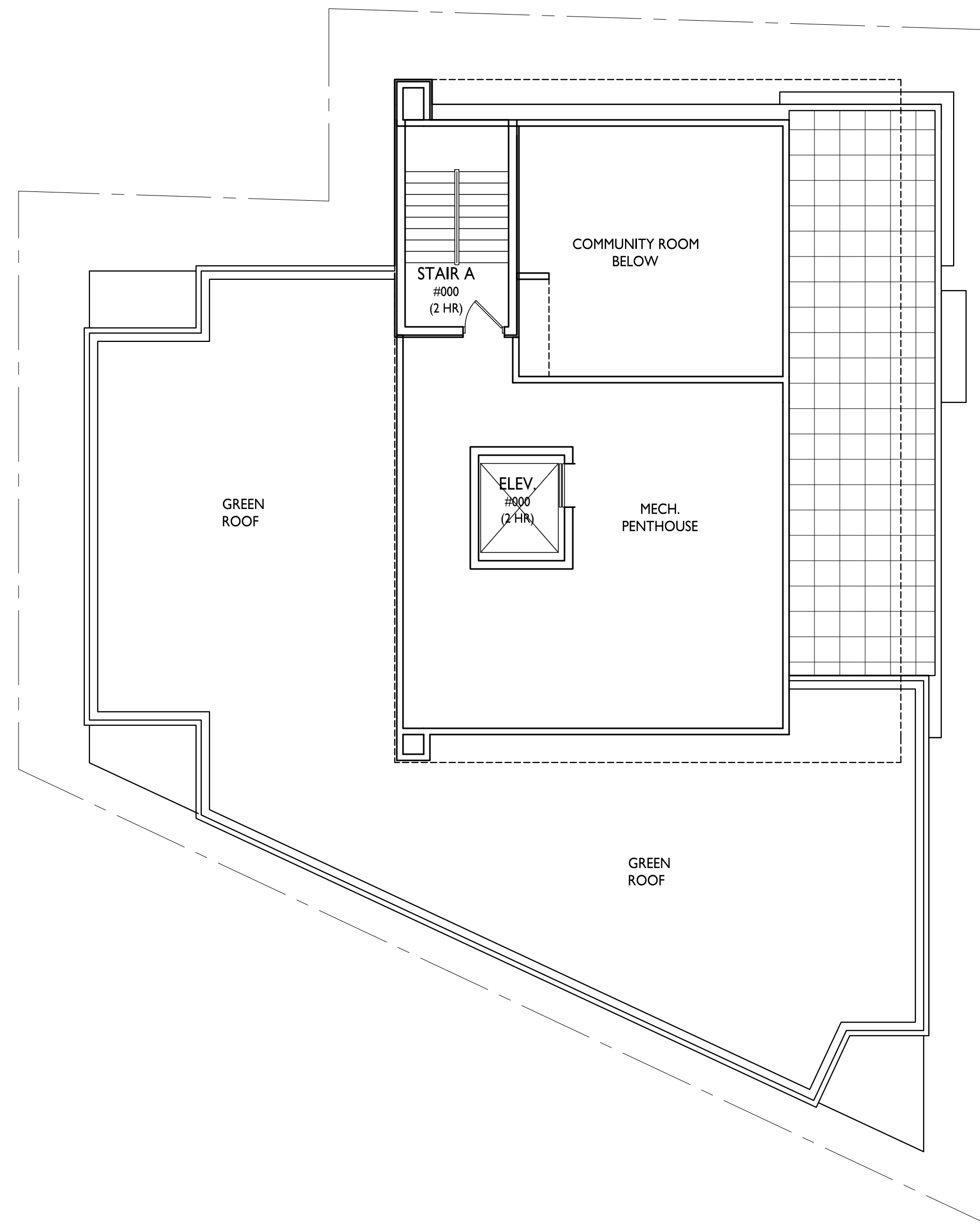
**TWELFTH FLOOR PLAN**  
A-1.4 1/8"=1'-0"





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PROJECT TITLE  
222 N. Charter  
Street

SHEET TITLE  
Roof Plan

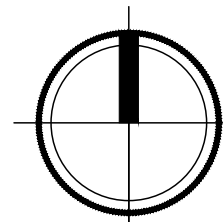
SHEET NUMBER

**A-1.5**

PROJECT NO.

