

**APPLICATION FOR  
URBAN DESIGN COMMISSION  
REVIEW AND APPROVAL**

**AGENDA ITEM #** \_\_\_\_\_  
**Project #** \_\_\_\_\_

DATE SUBMITTED: <u>4/27/09</u>	<b>Action Requested</b>
UDC MEETING DATE: <u>5/16/09</u>	<input type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 418 S. Gammon Road (West Tower Mall)  
ALDERMANIC DISTRICT: 9

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:  
DARDEN RESTAURANTS - JACK DEGAGNE FRECH - RYAN MCNALLY  
7469 BROKERAGE DRIVE 311 ELM ST #600  
ORLANDO, FL 32809 CINCINNATI, OH 45202

CONTACT PERSON: JANET REID - GHA ARCHITECTURE/DEV.  
Address: 14110 DALLAS PKWY #250  
DALLAS TX 75254  
Phone: 214.461.9628  
Fax: 469.916.5375  
E-mail address: JREID@CDSDEVELOPMENT.COM

- TYPE OF PROJECT:  
(See Section A for:)
- Planned Unit Development (PUD)
    - General Development Plan (GDP)
    - Specific Implementation Plan (SIP)
  - Planned Community Development (PCD)
    - General Development Plan (GDP)
    - Specific Implementation Plan (SIP)
  - Planned Residential Development (PRD)
  - New Construction or Exterior Remodeling in an Urban Design District \* (A public hearing is required as well as a fee)
  - School, Public Building or Space (Fee may be required)
  - New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
  - Planned Commercial Site
- (See Section B for:)
- New Construction or Exterior Remodeling in C4 District (Fee required)
- (See Section C for:)
- R.P.S.M. Parking Variance (Fee required)
- (See Section D for:)
- Comprehensive Design Review\* (Fee required)
  - Street Graphics Variance\* (Fee required)
  - Other \_\_\_\_\_

\*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)  
Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.



Architecture/Development

April 27, 2009

City of Madison – Urban Design Commission  
215 Martin Luther King Jr. Blvd, Room LL-100  
Madison, WI 53701-2985  
Phone: 608-266-4635

Re: UDC Final Approval and/or Recommendation – Letter of Intent  
Proposed Longhorn Steakhouse, to be located at 418 S. Gammon Road – Madison, WI  
Parcel Address: 7017 Mineral Point Road

Dear Plan Commission Representatives:

LongHorn Steakhouse restaurants are full-service, casual dining steakhouses serving both lunch and dinner. Emphasizing high quality, LongHorn appeals to all guests with its distinctive combination of attentive personalized service and flavorful entrees served in an inviting, comfortable atmosphere. The restaurant's atmosphere is warm, friendly, and reminiscent of a rancher's home in the American West. Guests enjoy dining surrounded by soft natural materials accented by stacked stone, Remington bronzes and original oil paintings of western scenery.

Their Signature Menu at Longhorn has been recognized for the past 25 years for serving tender, juicy steaks including the signature Flo's filet, classic NY strip, T-bone and the Outlaw Ribeye. LongHorn Steakhouse also features an extensive menu consisting of fresh salmon, shrimp, chicken and fall-off-the-bone ribs. Freshly made salads, soups, hearth-baked bread and irresistible desserts accompany these delicious entrees.

Subject to State and City of Madison approvals, Darden Restaurants plans to demolish the existing Smokey Bones building, that has been vacant since May of 2007, and to construct a new building with updated parking and landscape amenities. We are working toward a construction start date of September 14, 2009 with a Grand Opening scheduled on January 25, 2010.

Darden has employed the help of Kimley-Horn and Associates (Civil Engineer and Landscape Architect), Held Engineering Associates (Surveyor), FRCH Design Worldwide (Architect), GHA Architecture and Development (Permitting). A general contractor has not been selected at this time.

LongHorn Steakhouse is proposing signage on all four (4) exterior elevations, per the elevations presented.

Real Estate  
Development Services  
Site Development  
Architecture  
Construction Manag.

**Gerdes • Henrichson & Associates**  
14110 Dallas Parkway • Suite 100 • Dallas, TX • 75254  
Phone: (972)239-8884 • Fax: (972)239-5054

The project data is as follows:

- Overall Lot Size – 1.74 ac.
- Building Floor Area – 5,695 sq. ft. (LH-7R+ Prototype)
- Seating – 204 (Capacity – 292)
- Parking required – 83 spaces (based on capacity) , Parking provided – 104 spaces, plus the shared parking with the Mall.
- Hours of Operation - normal hours are 11am-10pm Sunday through Thursday, and 11am-11pm on Friday and Saturday.
- Number of employees - +/-25 maximum per shift, with three shifts = +/- 90 total (Full and Part-time)
- LongHorn Steakhouse typically has two (2) trash bins and recycles cardboard - pick up is approximately 4 times per week. All deliveries and pick-ups are coordinated before 10am.

If you should have any questions or need additional information, please do not hesitate to contact:

Jack DeGagne, Site Development Manager  
Darden Restaurants, Inc.  
407-245-5935 (office) or  
407-342-6781 (cell).

