

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

AGENDA ITEM # _____

Project # _____

DATE SUBMITTED: <u>August 11, 2010</u>	Action Requested
UDC MEETING DATE: <u>August 18, 2010</u>	<input checked="" type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 9401 Mid Town Road

ALDERMANIC DISTRICT: Jed Sanborn- District #1

OWNER/DEVELOPER (Partners and/or Principals)

ARCHITECT/DESIGNER/OR AGENT:

Aspen Hill Apts, LLC/Tim McKenzie

Knothe & Bruce Architects, LLC

1902 Hawks Ridge Drive, Suite 322

7601 University Avenue, Suite 201

Verona, WI 53593

Middleton, Wisconsin 53562

CONTACT PERSON: J. Randy Bruce/Knothe & Bruce Architects, LLC

Address: 7601 University Avenue, Suite 201

Middleton, Wisconsin 53562

Phone: 608-836-3690

Fax: 608-836-6934

E-mail address: rbruce@knothebruce.com

TYPE OF PROJECT:

(See Section A For:)

- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District* (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel, or Motel Building Exceeding 50,000 Sq.Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review* (Fee required)
- Street Graphics Variance* (Fee Required)
- Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

August 11, 2010

Mr. Al Martin
Department of Planning & Development
City of Madison
215 Martin Luther King Jr. Blvd
P.O. Box 2985
Madison, WI 53701

Re: Informational Presentation to the UDC
R5 - Planned Residential District
9401 Mid Town Road
Lot 55, First Addn. to Hawks Ridge Estates
Aspen Hill Apartments Phase II

Dear Mr. Martin:

We are making an application for an informational presentation to the Urban Design Commission. This site is located on the south side of Mid Town Road on Lot 55 of the First Addition to Hawks Ridge Estates subdivision plat. The site is designated for multifamily use and is currently being rezoned to R-5 multifamily zoning.

The proposed development will be an extension of the Aspen Hill Apartments project that was recently completed. It is designed to provide an integrated medium-density housing environment with a variety of rental apartments. Access to the site from Silverstone Lane and Hawkstone Way are designed with sidewalks, terraces, street lighting and street trees. Pedestrian sidewalks loop through the site connecting Midtown Road to Silverstone Lane and Hawkstone Way.

There are a variety of building configurations, sizes and heights, which will create a rich and interesting environment. The building elements, materials and style will be a continuation of the existing Aspen Hills development.

Site Development Data:

Densities:

Lot Area	176,235 S.F. or 4.04 acres
Dwelling Units	64 units
Lot Area / D.U.	2,753 S.F./unit
Density	16 units/acre

Dwelling Unit Mix:

<u>Apartments</u>	<u>Bldg #1</u>	<u>Bldg #2</u>	<u>Bldg #3</u>	<u>Bldg #4</u>	<u>Total</u>
Efficiency	4	4	-	-	8
Studio + Loft	5	5	-	-	10
One Bedroom	6	6	-	-	12
One Bedroom + Loft	1	1	-	-	2
<u>Two Bedroom</u>	<u>12</u>	<u>12</u>	<u>4</u>	<u>4</u>	<u>32</u>
Total	28	28	4	4	64

Building Height: 2 and 3 stories (20' to 35' high)

Vehicle Parking Stalls:

Surface	61
Garage	16
<u>Underground</u>	<u>50</u>
Total	127
Ratio	1.98 stalls/unit