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**1** ROOF PLAN  
A-1.5 1/8"=1'-0"

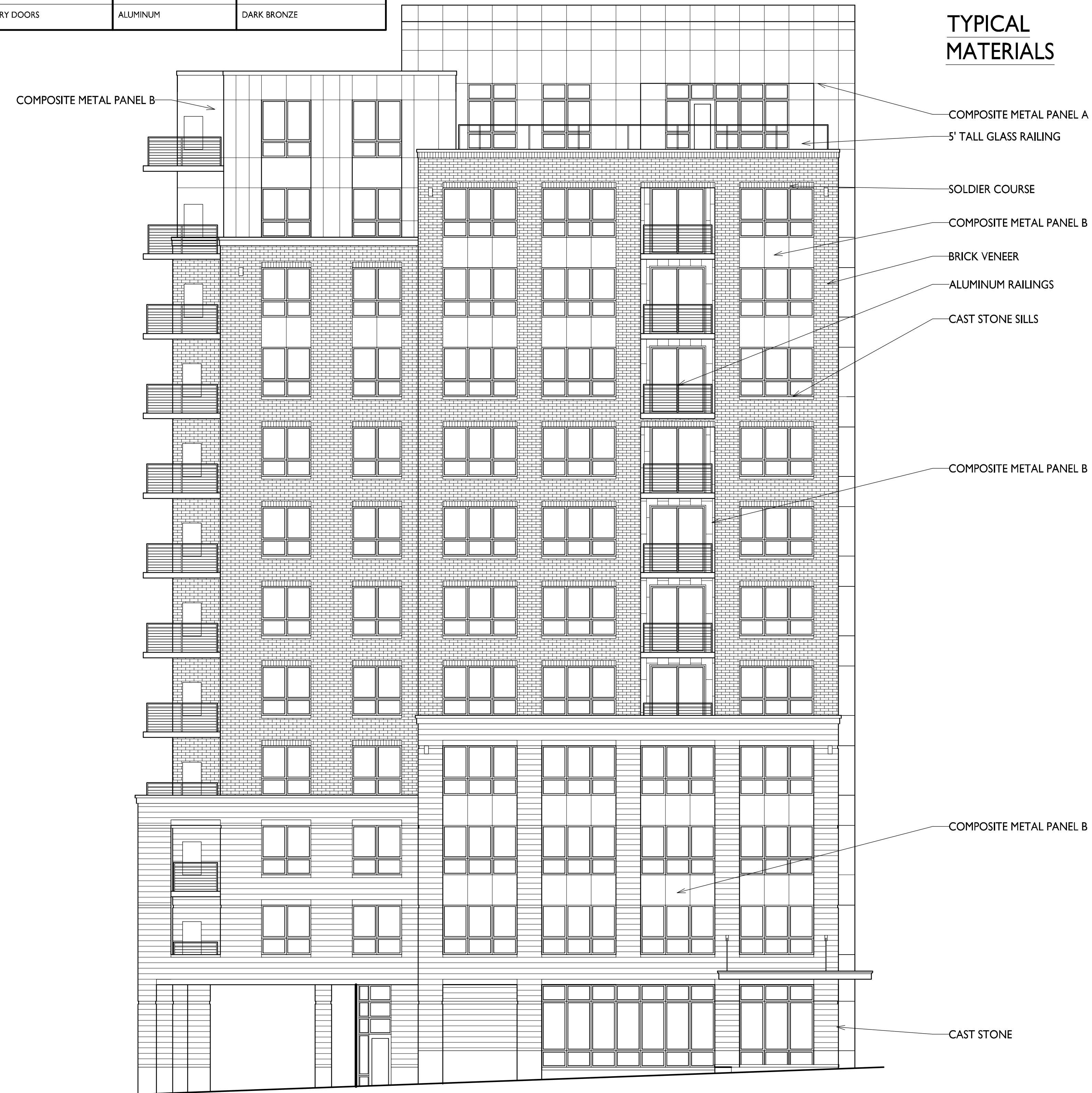


EXTERIOR MATERIAL SCHEDULE		
BUILDING MATERIAL	MATERIAL	COLOR
PANEL A	COMPOSITE METAL	REYNOLBOND - TERRA DI SIENA
PANEL B	COMPOSITE METAL	CMG - SLATE GRAY
MASONRY VENEER	BRICK VENEER	ACME - CONFEDERATE BLEND
CAST STONE SILLS & HEADS & BANDS	CAST STONE	BUFF
BALCONY DECKS	STEEL	DARK BRONZE
WINDOWS	ALUMINUM	DARK BRONZE
RAILING	ALUM. (GLASS AT ROOF DECK)	DARK BRONZE
ENTRY DOORS	ALUMINUM STOREFRONT	DARK BRONZE
UNIT ENTRY DOORS	ALUMINUM	DARK BRONZE