Sincerely,



Janet Reid  
GHA Architecture/Development



**LONGHORN**<sup>®</sup>  
S T E A K H O U S E  
MADISON, WI

418 S. Gammon Road

April 24, 2009

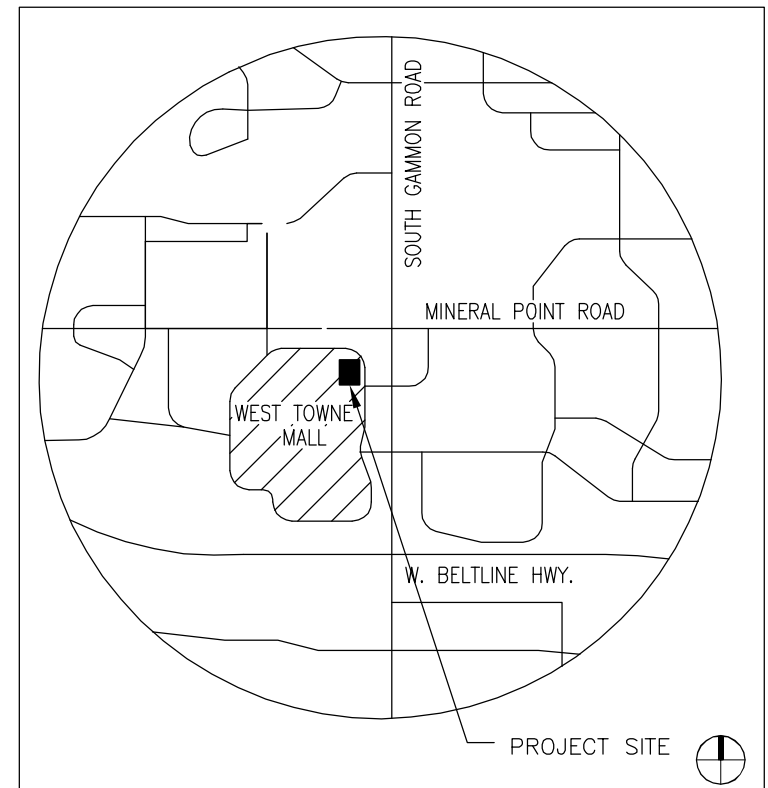
Madison, WI 53719

**OWNER:** DARDEN RESTAURANTS  
5900 LAKE ELLENOR DRIVE  
ORLANDO, FL 32809  
(407) 245-4000

**ARCHITECT:** FRCH DESIGN WORLDWIDE  
311 ELM STREET, SUITE 600  
CINCINNATI, OHIO 45202  
(513) 241-3000

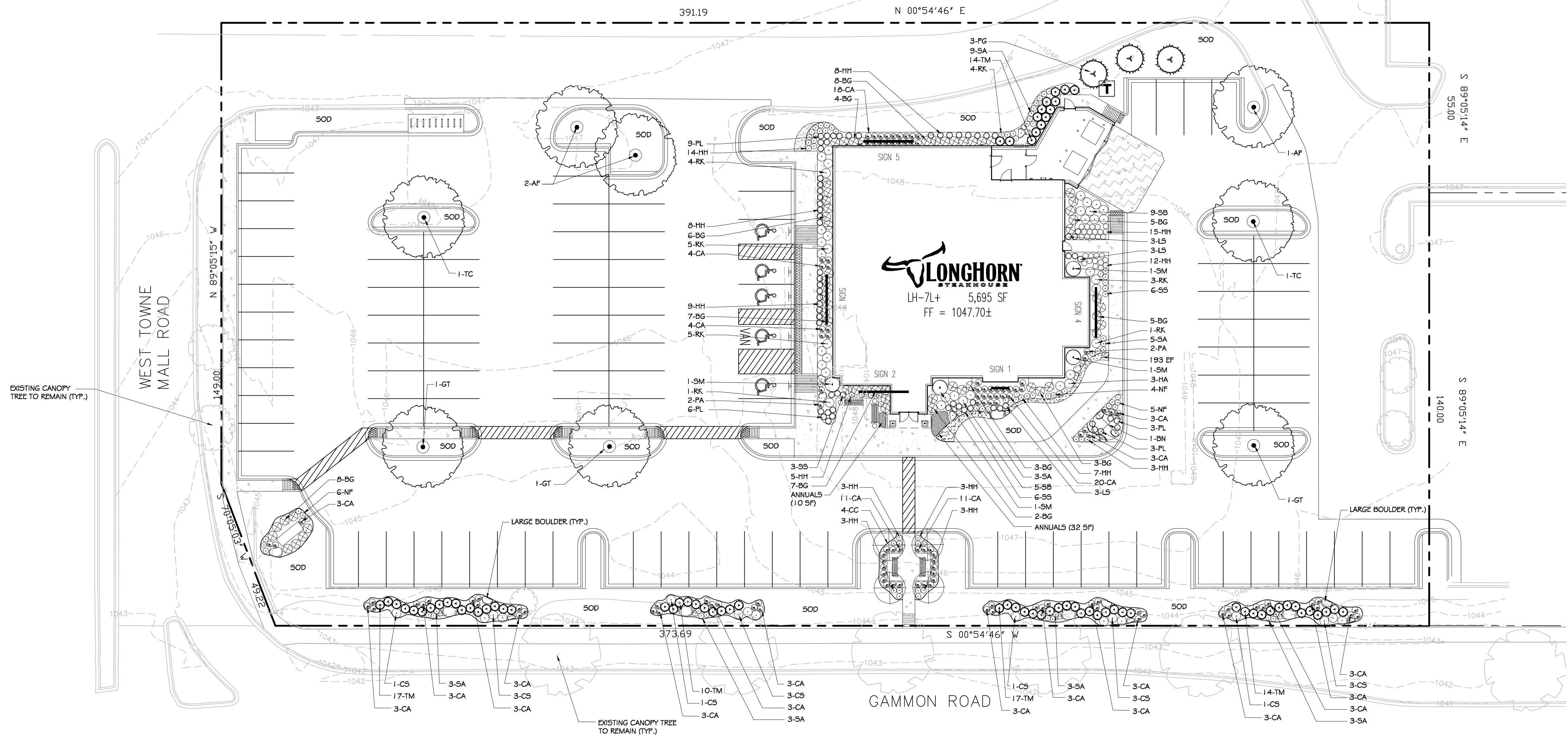
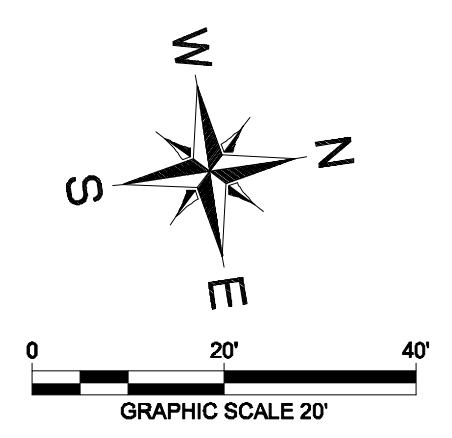
**MECHANICAL ENGINEER:** KLH ENGINEERS  
1538 ALEXANDRIA PIKE  
FT. THOMAS, KENTUCKY 41075  
(859) 442-8050

**CIVIL ENGINEER:** KIMLEY-HORN AND ASSOCIATES, INC.  
205 WEST WACKER DRIVE, SUITE 2125  
CHICAGO, IL 60606  
(312) 726-9445



Drawing name: K:\CH\_LDB\Urban\Madison\_M3\_2 Design\00DD\100\_L1-1\_L1.dwg L-1.1 Apr 27, 2009 12:49pm by: Justin Muller  
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- GENERAL LANDSCAPE NOTES:**
- CONTRACTOR SHALL CONTACT UTILITY LOCATE TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF AN PLANT OR LANDSCAPE MATERIAL.
  - FINAL LOCATION OF ALL PLANTING SHALL BE DETERMINED IN THE FIELD BY THE OWNER'S REPRESENTATIVE.
  - NO PLANT MATERIAL WILL BE INSTALLED UNTIL ALL GRADING A CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
  - ANY MODIFICATIONS TO PLANTING LAYOUT, PLANT MATERIALS, ETC. SHALL BE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER PRIOR TO EXECUTION.
  - SIZE AND GRADING STANDARDS OF PLANT MATERIAL SHALL CONFORM TO THE LATEST ADDITION OF ANSI Z60.1, AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
  - ALL PLANT MATERIALS SHALL BE WISCONSIN NURSERY GROWN STOCK AND SHALL BE FREE OF ANY DEFORMITIES, DISEASES OR INSECT DAMAGE. ANY MATERIALS WITH DAMAGED OR DISFIGURED/CROOKED LEADERS, BARK ABRASION, SUNSCALD, INSECT DAMAGE, ETC. ARE NOT ACCEPTABLE AND WILL BE REJECTED.
  - TREES NOT EXHIBITING A CENTRAL LEADER WILL BE REJECTED UNLESS CALLED OUT IN THE PLANT LIST AS MULTI-STEM.
  - CONTRACTOR SHALL PROVIDE ONE YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS UPON WRITTEN ACCEPTANCE OF THE INITIAL PLANTING BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. REPLACEMENT PLANT MATERIALS SHALL ALSO HAVE A ONE YEAR GUARANTEE WHICH COMMENCES UPON INSTALLATION.
  - CONTRACTOR SHALL PROVIDE ALL NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL.
  - A MINIMUM OF 18" OF LOAM PLANTING SOIL SHALL BE USED WHEN PLANTING ALL TREES (SIDES OF HOLE).
  - WRAP ALL SMOOTH BARKED TREES AND FASTEN THE TOP AND BOTTOM OF THE WRAP (REMOVE BY APRIL 1).
  - PLANTS SHALL BE INSTALLED IMMEDIATELY UPON ARRIVAL TO SITE.
  - ALL TREES AND SHRUB BEDS SHALL BE MULCHED USING 3-4" OF PREMIUM SHREDDED HARDWOOD BARK MULCH (MULCH SHALL BE PLACED SO THAT IT DOES NOT TOUCH THE TRUNK OF THE PLANT).
  - ALL PERENNIAL AND GROUNDCOVER BEDS SHALL BE MULCHED USING 2" OF SHREDDED HARDWOOD BARK MULCH.
  - TREES SHALL BE PLANTED SO THAT THE ROOT CROWN/FLARE IS SET 2" ABOVE FINISHED GRADE. DO NOT USE THE EXISTING TOP OF THE ROOT BALL AS AN INDICATION OF THE LOCATION OF THE ROOT BALL.
  - CONTRACTOR SHALL REPAIR ALL DAMAGE TO PROPERTY WHICH RESULTS FROM THE PLANTING AND LANDSCAPE INSTALLATION AT NO COST TO THE OWNER.
  - APPLY A PRE-EMERGENT HERBICIDE TO ALL PLANTING AREAS, THAT WILL EFFECTIVELY CONTROL BROADLEAF AND GRASSY WEEDS, IMMEDIATELY AFTER PLANTING AND PRIOR TO INSTALLATION OF MULCH.
  - CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
  - CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
  - ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
  - ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
  - ALL LAWN AREAS TO BE SODDED WITH SOLID KENTUCKY BLUEGRASS BLEND, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

**Kinley-Horn and Associates, Inc.**  
 205 West Wacker Drive, Suite 2125  
 Chicago, IL 60606  
 Phone: 312-726-9445  
 Fax: 312-726-9449

SCALE: AS NOTED  
 DESIGNED BY: JMM  
 DRAWN BY: LES  
 CHECKED BY: A/H

**LANDSCAPING PLAN**  
 LONGHORN STEAKHOUSE

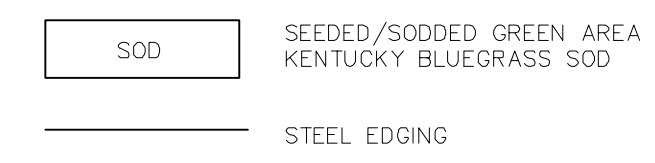
MADISON, WISCONSIN  
 WEST TOWNE MALL  
 418 S. GAMMON ROAD

