

CITY OF MADISON UDC SUBMITTAL

UW CAMPUS HOTEL

780 Regent Street
Madison, WI 53715

KAHLER SLATER PROJECT: 218051
04/12/2019

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NOT FOR CONSTRUCTION

Revisions

CITY OF MADISON UDC
SUBMITTAL
SCOPE DOCUMENTS

Drawing Date
APRIL 12, 2019

UW CAMPUS HOTEL

780 Regent Street
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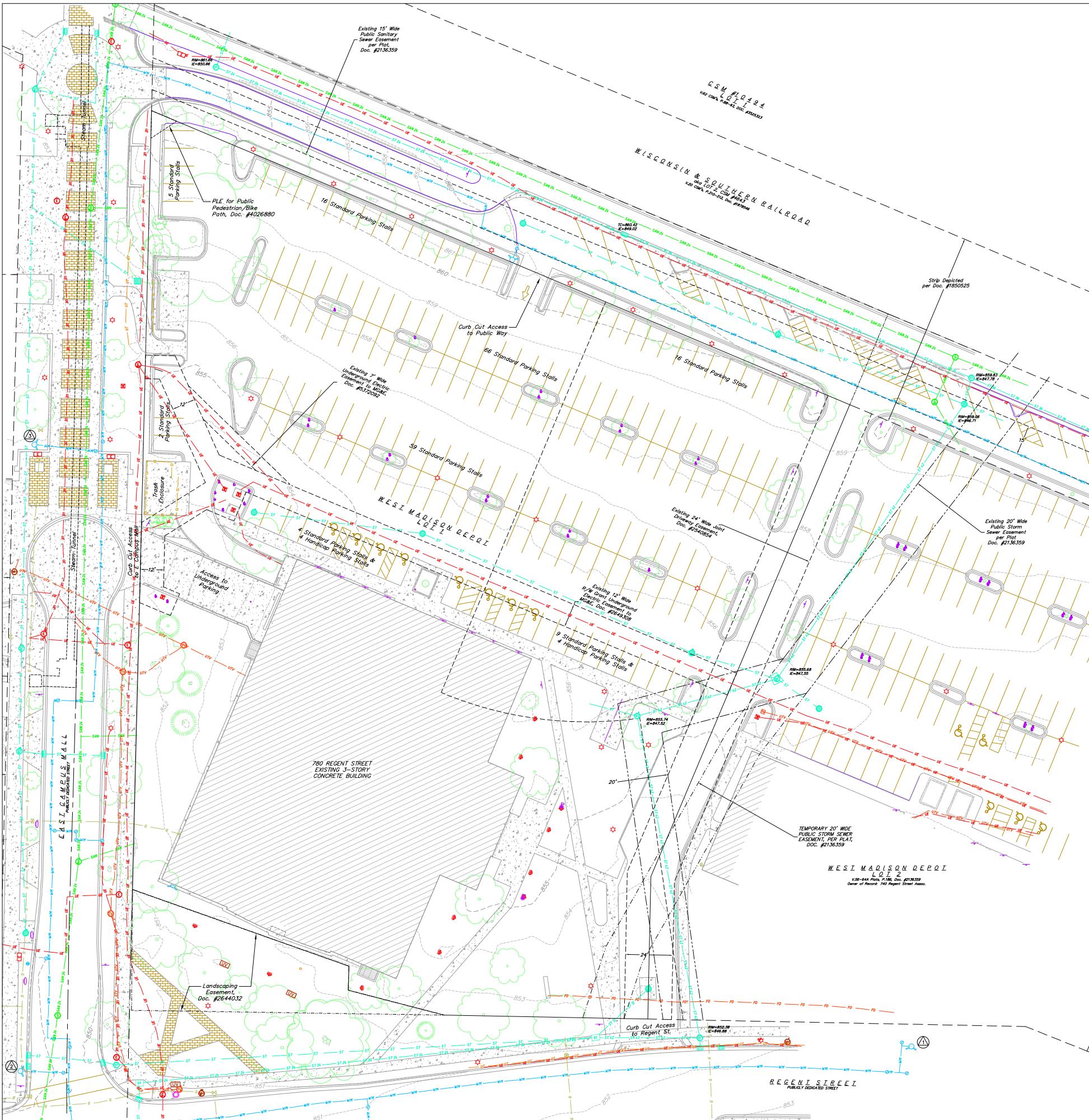
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218051

Sheet Title
COVER SHEET

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Sheet No.
G000



SITE BENCHMARKS

ARROW BOLT ON FIRE HYDRANT LOCATED
ON NORTH SIDE OF REGENT STREET,
APPROXIMATELY 430' EAST OF THE
INTERSECTION WITH EAST CAMPUS MALL.
ELEV. = 855.83

ARROW BOLT ON FIRE HYDRANT LOCATED
IN THE NORTHWEST QUADRANT OF
REGENT STREET AND EAST CAMPUS MALL.
ELEV = 852.43

TAG BOLT ON FIRE HYDRANT
LOCATED ON THE WEST SIDE OF
EAST CAMPUS MALL APPROXIMATELY
65' NORTH OF THE CUL-DE-SAC.
ELEV. - 854.77

DIGGERS HOTLINE
Dial 811 or (800) 242-8511
www.DiggersHotline.com

LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND
OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN
EVIDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE.
CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE
LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN
IN THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL
BE ENTITLED TO A FAIR AND FAIRLY COMPENSATED ALLOWANCE
FOR TIME AND EXPENSES INCURRED IN LOCATING
THESE UTILITIES. CONTRACTOR SHALL BE
EQUITABLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT
BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE
THE EXISTING UTILITIES, AND SHALL
PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE
1-800-242-8511