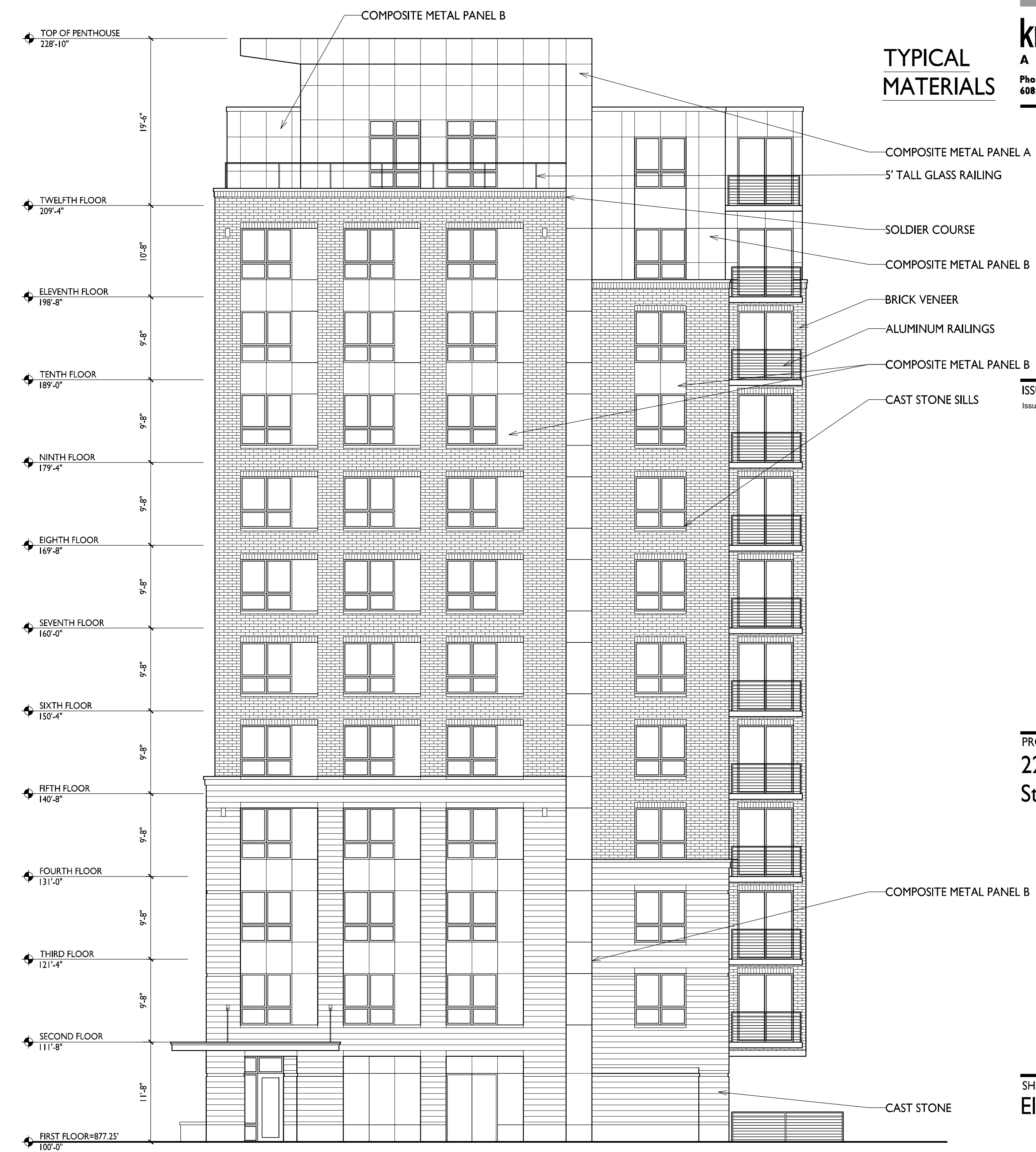


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**TYPICAL MATERIALS**



**TYPICAL MATERIALS**



**TYPICAL MATERIALS**

ISSUED  
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PROJECT TITLE  
**222 N. Charter Street**