DATE: 04/24/2009  
 KHA PROJECT NO. 168113000  
 SHEET NUMBER: L-1.1

**PLANT LIST:**

QTY.	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION	REMARKS
<b>Tree: Deciduous Canopy</b>					
AF	3 Autumn Blaze Maple	Acer x freemanii 'Jeffersred'	3" cal.	B&B	Specimen
GT	3 Skyline Honey Locust	Gleditsia triacanthos var. inermis 'Skycole'	3" cal.	B&B	Specimen
TC	2 Littleleaf Linden	Tilia cordata 'Glenleven'	3" cal.	B&B	Specimen
<b>Tree: Deciduous Ornamental</b>					
AG	1 Autumn Brilliance Serviceberry	Amelanchier x grandiflora 'Autumn Brilliance'	6' ht.	B&B	Clump, Specimen
CC	4 Thornless Cockspar Hawthorn	Crataegus crus-galli inermis	2" cal.	B&B	Standard, Specimen
<b>Tree: Evergreen/Upright Evergreen</b>					
PG	3 Black Hills Spruce	Picea glauca 'Densata'	6' ht.	B&B	Full, Straight
<b>Shrubs: Deciduous</b>					
SB	14 Anthony Waterer Spirea	Spiraea x bumalda 'Anthony Waterer'	3 gal.	Cont.	Full, Even
HA	3 Annabelle Hydrangea	Hydrangea arborescens 'Annabelle'	5 gal.	Cont.	Full, Even
SM	4 Dwarf Korean Lilac	Syringa meyeri 'Palibin'	5 gal.	Cont.	Full, Even
RK	19 Knock Out Rose	Rosa 'Knock Out'	3 gal.	Cont.	Full, Even
CS	16 Isanti Dogwood	Cornus sericea 'Isanti'	5 gal.	Cont.	Full, Even
<b>Shrubs: Evergreen</b>					
BG	58 Chicagoland Green Boxwood	Buxus x 'Glenco'	5 gal.	Cont.	Full, Even
TM	72 Taunton Yew	Taxus x media 'Tauntonii'	5 gal.	Cont.	Full, Even
<b>Groundcovers: Perennials/Grasses/Groundcovers</b>					
CA	122 Feather Reed Grass	Calamagrostis 'Karl Foerster'	1 gal.	Cont.	Specimen
HH	93 Daylily	Hemerocallis spp.	1 gal.	Cont.	Specimen
LS	9 Liatris	Liatris spicata 'Kobold'	1 gal.	Cont.	Specimen
NF	15 Nepeta	Nepeta x faaseni 'Walker's Low'	1 gal.	Cont.	Specimen
PA	4 Hameln Fountain Grass	Pennisetum alopecuroides 'Hameln'	1 gal.	Cont.	Specimen
PL	25 Russian Sage	Perovskia 'Little Spire'	1 gal.	Cont.	Specimen
SA	15 Salvia	Salvia x superba 'Mainacht'	1 gal.	Cont.	Specimen
SA	29 Sedum	Sedum x 'Autumn Joy'	1 gal.	Cont.	Specimen
EF	193 Purple Leaf Winter Creeper	Euonymus fortunei var. 'Coloratus'	3"	Cont.	Specimen
ANNUALS 42 SF By Owner					

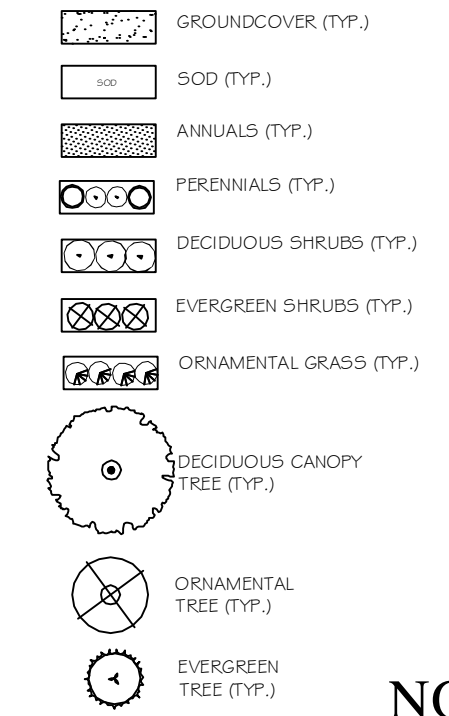
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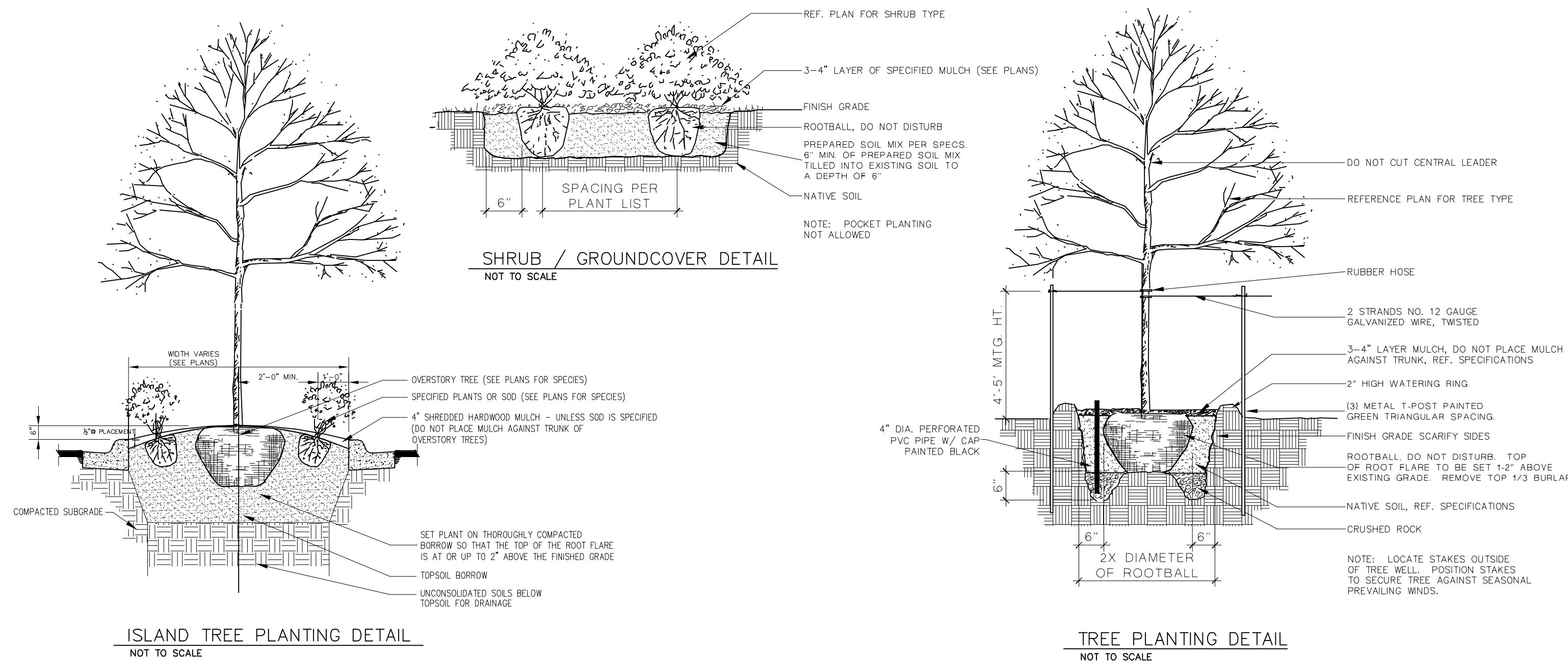
**LANDSCAPE REQUIREMENTS:**

**PARKING LOTS (NUMBER OF TREES REQUIRED)**  
 PARKING SPACES: 104  
 TREES REQUIRED: 8 CANOPY TREES  
 PROVIDED: 8 CANOPY TREES  
**(NUMBER OF LANDSCAPE POINTS REQUIRED)**  
 REQUIRED: 470.0  
 PROVIDED: 580.0 (SEE WORKSHEET)

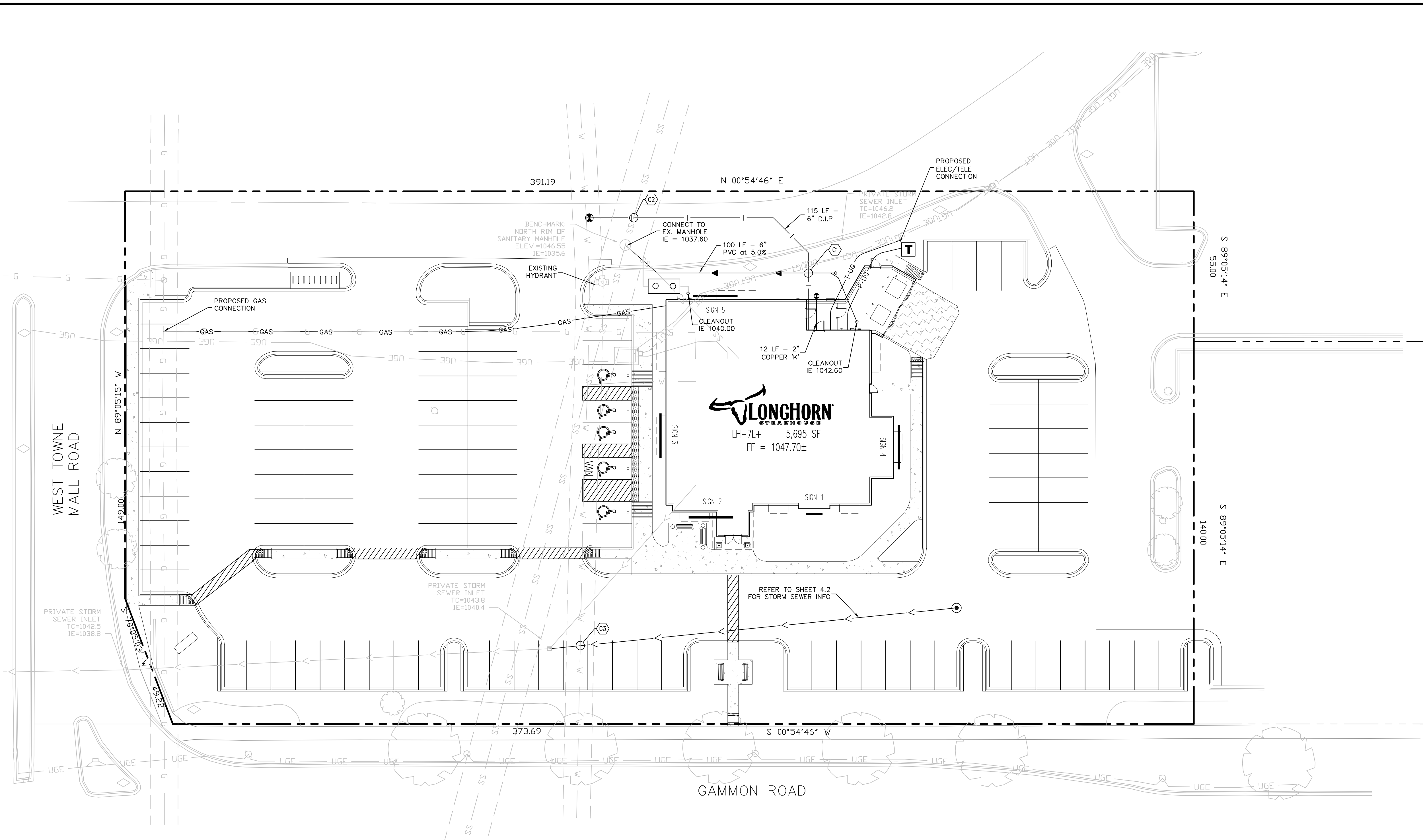
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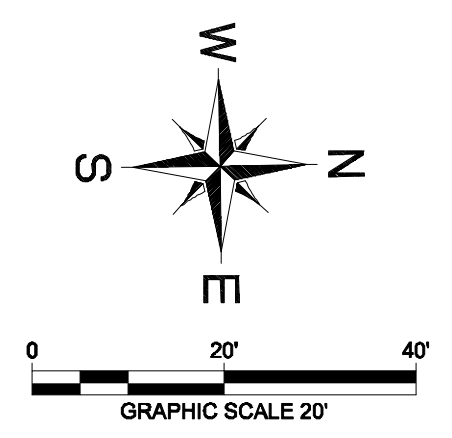
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**LEGEND**

