

Dane County Jail Consolidation South Tower Addition & Public Safety Building Renovation

115 W. Doty Street
Madison, WI 53703

May 20, 2020 Land Use Application

Dane County Public Works
Project No.: 318025

Mead & Hunt Project No.:
4215400-161957.01

Mead & Hunt

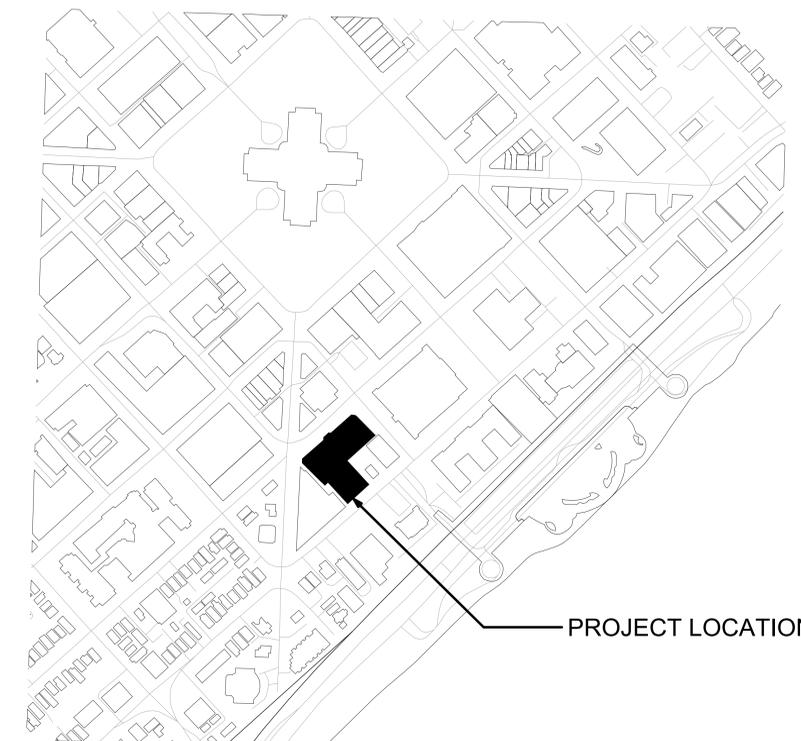
Mead & Hunt, Inc.
2440 Deming Way
Middleton, WI 53562
phone: 608-273-6380
meadhunt.com

**Potter
Lawson**

Success by Design

HR

DWG #	Drawing Title	DWG #	Drawing Title	DWG #	Drawing Title	DWG #	Drawing Title
GENERAL		ARCHITECTURAL		LU-A109 ROOF PLAN		ELECTRICAL	
LU-CD	Cover Drawing	LU-A001	CONTEXT PHOTOS - EXISTING CONDITIONS	LU-A201	BUILDING ELEVATION - NORTH	ES-1	SITE LIGHTING
		LU-A002	ILLUSTRATIVE SITE PLAN	LU-A202	BUILDING ELEVATION - EAST	ES-2	SITE LIGHTING PHOTOMETRICS
		LU-A003	RENDERED ELEVATIONS	LU-A203	BUILDING ELEVATION - SOUTH		
CIVIL		LU-A004	AERIAL VIEWS	LU-A204	BUILDING ELEVATION - WEST		
C001	EXISTING CONDITIONS	LU-A005	BUILDING PERSPECTIVES				
C002	EXISTING CONDITIONS	LU-A098	SUB-BASEMENT 2 PLAN				
C003	EXISTING CONDITIONS	LU-A099	SUB-BASEMENT PLAN				
C101	DEMO PLANS	LU-A100	BASEMENT PLAN				
C102	DEMO PLANS	LU-A101	FIRST FLOOR PLAN				
C201	PROPOSED SITE PLAN	LU-A102	SECOND FLOOR PLAN				
C202	PROPOSED SITE PLAN	LU-A103	THIRD FLOOR PLAN				
C203	PROPOSED SITE PLAN	LU-A104	FOURTH FLOOR PLAN				
C301	GRADING PLAN	LU-A105	FIFTH FLOOR PLAN				
C302	GRADING PLAN	LU-A106	SIXTH FLOOR PLAN				
C401	UTILITIES PLAN	LU-A107	SEVENTH FLOOR PLAN				
C402	UTILITIES PLAN	LU-A108	EIGHTH FLOOR PLAN				
C501	FIRE ACCESS PLAN						



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DANE COUNTY DEPT. OF
PUBLIC WORKS, HIGHWAY &
TRANSPORTATION
1919 ALLIANT ENERGY
CENTER WAY
MADISON, WI 53713
PROJECT NO. 318025

Dane County Jail Consolidation
South Tower Addition & Public Safety
Building Renovation
115 W. Doty Street
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ISSUED

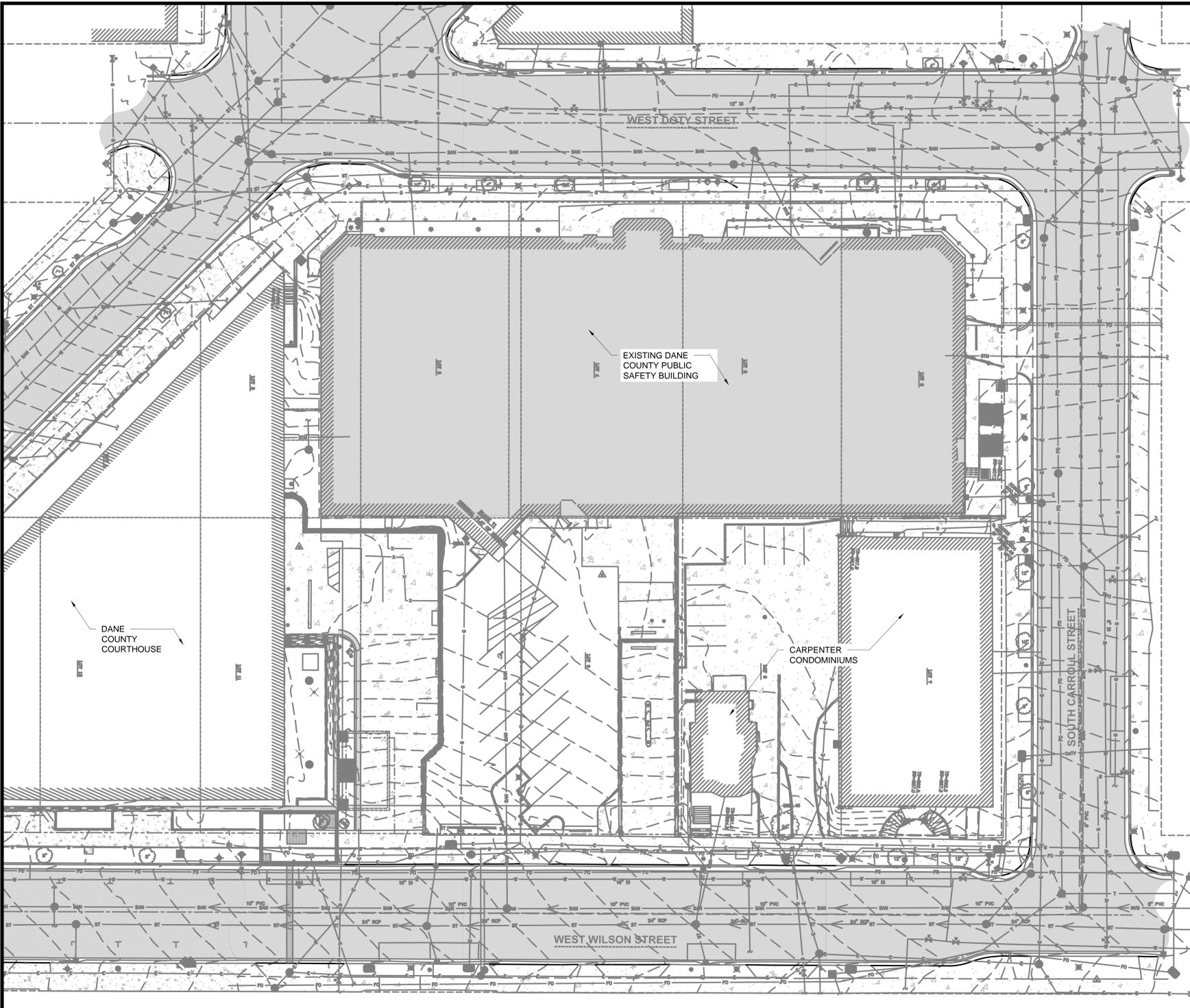
NOT FOR CONSTRUCTION

MM# NO: 4215400-161957.01
DATE: 05/29/2020
DESIGNED BY: Designer
DRAWN BY: Author
CHECKED BY: Checker
DO NOT SCALE DRAWINGS

SHEET CONTENTS
Cover Drawing

SHEET NO:

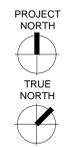
LU-CD



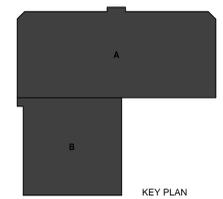
LEGEND		
EXISTING	PROPOSED	
		MAJOR CONTOUR
		MINOR CONTOUR
		WATER PIPE
		STORM PIPE
		ELECTRICAL CONDUIT
		WATER VALVE
		SANITARY CLEANOUT
		ROOF DRAIN CONNECTION
		HYDRANT
		LIGHT POLE

1
C001

EXISTING CONDITIONS - OVERALL
(SEE SHEETS C002 & C003 FOR ENLARGED AREAS A & B)
1" = 20'



- CIVIL NOTES (SHEETS C001-C003, C101-C102):
1. SURVEY CONDUCTED AND PRODUCED BY JSD PROFESSIONAL SERVICES, INC.
 2. CONFORM TO CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
 3. ALL CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE FEDERAL AND LOCAL LAWS, CODES, AND ORDINANCES.
 4. THE LOCATIONS OF COVERED SLABS, ASPHALT CONCRETE PAVEMENTS, PIPES, UNDERGROUND STRUCTURES, OR OTHER UTILITIES SHOWN ON THESE PLANS ARE BASED ON VISIBLE FEATURES ON THE GROUND OR AVAILABLE DRAWINGS PROVIDED BY OTHERS; THEREFORE, THEY ARE APPROXIMATE. VERIFY THE TYPE OF MATERIALS, EXACT LOCATION, SIZE AND DEPTH OF ALL UTILITIES PRIOR TO THE START OF WORK.
 5. RESTORE TO ORIGINAL CONDITION EXISTING ASPHALT CONCRETE PAVEMENT, CEMENTITIOUS CONCRETE PAVEMENT, CONCRETE WALKS, LANDSCAPED AREAS, AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED DURING CONSTRUCTION.
 6. PROTECT EXISTING UTILITIES, VALVE BOXES, AND MANHOLES, WHETHER SHOWN OR NOT SHOWN ON THE PLANS, AFFECTED BY TRENCHING WORK. IF DISTURBED, RESTORE TO ORIGINAL CONDITION.
 7. VERIFY THE LOCATIONS, SIZES, AND MATERIALS OF PROPOSED CONNECTIONS TO EXISTING UTILITIES. EXERCISE EXTREME CAUTION DURING EXCAVATION ACTIVITIES IN THESE LOCATIONS.
 8. CONDUCT CONSTRUCTION OPERATIONS WITH MINIMAL INTERFERENCE TO ROADS, DRIVEWAYS, PARKING AREAS, SIDEWALKS, AND OTHER PEDESTRIAN AND VEHICULAR FACILITIES. PROVIDE CONTINUOUS TRAFFIC FLOW IN ALL DIRECTIONS AT ALL TIMES.
 9. REVIEW THE PLANS AND NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND BEFORE PROCEEDING WITH THE WORK.
 10. COORDINATE AND OBTAIN CLEARANCES AND PERMITS FROM THE CITY OF MADISON DEPARTMENT OF PUBLIC WORKS PRIOR TO EXCAVATION ACTIVITIES.
 11. PROTECT EXISTING SURVEY MONUMENTS. REPORT DAMAGED SURVEY MONUMENTS. RESTORE AND REPAIR DISTURBED SURVEY MONUMENTS.
 12. MINIMIZE DISRUPTION OF UTILITY SERVICES. THE OWNER SHALL APPROVE IN ADVANCE ANY SERVICE INTERRUPTIONS AND THE REMOVAL OF EXISTING UTILITY LINES. PROVIDE WRITTEN NOTIFICATION TO OWNER 72 HOURS IN ADVANCE OF INTERRUPTIONS OF SERVICE. MAXIMUM UTILITY OUTAGE FOR ANY ONE (1) INTERRUPTION SHALL NOT EXCEED FOUR (4) HOURS PER DAY.
 13. RESTORE UNPAVED AREAS DISTURBED DURING CONSTRUCTION BY SODDING.
 14. PROVIDE TEMPORARY CONNECTION TO EXISTING LINES AS REQUIRED TO MINIMIZE UTILITY SERVICE INTERRUPTIONS BEFORE THE REMOVAL OF ANY PORTION OF EXISTING LINES.
 15. PROVIDE TEMPORARY ACCESS PROTECTION FOR EQUIPMENT, TRUCKS OR OTHER CONSTRUCTION VEHICLES TO PREVENT ANY DAMAGE TO EXISTING AND/OR NEWLY INSTALLED CONCRETE SIDEWALKS, CURBS, AND PAVING.
 16. ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES AND AVOID PONDING CONDITIONS ANYWHERE ON SITE. DIRECT STORM WATER TO STORM WATER CONVEYANCE STRUCTURES.
 17. DUE TO VARIATIONS AND CONSTRAINTS, DETERMINE EACH UTILITY TIE IN LAYOUT BY ITS ACTUAL FIELD CONDITIONS. CHANGES TO THE DESIGN CONFIGURATION REQUIRE APPROVAL OF THE ARCHITECT/ENGINEER AND DOCUMENTATION ON THE AS-BUILT DRAWINGS.
 18. EXERCISE EXTREME CAUTION IN EXCAVATING AREAS THAT ARE KNOWN TO HAVE UNDERGROUND UTILITIES. HAND EXCAVATE WITHIN 3 FEET OF ANY EXISTING UTILITIES. IN CASES WHERE THE DEPTH OR ELEVATION ARE NOT INDICATED ON THE PLANS, PROCEED WITH CAUTION.
 19. PROVIDE SHORING FOR TRENCH EXCAVATION WORK THAT EXCEEDS 4 FEET IN DEPTH.
 20. PRESERVE AND PROTECT ALL EXISTING TREES AND PLANT MATERIALS NOT IDENTIFIED ON THE PLANS FOR REMOVAL OR RELOCATION. IF PROPOSED IMPROVEMENTS MAY NEGATIVELY AFFECT THE MAJOR ROOT SYSTEMS, OBTAIN APPROVAL OF THE ARCHITECT/ENGINEER TO REMOVE OR RELOCATE THE EXISTING TREE OR PLANT MATERIAL.



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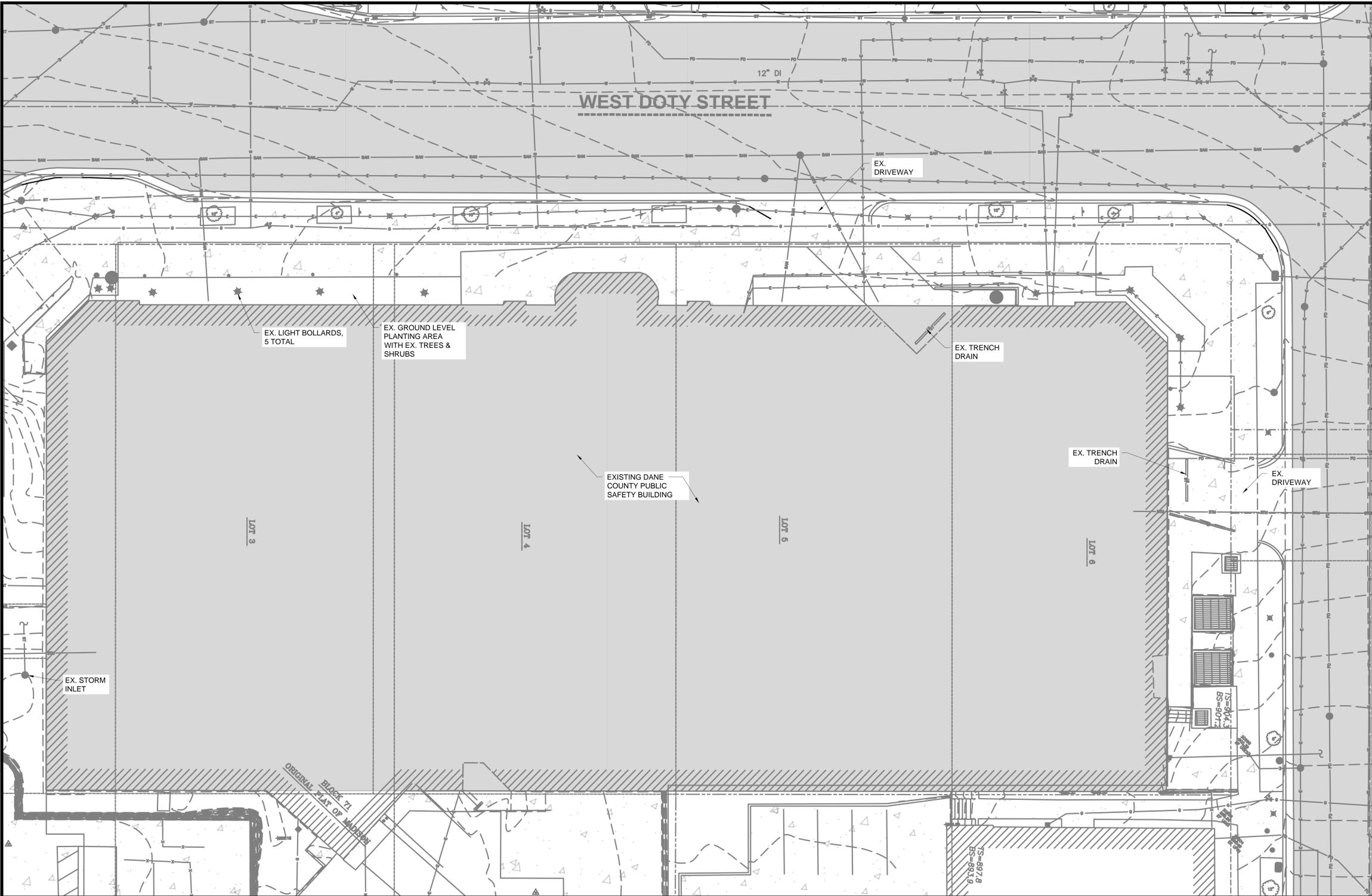
ISSUED: 05/29/2020 DESIGN DEVELOPMENT

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PLN NO.: 2018.18.00
MMH NO.: 4215400-161957-01
DATE: 05/29/2020
DESIGNED BY: BRB
DRAWN BY: DAM
CHECKED BY: RJ
DO NOT SCALE DRAWINGS

SHEET CONTENTS
EXISTING CONDITIONS

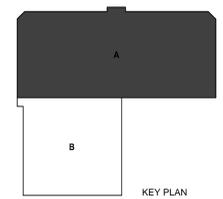
SHEET NO.:
C001



LEGEND

EXISTING	PROPOSED	
		MAJOR CONTOUR
		MINOR CONTOUR
		WATER PIPE
		STORM PIPE
		ELECTRICAL CONDUIT
		WATER VALVE
		SANITARY CLEANOUT
		ROOF DRAIN CONNECTION
		HYDRANT
		LIGHT POLE

