

CITY OF MADISON UDC SUBMITTAL

# UW CAMPUS HOTEL

780 Regent Street  
Madison, WI 53715

KAHLER SLATER PROJECT: 218051  
04/12/2019

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NOT FOR CONSTRUCTION

Revisions

CITY OF MADISON UDC  
SUBMITTAL

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Drawing Date  
APRIL 12, 2019

UW CAMPUS HOTEL

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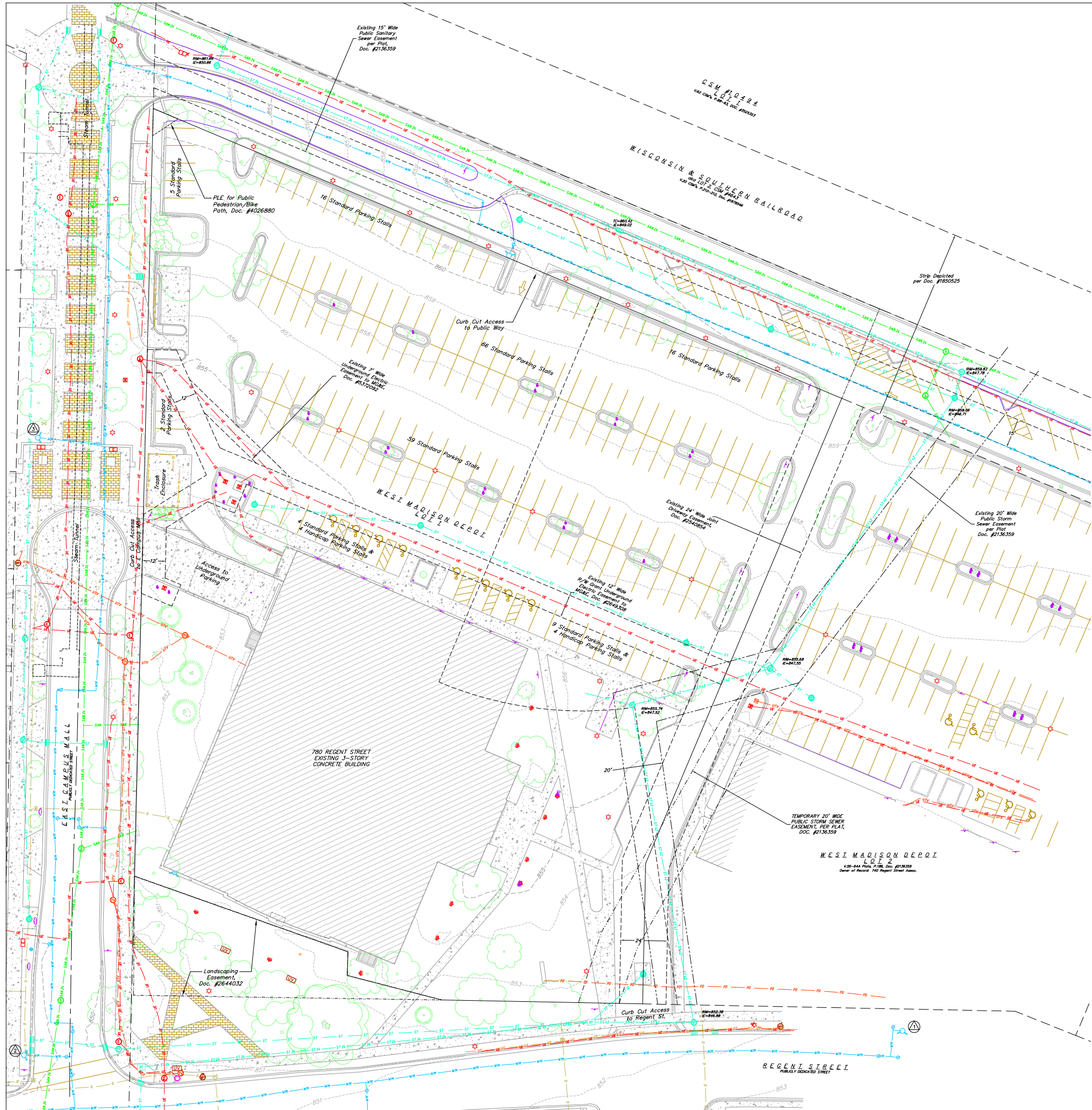
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218051

Sheet Title  
COVER SHEET

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Sheet No.  
G000



**TOPOGRAPHIC LINEWORK LEGEND**

UTV	EXISTING UNDERGROUND CABLE TV
UT	EXISTING UNDERGROUND TELEPHONE
GF	EXISTING GENERAL FENCE
WF	EXISTING WOOD FENCE
GL	EXISTING GAS LINE
EL	EXISTING UNDERGROUND ELECTRIC LINE
SS	EXISTING SANITARY SEWER LINE (SIZE NOTED)
ST	EXISTING STORM SEWER LINE (SIZE NOTED)
WM	EXISTING WATER MAIN (SIZE NOTED)
B20	EXISTING MAJOR CONTOUR
B18	EXISTING MINOR CONTOUR

**TOPOGRAPHIC SYMBOL LEGEND**

EXISTING BOLLARD	EXISTING ELECTRIC RECTANGULAR MANHOLE
EXISTING FLAG POLE	EXISTING TRANSFORMER
EXISTING SIGN	EXISTING LIGHT POLE
EXISTING PARKING METER	EXISTING GENERIC LIGHT
EXISTING CURB INLET	EXISTING TV MANHOLE
EXISTING FIELD INLET RECTANGULAR	EXISTING TV PEDESTAL
EXISTING FIELD INLET	EXISTING TELEPHONE MANHOLE
EXISTING STORM MANHOLE	EXISTING UNIDENTIFIED MANHOLE
EXISTING STORM MANHOLE RECTANGULAR	EXISTING UNIDENTIFIED UTILITY VAULT
EXISTING SANITARY MANHOLE	EXISTING HANDICAP PARKING
EXISTING FIRE HYDRANT	EXISTING TRAFFIC SIGNAL
EXISTING FIRE DEPARTMENT CONNECTION	EXISTING SHRUB
EXISTING WATER MAIN VALVE	EXISTING CONIFEROUS TREE
EXISTING GAS VALVE	EXISTING DECIDUOUS TREE
EXISTING GAS METER	
EXISTING ELECTRIC MANHOLE	

**HATCHING LEGEND**

EXISTING CONCRETE
EXISTING BRICK PAVERS

- NOTES:**
- THIS SURVEY IS BASED UPON FIELD SURVEY WORK PERFORMED ON AUGUST 16 THROUGH AUGUST 23, 2018. ANY CHANGES IN SITE CONDITIONS AFTER AUGUST 23, 2018 ARE NOT REFLECTED BY THIS SURVEY. ADDITIONAL FIELD SURVEY WORK WAS PERFORMED ON FEBRUARY 22, 2019.
  - EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN OF RECORD DRAWINGS. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
  - CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING SANITARY SEWER, STORM SEWER AND WATER MAIN PRIOR TO CONSTRUCTION TO ENSURE PROPER CLEARANCE OF THE NEW UTILITIES. CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES DURING CONSTRUCTION. ANY DAMAGE TO THE EXISTING UTILITIES AND ANY REPAIRS NEEDED AS A RESULT OF THE DAMAGE SHALL BE AT THE EXPENSE OF THE CONTRACTOR REGARDLESS OF THE LOCATION MARKED IN THE FIELD OR SHOWN ON THE PLANS.
  - THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE AND LOCATING ALL EXISTING UTILITIES AND ENSURE PROPER CLEARANCE OF NEW UTILITIES.



**SITE BENCHMARKS**

- ARROW BOLT ON FIRE HYDRANT LOCATED ON NORTH SIDE OF REGENT STREET, APPROXIMATELY 430' EAST OF THE INTERSECTION WITH EAST CAMPUS MALL. ELEV = 855.83
- ARROW BOLT ON FIRE HYDRANT LOCATED IN THE NORTHWEST QUADRANT OF REGENT STREET AND EAST CAMPUS MALL. ELEV = 852.43
- TAG BOLT ON FIRE HYDRANT LOCATED ON THE WEST SIDE OF EAST CAMPUS MALL APPROXIMATELY 65' NORTH OF THE CUL-DE-SAC. ELEV = 854.77



THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE  
1-800-242-8511

Revisions

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SUBMITTAL

SCOPE DOCUMENTS  
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UW CAMPUS HOTEL

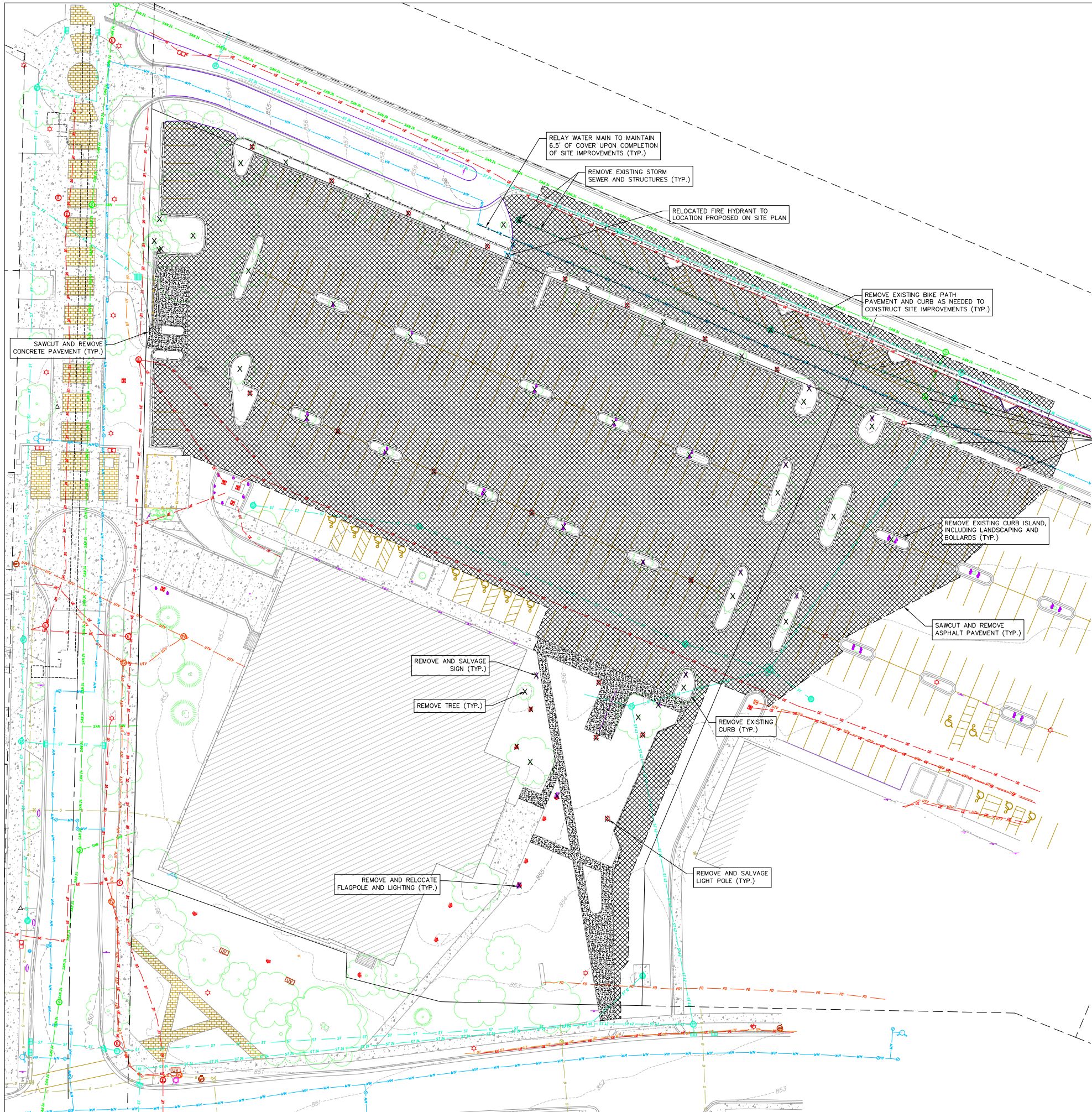
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Project No.  
218051

Sheet Title  
EXISTING  
CONDITIONS  
PLAN

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Sheet No.  
C100



DEMOLITION PLAN LEGEND	
	CURB AND GUTTER REMOVAL
	ASPHALT REMOVAL
	CONCRETE REMOVAL
	BUILDING REMOVAL
	TREE REMOVAL
	SAWCUT
	UTILITY STRUCTURE REMOVAL
	UTILITY LINE REMOVAL



Revisions

- DEMOLITION/EROSION CONTROL NOTES:
1. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
  2. COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
  3. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
  4. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
  5. COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO 12" BELOW PROPOSED SUBGRADE.
  6. IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
  7. ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE ABANDONMENT OF ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
  8. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
  9. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
  10. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.

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Sheet Title  
DEMOLITION  
PLAN

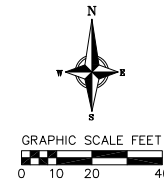
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Sheet No.  
C101

SITE PLAN LEGEND	
	PROPERTY BOUNDARY
	CURB AND GUTTER (REVERSE CURB HATCHED)
	PROPOSED CHAIN LINK FENCE
	PROPOSED WOOD FENCE
	PROPOSED CONCRETE
	PROPOSED LIGHT-DUTY ASPHALT
	DECORATIVE PAVEMENT
	PROPOSED SIGN
	PROPOSED LIGHT POLE
	PROPOSED BOLLARD
	PROPOSED ADA DETECTABLE WARNING FIELD
	PROPOSED HANDICAP PARKING

Parking Lot Plan Site Information Block	
Site Address: 760 REGENT ST	
Site acreage (total): 51,737 SF (1.19 ACRES)	
Number of building stories (above grade): 6	
Building height: 72'-0"	
DLRR type of construction (new structures): IIB	
Total square footage of building: 180,816 SF TOTAL	
(75,706 SF PARKING, 22,090 HOTEL COMMON/BOH, 83,020 GUEST ROOMS)	
Use of property:	
Gross square feet of building: 180,816 SF	
Gross square feet of retail area: N/A	
Number of employees in warehouse: N/A	
Number of employees: 65 TOTAL; 45 FULL-TIME; 15 PART-TIME	
Capacity of restaurant/place of assembly: 199 TOTAL	
Number of bicycle stalls shown: 18 INTERIOR	
Number of parking stalls:	
Large Car	175
Accessible	4
Total	239
Number of trees shown: See Landscape Plan	

- GENERAL NOTES:
1. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER, WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
  2. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.
  3. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
  4. DIMENSIONS RELATING TO CURB ARE TO FACE OF CURB.
  5. CROSS-SLOPE OF SIDEWALKS SHALL BE 2% UNLESS OTHERWISE NOTED.
  6. LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
  7. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
  8. ACCESSIBLE ROUTES SHALL BE 5% MAX LONGITUDINAL SLOPE AND 2% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.
  9. ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
  10. PROVIDE ALL NECESSARY TEMPORARY TRAFFIC CONTROL PER MUTCD AND CITY OF MADISON REQUIREMENTS.