SHEET TITLE  
**Elevations**

**1** ELEVATION ALONG N. CHARTER STREET  
A-2.1 1/8"=1'-0"

**2** NORTH ELEVATION  
A-2.1 1/8"=1'-0"

SHEET NUMBER

**A-2.1**

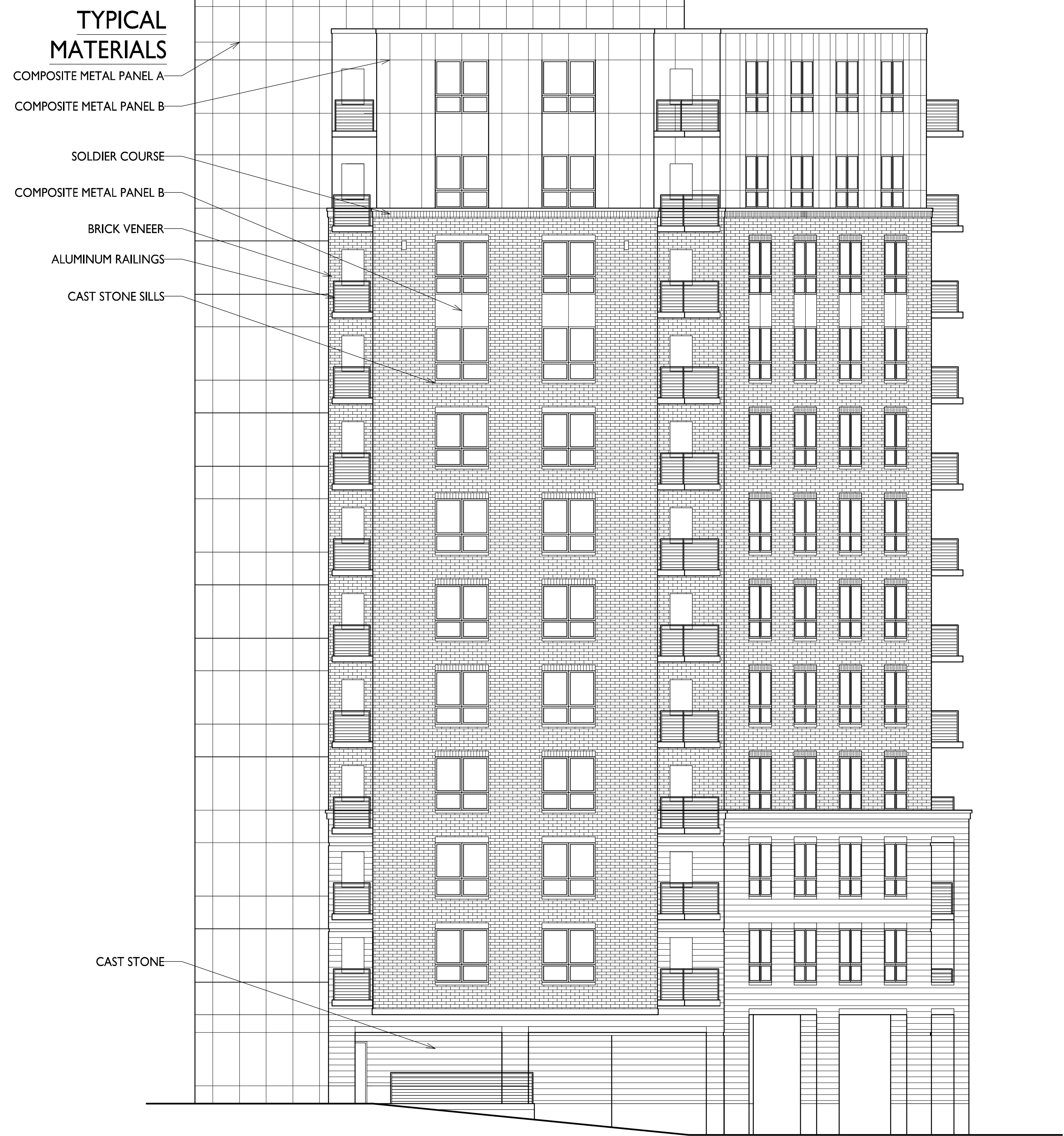
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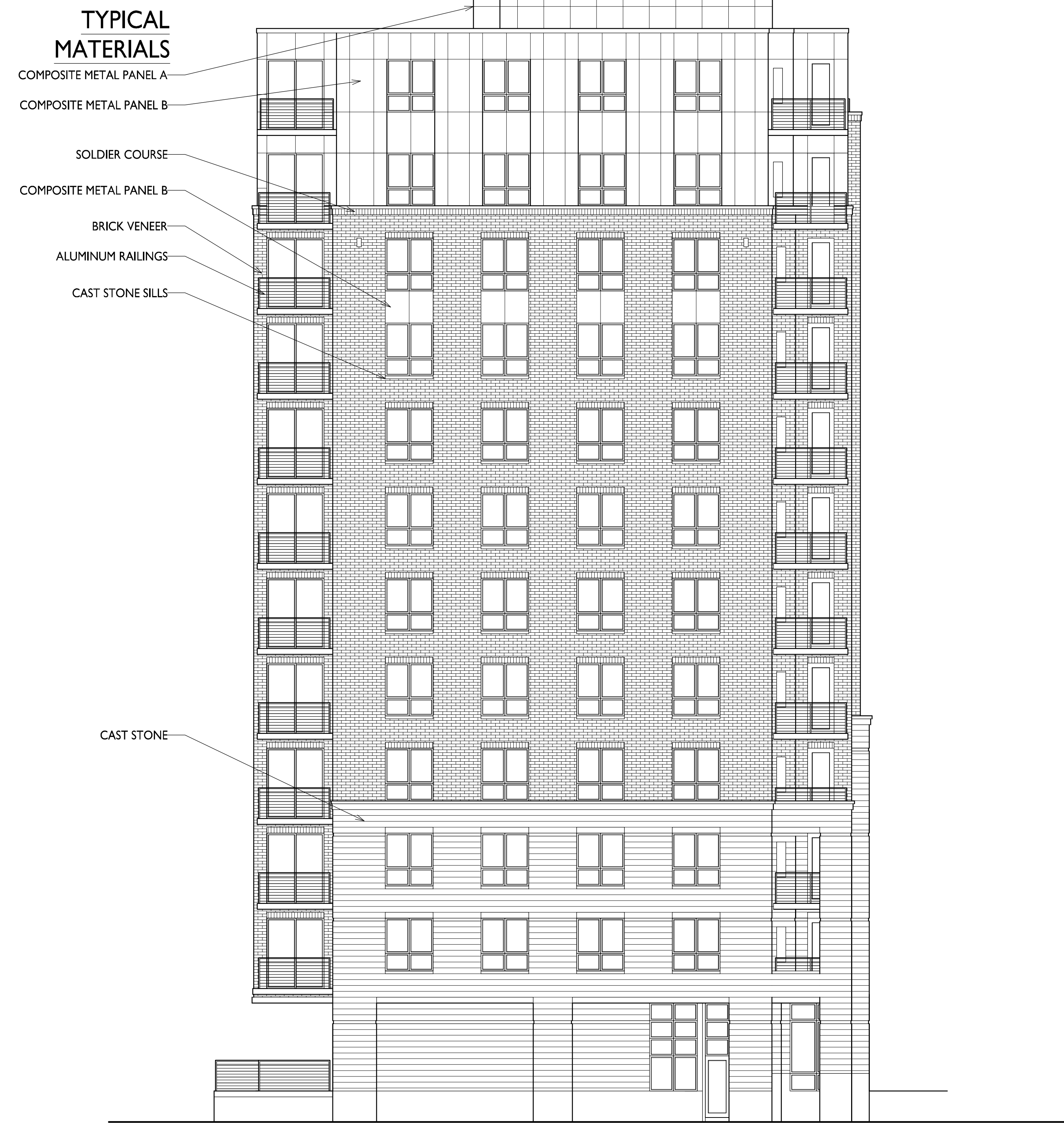
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EXTERIOR MATERIAL SCHEDULE		
BUILDING MATERIAL	MATERIAL	COLOR
PANEL A	COMPOSITE METAL	REYNOBOND - TERRA DI SIENA
PANEL B	COMPOSITE METAL	CMG - SLATE GRAY
MASONRY VENEER	BRICK VENEER	ACME - CONFEDERATE BLEND
CAST STONE SILLS & HEADS & BANDS	CAST STONE	BUFF
BALCONY DECKS	STEEL	DARK BRONZE
WINDOWS	ALUMINUM	DARK BRONZE
RAILING	ALUM. (GLASS AT ROOF DECK)	DARK BRONZE
ENTRY DOORS	ALUMINUM STOREFRONT	DARK BRONZE
UNIT ENTRY DOORS	ALUMINUM	DARK BRONZE



