

CITY OF MADISON UDC SUBMITTAL

UW CAMPUS HOTEL

780 Regent Street
 Madison, WI 53715

KAHLER SLATER PROJECT: 218051
 04/12/2019

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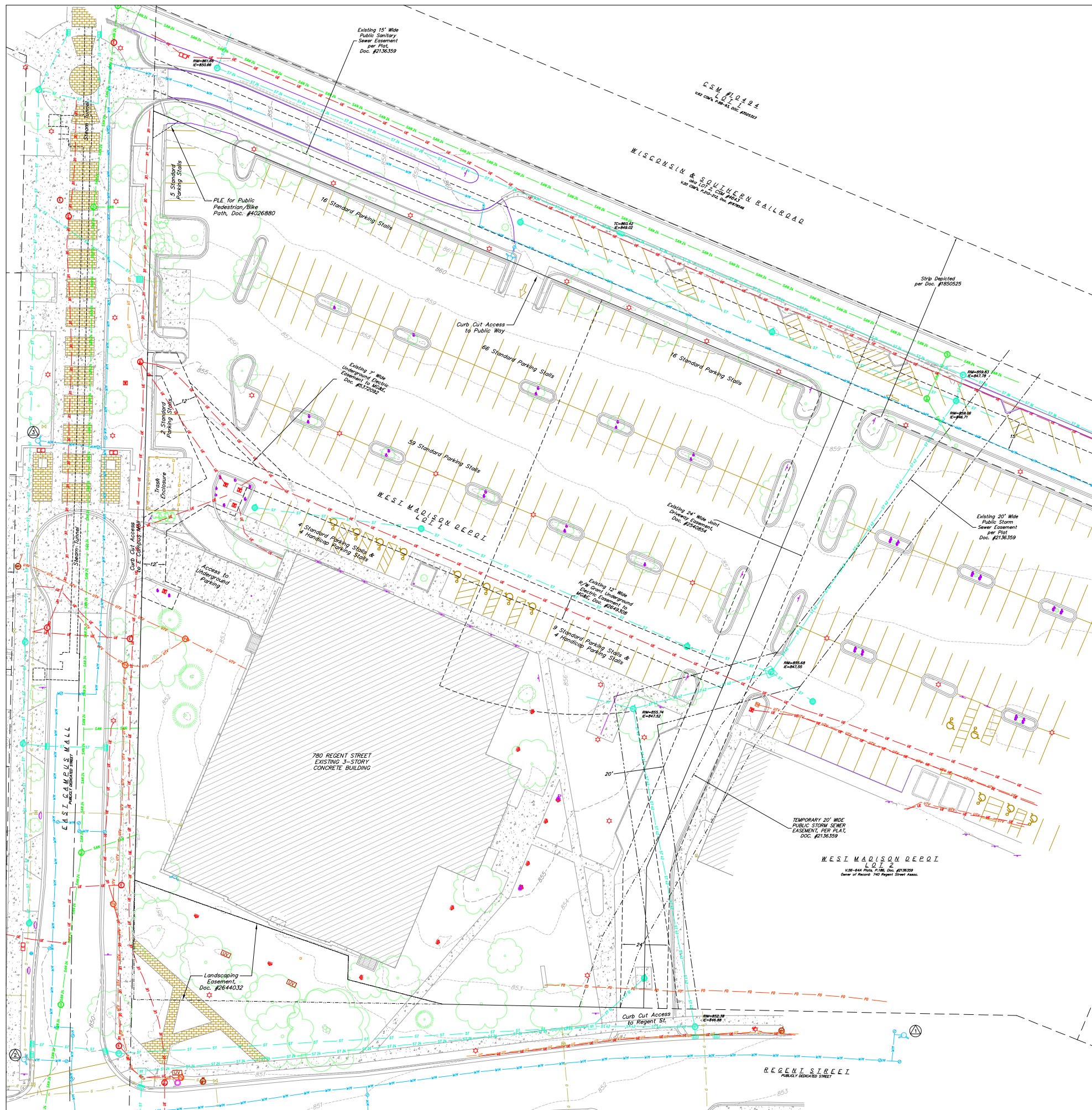
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Revisions

CITY OF MADISON UDC
 SUBMITTAL
 SCOPE DOCUMENTS
 Drawing Date
 APRIL 12, 2019
 UW CAMPUS HOTEL

780 Regent Street
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 218051
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 COVER SHEET

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 G000



TOPOGRAPHIC LINEWORK LEGEND

- UT — UT — EXISTING UNDERGROUND CABLE TV
- UT — UT — EXISTING UNDERGROUND TELEPHONE
- G — G — EXISTING GENERAL FENCE
- W — W — EXISTING WOOD FENCE
- G — G — EXISTING GAS LINE
- E — E — EXISTING UNDERGROUND ELECTRIC LINE
- S — S — EXISTING SANITARY SEWER LINE (SIZE NOTED)
- ST — ST — EXISTING STORM SEWER LINE (SIZE NOTED)
- WM — WM — EXISTING WATER MAIN (SIZE NOTED)
- 820 — 820 — EXISTING MAJOR CONTOUR
- 818 — 818 — EXISTING MINOR CONTOUR

TOPOGRAPHIC SYMBOL LEGEND

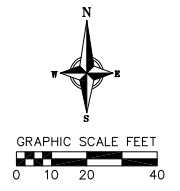
- EXISTING BOLLARD
- EXISTING FLAG POLE
- EXISTING SIGN
- EXISTING PARKING METER
- EXISTING CURB INLET
- EXISTING FIELD INLET RECTANGULAR
- EXISTING FIELD INLET
- EXISTING STORM MANHOLE
- EXISTING STORM MANHOLE RECTANGULAR
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING FIRE DEPARTMENT CONNECTION
- EXISTING WATER MAIN VALVE
- EXISTING GAS VALVE
- EXISTING GAS METER
- EXISTING ELECTRIC MANHOLE
- EXISTING ELECTRIC RECTANGULAR MANHOLE
- EXISTING TRANSFORMER
- EXISTING LIGHT POLE
- EXISTING GENERIC LIGHT
- EXISTING TV MANHOLE
- EXISTING TV PEDESTAL
- EXISTING TELEPHONE MANHOLE
- EXISTING UNIDENTIFIED MANHOLE
- EXISTING UNIDENTIFIED UTILITY VAULT
- EXISTING HANDICAP PARKING
- EXISTING TRAFFIC SIGNAL
- EXISTING SHRUB
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE

HATCHING LEGEND

- ▨ EXISTING CONCRETE
- ▨ EXISTING BRICK PAVERS

NOTES:

- THIS SURVEY IS BASED UPON FIELD SURVEY WORK PERFORMED ON AUGUST 16 THROUGH AUGUST 23, 2018. ANY CHANGES IN SITE CONDITIONS AFTER AUGUST 23, 2018 ARE NOT REFLECTED BY THIS SURVEY. ADDITIONAL FIELD SURVEY WORK WAS PERFORMED ON FEBRUARY 22, 2019.
- EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN OF RECORD DRAWINGS. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING SANITARY SEWER, STORM SEWER AND WATER MAIN PRIOR TO CONSTRUCTION TO ENSURE PROPER CLEARANCE OF THE NEW UTILITIES. CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES DURING CONSTRUCTION. ANY DAMAGE TO THE EXISTING UTILITIES AND ANY REPAIRS NEEDED AS A RESULT OF THE DAMAGE SHALL BE AT THE EXPENSE OF THE CONTRACTOR REGARDLESS OF THE LOCATION MARKED IN THE FIELD OR SHOWN ON THE PLANS.
- THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE AND LOCATING ALL EXISTING UTILITIES AND ENSURE PROPER CLEARANCE OF NEW UTILITIES.



SITE BENCHMARKS

- ▲ ARROW BOLT ON FIRE HYDRANT LOCATED ON NORTH SIDE OF REGENT STREET, APPROXIMATELY 430' EAST OF THE INTERSECTION WITH EAST CAMPUS MALL. ELEV = 855.83
- ▲ ARROW BOLT ON FIRE HYDRANT LOCATED IN THE NORTHWEST QUADRANT OF REGENT STREET AND EAST CAMPUS MALL. ELEV = 852.45
- ▲ TAG BOLT ON FIRE HYDRANT LOCATED ON THE WEST SIDE OF EAST CAMPUS MALL APPROXIMATELY 65' NORTH OF THE CUL-DE-SAC. ELEV = 854.77

DIGGERS HOTLINE
 Dial 811 or (800) 242-8511
 www.DiggersHotline.com

THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE
 1-800-242-8511

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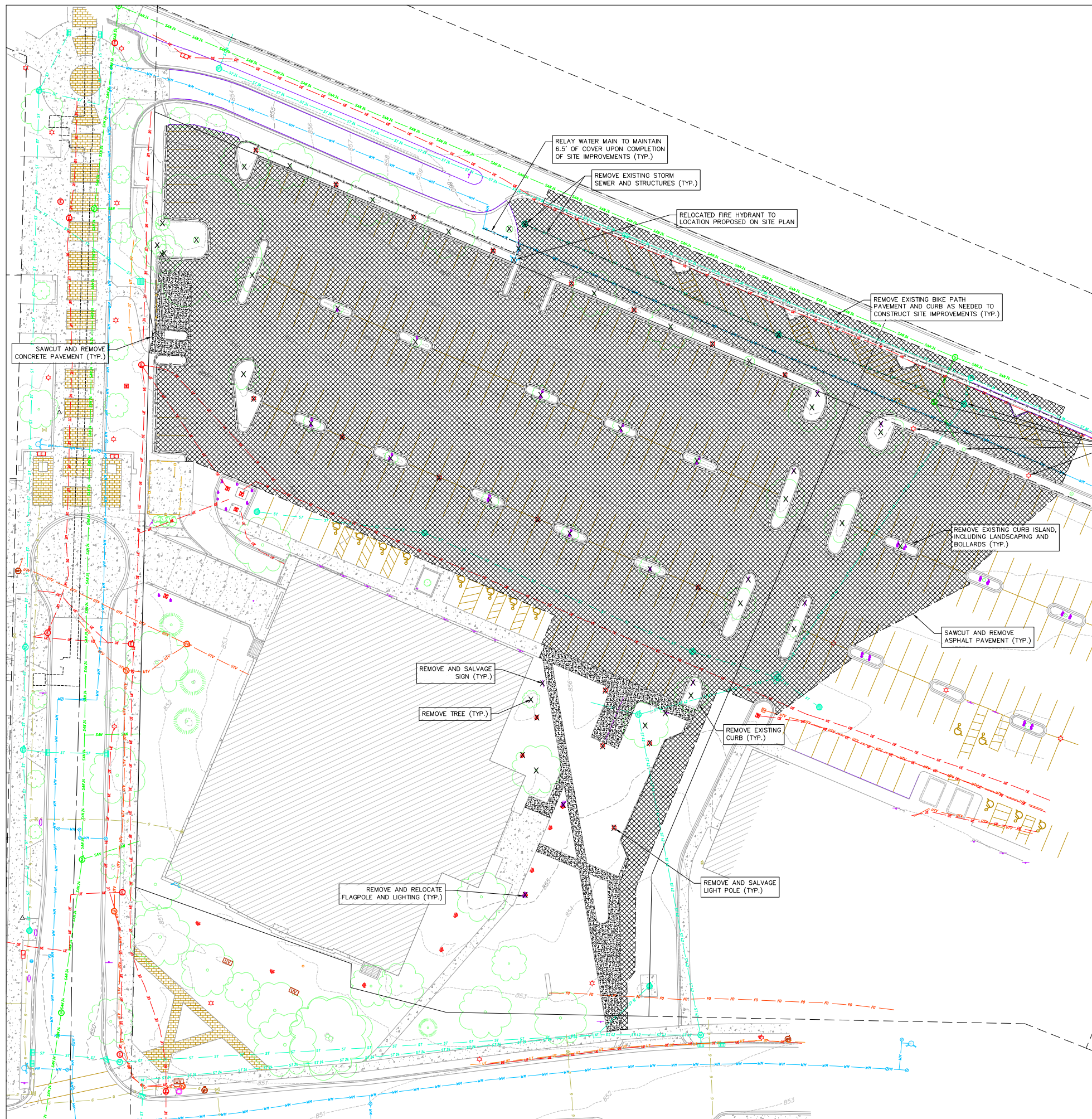
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EXISTING CONDITIONS PLAN

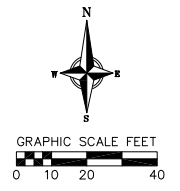
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DEMOLITION PLAN LEGEND

	CURB AND GUTTER REMOVAL
	ASPHALT REMOVAL
	CONCRETE REMOVAL
	BUILDING REMOVAL
	TREE REMOVAL
	SAWCUT
	UTILITY STRUCTURE REMOVAL
	UTILITY LINE REMOVAL



- DEMOLITION/EROSION CONTROL NOTES:**
1. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
 2. COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
 3. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
 4. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
 5. COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO 12" BELOW PROPOSED SUBGRADE.
 6. IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
 7. ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE ABANDONMENT OF ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
 8. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
 9. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
 10. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.

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**DEMOLITION
PLAN**

SITE PLAN LEGEND

- PROPERTY BOUNDARY
- CURB AND GUTTER (REVERSE CURB HATCHED)
- PROPOSED CHAIN LINK FENCE
- PROPOSED WOOD FENCE
- PROPOSED CONCRETE
- PROPOSED LIGHT-DUTY ASPHALT
- DECORATIVE PAVEMENT
- PROPOSED SIGN
- PROPOSED LIGHT POLE
- PROPOSED BOLLARD
- PROPOSED ADA DETECTABLE WARNING FIELD
- PROPOSED HANDICAP PARKING

Parking Lot Plan Site Information Block

Site Address: 760 REGENT ST
 Site acreage (total): 51,737 SF (1.19 ACRES)

Number of building stories (above grade): 6
 Building height: 72'-5"
 DLIR type of construction (new structures): IIB
 Total square footage of building: 180,816 SF TOTAL
 (75,706 SF PARKING; 22,090 HOTEL COMMON/BOH; 83,020 GUEST ROOMS)

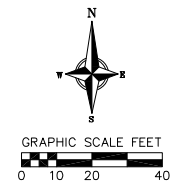
Use of property:
 Gross square feet of building: 180,816 SF
 Gross square feet of retail area: N/A
 Number of employees in warehouse: N/A
 Number of employees: 60 TOTAL; 45 FULL-TIME; 15 PART-TIME
 Capacity of restaurant/place of assembly: 199 TOTAL
 Number of bicycle stalls shown: 18 INTERIOR

Number of parking stalls:

Large Car	175
Accessible	4
Total	239

Number of trees shown: See Landscape Plan

- GENERAL NOTES:**
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER, WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
 - THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.
 - RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
 - DIMENSIONS RELATING TO CURB ARE TO FACE OF CURB.
 - CROSS-SLOPE OF SIDEWALKS SHALL BE 2% UNLESS OTHERWISE NOTED.
 - LONGITUDINAL GRADE OF SIDEWALK RAMP SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
 - LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
 - ACCESSIBLE ROUTES SHALL BE 5% MAX LONGITUDINAL SLOPE AND 2% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.
 - ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
 - PROVIDE ALL NECESSARY TEMPORARY TRAFFIC CONTROL PER MUTCD AND CITY OF MADISON REQUIREMENTS.

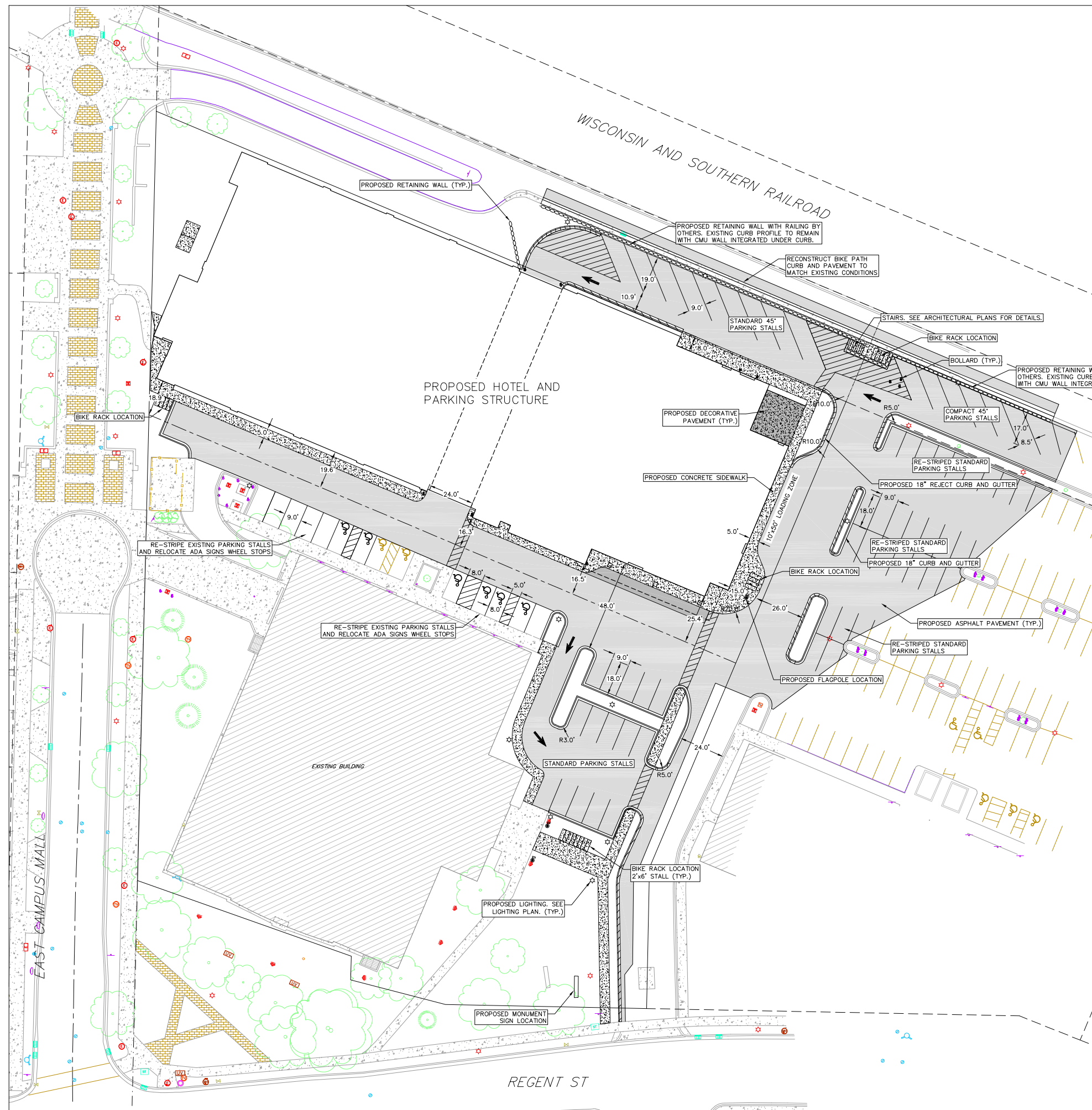


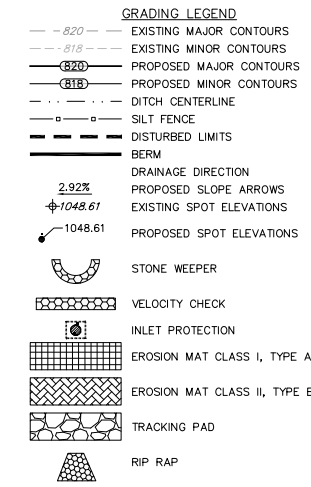
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 SITE PLAN