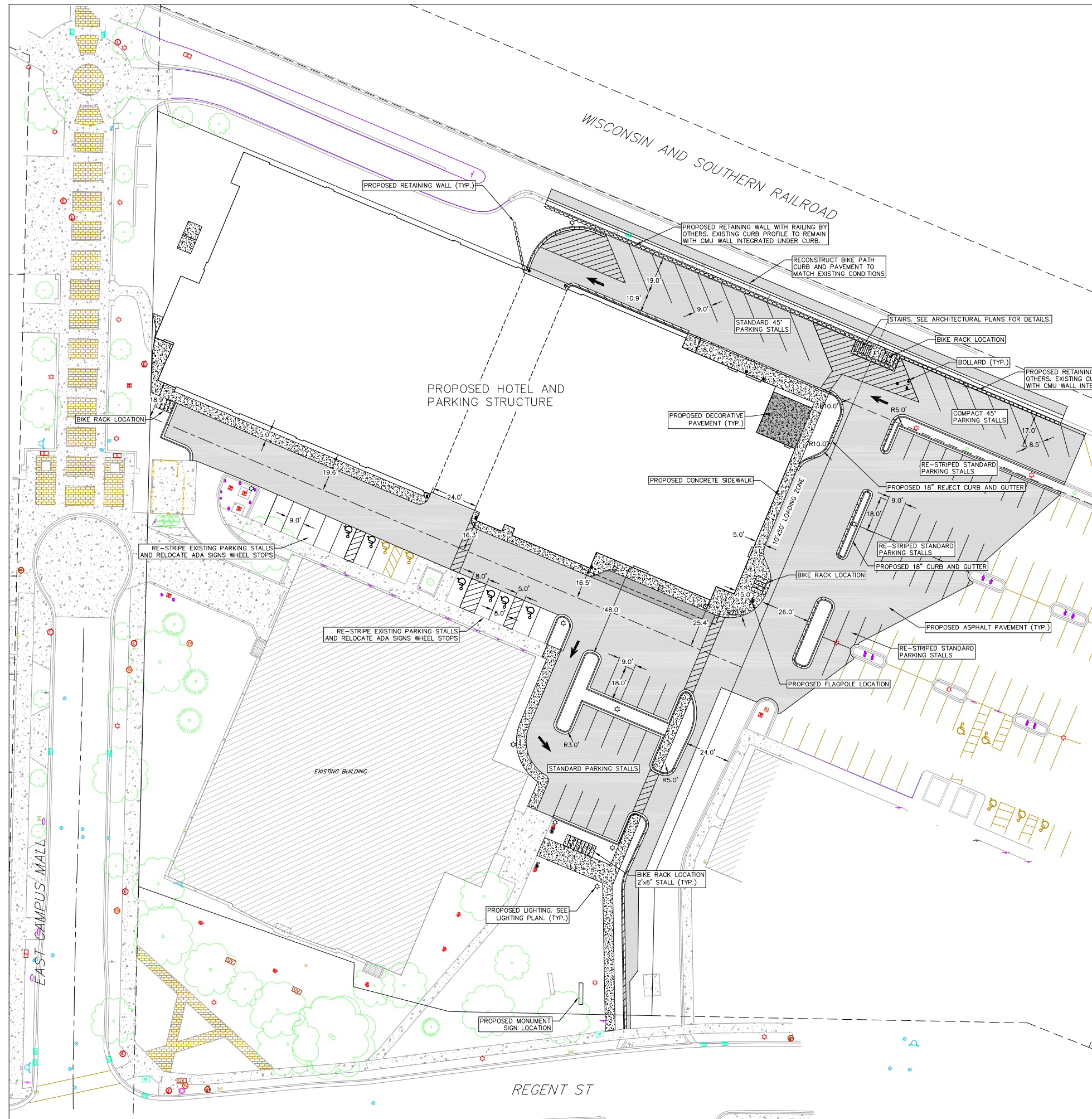


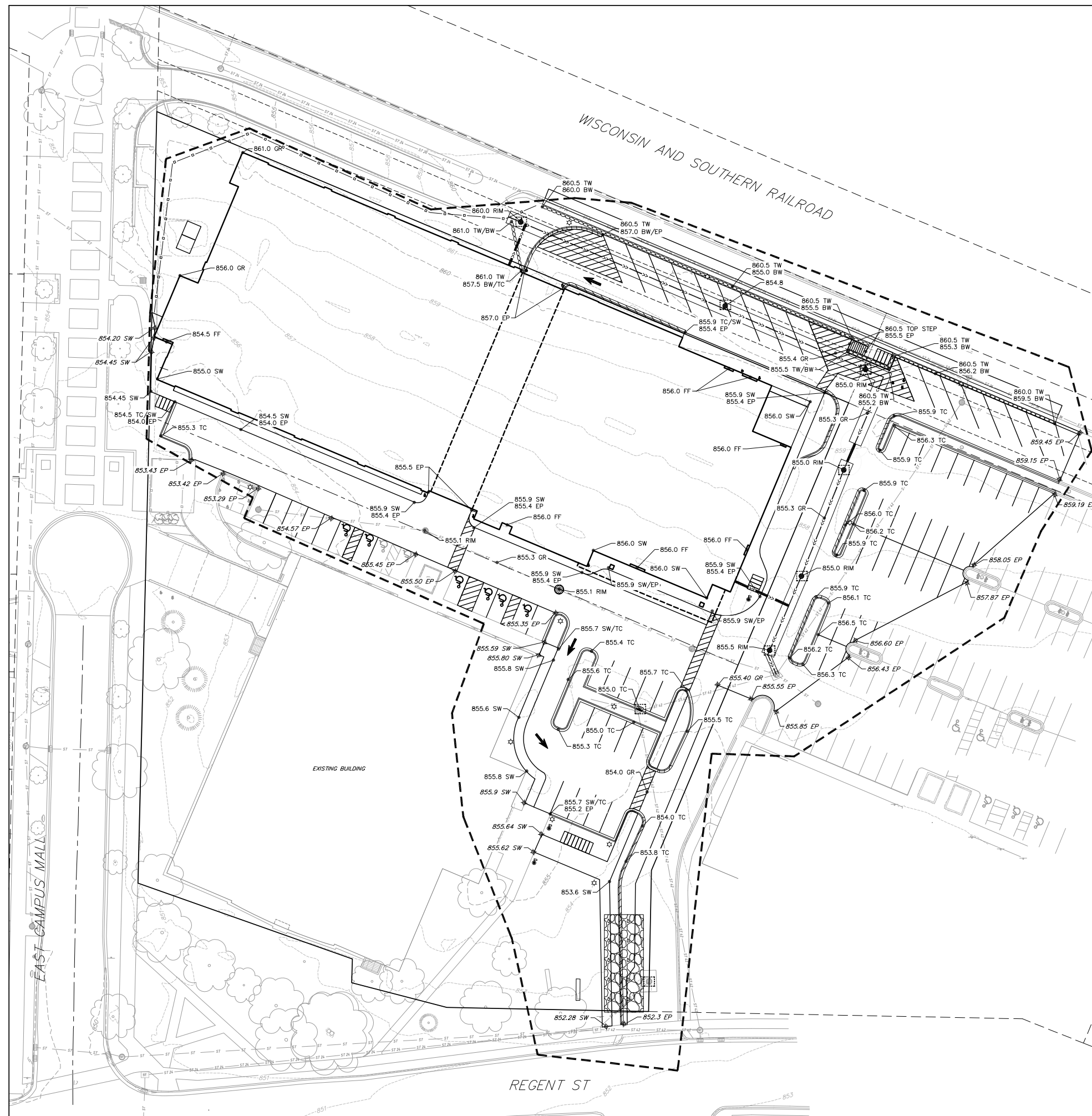
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SITE PLAN

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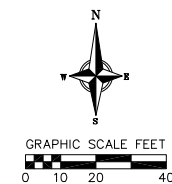


- GRADING LEGEND**
- 820 EXISTING MAJOR CONTOURS
  - 818 EXISTING MINOR CONTOURS
  - 820 PROPOSED MAJOR CONTOURS
  - 818 PROPOSED MINOR CONTOURS
  - DITCH CENTERLINE
  - SILT FENCE
  - DISTURBED LIMITS
  - BERM
  - DRAINAGE DIRECTION
  - 2.92% PROPOSED SLOPE ARROWS
  - 1048.61 EXISTING SPOT ELEVATIONS
  - 1048.61 PROPOSED SPOT ELEVATIONS
  - STONE WEEPER
  - VELOCITY CHECK
  - INLET PROTECTION
  - EROSION MAT CLASS I, TYPE A
  - EROSION MAT CLASS II, TYPE B
  - TRACKING PAD
  - RIP RAP

- ABBREVIATIONS**
- TC - TOP OF CURB
  - FF - FINISHED FLOOR
  - FL - FLOW LINE
  - SW - TOP OF WALK
  - TW - TOP OF WALL
  - BW - BOTTOM OF WALL
  - EP - EDGE OF PAVEMENT
  - GR - GRADE

**GRADING NOTES:**

- ALL GRADES SHOWN ARE FINISHED GRADES. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
- SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.
- INSTALL A 50' L X 20' W X 1.5' D TRACKING PAD AT THE SITE ENTRANCE. THE TRACKING PAD SHALL BE MAINTAINED/REPAIRED AS NECESSARY TO ACCOMMODATE CONSTRUCTION.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR. ALL MAINTENANCE/REPAIR WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- INSTALL W DOT TYPE D INLET PROTECTION IN EXISTING CURB INLETS AND W DOT TYPE A IN FIELD INLETS.
- THE CONTRACTOR SHALL REMOVE ANY SEDIMENT TRACKED ONTO ADJACENT ROADS BY MEANS OF STREET SWEEPING (NOT FLUSHING) AT A MINIMUM OF THE END OF EACH WORK DAY OR MORE AS NEEDED.



Revisions

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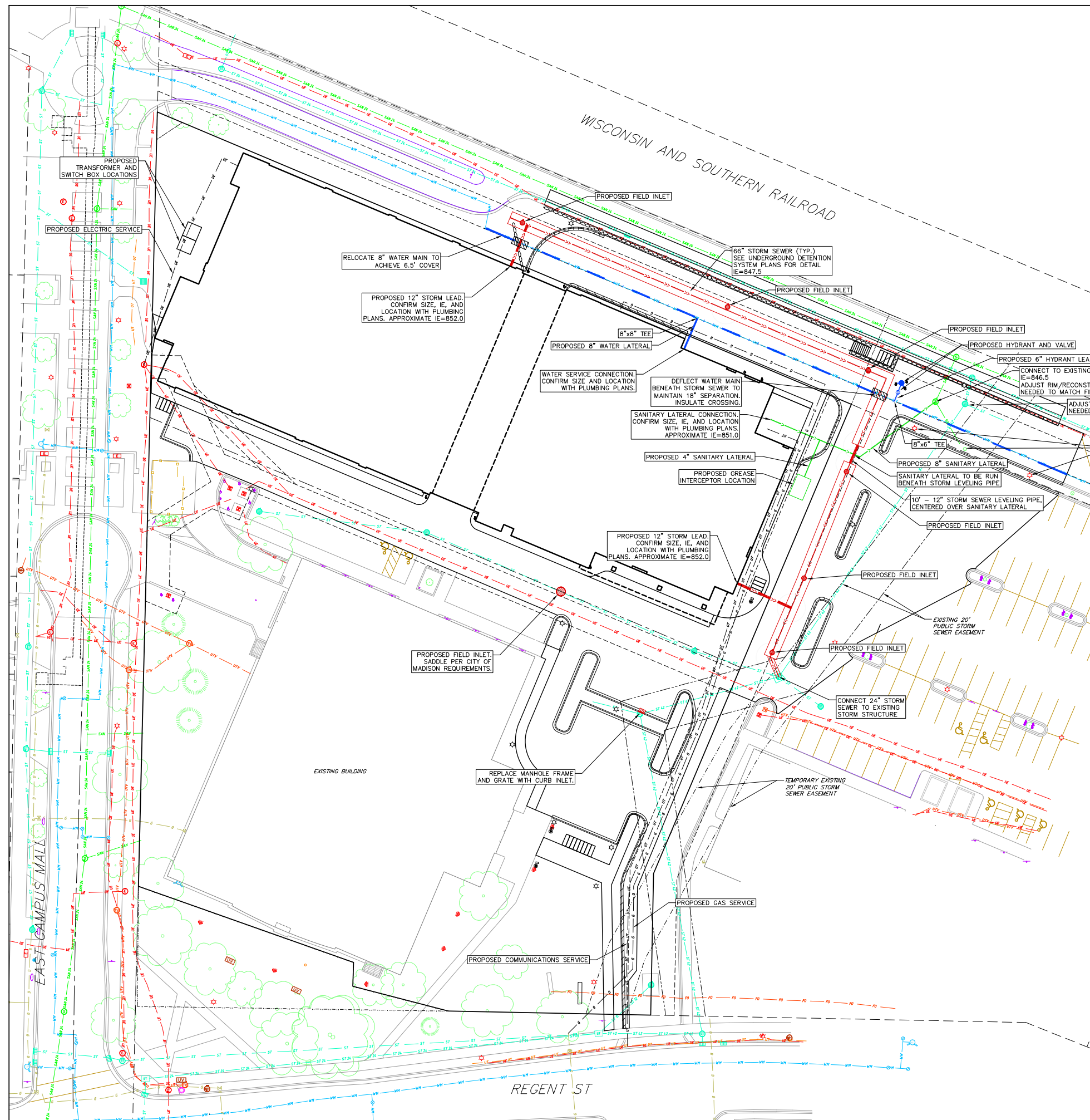
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Sheet Title  
GRADING & EROSION  
CONTROL PLAN

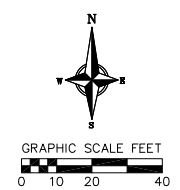
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C300



PROPOSED UTILITY LEGEND	
	STORM SEWER PIPE
	STORM SEWER MANHOLE
	STORM SEWER ENDWALL
	STORM SEWER CURB INLET
	STORM SEWER CURB INLET W/MANHOLE
	STORM SEWER FIELD INLET
	ROOF DRAIN CLEANOUT
	SANITARY SEWER PIPE (GRAVITY)
	SANITARY SEWER PIPE (FORCE MAIN)
	SANITARY SEWER LATERAL PIPE
	SANITARY SEWER MANHOLE
	SANITARY SEWER CLEANOUT
	WATER MAIN
	WATER SERVICE LATERAL PIPE
	FIRE HYDRANT
	WATER VALVE
	CURB STOP
	WATER VALVE MANHOLE
	PROPOSED PIPE INSULATION
	GAS MAIN
	ELECTRIC SERVICE

ABBREVIATIONS	
STMH	STORM MANHOLE
FI	FIELD INLET
CI	CURB INLET
CB	CATCH BASIN
EW	ENDWALL
SMH	SANITARY MANHOLE

- UTILITY NOTES:
- CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
  - SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
  - CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
  - CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF-WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
  - FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
  - IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED FROM THE DNR PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
  - A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
  - STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
  - PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
  - PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
  - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(8)(k).
  - EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b.).
  - NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
  - SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
  - CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
  - PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
  - ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
  - CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
  - FOR WATER SERVICES AND HYDRANT LEADS, ALL MECHANICAL JOINTS TO BE RESTRAINED WITH MEGALUG 1100 OR APPROVED EQUAL. PIPE JOINTS TO BE RESTRAINED AS INDICATED WITH MEGALUG 1700 HARNESS OR APPROVED EQUAL.
  - CONNECTIONS TO EXISTING WATER MAIN TO BE BY LIVE TAPPING. CONTRACTOR IS RESPONSIBLE FOR ALL CONNECTION FEES AND COSTS PAYABLE TO THE CITY OF MADISON FOR LIVE TAPPING, AND ALL OTHER WORK AND COSTS ASSOCIATED WITH LIVE TAPPING.



Revisions

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UTILITY PLAN  
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C400

EROSION CONTROL MEASURES

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WisDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
7. CHANNELIZED RUNOFF: FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
8. STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
9. SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
10. WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT PER PLAN BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
11. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
12. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN OR THE DETENTION BASIN DETAIL SHEET.
13. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
14. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
15. EROSION MAT (CLASS I, TYPE A URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
16. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER THIS SHEET. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
17. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
18. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
19. ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM ALL PERMANENT BASINS TO THE ELEVATION SHOWN ON THE GRADING PLAN FOLLOWING THE STABILIZATION OF DRAINAGE AREAS.
20. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
21. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY DANE COUNTY LAND CONSERVATION OR PERMITTING MUNICIPALITY.
22. THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE AND TRACKING PAD
2. STRIP TOPSOIL-DETENTION BASINS
3. ROUGH GRADE DETENTION BASINS
4. SEED DETENTION BASINS
5. STRIP TOPSOIL-STREETS & LOTS
6. ROUGH GRADE STREETS & LOTS
7. SEED LOT AREAS AND INSTALL DRIVE-OVER VELOCITY CHECKS
8. CONSTRUCT UNDERGROUND UTILITIES
9. INSTALL INLET PROTECTION
10. CONSTRUCT ROADS (STONE BASE, CURB & GUTTER, AND SIDEWALK). REMOVE DRIVE-OVER VELOCITY CHECKS WHEN BASE COURSE IS PLACED
11. RESTORE TERRACES
12. REMOVE TRACKING PAD, SILT FENCE AND DIVERSION BERM MEASURES AFTER DISTURBED AREAS ARE RESTORED

SEEDING RATES:

TEMPORARY:

1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

PERMANENT:

1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

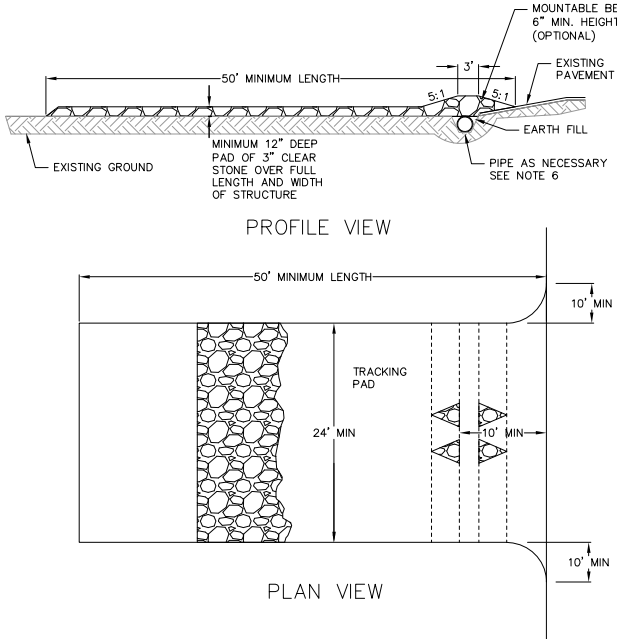
TEMPORARY AND PERMANENT:

- USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

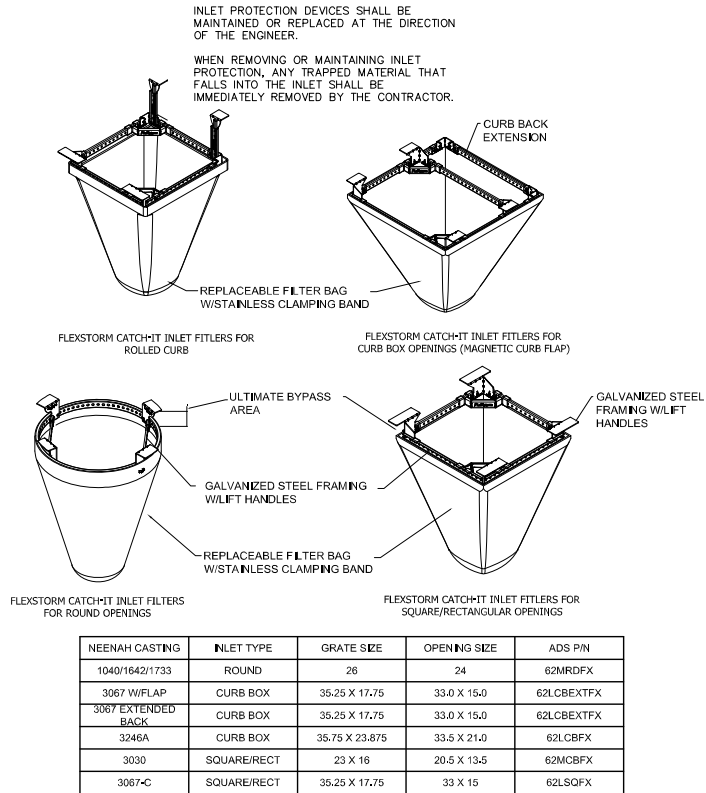
TEMPORARY AND PERMANENT:

- USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.