**1 WEST ELEVATION**  
A-2.2 1/8"=1'-0"



**2 SOUTH ELEVATION**  
A-2.2 1/8"=1'-0"

ISSUED  
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PROJECT TITLE  
**222 N. Charter Street**

SHEET TITLE  
**Elevations**

SHEET NUMBER

**A-2.2**

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A-2.3

222 N. Charter Street

Madison, WI

September 19, 2018





A-2.4

222 N. Charter Street  
Madison, WI  
September 19, 2018



222 N Charter



A-2.5

222 N. Charter Street  
Madison, WI  
September 19, 2018



EXTERIOR MATERIAL SCHEDULE		
BUILDING MATERIAL	MATERIAL	COLOR
PANEL A	COMPOSITE METAL	REYNOLBOND - TERRA DI SIENA
PANEL B	COMPOSITE METAL	CMG - SLATE GRAY
MASONRY VENEER	BRICK VENEER	ACME - CONFEDERATE BLEND
CAST STONE SILLS & HEADS & BANDS	CAST STONE	BUFF
BALCONY DECKS	STEEL	DARK BRONZE
WINDOWS	ALUMINUM	DARK BRONZE
RAILING	ALUM. (GLASS AT ROOF DECK)	DARK BRONZE
ENTRY DOORS	ALUMINUM STOREFRONT	DARK BRONZE
UNIT ENTRY DOORS	ALUMINUM	DARK BRONZE



East Elevation along N. Charter St



North Elevation

Elevations  
222 N. Charter Street  
September 19, 2018







West Elevation



South Elevation

EXTERIOR MATERIAL SCHEDULE

BUILDING MATERIAL	MATERIAL	COLOR
PANEL A	COMPOSITE METAL	REYNOBOND - TERRA DI SIENA
PANEL B	COMPOSITE METAL	CMG - SLATE GRAY
MASONRY VENEER	BRICK VENEER	ACHE - CONFEDERATE BLEND
CAST STONE SILLS & HEADS & BANDS	CAST STONE	BUFF
BALCONY DECKS	STEEL	DARK BRONZE
WINDOWS	ALUMINUM	DARK BRONZE
RAILING	ALUM. (GLASS AT ROOF DECK)	DARK BRONZE
ENTRY DOORS	ALUMINUM STOREFRONT	DARK BRONZE
UNIT ENTRY DOORS	ALUMINUM	DARK BRONZE

Elevations  
222 N. Charter Street  
September 19, 2018