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LJW CAMPUS HOTEL

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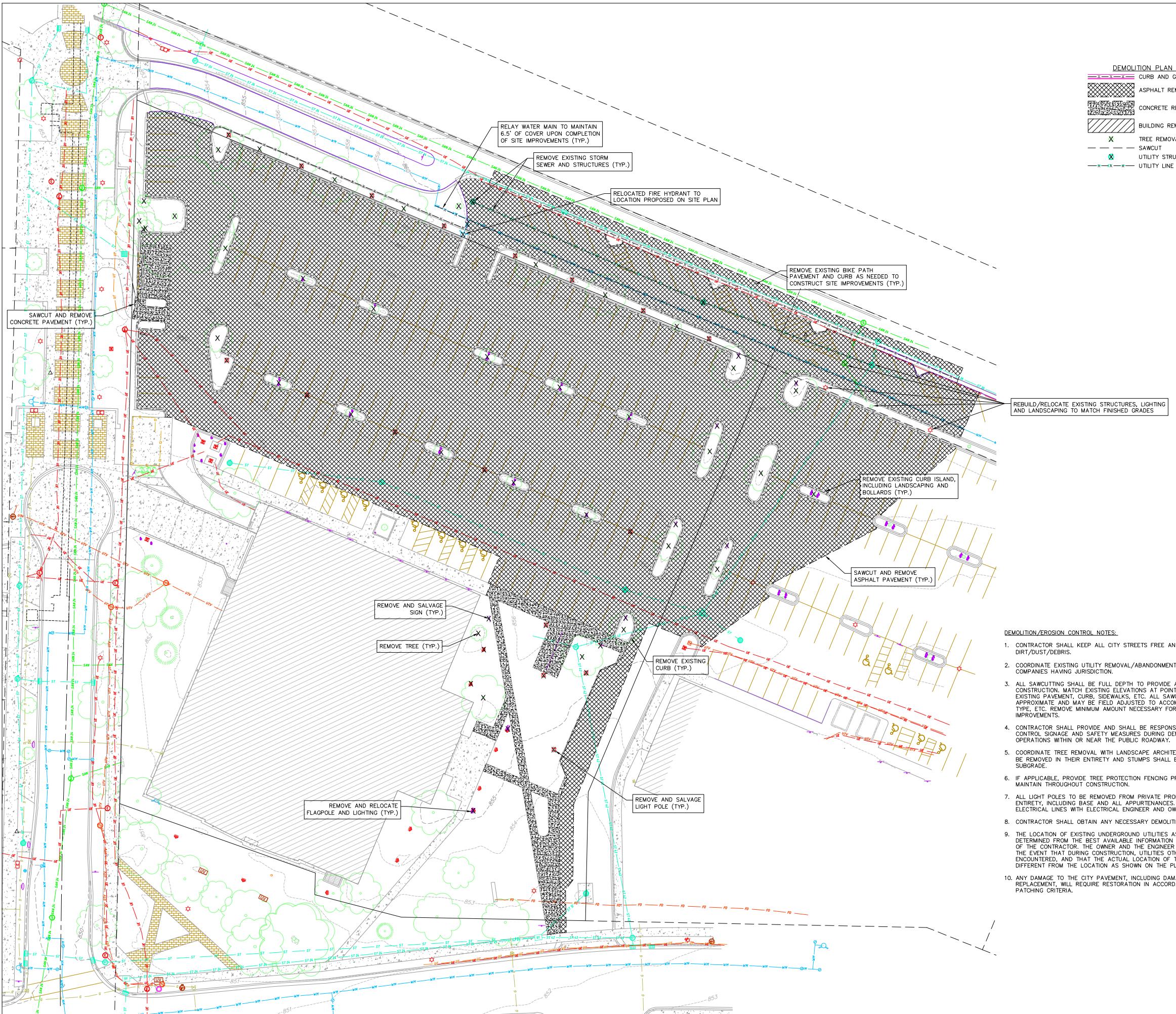
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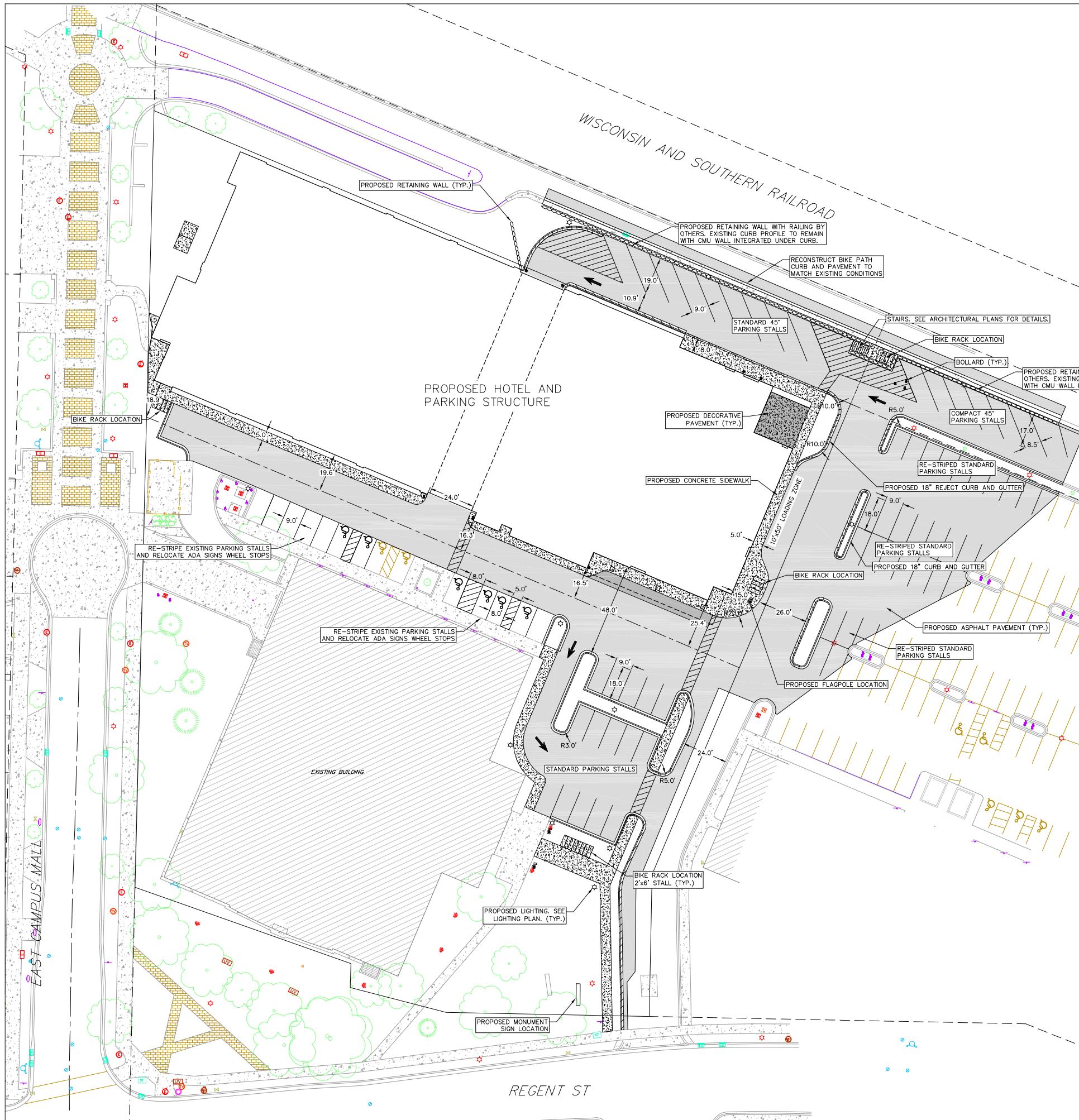
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EXISTING CONDITIONS PLAN