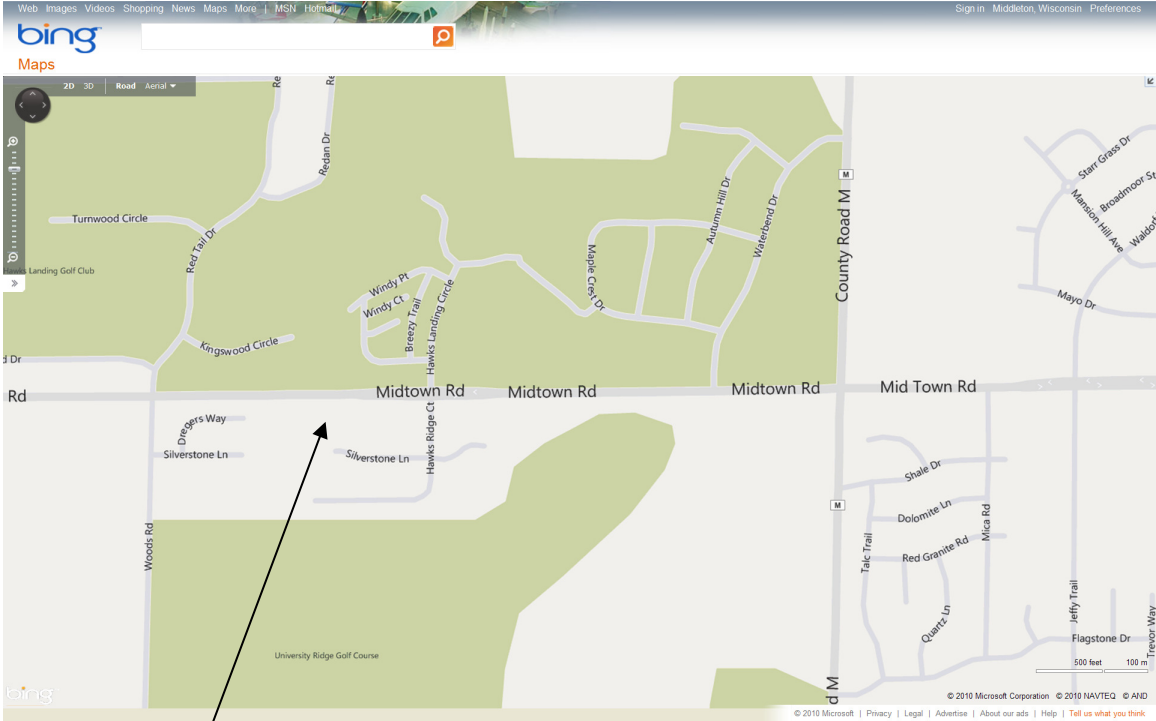
Bicycle Parking Stalls:

Surface	29
Garage	8
<u>Underground</u>	<u>20</u>
Total	57 (50 + .5(14) = 57 required)

Thank you for your time in reviewing our proposal.