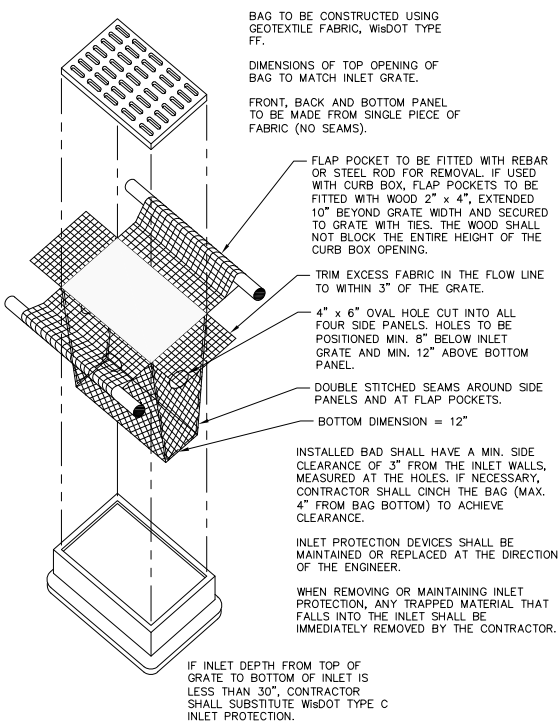


1. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
2. LENGTH - MINIMUM OF 50'
3. WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
4. ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
5. STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
7. LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

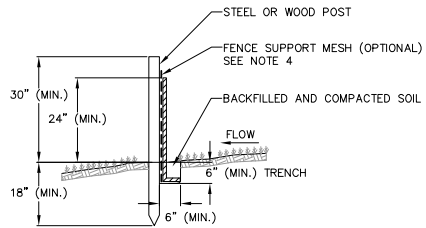
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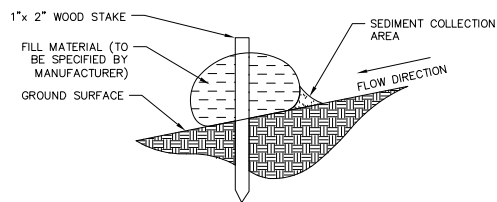
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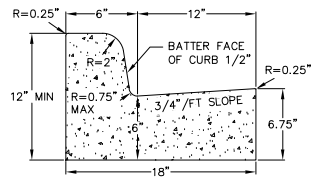
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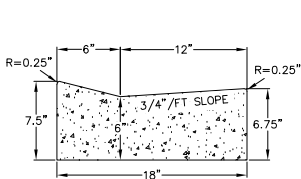
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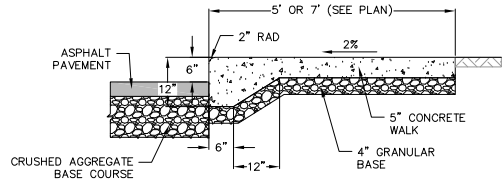
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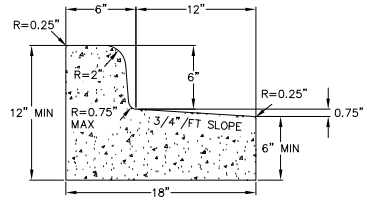
CURB AND GUTTER  
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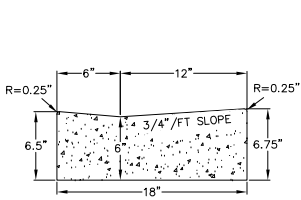
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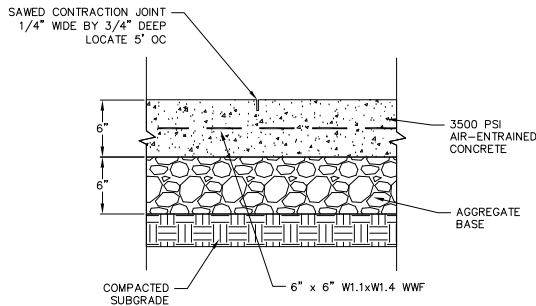
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1 CURBED SIDEWALK SITE DETAIL  
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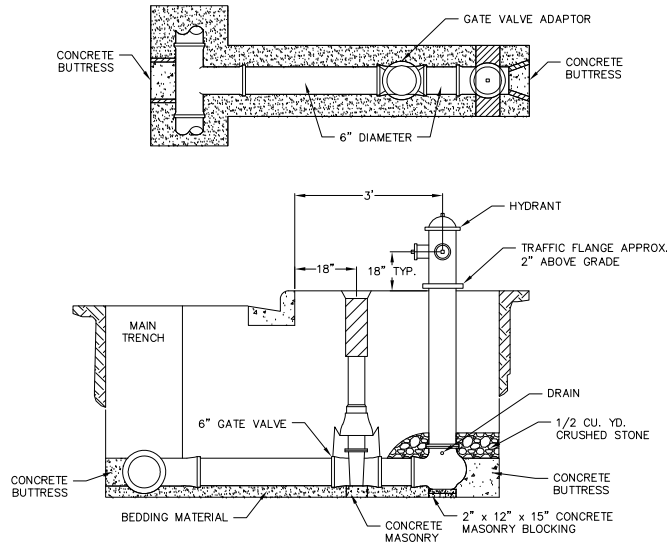
CURB AND GUTTER  
REJECT SECTION



HANDICAP RAMP  
GUTTER CROSS SECTION

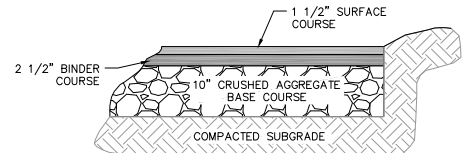


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1 CONCRETE PAD  
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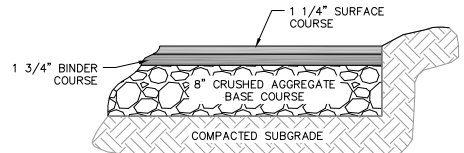


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1 STANDARD HYDRANT SETTING  
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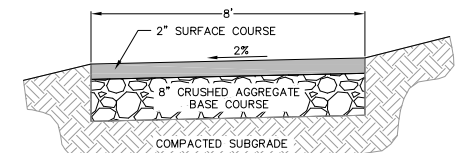
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1 18" CONCRETE CURB AND GUTTER  
NOT TO SCALE



BITUMINOUS PAVEMENT DRIVES



BITUMINOUS PAVEMENT  
PARKING LOT



BITUMINOUS PAVEMENT  
BIKE PATH

1  
1 SITE PAVEMENT  
NOT TO SCALE

Revisions

CITY OF MADISON UDC  
SUBMITTAL

SCOPE DOCUMENTS

Drawing Date

April 12, 2019

UW CAMPUS HOTEL

780 Regent Street  
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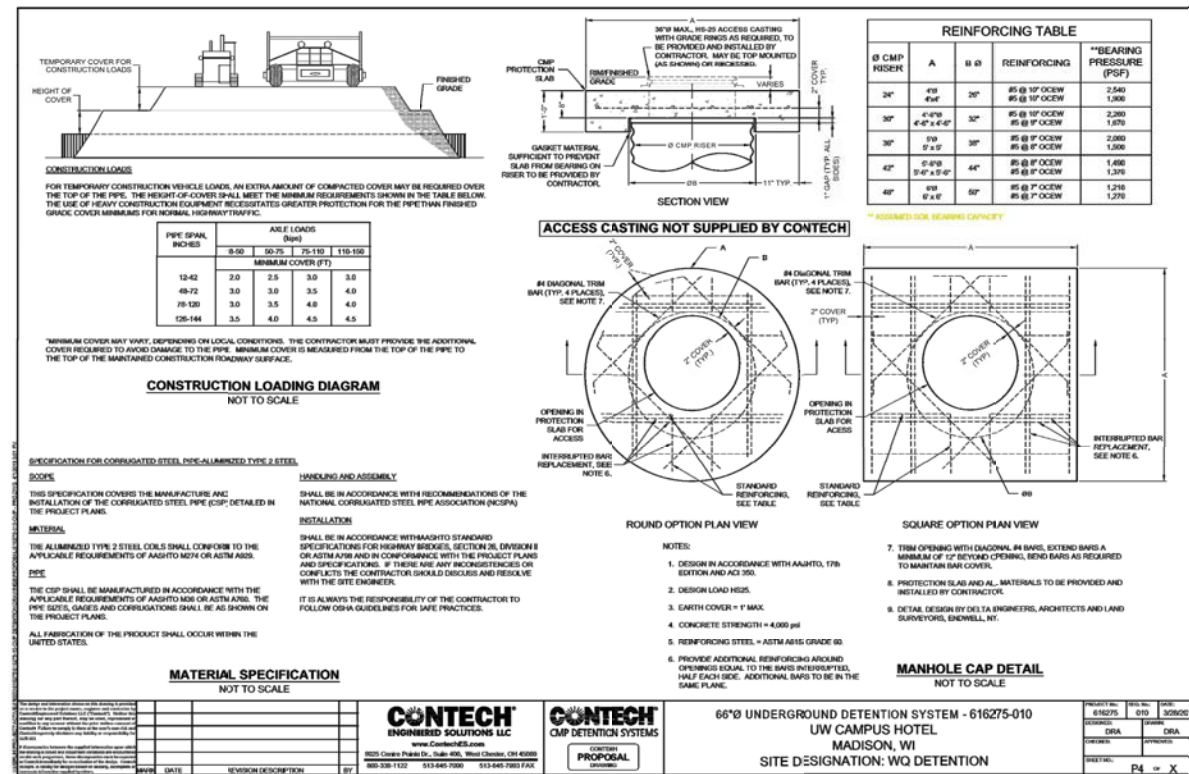
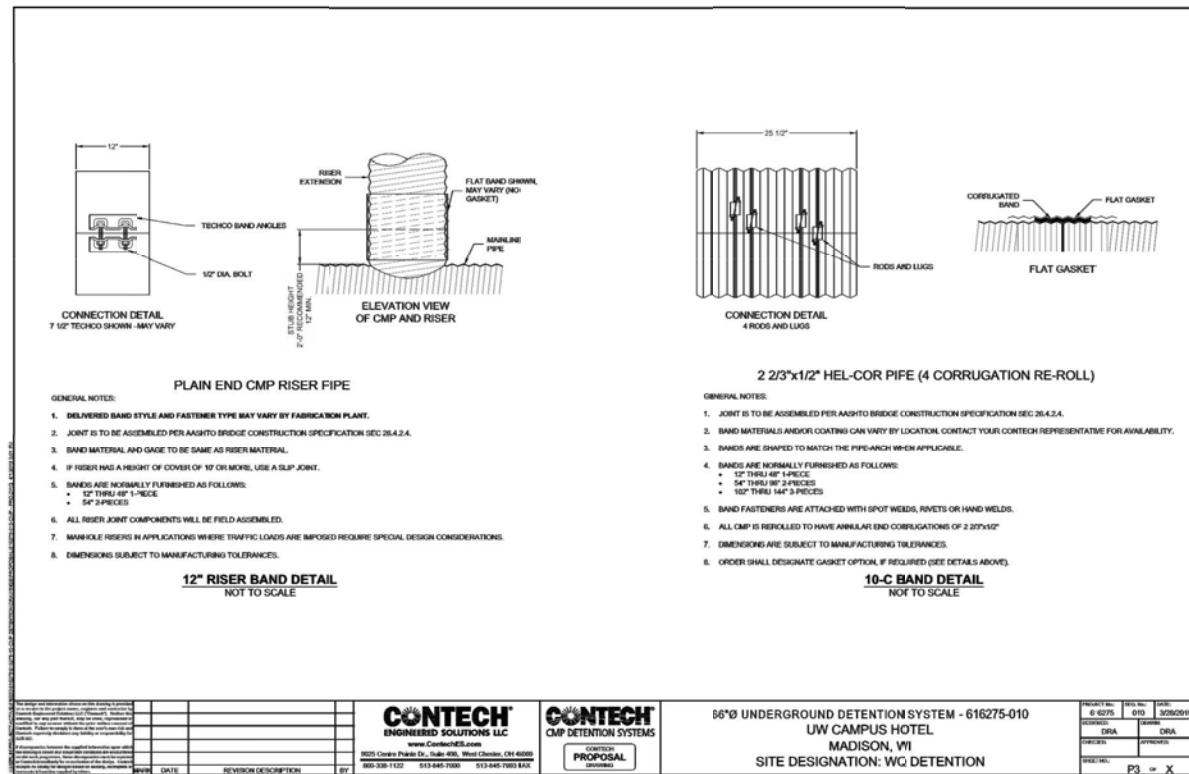
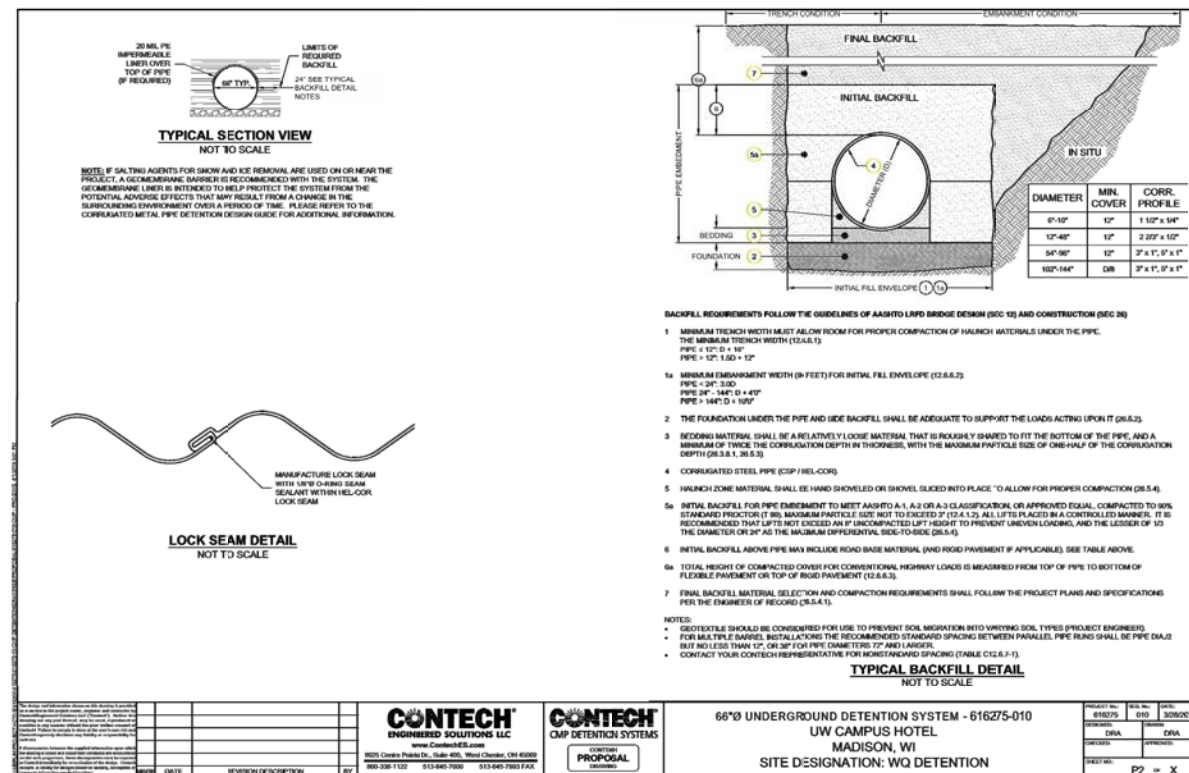
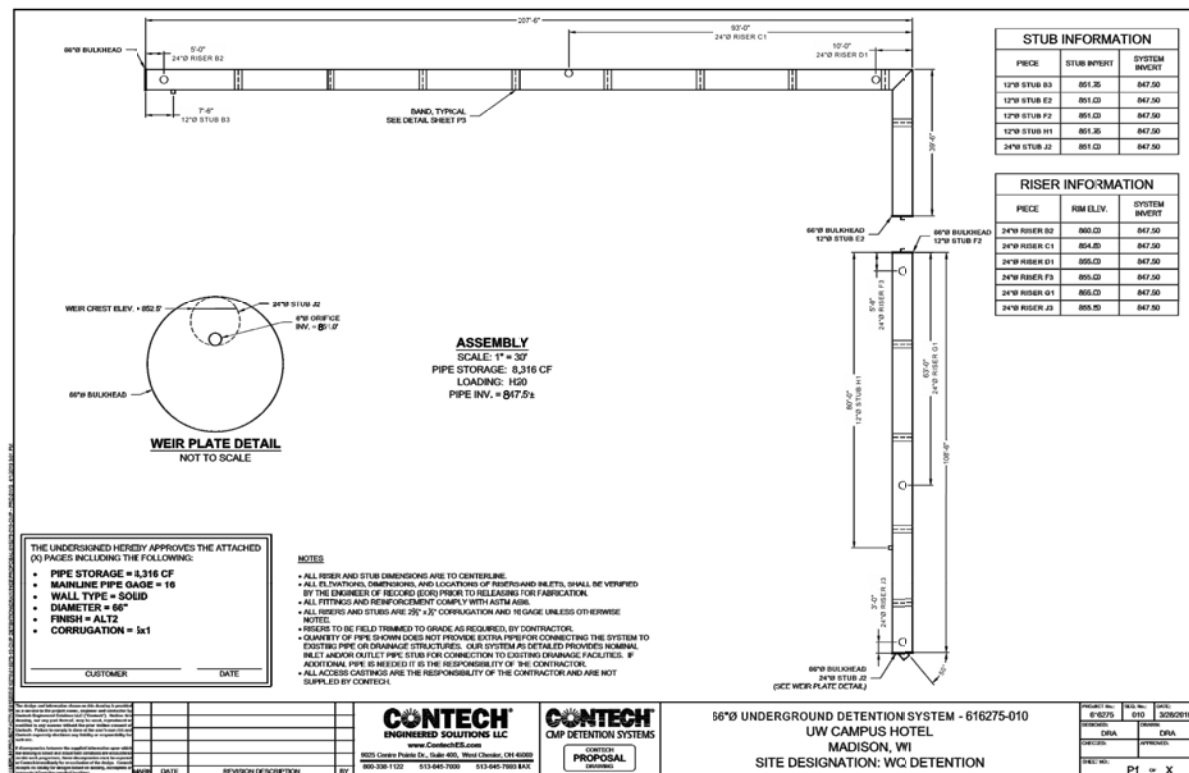
Project No. Mortenson  
218051

Sheet Title  
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DETAILS

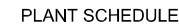
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Sheet No.