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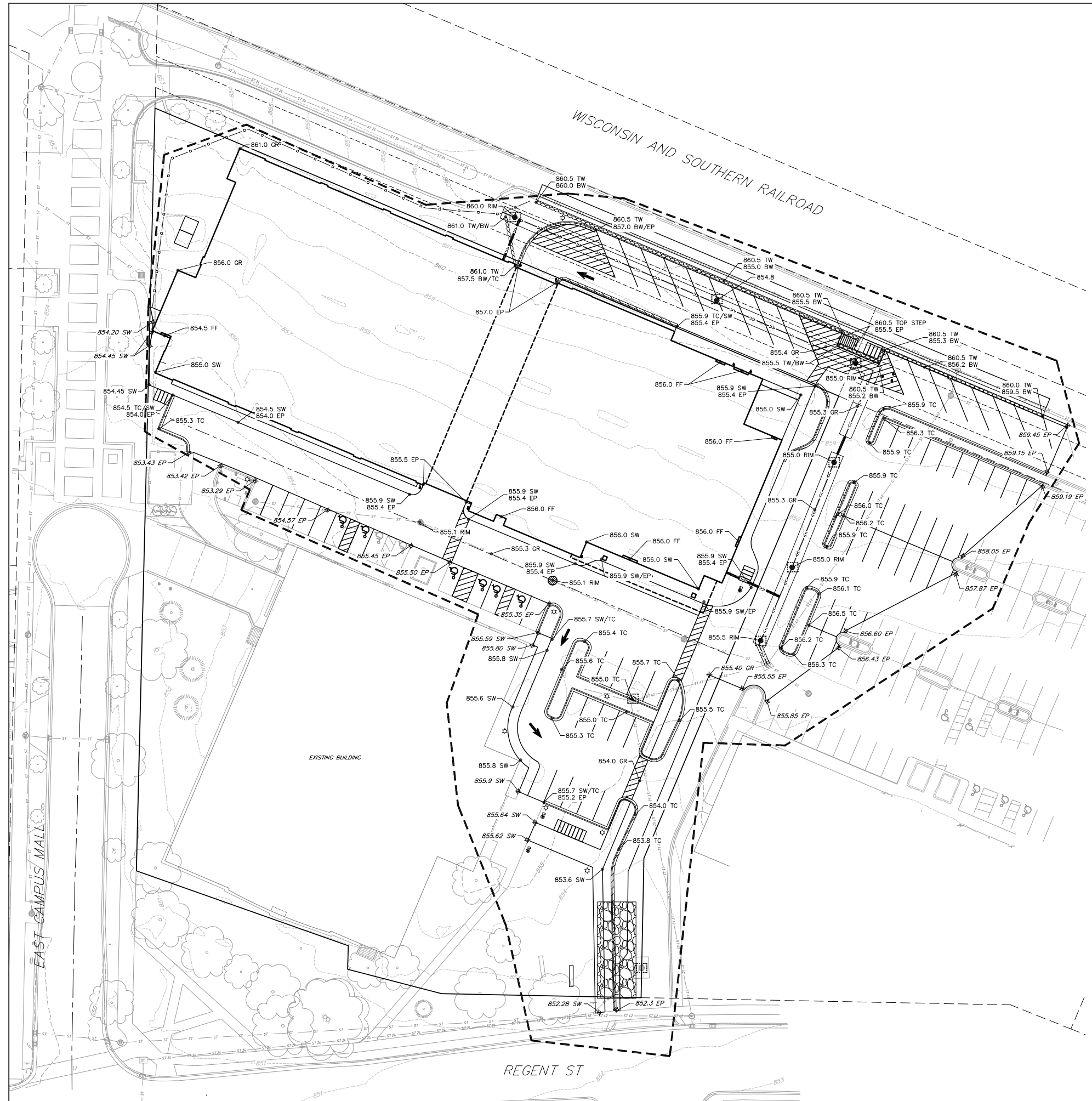
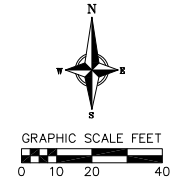


ABBREVIATIONS

TC	TOP OF CURB
FF	FINISHED FLOOR
FL	FLOW LINE
SW	TOP OF WALK
TW	TOP OF WALL
BW	BOTTOM OF WALL
EP	EDGE OF PAVEMENT
GR	GRADE

GRADING NOTES:

1. ALL GRADES SHOWN ARE FINISHED GRADES. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
2. SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.
3. INSTALL A 50'L X 20'W X 1.5'D TRACKING PAD AT THE SITE ENTRANCE. THE TRACKING PAD SHALL BE MAINTAINED/REPAIRED AS NECESSARY TO ACCOMMODATE CONSTRUCTION.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR. ALL MAINTENANCE/REPAIR WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. INSTALL W DOT TYPE D INLET PROTECTION IN EXISTING CURB INLETS AND W DOT TYPE A IN FIELD INLETS.
6. THE CONTRACTOR SHALL REMOVE ANY SEDIMENT TRACKED ONTO ADJACENT ROADS BY MEANS OF STREET SWEEPING (NOT FLUSHING) AT A MINIMUM OF THE END OF EACH WORK DAY OR MORE AS NEEDED.



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**GRADING & EROSION
 CONTROL PLAN**

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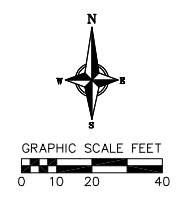
PROPOSED UTILITY LEGEND

	STORM SEWER PIPE
	STORM SEWER MANHOLE
	STORM SEWER ENDWALL
	STORM SEWER CURB INLET
	STORM SEWER CURB INLET W/MANHOLE
	STORM SEWER FIELD INLET
	ROOF DRAIN CLEANOUT
	SANITARY SEWER PIPE (GRAVITY)
	SANITARY SEWER PIPE (FORCE MAIN)
	SANITARY SEWER LATERAL PIPE
	SANITARY SEWER MANHOLE
	SANITARY SEWER CLEANOUT
	WATER MAIN
	WATER SERVICE LATERAL PIPE
	FIRE HYDRANT
	WATER VALVE
	CURB STOP
	WATER VALVE MANHOLE
	PROPOSED PIPE INSULATION
	GAS MAIN
	ELECTRIC SERVICE

ABBREVIATIONS

STMH	- STORM MANHOLE
FI	- FIELD INLET
CI	- CURB INLET
CB	- CATCH BASIN
EW	- ENDWALL
SMH	- SANITARY MANHOLE

- UTILITY NOTES:**
- CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
 - SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
 - CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
 - CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF-WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
 - FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
 - IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED FROM THE DNR PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
 - A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
 - STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
 - PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
 - PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
 - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(6)(k).
 - EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b).
 - NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
 - SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
 - CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
 - PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
 - ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
 - CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
 - FOR WATER SERVICES AND HYDRANT LEADS, ALL MECHANICAL JOINTS TO BE RESTRAINED WITH MEGALUG 1100 OR APPROVED EQUAL. PIPE JOINTS TO BE RESTRAINED AS INDICATED WITH MEGALUG 1700 EXHIBIT OR APPROVED EQUAL.
 - CONNECTIONS TO EXISTING WATER MAIN TO BE BY LIVE TAPPING. CONTRACTOR IS RESPONSIBLE FOR ALL CONNECTION FEES AND COSTS PAYABLE TO THE CITY OF MADISON FOR LIVE TAPPING, AND ALL OTHER WORK AND COSTS ASSOCIATED WITH LIVE TAPPING.



Revisions

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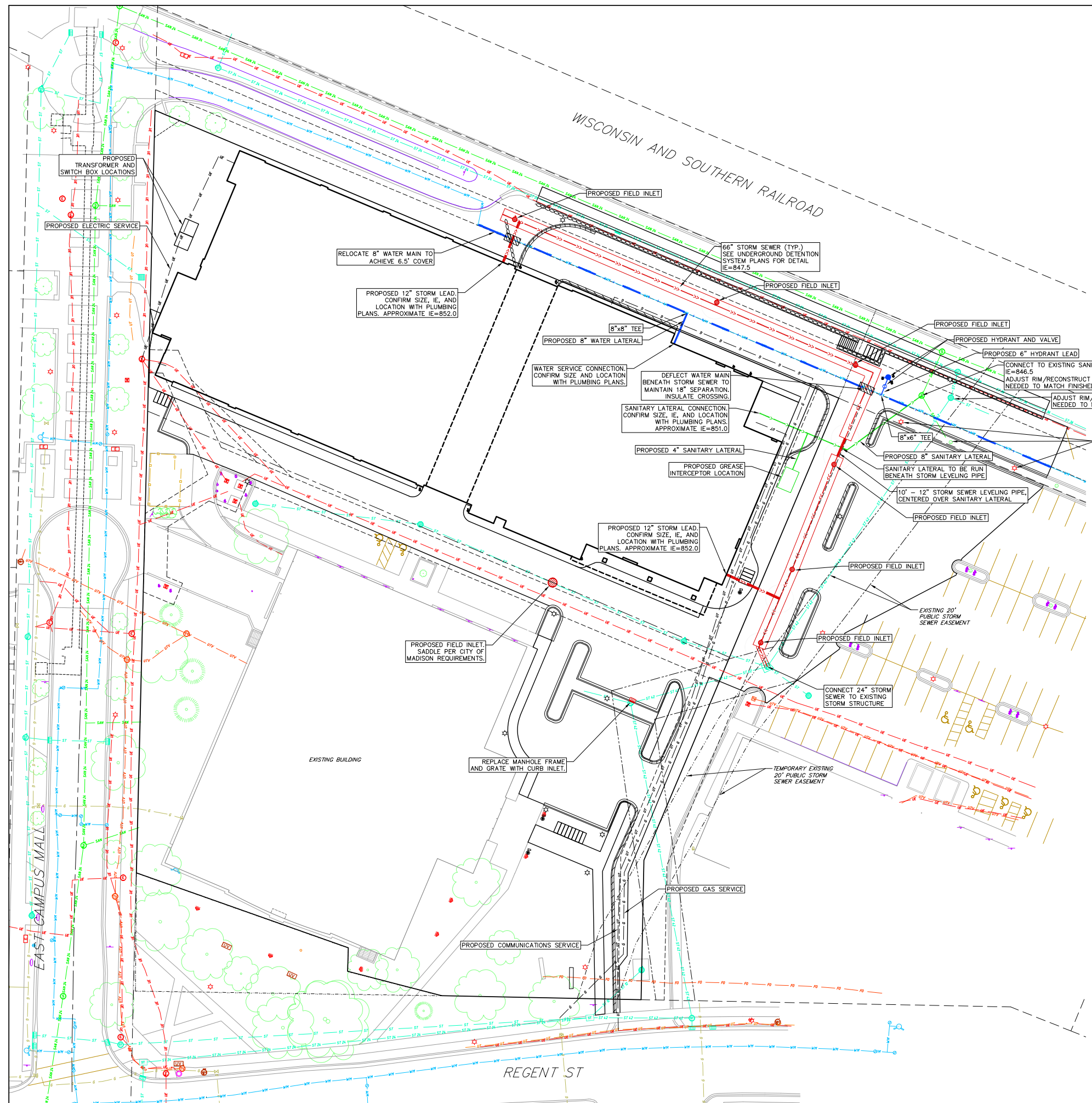
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 UTILITY PLAN

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RELOCATE 8" WATER MAIN TO ACHIEVE 6.5' COVER

PROPOSED 12" STORM LEAD. CONFIRM SIZE, IE, AND LOCATION WITH PLUMBING PLANS. APPROXIMATE IE=852.0

66" STORM SEWER (TYP.) SEE UNDERGROUND DETENTION SYSTEM PLANS FOR DETAIL IE=847.5

PROPOSED 8" WATER LATERAL

8"x8" TEE

WATER SERVICE CONNECTION. CONFIRM SIZE AND LOCATION WITH PLUMBING PLANS

DEFLECT WATER MAIN BENEATH STORM SEWER TO MAINTAIN 18" SEPARATION. INSULATE CROSSING.

SANITARY LATERAL CONNECTION. CONFIRM SIZE, IE, AND LOCATION WITH PLUMBING PLANS. APPROXIMATE IE=851.0

PROPOSED 4" SANITARY LATERAL

PROPOSED GREASE INTERCEPTOR LOCATION

PROPOSED 12" STORM LEAD. CONFIRM SIZE, IE, AND LOCATION WITH PLUMBING PLANS. APPROXIMATE IE=852.0

PROPOSED 8" SANITARY LATERAL

CONNECT TO EXISTING SANITARY MANHOLE. IE=846.5. ADJUST RIM/RECONSTRUCT STRUCTURE AS NEEDED TO MATCH FINISHED GRADE.

ADJUST RIM/RECONSTRUCT STRUCTURE AS NEEDED TO MATCH FINISHED GRADE.

RELOCATE LIGHTING/LANDSCAPING AS NEEDED TO MATCH FINISHED GRADES

PROPOSED 6" HYDRANT LEAD

CONNECT TO EXISTING SANITARY MANHOLE. IE=846.5. ADJUST RIM/RECONSTRUCT STRUCTURE AS NEEDED TO MATCH FINISHED GRADE.

PROPOSED 8" x 6" TEE

10' - 12" STORM SEWER LEVELING PIPE, CENTERED OVER SANITARY LATERAL

PROPOSED FIELD INLET

EXISTING 20' PUBLIC STORM SEWER EASEMENT

PROPOSED FIELD INLET

CONNECT 24" STORM SEWER TO EXISTING STORM STRUCTURE

PROPOSED FIELD INLET

PROPOSED FIELD INLET SADDLE PER CITY OF MADISON REQUIREMENTS.

REPLACE MANHOLE FRAME AND GRATE WITH CURB INLET.

TEMPORARY EXISTING 20' PUBLIC STORM SEWER EASEMENT

PROPOSED GAS SERVICE

PROPOSED COMMUNICATIONS SERVICE

EROSION CONTROL MEASURES

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
7. CHANNELIZED RUNOFF: FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
8. STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
9. SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
10. WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT PER PLAN BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
11. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
12. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN OR THE DETENTION BASIN DETAIL SHEET.
13. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
14. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
15. EROSION MAT (CLASS I, TYPE A URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
16. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER THIS SHEET. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
17. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
18. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
19. ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM ALL PERMANENT BASINS TO THE ELEVATION SHOWN ON THE GRADING PLAN FOLLOWING THE STABILIZATION OF DRAINAGE AREAS.
20. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
21. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY DANE COUNTY LAND CONSERVATION OR PERMITTING MUNICIPALITY.
22. THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE AND TRACKING PAD
2. STRIP TOPSOIL-DETENTION BASINS
3. ROUGH GRADE DETENTION BASINS
4. SEED DETENTION BASINS
5. STRIP TOPSOIL-STREETS & LOTS
6. ROUGH GRADE STREETS & LOTS
7. SEED LOT AREAS AND INSTALL DRIVE-OVER VELOCITY CHECKS
8. CONSTRUCT UNDERGROUND UTILITIES
9. INSTALL INLET PROTECTION
10. CONSTRUCT ROADS (STONE BASE, CURB & GUTTER, AND SIDEWALK). REMOVE DRIVE-OVER VELOCITY CHECKS WHEN BASE COURSE IS PLACED
11. RESTORE TERRACES
12. REMOVE TRACKING PAD, SILT FENCE AND DIVERSION BERM MEASURES AFTER DISTURBED AREAS ARE RESTORED

SEEDING RATES:

- TEMPORARY:**
1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
 2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

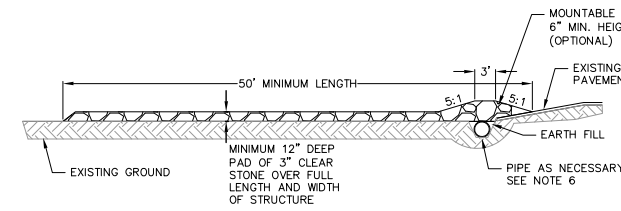
- PERMANENT:**
1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

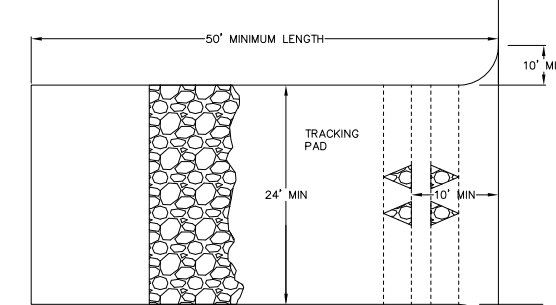
- TEMPORARY AND PERMANENT:**
- USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

- TEMPORARY AND PERMANENT:**
- USE 2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION



PROFILE VIEW

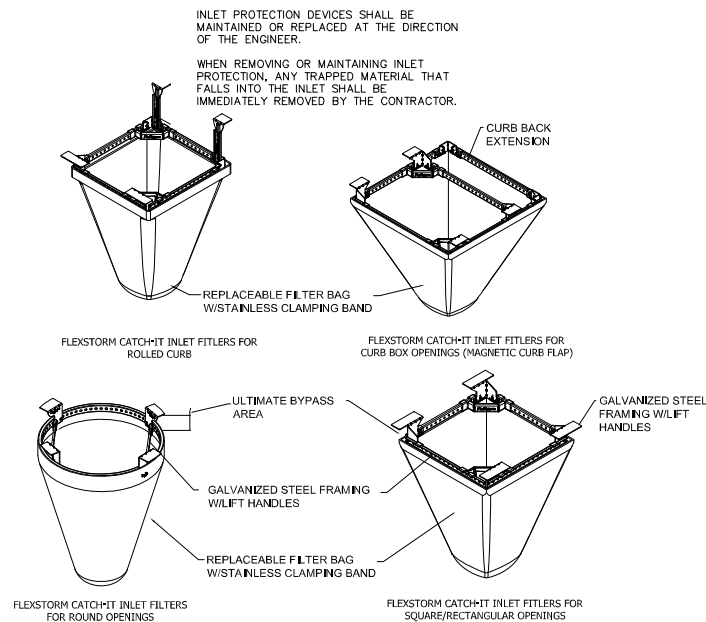


PLAN VIEW

1. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
2. LENGTH - MINIMUM OF 50'
3. WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
4. ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
5. STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
7. LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

1 TRACKING PAD

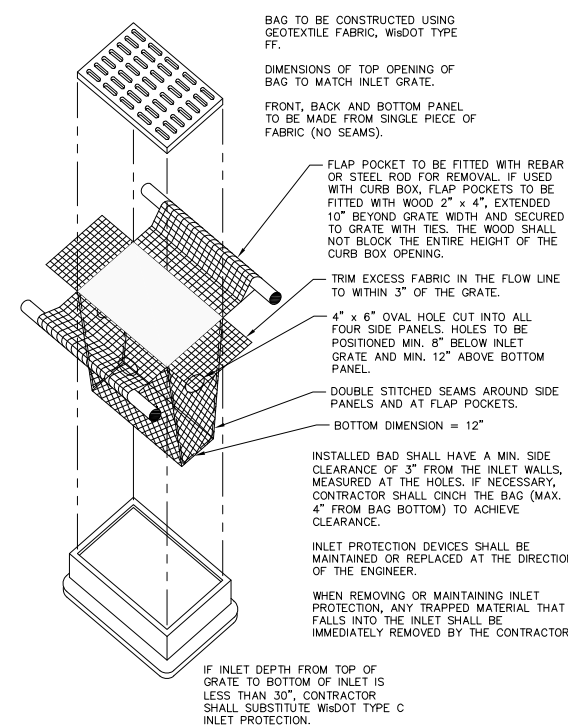
1 NOT TO SCALE



NEENAH CASTING	INLET TYPE	GRATE SIZE	OPENING SIZE	ADS PIN
10401642/1733	ROUND	26	24	62MRDFX
3067 W/FLAP	CURB BOX	35.25 X 17.75	33.0 X 15.0	62LCBEXTFX
3067 EXTENDED BACK	CURB BOX	35.25 X 17.75	33.0 X 15.0	62LCBEXTFX
3246A	CURB BOX	35.75 X 23.875	33.5 X 21.0	62LCBFX
3030	SQUARE/RECT	23 X 16	20.5 X 13.5	62MCFBX
3067-C	SQUARE/RECT	35.25 X 17.75	33 X 15	62LSQFX