Very Truly Yours,

J. Randy Bruce, AIA
Managing Member



Locator Map

9401 Mid Town Road

Lot 55 of the First Addition to Hawks Ridge Estates

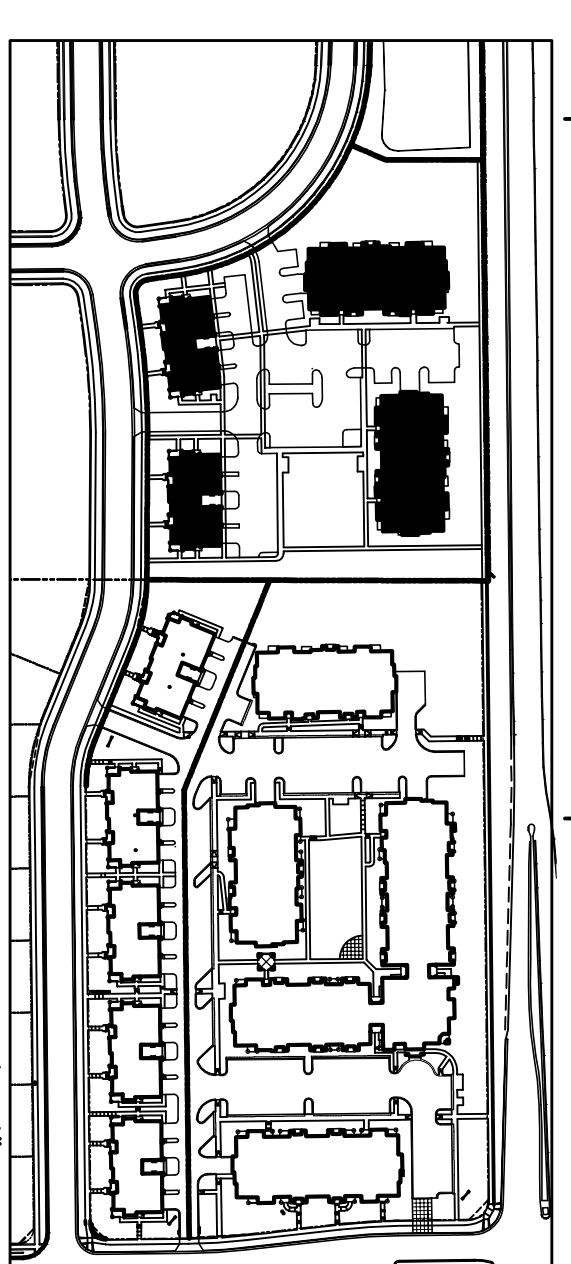
MID TOWN ROAD

KNOTHE & BRUCE
ARCHITECTS

7601 University Avenue Suite 201
Middleton, Wisconsin 53562
608-836-5690 Fax 836-6934

Consultant

Notes



HAWKSTONE WAY

BUILDING #13
28 APARTMENT UNITS
COLOR SCHEME B

25 UNDERGROUND VEHICLE PARKING STALLS
10 UNDERGROUND BIKE PARKING STALLS
3 STORY

5 BIKE STALLS

4 STALLS

5 BIKE STALLS

2 STALLS

BUILDING #11
4 UNIT APARTMENT
COLOR SCHEME A

3 BIKE STALLS

11 STALLS

14 STALLS

BUILDING #12
28 APARTMENT UNITS
COLOR SCHEME A

25 UNDERGROUND VEHICLE PARKING STALLS
10 UNDERGROUND BIKE PARKING STALLS
3 STORY

8 BIKE STALLS

19 STALLS

ASPEN HILL
- PHASE II

8 BIKE STALLS

11 STALLS

BUILDING #10
4 UNIT APARTMENT
COLOR SCHEME B

SILVERSTONE LANE

1926 HAWKS RIDGE DR.
BUILDING #2
28 APARTMENT UNITS
COLOR SCHEME B

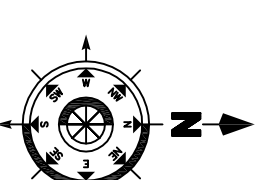
BUILDING #4
4 UNIT APARTMENT
COLOR SCHEME A

Revisions
AUGUST 11, 2010 - INFORMATIONAL UDC

Project Title
Aspen Hill Apartments
Phase II
1401 Mid Town Road
Lot 55 of the First Addition to
Hawks Ridge Estates

Drawing Title
Conceptual Site Plan
Scale: 1" = 20'