1
C002 EXISTING CONDITIONS - AREA A
1" = 10'



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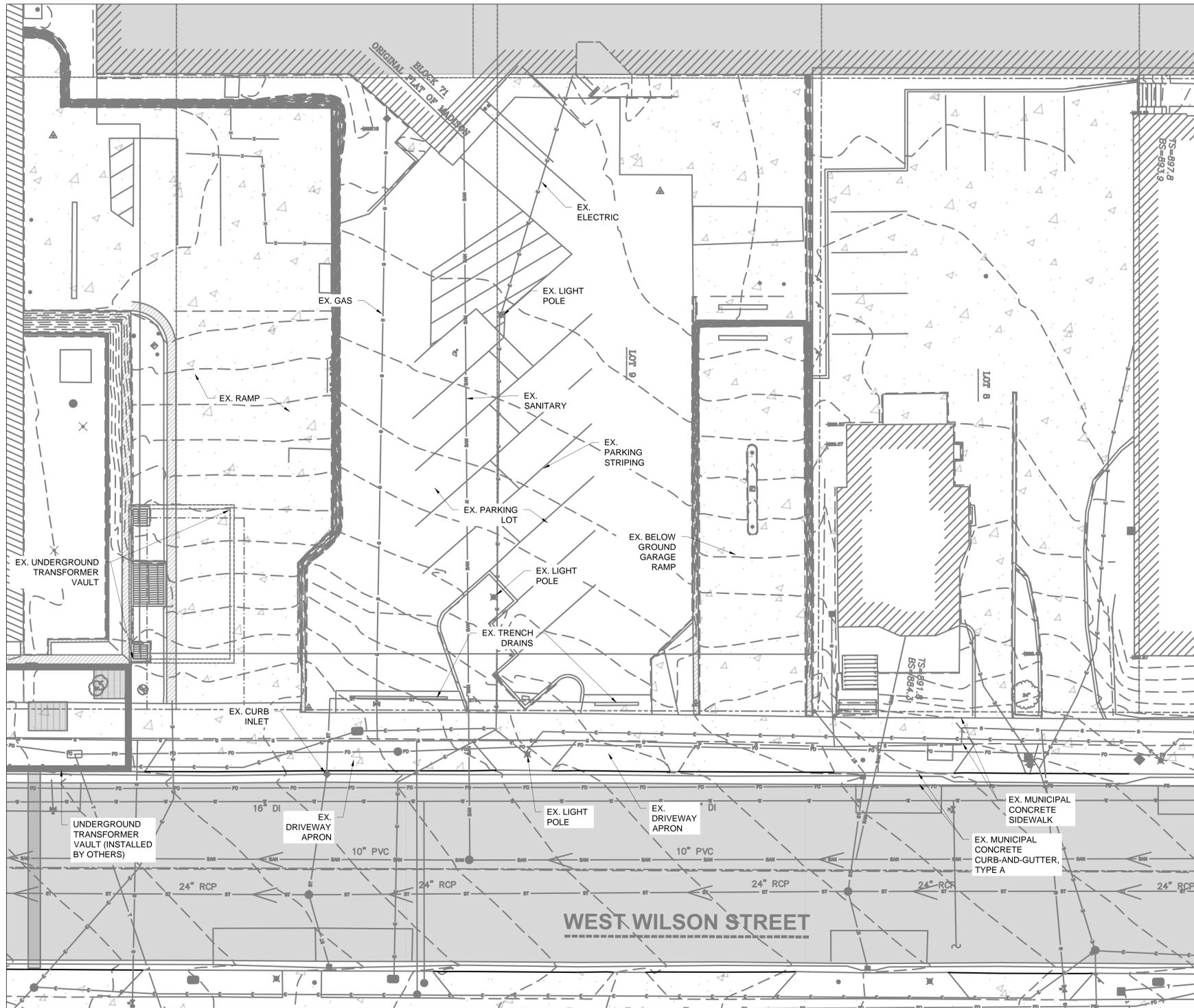
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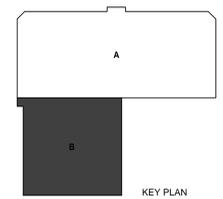
SHEET NO.:

C002



LEGEND		
EXISTING	PROPOSED	
		MAJOR CONTOUR
		MINOR CONTOUR
		WATER PIPE
		SANITARY
		STORM PIPE
		ELECTRICAL CONDUIT
		WATER VALVE
		SANITARY CLEANOUT
		ROOF DRAIN CONNECTION
		HYDRANT
		LIGHT POLE

1
C003 EXISTING CONDITIONS - AREA B
1" = 10'



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SHEET CONTENTS
EXISTING CONDITIONS

SHEET NO.

C003

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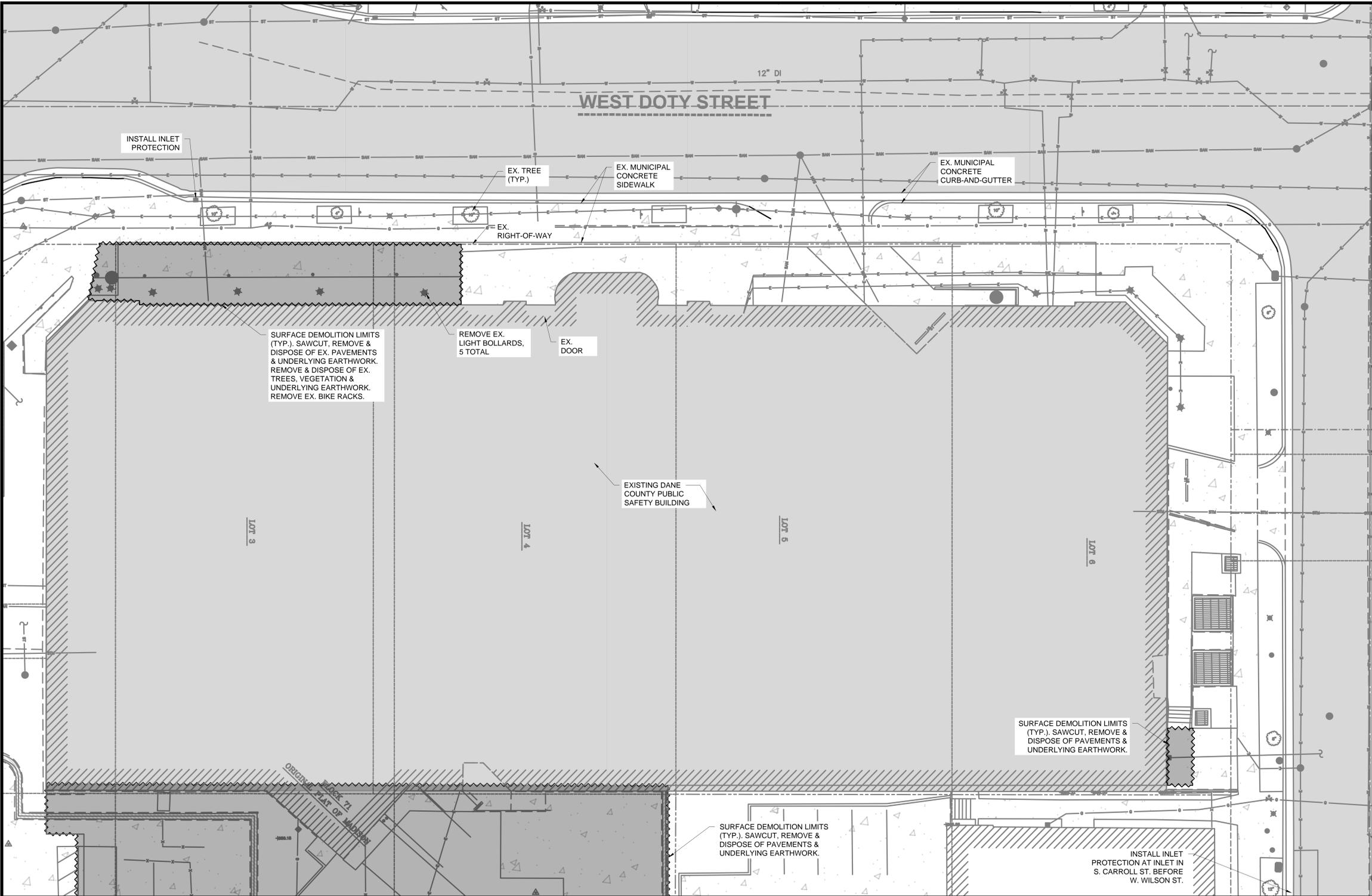
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SHEET CONTENTS
 DEMOLITION PLAN

SHEET NO.:

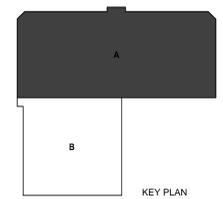
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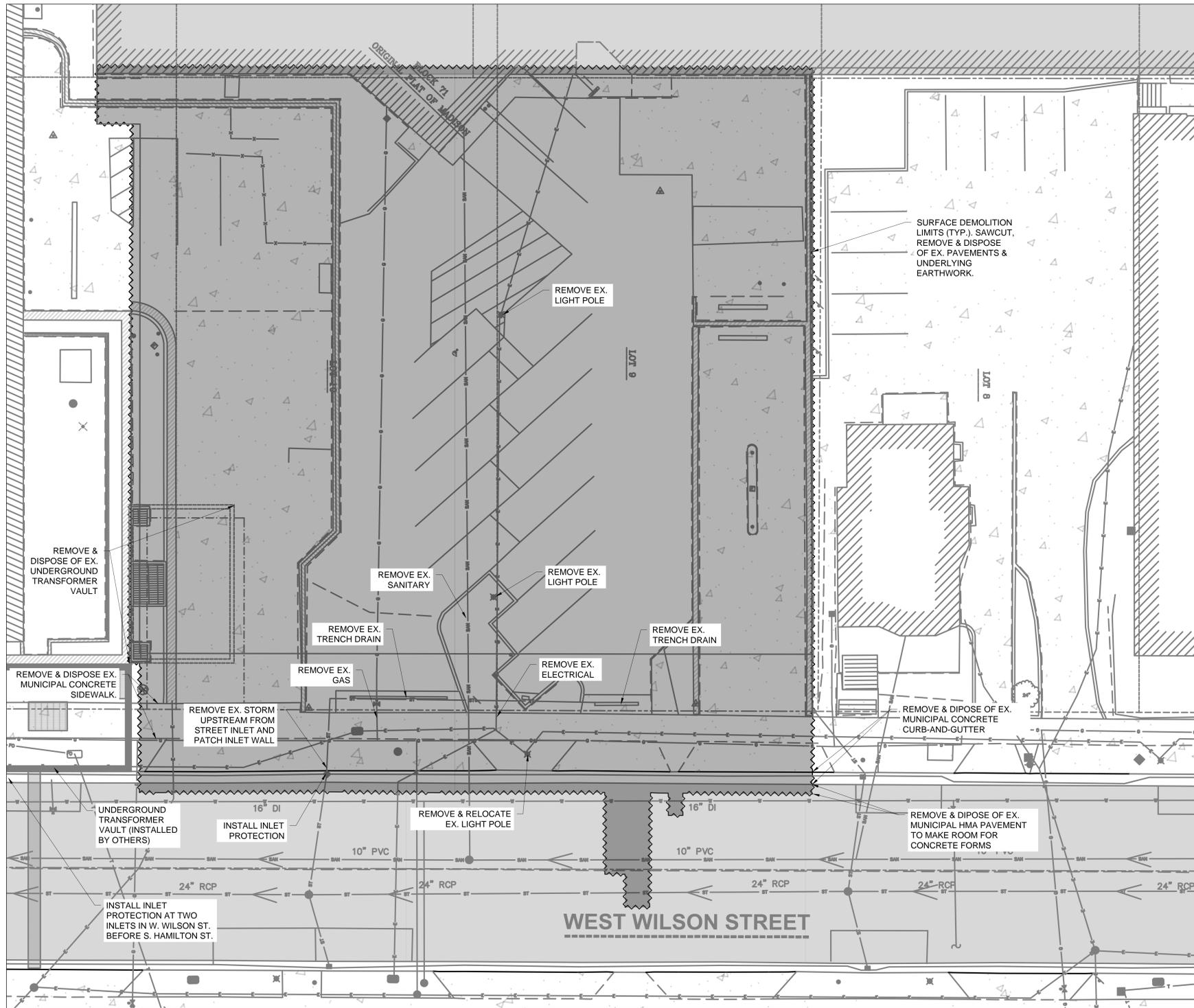
LEGEND		
EXISTING	PROPOSED	
		MAJOR CONTOUR
		MINOR CONTOUR
		WATER PIPE
		SANITARY CLEANOUT
		STORM PIPE
		ELECTRICAL CONDUIT
		WATER VALVE
		ROOF DRAIN CONNECTION
		HYDRANT
		LIGHT POLE
		SURFACE DEMOLITION LIMITS



1
C101 DEMOLITION PLAN - AREA A
 1" = 10'

- DEMOLITION PLAN NOTES:
- CONFORM TO CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
 - EARTH MOVING: CONFORM TO SECTION 312000 "EARTH MOVING" OF PROJECT SPECIFICATIONS.
 - INLET PROTECTION: CONFORM TO CITY OF MADISON STANDARD DETAIL DRAWING 1.04 "INLET PROTECTION TYPE C AND TYPE C "MODIFIED".





LEGEND

EXISTING	PROPOSED	
		MAJOR CONTOUR
		MINOR CONTOUR
		WATER PIPE
		SANITARY
		STORM PIPE
		ELECTRICAL CONDUIT
		WATER VALVE
		SANITARY CLEANOUT
		ROOF DRAIN CONNECTION
		HYDRANT
		LIGHT POLE
		SURFACE DEMOLITION LIMITS

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SHEET CONTENTS
 DEMOLITION PLAN

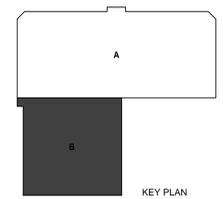
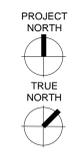
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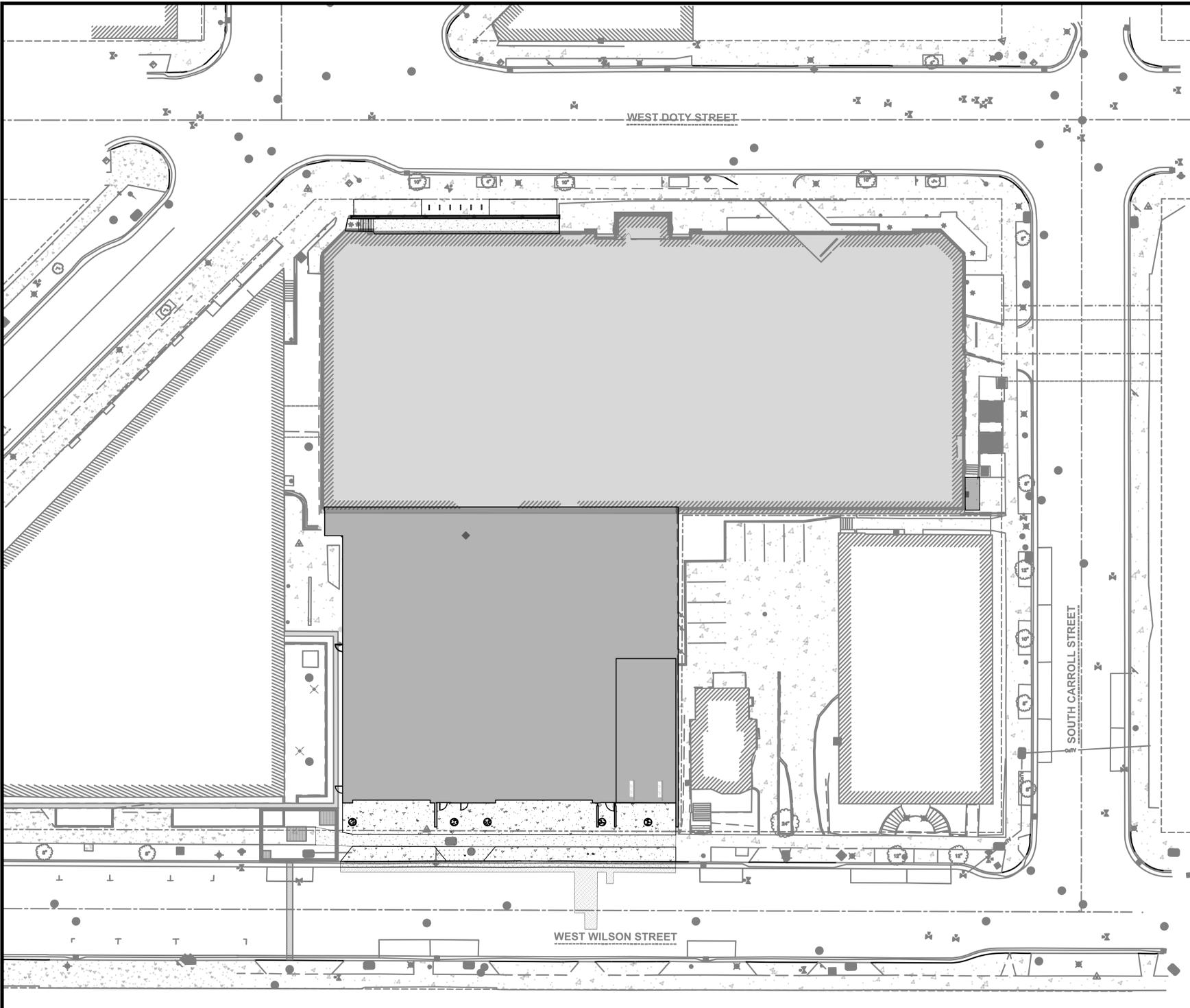
C102

1
C102 DEMOLITION PLAN - AREA B
 1" = 10'

DEMOLITION PLAN NOTES:

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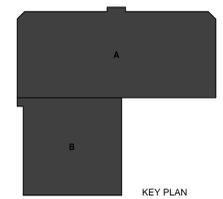
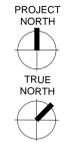


LEGEND	
EXISTING	MAJOR CONTOUR
PROPOSED	MINOR CONTOUR
T	WATER PIPE
W	SAN
SAN	ST
ST	STORM PIPE
E	ELECTRICAL CONDUIT
⊗	WATER VALVE
⊙	SANITARY CLEANOUT
⊙	ROOF DRAIN CONNECTION
⊙	HYDRANT
⊙	LIGHT POLE
■	PROPOSED BUILDING ENVELOPE
▭	PROPOSED CONCRETE DRIVEWAY
▭	PROPOSED MUNICIPAL CONCRETE SIDEWALK
▭	PROPOSED MUNICIPAL CONCRETE CURB-AND-GUTTER, TYPE A
▭	PROPOSED SODDING
▭	PROPOSED MUNICIPAL HMA PAVEMENT RESTORATION
XXX.XX N: E:	PROPOSED SPOT GRADE ELEVATION WITH NORTHING & EASTING
XXX.XX (M) N: E:	PROPOSED SPOT GRADE ELEVATION (MATCH EXISTING) WITH NORTHING & EASTING

CIVIL NOTES (SHEETS C201-C203, C301-C302, C401-C402):

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1
C201
PROPOSED SITE PLAN - OVERALL
(SEE SHEETS C201 & C202 FOR ENLARGED AREAS A & B)
1" = 20'