C501



CITY OF MADISON UDC  
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 SCOPE DOCUMENTS  
 Drawing Date  
 April 12, 2019  
 UW CAMPUS HOTEL  
 780 Regent Street  
 Madison, WI 53715  
 Project No. Mortenson  
 218051  
 Sheet Title  
 CONSTRUCTION  
 DETAILS



### SEEDING/DECORATIVE PAVING SCHEDULE

**GENERAL NOTES:**

- 
- GRAPHIC SCALE FEET
- 0 10 20 40

## Revisions

UW CAMPUS HOTEL

780 Regent Street  
Madison, WI 53715

Project No.	Mortenson
218051	

Sheet **T1e**  
**LANDSCAPE PLAN**

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L101



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Revisions

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Drawing Date  
APRIL 12, 2019  
UW CAMPUS HOTEL

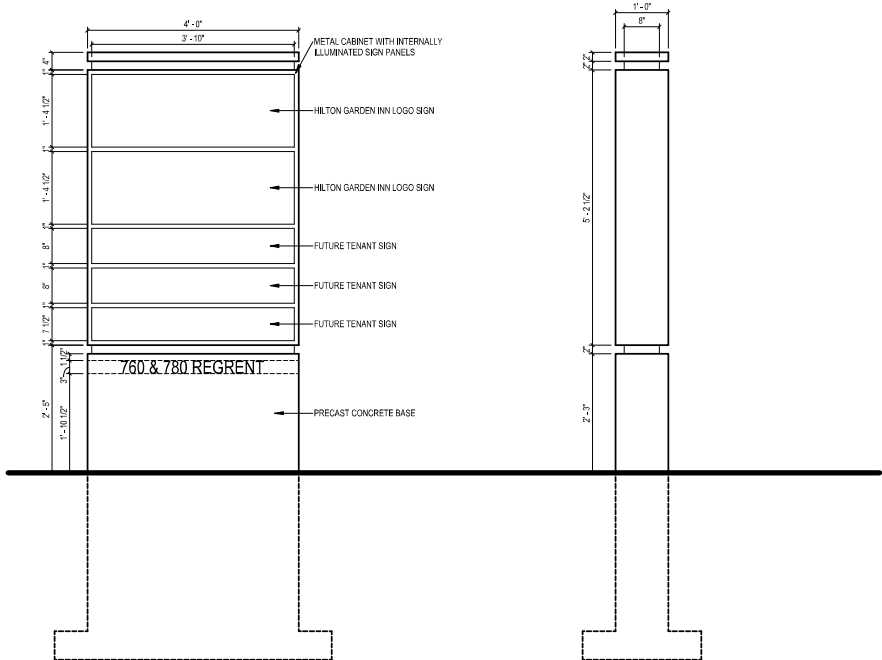
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Madison, WI 53715

Project No. Mortenson  
218051

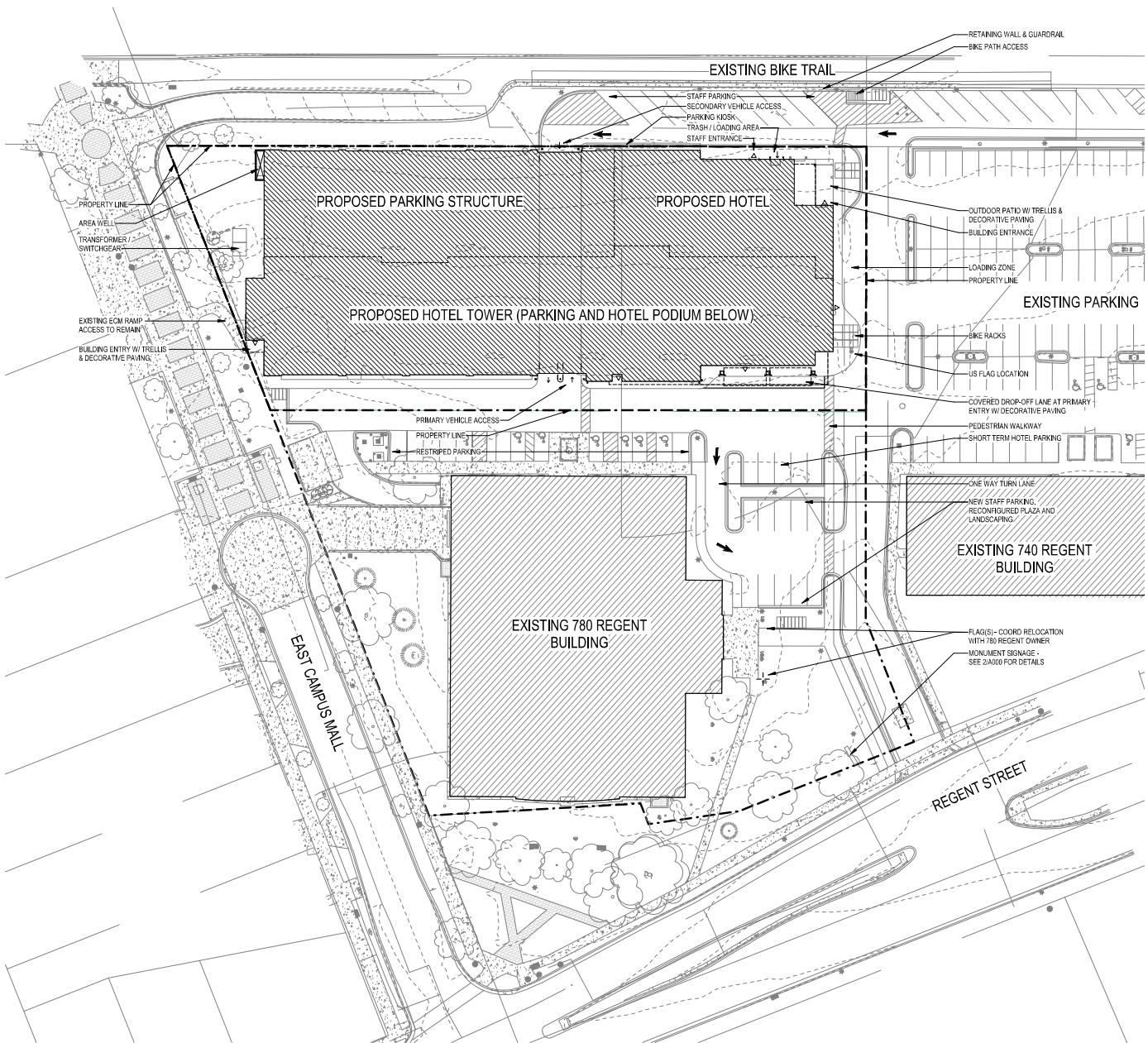
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ARCHITECTURAL SITE PLAN/  
SIGNAGE

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Sheet No.  
A000



2 MONUMENT SIGNAGE  
3/4" = 1'-0"



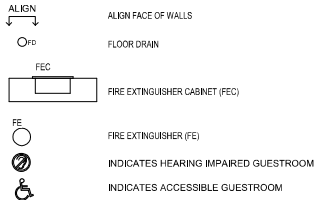
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1/32" = 1'-0"

0 8 16 32 64

PARKING	COUNT	PERCENT
REGULAR	175	73%
COMPACT	60	25%
ADA	02	1%
VAN ADA	02	1%
TOTAL	239	100%
BIKE PARKING AREAS: 18 SPACES AVAILABLE		

PARKING TOTALS

PLAN LEGEND

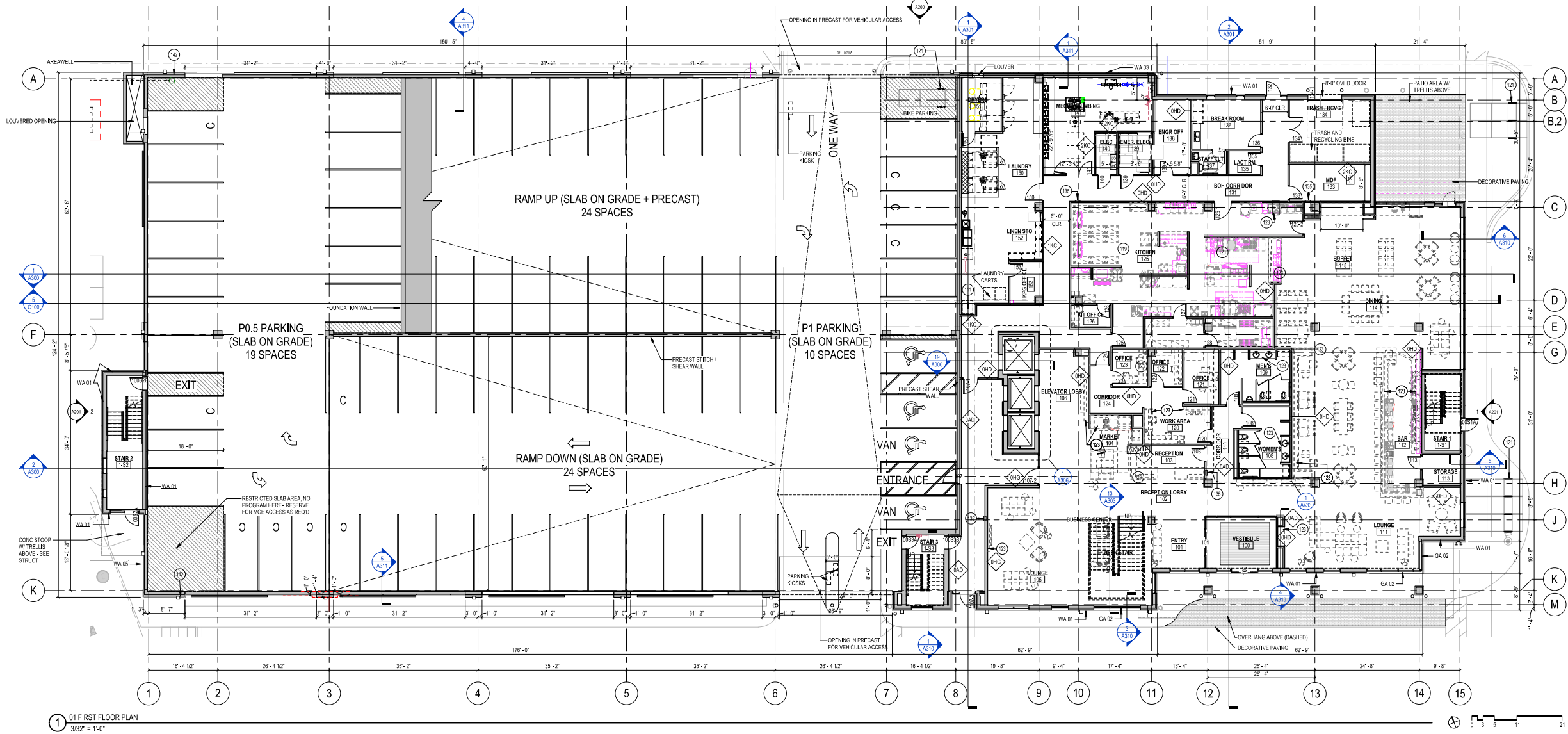


KEYNOTES

111	LINEN SHUTE
119	WALK-IN FREEZER/COOLER - PROVIDE CLOSURE PANEL FROM CEILING TO TOP OF FREEZER/COOLER UNITS. COORDINATE RECESSED SLAB REQUIREMENTS WITH GC / STRUCTURAL ENGINEER
120	KITCHEN EXHAUST HOOD - COORDINATE ALL PENETRATIONS W/ MEP
121	BIKE RACK
123	MILWORK - SEE INTERIOR DESIGN
135	SEMI RECESSED FIRE EXTINGUISHER CABINET
142	ALL WALLMANS TO MATCH W/MT FINISH OUTER 3 FACES
GA 02	GLAZING ASSEMBLY 02 - CURTAIN WALL
WA 01	WALL ASSEMBLY 01 - PRECAST INSULATED WALL PANEL
WA 03	WALL ASSEMBLY 03 - METAL PANEL W/ CMF BACKUP WALL
WA 05	WALL ASSEMBLY 05 - MASONRY W/ CMF BACKUP WALL

GENERAL NOTES

- BUILDING SHALL BE CONSTRUCTED TO MEET THE REQUIREMENTS AND QUALITY LEVEL DESCRIBED IN CURRENT HILTON GARDEN INN DESIGN L&C.
- VERIFY DIMENSIONS, CONDITIONS AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
- DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
- COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
- REFER TO PARTITION SCHEDULE ON G160 FOR TYPICAL PARTITION TYPES. GUESTROOM CORRIDOR WALLS TO HAVE 120 MIN FIRE RATING. WALLS SEPARATING ADJACENT GUESTROOMS TO HAVE 1 HOUR FIRE RATING.
- PIPING, CONDUIT AND RELATED MECHANICAL AND ELECTRICAL ITEMS SHALL BE CONCEALED WITHIN CRYSTUM BOARD FLOORING IN FINISHED AREAS.
- PROVIDE METAL PLATE AND/OR WOOD BLOCKING IN ALL WALLS & PARTITIONS IN PUBLIC AND PRIVATE SPACES FOR ALL WALL-MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO: ARTWORK, TELEVISIONS, LIGHT FIXTURES, MIRRORS, AND TOILET ACCESSORIES. VERIFY LOCATION WITH ELEVATIONS AND EQUIPMENT.
- CONFIRM ALL INTERIOR GUESTROOM WALLS WITH ENLARGED TYPICAL GUESTROOM PLANS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
- LAYOUTS OF FITNESS CENTER AND LAUNDRY ROOM ARE FOR SCHEMATIC PURPOSES ONLY. OWNER, SUPPLIER AND MANUFACTURERS TO COORDINATE FINAL LAYOUT, QUANTITIES, ETC.
- MILWORK AND FINE ITEMS SHOWN FOR REFERENCE. SEE INTERIOR DESIGN DRAWINGS.
- PROVIDE FURNING PARTITION TYPE GAD AT COLUMN LOCATIONS - TYPICAL.