Project No. 1020
Drawing No. C-11

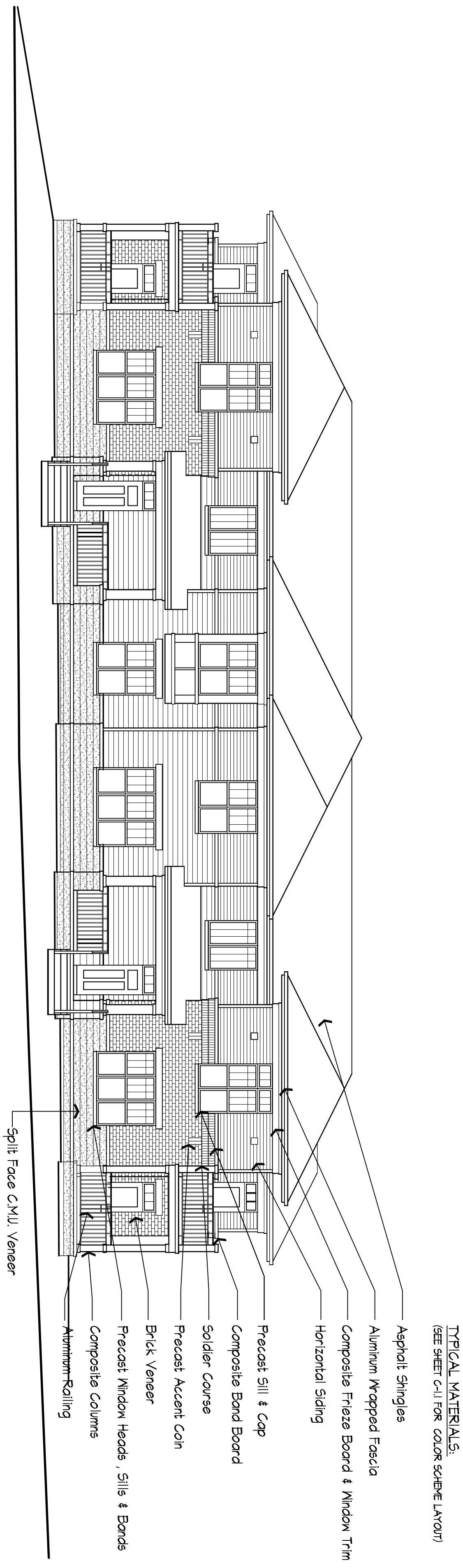


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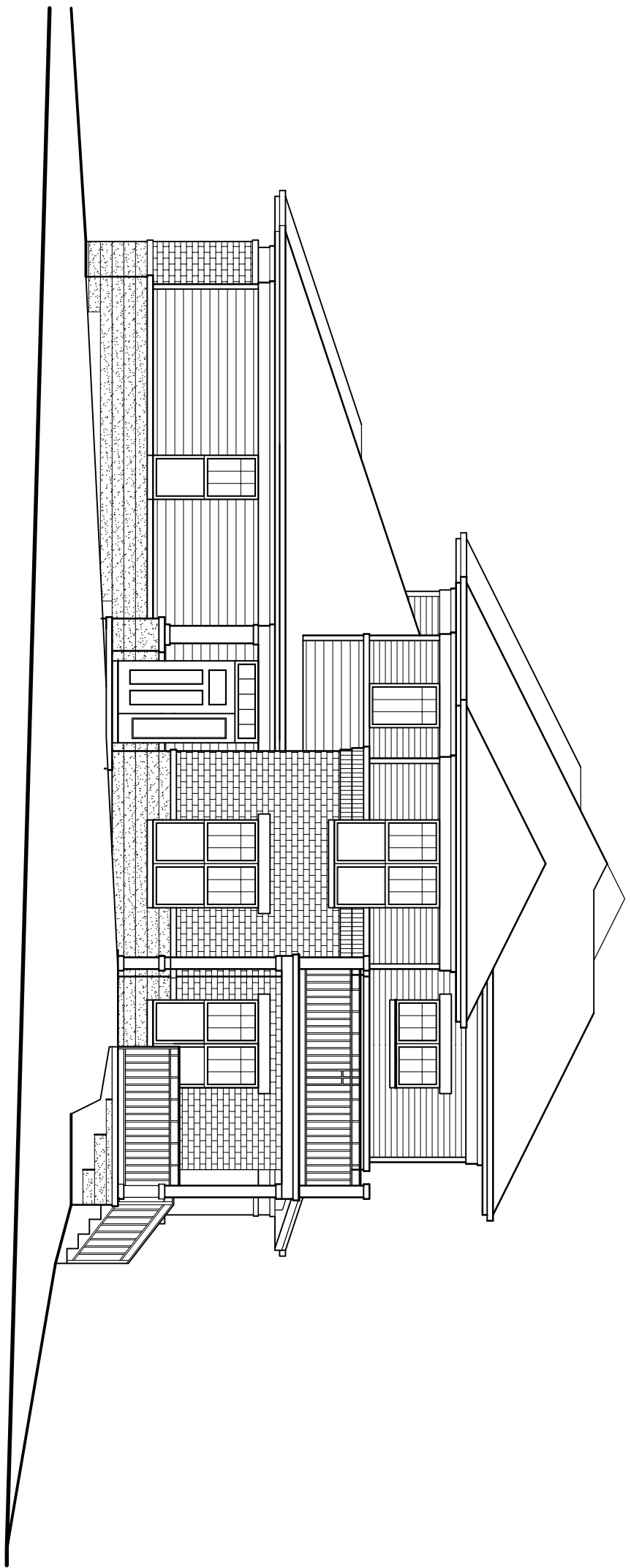
Consultant

Notes

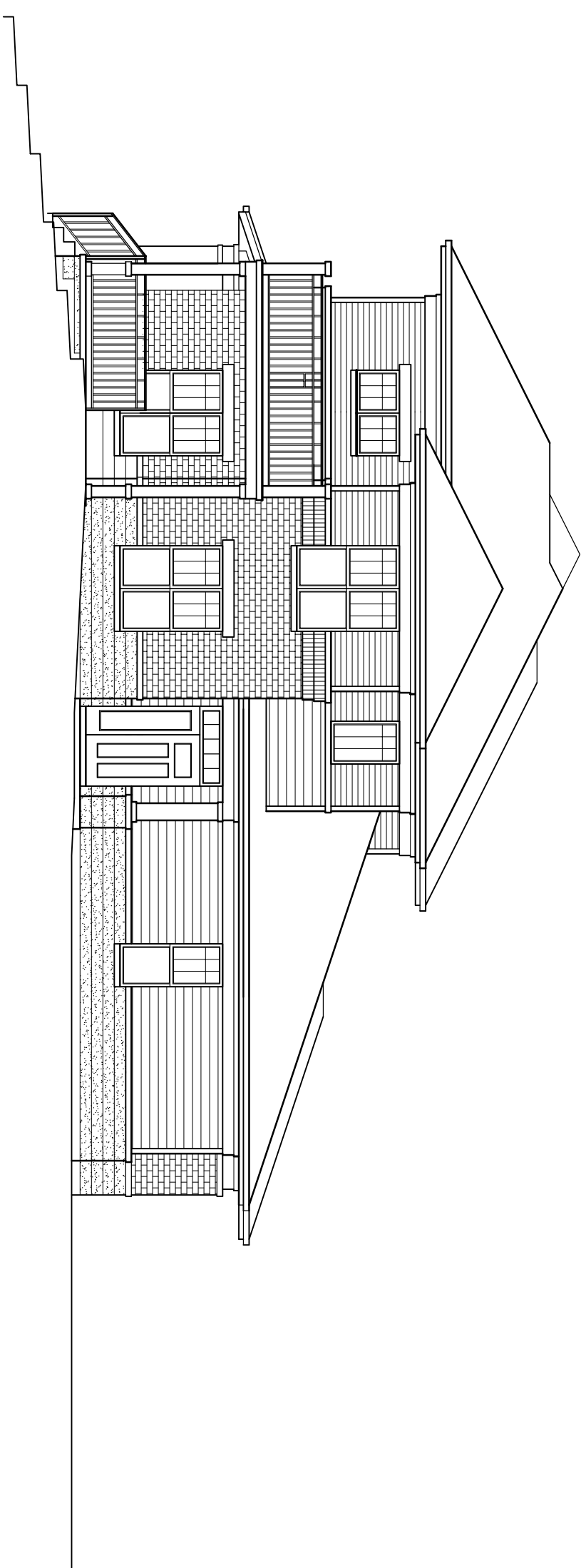
- SEE SHEET A-61 FOR EXTERIOR MATERIAL AND COLOR SELECTIONS SCHEDULE
- SEE SHEET A-61 DOOR & WINDOW SCHEDULE