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Madison, WI 53703

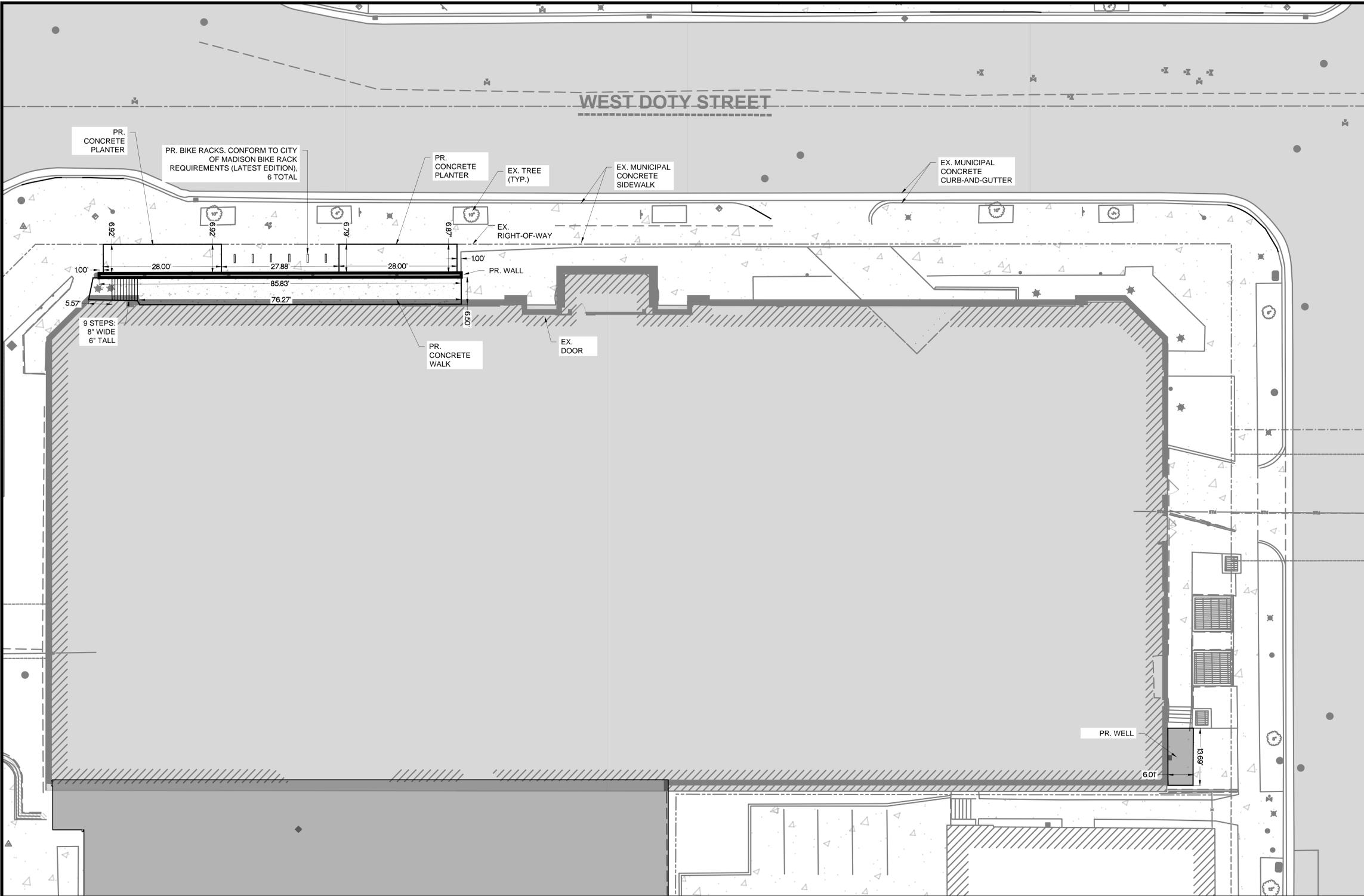
ISSUED: 05/29/2020 DESIGN DEVELOPMENT

NOT FOR CONSTRUCTION
PLN NO.: 2018.18.00
MMH NO.: 4215400-161957.01
DATE: 05/29/2020
DESIGNED BY: BRB
DRAWN BY: DAM
CHECKED BY: RJ
DO NOT SCALE DRAWINGS

SHEET CONTENTS
PROPOSED SITE PLAN

SHEET NO.:
C201

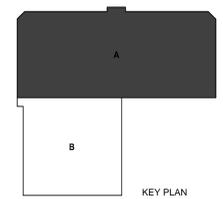
LEGEND	
EXISTING	MAJOR CONTOUR
PROPOSED	MINOR CONTOUR
T	WATER PIPE
W	SAN
SAN	SAN
ST	ST
E	E
⊕	WATER VALVE
⊙	SANITARY CLEANOUT
⊙	ROOF DRAIN CONNECTION
⊙	HYDRANT
⊙	LIGHT POLE
▭	PROPOSED BUILDING ENVELOPE
▭	PROPOSED CONCRETE DRIVEWAY
▭	PROPOSED MUNICIPAL CONCRETE SIDEWALK
▭	PROPOSED MUNICIPAL CONCRETE CURB-AND-GUTTER, TYPE A
▭	PROPOSED SODDING
▭	PROPOSED MUNICIPAL HMA PAVEMENT RESTORATION
XXX.XX	PROPOSED SPOT GRADE ELEVATION WITH NORTHING & EASTING
N:	
E:	
XXX.XX (M)	PROPOSED SPOT GRADE ELEVATION (MATCH EXISTING) WITH NORTHING & EASTING
N:	
E:	

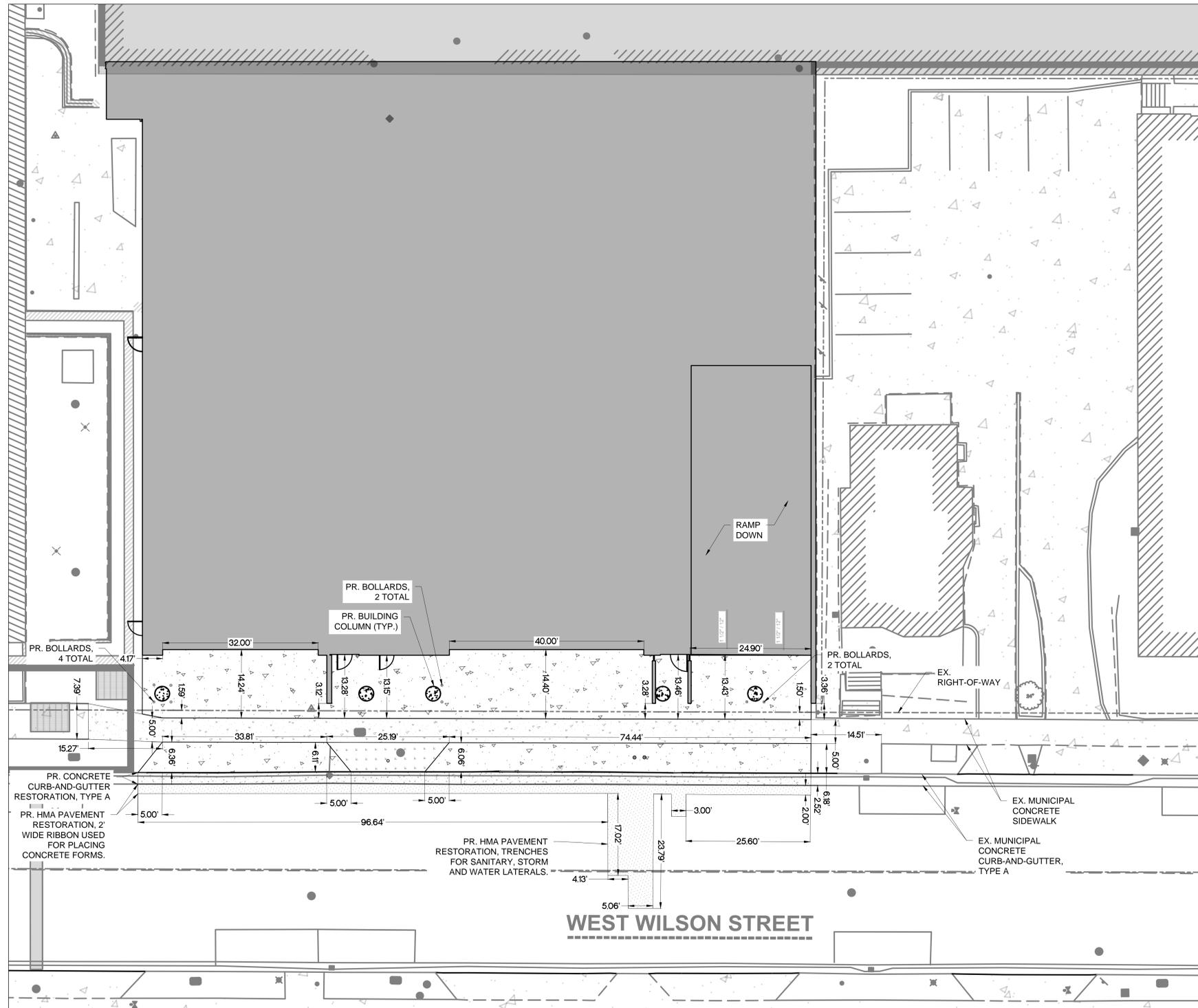


1
C202 PROPOSED SITE PLAN - AREA A
 1" = 10'

- SITE AND GRADING PLAN NOTES:**
- CONFORM TO CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
 - EARTH MOVING: CONFORM TO SECTION 312000 "EARTH MOVING" OF PROJECT SPECIFICATIONS.
 - ASPHALT: CONFORM TO SECTION 321216 "ASPHALT PAVING" OF PROJECT SPECIFICATIONS.
 - CONCRETE: CONFORM TO SECTION 321313 "CONCRETE PAVING" OF PROJECT SPECIFICATIONS.
 - CURB-AND-GUTTER: CONFORM TO CITY OF MADISON STANDARD DETAIL DRAWING 3.06 "MADISON STANDARD CONCRETE CURB & GUTTER" AND STANDARD DETAIL DRAWING 3.10 "LONGITUDINAL JOINTS AND PAVEMENT TIES DETAIL. CONFORM TO TYPE 'A' CONCRETE CURB & GUTTER AND TO DRIVEWAY SECTION TYPE 'A' CURB & GUTTER IN DRAWING 3.06 AND TO PAVEMENT TIES ON DRAWING 3.10.
 - DRIVEWAYS: CONFORM TO CITY OF MADISON STANDARD DETAIL DRAWING 3.02 "MADISON STANDARD CURB CUT DETAILS" AND STANDARD DETAIL DRAWING 3.09 "MADISON STANDARD COMMERCIAL DRIVE DETAILS." CONFORM TO COMMERCIAL DETAIL AND TO DRIVEWAY SECTION

TYPE "A" CONCRETE CURB & GUTTER DETAIL IN DRAWING 3.02.



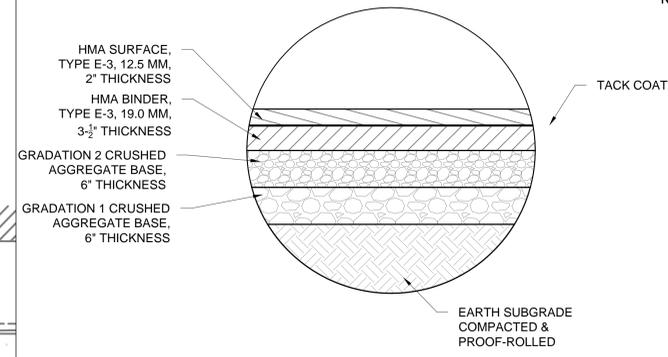


1 PROPOSED SITE PLAN - AREA B
1" = 10'

SITE AND GRADING PLAN NOTES:

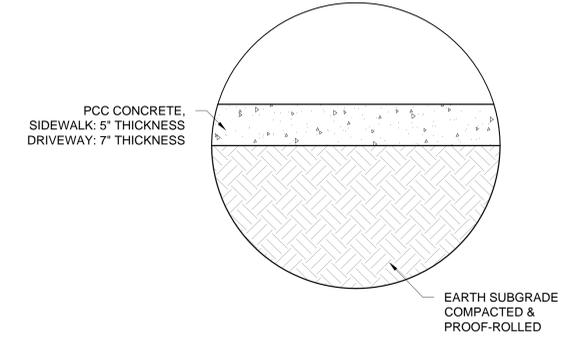
- CONFORM TO CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
- EARTH MOVING: CONFORM TO SECTION 312000 "EARTH MOVING" OF PROJECT SPECIFICATIONS.
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- CONCRETE: CONFORM TO SECTION 321313 "CONCRETE PAVING" OF PROJECT SPECIFICATIONS.
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- DRIVEWAYS: CONFORM TO CITY OF MADISON STANDARD DETAIL DRAWING 3.02 "MADISON STANDARD CURB CUT DETAILS" AND STANDARD DETAIL DRAWING 3.09 "MADISON STANDARD COMMERCIAL DRIVE DETAILS." CONFORM TO COMMERCIAL DETAIL AND TO DRIVEWAY SECTION TYPE "A" CONCRETE CURB & GUTTER DETAIL IN DRAWING 3.02.

LEGEND	
EXISTING	MAJOR CONTOUR
PROPOSED	MINOR CONTOUR
T	WATER PIPE
W	SAN
SAN	ST
ST	E
E	WATER VALVE
	SANITARY CLEANOUT
	ROOF DRAIN CONNECTION
	HYDRANT
	LIGHT POLE
	PROPOSED BUILDING ENVELOPE
	PROPOSED CONCRETE DRIVEWAY
	PROPOSED MUNICIPAL CONCRETE SIDEWALK
	PROPOSED MUNICIPAL CONCRETE CURB-AND-GUTTER, TYPE A
	PROPOSED SODDING
	PROPOSED MUNICIPAL HMA PAVEMENT RESTORATION
XXX.XX	PROPOSED SPOT GRADE ELEVATION WITH NORTHING & EASTING
N:	
E:	
XXX.XX (M)	PROPOSED SPOT GRADE ELEVATION (MATCH EXISTING) WITH NORTHING & EASTING
N:	
E:	



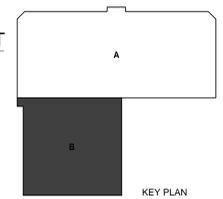
PAVEMENT CROSS-SECTION FROM CITY PROJECT NO. 11459
CONTRACT NO. 7848 DRAWINGS, SHEET D-1, DATED 6/23/2017.

2 ASPHALT PAVEMENT CROSS-SECTION, WILSON STREET
NTS



PAVEMENT CROSS-SECTION FROM CITY PROJECT NO. 11459
CONTRACT NO. 7848 DRAWINGS, SHEET D-1, DATED 6/23/2017.

3 CONCRETE PAVEMENT CROSS-SECTION, WILSON STREET
NTS



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DANE COUNTY DEPT. OF PUBLIC WORKS, HIGHWAY & TRANSPORTATION
1919 ALLIANT ENERGY CENTER WAY
MADISON, WI 53713
PROJECT NO. 318025

Dane County Jail Consolidation
South Tower Addition & Public Safety Building Renovation
115 W. Doty Street
Madison, WI 53703

ISSUED: 05/29/2020
DESIGN DEVELOPMENT

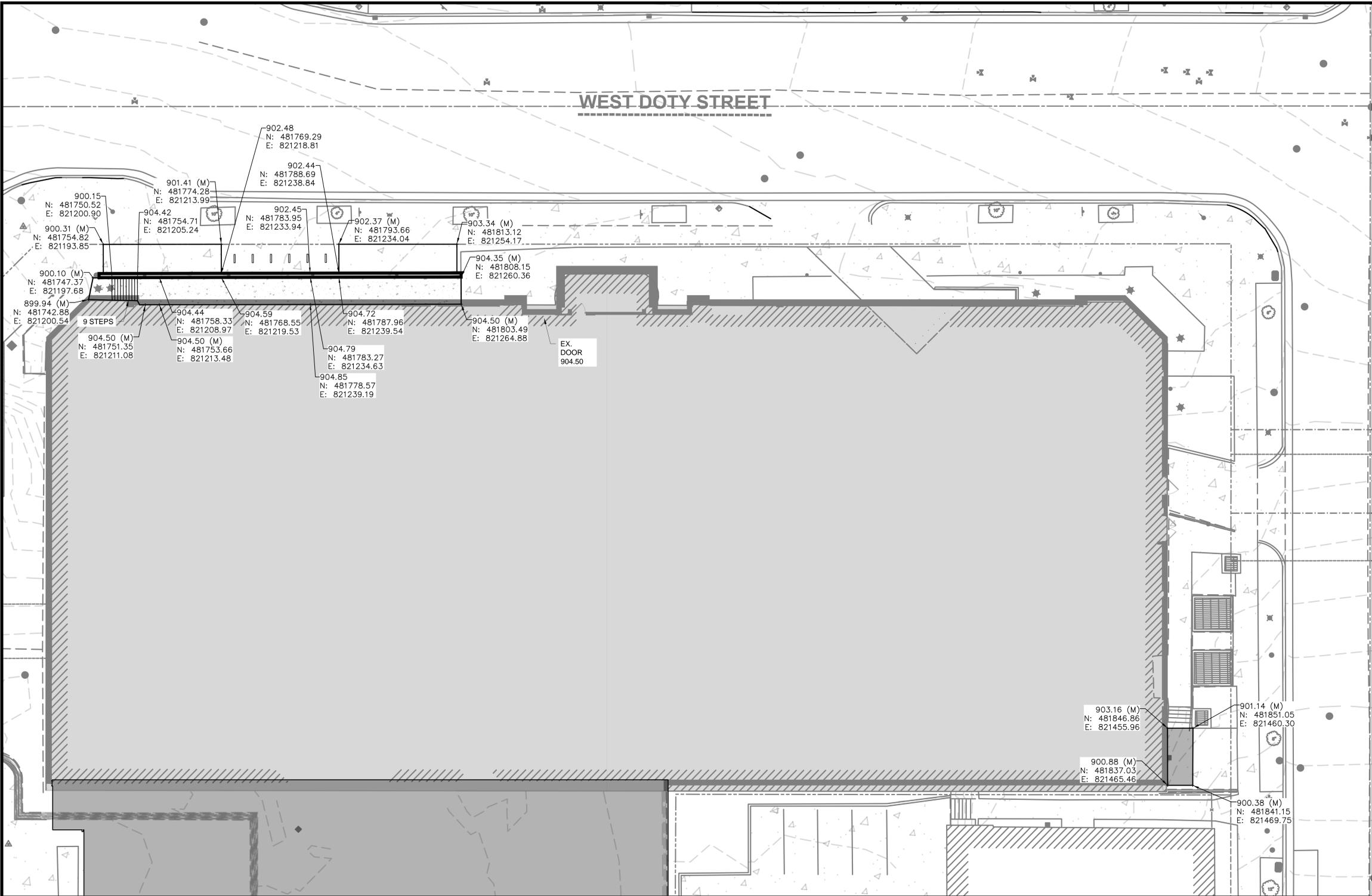
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DRAWN BY: DAM
CHECKED BY: RJ
DO NOT SCALE DRAWINGS

SHEET CONTENTS
PROPOSED SITE PLAN

SHEET NO.:

C203



LEGEND	
---	EXISTING
- - -	PROPOSED
---	MAJOR CONTOUR
- - -	MINOR CONTOUR
— v —	WATER PIPE
— SAN —	SAN
— ST —	STORM PIPE
— E —	ELECTRICAL CONDUIT
⊗	WATER VALVE
⊙	SANITARY CLEANOUT
⊙	ROOF DRAIN CONNECTION
⊙	HYDRANT
⊙	LIGHT POLE
▭	PROPOSED BUILDING ENVELOPE
▭	PROPOSED CONCRETE DRIVEWAY
▭	PROPOSED MUNICIPAL CONCRETE SIDEWALK
▭	PROPOSED MUNICIPAL CONCRETE CURB-AND-GUTTER, TYPE A
▭	PROPOSED SODDING
▭	PROPOSED MUNICIPAL HMA PAVEMENT RESTORATION
XXX.XX	PROPOSED SPOT GRADE ELEVATION WITH NORTHING & EASTING
XXX.XX (M)	PROPOSED SPOT GRADE ELEVATION (MATCH EXISTING) WITH NORTHING & EASTING

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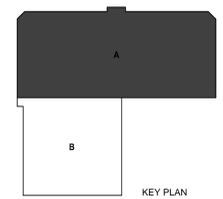
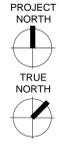
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SHEET CONTENTS
 GRADING PLAN

SHEET NO.:
C301

1
C301 GRADING PLAN - AREA A
 1" = 10'

- SITE AND GRADING PLAN NOTES:**
- CONFORM TO CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
 - EARTH MOVING: CONFORM TO SECTION 312000 "EARTH MOVING" OF PROJECT SPECIFICATIONS.
 - ASPHALT: CONFORM TO SECTION 321216 "ASPHALT PAVING" OF PROJECT SPECIFICATIONS.
 - CONCRETE: CONFORM TO SECTION 321313 "CONCRETE PAVING" OF PROJECT SPECIFICATIONS.
 - CURB-AND-GUTTER: CONFORM TO CITY OF MADISON STANDARD DETAIL DRAWING 3.06 "MADISON STANDARD CONCRETE CURB & GUTTER" AND STANDARD DETAIL DRAWING 3.10 "LONGITUDINAL JOINTS AND PAVEMENT TIES DETAIL. CONFORM TO TYPE 'A' CONCRETE CURB & GUTTER AND TO DRIVEWAY SECTION TYPE 'A' CURB & GUTTER IN DRAWING 3.06 AND TO PAVEMENT TIES ON DRAWING 3.10.
 - DRIVEWAYS: CONFORM TO CITY OF MADISON STANDARD DETAIL DRAWING 3.02 "MADISON STANDARD CURB CUT DETAILS" AND STANDARD DETAIL DRAWING 3.09 "MADISON STANDARD COMMERCIAL DRIVE DETAILS." CONFORM TO COMMERCIAL DETAIL AND TO DRIVEWAY SECTION TYPE "A" CONCRETE CURB & GUTTER DETAIL IN DRAWING 3.02.