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SITE PLAN LEGEND:

- PROPERTY BOUNDARY
- CURB AND GUTTER (REVERSE CURB HATCHED)
- PROPOSED CHAIN LINK FENCE
- PROPOSED WOOD FENCE
- PROPOSED CONCRETE
- PROPOSED LIGHT-DUTY ASPHALT
- DECORATIVE PAVEMENT
- PROPOSED SIGN
- PROPOSED LIGHT POLE
- PROPOSED BOLLARD
- PROPOSED ADA DETECTABLE WARNING FIELD
- PROPOSED HANDICAP PARKING

Parking Lot Plan Site Information Block	
Site Address: 760 REGENT ST	
Site acreage (total): 0.1737 SF (1.19 ACRES)	
Number of building stories (above grade): 6	
Building height: 72'	
DILHR type of construction (new structures): IB	
Total square footage of building: 180,016 SF (180,016 SF Building, 22,000 SF Hotel Common/BH, 83,020 Guest Rooms)	
Use of property:	
Gross square feet of building: 180,016 SF	
Gross square feet of retail areas: N/A	
Number of employees in warehouse: N/A	
Number of employees: 60 TOTAL, 45 FULL-TIME, 15 PART-TIME	
Capacity of restaurant/place of assembly: 199 TOTAL	
Number of bicycle stalls shown: 18 INTERIOR	
Number of parking stalls:	
Large Car	175
Accessible	4
Total	239
Number of trees shown: See Landscape Plan	



Revisions

GENERAL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY OTHER PROPERTY THAT IS DISTURBED DURING CONSTRUCTION. THE CONTRACTOR SHALL REPLACE THE PROPERTY IF THE ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
2. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.
3. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
4. DIMENSIONS RELATING TO CURB ARE TO FACE OF CURB.
5. CROSS-SLOPE OF SIDEWALKS SHALL BE 2% UNLESS OTHERWISE NOTED.
6. LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
7. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
8. ACCESSIBLE ROUTES SHALL BE 5% MAX LONGITUDINAL SLOPE AND 2% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.
9. ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
10. PROVIDE ALL NECESSARY TEMPORARY TRAFFIC CONTROL PER MUTCD AND CITY OF MADISON REQUIREMENTS.

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SITE PLAN

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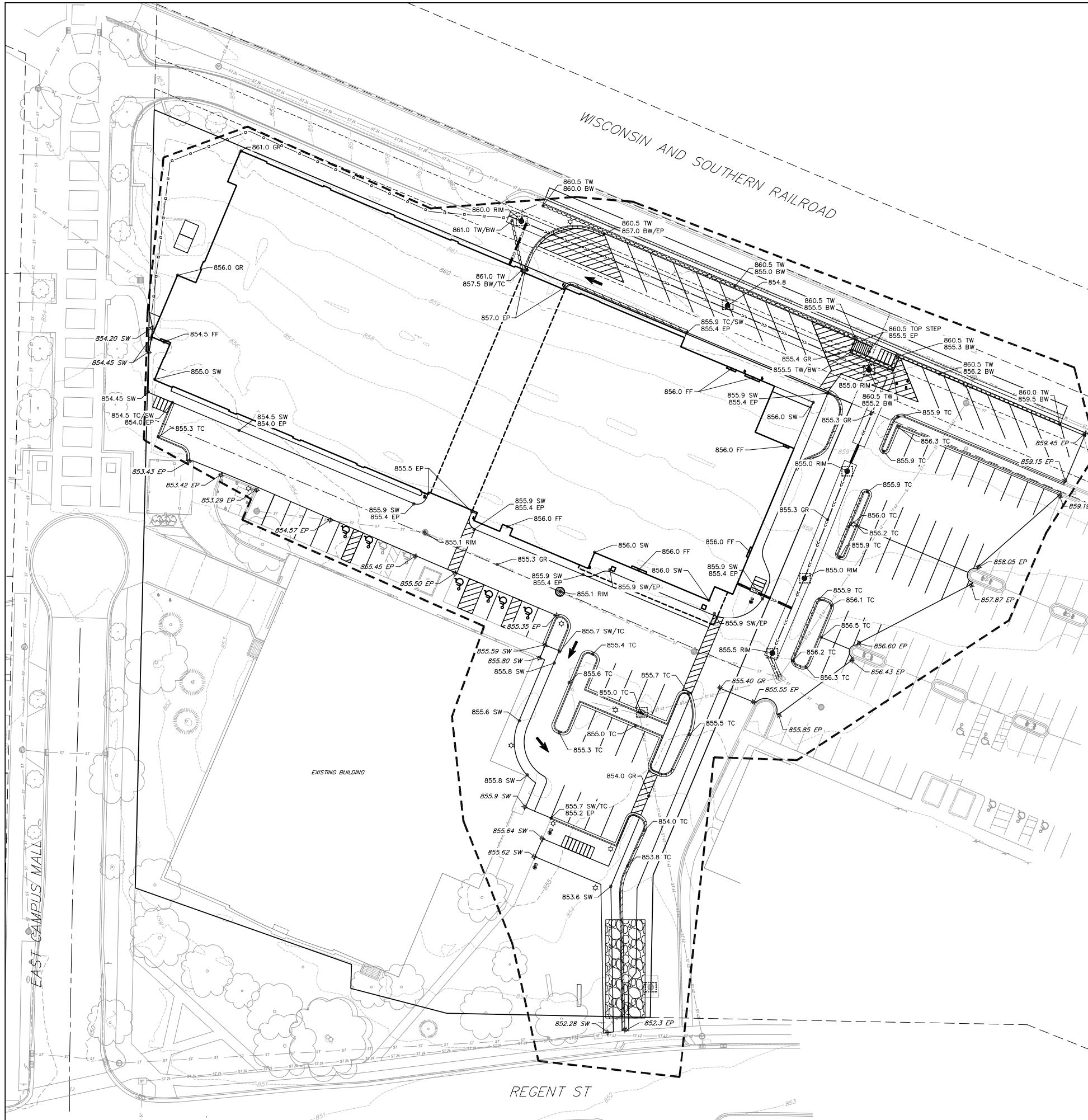
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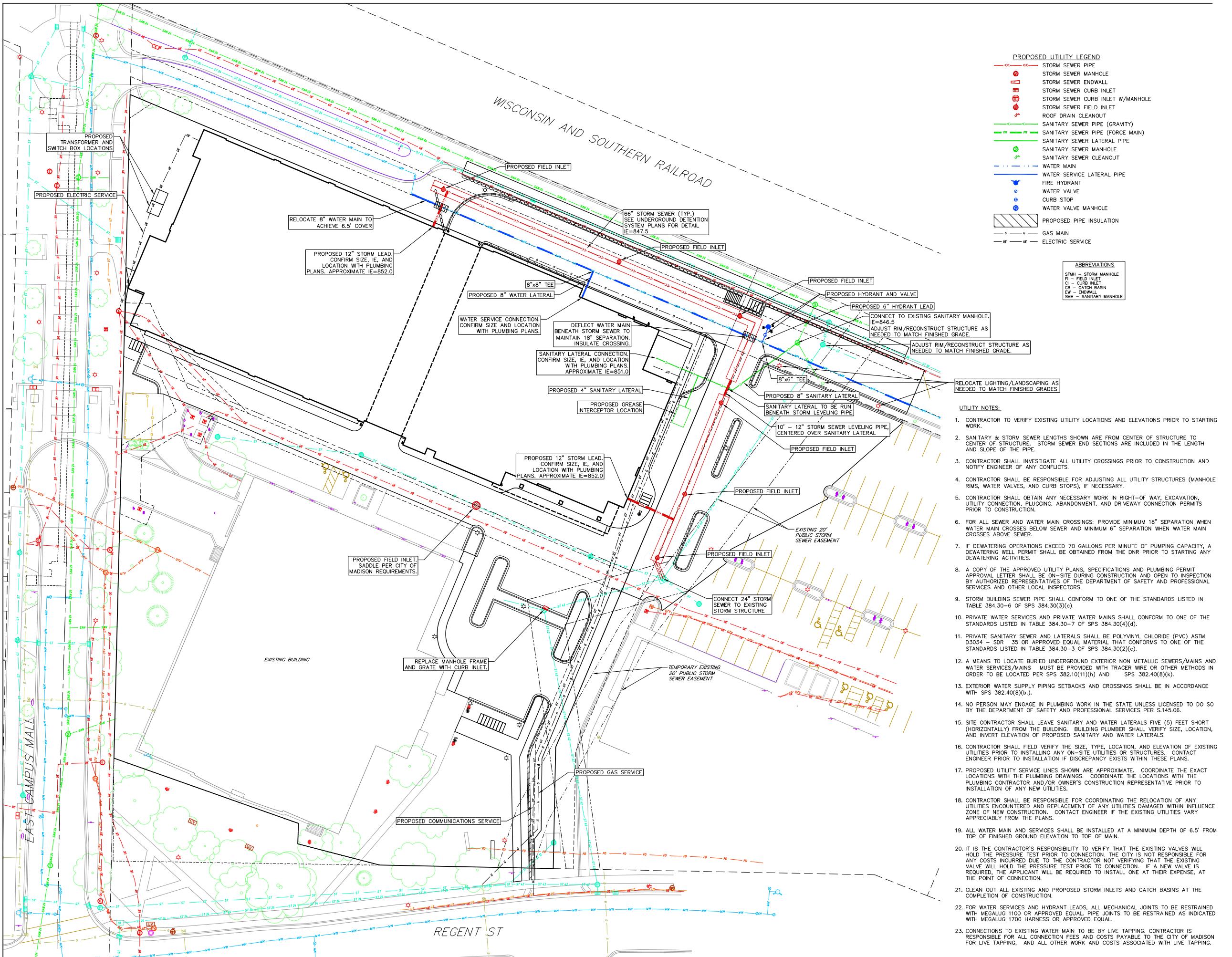
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Sheet 1 of 1 GRADING & EROSION CONTROL PLAN