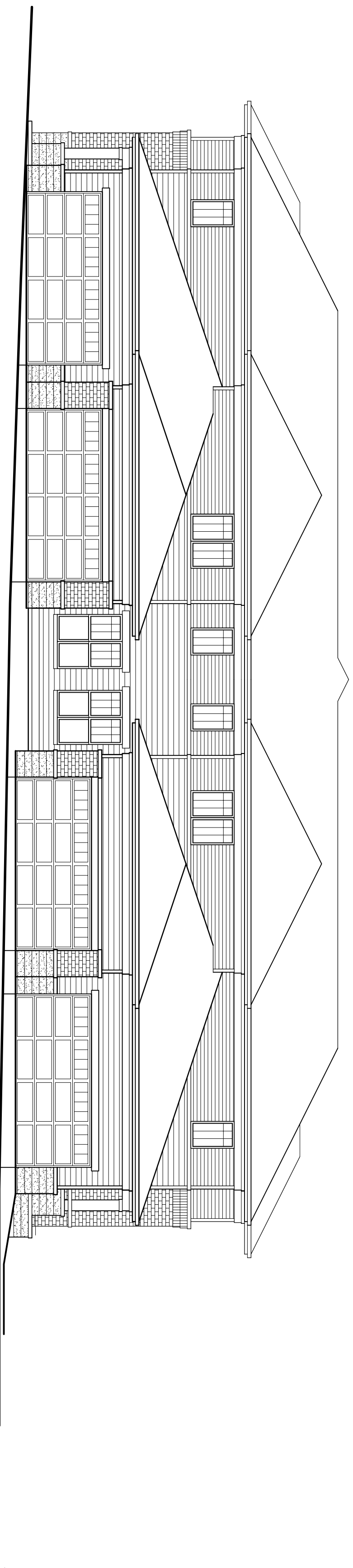
○ SOUTH ELEVATION (ALONG SILVERSTONE LANE)
1/8" = 1'-0"



○ WEST ELEVATION
1/8" = 1'-0"



○ EAST ELEVATION
1/8" = 1'-0"



○ NORTH ELEVATION
1/8" = 1'-0"

Revisions
August 11, 2010 - INFORMATIONAL UPD

Project Title
**Aspen Hill Apartments
Phase II**
9401 Mid Town Road
Lot 55 of the First Addition
to Hawks Ridge Estates

4 Unit Building
Drawing Title
Elevations

Project No. 1020 Drawing No.