— W —	EX. WATER LINE
⊕	EX. HYDRANT
— SS —	EX. SANITARY SEWER LINE
○	EX. SANITARY SEWER MANHOLE
— V —	EXISTING STORM DRAIN LINE
⊕	EX. STORM MANHOLE
— P-UG —	PROPOSED UNDERGROUND ELECTRIC LINE
— GAS —	GAS LINE (BY GAS COMPANY)
— T-UG —	PROPOSED PHONE LINE
— V —	PROPOSED STORM DRAIN LINE
⊕	PROPOSED STORM MANHOLE
— ● —	PROPOSED SANITARY SEWER LINE
— I —	PROPOSED WATER LINE
⊕	PROPOSED WATER STRUCTURE

**GENERAL UTILITY NOTES:**

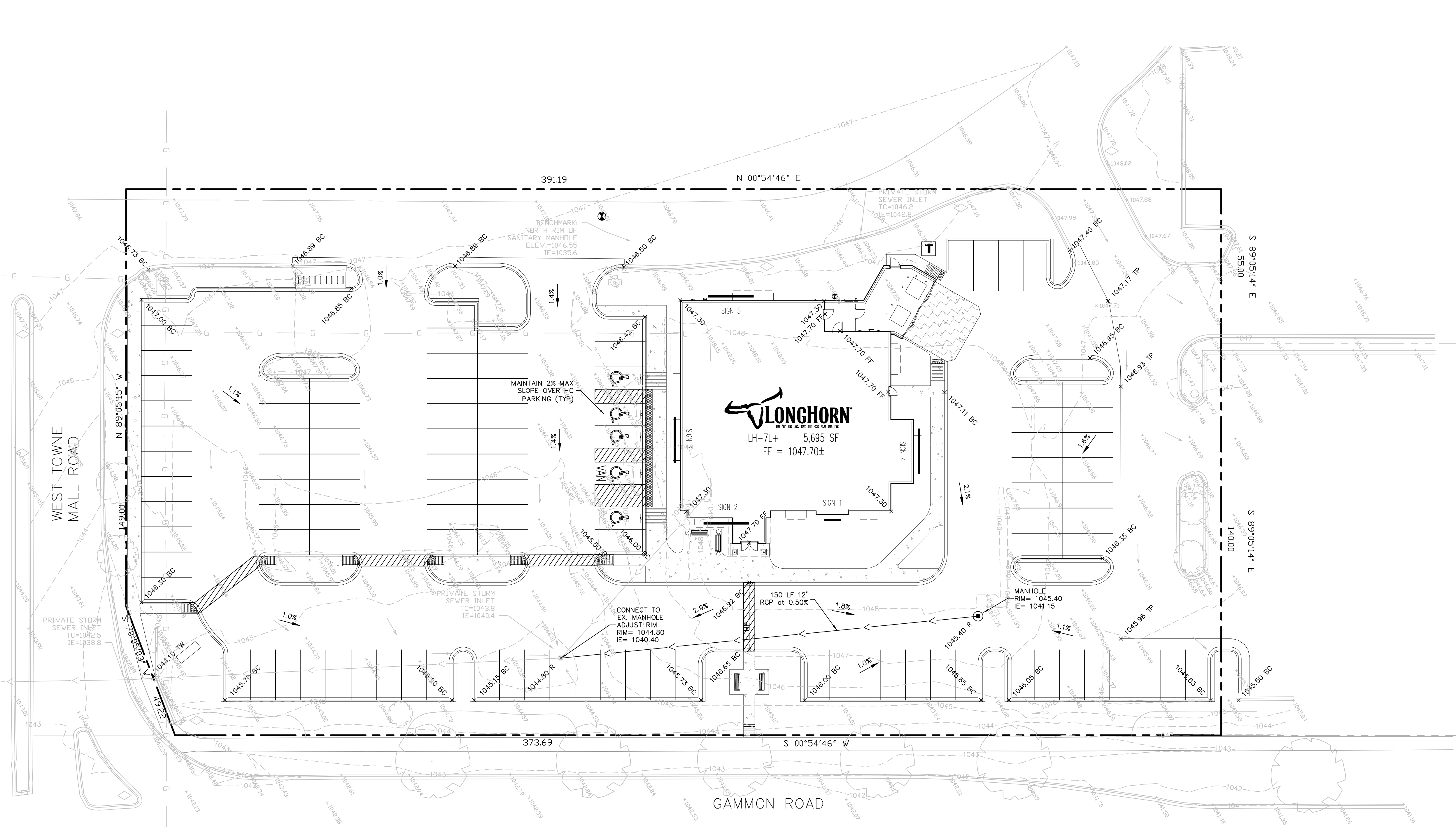
- ALL WATER LINES SHALL BE TYPE K COPPER FOR DOMESTIC OR DIP FOR FIRE UNLESS OTHERWISE LABELED, WITH 60" MINIMUM COVER.
- ALL SANITARY SEWER LINES SHALL BE PVC SD 26 EXCEPT FOR SANITARY SEWER THAT CROSSES ABOVE WATER MAIN, THIS PIPE SHALL BE AWWA C900 (UNLESS WATER MAIN CASING IS UTILIZED). PROVIDE 36" MINIMUM COVER.
- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
- PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION. THE VILLAGE OF MONTGOMERY SHALL BE NOTIFIED OF ANY AND ALL CHANGES TO THE DESIGN PLANS.
- CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
- CONTRACTOR TO AVOID DISRUPTION OF ANY ADJACENT TENANT'S TRAFFIC OPERATIONS DURING INSTALLATION OF UTILITIES.
- ALL DIMENSIONS ARE TO CENTERLINE OF PIPE OR CENTER OF MANHOLE UNLESS NOTED OTHERWISE.
- SEE ARCHITECTURAL AND MEP PLANS FOR EXACT UTILITY TIE-IN AND GREASE TRAP LOCATIONS AT BUILDING.

**BENCHMARK:**

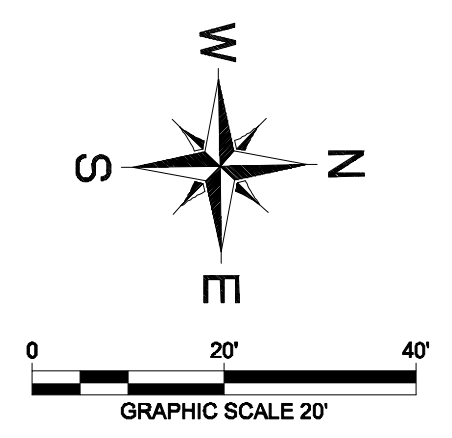
NORTH RIM OF SANITARY MANHOLE  
 ELEV = 1035.6 (REFERENCE SURVEY)

<p><b>UTILITY PLAN</b></p>	<p><b>LONGHORN STEAKHOUSE</b>                  MADISON, WISCONSIN                  WEST TOWNE MALL                  418 S. GAMMON ROAD</p>								
<p>SCALE: AS NOTED</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 25%;">DESIGNED BY:</td> <td>JMM</td> </tr> <tr> <td style="width: 25%;">DRAWN BY:</td> <td>LES</td> </tr> <tr> <td style="width: 25%;">CHECKED BY:</td> <td>A/H</td> </tr> </table>	DESIGNED BY:	JMM	DRAWN BY:	LES	CHECKED BY:	A/H	<p>DATE 04/24/2009</p> <p>KHA PROJECT NO. 168113000</p> <p>SHEET NUMBER <b>C-5.1</b></p>		
DESIGNED BY:	JMM								
DRAWN BY:	LES								
CHECKED BY:	A/H								
<p><b>"PRELIMINARY "</b>  <b>NOT FOR CONSTRUCTION</b></p>									
<p>Kimley-Horn and Associates, Inc.                  Engineering, Planning and Environmental Consultants                  205 West Wacker Drive, Suite 2125                  Chicago, IL 60606                  Phone: 312-726-9445                  Fax: 312-726-9449</p>									
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">REVISIONS</td> <td style="width: 50%;">DATE</td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </table>		REVISIONS	DATE						
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**LEGEND**