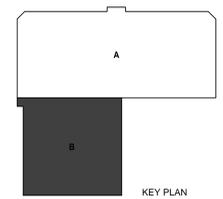
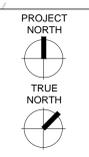




LEGEND	
EXISTING	MAJOR CONTOUR
PROPOSED	MINOR CONTOUR
T	WATER PIPE
W	SAN
SAN	ST
ST	STORM PIPE
E	ELECTRICAL CONDUIT
⊗	WATER VALVE
⊙	SANITARY CLEANOUT
⊘	ROOF DRAIN CONNECTION
⊚	HYDRANT
⊛	LIGHT POLE
▭ (shaded)	PROPOSED BUILDING ENVELOPE
▭ (hatched)	PROPOSED CONCRETE DRIVEWAY
▭ (dotted)	PROPOSED MUNICIPAL CONCRETE SIDEWALK
▭ (cross-hatched)	PROPOSED MUNICIPAL CONCRETE CURB-AND-GUTTER, TYPE A
▭ (stippled)	PROPOSED SODDING
▭ (diagonal lines)	PROPOSED MUNICIPAL HMA PAVEMENT RESTORATION
XXX.XX	PROPOSED SPOT GRADE ELEVATION WITH NORthing & EASTING
N: XXX.XX (M)	PROPOSED SPOT GRADE ELEVATION (MATCH EXISTING) WITH NORthing & EASTING
E: XXX.XX (M)	PROPOSED SPOT GRADE ELEVATION (MATCH EXISTING) WITH NORthing & EASTING

1 C302 GRADING PLAN - AREA B
1" = 10'

- SITE AND GRADING PLAN NOTES:**
- CONFORM TO CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
 - EARTH MOVING: CONFORM TO SECTION 312000 "EARTH MOVING" OF PROJECT SPECIFICATIONS.
 - ASPHALT: CONFORM TO SECTION 321216 "ASPHALT PAVING" OF PROJECT SPECIFICATIONS.
 - CONCRETE: CONFORM TO SECTION 321313 "CONCRETE PAVING" OF PROJECT SPECIFICATIONS.
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 - DRIVEWAYS: CONFORM TO CITY OF MADISON STANDARD DETAIL DRAWING 3.02 "MADISON STANDARD CURB CUT DETAILS" AND STANDARD DETAIL DRAWING 3.09 "MADISON STANDARD COMMERCIAL DRIVE DETAILS." CONFORM TO COMMERCIAL DETAIL AND TO DRIVEWAY SECTION TYPE "A" CONCRETE CURB & GUTTER DETAIL IN DRAWING 3.02.



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MADISON, WI 53713
PROJECT NO. 318025

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South Tower Addition & Public Safety
Building Renovation**
115 W. Doty Street
Madison, WI 53703

ISSUED: 05/29/2020 DESIGN DEVELOPMENT

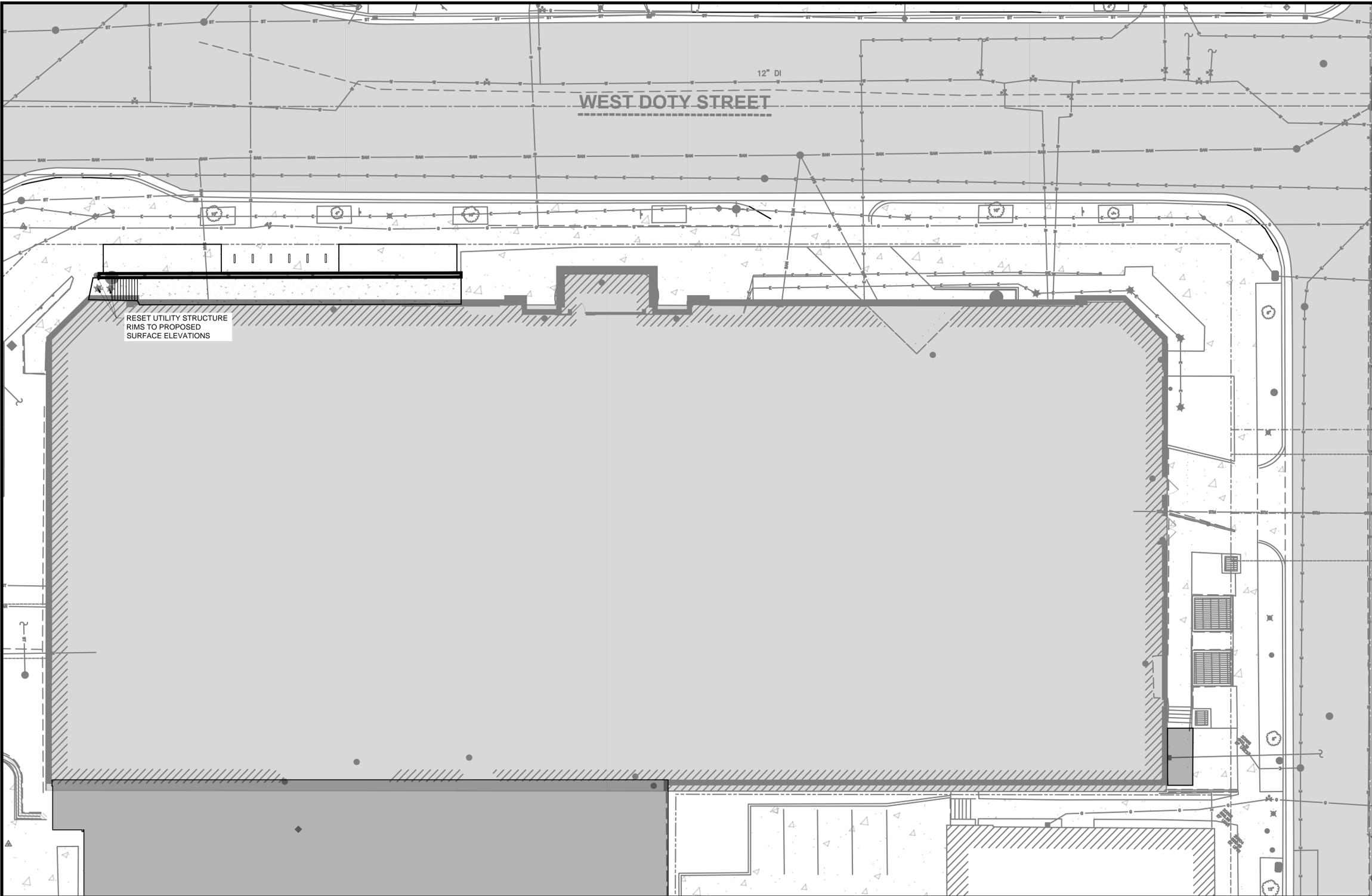
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CHECKED BY: RJ
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SHEET CONTENTS
GRADING PLAN

SHEET NO.:

C302



LEGEND

— T —	MAJOR CONTOUR
— W —	MINOR CONTOUR
— SAN —	WATER PIPE
— ST —	SAN PIPE
— E —	STORM PIPE
—	ELECTRICAL CONDUIT
⊗	WATER VALVE
⊙	SANITARY CLEANOUT
⊙	ROOF DRAIN CONNECTION
⊙	HYDRANT
⊙	LIGHT POLE
▭	PROPOSED BUILDING ENVELOPE
▭	PROPOSED CONCRETE DRIVEWAY
▭	PROPOSED MUNICIPAL CONCRETE SIDEWALK
▭	PROPOSED MUNICIPAL CONCRETE CURB-AND-GUTTER, TYPE A
▭	PROPOSED SODDING
▭	PROPOSED MUNICIPAL HMA PAVEMENT RESTORATION
XXX.XX	PROPOSED SPOT GRADE ELEVATION WITH NORTHING & EASTING
N:	
E:	
XXX.XX (M)	PROPOSED SPOT GRADE ELEVATION (MATCH EXISTING) WITH NORTHING & EASTING
N:	
E:	

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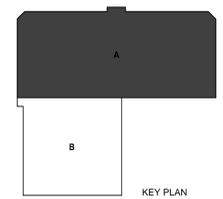
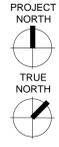
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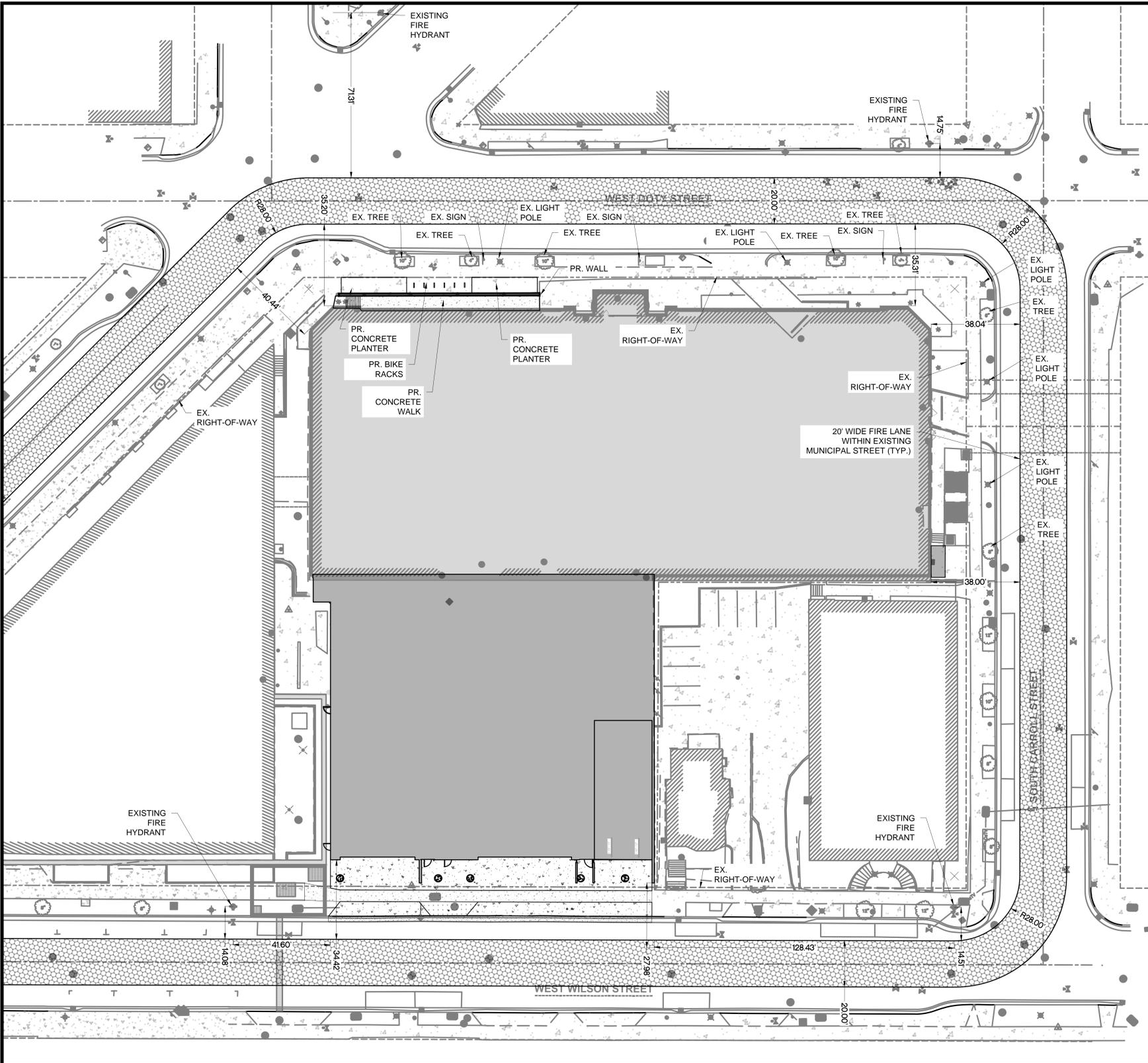
SHEET CONTENTS
 UTILITIES PLAN

SHEET NO.:
C401

1
C401 UTILITIES PLAN - AREA A
 1" = 10'

- UTILITY PLAN NOTES:**
1. CONFORM TO CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
 2. ALL UTILITIES: CONFORM TO SECTION 330500 "COMMON WORK RESULTS FOR UTILITIES" AND SECTION 315000 "EXCAVATION SUPPORT AND PROTECTION" OF PROJECT SPECIFICATIONS.
 3. SANITARY: CONFORM TO SECTION 221313 "FACILITY SANITARY SEWERS" OF PROJECT SPECIFICATIONS.
 4. WATER: CONFORM TO SECTION 221113 "FACILITY WATER DISTRIBUTION PIPING" OF PROJECT SPECIFICATIONS.
 5. STORM: CONFORM TO SECTION 334200 "STORMWATER CONVEYANCE" OF PROJECT SPECIFICATIONS.

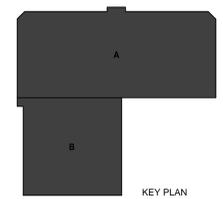
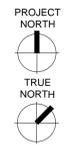




LEGEND

EXISTING	MAJOR CONTOUR
PROPOSED	MINOR CONTOUR
T	WATER PIPE
W	SAN
SAN	ST
ST	STORM PIPE
E	ELECTRICAL CONDUIT
	WATER VALVE
	SANITARY CLEANOUT
	ROOF DRAIN CONNECTION
	HYDRANT
	LIGHT POLE
	PROPOSED BUILDING ENVELOPE
	PROPOSED CONCRETE DRIVEWAY
	PROPOSED MUNICIPAL CONCRETE SIDEWALK
	PROPOSED MUNICIPAL CONCRETE CURB-AND-GUTTER, TYPE A
	PROPOSED SODDING
	PROPOSED MUNICIPAL HMA PAVEMENT RESTORATION
	EXISTING FIRE LANE

1 FIRE ACCESS PLAN - OVERALL
C501 1" = 20'



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SHEET CONTENTS
FIRE ACCESS PLAN

SHEET NO.:

C501



View of Dane County Courthouse along West Wilson Street



Context View from John Nolen Drive



Dane County Courthouse



View of 111 West Wilson (Left) and 131 West Wilson (Right)



View of Public Safety Building from West Wilson Street



View of 112 West Wilson Street

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DESIGNED BY: Designer
DRAWN BY: Author
CHECKED BY: Checker

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SHEET CONTENTS
CONTEXT PHOTOS -
EXISTING
CONDITIONS

SHEET NO.:

LU-A001



**Dane County Jail Consolidation
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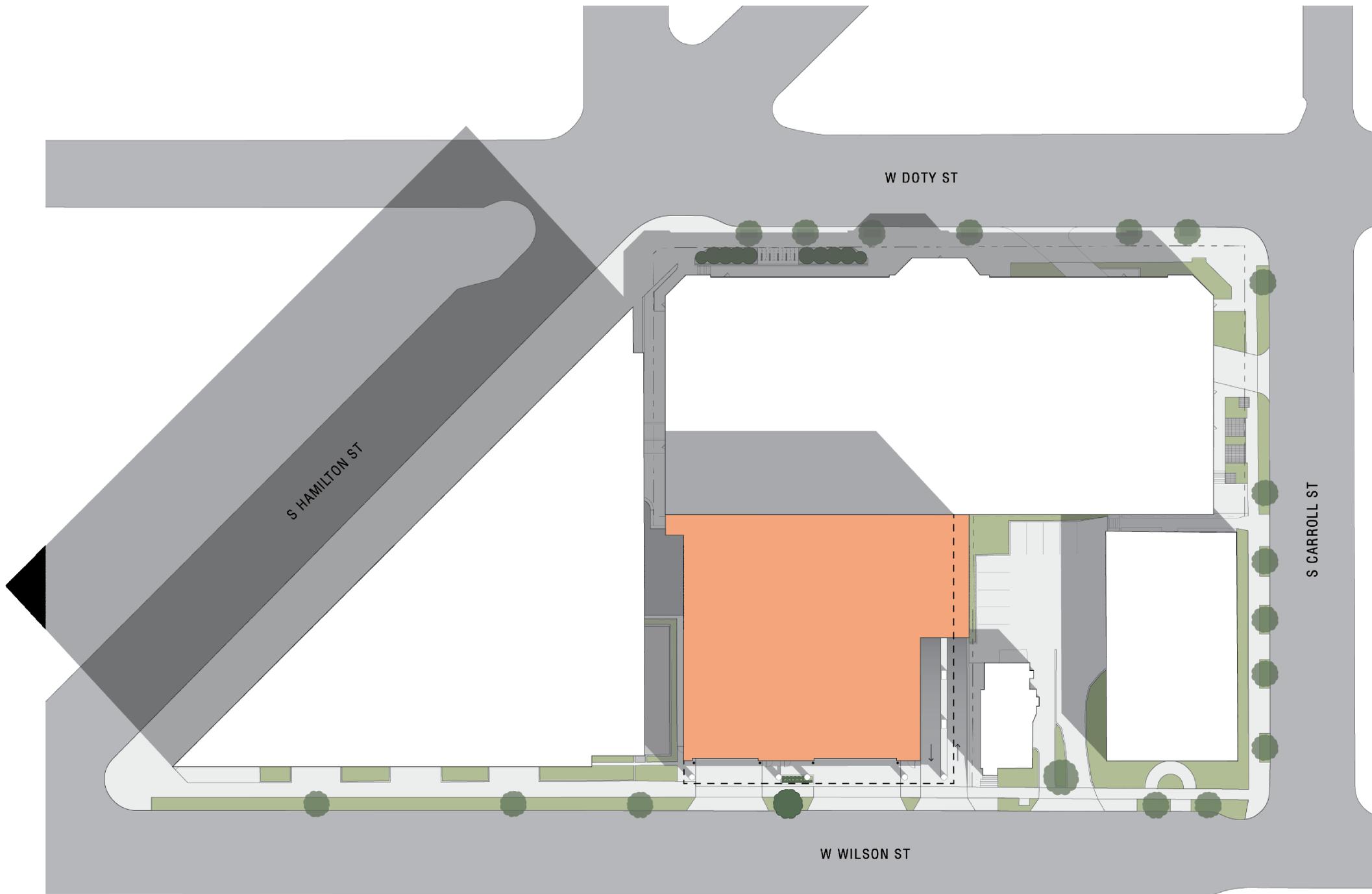
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DESIGNED BY: Designer
DRAWN BY: Author
CHECKED BY: Checker