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EROSION CONTROL MEASURES

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/unoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISCONSIN TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
7. CHANNELIZED RUNOFF: FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
8. STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
9. SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
10. WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT PER PLAN BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
11. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
12. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN OR THE DETENTION BASIN DETAIL SHEET.
13. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
14. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
15. EROSION MAT (CLASS I, TYPE A URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
16. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER THIS SHEET. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
17. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
18. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
19. ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM ALL PERMANENT BASINS TO THE ELEVATION SHOWN ON THE GRADING PLAN FOLLOWING THE STABILIZATION OF DRAINAGE AREAS.
20. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
21. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY DANE COUNTY LAND CONSERVATION OR PERMITTING MUNICIPALITY.
22. THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE AND TRACKING PAD
2. STRIP TOPSOIL—DETENTION BASINS
3. ROUGH GRADE DETENTION BASINS
4. SEED DETENTION BASINS
5. STRIP TOPSOIL—STREETS & LOTS
6. ROUGH GRADE STREETS & LOTS
7. SEED LOT AREAS AND INSTALL DRIVE-OVER VELOCITY CHECKS
8. CONSTRUCT UNDERGROUND UTILITIES
9. INSTALL INLET PROTECTION
10. CONSTRUCT ROADS (STONE BASE, CURB & GUTTER, AND SIDEWALK). REMOVE DRIVE-OVER VELOCITY CHECKS WHEN BASE COURSE IS PLACED
11. RESTORE TERRACES
12. REMOVE TRACKING PAD, SILT FENCE AND DIVERSION BERM MEASURES AFTER DISTURBED AREAS ARE RESTORED

SEEDING RATES:

TEMPORARY:
 1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
 2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

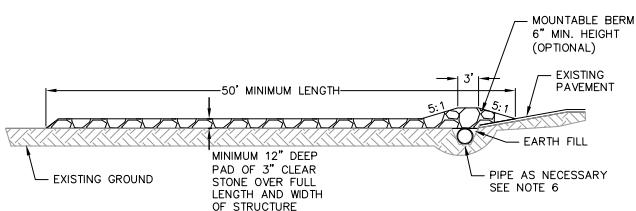
PERMANENT:
 1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

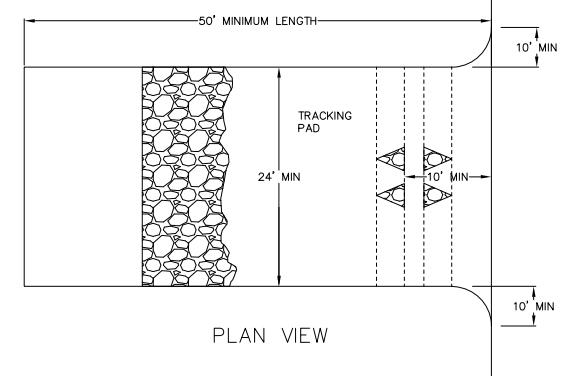
TEMPORARY AND PERMANENT:
 USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