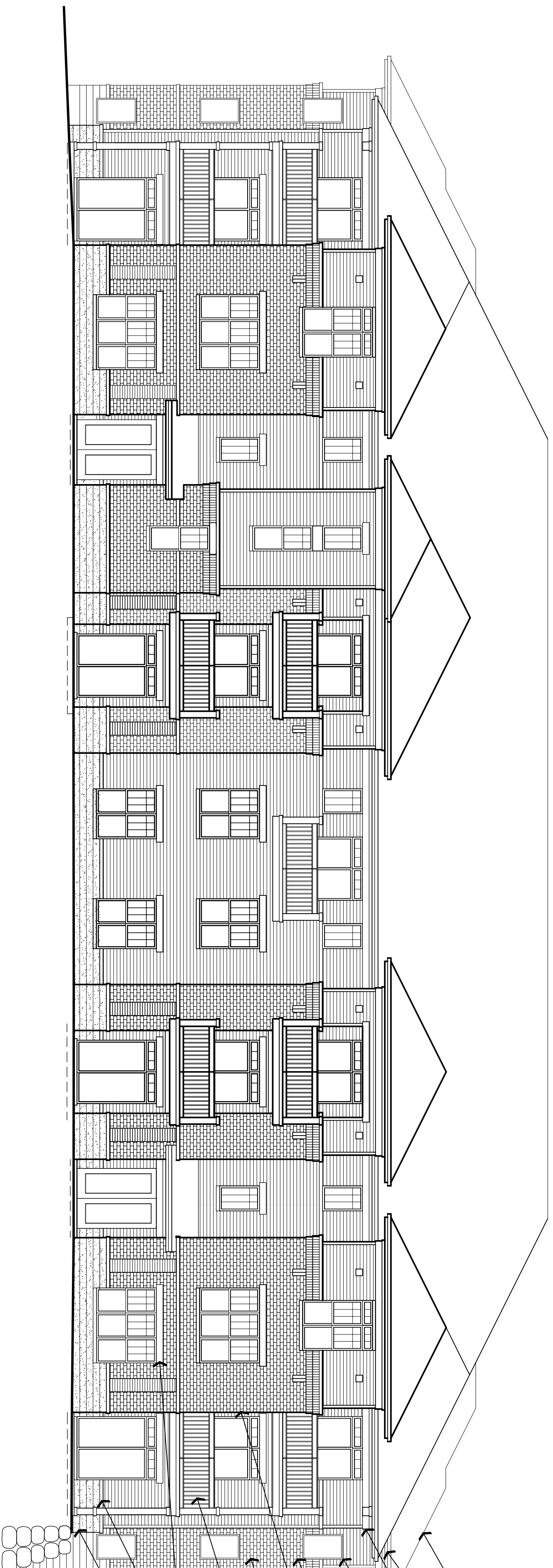
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TYPICAL MATERIALS:

- Asphalt Shingles
- Alum. Fascia & Soffit
- Horizontal Siding
- Precast Sill
- Soldier Course
- Painted Composite Window Trim
- Painted Composite Trimmed Columns
- Brick Veneer
- Aluminum Railing
- Precast Accent Band
- Precast Window Heads, Sills & Bonds
- Split Face C.M.U. Veneer