Revisions

CITY OF MADISON UDC  
SUBMITTAL

SCOPE DOCUMENTS

Drawing Date  
APRIL 12, 2019

UW CAMPUS HOTEL

780 Regent Street  
Madison, WI 53715

Project No. Mortenson  
218051

Sheet Title  
LEVEL 1 PLAN

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Sheet No.  
A101

PARKING	COUNT	PERCENT
REGULAR	175	73%
COMPACT	60	25%
ADA	02	1%
VAN ADA	02	1%
TOTAL	239	100%
BIKE PARKING AREAS: 18 SPACES AVAILABLE		

PARKING TOTALS

PLAN LEGEND

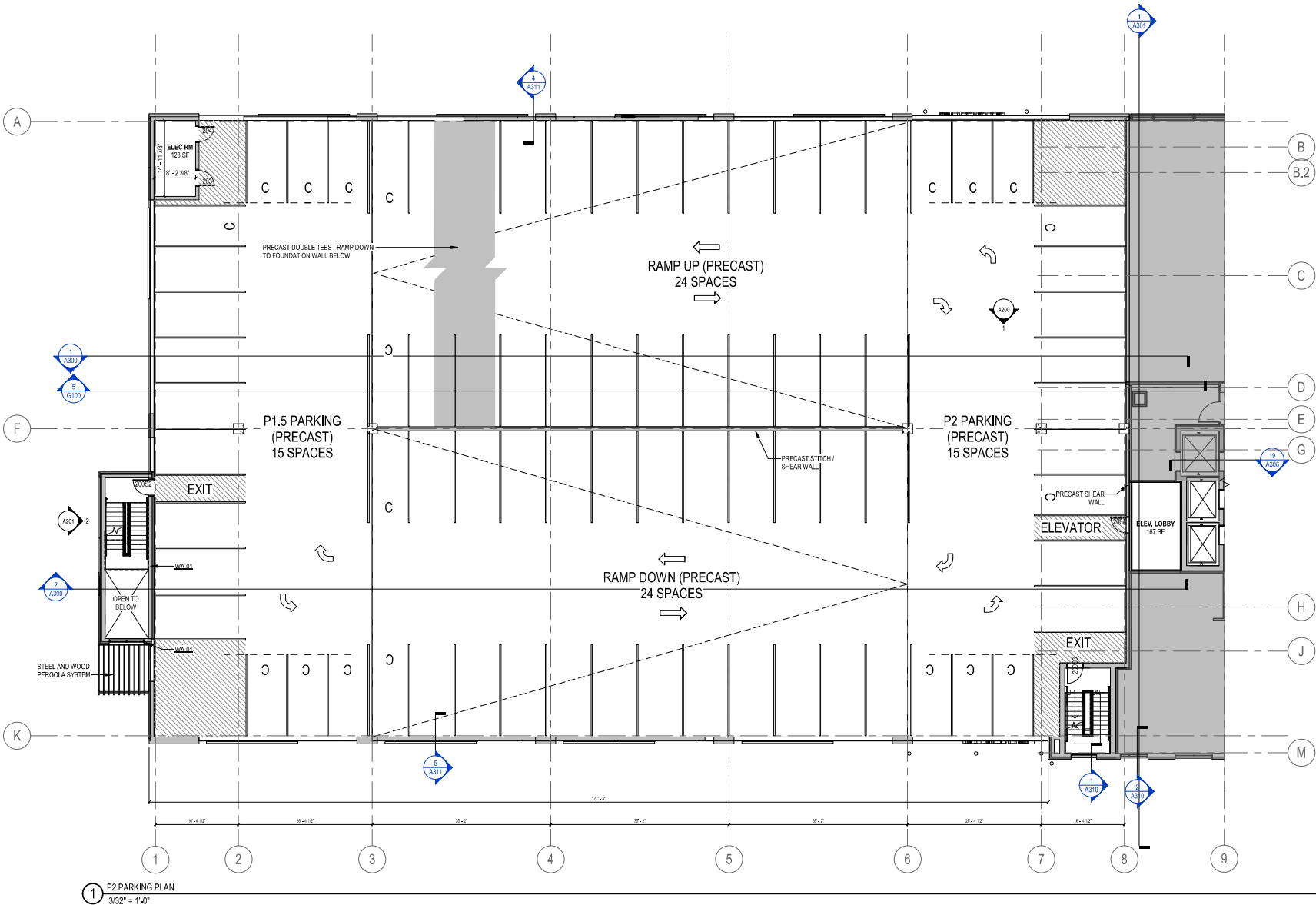
- ALIGN  
ALIGN FACE OF WALLS
- FLOOR DRAIN
- FIRE EXTINGUISHER CABINET (FEC)
- FIRE EXTINGUISHER (FE)
- INDICATES HEARING IMPAIRED GUESTROOM
- INDICATES ACCESSIBLE GUESTROOM

KEYNOTES

WA 01 WALL ASSEMBLY 01 - PRECAST INSULATED WALL PANEL

GENERAL NOTES

- BUILDING SHALL BE CONSTRUCTED TO MEET THE REQUIREMENTS AND QUALITY LEVEL DESCRIBED IN CURRENT HILTON GARDEN INN DESIGN U.N.O.
- VERIFY DIMENSIONS, CONDITIONS AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
- DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
- COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
- REFER TO PARTITION SCHEDULE ON G100 FOR TYPICAL PARTITION TYPES. GUESTROOM CORRIDOR WALLS TO HAVE 1/2 HOUR FIRE RATING. WALLS SEPARATING ADJACENT GUESTROOMS TO HAVE 1 HOUR FIRE RATING.
- PINNING, CONDUIT AND RELATED MECHANICAL AND ELECTRICAL ITEMS SHALL BE CONCEALED WITHIN GYPSUM BOARD FURRING IN FINISHED AREAS.
- PROVIDE METAL PLATE AND/OR WOOD BLOCKING IN ALL WALLS & PARTITIONS IN PUBLIC AND PRIVATE SPACES FOR ALL WALL-MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO: ARTWORK, TELEVISIONS, LIGHT FIXTURES, MIRRORS, AND TOILET ACCESSORIES. VERIFY LOCATION WITH ELEVATIONS AND EQUIPMENT.
- CONFIRM ALL INTERIOR GUESTROOM WALLS WITH ENLARGED TYPICAL GUESTROOM PLANS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
- LAYOUTS OF FITNESS CENTER AND LAUNDRY ROOM ARE FOR SCHEMATIC PURPOSES ONLY. OWNER, SUPPLIER AND MANUFACTURERS TO COORDINATE FINAL LAYOUT, QUANTITIES, ETC.
- MILLWORK AND FF&E ITEMS SHOWN FOR REFERENCE. SEE INTERIOR DESIGN DRAWINGS.
- PROVIDE FURRING PARTITION TYPE QAD AT COLUMN LOCATIONS - TYPICAL.



Revisions

CITY OF MADISON UDC  
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Drawing Date  
APRIL 12, 2019

UW CAMPUS HOTEL

780 Regent Street  
Madison, WI 53715

Project No. 218051  
Mortenson

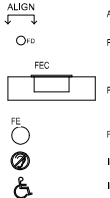
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LEVEL P2 PLAN -  
PARKING

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A102

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PLAN LEGEND

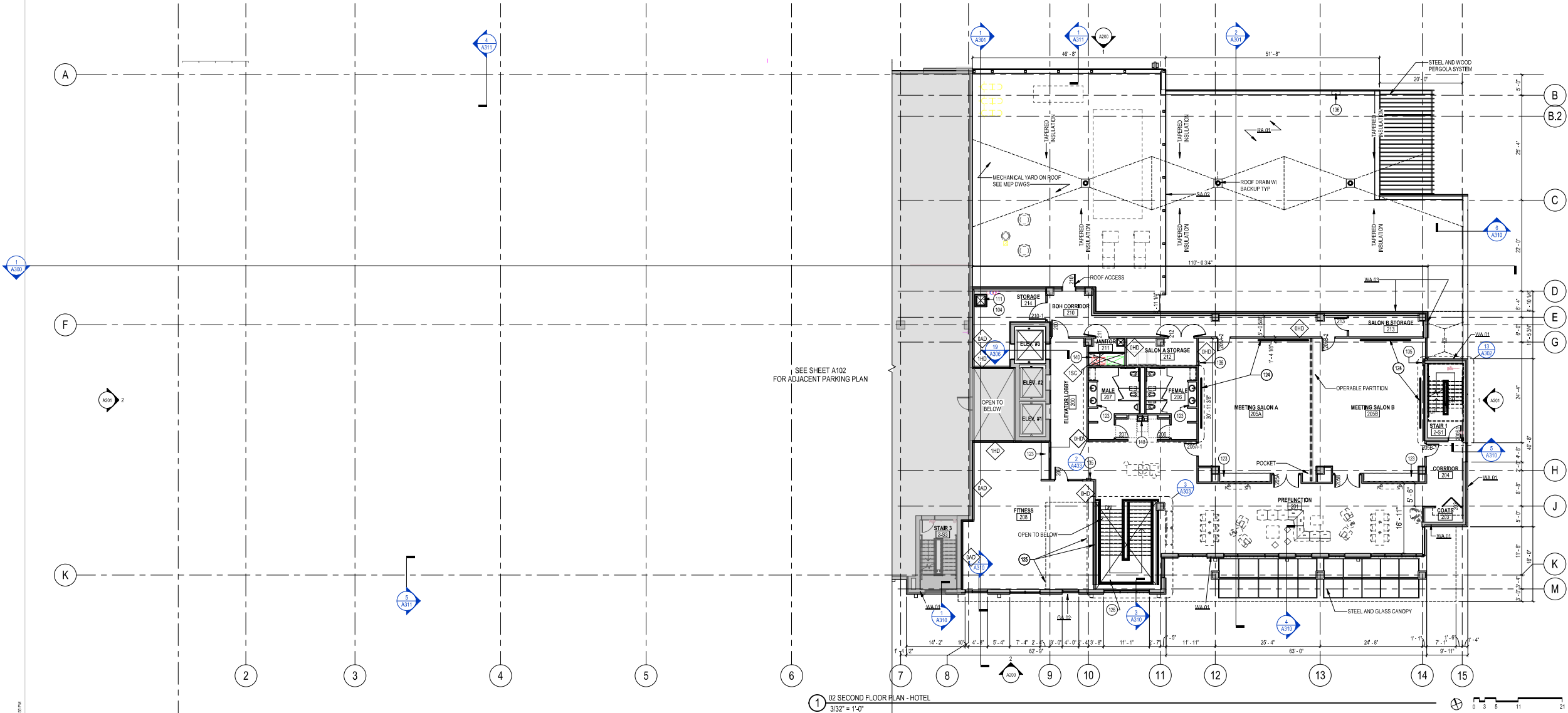


KEYNOTES

104	RATED SHAFT ENCLOSURE
111	UNEN SHATE
118	GRINDING FOUNTAIN, PROVIDE ONE ACCESSIBLE AND ONE STANDARD
123	MILWORK - SEE INTERIOR DESIGN
124	PRESENTATION AREA - SEE INTERIOR DESIGN
128	DECORATIVE WALL COILING - SEE INTERIOR DESIGN
129	OPEN STAIR WITH ORNAMENTAL RAILINGS - SEE INTERIOR DESIGN
135	SEMI RECESSED FIRE EXTINGUISHER CABINET
136	PRE-FINISHED METAL THROUGH WALL SCUPPER
140	SUPPLY RETURN
GA-02	GLAZING ASSEMBLY 02 - CURTAIN WALL
RA-01	ROOF ASSEMBLY 01 - PRECAST PLANK
SA-02	SCREEN ASSEMBLY 02 - ROOF SCREEN
WA-01	WALL ASSEMBLY 01 - PRECAST INSULATED WALL PANEL
WA-03	WALL ASSEMBLY 03 - METAL PANEL W/ CFMF BACKUP WALL

GENERAL NOTES

- BUILDING SHALL BE CONSTRUCTED TO MEET THE REQUIREMENTS AND QUALITY LEVEL DESCRIBED IN CURRENT HILTON GARDEN INN DESIGN U.A.G. PROCEEDING WITH WORK.
- VERIFY DIMENSIONS, CONDITIONS AND FINISHES PRIOR TO PRICING OR DO NOT SCALE FROM DRAWINGS, BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
- COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
- REFER TO PARTITION SCHEDULE ON G-100 FOR TYPICAL PARTITION TYPES. GUESTROOM CORRIDOR WALLS TO HAVE 12 HOUR FIRE RATING. WALLS SEPARATING ADJACENT GUESTROOMS TO HAVE 1 HOUR FIRE RATING.
- PRING, CONDUIT AND RELATED MECHANICAL AND ELECTRICAL ITEMS SHALL BE CONCEALED WITHIN GYPSUM BOARD FURRING IN FINISHED AREAS.
- PROVIDE METAL PLATE AND/OR WOOD BLOCKING IN ALL WALLS & PARTITIONS IN PUBLIC AND PRIVATE SPACES FOR ALL WALL-MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO: ARTWORK, TELEVISIONS, LIGHT FIXTURES, MIRRORS, AND TOILET ACCESSORIES. VERIFY LOCATION WITH ELEVATIONS AND EQUIPMENT.
- CONFIRM ALL INTERIOR GUESTROOM WALLS WITH ENLARGED TYPICAL GUESTROOM PLANS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
- LAYOUTS OF FITNESS CENTER AND LAUNDRY ROOM ARE FOR SCHEMATIC PURPOSES ONLY. OWNER, SUPPLIER AND MANUFACTURERS TO COORDINATE FINAL LAYOUT, QUANTITIES, ETC.
- MILWORK AND FF&E ITEMS SHOWN FOR REFERENCE. SEE INTERIOR DESIGN DRAWINGS.
- PROVIDE FURRING PARTITION TYPE GAD AT COLUMN LOCATIONS - TYPICAL.



Revisions

CITY OF MADISON UDC  
SUBMITTAL

SCOPE DOCUMENTS

Drawing Date  
APRIL 12, 2019

UW CAMPUS HOTEL

780 Regent Street  
Madison, WI 53715

Project No. Mortenson  
218051

Sheet Title  
LEVEL 2 PLAN - HOTEL

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Sheet No.  
A103

NOT FOR CONSTRUCTION

PARKING	COUNT	PERCENT
REGULAR	175	73%
COMPACT	60	25%
ADA	02	1%
VAN ADA	02	1%
TOTAL:	239	100%
BIKE PARKING AREAS: 18 SPACES AVAILABLE		

PLAN LEGEND

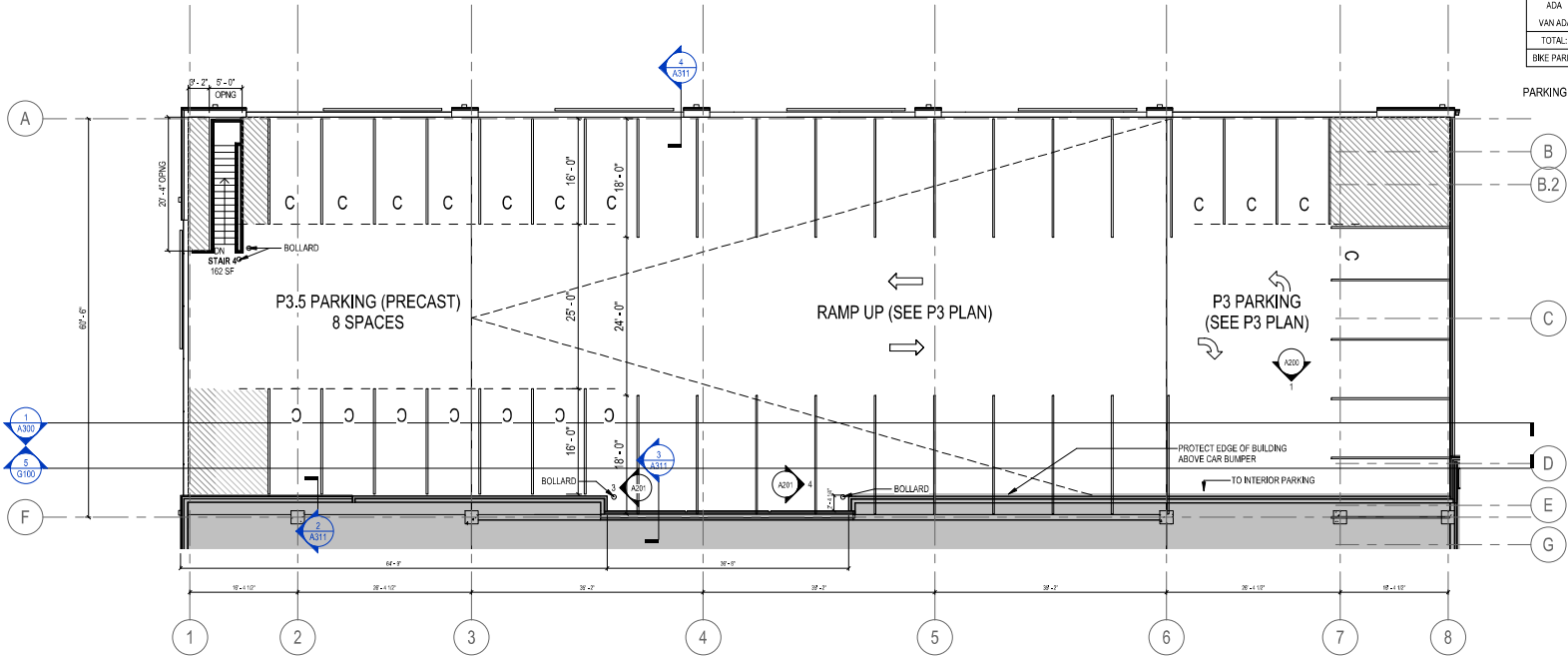
- ALIGN FACE OF WALLS  
FLOOR DRAIN  
FEC  
FIRE EXTINGUISHER CABINET (FEC)  
FIRE EXTINGUISHER (FE)  
INDICATES HEARING IMPAIRED GUESTROOM  
INDICATES ACCESSIBLE GUESTROOM