TEMPORARY AND PERMANENT:
 USE $\frac{1}{2}$ " TO $1\frac{1}{2}$ " STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

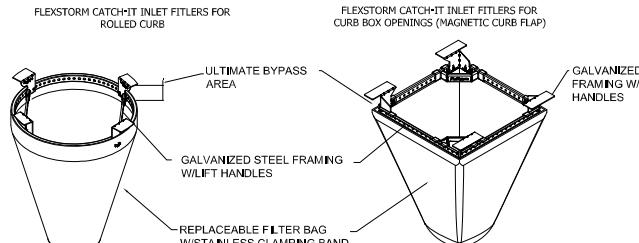
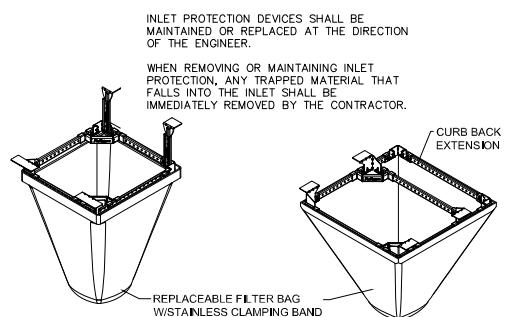


PROFILE VIEW



PLAN VIEW

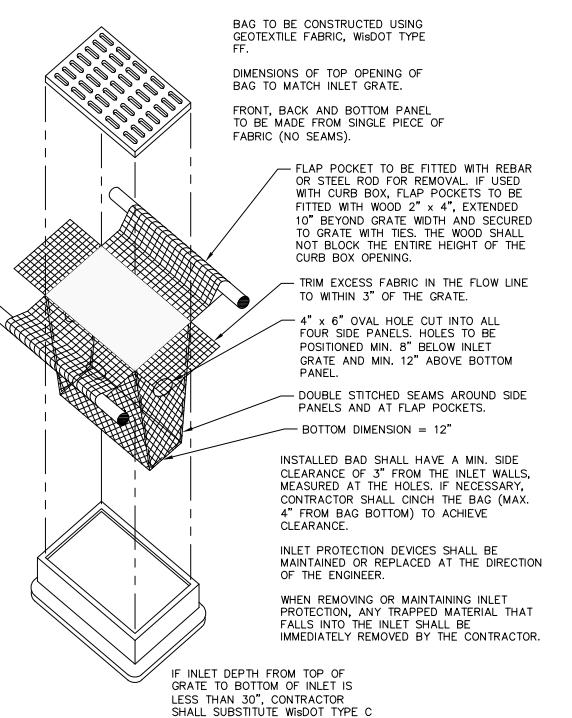
1. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
2. LENGTH — MINIMUM OF 50'
3. WIDTH — 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
4. ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
5. STONE — CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
6. SURFACE WATER — ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
7. LOCATION — A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.



NEENAH CASTING	INLET TYPE	GRATE SIZE	OPENING SIZE	ADS P/N
1040/1642/1733	ROUND	26	24	62MRDFX
3067 W/FLAP	CURB BOX	35.25 X 17.75	33.0 X 15.0	62LCBEXTFX
3067 EXTENDED BACK	CURB BOX	35.25 X 17.75	33.0 X 15.0	62LCBEXTFX
3246A	CURB BOX	35.75 X 23.875	33.5 X 21.0	62LCBFX
3030	SQUARE/RECT	23 X 16	20.5 X 13.5	62MCBFX
3067-C	SQUARE/RECT	35.25 X 17.75	33 X 15	62LSQFX

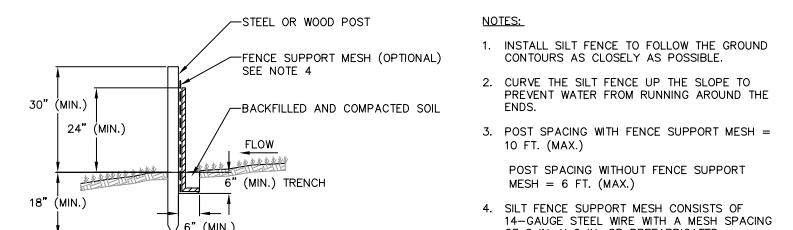
1 FLEXSTORM INLET PROTECTION
 NOT TO SCALE