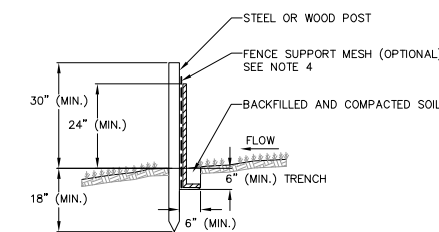
1 FLEXSTORM INLET PROTECTION

11 NOT TO SCALE



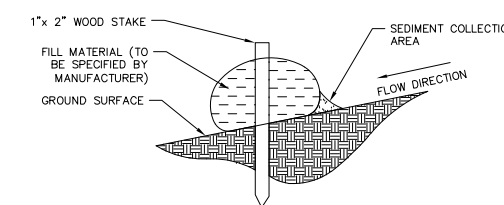
1 INLET PROTECTION TYPE D

1 NOT TO SCALE



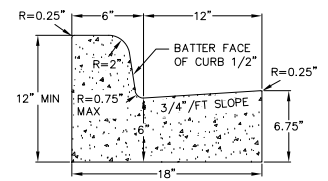
1 SILT FENCE

1 NOT TO SCALE

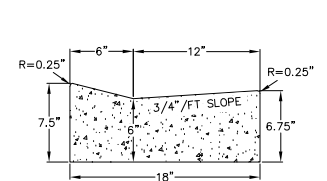


1 SILT SOCK

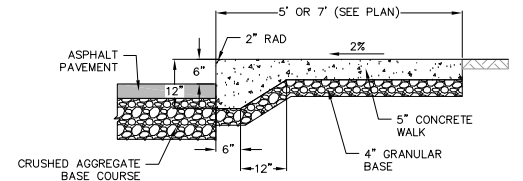
1 NOT TO SCALE



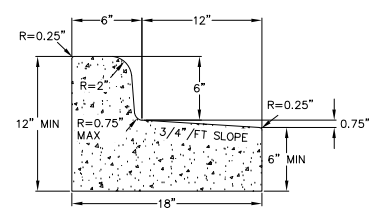
CURB AND GUTTER CROSS SECTION



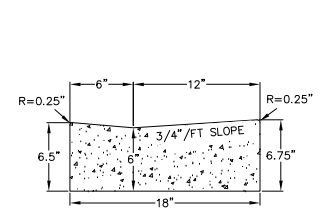
DRIVEWAY GUTTER CROSS SECTION



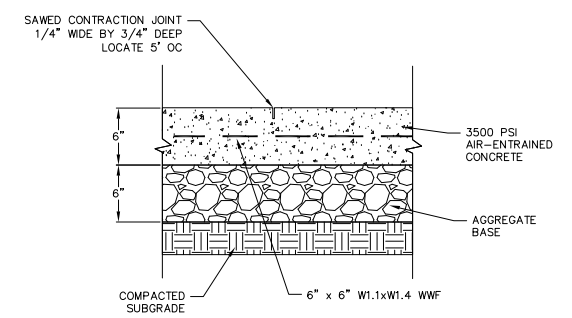
1 CURBED SIDEWALK SITE DETAIL
 1 NOT TO SCALE



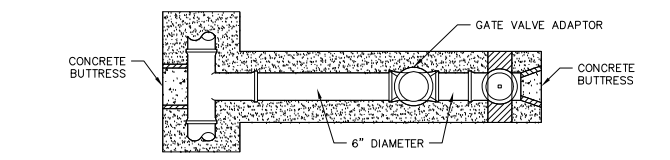
CURB AND GUTTER REJECT SECTION



HANDICAP RAMP GUTTER CROSS SECTION

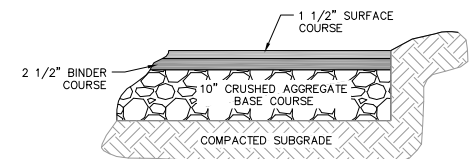


1 CONCRETE PAD
 1 NOT TO SCALE

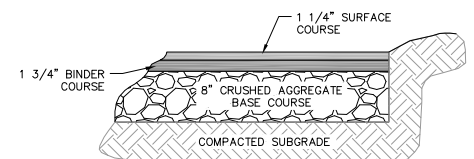


1 STANDARD HYDRANT SETTING
 1 NOT TO SCALE

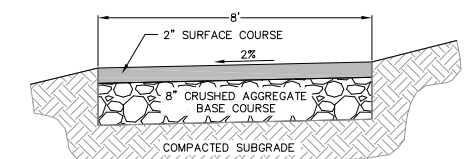
1 18" CONCRETE CURB AND GUTTER
 1 NOT TO SCALE



BITUMINOUS PAVEMENT DRIVES



BITUMINOUS PAVEMENT PARKING LOT



BITUMINOUS PAVEMENT BIKE PATH

1 SITE PAVEMENT
 1 NOT TO SCALE

Revisions

CITY OF MADISON UDC
 SUBMITTAL
 SCOPE DOCUMENTS
 Drawing Date
 April 12, 2019

UW CAMPUS HOTEL

780 Regent Street
 Madison, WI 53715

Project No. Mortenson
 218051

Sheet Title
 CONSTRUCTION
 DETAILS

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 Telephone 414-272-2000 Fax 414-272-2001
 44 East North Street, Suite 100, Madison, Wisconsin 53703
 Telephone 608-251-6300 Fax 608-253-6317

Sheet No.
 C501

PIECE	STUB INVERT	SYSTEM INVERT
12" STUB B3	851.25	847.50
12" STUB B2	851.00	847.50
12" STUB F2	851.00	847.50
12" STUB H1	851.25	847.50
12" STUB J2	851.00	847.50

PIECE	RIM ELEV.	SYSTEM INVERT
24" RISER B2	852.00	847.50
24" RISER C1	854.00	847.50
24" RISER D1	855.00	847.50
24" RISER F3	855.00	847.50
24" RISER G1	855.00	847.50
24" RISER J3	855.50	847.50

WEIR PLATE DETAIL
NOT TO SCALE

ASSEMBLY
SCALE: 1" = 30'
PIPE STORAGE: 8,316 CF
LOADING: H2O
PIPE INV. = 847.50

THE UNDERSIGNED HEREBY APPROVES THE ATTACHED (P) DRAWS INCLUDING THE FOLLOWING:

- PIPE STORAGE = 8,316 CF
- MAINLINE PIPE GAUGE = 12"
- WALL TYPE = SOLID
- DIAMETER = 66"
- FINISH = ALT2
- CORRUIGATION = 3x1

CONTECH ENGINEERED SOLUTIONS LLC
CONTECH CMP DETENTION SYSTEMS

66" UNDERGROUND DETENTION SYSTEM - 616275-010
 UW CAMPUS HOTEL
 MADISON, WI
 SITE DESIGNATION: WC DETENTION

TYPICAL SECTION VIEW
NOT TO SCALE

TYPICAL BACKFILL DETAIL
NOT TO SCALE

BACKFILL REQUIREMENTS FOLLOW THE GUIDELINES OF AASHTO LRFD BRIDGE DESIGN (SEC. 10) AND CONSTRUCTION (SEC. 30)

- MINIMUM TRENCH WIDTH MUST ALLOW ROOM FOR PROPER COMPACTION OF HAUNCH MATERIALS UNDER THE PIPE. THE MINIMUM TRENCH WIDTH (D+A+1) IS:
 PIPE = 12" D = 12"
 PIPE = 12" D = 12"
- MINIMUM EMBANKMENT WIDTH (B-FEET) FOR INITIAL FILL ENVELOPE (D+A+2) IS:
 PIPE = 24" D = 30"
 PIPE = 48" D = 45"
 PIPE = 144" D = 105"
- THE FOUNDATION UNDER THE PIPE AND SIDE BACKFILL SHALL BE ADEQUATE TO SUPPORT THE LOADS ACTING UPON IT (DLS.2)
- BEDDING MATERIAL SHALL BE A RELATIVELY LOOSE MATERIAL THAT IS ROUGHLY GRADED TO FIT THE BOTTOM OF THE PIPE, AND A MINIMUM OF THREE TIMES THE CORRUIGATION DEPTH IN THICKNESS, WITH THE MAXIMUM PARTICLE SIZE OF ONE-HALF OF THE CORRUIGATION DEPTH (DLS.3, DLS.5)
- CORRUIGATION STEEL PIPE (CSP / HEL-COR)
- HAUNCH ZONE MATERIAL SHALL BE HAND SHOVELED OR SHOVEL SLICED INTO PLACE TO ALLOW FOR PROPER COMPACTION (DLS.4)
- INITIAL BACKFILL FOR PIPE EMBARKMENT TO MEET AASHTO A, A-2 OR A-3 CLASSIFICATION OR APPROVED EQUAL, COMPACTED TO 95% STANDARD PROCTOR (1% MAXIMUM PARTICLE SIZE NOT TO EXCEED 2" (D+A-1)). ALL LIFTS PLACED IN A CONTROLLED MANNER. IT IS RECOMMENDED THAT LIFTS NOT EXCEED AN UNCOMPACTED LIFT HEIGHT TO PREVENT UNEVEN LOADS, AND THE LESSOR OF 1/3 THE DIAMETER OR 2' AS THE MAXIMUM DIFFERENTIAL, SIDE-TO-SIDE (DLS.4)
- INITIAL BACKFILL ABOVE PIPE MAY INCLUDE ROAD BASE MATERIAL (AND ROAD PAVEMENT IF APPLICABLE). SEE TABLE ABOVE.
- TOTAL HEIGHT OF COMPACTED COVER FOR CONVENTIONAL HIGHWAY LOADS IS MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TOP OF ROAD PAVEMENT (DLS.4.3)
- FINAL BACKFILL MATERIAL SELECTION AND COMPACTION REQUIREMENTS SHALL FOLLOW THE PROJECT PLANS AND SPECIFICATIONS PER THE ENGINEER OF RECORD (DLS.4.1)

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CONNECTION DETAIL
7 1/2" TECHCO SHOWN, MAY VARY

ELEVATION VIEW OF CMP AND RISER

PLAIN END CMP RISER PIPE

- DELIVERED BAND STYLE AND FASTENER TYPE MAY VARY BY FABRICATION PLANT.
- JOINT IS TO BE ASSEMBLED PER AASHTO BRIDGE CONSTRUCTION SPECIFICATION SEC. 26.4.2.4.
- BAND MATERIAL AND GAUGE TO BE SAME AS RISER MATERIAL.
- IF RISER HAS A HEIGHT OF COVER OF 12" OR MORE, USE A SLIP JOINT.
- BANDS ARE NORMALLY FINISHED AS FOLLOWS:
 • 12" THRU 48" 1-PIECE
 • 54" THRU 84" 2-PIECES
 • 102" THRU 144" 3-PIECES
- ALL RISER JOINT COMPONENTS WILL BE FIELD ASSEMBLED.
- MANHOLE RISERS IN APPLICATIONS WHERE TRAFFIC LOADS ARE IMPOSED REQUIRE SPECIAL DESIGN CONSIDERATIONS.
- DIMENSIONS SUBJECT TO MANUFACTURING TOLERANCES.

12" RISER BAND DETAIL
NOT TO SCALE

2 2/3"x1 1/2" HEL-COR PIPE (4 CORRUGATION RE-ROLL)

- JOINT IS TO BE ASSEMBLED PER AASHTO BRIDGE CONSTRUCTION SPECIFICATION SEC. 26.4.2.4.
- BAND MATERIALS (AND/OR COATING) CAN VARY BY LOCATION. CONTACT YOUR CONTECH REPRESENTATIVE FOR AVAILABILITY.
- BANDS ARE SHAVED TO MATCH THE PIPE-ANCH WHEN APPLICABLE.
- BANDS ARE NORMALLY FINISHED AS FOLLOWS:
 • 12" THRU 48" 1-PIECE
 • 54" THRU 84" 2-PIECES
 • 102" THRU 144" 3-PIECES
- BAND FASTENERS ARE ATTACHED WITH SPOT WELDS, RIVETS OR HAND WELDS.
- ALL CMP IS RE-ROLLED TO HAVE ANNULAR END CORRUGATIONS OF 2.25"x1.25"
- DIMENSIONS ARE SUBJECT TO MANUFACTURING TOLERANCES.
- ORDER SHALL DESIGNATE GASKET OPTION, IF REQUIRED (SEE DETAILS ABOVE).

10-C BAND DETAIL
NOT TO SCALE

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CONTECH CMP DETENTION SYSTEMS

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 MADISON, WI
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CONSTRUCTION LOADING DIAGRAM
NOT TO SCALE

PIPE SPAN (INCHES)	3.00	50.75	75.10	110.100
12-42	2.0	2.5	3.0	3.0
48-72	3.0	3.0	3.5	4.0
78-102	3.0	3.5	4.0	4.0
126-144	3.5	4.0	4.5	4.5

REINFORCING TABLE

Ø CMP RISER	A	B Ø	REINFORCING	BEARING PRESSURE (PSF)
24"	4'0"	3'0"	Ø5 @ 12" OC CW	2,540
30"	4'0"	3'0"	Ø5 @ 12" OC CW	1,980
36"	4'0"	3'0"	Ø5 @ 12" OC CW	2,260
36"	4'0"	3'0"	Ø5 @ 12" OC CW	2,080
42"	4'0"	4'0"	Ø5 @ 12" OC CW	1,900
42"	4'0"	4'0"	Ø5 @ 12" OC CW	1,480
48"	4'0"	5'0"	Ø5 @ 12" OC CW	1,210
48"	4'0"	5'0"	Ø5 @ 12" OC CW	1,210

CONSTRUCTION LOADING TABLE

PIPE SPAN (INCHES)	3.00	50.75	75.10	110.100
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CONTECH CMP DETENTION SYSTEMS

66" UNDERGROUND DETENTION SYSTEM - 616275-010
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Revisions

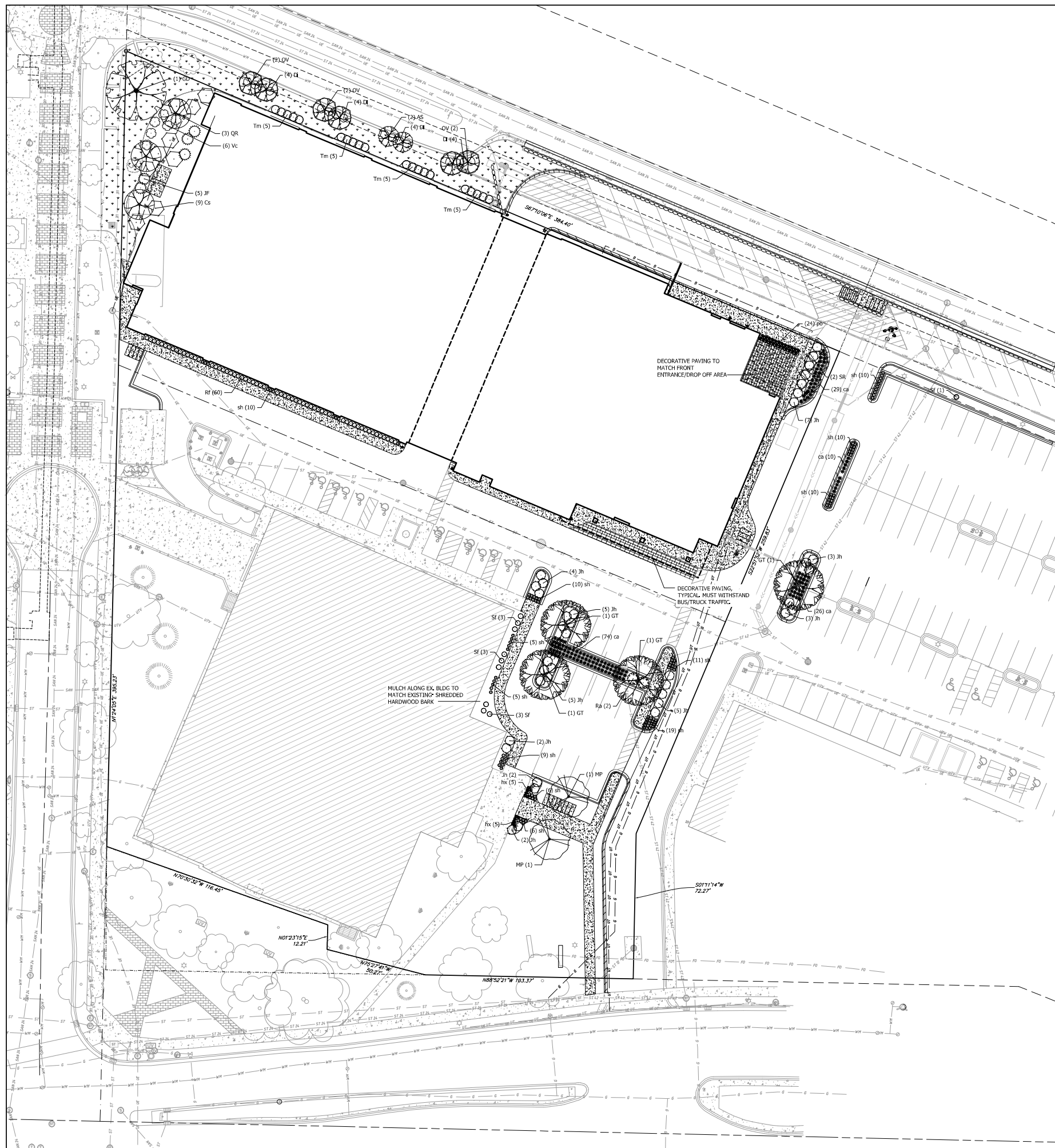
CITY OF MADISON UDC
 SUBMITTAL
 SCOPE DOCUMENTS
 Drawing Date
 April 12, 2019

UW CAMPUS HOTEL

780 Regent Street
 Madison, WI 53715

Project No. Mortenson
 218051

Sheet Title
CONSTRUCTION
DETAILS



PLANT SCHEDULE

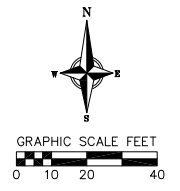
DECIDUOUS TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY
AS	Acer saccharum 'Apollo' TM / Apollo Sugar Maple	B & B	2.5' Cal	2
GT	Quercus laevis 'Northern Acclaim' / Northern Acclaim Honeylocust	B & B	2.5' Cal	4
GD	Gymnocladia dioica 'McKBranded' / Decal Kentucky Coffee Tree	B & B	2.5' Cal	1
OV	Ostrya virginiana / American Hophornbeam	B & B	2.5' Cal	6
QR	Quercus robur 'Long' / Royal Prince Oak	B & B	2.5' Cal	3
UNDERSTORY TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY
MP	Malus x Prairie Maid / Prairie Maid Crabapple	B & B	2' Cal	2
SR	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	B & B	2' Cal	2
DECIDUOUS SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELDZ	QTY
CS	Cornus sericea / Red Twig Dogwood	5 gal	Cont	9
DI	Diervilla lonicera / Dwarf Bush Honeysuckle	5 gal	Cont	16
RF	Rhamnus frangula 'Fine Line' / Fine Line Buckthorn	5 gal	Cont	60
Ra	Rhus aromatica 'GroLow' / GroLow Fragrant Sumac	5 gal	Cont	2
Sf	Sarcococca filiformis 'Finkentious' / Finkentious Fitch Spirea	3 gal	Cont	10
Vc	Viburnum cassinoides / Withered Viburnum	5 gal	Cont	6
EVERGREEN SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELDZ	QTY
Jh	Juniperus chinensis 'Fatkew' / Fatkew Juniper	B & B	6' Ht	5
Jh	Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper	5 gal	Cont	38
Tm	Taxus x media 'Hicks' / Hicks Yew	10 gal	Cont	20
PERENNIALS	BOTANICAL NAME / COMMON NAME	SIZE	FIELDZ	QTY
ca	Clamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal	Cont	139
hc	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily	1 gal	Cont	10
po	Polygonatum acrostichoides / Christmas Fern	1 gal	Cont	24
sh	Sporobolus heterodeus / Prairie Droopseed	1 gal	Cont	111

SEEDING/DECORATIVE PAVING SCHEDULE

	DECORATIVE PAVING	893 sf
	TURF GRASS SOD	5,078 sf

GENERAL NOTES:

- All plantings shall conform to quality requirements as per ANSI Z60.1.
- All plant material shall be true to the species, variety and size specified, nursery grown in accordance with good horticultural practices, and under climatic conditions similar to those of the project site.
- Contact Landscape Architect in writing, to request and plant material substitutions due to availability issues.
- All disturbed areas, unless otherwise noted, to be sodded with Kentucky bluegrass turf sod grown in soil.
- All plants shall be guaranteed to be in healthy and flourishing condition during the growing season following installation. All plant material shall be guaranteed for one year from the time of installation.
- Contractor shall provide a suitable amended topsoil blend for all planting areas where soil conditions are unsuitable for plant growth. Topsoil shall conform to quality requirements as per Section 625.2(1) of the Standard Specifications for Highway Construction. Provide a minimum of 12" of topsoil in all planting areas and 6" of topsoil in areas to be seeded/sodded.
- Landscape beds to be mulched with 2" washed stone mulch to 3" depth min. and edged with commercial grade aluminum landscape edging, Permaco CleanLine 2" x 4" or equal, color black anodized.