TP	=	TOP OF PAVEMENT
TW	=	TOP OF SIDEWALK
TC	=	TOP OF CURB
BC	=	BOTTOM OF CURB
FF	=	FINISHED FLOOR
R	=	RIM ELEVATION
- - 48 - -	=	PROPOSED CONTOUR
— 48 —	=	EXISTING CONTOUR
HP	=	HIGH POINT
XX%	=	SLOPE AND FLOW DIRECTION
↖	=	OVERLAND FLOW ROUTE
---	=	DRAINAGE AREA
---	=	REVERSE CURB AND GUTTER

- GENERAL GRADING NOTES:**
- ALL SPOT GRADES ARE TO TOP OF PAVEMENT (TP) OR TOP OF GRADE (TO), UNLESS OTHERWISE NOTED AS TO (TOP OF CURB), BW (BOTTOM OF WALL, OR TW (TOP OF WALL).
  - GENERAL CONTRACTOR TO REFERENCE NOTE 1 REGARDING SPOT ELEVATIONS, COORDINATE WITH DIRT AND LANDSCAPE SUBCONTRACTORS REGARDING PROPOSED SOD AND HYDROMULCH LOCATIONS TO ENSURE ADEQUATE CUT FOR FUTURE VEGETATION.
  - NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
  - MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
  - MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS UNLESS OTHERWISE NOTED. RUNNING SLOPE MAY EXCEED 5% IN PUBLIC R.O.W. IF EXISTING ROAD SLOPE EXCEEDS 5%.

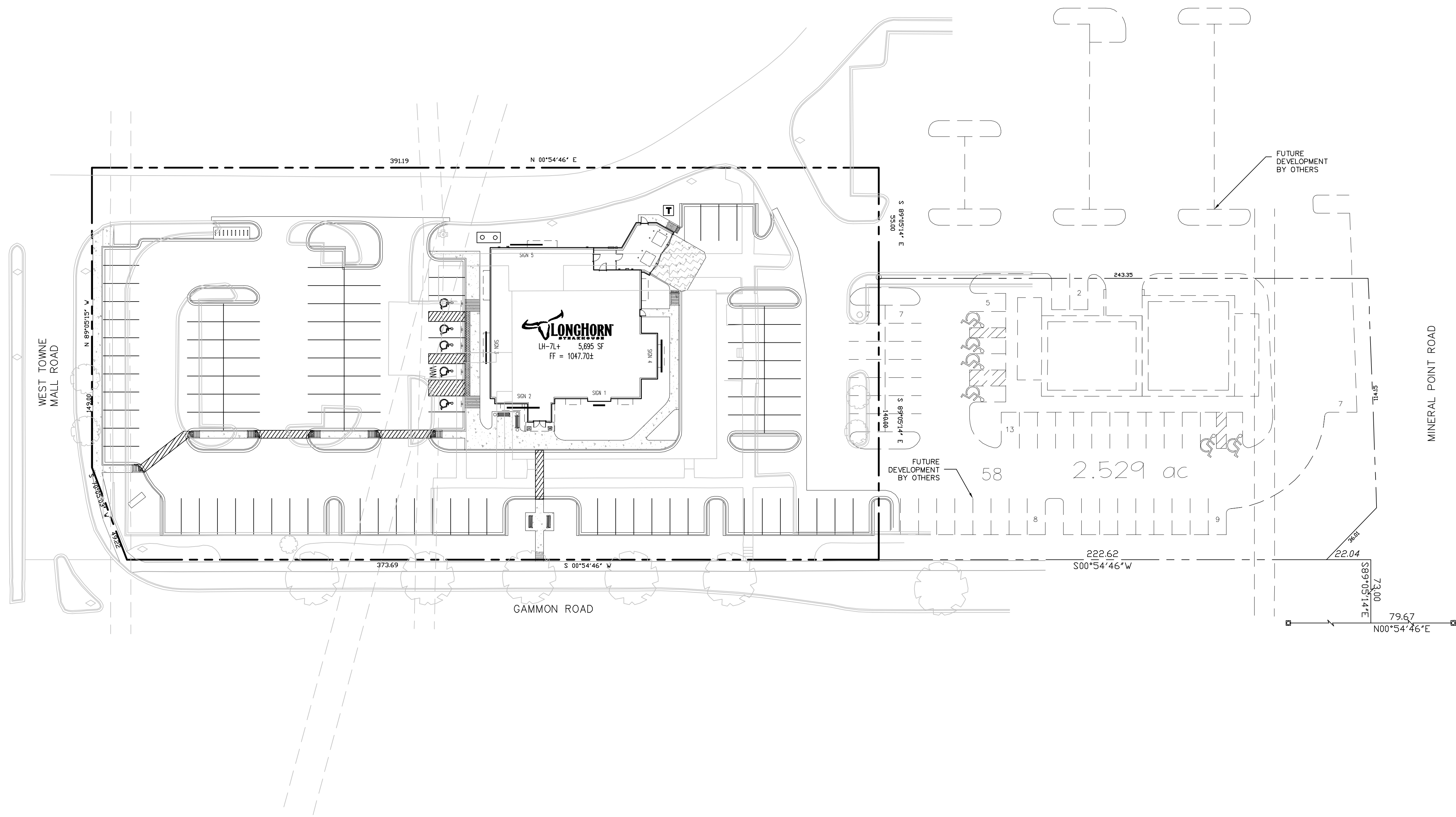
**BENCHMARK:**

NORTH RIM OF SANITARY MANHOLE  
 ELEV = 1035.6 (REFERENCE SURVEY)

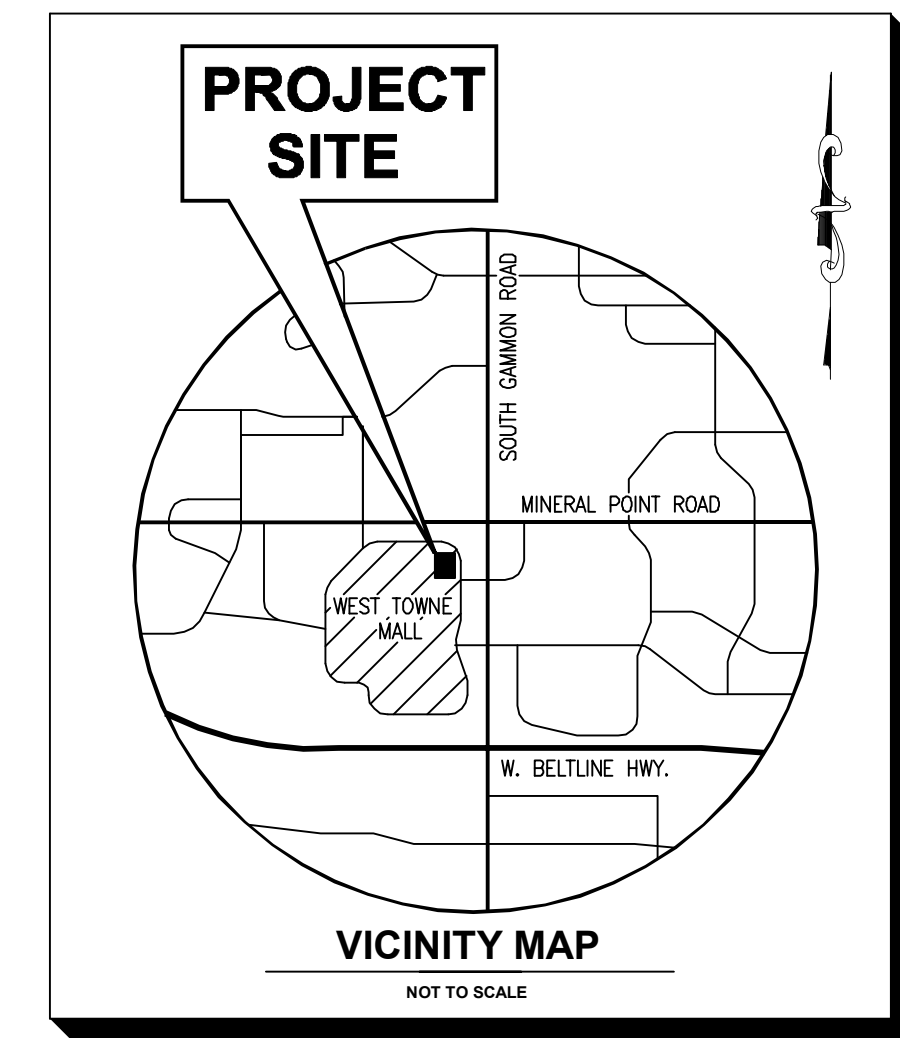
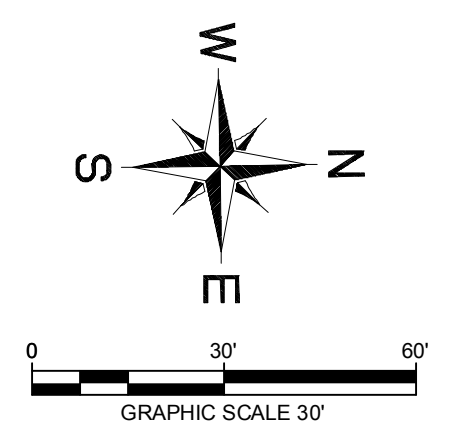
<b>LONGHORN STEAKHOUSE</b> MADISON, WISCONSIN WEST TOWNE MALL 418 S. GAMMON ROAD	SCALE: AS NOTED DESIGNED BY: JMM DRAWN BY: LES CHECKED BY: AMH	<b>GRADING PLAN</b>	DATE: 04/24/2009 KHA PROJECT NO. 168113000 SHEET NUMBER <b>C-4.2</b>
	Kimley-Horn and Associates, Inc. Engineering, Planning and Environmental Consultants 205 West Wacker Drive, Suite 2125 Chicago, IL 60606 Phone: 312-726-9445 Fax: 312-726-9449		REVISIONS No. DATE BY