GENERAL NOTES

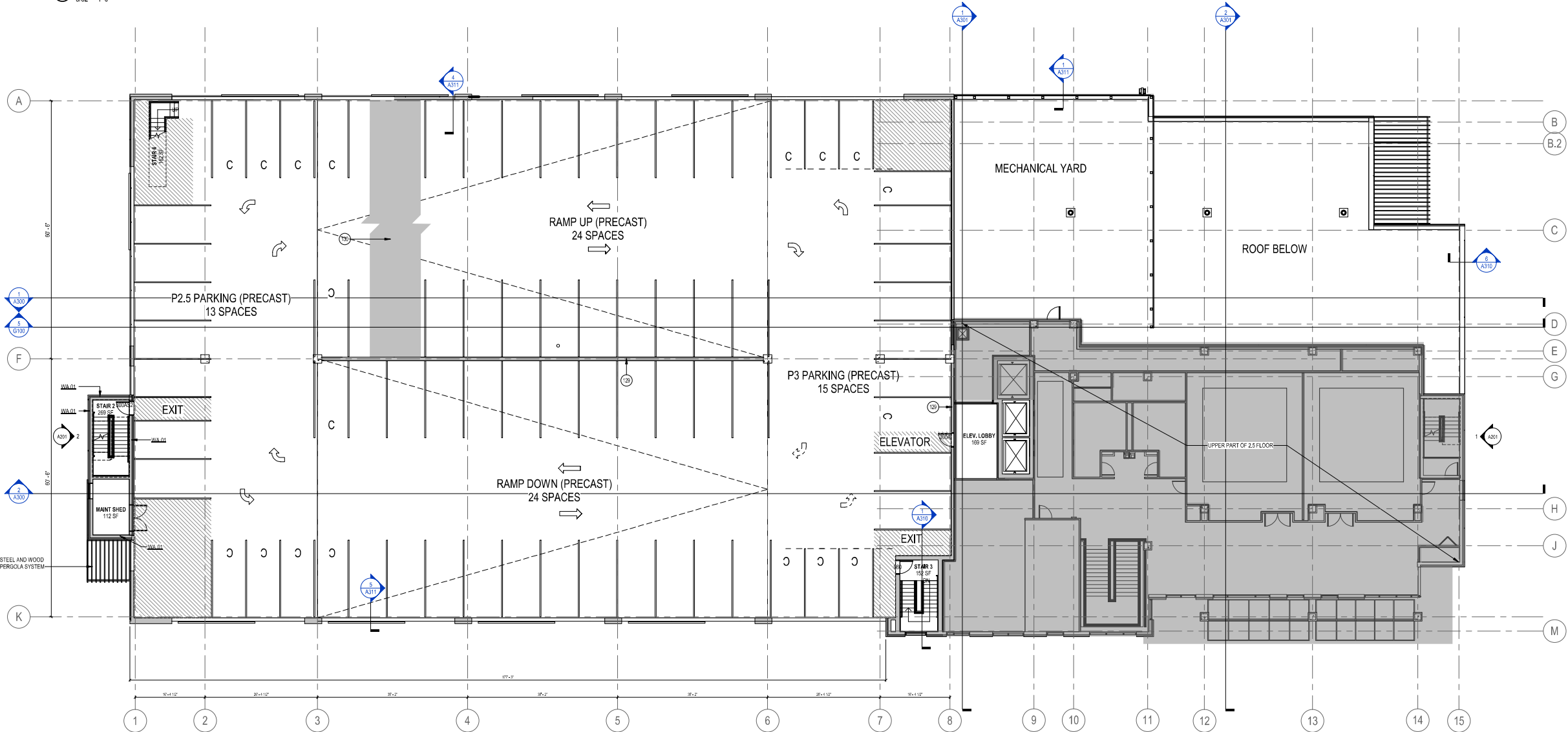
- BUILDING SHALL BE CONSTRUCTED TO MEET THE REQUIREMENTS AND QUALITY LEVEL DESCRIBED IN CURRENT HILTON GARDEN INN DESIGN UNO.
- VERIFY DIMENSIONS, CONDITIONS AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
- DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
- COORDINATE LOCATION AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
- REFER TO PARTITION SCHEDULE ON G108 FOR TYPICAL PARTITION TYPES. GUESTROOM CORRIDOR WALLS TO HAVE 12 HOUR FIRE RATING. WALLS SEPARATING ADJACENT GUESTROOMS TO HAVE 1 HOUR FIRE RATING.
- PIPING, CONDUIT AND RELATED MECHANICAL AND ELECTRICAL ITEMS SHALL BE CONCEALED WITHIN GYPSUM BOARD FLOORING IN FINISHED AREAS.
- PROVIDE METAL PLATE AND OR WOOD BLOCKING IN ALL WALLS & PARTITIONS IN PUBLIC AND PRIVATE SPACES FOR ALL WALL-MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO: ARTWORK, TELEVISIONS, LIGHT FIXTURES, MIRRORS, AND TOILET ACCESSORIES. VERIFY LOCATION WITH ELEVATIONS AND EQUIPMENT.
- CONFIRM ALL INTERIOR GUESTROOM WALLS WITH ENLARGED TYPICAL GUESTROOM PLANS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
- LAYOUTS OF FITNESS CENTER AND LAUNDRY ROOM ARE FOR SCHEMATIC PURPOSES ONLY. OWNER, SUPPLIER AND MANUFACTURERS TO COORDINATE FINAL LAYOUT, QUANTITIES, ETC.
- MILLWORK AND FF&E ITEMS SHOWN FOR REFERENCE. SEE INTERIOR DESIGN DRAWINGS.
- PROVIDE FURNING PARTITION TYPE 6AD AT COLUMN LOCATIONS - TYPICAL.

KEYNOTES

128	PRECAST STITCHSHEAR WALL
130	PRECAST DOUBLE TEES - RAMP DOWN TO FOUNDATION WALL BELOW
BOLLARD	
WA-01	WALL ASSEMBLY 01 - PRECAST INSULATED WALL PANEL



2 P3.5 PARKING PLAN  
3/32" = 1'-0"



1 P3 PARKING PLAN  
3/32" = 1'-0"

Revisions

CITY OF MADISON UDC  
SUBMITTAL

SCOPE DOCUMENTS

Drawing Date  
APRIL 12, 2019

UW CAMPUS HOTEL

780 Regent Street  
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Project No. 218051  
Mortenson

Sheet Title  
LEVEL P3 AND P3.5  
PLAN - PARKING

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Sheet No.  
A104

UNIT TYPE	COUNT	PERCENT
DQ	72	41%
DQ-ADA	02	01%
K	88	50%
K-ADA	04	02%
PK	08	5%
PK-ADA	02	01%
TOTAL	176	100%

UNIT TOTALS

PLAN LEGEND

- ALIGN  
FLOOR DRAIN  
FEC  
FIRE EXTINGUISHER CABINET (FEC)  
FIRE EXTINGUISHER (FE)  
INDICATES HEARING IMPAIRED GUESTROOM  
INDICATES ACCESSIBLE GUESTROOM

KEYNOTES

103	ADJOINING ROOM DOUBLE DOOR - SEE PLAN FOR LOCATIONS
104	RATED SHAF ENCLOSURE
105	RATED SHAF ENCLOSURE
111	1 PIN SHUTE
112	ICE MACHINE BY OTHERS
113	PTAC UNIT, TYPICAL EACH GUESTROOM
117	PROVIDE GLASS MAT SHAF LINER AT ALL SUBDUCT SHAFS TYPICAL
135	SMOKE RESISTANT FIRE EXTINGUISHER CABINET
139	PREFINISHED METAL KNIFE EDGE CAP ALL EDGES
141	MECHANICAL SHAF
300	COLD FORM METAL FRAMING TO ALIGN WITH EXTERIOR WALL. COORDINATE WITH GYPSUM BOARD
WA.01	WALL ASSEMBLY 01 - PRECAST INSULATED WALL PANEL
WA.02	WALL ASSEMBLY 02 - EHS W/ CMF BACKUP WALL
WA.03	WALL ASSEMBLY 03 - METAL PANEL W/ CMF BACKUP WALL
WA.04	WALL ASSEMBLY 04 - METAL PANEL W/ CMF BACKUP WALL

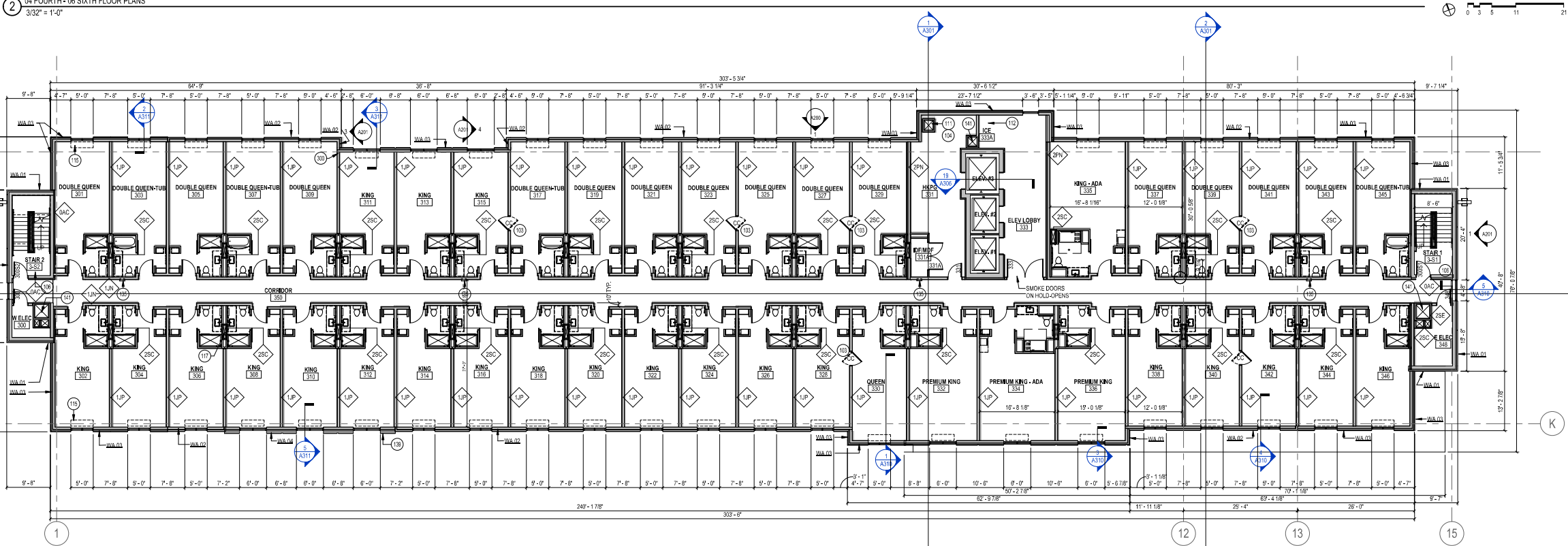
GENERAL NOTES

- BUILDING SHALL BE CONSTRUCTED TO MEET THE REQUIREMENTS AND QUALITY LEVEL DESCRIBED IN CURRENT HILTON GARDEN INN DESIGN UNO.
- VERIFY DIMENSIONS, CONDITIONS AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
- DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
- COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
- REFER TO PARTITION SCHEDULE ON G160 FOR TYPICAL PARTITION TYPES. GUESTROOM CORRIDOR WALLS TO HAVE 12 HOUR FIRE RATING. WALLS SEPARATING ADJACENT GUESTROOMS TO HAVE 1 HOUR FIRE RATING.
- PIPE, CONDUIT AND RELATED MECHANICAL AND ELECTRICAL ITEMS SHALL BE CONCEALED WITHIN GYPSUM BOARD FURNISH IN FINISHED AREAS.
- PROVIDE METAL PLATE AND/OR WOOD BLOCKING IN ALL WALLS & PARTITIONS IN PUBLIC AND PRIVATE SPACES FOR ALL WALL MOUNTED EQUIPMENT INCLUDING BUT NOT LIMITED TO: ARTWORK, TELEVISIONS, LIGHT FIXTURES, MIRRORS, AND TOILET ACCESSORIES. VERIFY LOCATION WITH ELEVATIONS AND EQUIPMENT.
- CONFORM ALL INTERIOR GUESTROOM WALLS WITH ENLARGED TYPICAL GUESTROOM PLANS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
- LAYOUTS OF FITNESS CENTER AND LAUNDRY ROOM ARE FOR SCHEMATIC PURPOSES ONLY. OWNER, SUPPLIER AND MANUFACTURERS TO COORDINATE FINAL LAYOUT, QUANTITIES, ETC.
- MILLWORK AND FF&E ITEMS SHOWN FOR REFERENCE. SEE INTERIOR DESIGN DRAWINGS.
- PROVIDE FURRING PARTITION TYPE 04D AT COLUMN LOCATIONS - TYPICAL.

NOT FOR CONSTRUCTION

Revisions

04 FOURTH - 06 SIXTH FLOOR PLANS  
3/32" = 1'-0"



03 THIRD FLOOR PLAN (TYPICAL)  
3/32" = 1'-0"

CITY OF MADISON UDC  
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SCOPE DOCUMENTS

Drawing Date  
APRIL 12, 2019

UW CAMPUS HOTEL

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Project No. Mortenson  
218051

Sheet Title  
LEVEL 3 & 4 PLAN

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Sheet No.  
A106

UNIT TYPE	COUNT	PERCENT
DQ	72	41%
DQ-ADA	02	01%
K	88	50%
K-ADA	04	02%
PK	08	5%
PK-ADA	02	01%
TOTAL:	176	100%

UNIT TOTALS

PLAN LEGEND

- ALIGN  
FLOOR DRAIN  
FEC  
FIRE EXTINGUISHER CABINET (FEC)  
FIRE EXTINGUISHER (FE)  
INDICATES HEARING IMPAIRED GUESTROOM  
INDICATES ACCESSIBLE GUESTROOM

KEYNOTES

103	ADJOINING ROOM DOUBLE DOOR - SEE PLAN FOR LOCATIONS
104	RATED SHAFT ENCLOSURE
106	RATED STAIR SHAFT ENCLOSURE
108	SHIPS LADDER
111	UNEN SHUTE
112	ICE MACHINE, BY OTHERS
115	PTAC UNIT, TYPICAL EACH GUESTROOM
117	PROVIDE GLASS MATT SHIFTLING AT ALL SUBDUCT SHAFTS TYPICAL
135	SEMI RECESSED FIRE EXTINGUISHER CABINET
141	MECHANICAL SHAFT
300	COLD FORM METAL FRAMING TO ALIGN WITH EXTERIOR WALL. COORDINATE WITH GYPSUM BOARD
WA-01	WALL ASSEMBLY 01- PRECAST INSULATED WALL PANEL
WA-02	WALL ASSEMBLY 02- EPS W/ CFM BACKUP WALL
WA-03	WALL ASSEMBLY 03- METAL PANEL W/ CFM BACKUP WALL
WA-04	WALL ASSEMBLY 04- METAL PANEL W/ CFM BACKUP WALL

GENERAL NOTES

- BUILDING SHALL BE CONSTRUCTED TO MEET THE REQUIREMENTS AND QUALITY LEVEL DESCRIBED IN CURRENT HILTON GARDEN INN DESIGN U.N.D.
- VERIFY DIMENSIONS, CONDITIONS AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
- DO NOT SCALE FROM DRAWINGS, BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
- COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
- REFER TO PARTITION SCHEDULE ON S160 FOR TYPICAL PARTITION TYPES. GUESTROOM CORRIDOR WALLS TO HAVE 1/2 HOUR FIRE RATING. WALLS SEPARATING ADJACENT GUESTROOMS TO HAVE 1 HOUR FIRE RATING.
- PIPING, CONDUIT AND RELATED MECHANICAL AND ELECTRICAL ITEMS SHALL BE CONCEALED WITHIN GYPSUM BOARD FURRING IN FINISHED AREAS.
- PROVIDE METAL PLATE AND/OR WOOD BLOCKING IN ALL WALLS & PARTITIONS IN PUBLIC AND PRIVATE SPACES FOR ALL WALL-MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO: ARTWORK, TELEVISIONS, LIGHT FIXTURES, MIRRORS, AND TOILET ACCESSORIES. VERIFY LOCATION WITH ELEVATIONS AND EQUIPMENT.
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- MILLWORK AND FF&E ITEMS SHOWN FOR REFERENCE. SEE INTERIOR DESIGN DRAWINGS.
- PROVIDE FURRING PARTITION TYPE 04D AT COLUMN LOCATIONS - TYPICAL.

06 SIXTH FLOOR PLAN  
3/32" = 1'-0"

05 FIFTH FLOOR PLAN  
3/32" = 1'-0"

Revisions

CITY OF MADISON UDC  
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SCOPE DOCUMENTS

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APRIL 12, 2019

UW CAMPUS HOTEL

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Sheet Title  
LEVEL 5 & 6 PLAN

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Sheet No.  
A107

NOT FOR CONSTRUCTION

PLAN LEGEND

- ALIGN  
ALIGN FACE OF WALLS  
FLOOR DRAIN  
FEC  
FIRE EXTINGUISHER CABINET (FEC)  
FE  
FIRE EXTINGUISHER (FE)  
INDICATES HEARING IMPAIRED GUESTROOM  
INDICATES ACCESSIBLE GUESTROOM

KEYNOTES

109	SHIPS LADDER
110	ROOF ACCESS HATCH
111	UNEN SUITE
136	PRE-FINISHED METAL THROUGH WALL SCUPPER
RA 03	BALLASTED TPO

GENERAL NOTES

1. ALL ROOF SURFACES TO SLOPE 1/4" PER FOOT MIN. UNLESS NOTED OTHERWISE.
2. ALL HP ELEVATIONS APPROXIMATE & RELATIVE TO ROOF DRAINS.
3. PROVIDE SHOULDER CRICKETS UP TAPERED INSULATION TO CREATE POSITIVE DRAINAGE AROUND OBSTRUCTIONS TO ROOF DRAINS.
4. NOT ALL ROOF MOUNTED EQUIPMENT SHOWN. EQUIPMENT LOCATIONS SHOWN ARE APPROXIMATE COORDINATE WITH MEP DRAWINGS.
5. SEE EXTERIOR ASSEMBLIES FOR ROOF AND WALL ASSEMBLIES.