City of Madison Landscape Worksheet						
Address:	780 Regent St	Date:	04.11.2019			
Total Square Footage of Developed Area:	(Site Area) 51,737	(Building Footprint at Grade) 38023	=	13,714	sf	
Total Landscape Points Required:	13,714 / 300 =	46	x 5 =	229		
Plant Type/ Element	Min. Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2.5' cal	35		0	4	140
Tall Evergreen Tree	5-6 feet tall	35		0	0	0
Ornamental tree	1.5' cal	15		0	2	30
Upright evergreen shrub	3-4 feet tall	10		0	5	50
Shrub, deciduous	#1 gallon container size, Min. 12-24"	3		0	75	225
Shrub, evergreen	#1 gallon container size, Min. 12-24"	4		0	7	28
Ornamental grasses/perennials	#1 gallon container size, Min. 8-18"	2		0	63	126
Ornamental/Decorative fencing or wall	n/a	4 per 10 LF		0	0	0
Existing significant specimen tree	Min. Size 2.5' cal. Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch. Max. points per tree: 200		0	0	0
Landscape Furniture for public seating and/or transit connections	Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"		0	0	0
Sub Totals				0	0	0
				Total Points Provided:	599	

Revisions

CITY OF MADISON UDC SUBMITTAL

SCOPE DOCUMENTS

Drawing Date
APRIL 12, 2019

UW CAMPUS HOTEL

780 Regent Street
Madison, WI 53715

Project No. Mortenson
218051

Sheet Title
LANDSCAPE PLAN

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111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203
Telephone: 414.272.2000 Fax: 414.272.2001
44 East Main Street, Suite 700, Madison, Wisconsin 53703
Telephone: 608.255.6300 Fax: 608.255.6317



Sheet No.
L101



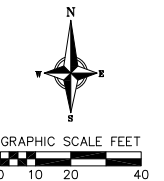
PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY
AS	Acer saccharum 'Apollo' TM / Apollo Sugar Maple 30' x 10'	B & B	2.5' Cal	2
GT	Quercus laevis 'Northern Acclaim' / Northern Acclaim Honeylocust	B & B	2.5' Cal	4
GD	Gymnocladus dioica 'McKBranded' / Decal Kentucky Coffee Tree 50' x 40'	B & B	2.5' Cal	1
OV	Ostrya virginiana / American Hophornbeam 25' x 15'	B & B	2.5' Cal	6
QR	Quercus robur x bicolor 'Long' / Royal Prince Oak 45' x 18'	B & B	2.5' Cal	3
UNDERSTORY TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY
MP	Malus x Pralix 'Maid' / Pralix Maid Crabapple 20' x 25'	B & B	2' Cal	2
SR	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac 25' x 15'	B & B	2' Cal	2
DECIDUOUS SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD	QTY
CS	Cornus sericea / Red Twig Dogwood 7-9' x 9-10'	5 gal	Cont	9
DI	Diervilla lonicera / Dwarf Bush Honeysuckle 3-4' x 4-5'	5 gal	Cont	16
RF	Rhamnus frangula 'Fine Line' / Fine Line Buckthorn 5-7' x 2'	5 gal	Cont	60
RA	Rhus aromatica 'GroLow' / GroLow Fragrant Sumac 2-3' x 6-8'	5 gal	Cont	2
SF	Sarcococca hibernica 'Inkerculous' / Inkerculous Fijish Spirea 2-3' x 2-3'	3 gal	Cont	10
Vc	Viburnum cassinoides / Withered Viburnum 5-6' x 5-6'	5 gal	Cont	6
EVERGREEN SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD	QTY
JF	Juniperus chinensis 'Falcon' / Falcon Juniper 15-10' x 6-7'	B & B	6' Ht	5
Jh	Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper 8-10' x 6-8'	5 gal	Cont	38
Tm	Taxus x media 'Hicks' / Hicks Yew 6-15' x 4-6'	10 gal	Cont	20
PERENNIALS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD	QTY
ca	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass 3-5' x 2'	1 gal	Cont	139
hc	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily 12-18" x 16-24"	1 gal	Cont	10
po	Polka Dot Plant / Christmas Fern 1-3'	1 gal	Cont	24
sh	Sporobolus heteredactylus / Prairie Droopseed 2' x 18"	1 gal	Cont	111

SEEDING/DECORATIVE PAVING SCHEDULE

	DECORATIVE PAVING	893 sf
	TURF GRASS SOD	5,078 sf

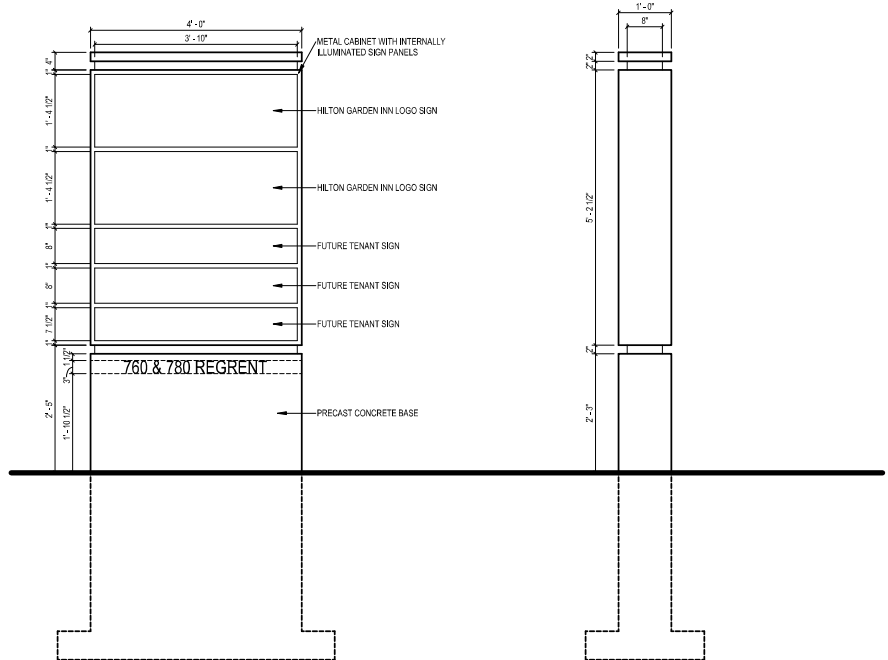
- GENERAL NOTES:**
- All plantings shall conform to quality requirements as per ANSI Z60.1.
 - All plant material shall be true to the species, variety and size specified, nursery grown in accordance with good horticultural practices, and under climatic conditions similar to those of the project site.
 - Contact Landscape Architect in writing, to request and plant material substitutions due to availability issues.
 - All disturbed areas, unless otherwise noted, to be sodded with Kentucky bluegrass turf sod grown in soil.
 - All plants shall be guaranteed to be in healthy and flourishing condition during the growing season following installation. All plant material shall be guaranteed for one year from the time of installation.
 - Contractor shall provide a suitable amended topsoil blend for all planting areas where soil conditions are unsuitable for plant growth. Topsoil shall conform to quality requirements as per Section 625.2(1) of the Standard Specifications for Highway Construction. Provide a minimum of 12" of topsoil in all planting areas and 6" of topsoil in areas to be seeded/sodded.
 - Landscape beds to be mulched with 3" washed stone mulch to 3" depth min. and edged with commercial grade aluminum landscape edging, Permacolor CleanLine 2" x 4" or equal, color black anodized.



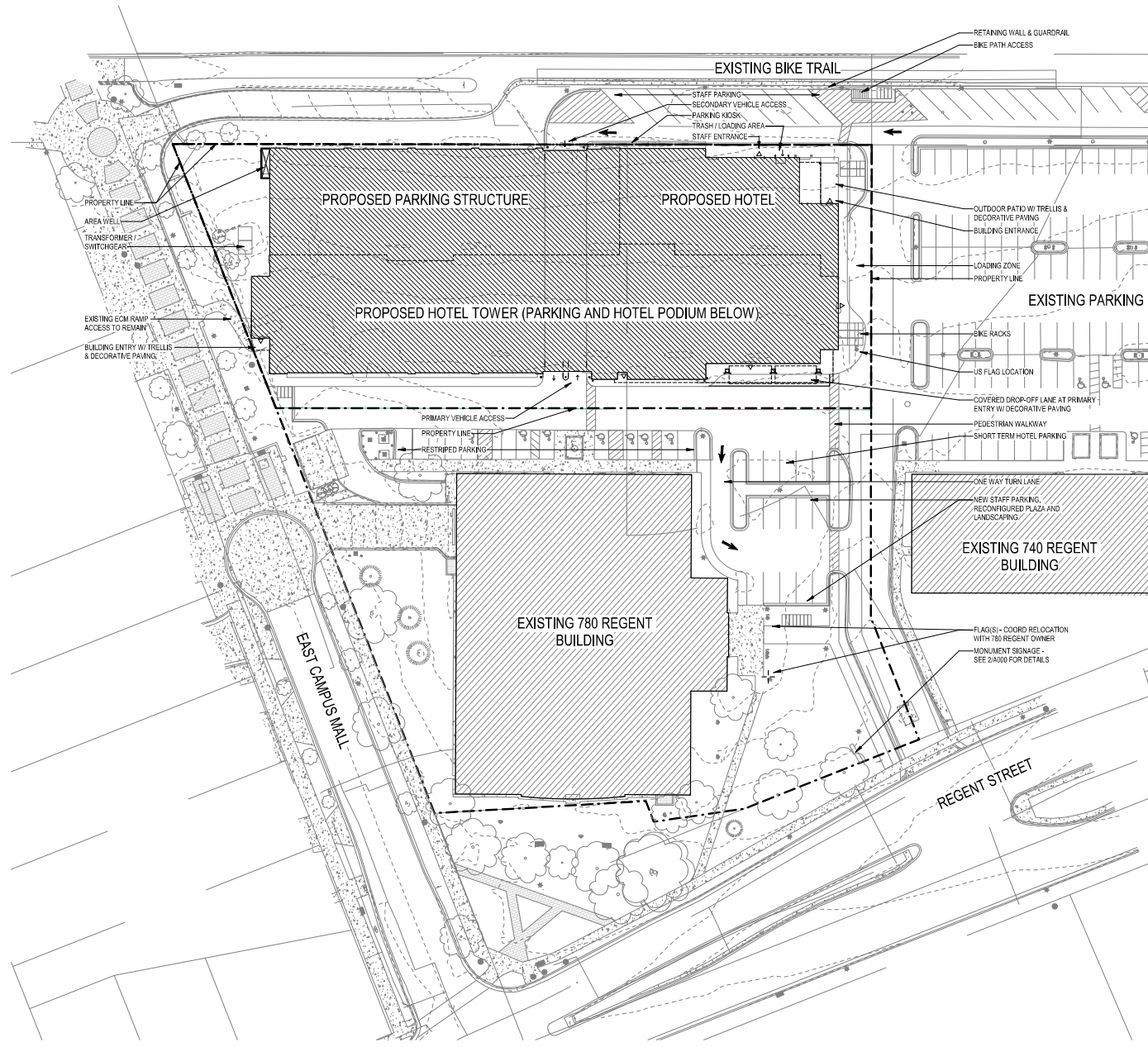
City of Madison Landscape Worksheet						
Address:	780 Regent St	Date:	04.11.2019			
Total Square Footage of Developed Area:	(Site Area) 51,737	(Building Footprint at Grade) 38023	=	13,714	sf	
Total Landscape Points Required:	13,714 / 300 =	46	x 5 =	229		
		Credits/ Existing Landscaping		New/ Proposed Landscaping		
Plant Type/ Element	Min. Size at Installation	Points	Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2.5' cal	35		0	4	140
Tall Evergreen Tree	5-6 feet tall	35		0		0
Ornamental tree	1.5' cal	15		0	2	30
Upright evergreen shrub	3-4 feet tall	10		0	5	50
Shrub, deciduous	#1 gallon container size, Min. 12-24"	3		0	75	225
Shrub, evergreen	#1 gallon container size, Min. 12-24"	4		0	7	28
Ornamental grasses/perennials	#1 gallon container size, Min. 8-18"	2		0	63	126
Ornamental/Decorative fencing or wall	n/a		4 per 10 LF	0		0
Existing significant specimen tree	Min. Size 2.5' cal. Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch. Max. points per tree: 200		0		0
Landscape Furniture for public seating and/or transit connections	Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"		0		0
Sub Totals				0		599
				Total Points Provided:	599	

CITY OF MADISON UDC
 SUBMITTAL
 SCOPE DOCUMENTS
 Drawing Date
 APRIL 12, 2019
UW CAMPUS HOTEL
 780 Regent Street
 Madison, WI 53715
 Project No. 218051
 Sheet Title
LANDSCAPE PLAN

NOT FOR CONSTRUCTION



2 MONUMENT SIGNAGE
3/4" = 1'-0"



1 ARCHITECTURAL SITE PLAN
1/32" = 1'-0"

Revisions

CITY OF MADISON UDC
SUBMITTAL
SCOPE DOCUMENTS
Drawing Date
APRIL 12, 2019

UW CAMPUS HOTEL

780 Regent Street
Madison, WI 53715

Project No. Mortenson
218051

Sheet Title
ARCHITECTURAL SITE
PLAN/SIGNAGE

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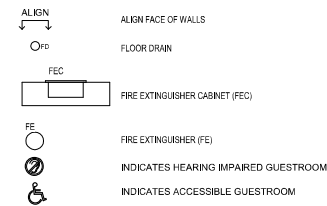
Sheet No.
A000

PARKING	COUNT	PERCENT
REGULAR	175	73%
COMPACT	60	25%
ADA	02	1%
VAN/ADA	02	1%
TOTAL	239	100%

BIKE PARKING AREAS: 18 SPACES AVAILABLE

PARKING TOTALS

PLAN LEGEND



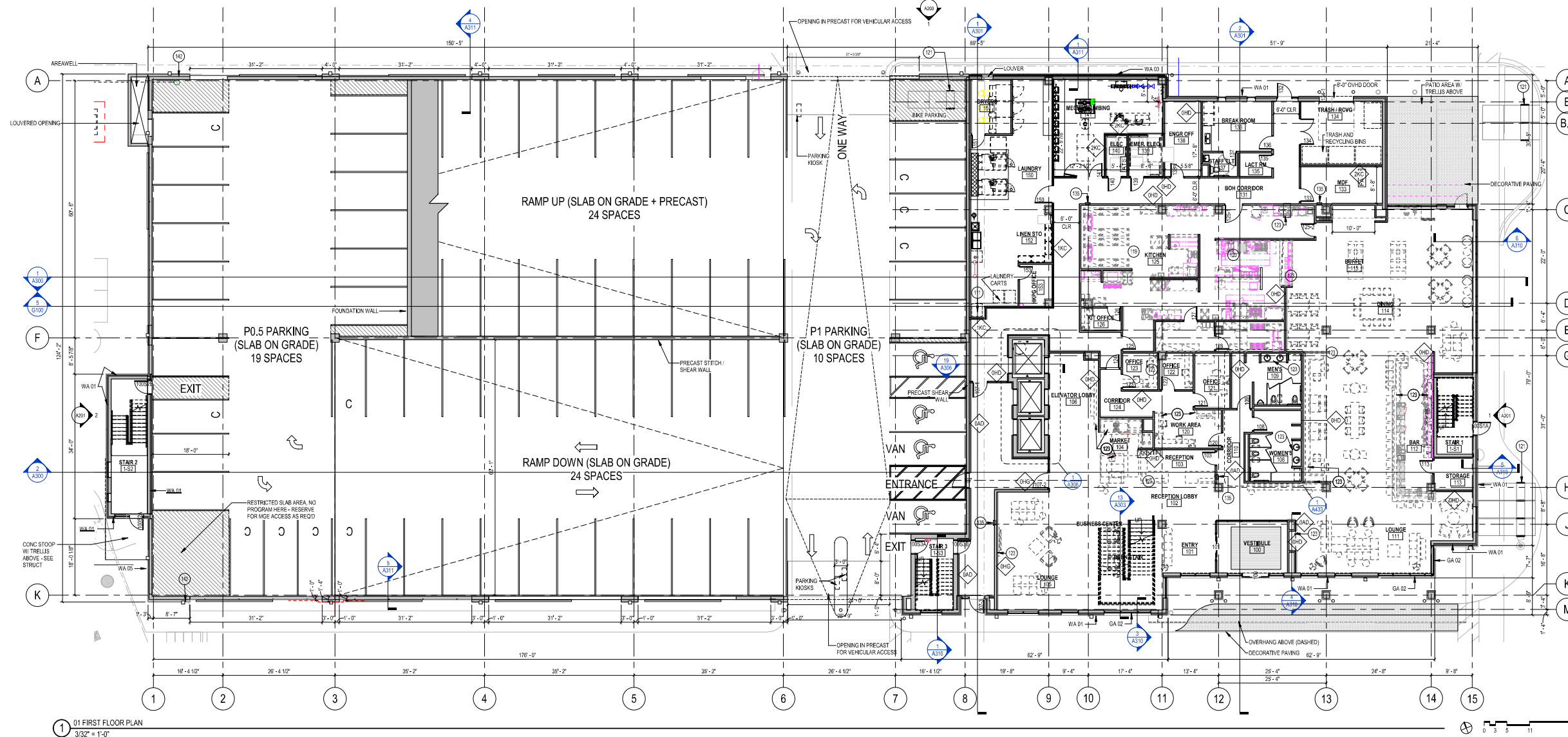
KEYNOTES

111	LINEN SHUTE
119	WALK-IN FREEZER/COOLER - PROVIDE CLOSURE PANEL FROM CEILING TO TOP OF FREEZER/COOLER UNITS - COORDINATE RECESSED SLAB REQUIREMENTS WITH GC / STRUCTURAL ENGINEER
120	KITCHEN EXHAUST HOOD - COORDINATE ALL PENETRATIONS W/ MEP
121	BIKE RACK
123	MILWORK - SEE INTERIOR DESIGN
130	SEMI RECESSED FIRE EXTINGUISHER CABINET
142	ALL WALL UNITS TO MATCH W/INT FINISH OUTER 3 FACES
GA 02	GLAZING ASSEMBLY 02 - CURTAIN WALL
WA 01	WALL ASSEMBLY 01 - PRECAST INSULATED WALL PANEL
WA 03	WALL ASSEMBLY 03 - METAL PANEL W/ CMF BACKUP WALL
WA 05	WALL ASSEMBLY 05 - MASONRY W/ CMF BACKUP WALL

GENERAL NOTES

- BUILDING SHALL BE CONSTRUCTED TO MEET THE REQUIREMENTS AND QUALITY LEVEL DESCRIBED IN CURRENT HILTON GARDEN INN DESIGN GUIDELINES.
- VERIFY DIMENSIONS, CONDITIONS AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
- DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
- COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
- REFER TO PARTITION SCHEDULE ON G100 FOR TYPICAL PARTITION TYPES. GUESTROOM CORRIDOR WALLS TO HAVE 10 HOUR FIRE RATING. WALLS SEPARATING ADJACENT GUESTROOMS TO HAVE 1 HOUR FIRE RATING.
- PROVIDE METAL PLATE AND/OR WOOD BLOCKING IN ALL WALLS & PARTITIONS IN PUBLIC AND PRIVATE SPACES FOR ALL WALL-MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO: ARTWORK, TELEVISIONS, LIGHT FIXTURES, MIRRORS, AND TOILET ACCESSORIES. VERIFY LOCATION WITH ELEVATIONS AND EQUIPMENT.
- CONFIRM ALL INTERIOR GUESTROOM WALLS WITH ENLARGED TYPICAL GUESTROOM PLANS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
- LAYOUTS OF FITNESS CENTER AND LAUNDRY ROOM ARE FOR SCHEMATIC PURPOSES ONLY. OWNER, SUPPLIER AND MANUFACTURERS TO COORDINATE FINAL LAYOUT, QUANTITIES, ETC.
- MILWORK AND FINE TRIMS SHOWN FOR REFERENCE. SEE INTERIOR DESIGN DRAWINGS.
- PROVIDE FURNING PARTITION TYPE 04D AT COLUMN LOCATIONS - TYPICAL.