11



1 INLET PROTECTION TYPE D
 NOT TO SCALE

1



1 SILT FENCE
 NOT TO SCALE

1

CITY OF MADISON UDC SUBMITTAL

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 CONSTRUCTION DETAILS

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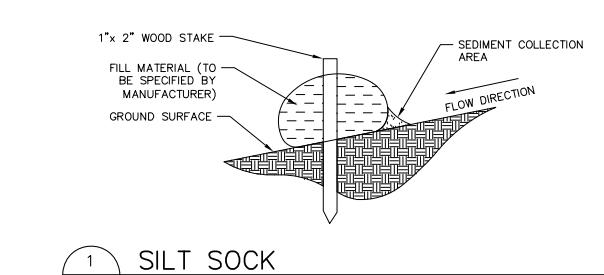
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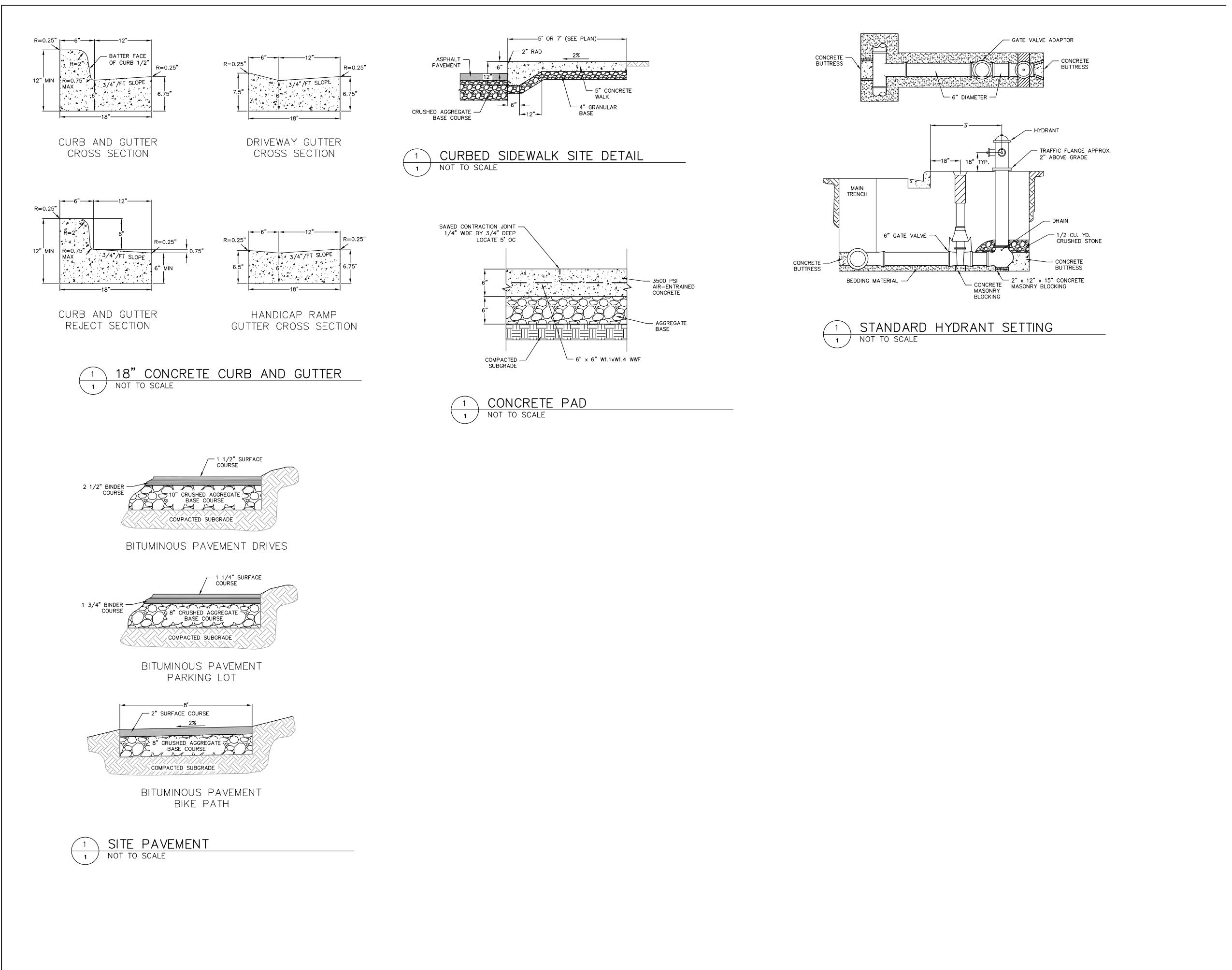
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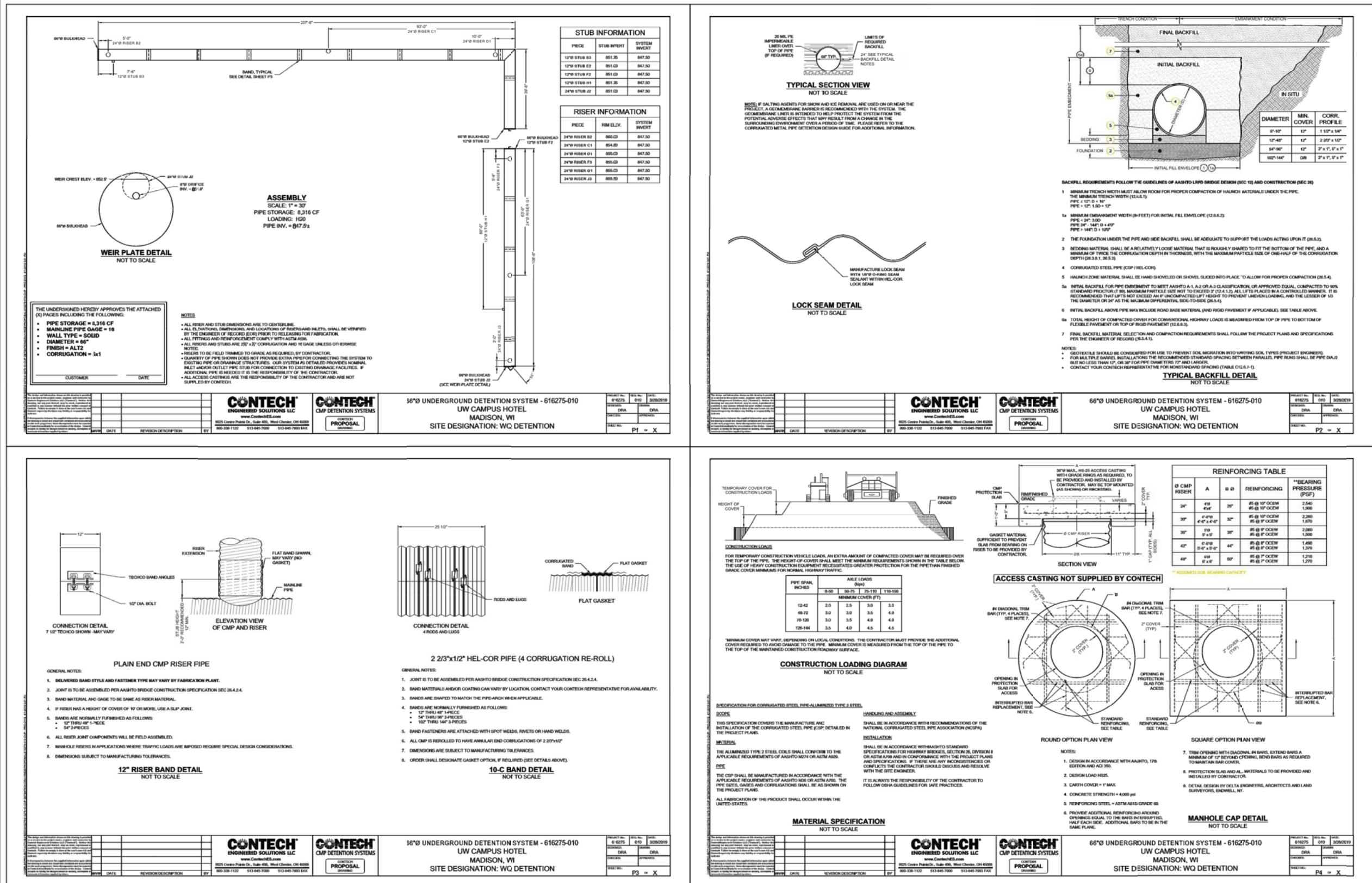
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1 SILT SOCK
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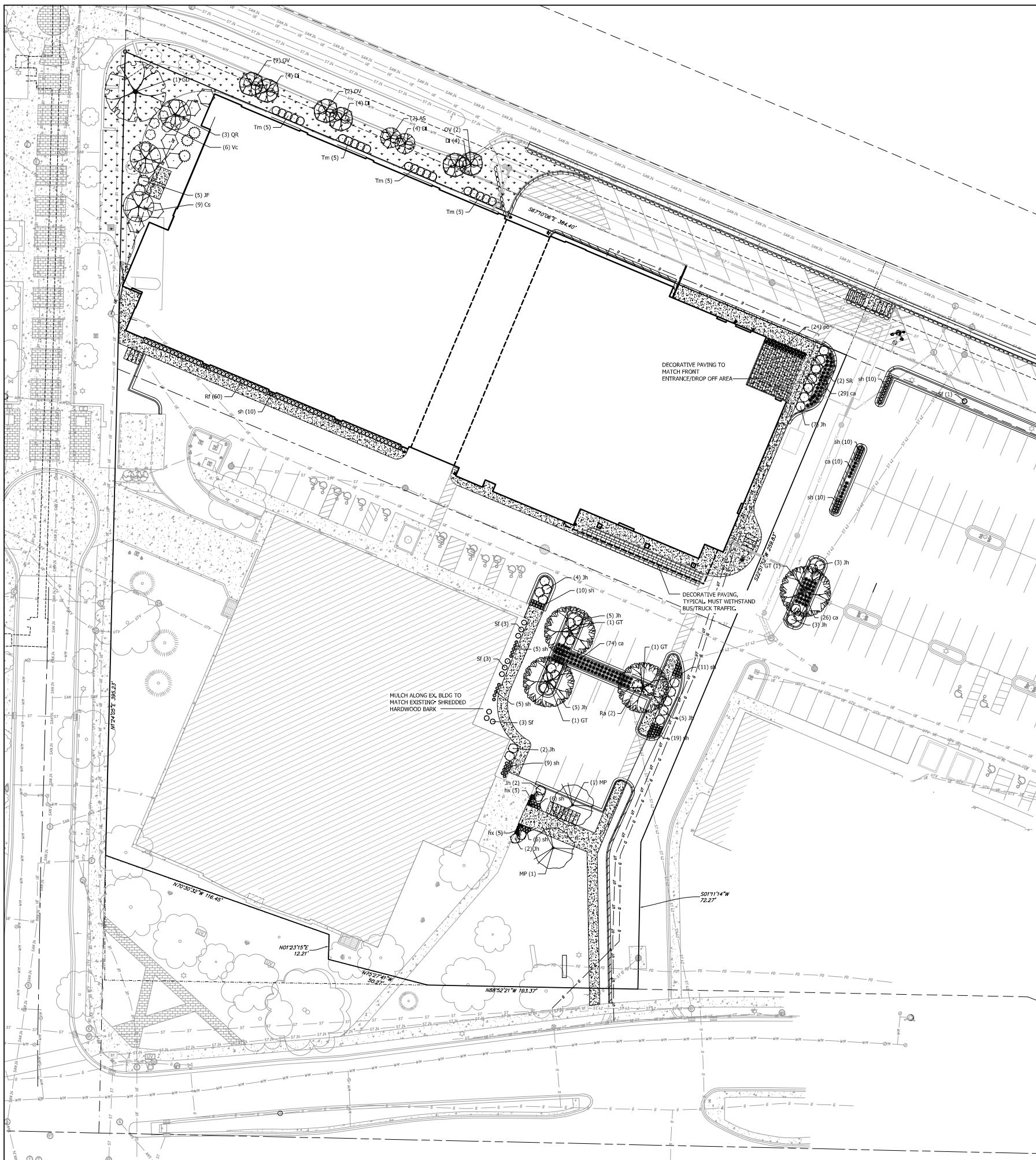
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Sheet Title