Revisions

CITY OF MADISON UDC  
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Drawing Date  
APRIL 12, 2019

UW CAMPUS HOTEL

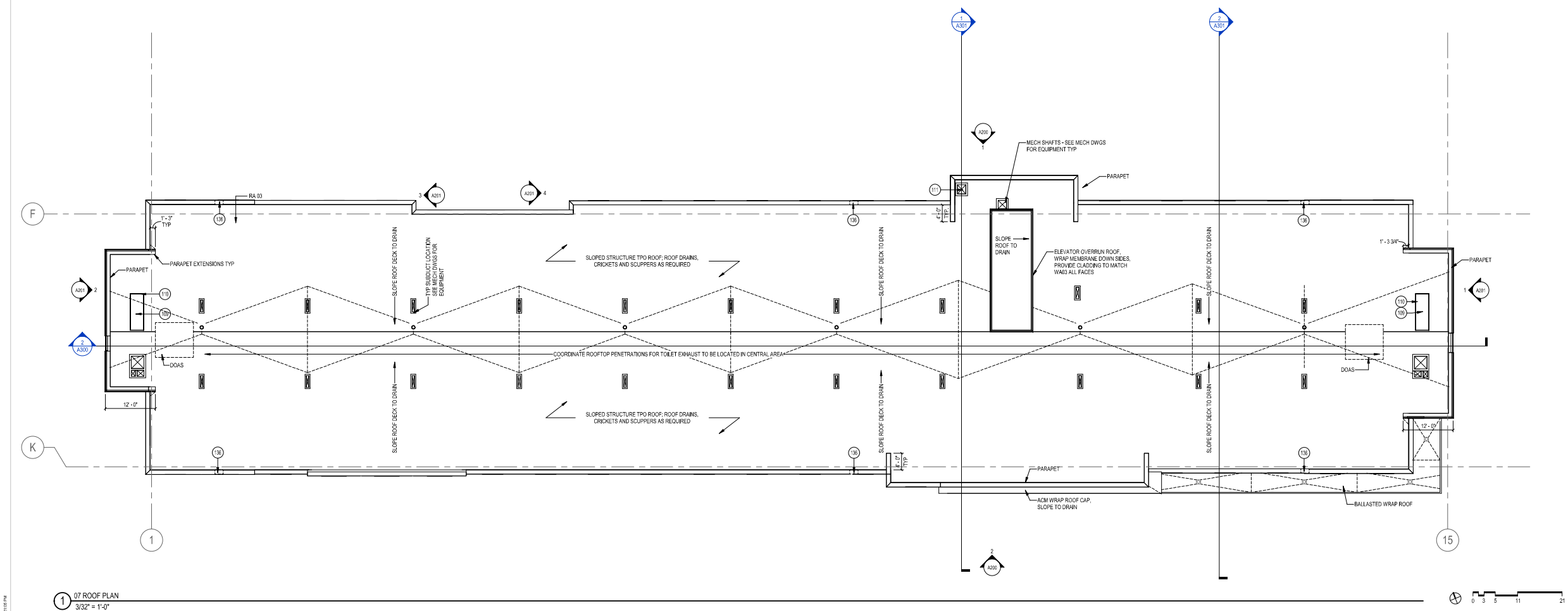
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Sheet Title  
LEVEL 7 - ROOF PLAN

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Sheet No.  
A108



07 ROOF PLAN  
3/32" = 1'-0"

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APRIL 12, 2019

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Sheet Title  
EXTERIOR ELEVATIONS

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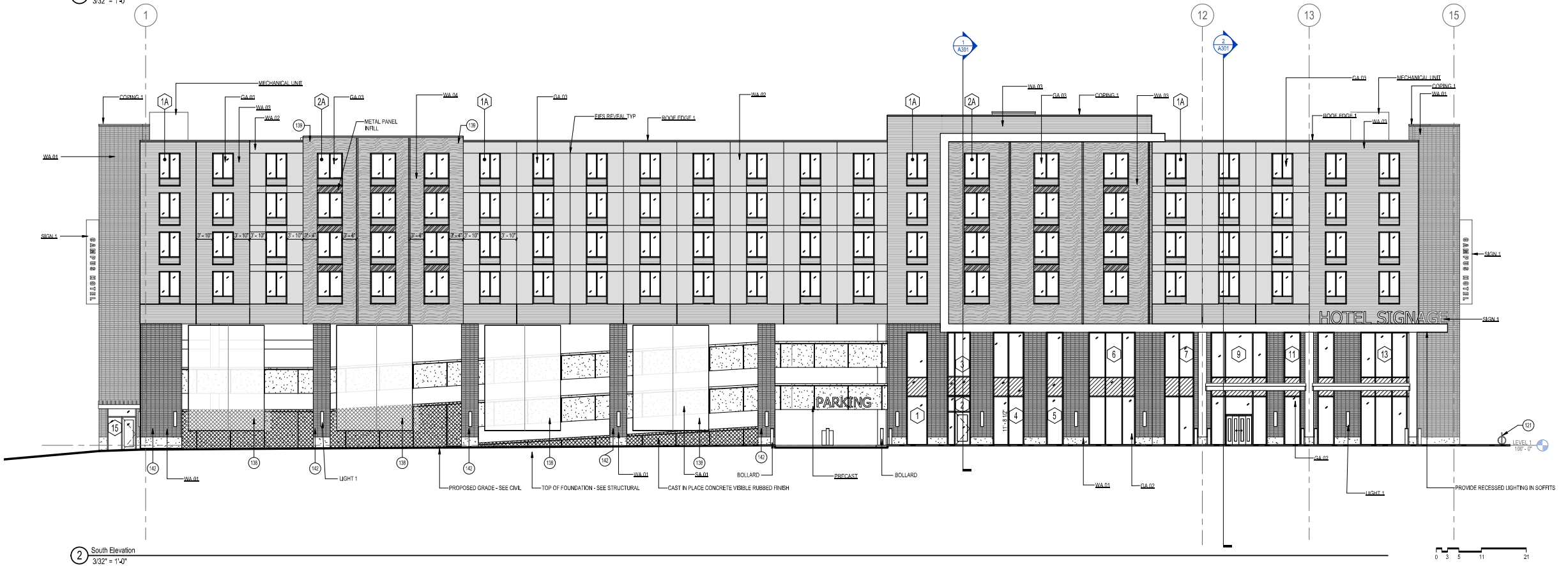
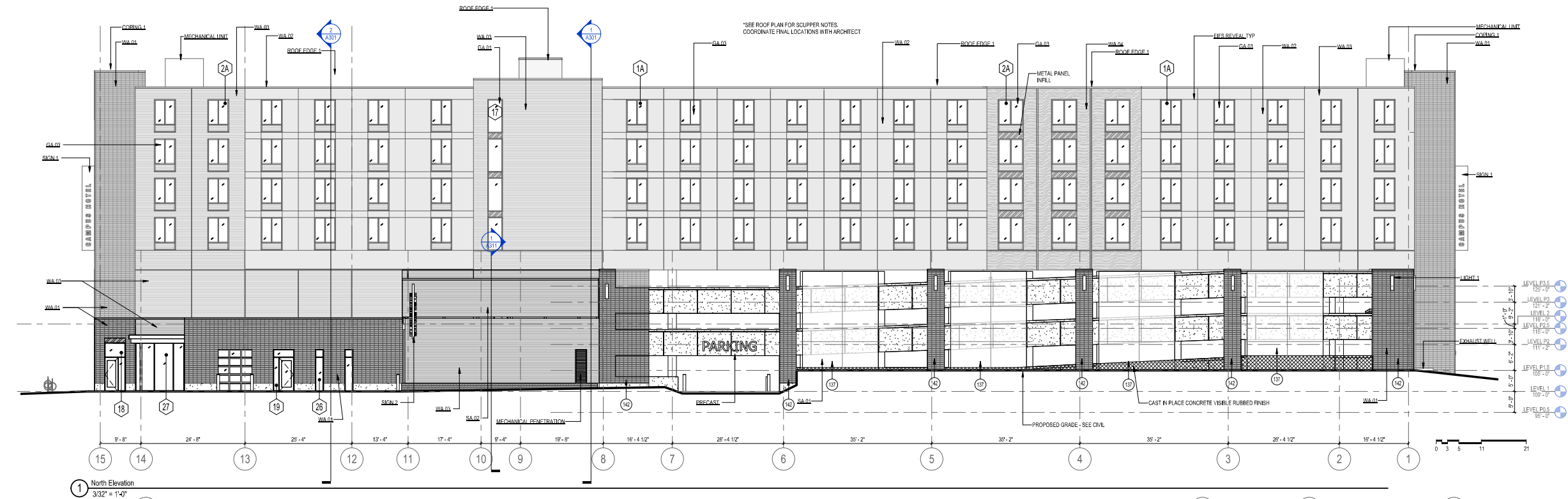
A200

KEYNOTES

121	BIKE RACK
137	MESH PANEL WITH SUPER GRAPHIC
138	MESH PANEL
139	PREFINISHED METAL W/NE EDGE CAP ALL EDGES
142	ALL WALLS TO MATCH W/OTI FINISH OUTER 3 FACES
BOLLARD	PREFINISHED METAL BOLLARD
COPING 1	PREFINISHED METAL COPING
GA 01	GLAZING ASSEMBLY 01 - STOREFRONT
GA 02	GLAZING ASSEMBLY 02 - CURTAIN WALL
GA 03	GLAZING ASSEMBLY 03 - ALUMINUM WINDOW
LIGHT 1	ARCHITECTURAL LIGHTING

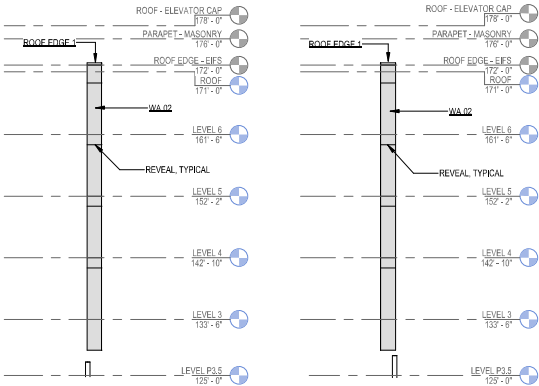
KEYNOTES

MECHANICAL PENETRATION	PENETRATIONS SHOWN FOR REFERENCE - SEE MECHANICAL FOR SIZE AND LOCATION
PRECAST	STRUCTURAL PRECAST CONCRETE WITH AN ARCHITECTURAL FINISH
ROOF EDGE 1	PREFINISHED METAL ROOF EDGE
SA 01	SCREEN ASSEMBLY 01 - PARKING SCREEN
SA 02	SCREEN ASSEMBLY 02 - ROOF SCREEN
SIGN 1	INTERNALLY ILLUMINATED SIGN
SIGN 2	INTERNALLY ILLUMINATED SIGN
WA 01	WALL ASSEMBLY 01 - PRECAST INSULATED WALL PANEL
WA 02	WALL ASSEMBLY 02 - EPS W/ CMF BACKUP WALL
WA 03	WALL ASSEMBLY 03 - METAL PANEL W/ CMF BACKUP WALL
WA 04	WALL ASSEMBLY 04 - METAL PANEL W/ CMF BACKUP WALL



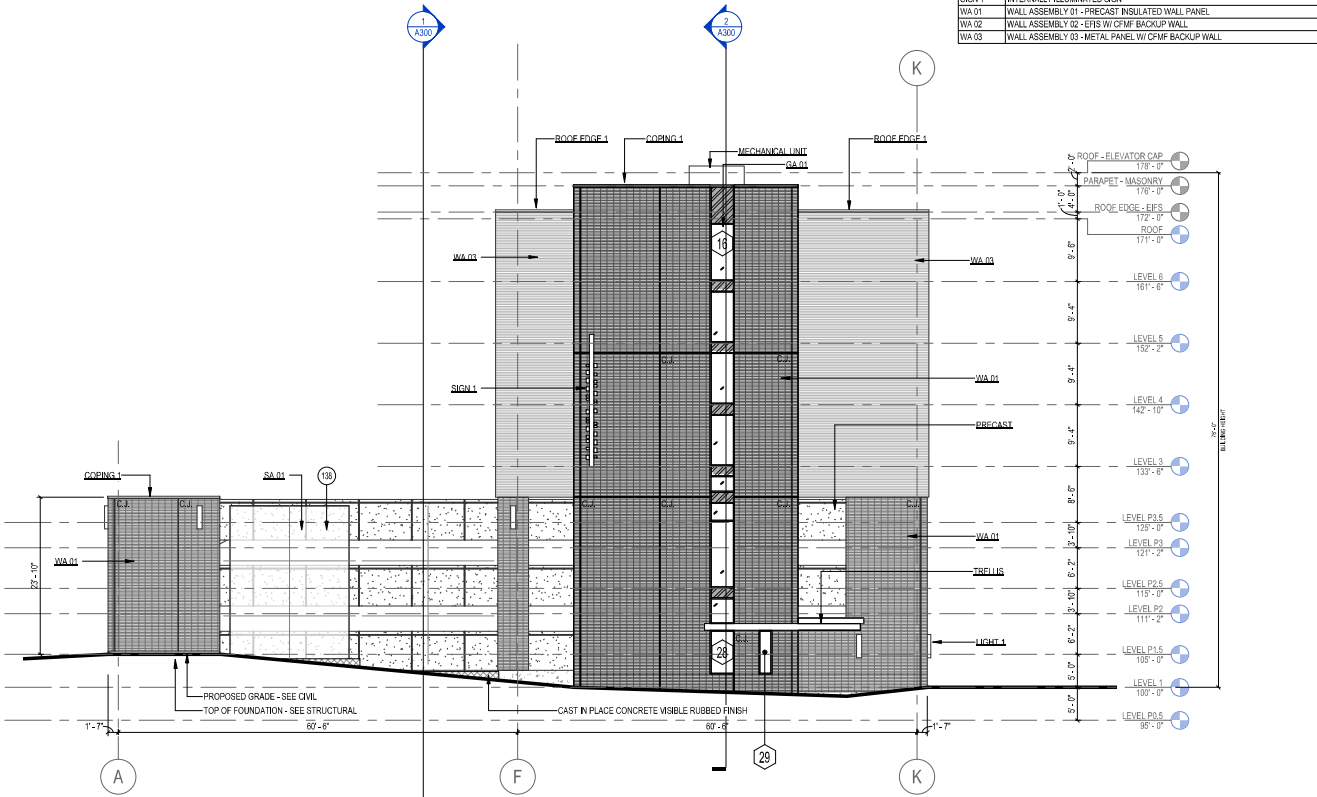
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KEYNOTES	
13B	MESH PANEL
COPING 1	PREFINISHED METAL COPING
GA 01	GLAZING ASSEMBLY 01 - STOREFRONT
GA 02	GLAZING ASSEMBLY 02 - CURTAINWALL
LIGHT 1	ARCHITECTURAL LIGHTING
PRECAST	STRUCTURAL PRECAST CONCRETE WITH AN ARCHITECTURAL FINISH
ROOF EDGE 1	PREFINISHED METAL ROOF EDGE
SA 01	SCREEN ASSEMBLY 01 - PARKING SCREEN
SA 02	SCREEN ASSEMBLY 02 - ROOF SCREEN
SIGN 1	INTERNALLY ILLUMINATED SIGN
WA 01	WALL ASSEMBLY 01 - PRECAST INSULATED WALL PANEL
WA 02	WALL ASSEMBLY 02 - EIFS W/ CMF BACKUP WALL
WA 03	WALL ASSEMBLY 03 - METAL PANEL W/ CMF BACKUP WALL