NOT FOR CONSTRUCTION



1 01 FIRST FLOOR PLAN
3/32" = 1'-0"

Revisions

CITY OF MADISON UDC
SUBMITTAL

SCOPE DOCUMENTS

Drawing Date
APRIL 12, 2019

UW CAMPUS HOTEL

780 Regent Street
Madison, WI 53715

Project No. 218051
Mortenson

Sheet Title
LEVEL 1 PLAN

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Sheet No.
A101

PARKING	COUNT	PERCENT
REGULAR	175	73%
COMPACT	60	25%
ADA	02	1%
VAN ADA	02	1%
TOTAL	239	100%

PARKING TOTALS

BIKE PARKING AREAS: 18 SPACES AVAILABLE

PLAN LEGEND

- ALIGN → ALIGN FACE OF WALLS
- FD FLOOR DRAIN
- FEC FIRE EXTINGUISHER CABINET (FEC)
- FE FIRE EXTINGUISHER (FE)
- ⊗ INDICATES HEARING IMPAIRED GUESTROOM
- ♿ INDICATES ACCESSIBLE GUESTROOM

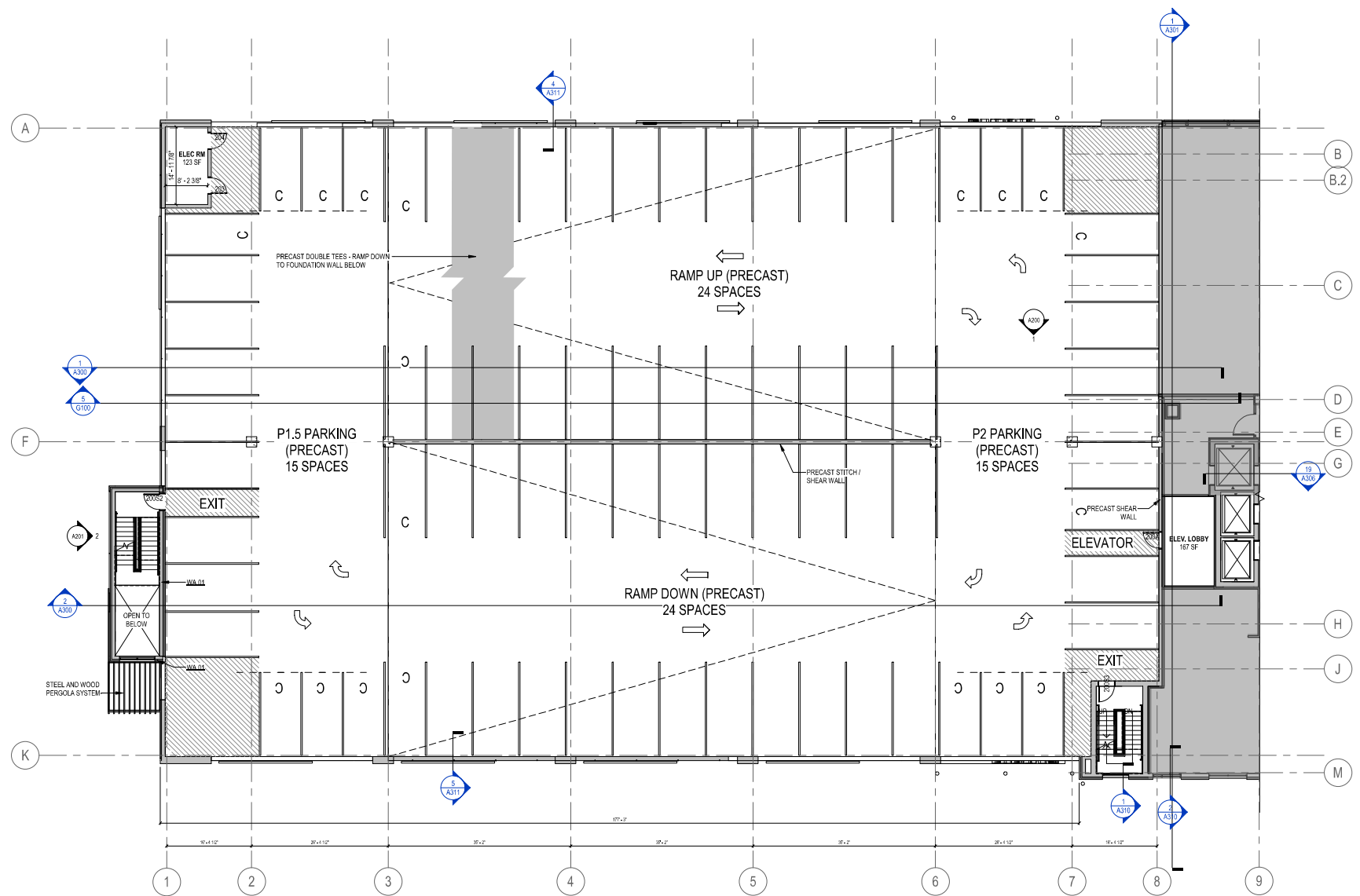
KEYNOTES

WA-01	WALL ASSEMBLY 01 - PRECAST INSULATED WALL PANEL
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GENERAL NOTES

1. BUILDING SHALL BE CONSTRUCTED TO MEET THE REQUIREMENTS AND QUALITY LEVEL DESCRIBED IN CURRENT HILTON GARDEN INN DESIGN (A.I.C.).
2. VERIFY DIMENSIONS, CONDITIONS AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
3. DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
4. COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
5. REFER TO PARTITION SCHEDULE ON G100 FOR TYPICAL PARTITION TYPES. GUESTROOM CORRIDOR WALLS TO HAVE 1/2 HOUR FIRE RATING. WALLS SEPARATING ADJACENT GUESTROOMS TO HAVE 1 HOUR FIRE RATING.
6. FINISH, CONDUIT AND RELATED MECHANICAL AND ELECTRICAL ITEMS SHALL BE CONCEALED WITHIN GYPSUM BOARD FURRING IN FINISHED AREAS.
7. PROVIDE METAL PLATE AND/OR WOOD BLOCKING IN ALL WALLS & PARTITIONS IN PUBLIC AND PRIVATE SPACES FOR ALL WALL MOUNTED EQUIPMENT INCLUDING BUT NOT LIMITED TO: ARTWORK, TELEVISIONS, LIGHT FIXTURES, MIRRORS, AND TOILET ACCESSORIES. VERIFY LOCATION WITH ELEVATIONS AND EQUIPMENT.
8. CONFIRM ALL INTERIOR GUESTROOM WALLS WITH ENLARGED TYPICAL GUESTROOM PLANS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
9. LAYOUTS OF FITNESS CENTER AND LAUNDRY ROOM ARE FOR SCHEMATIC PURPOSES ONLY. OWNER, SUPPLIER AND MANUFACTURERS TO COORDINATE FINAL LAYOUT, QUANTITIES, ETC.
10. MILLWORK AND FF&E ITEMS SHOWN FOR REFERENCE. SEE INTERIOR DESIGN DRAWINGS.
11. PROVIDE FURRING PARTITION TYPE 040 AT COLUMN LOCATIONS - TYPICAL.

NOT FOR CONSTRUCTION



1 P2 PARKING PLAN
3/32" = 1'-0"

Revisions

CITY OF MADISON UDC
SUBMITTAL
SCOPE DOCUMENTS
Drawing Date
APRIL 12, 2019
UW CAMPUS HOTEL

780 Regent Street
Madison, WI 53715
Project No. Mortenson
218051
Sheet Title
LEVEL P2 PLAN -
PARKING

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Sheet No.
A102

PLAN LEGEND

- ALIGN → ALIGN FACE OF WALLS
- _{FD} FLOOR DRAIN
- FEC [Symbol] FIRE EXTINGUISHER CABINET (FEC)
- FE ○ FIRE EXTINGUISHER (FE)
- [Symbol] INDICATES HEARING IMPAIRED GUESTROOM
- [Symbol] INDICATES ACCESSIBLE GUESTROOM

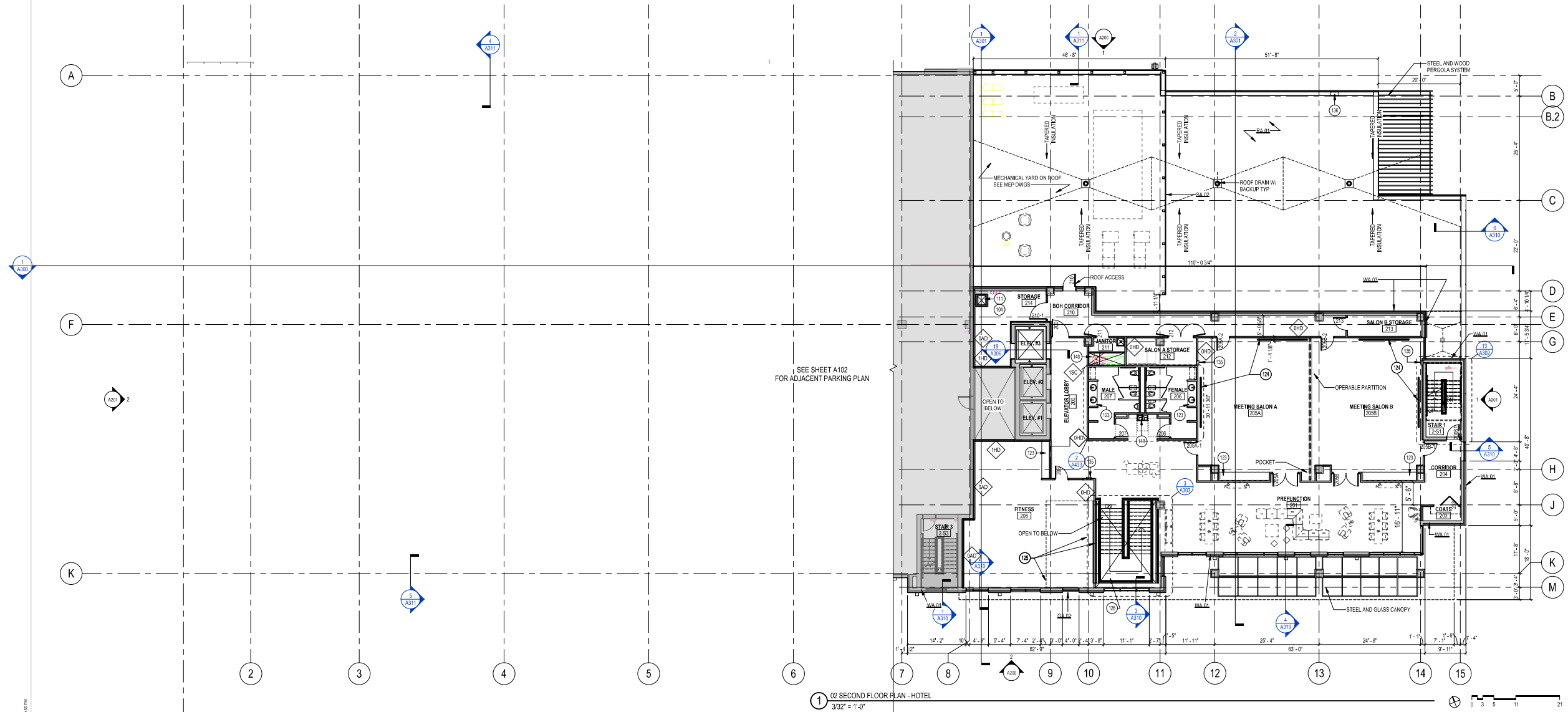
KEYNOTES

104	RATED SHAFT ENCLOSURE
111	DRINK SHAKE
118	DRINKING FOUNTAIN, PROVIDE ONE ACCESSIBLE AND ONE STANDARD
123	MILWORK - SEE INTERIOR DESIGN
124	PRESENTATION AREA - SEE INTERIOR DESIGN
125	DECORATIVE WALL CEILING - SEE INTERIOR DESIGN
126	OPEN STAIR WITH ORNAMENTAL RAILINGS - SEE INTERIOR DESIGN
135	SEMI RECESSED FIRE EXTINGUISHER CABINET
136	PREFINISHED METAL THROUGH WALL SCUPPER
140	SUPPLY TRUCTURE
GA 02	GLAZING ASSEMBLY 02 - CURTAIN WALL
RA 01	ROOF ASSEMBLY 01 - PRECAST PLANK
SA 02	SCREEN ASSEMBLY 02 - ROOF SCREEN
WA 01	WALL ASSEMBLY 01 - PRECAST INSULATED WALL PANEL
WA 03	WALL ASSEMBLY 03 - METAL PANEL W/ CMF BACKUP WALL

GENERAL NOTES

- BUILDING SHALL BE CONSTRUCTED TO MEET THE REQUIREMENTS AND QUALITY LEVEL DESCRIBED IN CURRENT HILTON GARDEN INN DESIGN (N/A).
- VERIFY DIMENSIONS, CONDITIONS AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
- DO NOT SCALE FROM DRAWINGS, BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
- COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
- REFER TO PARTITION SCHEDULE ON G 100 FOR TYPICAL PARTITION TYPES. GUESTROOM CORRIDOR WALLS TO HAVE 12-HOUR FIRE RATING. WALLS SEPARATING ADJACENT GUESTROOMS TO HAVE 1 HOUR FIRE RATING.
- PPING, CONDUIT AND RELATED MECHANICAL AND ELECTRICAL ITEMS SHALL BE CONCEALED WITHIN GYPSUM BOARD FURRING IN FINISHED AREAS.
- PROVIDE METAL PLATE AND/OR WOOD BLOCKING IN ALL WALLS & PARTITIONS IN PUBLIC AND PRIVATE SPACES FOR ALL WALL-MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO ARTWORK, TELEVISIONS, LIGHT FIXTURES, MIRRORS, AND TOILET ACCESSORIES. VERIFY LOCATION WITH ELEVATIONS AND EQUIPMENT.
- CONFIRM ALL INTERIOR GUESTROOM WALLS WITH ENLARGED TYPICAL GUESTROOM PLANS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
- LAYOUTS OF FITNESS CENTER AND LAUNDRY ROOM ARE FOR SCHEMATIC PURPOSES ONLY. OWNER, SUPPLIER AND MANUFACTURERS TO COORDINATE FINAL LAYOUT, QUANTITIES, ETC.
- MILWORK AND FFBE ITEMS SHOWN FOR REFERENCE. SEE INTERIOR DESIGN DRAWINGS.
- PROVIDE FURRING PARTITION TYPE 040 AT COLUMN LOCATIONS - TYPICAL.

NOT FOR CONSTRUCTION



1 02 SECOND FLOOR PLAN - HOTEL
3/32" = 1'-0"

Revisions

CITY OF MADISON UDC
SUBMITTAL

SCOPE DOCUMENTS
Drawing Date
APRIL 12, 2019

UW CAMPUS HOTEL

780 Regent Street
Madison, WI 53715

Project No. Mortenson
218051

Sheet Title
LEVEL 2 PLAN - HOTEL

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Sheet No.
A103

PARKING	COUNT	PERCENT
REGULAR	175	73%
COMPACT	60	25%
ADA	02	1%
VAN/ADA	02	1%
TOTAL:	239	100%

BIKE PARKING AREAS: 18 SPACES AVAILABLE

PLAN LEGEND

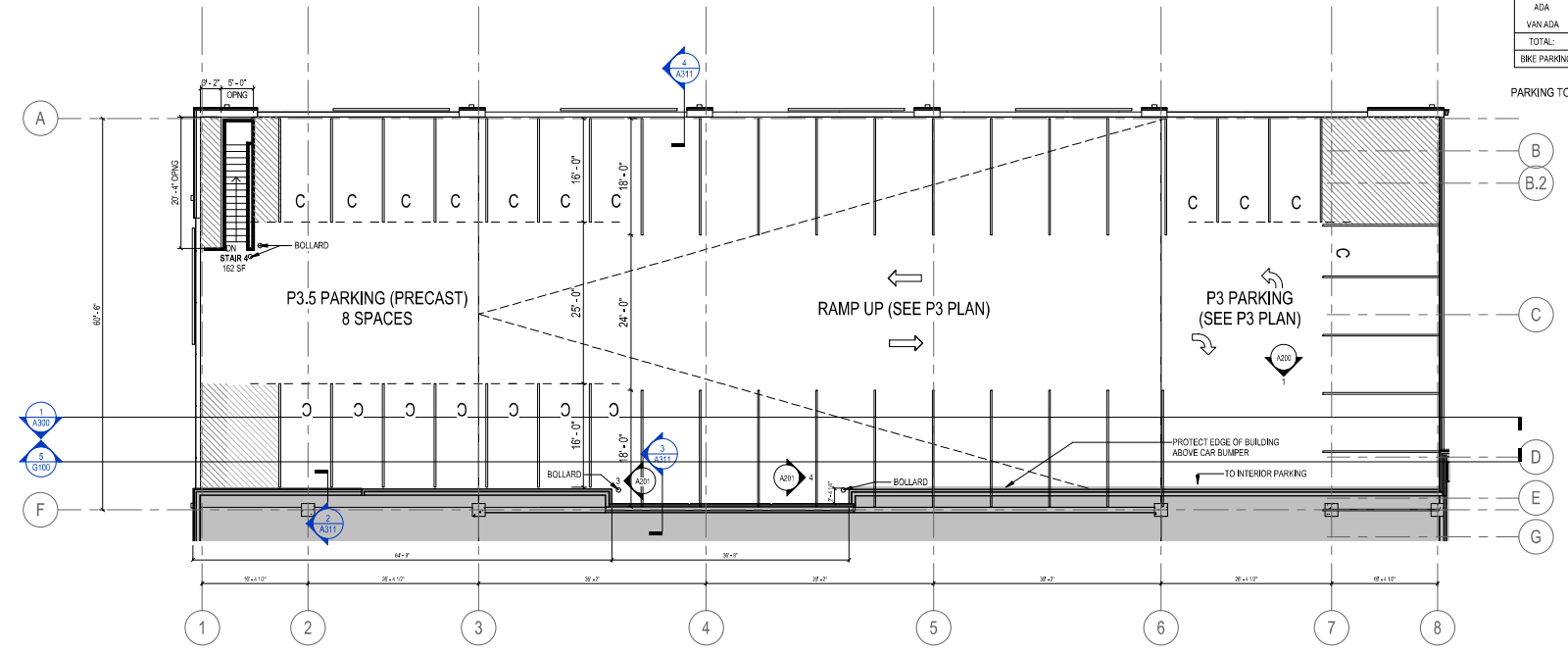
- ALIGN FACE OF WALLS
- FLOOR DRAIN
- FEC
- FIRE EXTINGUISHER CABINET (FEC)
- FIRE EXTINGUISHER (FE)
- INDICATES HEARING IMPAIRED GUESTROOM
- INDICATES ACCESSIBLE GUESTROOM