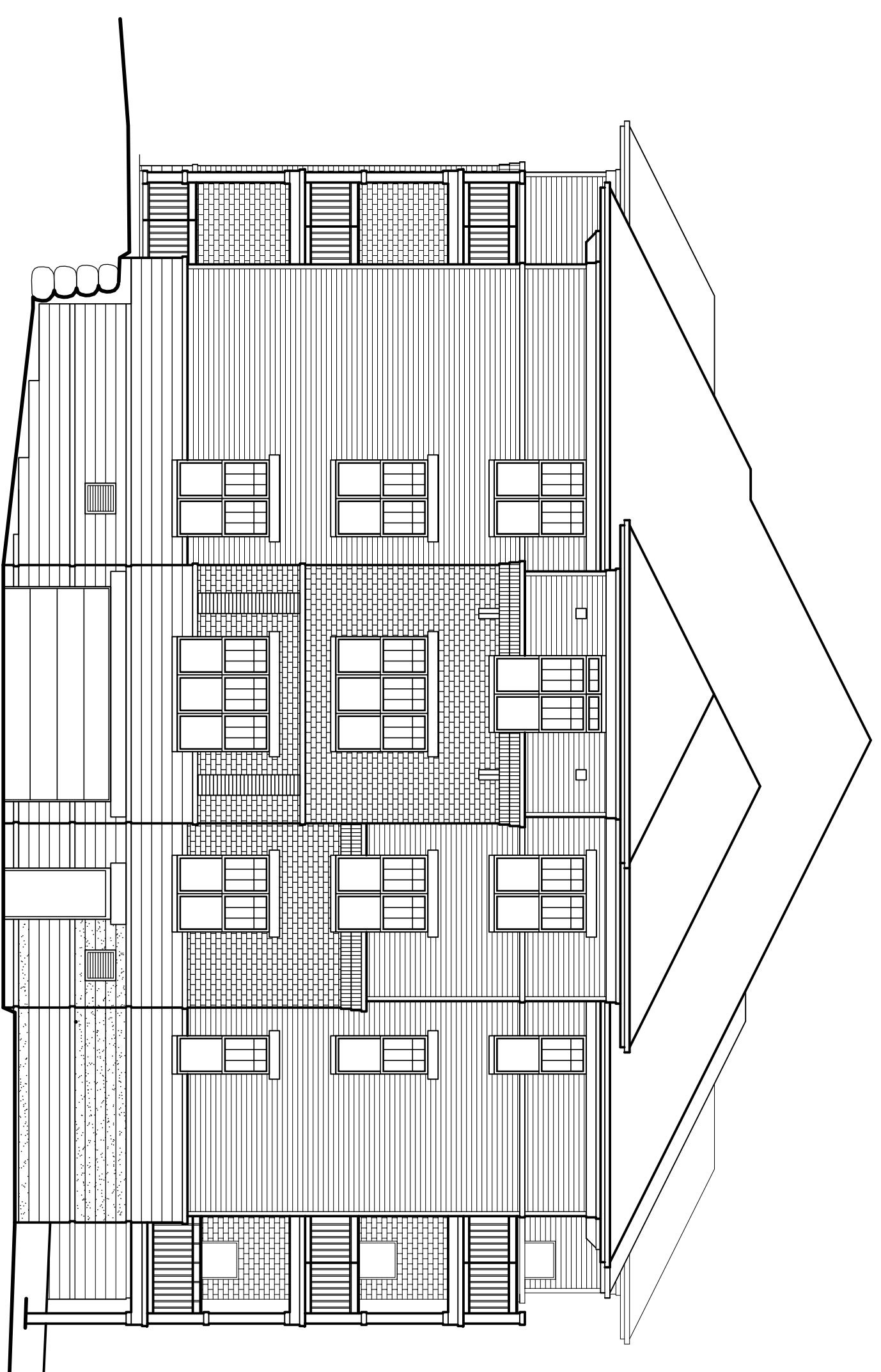
Notes



FRONT ELEVATION

1/8" = 1'-0"

Revisions
ASIST 11.2010 - INFORMATIONAL DDC



SIDE ELEVATION

1/8" = 1'-0"

Project Title
**Aspen Hill Apartments
Phase II**
4401 Mid Town Road
Lot 55 of the First Addition
to Hawks Ridge Estates

Drawing Title
Elevations

28 Unit Building

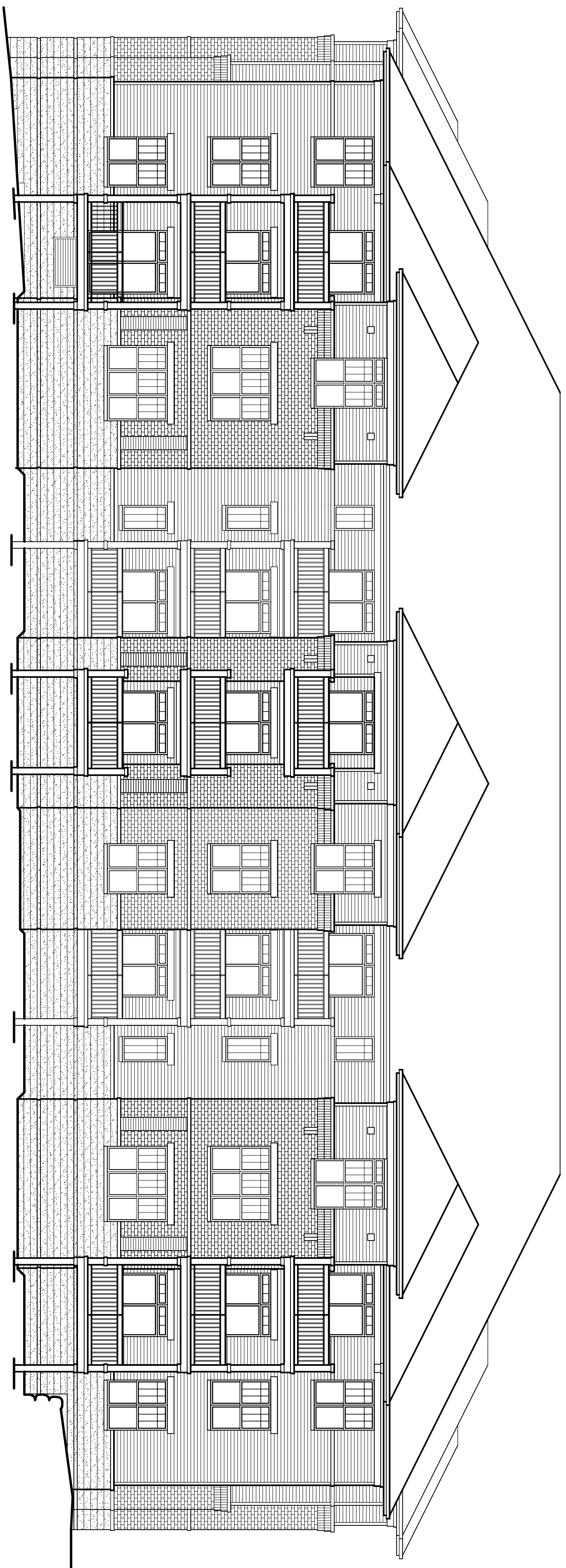
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Drawing No.