DO NOT SCALE DRAWINGS

SHEET CONTENTS
ILLUSTRATIVE SITE
PLAN

SHEET NO:

LU-A002





South Elevation



North Elevation



West Elevation



East Elevation

1	TERRACOTTA VENEER	4	BLACK ANODIZED ALUMINUM BAND	7	LOUVER
2	BRICK VENEER	5	SPANDREL GLAZING	8	OVERHEAD DOOR
3	SSS ANODIZED ALUMINUM CURTAIN WALL SYSTEM	6	CONCRETE COLUMN	9	MECHANICAL SCREEN





South Aerial View



North Aerial View



West Aerial View



East Aerial View





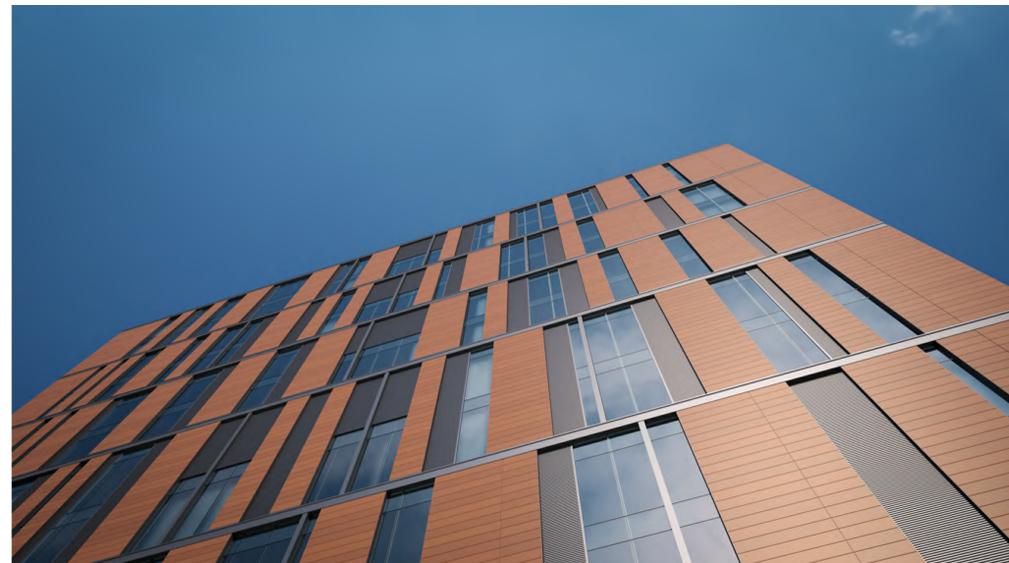
View from DOHS



View from John Nolen



South Elevation



Facade Detail



Street Level East



Street Level West

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DANE COUNTY DEPT. OF
PUBLIC WORKS, HIGHWAY &
TRANSPORTATION
1919 ALLIANT ENERGY
CENTER WAY
MADISON, WI 53713

PROJECT NO. 318025

**Dane County Jail Consolidation
South Tower Addition & Public Safety
Building Renovation**
115 W. Doty Street
Madison, WI 53703

ISSUED

NOT FOR CONSTRUCTION

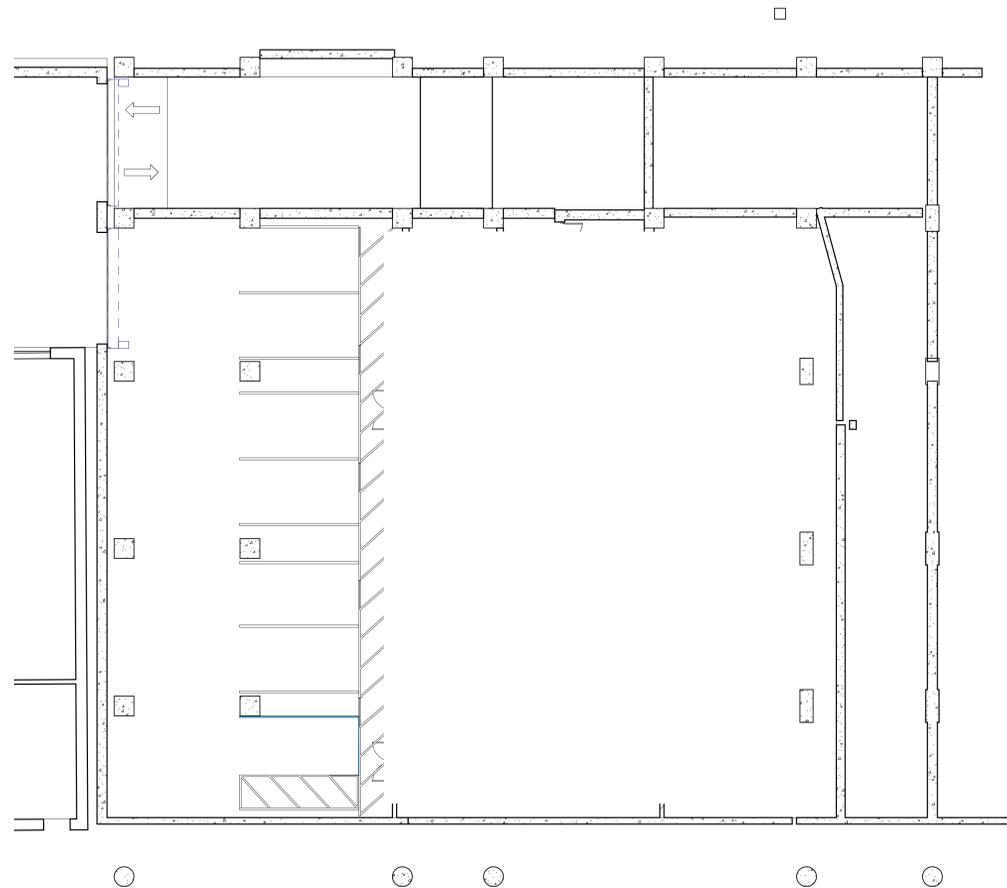
PLING: 2018.10.00
M&H NO.: 4215400-161957.01
DATE: 05/29/2020
DESIGNED BY: Designer
DRAWN BY: Author
CHECKED BY: Checker

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SHEET CONTENTS
BUILDING
PERSPECTIVES

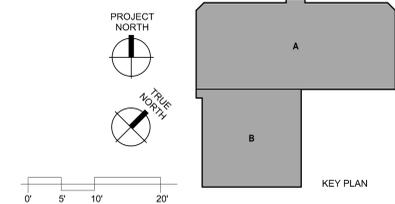
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LU-A005

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1 SUB-BASEMENT 2 FLOOR PLAN
 LU-A098 3/32" = 1'-0"



Mead & Hunt

Mead & Hunt, Inc.
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 Middleton, WI 53562
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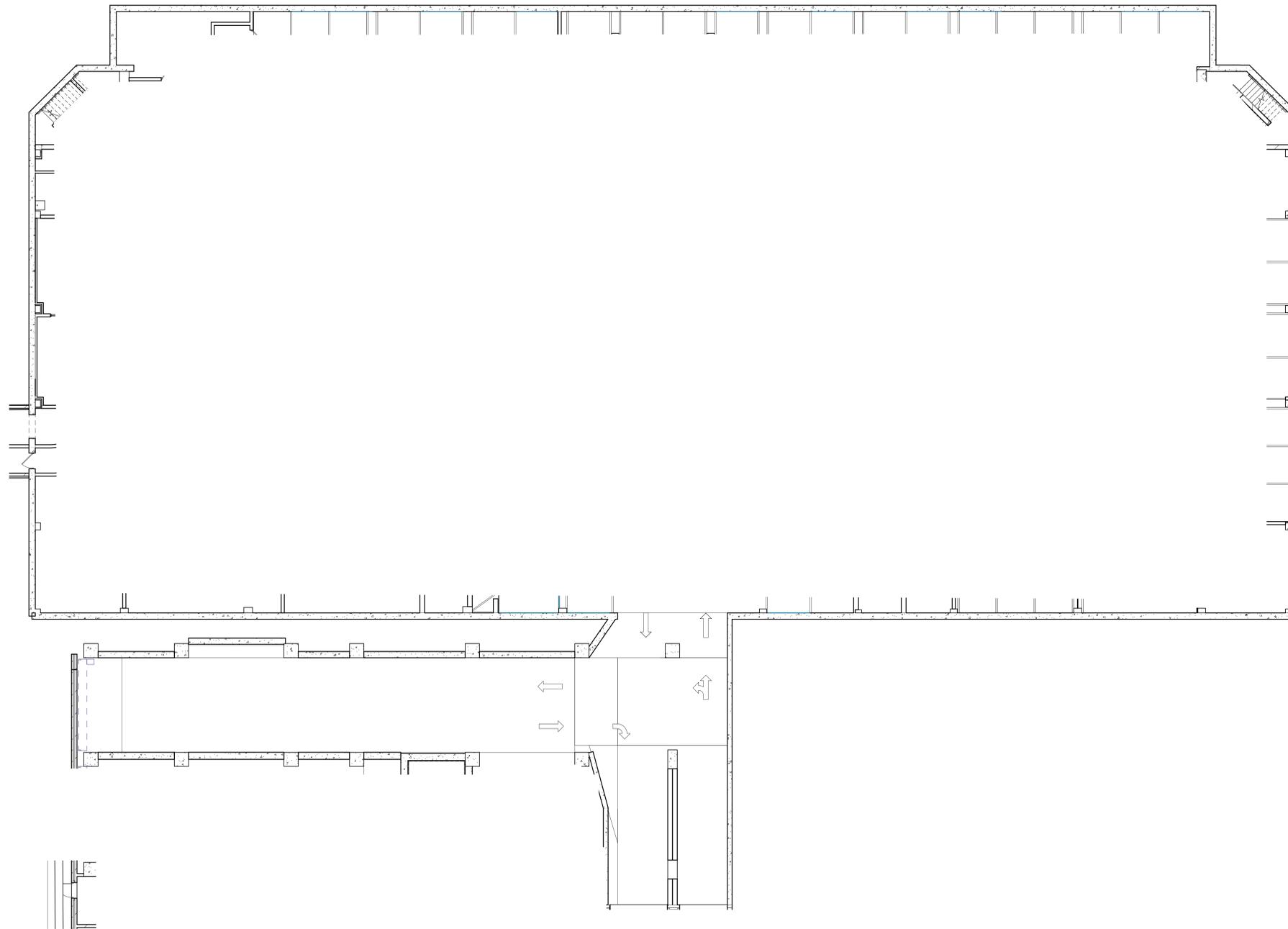
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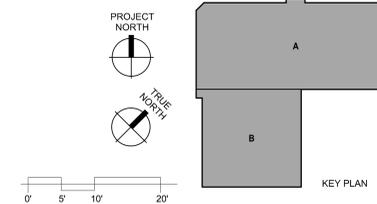
SHEET CONTENTS
 SUB-BASEMENT 2
 PLAN

SHEET NO.:

LU-A098



1 SUB-BASEMENT FLOOR PLAN
 LU-A099 3/32" = 1'-0"



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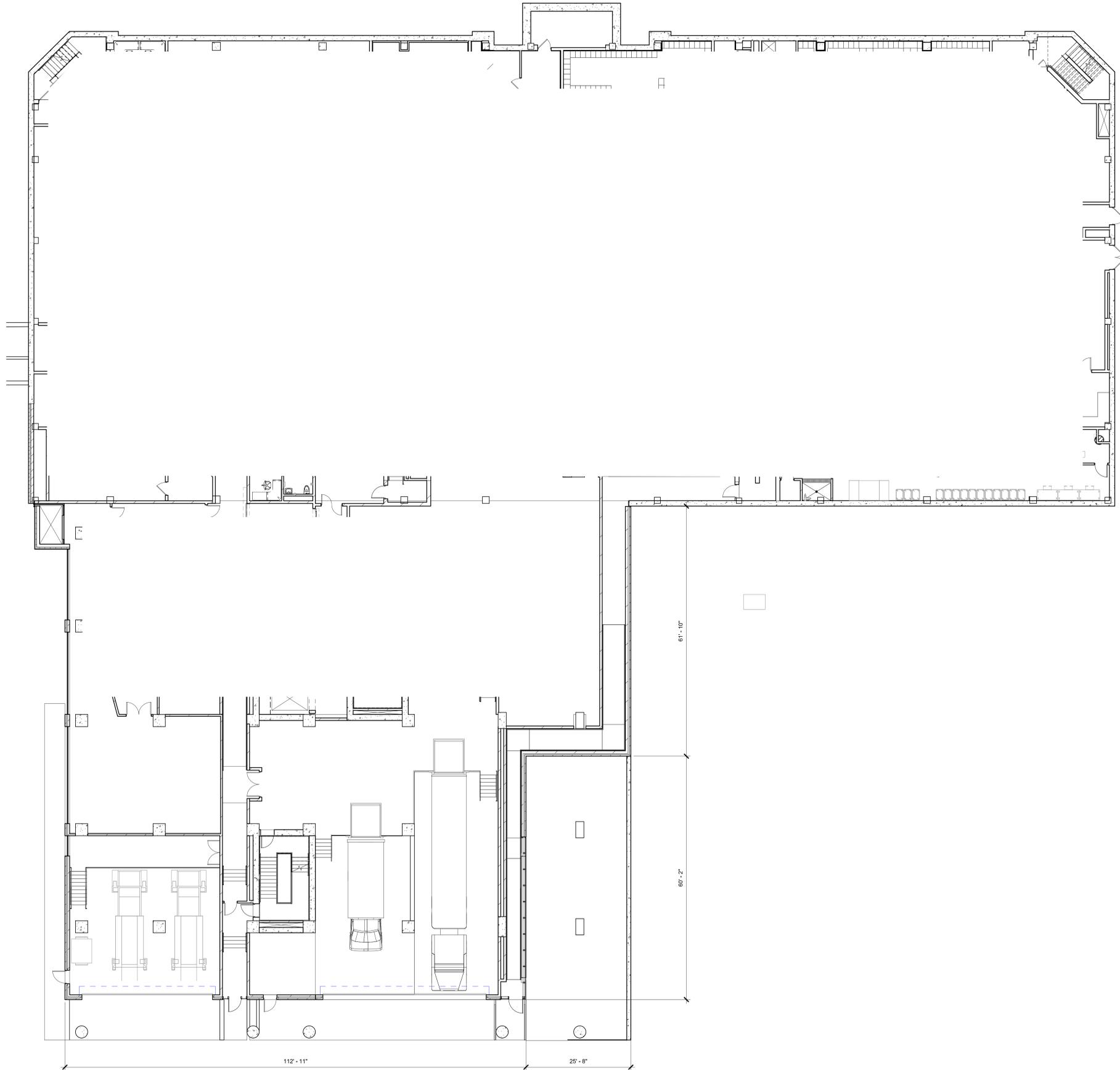
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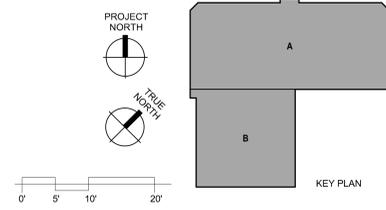
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 MHNNO: 4215400-161957.01
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 SHEET CONTENTS
 SUB-BASEMENT
 PLAN

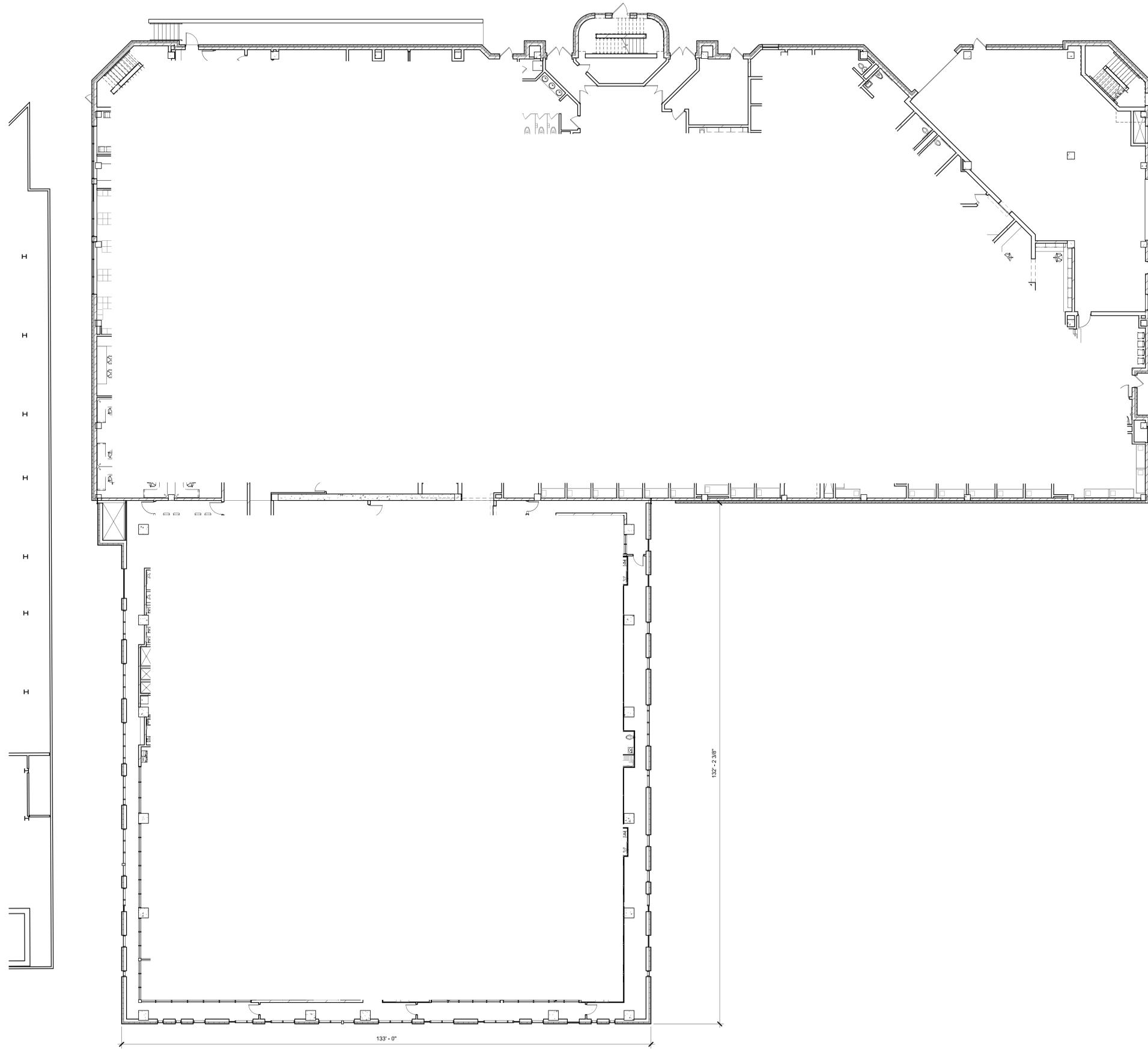
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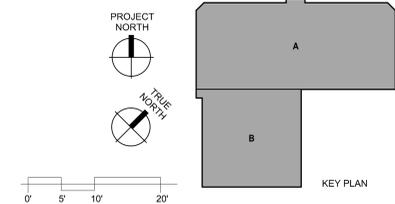