**CONSTRUCTION
 DETAILS**



PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY
		B & B	2.5' Cal	
AS	<i>Acer saccharum 'Apollo'</i> / Apollo Sugar Maple	30	10	2
GT	<i>Gleditsia triacanthos</i> 'Northern Adm'	30' x 10'	2.5' Cal	4
GD	<i>Gymnocladus dioica</i> 'McBridei'	50' x 40'	2.5' Cal	1
OV	<i>Ostrya virginiana</i> / American Hop hornbeam	25' x 15'	2.5' Cal	6
QR	<i>Quercus robur x. 'Eodora'</i> Long / Regal Prince Oak	45' x 18'	2.5' Cal	3

UNDERSTORY TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY
		B & B	2' Cal	
MP	<i>Milus x 'Pratense'</i> / Pratensis Maid Crabapple	20' x 25'	2' Cal	2
SR	<i>Syringa reflexata</i> 'Ivory Silk'	25' x 15'	2' Cal	2

DECIDUOUS SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	QTY
		5 gal	Cont	
Di	<i>Dennstaedtia</i> 'Minima'	3' x 2'	Cont	16
Rf	<i>Rhamnus frangula</i> 'Fine Line'	5' x 2'	Cont	60
Ra	<i>Rhamnus frangula</i> 'GroLow'	2' x 2'	Cont	2
Sf	<i>Spiraea</i> 'Rinkidou'	2' x 2'	Cont	10
Vc	<i>Viburnum carlesii</i> / Viburnum	5' x 5'	Cont	6

EVERGREEN SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	QTY
		B & B	6' Ht.	
JF	<i>Juniperus chinensis</i> 'Farview'	15' x 10'	6' Ht.	38
Jh	<i>Juniperus horizontalis</i> 'Blue Chip'	8' x 10'	6' Ht.	20
Tm	<i>Taxus x media</i> 'Hicks'	6' x 13'	6' Ht.	

PERENNIALS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	QTY
		1 gal	Cont	
ca	<i>Clangrass</i> 'acutiflora' 'Karl Foerster'	3' x 3'	Cont	139
hx	<i>Heuchera</i> 'Stella de Oro'	12' x 18'	Cont	10
po	<i>Polystichum acrostichoides</i> / Christmas Fern	1' x 3'	Cont	24
sh	<i>Sporobolus heterolepis</i> / Prairie Dropseed	2' x 18'	Cont	111

SEEDING/DECORATIVE PAVING SCHEDULE

	DECORATIVE PAVING	893 sf
	TURF GRASS SOD	5,078 sf

GENERAL NOTES:

- All plantings shall conform to quality requirements as per ANSI Z60.1.
- All plant material shall be true to the species, variety and size specified, nursery grown in accordance with good horticultural practices, and under climatic conditions similar to those of the project site.
- Contact Landscape Architect, in writing, to request and plant material substitutions due to availability issues.
- All disturbed areas, unless otherwise noted, to be sodded with Kentucky bluegrass turf sod grown in soil.
- All plants shall be guaranteed to be healthy and flourishing condition during the growing season following installation. All plant material shall be guaranteed for one year from the time of installation.
- Contractor, All plant material shall provide a surface amended topsoil blend for all planting areas where soil conditions are unsuitable for plant growth. Topsoil shall conform to quality requirements as per Section 62.21(1) of the Standard Specifications for Highway Construction. Provide a minimum of 12" of topsoil in all planting areas and 6" of topsoil in areas to be seeded/sodded.
- Landscape beds to be mulched with 2" washed stone mulch to 3" depth min. and edged with commercial grade aluminum landscape edging, Permeocleanline 2" x 4" or equal, color black anodized.