GENERAL NOTES

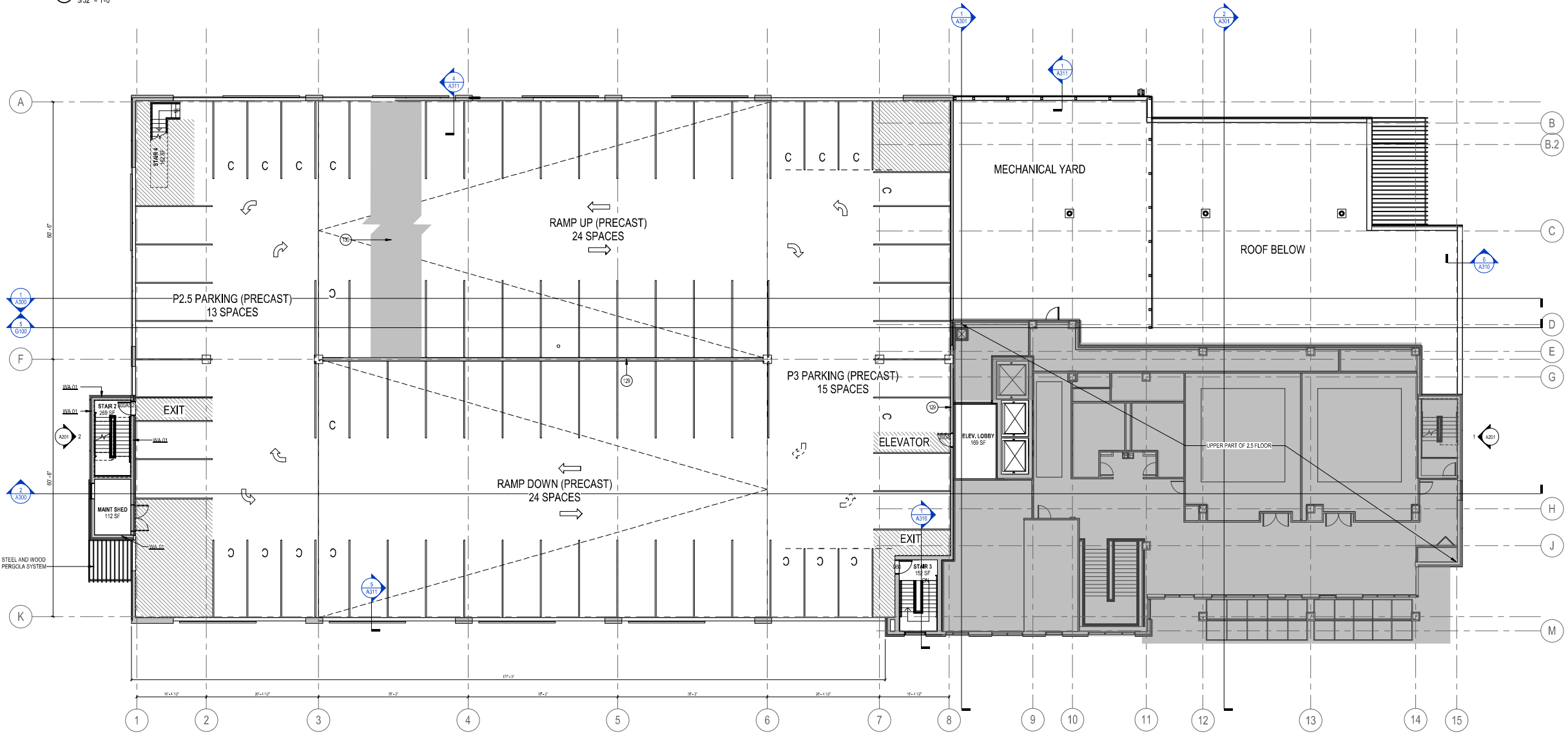
1. BUILDING SHALL BE CONSTRUCTED TO MEET THE REQUIREMENTS AND QUALITY LEVEL DESCRIBED IN CURRENT HILTON GARDEN INN DESIGN U.M.D.
2. VERIFY DIMENSIONS, CONDITIONS AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
3. DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
4. COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
5. REFER TO PARTITION SCHEDULE ON G100 FOR TYPICAL PARTITION TYPES. GUESTROOM CORRIDOR WALLS TO HAVE 12 HOUR FIRE RATING. WALLS SEPARATING ADJACENT GUESTROOMS TO HAVE 1 HOUR FIRE RATING.
6. PIPING, CONDUIT AND RELATED MECHANICAL AND ELECTRICAL ITEMS SHALL BE CONCEALED WITHIN GYPSUM BOARD FLOORING IN FINISHED AREAS.
7. PROVIDE METAL PLATE OR WOOD BLOCKING IN ALL WALLS & PARTITIONS IN PUBLIC AND PRIVATE SPACES FOR ALL WALL-MOUNTED EQUIPMENT INCLUDING BUT NOT LIMITED TO: ARTWORK, TELEVISIONS, LIGHT FIXTURES, MIRRORS, AND TOILET ACCESSORIES. VERIFY LOCATION WITH ELEVATIONS AND EQUIPMENT.
8. CONFIRM ALL INTERIOR GUESTROOM WALLS WITH ENLARGED TYPICAL GUESTROOM PLANS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
9. LAYOUTS OF FITNESS CENTER AND LAUNDRY ROOM ARE FOR SCHEMATIC PURPOSES ONLY. OWNER, SUPPLIER AND MANUFACTURERS TO COORDINATE FINAL LAYOUT, QUANTITIES, ETC.
10. MILLWORK AND FF&E ITEMS SHOWN FOR REFERENCE. SEE INTERIOR DESIGN DRAWINGS.
11. PROVIDE FLOORING PARTITION TYPE GAD AT COLUMN LOCATIONS - TYPICAL.

KEYNOTES

T20	PRECAST STITCH/SHEAR WALL
T30	PRECAST DOUBLE TEES - RAMP DOWN TO FOUNDATION WALL BELOW
BOLLARD	
WA 01	WALL ASSEMBLY 01 - PRECAST INSULATED WALL PANEL



2 P3.5 PARKING PLAN
3/32" = 1'-0"



1 P3 PARKING PLAN
3/32" = 1'-0"

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Revisions

CITY OF MADISON UDC
SUBMITTAL

SCOPE DOCUMENTS
Drawing Date
APRIL 12, 2019

UW CAMPUS HOTEL

780 Regent Street
Madison, WI 53715

Project No. Mortenson
218051

Sheet Title
**LEVEL P3 AND P3.5
PLAN - PARKING**

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Sheet No.
A104

UNIT TYPE	COUNT	PERCENT
DO	72	41%
DO-ADA	02	01%
K	88	50%
K-ADA	04	02%
PK	08	5%
PK-ADA	02	01%
TOTAL	176	100%

UNIT TOTALS

PLAN LEGEND

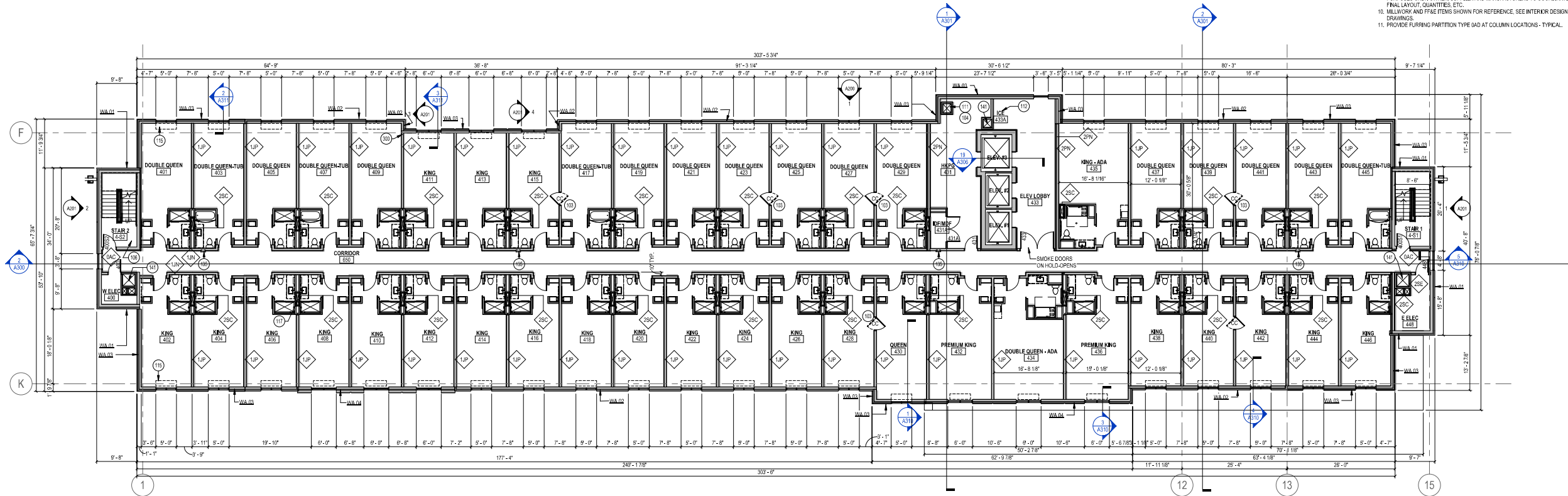
- ALIGN → ALIGN FACE OF WALLS
- FLOOR DRAIN
- FEC FIRE EXTINGUISHER CABINET (FEC)
- FE FIRE EXTINGUISHER (FE)
- INDICATES HEARING IMPAIRED GUESTROOM
- INDICATES ACCESSIBLE GUESTROOM

KEYNOTES

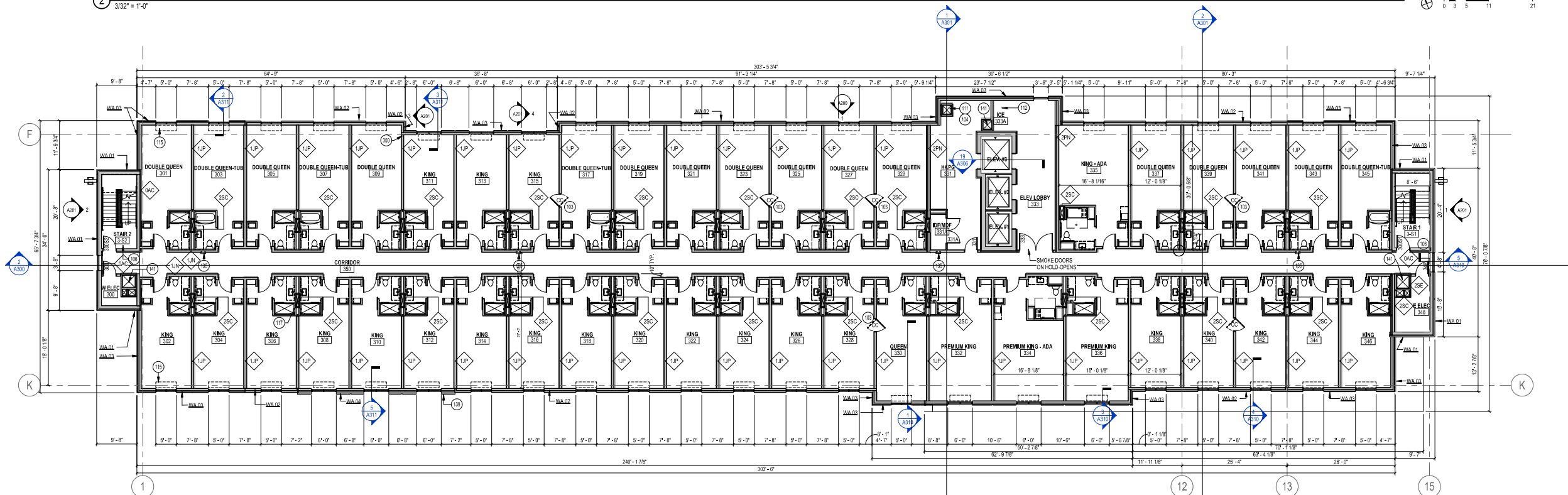
- 103 ADJOINING ROOM DOUBLE DOOR - SEE PLAN FOR LOCATIONS
- 104 RATED SHAFT ENCLOSURE
- 105 RATED STAIR SHAFT ENCLOSURE
- 111 IRON SHUTE
- 112 ICE MACHINE BY OTHERS
- 115 FTAC UNIT, TYPICAL EACH GUESTROOM
- 117 PROVIDE GLASS MAT SHAFT LINER AT ALL SUBDUCT SHAFTS TYPICAL
- 135 ISM RECESSED FIRE EXTINGUISHER CABINET
- 139 PREFINISHED METAL KNIFE EDGE CAP ALL EDGES
- 141 MECHANICAL SHAFT
- 300 COLD FORM METAL FRAMING TO ALIGN WITH EXTERIOR WALL, COORDINATE WITH GYPSUM BOARD
- WA.01 WALL ASSEMBLY 01- PRECAST INSULATED WALL PANEL
- WA.02 WALL ASSEMBLY 02- EHS W/ CMF BACKUP WALL
- WA.03 WALL ASSEMBLY 03- METAL PANEL W/ CMF BACKUP WALL
- WA.04 WALL ASSEMBLY 04- METAL PANEL W/ CMF BACKUP WALL

GENERAL NOTES

1. BUILDING SHALL BE CONSTRUCTED TO MEET THE REQUIREMENTS AND QUALITY LEVEL DESCRIBED IN CURRENT HILTON GARDEN INN DESIGN U.I.O.
2. VERIFY DIMENSIONS, CONDITIONS AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
3. DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
4. COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
5. REFER TO PARTITION SCHEDULE ON G160 FOR TYPICAL PARTITION TYPES. GUESTROOM CORRIDOR WALLS TO HAVE 1 HOUR FIRE RATING. WALLS SEPARATING ADJACENT GUESTROOMS TO HAVE 1 HOUR FIRE RATING.
6. PIPING, CONDUIT AND RELATED MECHANICAL AND ELECTRICAL ITEMS SHALL BE CONCEALED WITHIN GYPSUM BOARD FURRING IN FINISHED AREAS.
7. PROVIDE METAL PLATE AND/OR WOOD BLOCKING IN ALL WALLS & PARTITIONS IN PUBLIC AND PRIVATE SPACES FOR ALL WALL-MOUNTED EQUIPMENT INCLUDING BUT NOT LIMITED TO ARTWORK, TELEVISIONS, LIGHT FIXTURES, MIRRORS, AND TOILET ACCESSORIES. VERIFY LOCATION WITH ELEVATIONS AND EQUIPMENT.
8. CONTROL ALL INTERIOR GUESTROOM WALLS WITH ENLARGED TYPICAL GUESTROOM PLANS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
9. LAYOUTS OF FITNESS CENTER AND LAUNDRY ROOM ARE FOR SCHEMATIC PURPOSES ONLY. OWNER, SUPPLIER AND MANUFACTURERS TO COORDINATE FINAL LAYOUT, QUANTITIES, ETC.
10. MILLWORK AND FF&E ITEMS SHOWN FOR REFERENCE. SEE INTERIOR DESIGN DRAWINGS.
11. PROVIDE FURRING PARTITION TYPE 040 AT COLUMN LOCATIONS - TYPICAL.



04 FOURTH - 06 SIXTH FLOOR PLANS
3/32" = 1'-0"



03 THIRD FLOOR PLAN (TYPICAL)
3/32" = 1'-0"

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Revisions

CITY OF MADISON UDC
SUBMITTAL
SCOPE DOCUMENTS
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APRIL 12, 2019
UW CAMPUS HOTEL

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Project No. Mortenson
218051
Sheet Title
LEVEL 3 & 4 PLAN

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Sheet No.
A106

UNIT TYPE	COUNT	PERCENT
DQ	72	41%
DO-ADA	02	01%
K	88	50%
K-ADA	04	02%
PK	04	5%
PK-ADA	02	01%
TOTAL	176	100%

UNIT TOTALS

PLAN LEGEND

- ALIGN
- FLOOR DRAIN
- FEC
- FIRE EXTINGUISHER CABINET (FEC)
- FIRE EXTINGUISHER (FE)
- INDICATES HEARING IMPAIRED GUESTROOM
- INDICATES ACCESSIBLE GUESTROOM

KEYNOTES

- K03 ADJOINING ROOM DOUBLE DOOR- SEE PLAN FOR LOCATIONS
- K04 RATED STAIR ENCLOSURE
- K06 RATED STAIR SHAFT ENCLOSURE
- K09 SHIP/LADDER
- K11 LINEN SHALE
- K12 ICE MACHINE, BY OTHERS
- K15 PTAC UNIT, TYPICAL, EACH GUESTROOM
- K17 PROVIDE GLASS MAT SHAFTLINER AT ALL SUBJECT SHAFTS TYPICAL
- K36 SEMI RECESSED FIRE EXTINGUISHER CABINET
- K41 MECHANICAL SHAFT
- K00 GOLD FORM METAL FRAMING TO ALIGN WITH EXTERIOR WALL, COORDINATE WITH GYPSUM BOARD
- K01 WALL ASSEMBLY 01- PRECAST INSULATED WALL PANEL
- K02 WALL ASSEMBLY 02- EPS W/CFM BACKUP WALL
- K03 WALL ASSEMBLY 03- METAL PANEL W/CFM BACKUP WALL
- K04 WALL ASSEMBLY 04- METAL PANEL W/CFM BACKUP WALL

GENERAL NOTES

1. BUILDING SHALL BE CONSTRUCTED TO MEET THE REQUIREMENTS AND QUALITY LEVEL DESCRIBED IN CURRENT HILTON GARDEN INN DESIGN U.N.C.
2. VERIFY DIMENSIONS, CONDITIONS AND FINISHES PRIOR TO PROCEEDING OR PROCEEDING WITH WORK.
3. DO NOT SCALE FROM DRAWINGS, BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
4. COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
5. REFER TO PARTITION SCHEDULE ON G160 FOR TYPICAL PARTITION TYPES. GUESTROOM CORRIDOR WALLS TO HAVE 1/2 HOUR FIRE RATING. WALLS SEPARATING ADJACENT GUESTROOMS TO HAVE 1 HOUR FIRE RATING. PRING CONDUIT AND RELATED MECHANICAL AND ELECTRICAL ITEMS SHALL BE CONCEALED WITHIN GYPSUM BOARD FURRING IN FINISHED AREAS.
6. PROVIDE METAL PLATE AND/OR WOOD BLOCKS IN ALL WALLS & PARTITIONS IN PUBLIC AND PRIVATE SPACES FOR ALL WALL-MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO: ARTWORK, TELEVISIONS, LIGHT FIXTURES, MIRRORS, AND TOILET ACCESSORIES. VERIFY LOCATION WITH ELEVATIONS AND EQUIPMENT.
7. CONFIRM ALL INTERIOR GUESTROOM WALLS WITH ENLARGED TYPICAL GUESTROOM PLANS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
8. LAYOUTS OF FITNESS CENTER AND LAUNDRY ROOM ARE FOR SCHEMATIC PURPOSES ONLY. OWNER, SUPPLIER AND MANUFACTURERS TO COORDINATE FINAL LAYOUT, QUANTITIES, ETC.
9. MILLWORK AND FF&E ITEMS SHOWN FOR REFERENCE. SEE INTERIOR DESIGN DRAWINGS.
10. PROVIDE FURRING PARTITION TYPE 040 AT COLUMN LOCATIONS - TYPICAL.

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Revisions

06 SIXTH FLOOR PLAN
3/32" = 1'-0"

05 FIFTH FLOOR PLAN
3/32" = 1'-0"

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LEVEL 5 & 6 PLAN

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A107

PLAN LEGEND

- ALIGN ↓ ALIGN FACE OF WALLS
- ^{FD} FLOOR DRAIN
- FEC □ FIRE EXTINGUISHER CABINET (FEC)
- FE ○ FIRE EXTINGUISHER (FE)
- ⊗ INDICATES HEARING IMPAIRED GUESTROOM
- ♿ INDICATES ACCESSIBLE GUESTROOM

KEYNOTES

109	SHIPS LADDER
110	ROOF ACCESS HATCH
111	LINEN SHUTE
136	PREFINISHED METAL THROUGH WALL SCUPPER
RA 03	BALLASTED TPO

GENERAL NOTES

1. ALL ROOF SURFACES TO SLOPE 1/4" PER FOOT MIN. UNLESS NOTED OTHERWISE.
2. ALL HP ELEVATIONS APPROXIMATE & RELATIVE TO ROOF DRAINS.
3. PROVIDE SMOOLES CRICKETS OF TAPERED INSULATION TO CREATE POSITIVE DRAINAGE AROUND OBSTRUCTIONS TO ROOF DRAINS.
4. NOT ALL ROOF MOUNTED EQUIPMENT SHOWN. EQUIPMENT LOCATIONS SHOWN ARE APPROXIMATE COORDINATE WITH MEP DRAWINGS.
5. SEE EXTERIOR ASSEMBLIES FOR ROOF AND WALL ASSEMBLIES.