"PRELIMINARY"  
 NOT FOR CONSTRUCTION

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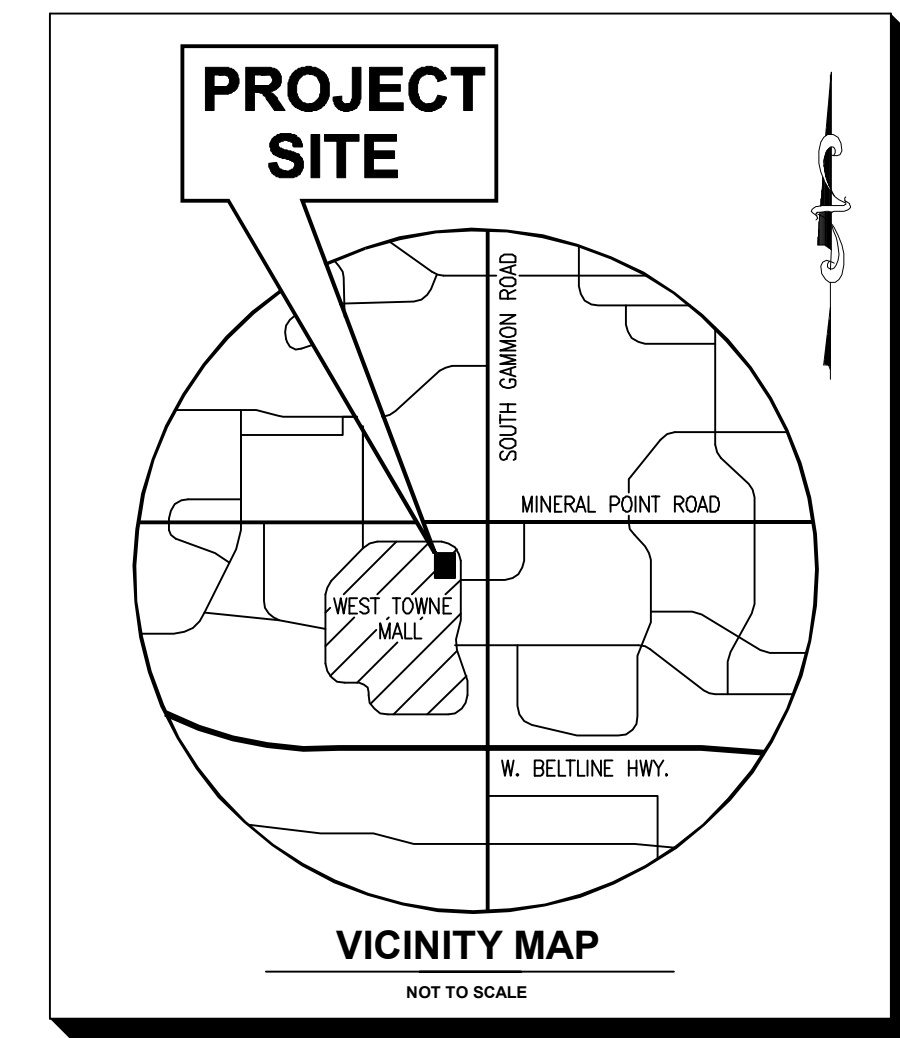
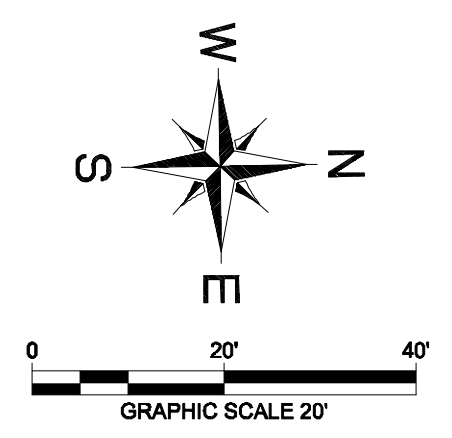
<b>LONGHORN STEAKHOUSE</b> MADISON, WISCONSIN WEST TOWNE MALL 418 S. GAMMON ROAD	SCALE: AS NOTED DESIGNED BY: JMM DRAWN BY: LES CHECKED BY: AMH	<b>OVERALL SITE PLAN</b>	DATE 04/24/2009 KHA PROJECT NO. 168113000 SHEET NUMBER <b>C-2.1</b>
	KIMLEY-HORN and Associates, Inc. © 2009, Kinley-Horn and Associates, Inc. Engineering, Planning and Environmental Consultants 205 West Wacker Drive, Suite 2125 Chicago, IL 60606 Phone: 312-726-9445 Fax: 312-726-9449		

"PRELIMINARY"  
NOT FOR CONSTRUCTION



Drawing name: K:\\_LDB\Drawings\Madison\_MW3\_Design\GADD\103\_C2-0\_DimC.dwg C2-0 Apr 23, 2009 4:41pm by: Justin Miller  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

**DIGGERS HOTLINE**  
 Toll Free (800) 242-8511  
 Milwaukee Area (414) 258-1181  
 Hearing Impaired TDD (800) 542-2289  
 www.DiggersHotline.com