1 BASEMENT FLOOR PLAN
 LU-A100 3/32" = 1'-0"





1 FIRST FLOOR PLAN
 LU-A101 3/32" = 1'-0"



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 115 W. Doty Street
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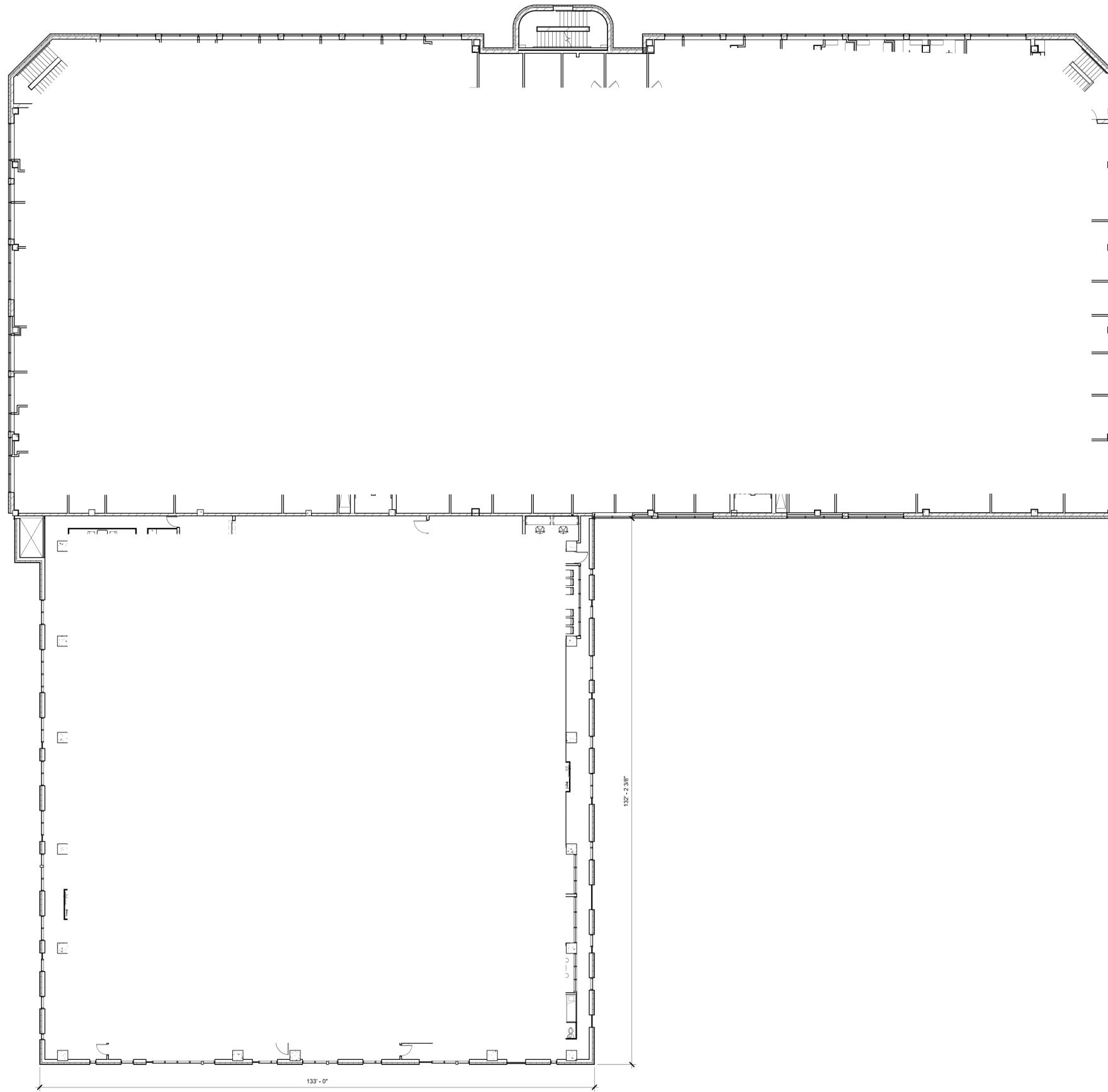
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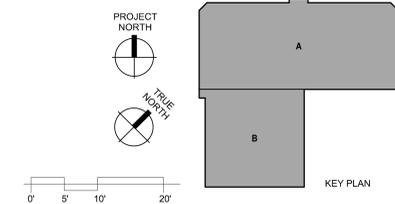
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SHEET CONTENTS
 FIRST FLOOR PLAN

SHEET NO.:



1 SECOND FLOOR PLAN
 LU-A102 3/32" = 1'-0"



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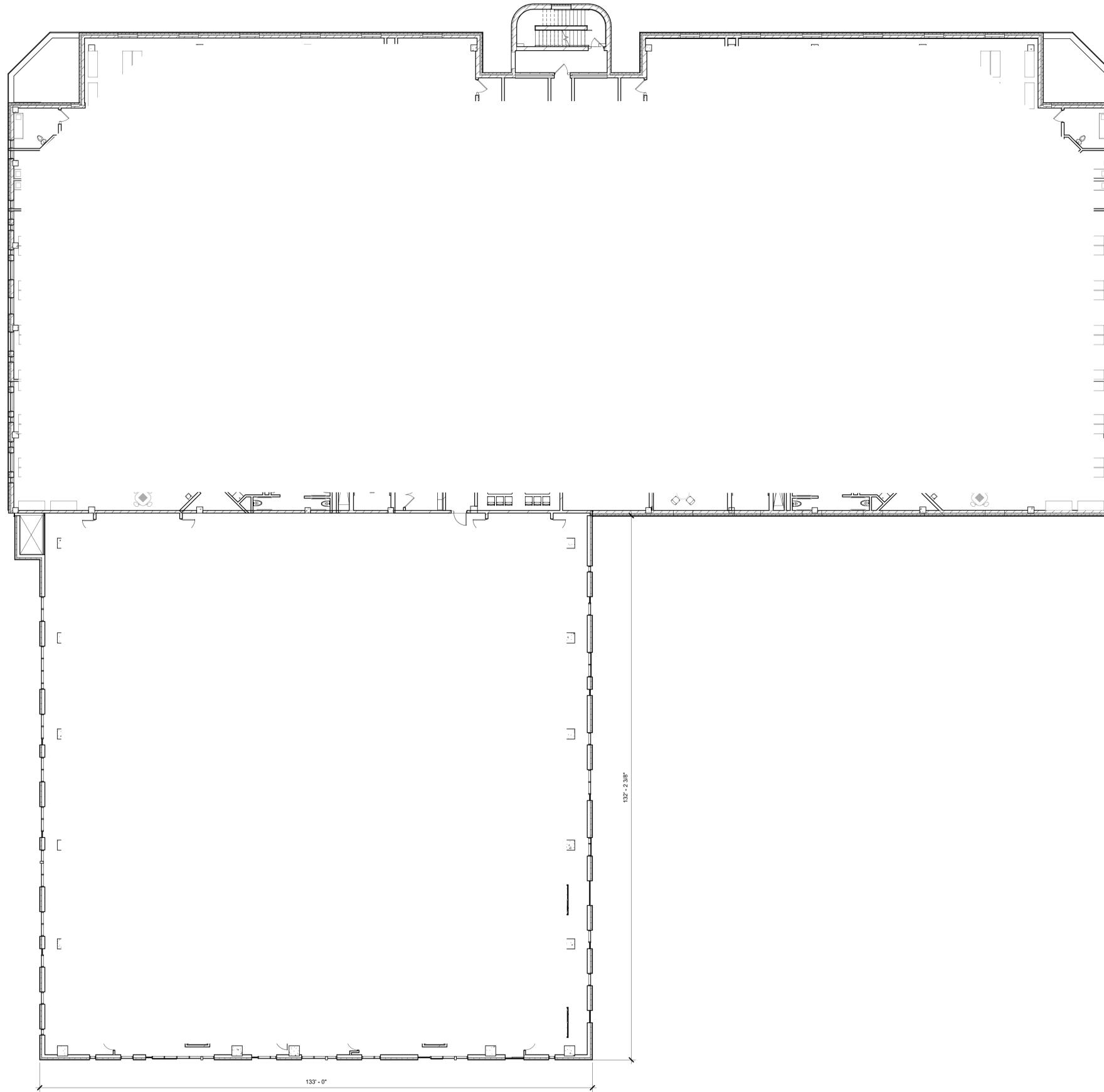
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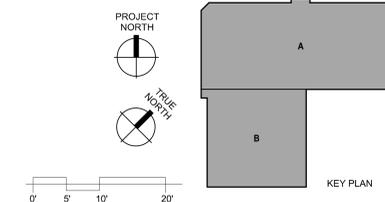
SHEET CONTENTS
 SECOND FLOOR
 PLAN

SHEET NO.:

LU-A102



1 THIRD FLOOR PLAN
 LU-A103 3/32" = 1'-0"



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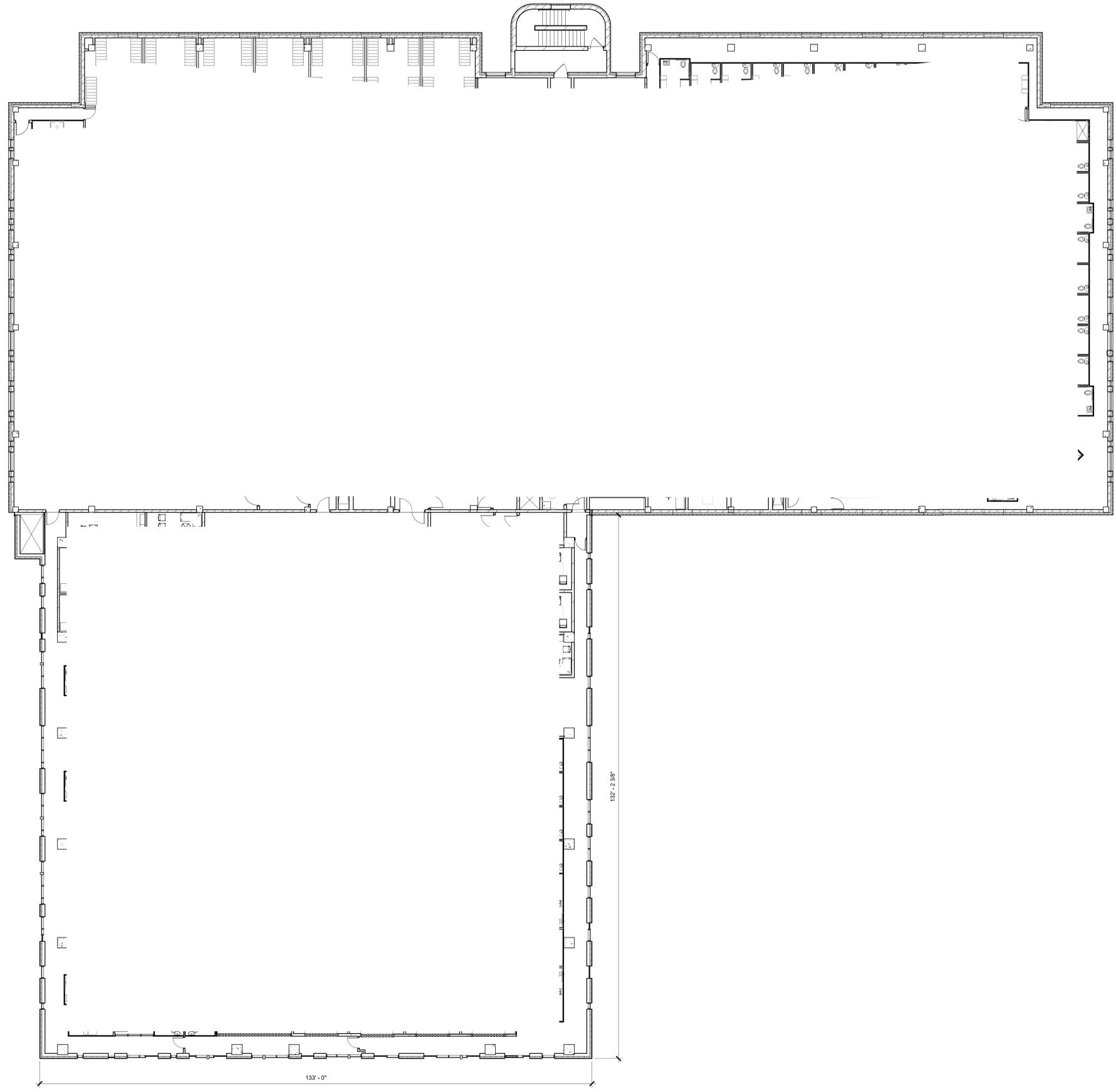
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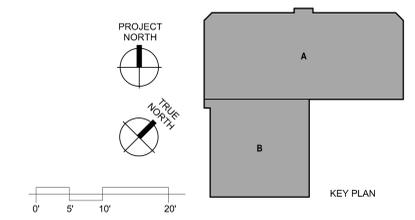
SHEET CONTENTS
 THIRD FLOOR PLAN

SHEET NO.:

LU-A103



1 FOURTH FLOOR PLAN
 LU-A104 3/32" = 1'-0"



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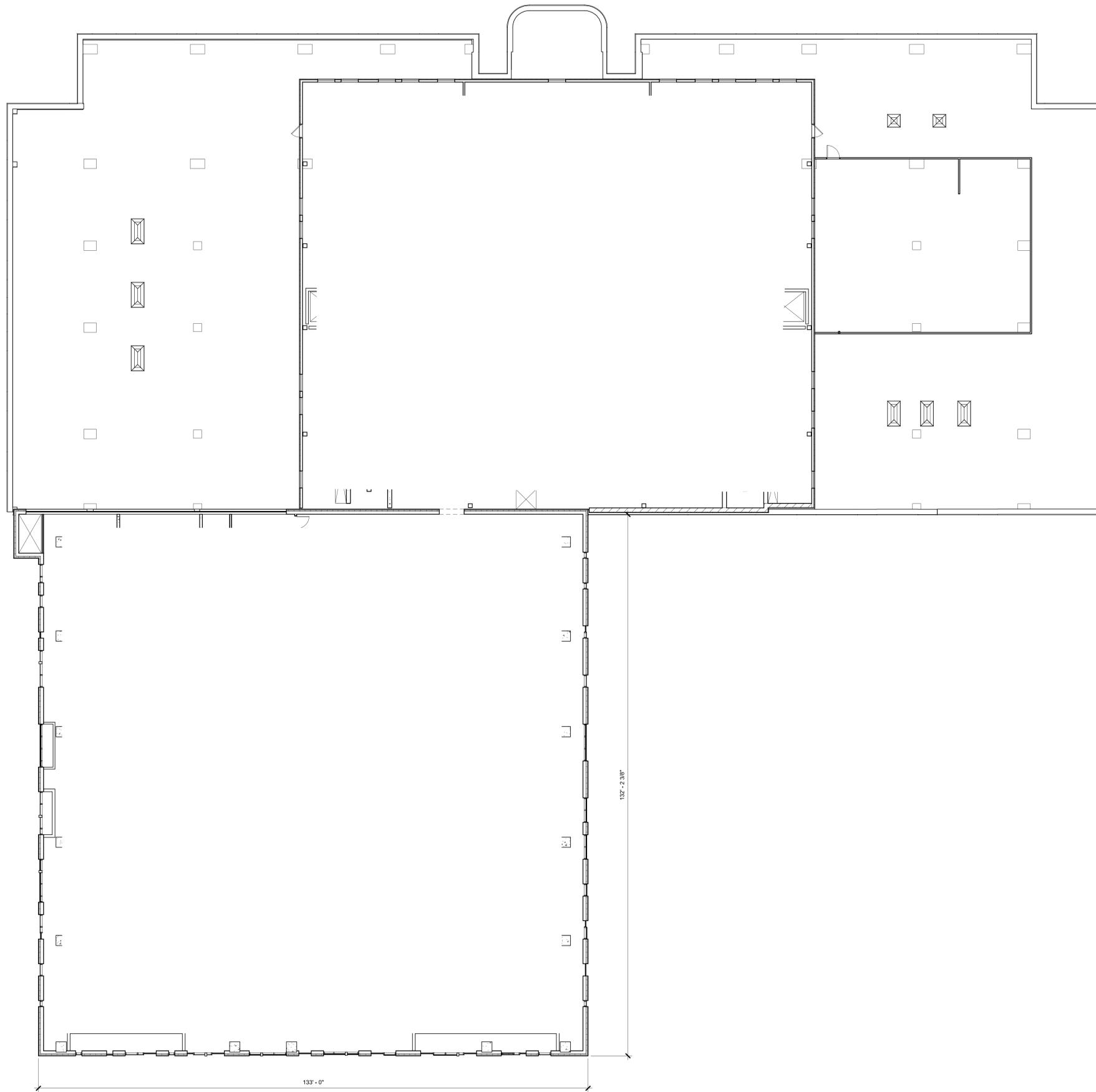
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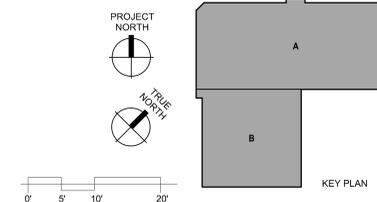
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SHEET CONTENTS
 FOURTH FLOOR
 PLAN