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Revisions

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APRIL 12, 2019

UW CAMPUS HOTEL

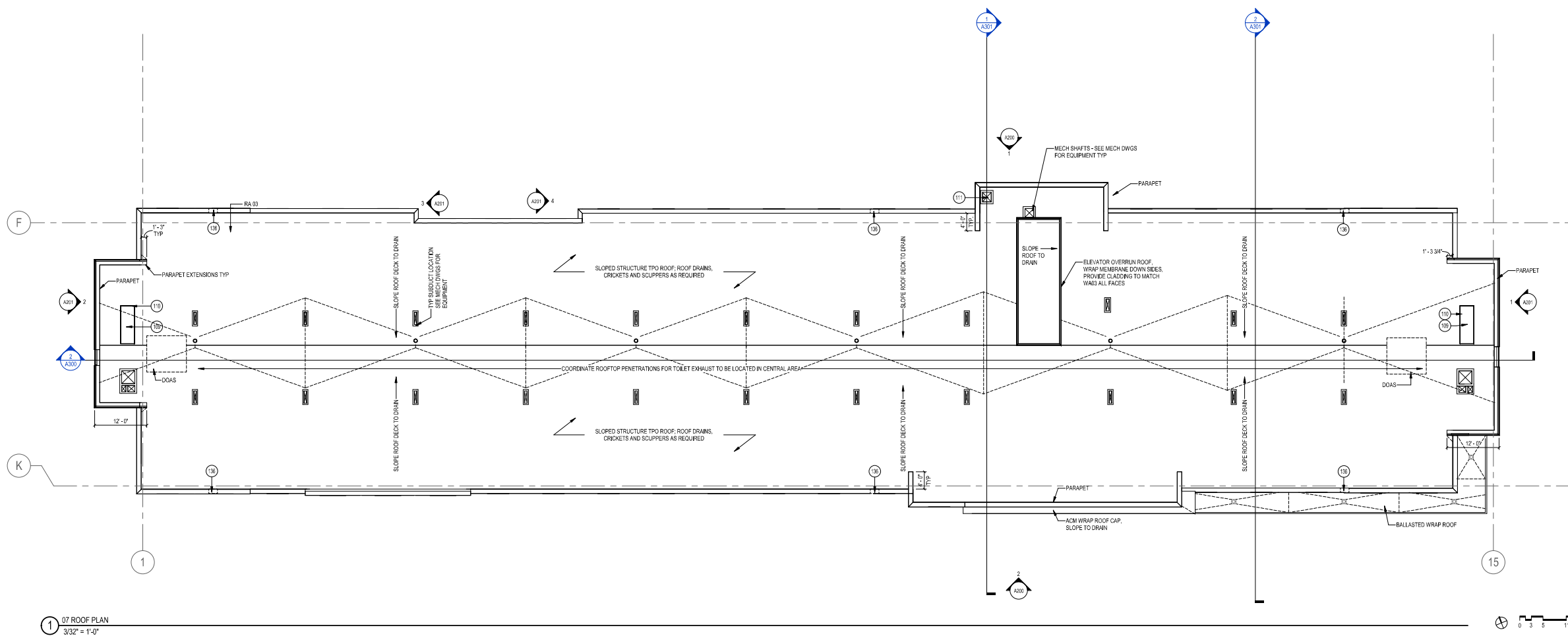
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Sheet Title
LEVEL 7 - ROOF PLAN

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Sheet No.
A108

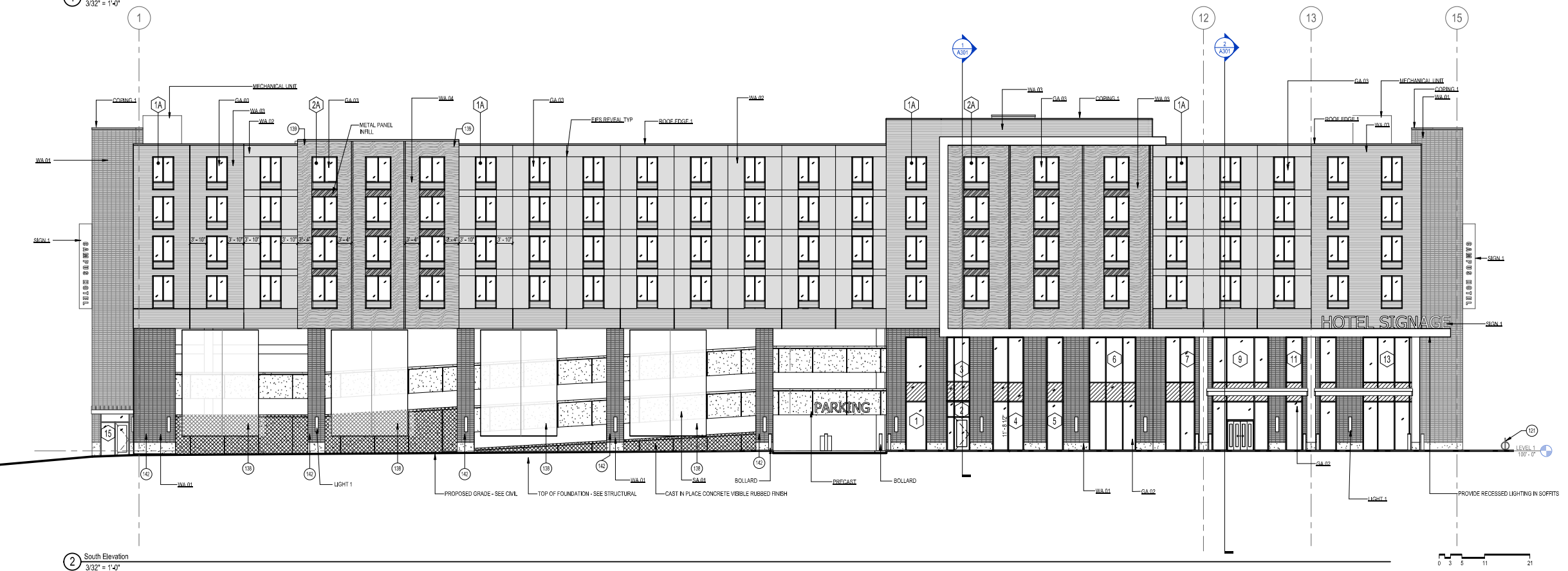
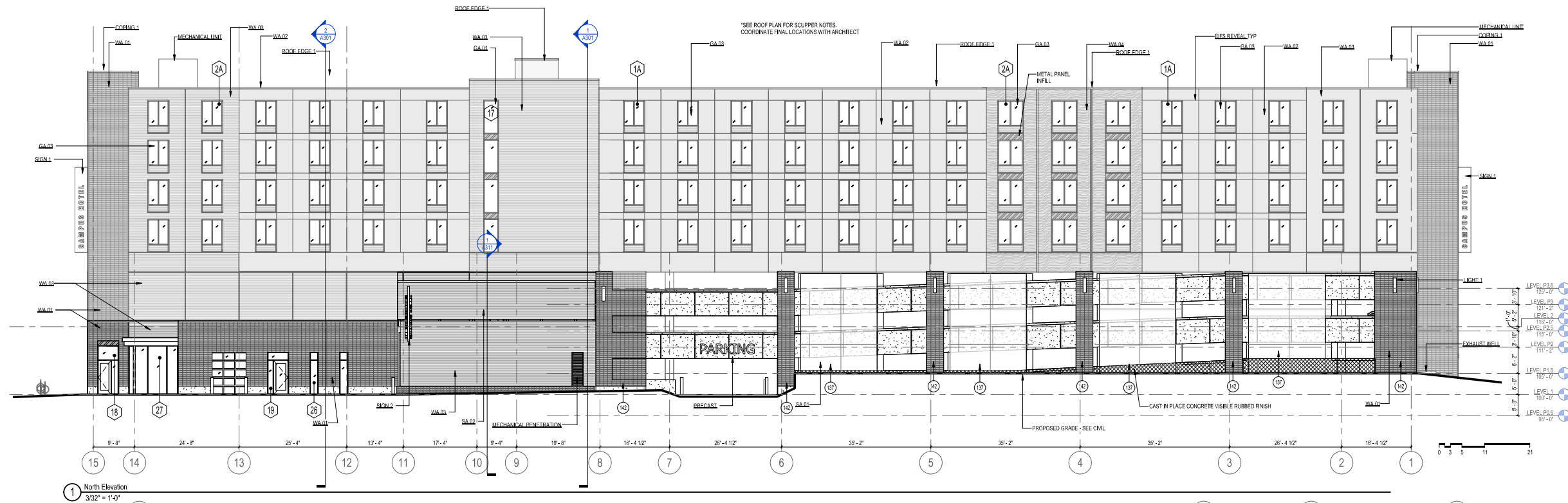


1 07 ROOF PLAN
3/32" = 1'-0"

K:\CD\191219\UW CAMPUS HOTEL\07 ROOF PLAN.dwg

KEYNOTES	
121	BIKE RACK
137	MESH PANEL WITH SUPER GRAPHIC
138	MESH PANEL
139	PREFINISHED METAL KNIFE EDGE CAP ALL EDGES
142	ALL WALLMIS TO MATCH WASTI FINISH OUTER 3 FACES
BOLLARD	
COPING 1	PREFINISHED METAL COPING
GA 01	GLAZING ASSEMBLY 01 - STOREFRONT
GA 02	GLAZING ASSEMBLY 02 - CURTAINWALL
GA 03	GLAZING ASSEMBLY 03 - ALUMINUM WINDOW
LIGHT 1	ARCHITECTURAL LIGHTING

KEYNOTES	
MECHANICAL PENETRATION	PENETRATIONS SHOWN FOR REFERENCE - SEE MECHANICAL FOR SIZE AND LOCATION
PRECAST	STRUCTURAL PRECAST CONCRETE WITH AN ARCHITECTURAL FINISH
ROOF EDGE 1	PREFINISHED METAL ROOF EDGE
SA 01	SCREEN ASSEMBLY 01 - PARKING SCREEN
SA 02	SCREEN ASSEMBLY 02 - ROOF SCREEN
SIGN 1	INTERNALLY ILLUMINATED SIGN
SIGN 2	INTERNALLY ILLUMINATED SIGN
WA 01	WALL ASSEMBLY 01 - PRECAST INSULATED WALL PANEL
WA 02	WALL ASSEMBLY 02 - EIFS W/ CFMF BACKUP WALL
WA 03	WALL ASSEMBLY 03 - METAL PANEL W/ CFMF BACKUP WALL
WA 04	WALL ASSEMBLY 04 - METAL PANEL W/ CFMF BACKUP WALL



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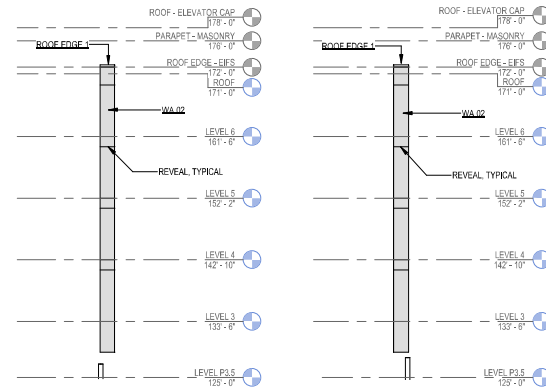
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EXTERIOR ELEVATIONS

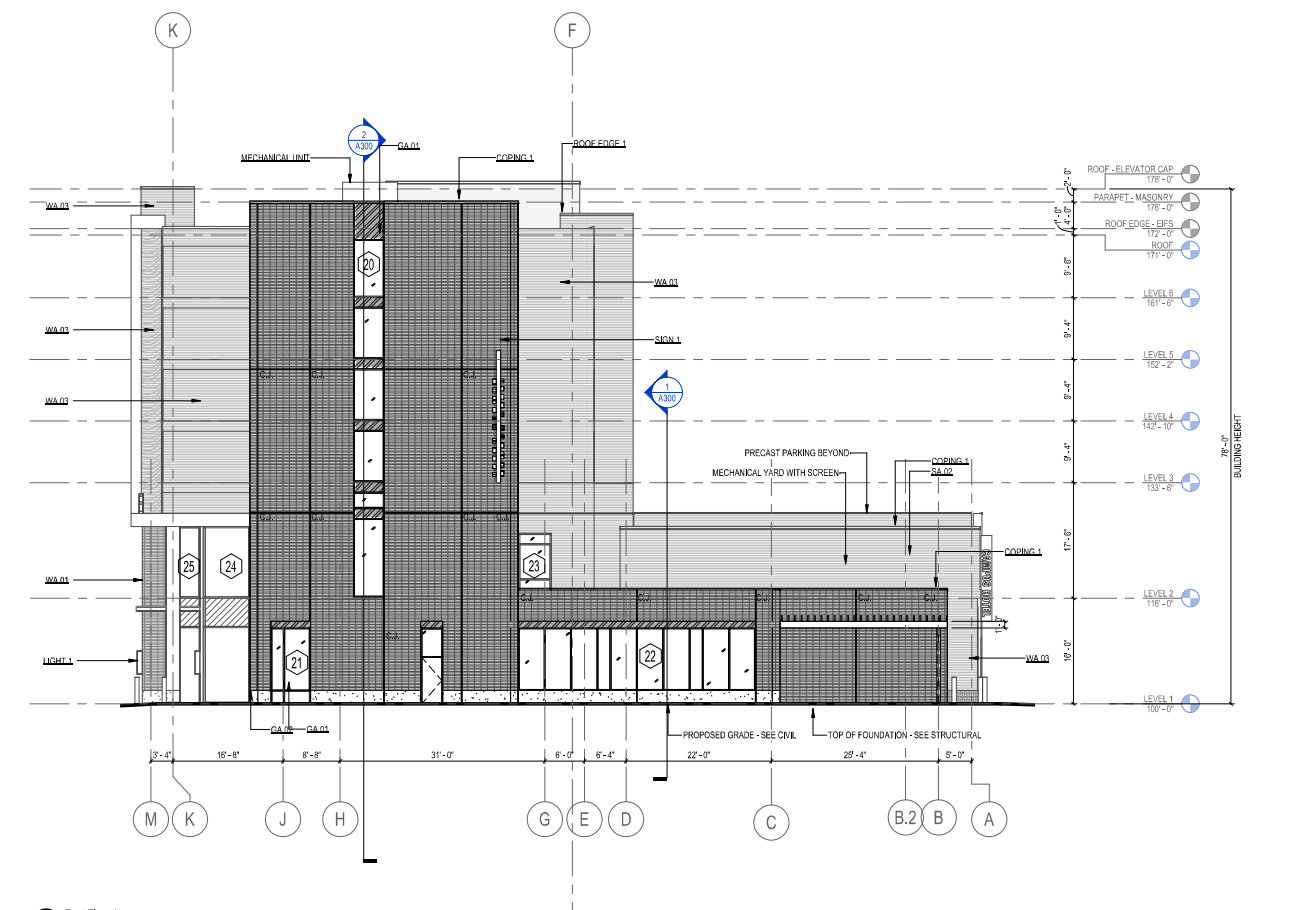
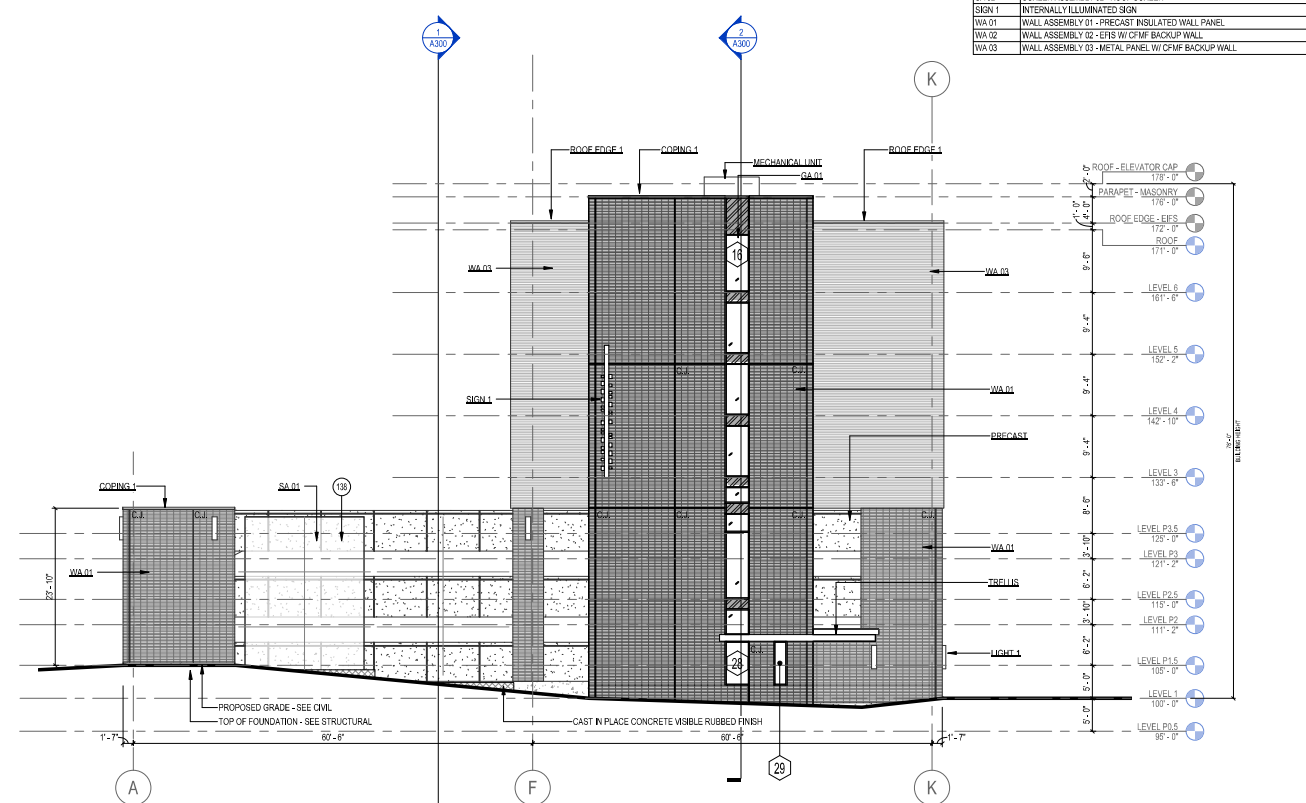
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A200

KEYNOTES	
138	MESH PANEL
COPING 1	PREFINISHED METAL COPING
GA 01	GLAZING ASSEMBLY 01 - STOREFRONT
GA 02	GLAZING ASSEMBLY 02 - CURTAINWALL
LIGHT 1	ARCHITECTURAL LIGHTING
PRECAST	STRUCTURAL PRECAST CONCRETE WITH AN ARCHITECTURAL FINISH
ROOF EDGE 1	PREFINISHED METAL ROOF EDGE
SA 01	SCREEN ASSEMBLY 01 - PARKING SCREEN
SA 02	SCREEN ASSEMBLY 02 - ROOF SCREEN
SKIN 1	INTERNALLY ILLUMINATED SKIN
WA 01	WALL ASSEMBLY 01 - PRECAST INSULATED WALL PANEL
WA 02	WALL ASSEMBLY 02 - EPS W/ CFM BACKUP WALL
WA 03	WALL ASSEMBLY 03 - METAL PANEL W/ CFM BACKUP WALL