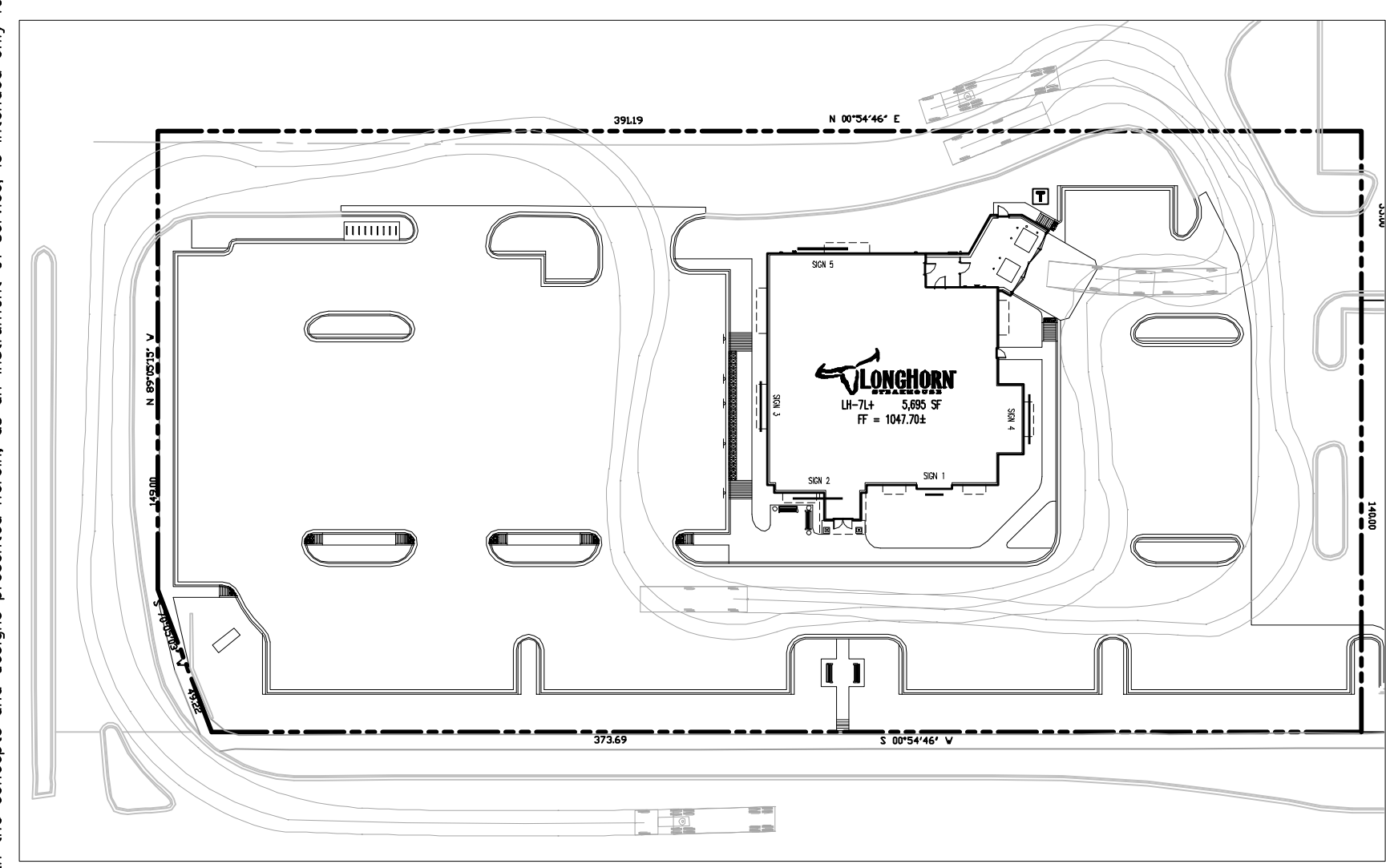
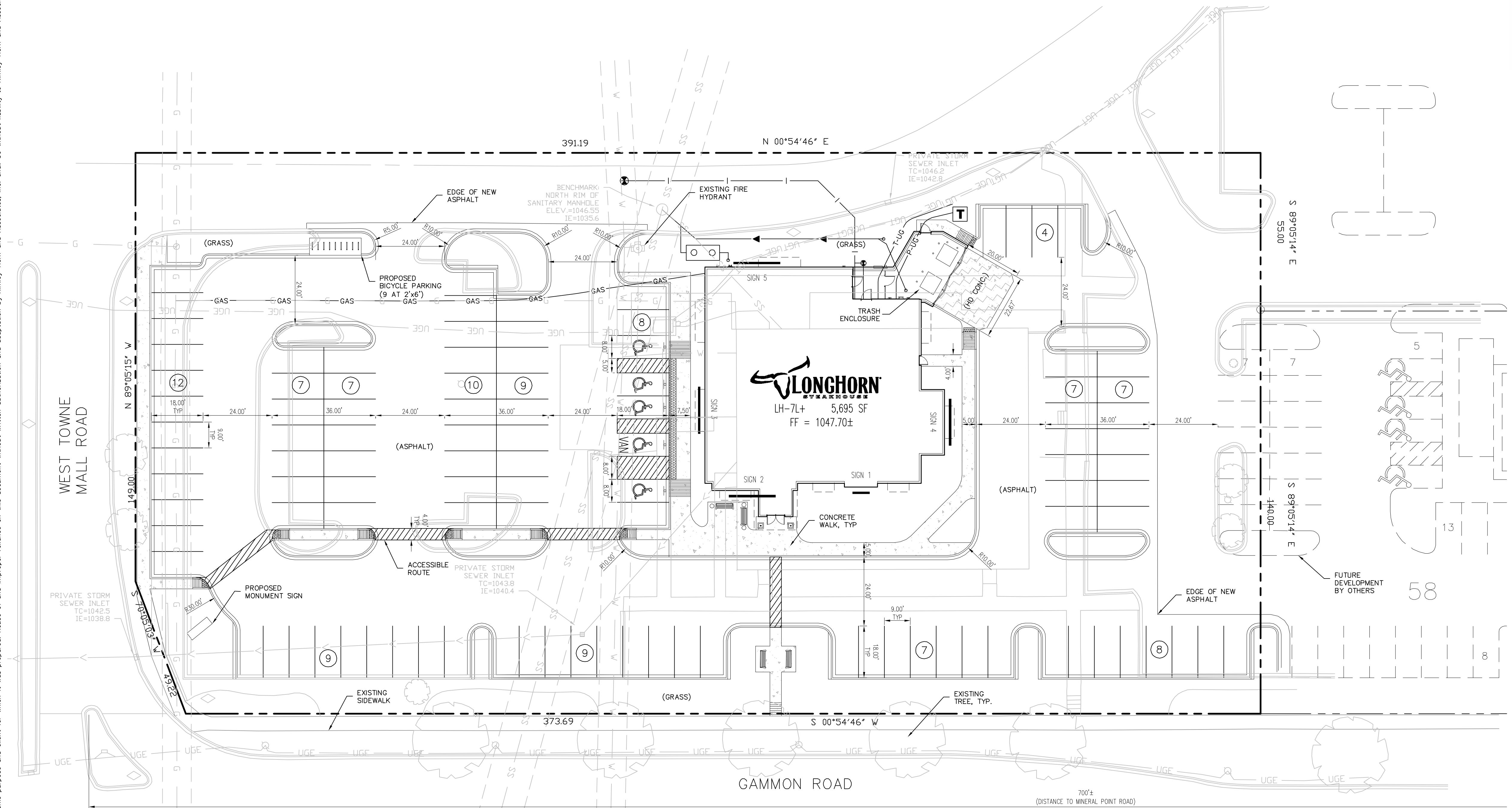
**LEGEND**

—	EX. WATER LINE
—	EX. HYDRANT
—	EX. SANITARY SEWER LINE
—	EX. SANITARY SEWER MANHOLE
—	EXISTING STORM DRAIN LINE
—	EX. STORM MANHOLE
—	PROPOSED UNDERGROUND ELECTRIC LINE
—	GAS LINE (BY GAS COMPANY)
—	PROPOSED PHONE LINE
—	PROPOSED STORM DRAIN LINE
—	PROPOSED STORM MANHOLE
—	PROPOSED SANITARY SEWER LINE
—	PROPOSED WATER LINE
—	PROPOSED WATER STRUCTURE

**SITE DATA TABLE**

GENERAL SITE DATA	
ZONING	C3L, COMMERCIAL SERVICE DISTRIBUTION DISTRICT
LAND USE	RESTAURANT
LOT AREA RESTRICTIONS	TBD
LOT AREA	75,879 S.F. (1.74 ACRES)
IMPERVIOUS AREA	62,288 SF (82.1%)
PERVIOUS (OPEN SPACE) AREA	13,591 SF (17.9%)
BUILDING COVERAGE RESTRICTIONS (FAR)	< 3.0
BUILDING SQUARE FOOTAGE	5,695 S.F.
BUILDING HEIGHT RESTRICTIONS	3 STORIES 40 FEET
PARKING DATA	
PARKING REQUIRED	30% OF SEATING CAPACITY = 83 SPACES
SURFACE STANDARD SPACES PROVIDED	99 SPACES
SURFACE ACCESSIBLE SPACES REQUIRED	5 SPACES
SURFACE ACCESSIBLE SPACES PROVIDED	5 SPACES
TOTAL SPACES PROVIDED	104 SPACES + SHARED

- GENERAL NOTES:**
- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
  - IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH THE ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING DOT-APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
  - ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED/SOODED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.

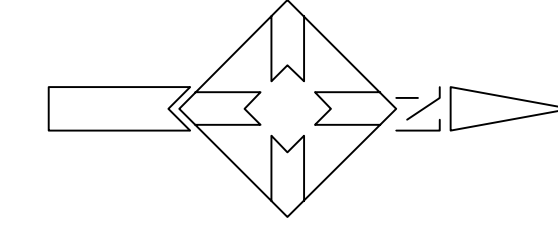


**TRUCK ROUTE EXHIBIT**  
 SCALE: 1" = 50'

<b>LONGHORN STEAKHOUSE</b> MADISON, WISCONSIN WEST TOWNE MALL 418 S. GAMMON ROAD	<b>SITE / DIMENSION CONTROL PLAN</b>
SCALE: AS NOTED DESIGNED BY: JMM DRAWN BY: LES CHECKED BY: A/H	No. _____ REVISIONS _____ DATE _____ BY _____
DATE: 04/24/2009 KHA PROJECT NO.: 168113000 SHEET NUMBER: <b>C-2.0</b>	