SHEET NO.:
LU-A104



1 FIFTH FLOOR PLAN
 LU-A105 3/32" = 1'-0"



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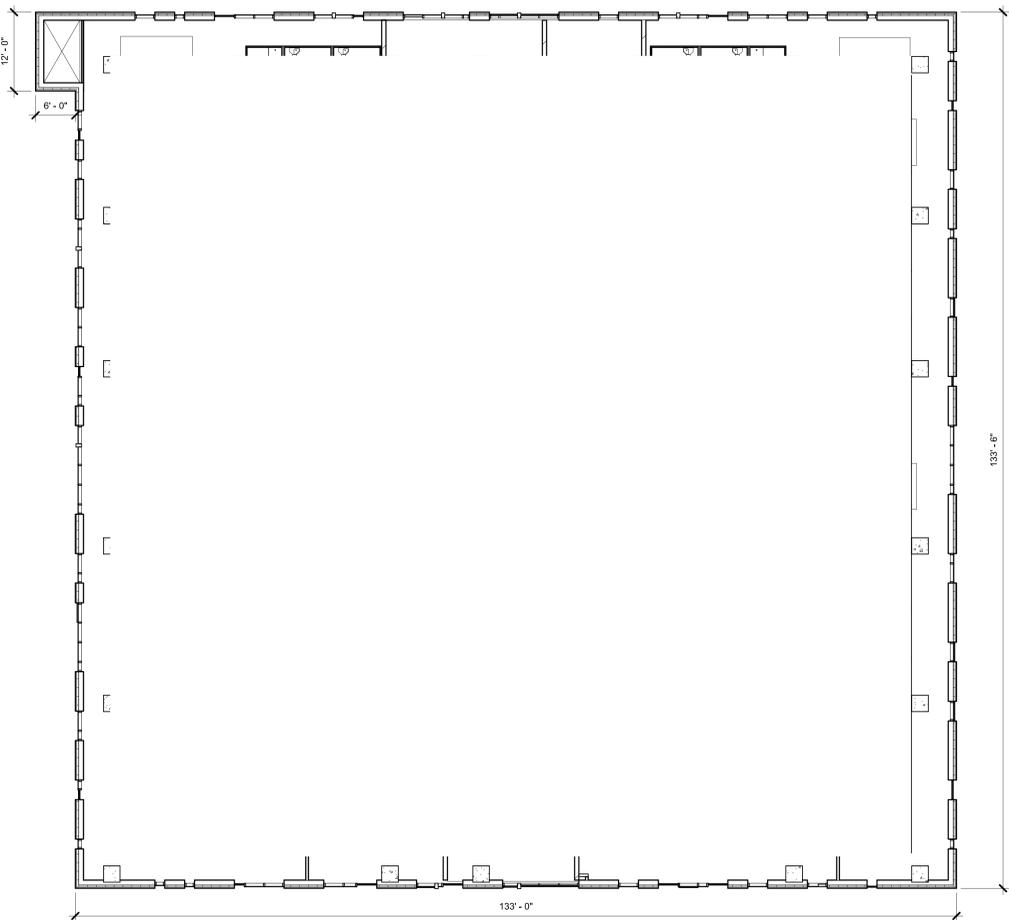
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 WISCONSIN
 DANE COUNTY DEPT. OF
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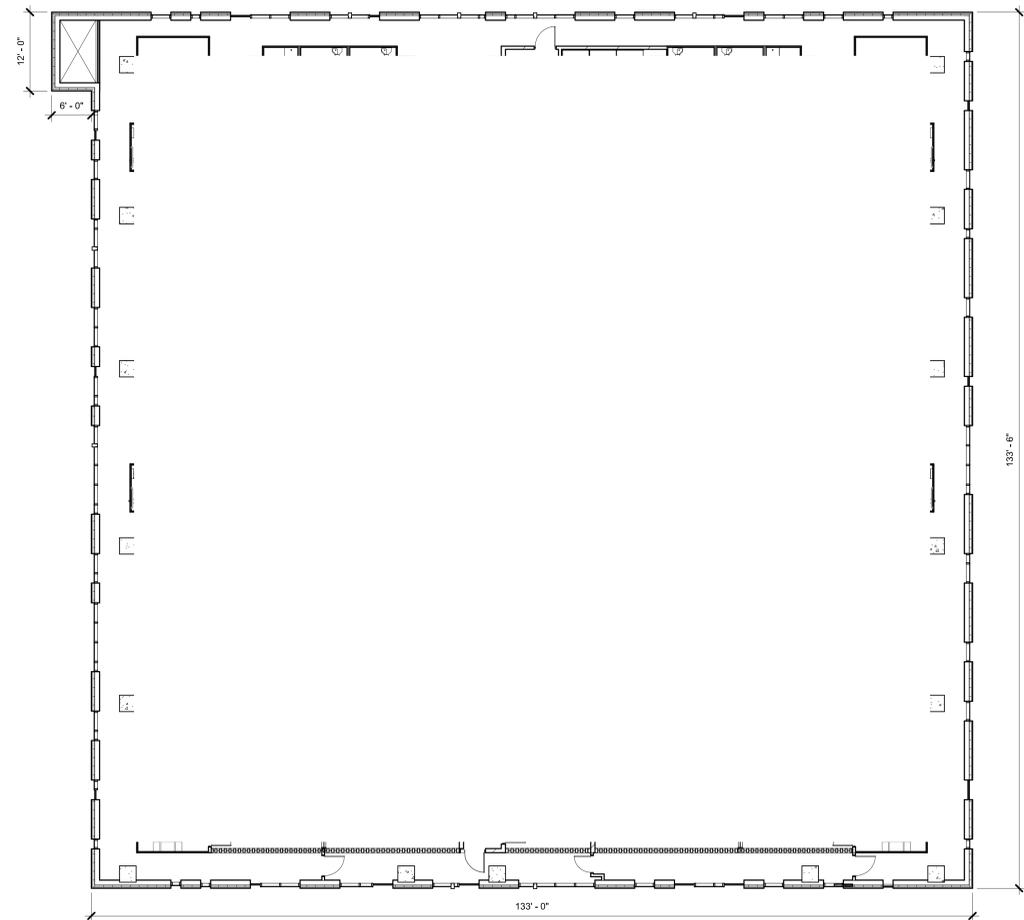
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 SHEET CONTENTS
 FIFTH FLOOR PLAN

SHEET NO.:
LU-A105

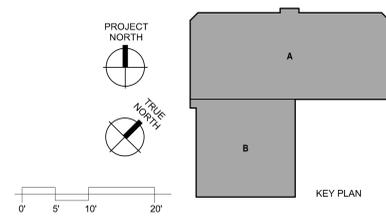
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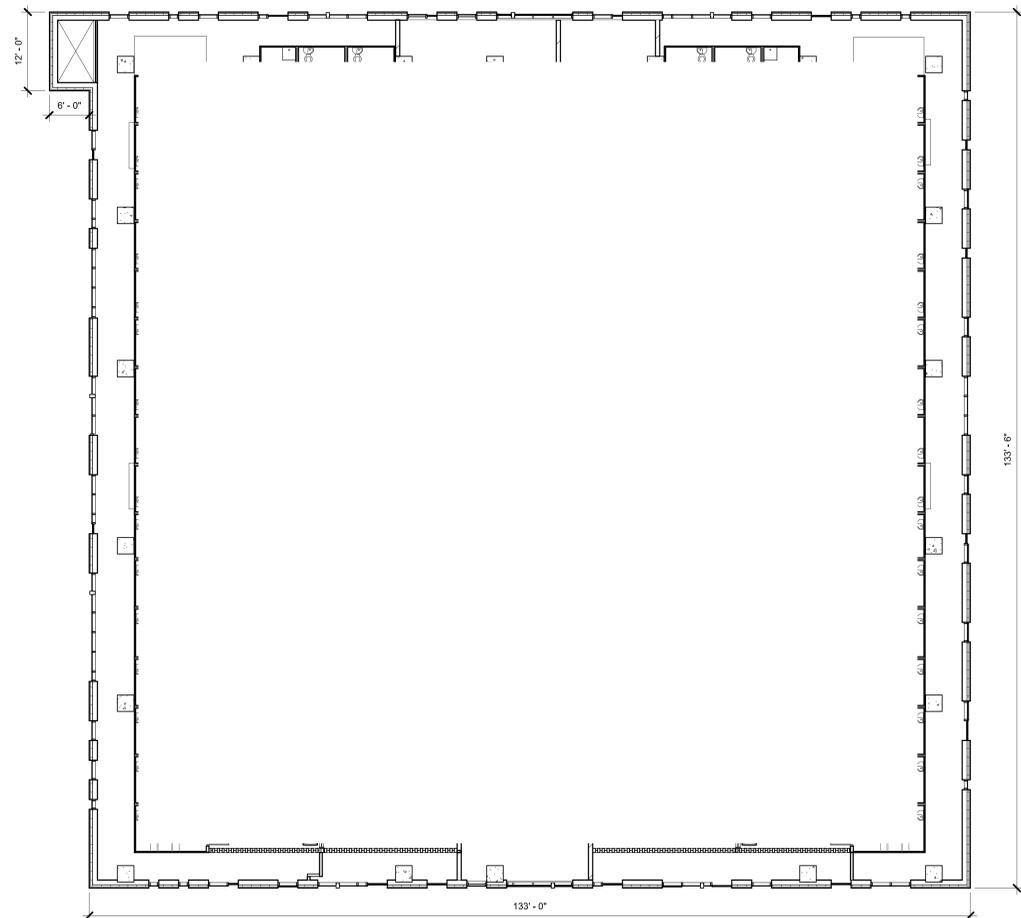


2
LU-A106
SIXTH M FLOOR PLAN
3/32" = 1'-0"

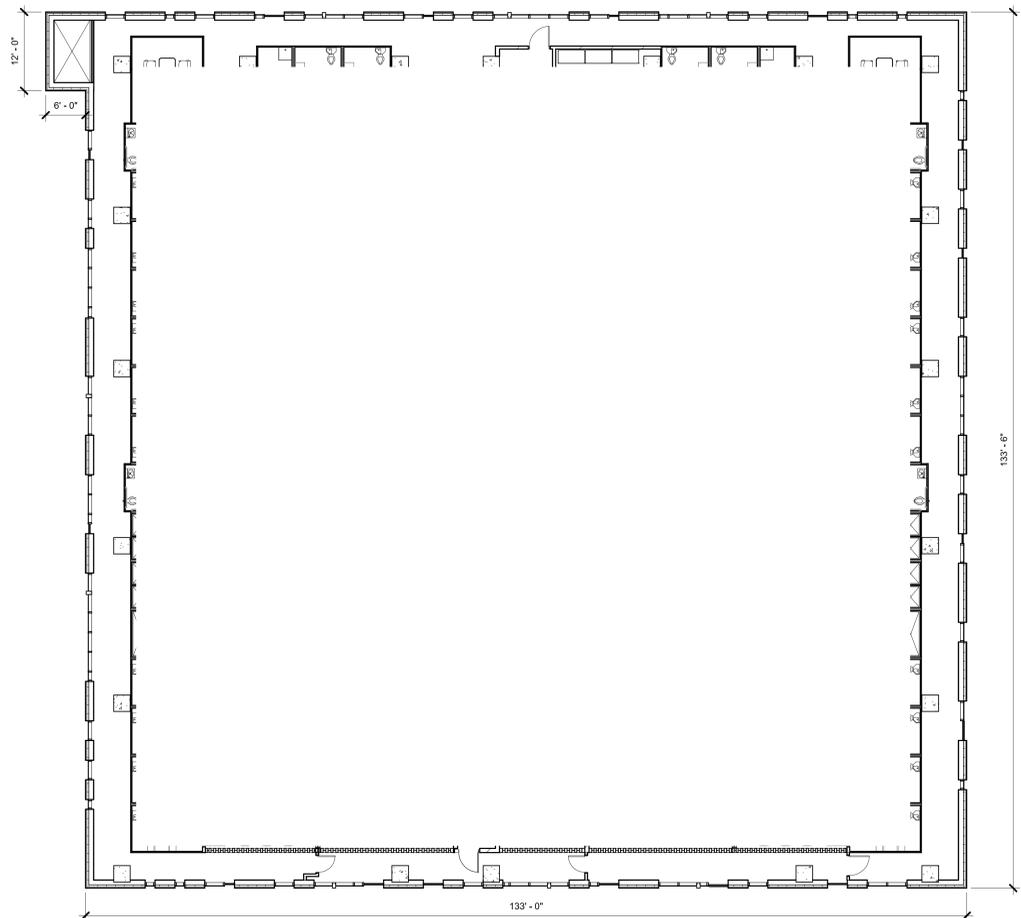


1
LU-A106
SIXTH FLOOR PLAN
3/32" = 1'-0"

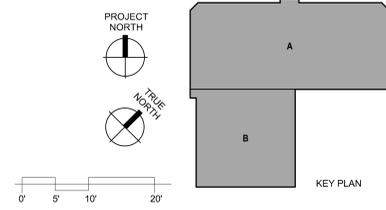


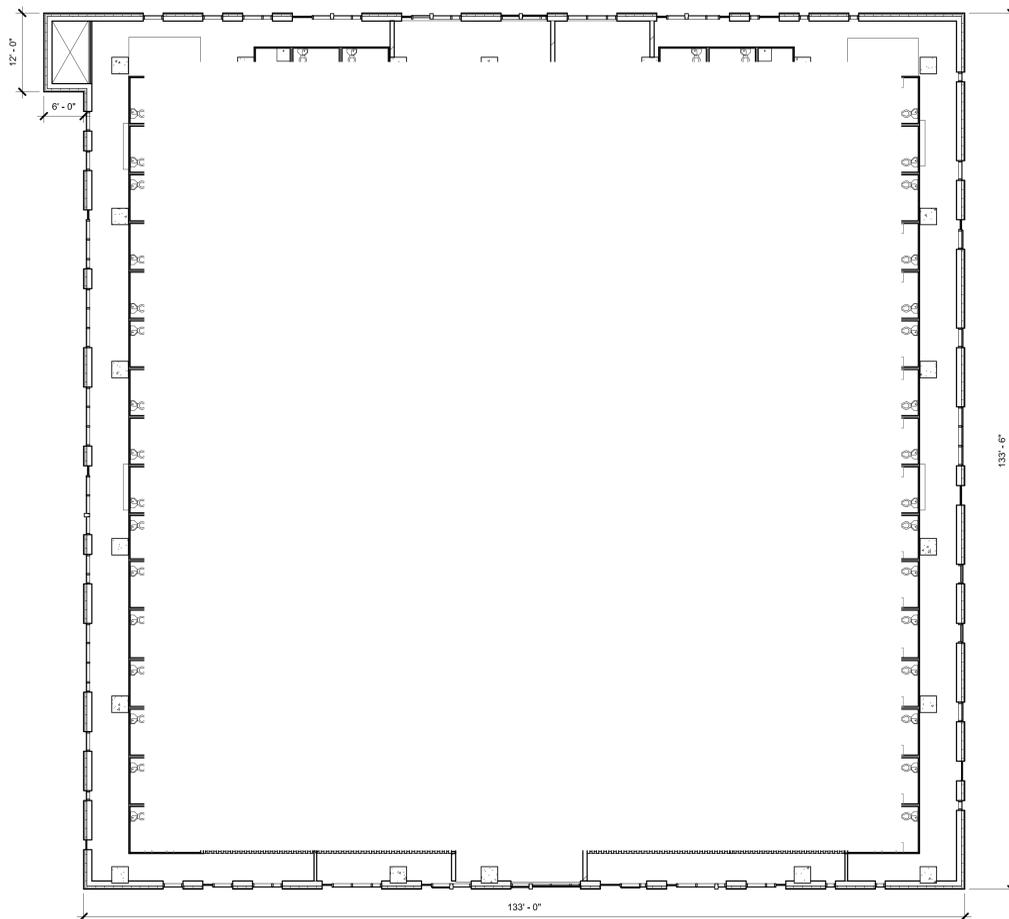


2 SEVENTH M FLOOR PLAN
LU-A107 3/32" = 1'-0"

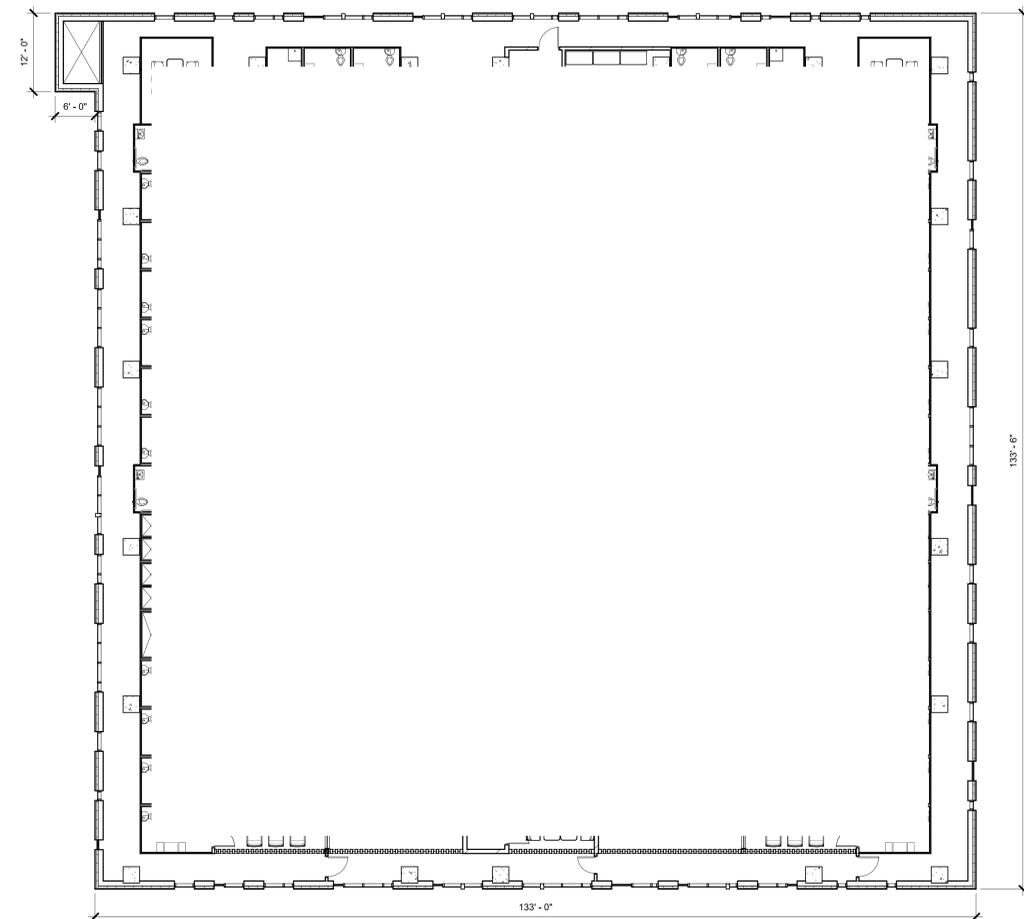


1 SEVENTH FLOOR PLAN
LU-A107 3/32" = 1'-0"

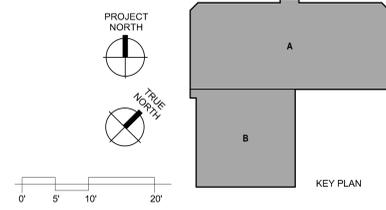


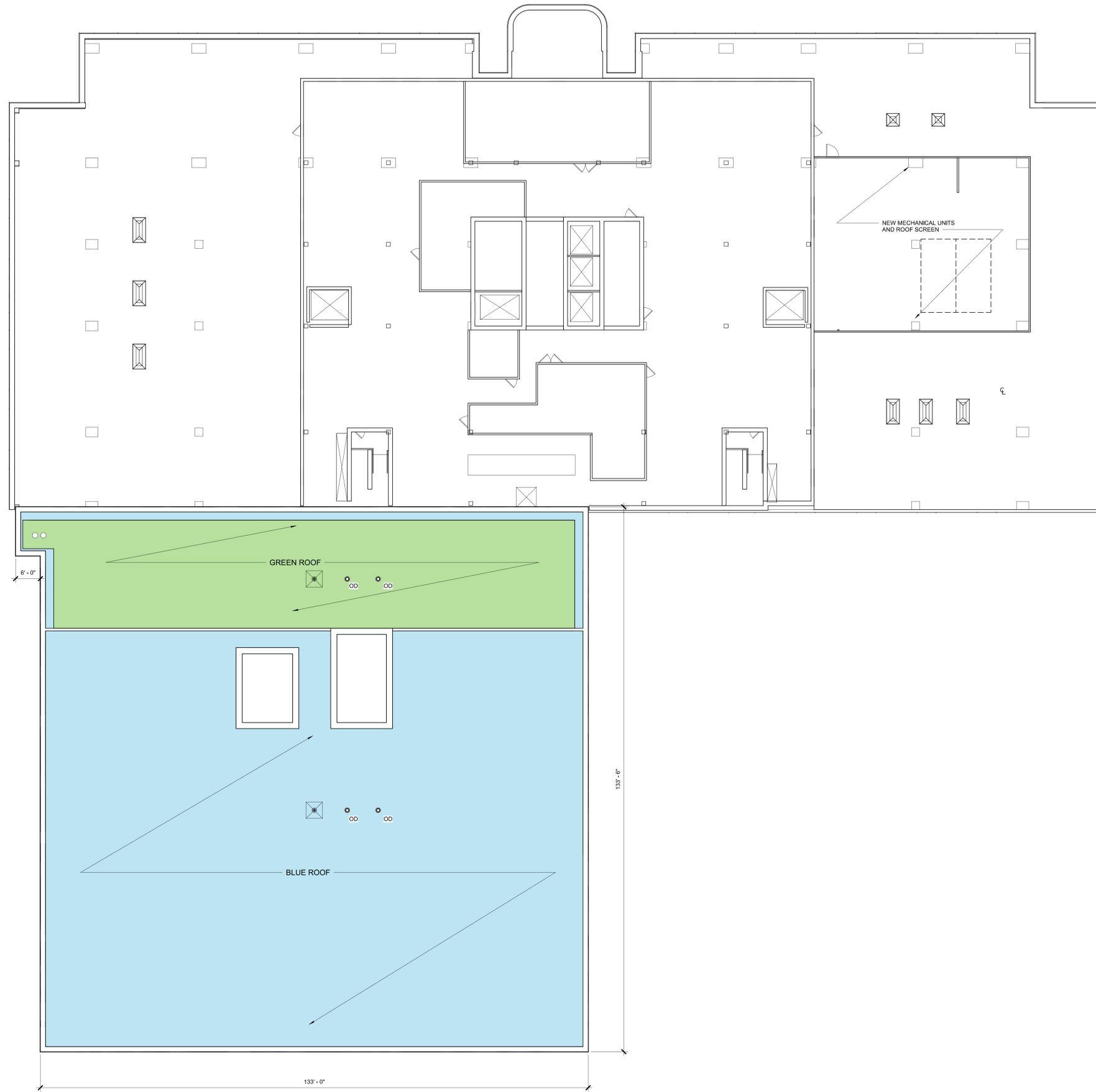


2 EIGHTH M FLOOR PLAN
LU-A108 3/32" = 1'-0"



1 EIGHTH FLOOR PLAN
LU-A108 3/32" = 1'-0"





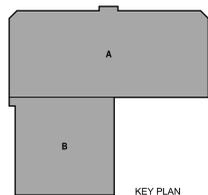
1 ROOF PLAN
LU-A109 3/32" = 1'-0"