4 PARTIAL ELEVATION - EAST
3/32" = 1/4"

3 PARTIAL ELEVATION - WEST
3/32" = 1/4"



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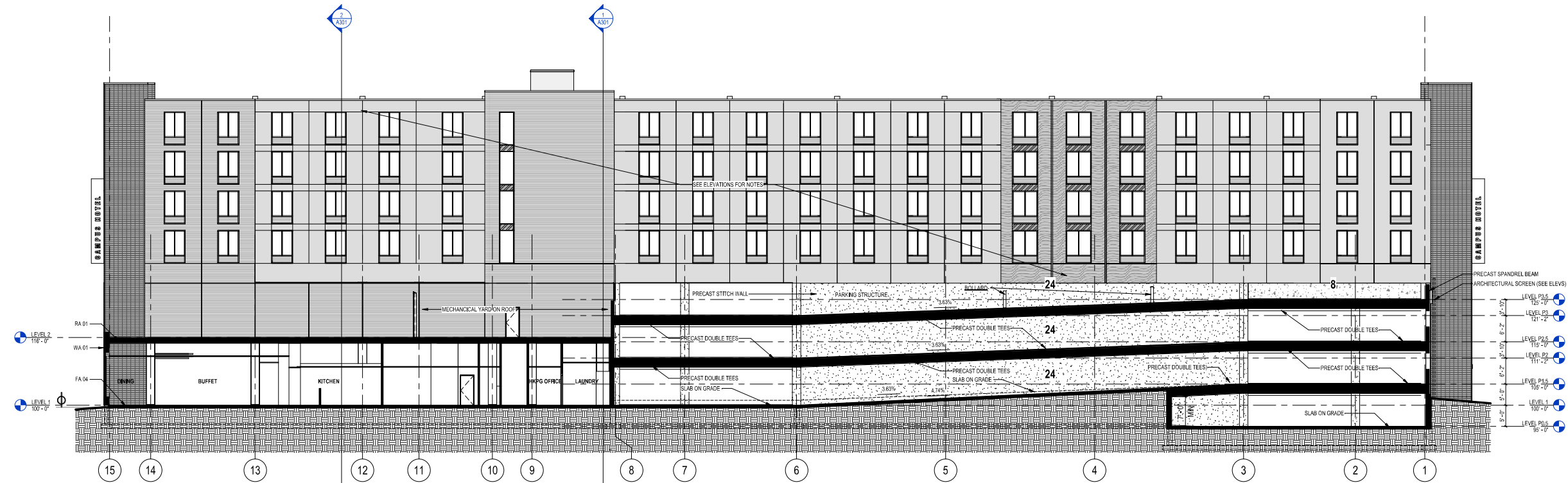
Project No. Mortenson
218051

Sheet Title
EXTERIOR ELEVATIONS

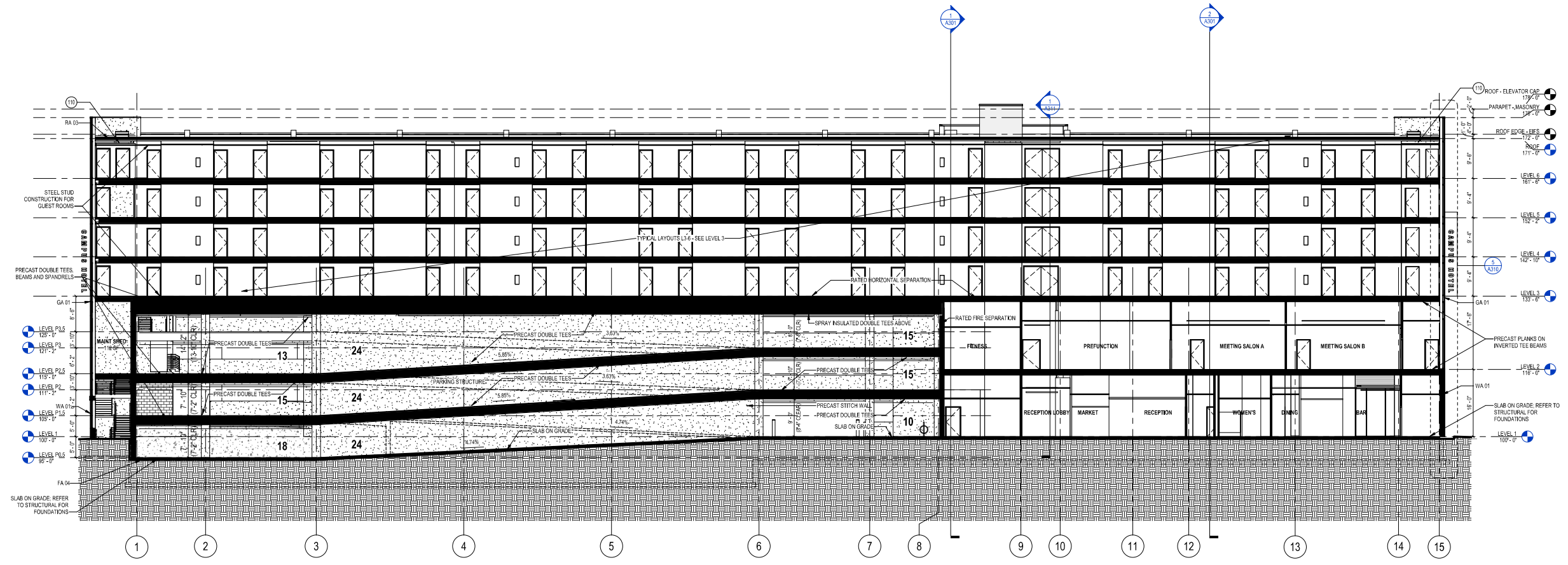
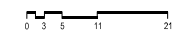
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A201

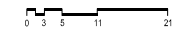
KEYNOTES	
T10	ROOF ACCESS HATCH
BOLLARD	
FA 04	FLOOR ASSEMBLY 04 - SLAB ON GRADE
GA 01	GLAZING ASSEMBLY 01 - STOREFRONT
RA 01	ROOF ASSEMBLY 01 - PRECAST FLANK
RA 03	BALLASTED TPO
WA 01	WALL ASSEMBLY 01 - PRECAST INSULATED WALL PANEL



1 LONGITUDINAL SECTION - GRID D
3/32" = 1'-0"



2 LONGITUDINAL SECTION - GRID H
3/32" = 1'-0"



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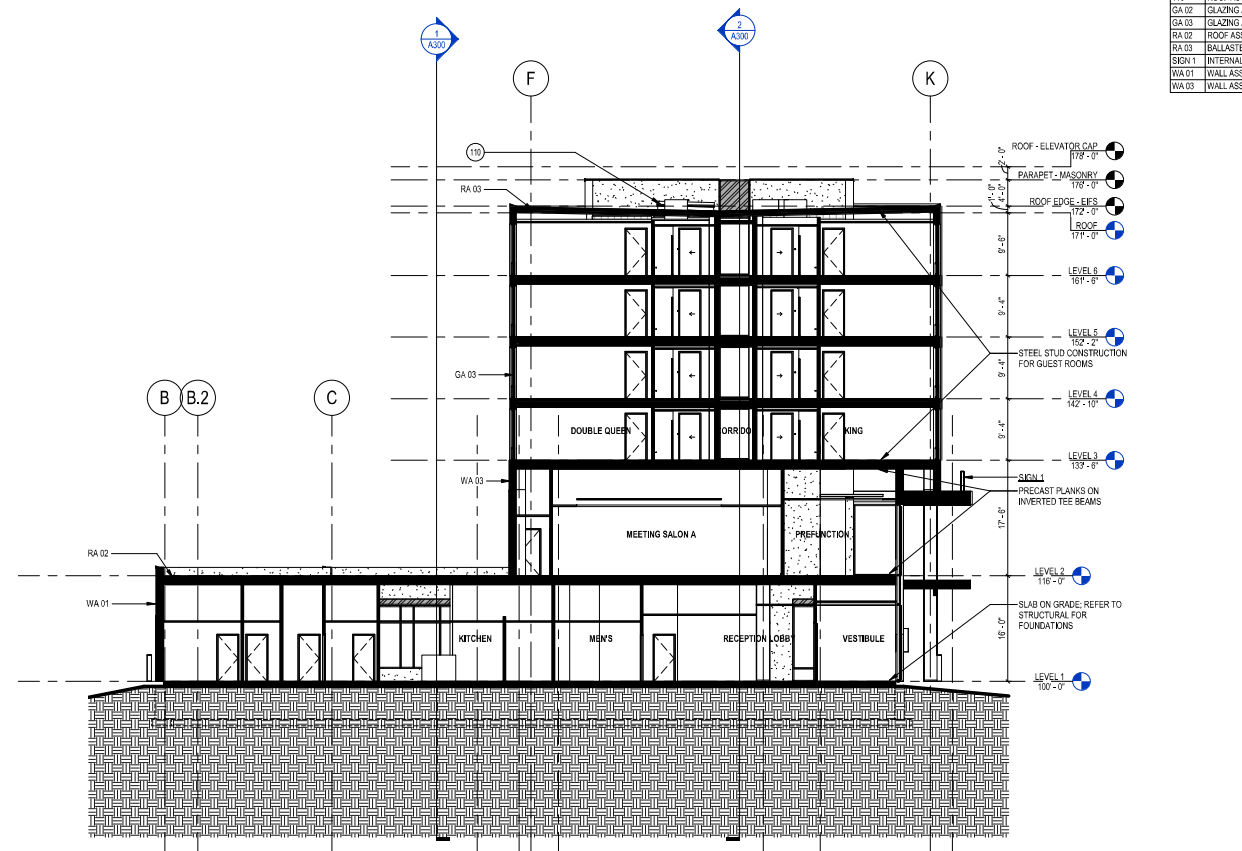
Project No. Mortenson
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Sheet Title
BUILDING SECTIONS

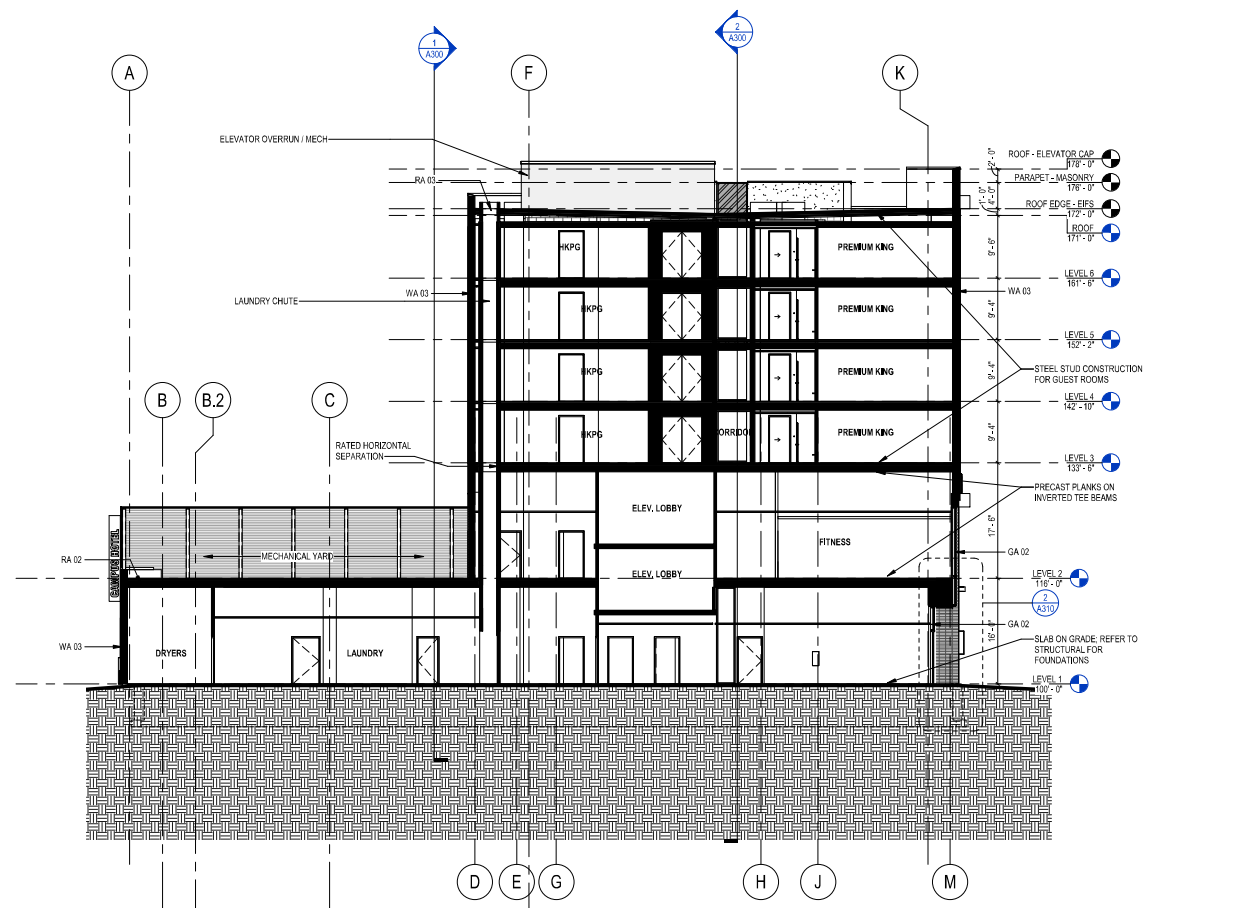
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Sheet No.
A300

KEYNOTES	
110	ROOF ACCESS HATCH
GA 02	GLAZING ASSEMBLY 02 - CURTAIN WALL
GA 03	GLAZING ASSEMBLY 03 - ALUMINUM WINDOW
RA 02	ROOF ASSEMBLY 02 - SLOPED METAL DECK
RA 03	BALLASTED TPO
SKN 1	INTERNALLY ILLUMINATED SKIN
WA 01	WALL ASSEMBLY 01 - PRECAST INSULATED WALL PANEL
WA 03	WALL ASSEMBLY 03 - METAL PANEL W/CFMF BACKUP WALL



2 TRANSVERSE SECTION - GRID 12
3/32" = 1'-0"



1 TRANSVERSE SECTION - GRID 8
3/32" = 1'-0"



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BUILDING SECTIONS

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A301

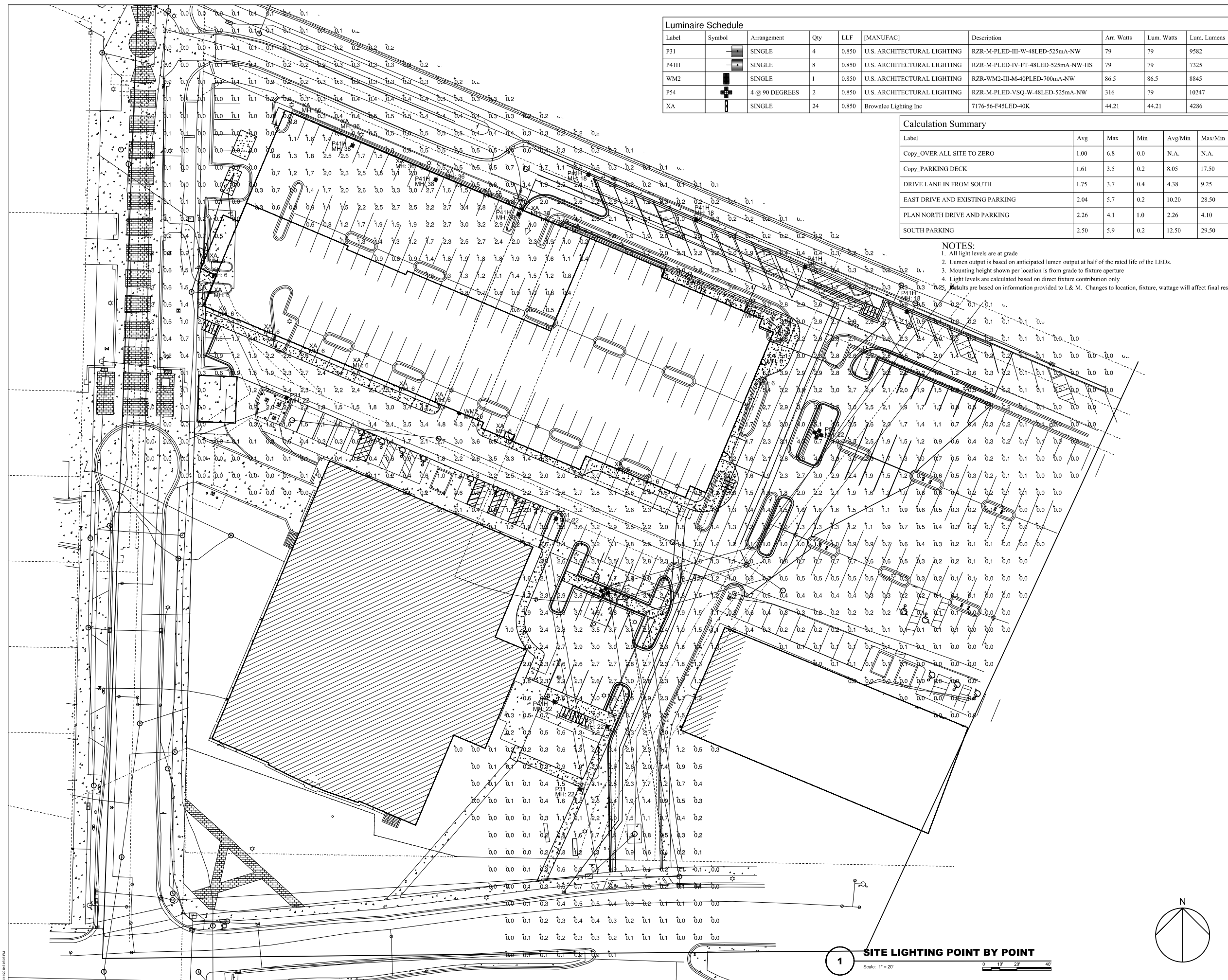
Luminaire Schedule

Label	Symbol	Arrangement	Qty	LLF	[MANUFAC]	Description	Arr. Watts	Lum. Watts	Lum. Lumens
P31		SINGLE	4	0.850	U.S. ARCHITECTURAL LIGHTING	RZR-M-PLED-III-W-48LED-525mA-NW	79	79	9582
P41H		SINGLE	8	0.850	U.S. ARCHITECTURAL LIGHTING	RZR-M-PLED-IV-FT-48LED-525mA-NW-HS	79	79	7325
WM2		SINGLE	1	0.850	U.S. ARCHITECTURAL LIGHTING	RZR-WM2-III-M-40PLED-700mA-NW	86.5	86.5	8845
P54		4 @ 90 DEGREES	2	0.850	U.S. ARCHITECTURAL LIGHTING	RZR-M-PLED-VSQ-W-48LED-525mA-NW	316	79	10247
XA		SINGLE	24	0.850	Brownlee Lighting Inc	7176-56-F45LED-40K	44.21	44.21	4286

Calculation Summary

Label	Avg	Max	Min	Avg/Min	Max/Min
Copy_OVER ALL SITE TO ZERO	1.00	6.8	0.0	N.A.	N.A.
Copy_PARKING DECK	1.61	3.5	0.2	8.05	17.50
DRIVE LANE IN FROM SOUTH	1.75	3.7	0.4	4.38	9.25
EAST DRIVE AND EXISTING PARKING	2.04	5.7	0.2	10.20	28.50
PLAN NORTH DRIVE AND PARKING	2.26	4.1	1.0	2.26	4.10
SOUTH PARKING	2.50	5.9	0.2	12.50	29.50

- NOTES:**
- All light levels are at grade
 - Lumen output is based on anticipated lumen output at half of the rated life of the LEDs.
 - Mounting height shown per location is from grade to fixture aperture
 - Light levels are calculated based on direct fixture contribution only
- Results are based on information provided to L & M. Changes to location, fixture, wattage will affect final results



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Sheet Title
**SITE LIGHTING POINT
BY POINT**

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Sheet No.
ES100

1 SITE LIGHTING POINT BY POINT

Scale: 1" = 20'