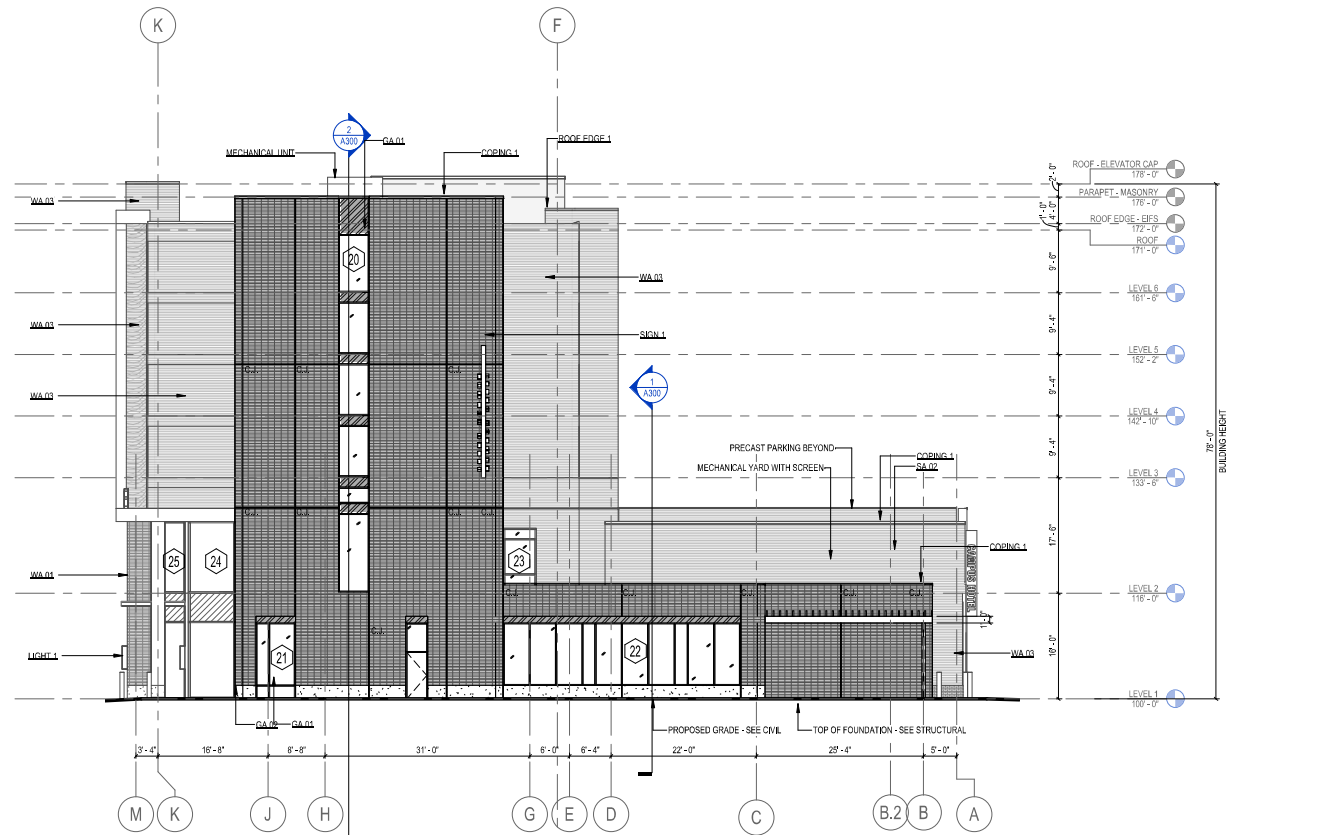


4 PARTIAL ELEVATION - EAST  
3/32" = 1'-0"

3 PARTIAL ELEVATION - WEST  
3/32" = 1'-0"



2 West Elevation  
3/32" = 1'-0"



1 East Elevation  
3/32" = 1'-0"

Revisions

CITY OF MADISON UDC  
SUBMITTAL

SCOPE DOCUMENTS

Drawing Date  
APRIL 12, 2019

UW CAMPUS HOTEL

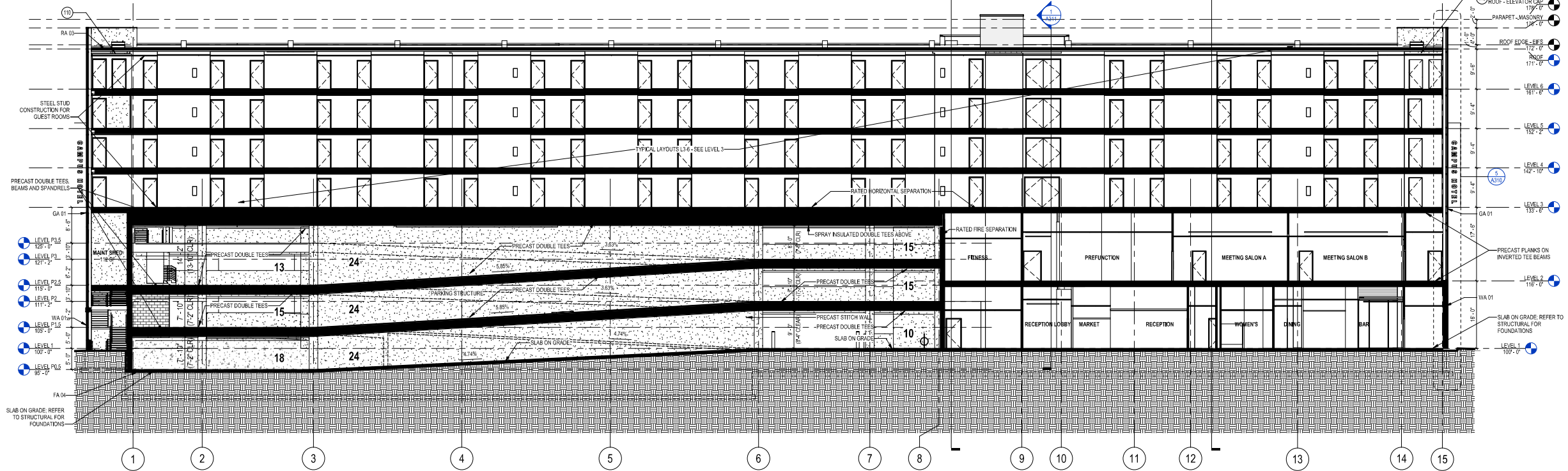
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Project No. Mortenson  
218051

Sheet Title  
EXTERIOR ELEVATIONS

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Sheet No.  
A201



CITY OF MADISON UDC  
SUBMITTAL

SCOPE DOCUMENTS

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Drawing Date  
APRIL 12, 2019

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UW CAMPUS HOTEL

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Project No.	Mortenson
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Sheet Title

**BUILDING SECTIONS**

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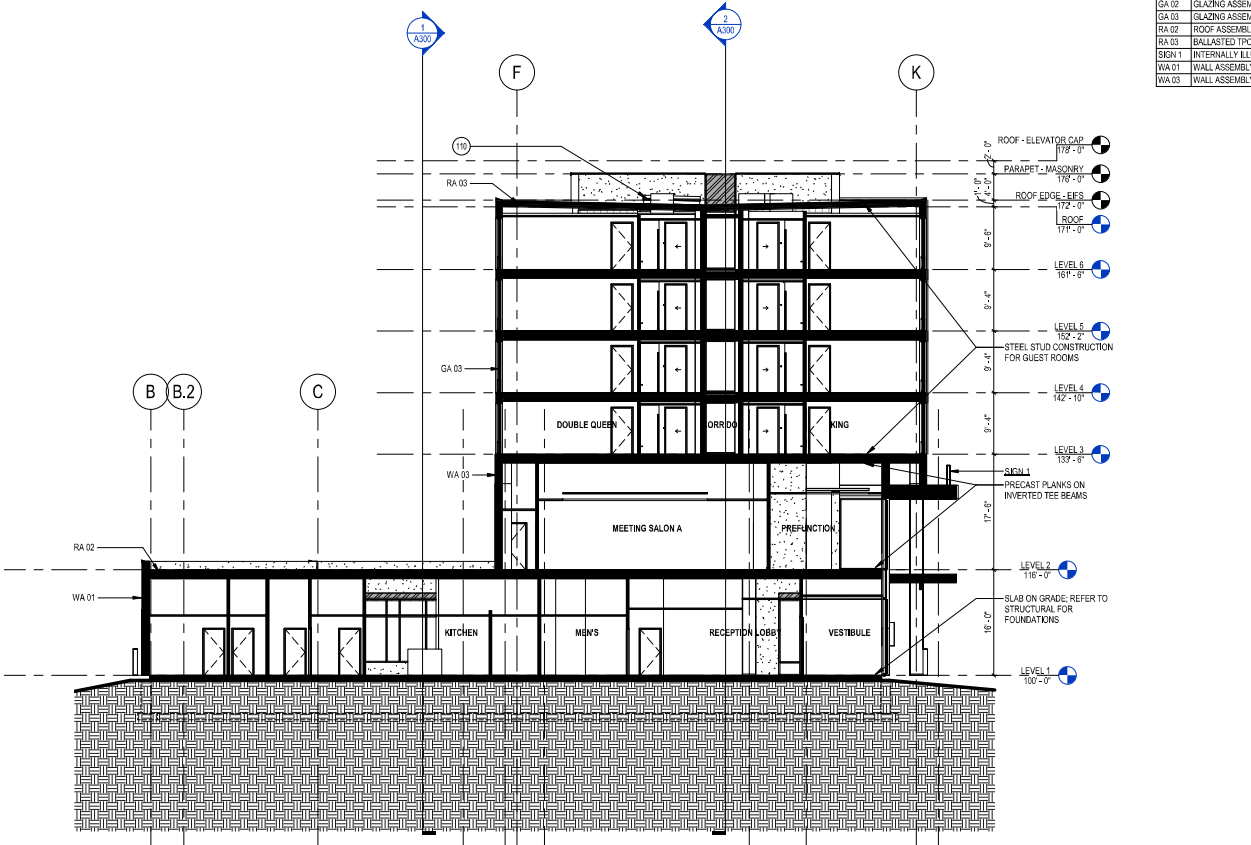
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Sheet No.

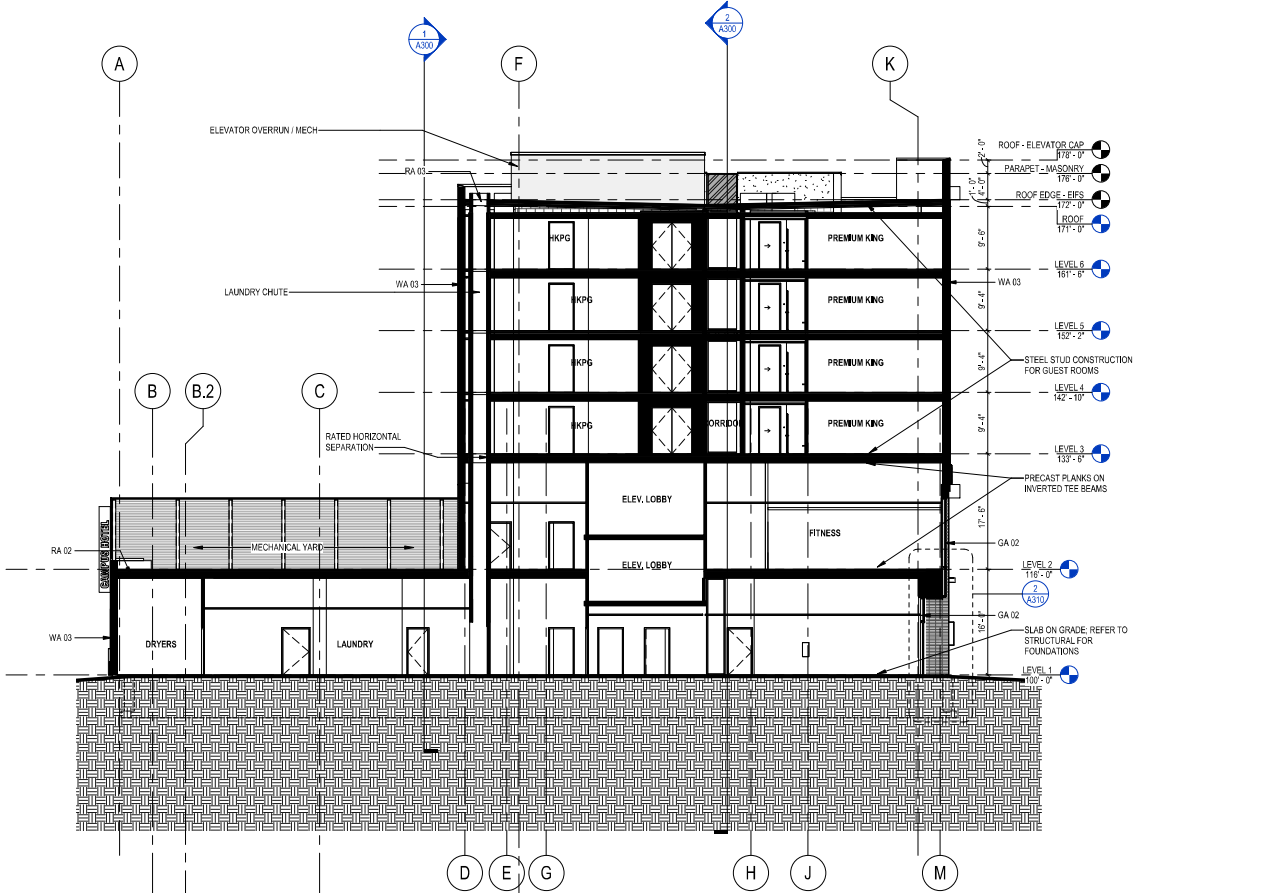
**A300**

NOT FOR CONSTRUCTION

KEYNOTES	
110	ROOF ACCESS HATCH
GA 02	GLAZING ASSEMBLY 02 - CURTAINWALL
GA 03	GLAZING ASSEMBLY 03 - ALUMINUM WINDOW
RA 02	ROOF ASSEMBLY 02 - SLOPED METAL DECK
RA 03	BALLASTED TPO
SEIN 1	INTERNALLY ILLUMINATED SIGN
WA 01	WALL ASSEMBLY 01 - PRECAST INSULATED WALL PANEL
WA 03	WALL ASSEMBLY 03 - METAL PANEL W/CFMF BACKUP WALL



2 TRANSVERSE SECTION - GRID 12  
3/32" = 1'-0"



1 TRANSVERSE SECTION - GRID 8  
3/32" = 1'-0"

Revisions

CITY OF MADISON UDC  
SUBMITTAL

SCOPE DOCUMENTS

Drawing Date  
APRIL 12, 2019

UW CAMPUS HOTEL

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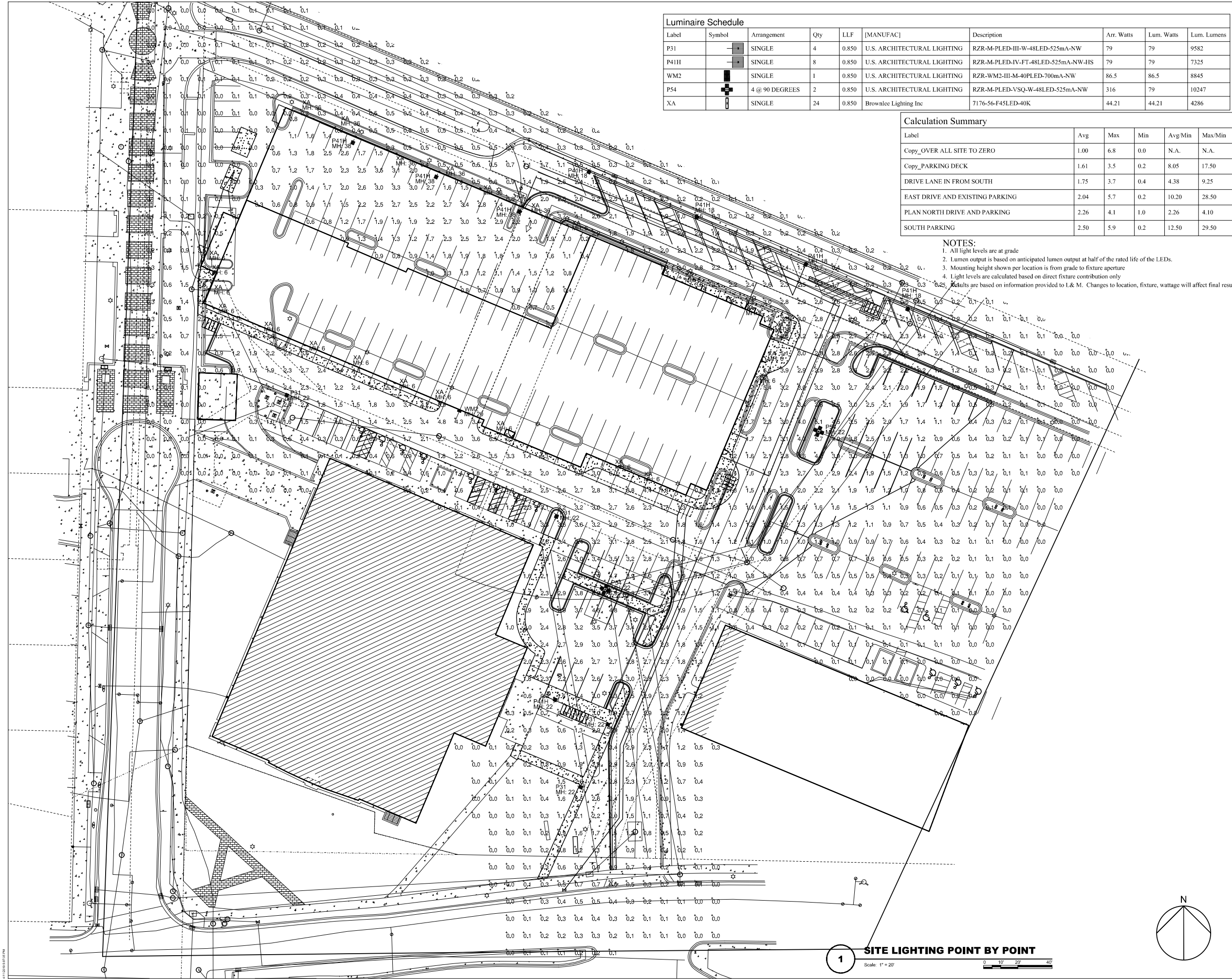
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BUILDING SECTIONS

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Sheet No.

A301



Luminaire Schedule								
Label	Symbol	Arrangement	Qty	LLF	[MANUFAC]	Description	Arr. Watts	Lum. Watts
P31		SINGLE	4	0.850	U.S. ARCHITECTURAL LIGHTING	RZR-M-PLED-III-W-48LED-525mA-NW	79	79
P41H		SINGLE	8	0.850	U.S. ARCHITECTURAL LIGHTING	RZR-M-PLED-IV-FT-48LED-525mA-NW-HS	79	79
WM2		SINGLE	1	0.850	U.S. ARCHITECTURAL LIGHTING	RZR-WM2-III-M-40PLED-700mA-NW	86.5	86.5
P54		4 @ 90 DEGREES	2	0.850	U.S. ARCHITECTURAL LIGHTING	RZR-M-PLED-VSQ-W-48LED-525mA-NW	316	79
XA		SINGLE	24	0.850	Brownlee Lighting Inc	7176-56-F45LED-40K	44.21	44.21

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
Copy_OVER ALL SITE TO ZERO	1.00	6.8	0.0	N.A.	N.A.
Copy_PARKING DECK	1.61	3.5	0.2	8.05	17.50
DRIVE LANE IN FROM SOUTH	1.75	3.7	0.4	4.38	9.25
EAST DRIVE AND EXISTING PARKING	2.04	5.7	0.2	10.20	28.50
PLAN NORTH DRIVE AND PARKING	2.26	4.1	1.0	2.26	4.10
SOUTH PARKING	2.50	5.9	0.2	12.50	29.50

NOTES:  
1. All light levels are at grade  
2. Lumen output is based on anticipated lumen output at half of the rated life of the LEDs.  
3. Mounting height shown per location is from grade to fixture aperture  
4. Light levels are calculated based on direct fixture contribution only  
Results are based on information provided to L & M. Changes to location, fixture, wattage will affect final results

NOT FOR CONSTRUCTION

Revisions

CITY OF MADISON UDC  
SUBMITTAL  
SCOPE DOCUMENTS  
Drawing Date  
APRIL 12, 2019  
UW CAMPUS HOTEL

780 Regent Street  
Madison, WI 53715  
Project No. 218051  
Mortenson  
Sheet Title  
SITE LIGHTING POINT  
BY POINT  
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