LEGEND:

NOTE: ROOF ASSEMBLY TO BE FULLY ADHERED EPDM SYSTEM, SEE SPECIFICATIONS

SEE MECHANICAL ROOF PLAN FOR ADDITIONAL EQUIPMENT, FLASHING AND CURB REQUIREMENTS

- 3' X 3' SKYLIGHT WITH CURB AND SECURITY GRILLE
- 3' X 6' SKYLIGHT WITH CURB AND SECURITY GRILLE
- ROOF DRAIN (RD)
- OVERFLOW DRAIN (OD)
- ROOF PROTECTION PADS
- SLOPED INSULATION 1/4" PER FOOT



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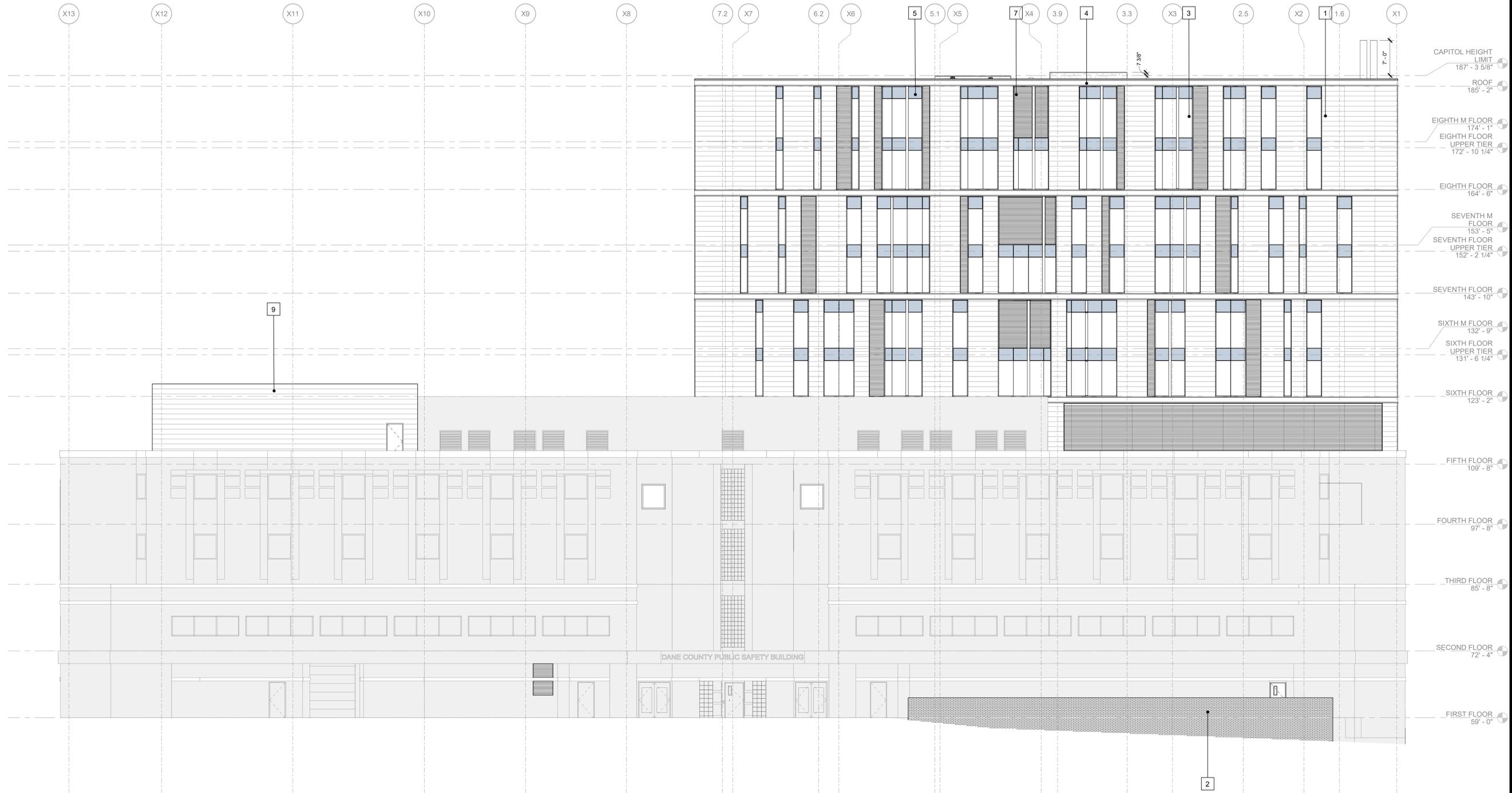
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SHEET CONTENTS
BUILDING
ELEVATION - NORTH

SHEET NO.:

LU-A201



1 NORTH ELEVATION
1/8" = 1'-0"



- | | | |
|---|--------------------------------|---------------------|
| 1 TERRACOTTA VENEER | 4 BLACK ANODIZED ALUMINUM BAND | 7 LOUVER |
| 2 BRICK VENEER | 5 SPANDREL GLAZING | 8 OVERHEAD DOOR |
| 3 SSG ANODIZED ALUMINUM CURTAIN WALL SYSTEM | 6 CONCRETE COLUMN | 9 MECHANICAL SCREEN |



1 EAST ELEVATION
1/8" = 1'-0"

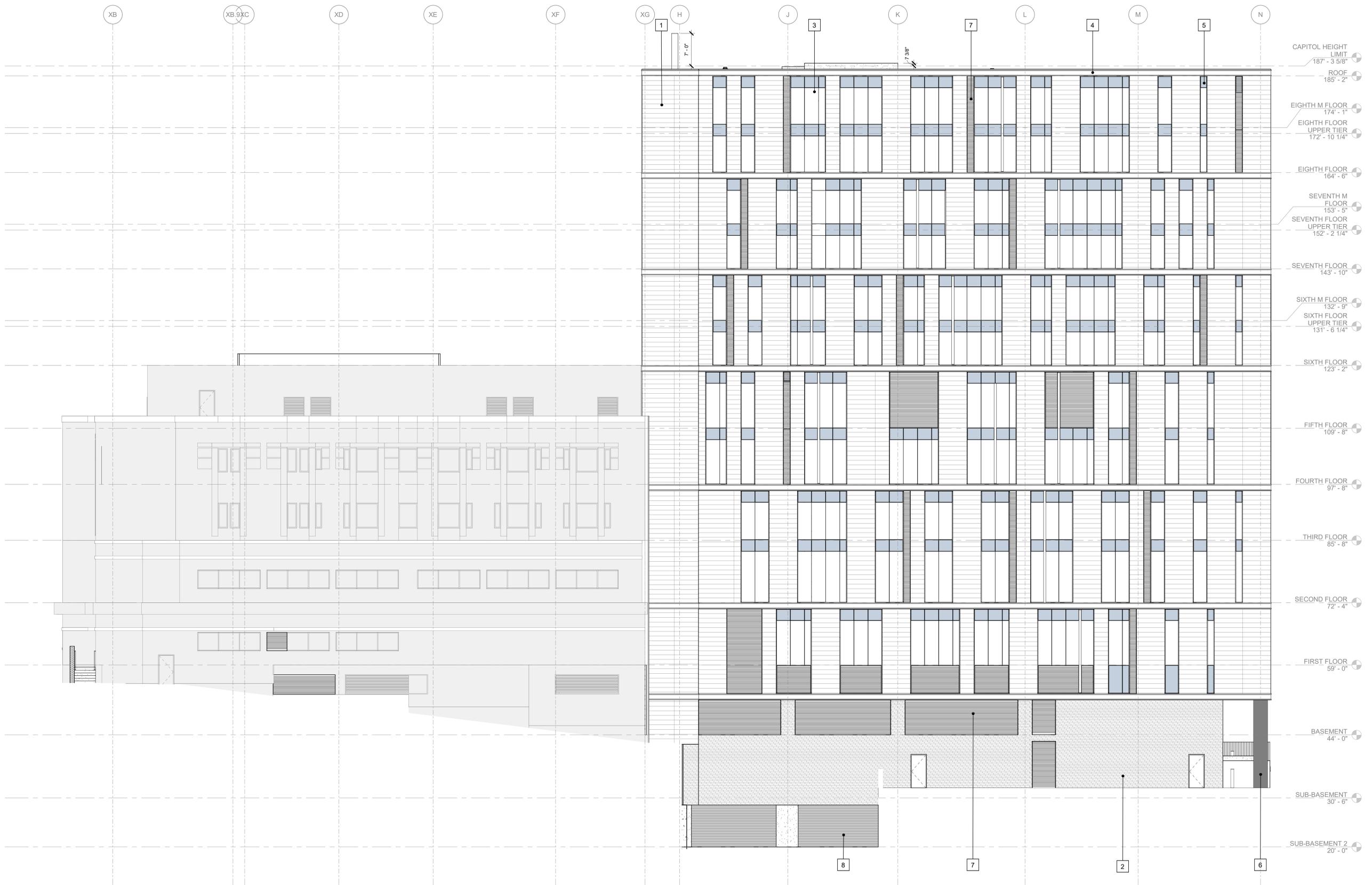
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|---|--------------------------------|---------------------|
| 1 TERRACOTTA VENEER | 4 BLACK ANODIZED ALUMINUM SAND | 7 LOUVER |
| 2 BRICK VENEER | 5 SPANDEL GLAZING | 8 OVERHEAD DOOR |
| 3 SSG ANODIZED ALUMINUM CURTAIN WALL SYSTEM | 6 CONCRETE COLUMN | 9 MECHANICAL SCREEN |



1 SOUTH ELEVATION
1/8" = 1'-0"

- | | | |
|---|--------------------------------|---------------------|
| 1 TERRACOTTA VENEER | 4 BLACK ANODIZED ALUMINUM BAND | 7 LOUVER |
| 2 BRICK VENEER | 5 SPANDEL GLAZING | 8 OVERHEAD DOOR |
| 3 SSG ANODIZED ALUMINUM CURTAIN WALL SYSTEM | 6 CONCRETE COLUMN | 9 MECHANICAL SCREEN |

5/20/2020 9:29:13 AM BIM 360://DCI_Consolidation/2018.10.00/DCI_AD-2019.rvt



1 WEST ELEVATION
1/8" = 1'-0"

- | | | |
|---|--------------------------------|---------------------|
| 1 TERRACOTTA VENEER | 4 BLACK ANODIZED ALUMINUM BAND | 7 LOUVER |
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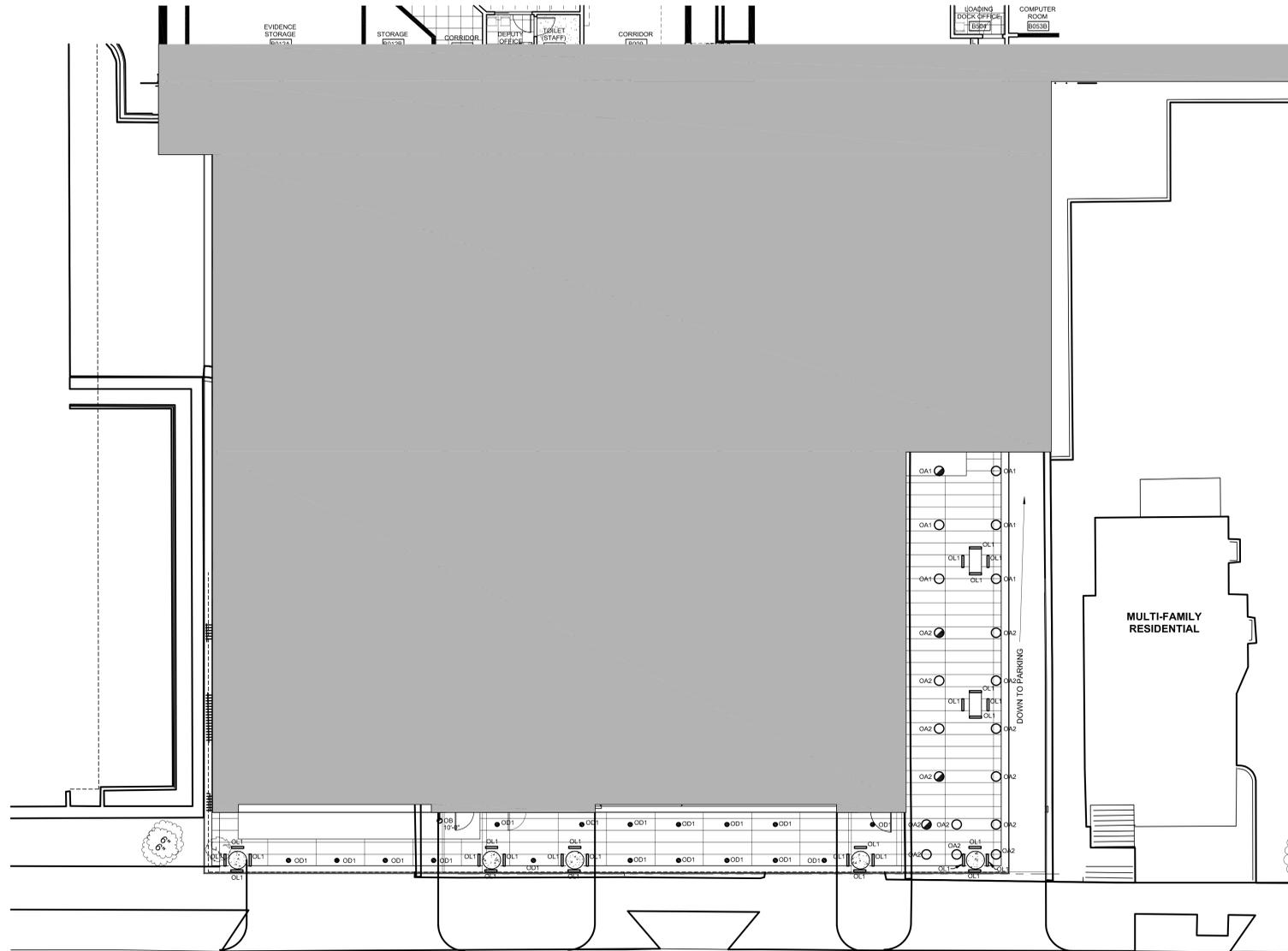
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SHEET CONTENTS
 SITE LIGHTING
 SUBMITTAL

SHEET NO:

ES-1



WEST WILSON STREET

1
 ES-1

SITE LIGHTING
 PLAN
 1" = 10'-0"

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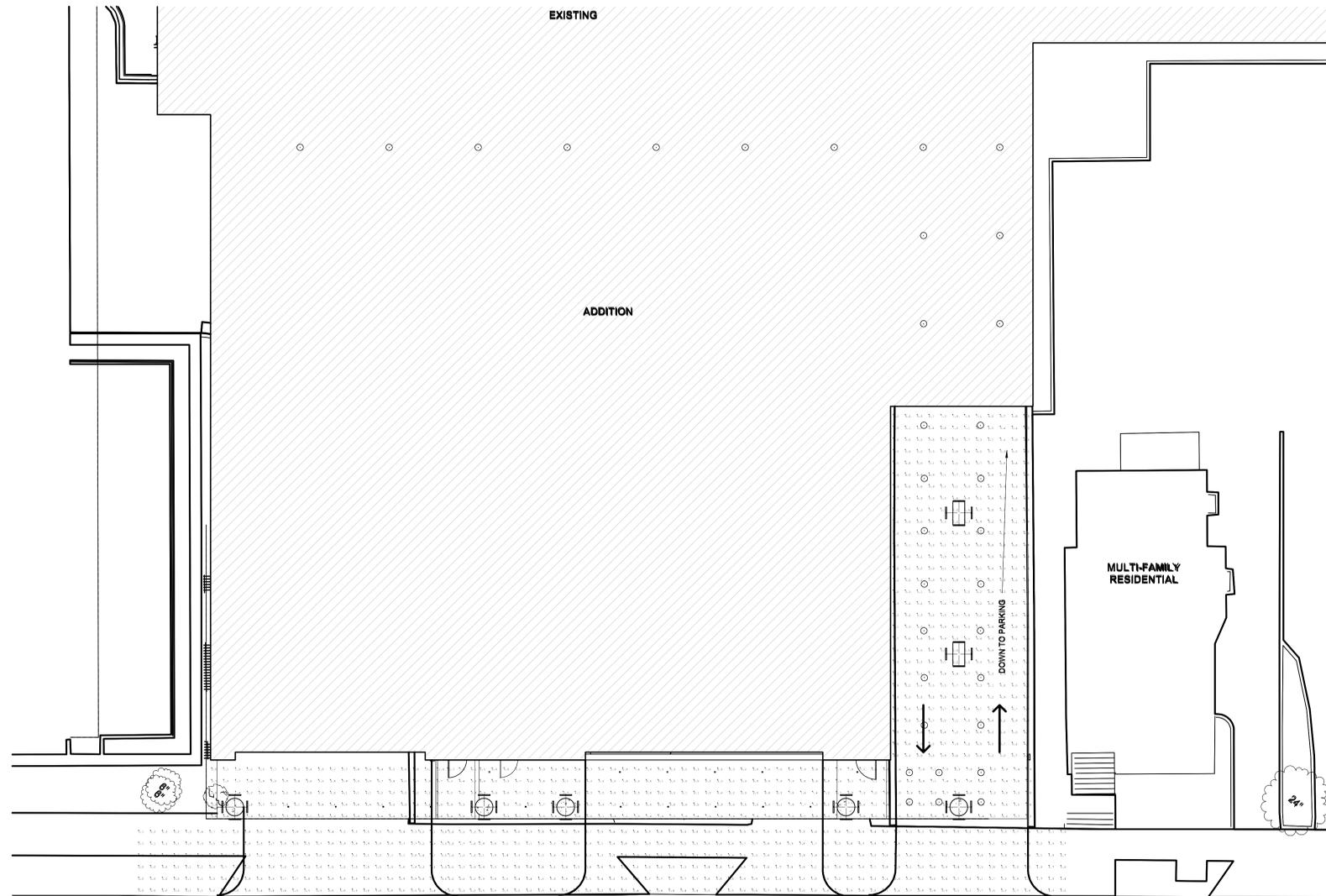
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SHEET CONTENTS
 SITE LIGHTING
 SUBMITTAL

SHEET NO:

ES-2



Calculation Summary					
Footcandle					
Label	Area	Min	Max	Avg	Footcandle
Existing	4,400	11.3	22.3	14.4	4.4
Under canopy	2,700	3.1	6.2	3.9	25.0
Upper area	1,200	1.2	2.4	1.8	4.0
Walk under canopy	1,400	3.1	6.2	3.9	12.8
Walk under canopy	1,400	1.2	2.4	1.8	10.0

1
 ES-1

SITE LIGHTING PHOTOMETRIC
 PLAN
 1" = 10'-0"