**"PRELIMINARY"**  
**NOT FOR CONSTRUCTION**

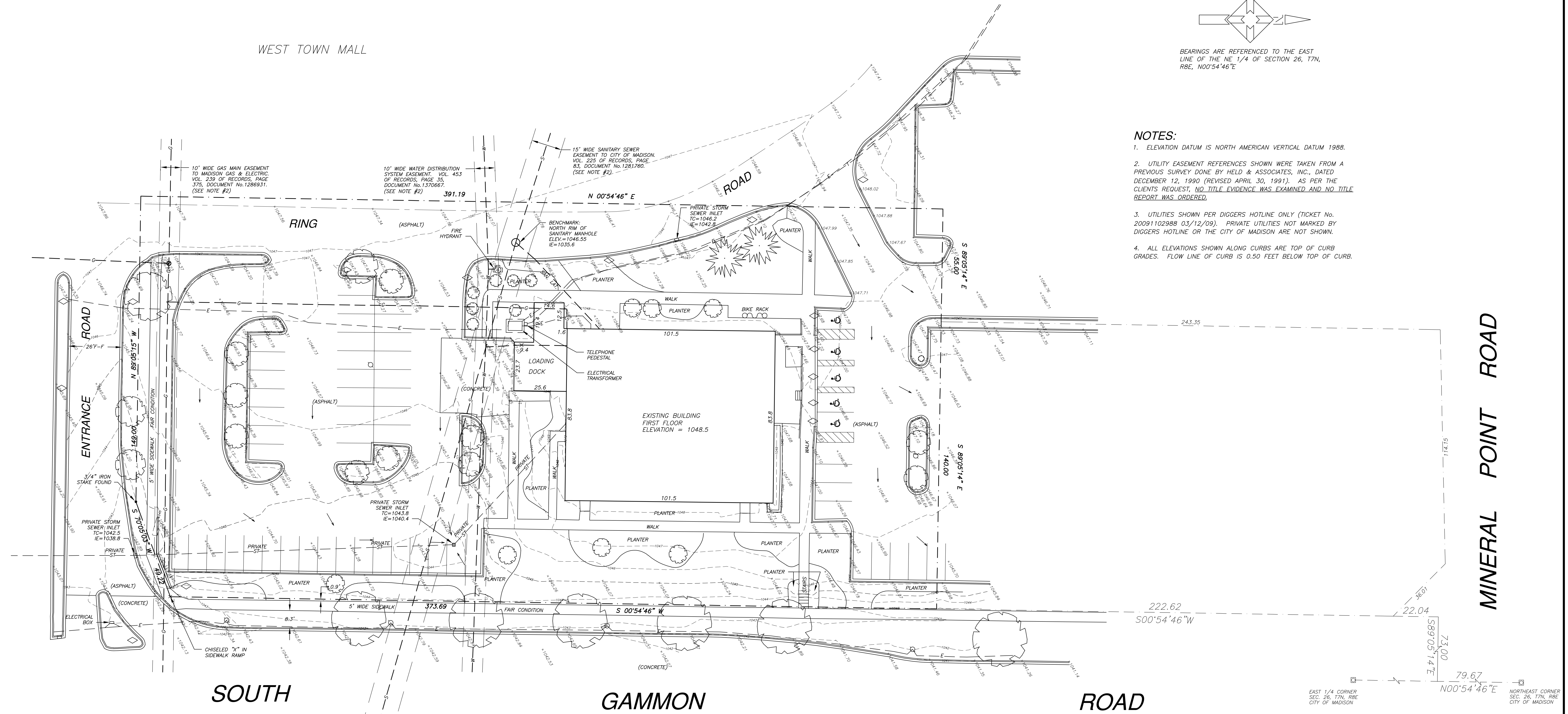
WEST TOWN MALL



BEARINGS ARE REFERENCED TO THE EAST LINE OF THE NE 1/4 OF SECTION 26, 17N, R8E, N00°54'46"E

**NOTES:**

- ELEVATION DATUM IS NORTH AMERICAN VERTICAL DATUM 1988.
- UTILITY EASEMENT REFERENCES SHOWN WERE TAKEN FROM A PREVIOUS SURVEY DONE BY HELD & ASSOCIATES, INC., DATED DECEMBER 12, 1990 (REVISED APRIL 30, 1991). AS PER THE CLIENTS REQUEST, NO TITLE EVIDENCE WAS EXAMINED AND NO TITLE REPORT WAS ORDERED.
- UTILITIES SHOWN PER DIGGERS HOTLINE ONLY (TICKET No. 20091102988 03/12/09). PRIVATE UTILITIES NOT MARKED BY DIGGERS HOTLINE OR THE CITY OF MADISON ARE NOT SHOWN.
- ALL ELEVATIONS SHOWN ALONG CURBS ARE TOP OF CURB GRADES. FLOW LINE OF CURB IS 0.50 FEET BELOW TOP OF CURB.



MINERAL POINT ROAD

**LEGEND:**

- - LIGHT POLE
- ◇ - SIGN
- - CATCH BASIN
- × - WATER MAIN VALVE
- - GAS MAIN VALVE
- - GENERAL DIRECTION OF SURFACE DRAINAGE
- S— - SANITARY SEWER
- ST— - STORM SEWER
- W— - WATER MAIN
- E— - ELECTRICAL
- T— - TELEPHONE
- G— - GAS MAIN
- - -1045- - EXISTING CONTOUR (CONTOUR INTERVAL = 1')
- - SPOT ELEVATION
- (with cross) - DECIDUOUS TREE (SYMBOL SIZE RELATIVE TO TREE SIZE)
- (with star) - CONIFEROUS TREE (SYMBOL SIZE RELATIVE TO TREE SIZE)
- - - - - PROPERTY LINE

**PARCEL ADDRESS:**  
7017 MINERAL POINT ROAD  
MADISON, WI 53719

**PARCEL NUMBER:**  
0708-261-0086-3

**PARCEL ZONING:**  
C3-L

**PARCEL OWNER:**  
MADISON JOINT VENTURE  
c/o JAMES J. CUDIN  
3418 PELHAM PL.  
AVON, OH 44011

<b>LONGHORN STEAKHOUSE SITE</b>			
SCALE: 1" = 20'	FOR: DARDEV RESTAURANTS, INC. 7400 BRICKERDALE ROW ORLANDO, FL 32809	DATE: 03/24/09	DESIGN BY: TMH
SITE MAP TOPOGRAPHIC MAP		REVISED:	DRAWING NUMBER: 10-163
HELD ENGINEERING ASSOCIATES, INC. 8601 GRAND TETON PLAZA MADISON, WI 53719		PHONE: (608) 833-7373 FAX: (608) 833-3527	



ISSUE INFORMATION

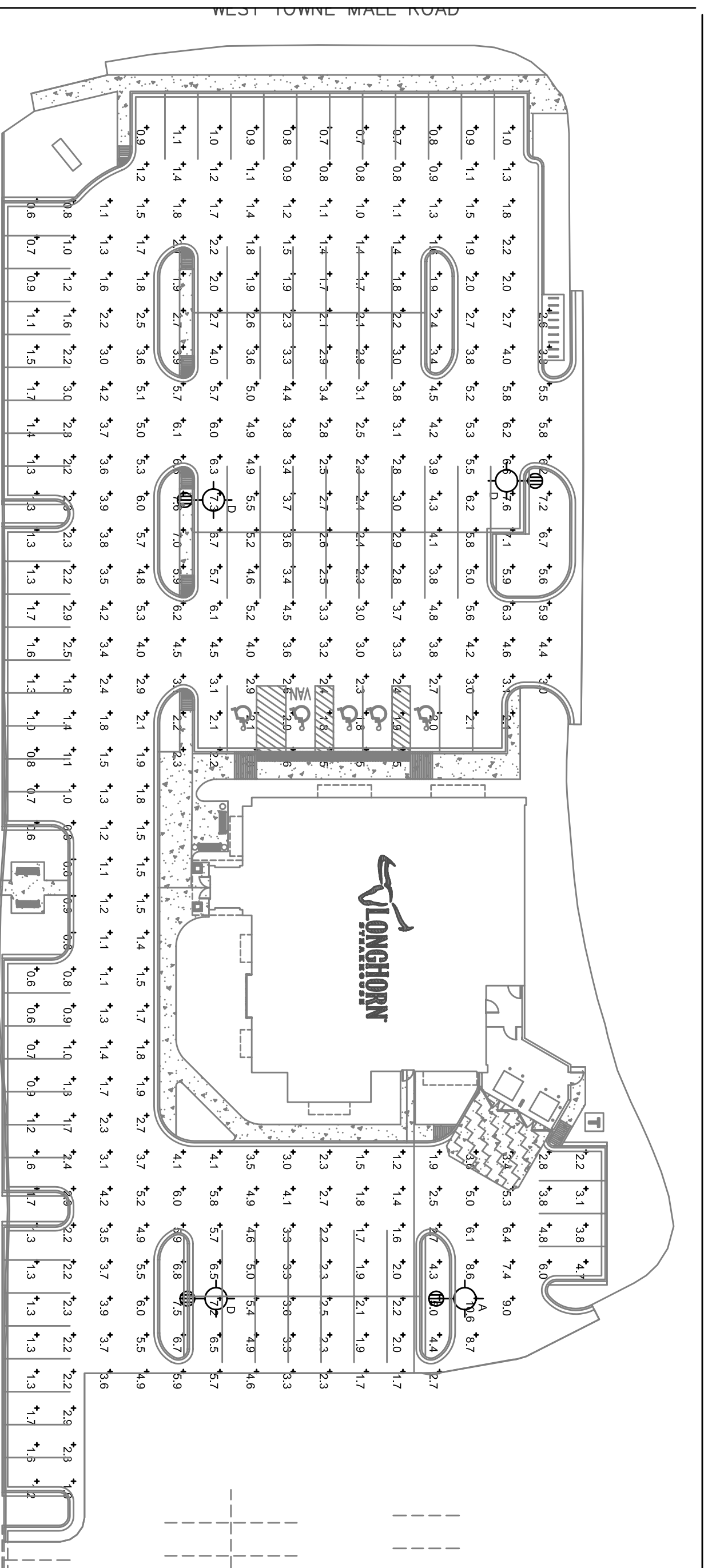
April 23, 2009  
 REVISIONS

PROJECT INFORMATION

**LONGHORN  
 MADISON, WI**  
 418 S. Gammon Road  
 Madison, WI 53719  
 PROJECT#: 9173200

SHEET INFORMATION

DRAWN BY:  
 L. Fritzsche  
 REVIEWED BY:  
 R. Hall  
 SCALE:  
 1"=30'-0"  
 AUTHORIZED FOR:  
 Owner Use



STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Gammon Rd.	+	0.4 fc	0.5 fc	0.2 fc	2.5:1	2.0:1
Parking Lot	+	3.1 fc	10.6 fc	0.6 fc	17.7:1	5.2:1

LUMINAIRE SCHEDULE

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts	Pole Ht.
	D	3	H26-1-1000MH	CLEAR FLAT GLASS LENS	CLEAR 1000MH	GS110M.IES	107800	0.72	1080	35'-0"
	A	1	H26-FM-1000MH	CLEAR FLAT GLASS LENS	CLEAR 1000MH	GSFM10M.IES	107800	0.72	1080	35'-0"