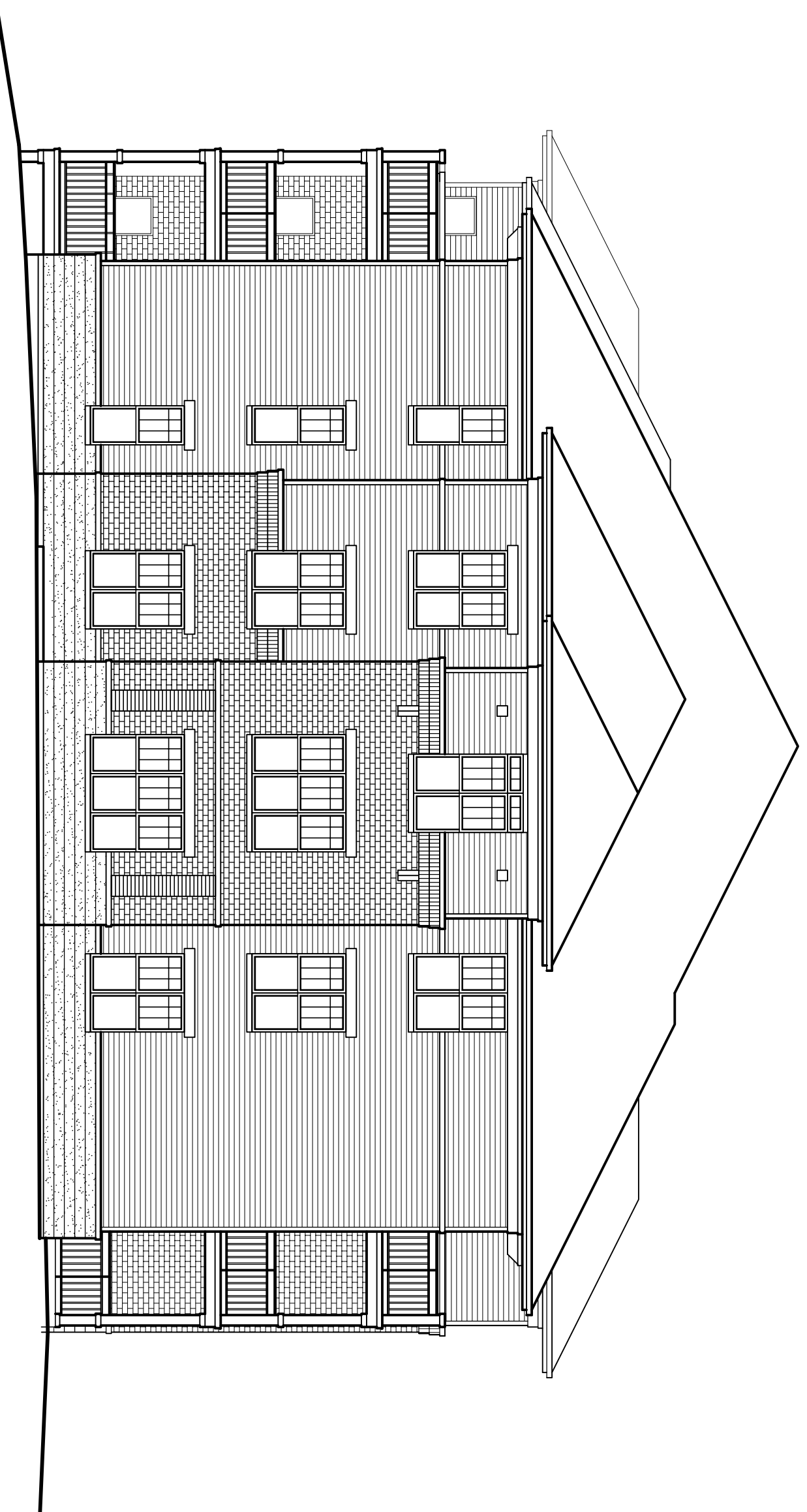
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REAR ELEVATION
1/8" = 1'-0"



SIDE ELEVATION
1/8" = 1'-0"

Project Title
**Aspen Hill Apartments
Phase II**
4401 Mid Town Road
Lot 55 of the First Addition
to Hawks Ridge Estates

Drawing Title
Elevations

28 Unit Building

Project No.

2010

Drawing No.

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