GRAPHIC SCALE FEET

0 10 20 40

Reasons

City of Madison Landscape Worksheet						
Address:		780 Regent St	Date:	04.11.2019		
Total Square Footage of Developed Area:		(Site Area)	51737	(Building Footprint at Grade) 38023 = 13714 sf		
Total Landscape Points Required:			13,714	/ 300 =	46	x 5 = 229
Plant Type/Element	Min. Size at Installation	Points	Quantity	Points Achieved	Quantity	Points Achieved
Oversize deciduous tree	2.5' cal	35	0	4	140	
Tall evergreen tree	9'6" feet tall	35	0	0	0	
Ornamental tree	1.5' cal	15	0	2	30	
Upright evergreen shrub	3-4 feet tall	10	0	5	50	
Shrub, deciduous	#1 gallon container size, Min. 8" x 18"	3	0	75	225	
Shrub, evergreen	#3 gallon container size, Min. 8" x 24"	4	0	7	28	
Ornamental grasses/periennials	#1 gallon container size, Min. 8" x 18"	2	0	63	126	
Ornamental/decorative fencing or wall	4 per 10 LF		0		0	
Existing significant specimen tree	Min. Size 2.5" cal. Trees must be within developed area and cannot comprise more than 10% of total required points.	14 per caliper inch. Max. points per tree: 200	0		0	
Landscape Furniture for public seating and/or transit connections	Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"	0		0	
Sub Totals				0	599	
						Total Points Provided: 599

CITY OF MADISON UDC SUBMITTAL

SCOPE DOCUMENTS

Drawing Date
APRIL 12, 2019

UW CAMPUS HOTEL

780 Regent Street
Madison, WI 53715Project No.
218051Sheet Title
LANDSCAPE PLAN



PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY
		B & B	2.5' Cal	
AS	<i>Acer saccharum "Apollo"</i> / Apollo Sugar Maple			2
GT	30' x 10' <i>Gleditsia triacanthos</i> / Northern Adam's-Apple Tree	B & B	2.5' Cal	4
GD	<i>Gymnocladus dioica</i> / Kentucky Coffee Tree	B & B	2.5' Cal	1
OV	50' x 40' <i>Ostrya virginiana</i> / American Hop hornbeam	B & B	2.5' Cal	6
QR	25' x 15' <i>Quercus robur</i> 'Eboracum' / Royal Prince Oak	B & B	2.5' Cal	3
UNDERSTORY TREES				
MP	<i>Malus x "Prinetti"</i> / Prinetti Crabapple	CONT	CAL	QTY
SR	20' x 25' <i>Syringa reflexata</i> 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	B & B	2' Cal	2
DECIDUOUS SHRUBS				
CS	<i>Cornus sericea</i> / Red Twig Dogwood	5 gal	Cont	9
DI	3' x 3' <i>Dennstaedtia punctilobula</i> / Dwarf Bush Honeysuckle	5 gal	Cont	16
RF	5' x 2' <i>Rhamnus frangula</i> 'Fine Line' / Fine Line Buckthorn	5 gal	Cont	60
RA	22' x 6' <i>Rhus typhina</i> 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal	Cont	2
SF	23' x 2' <i>Spiraea japonica</i> 'Pink Micro Chip' / Pink Micro Chip Spirea	3 gal	Cont	10
VC	5' x 6' <i>Viburnum dentatum</i> / Nanking Viburnum	5 gal	Cont	6
EVERGREEN SHRUBS				
JF	<i>Juniperus chinensis</i> 'Farleyi' / Farley Juniper	SIZE	FIELD	QTY
JH	15' x 10' <i>Juniperus horizontalis</i> 'Blue Chip' / Blue Chip Juniper	B & B	6' Ht.	5
TM	9' x 10' <i>Taxus x media</i> 'Hicksii' / Hicks Yew	10 gal	Cont	20
PERENNIALS				
CA	<i>Cladium giganteum</i> 'Karl Foerster' / Feather Reed Grass	1 gal	Cont	139
hx	12' x 18' <i>Hemerocallis</i> 'Stella de Oro' / Stella de Oro Daylily	1 gal	Cont	10
PO	1' x 3' <i>Polystichum acrostichoides</i> / Christmas Fern	1 gal	Cont	24
SH	2' x 18' <i>Sporobolus heterolepis</i> / Prairie Dropseed	1 gal	Cont	111

SEEDING/DECORATIVE PAVING SCHEDULE

	DECORATIVE PAVING	893 sf
	TURF GRASS SOD	5,078 sf

GENERAL NOTES:

- All plantings shall conform to quality requirements as per ANSI Z60.1.
- All plant material shall be true to the species, variety and size specified, nursery grown in accordance with good horticultural practices, and under climatic conditions similar to those of the project site.
- Contact Landscape Architect, in writing, to request and plant material substitutions due to availability issues.
- All disturbed areas, unless otherwise noted, to be sodded with Kentucky bluegrass turf sod grown in soil.
- All plants shall be guaranteed to be healthy and flourishing condition during the growing season following installation. All plant material shall be guaranteed for one year from the time of installation.
- Contractor, All plant material shall provide a suitable amended topsoil blend for all planting areas where soil conditions are unsuitable for plant growth. Topsoil shall conform to quality requirements as per Section 62.21(1) of the Standard Specifications for Highway Construction. Provide a minimum of 12' of topsoil in all planting areas and 6' of topsoil in areas to be seeded/sodded.
- Landscape beds to be mulched with 2" washed stone mulch to 3" depth min. and edged with commercial grade aluminum landscape edging, Permeocleanline 2" x 4" or equal, color black anodized.



Revisions

City of Madison Landscape Worksheet						
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Sub Totals			0	599		
						Total Points Provided: 599

**CITY OF MADISON UDC SUBMITTAL
 SCOPE DOCUMENTS**

Drawing Date
 APRIL 12, 2019

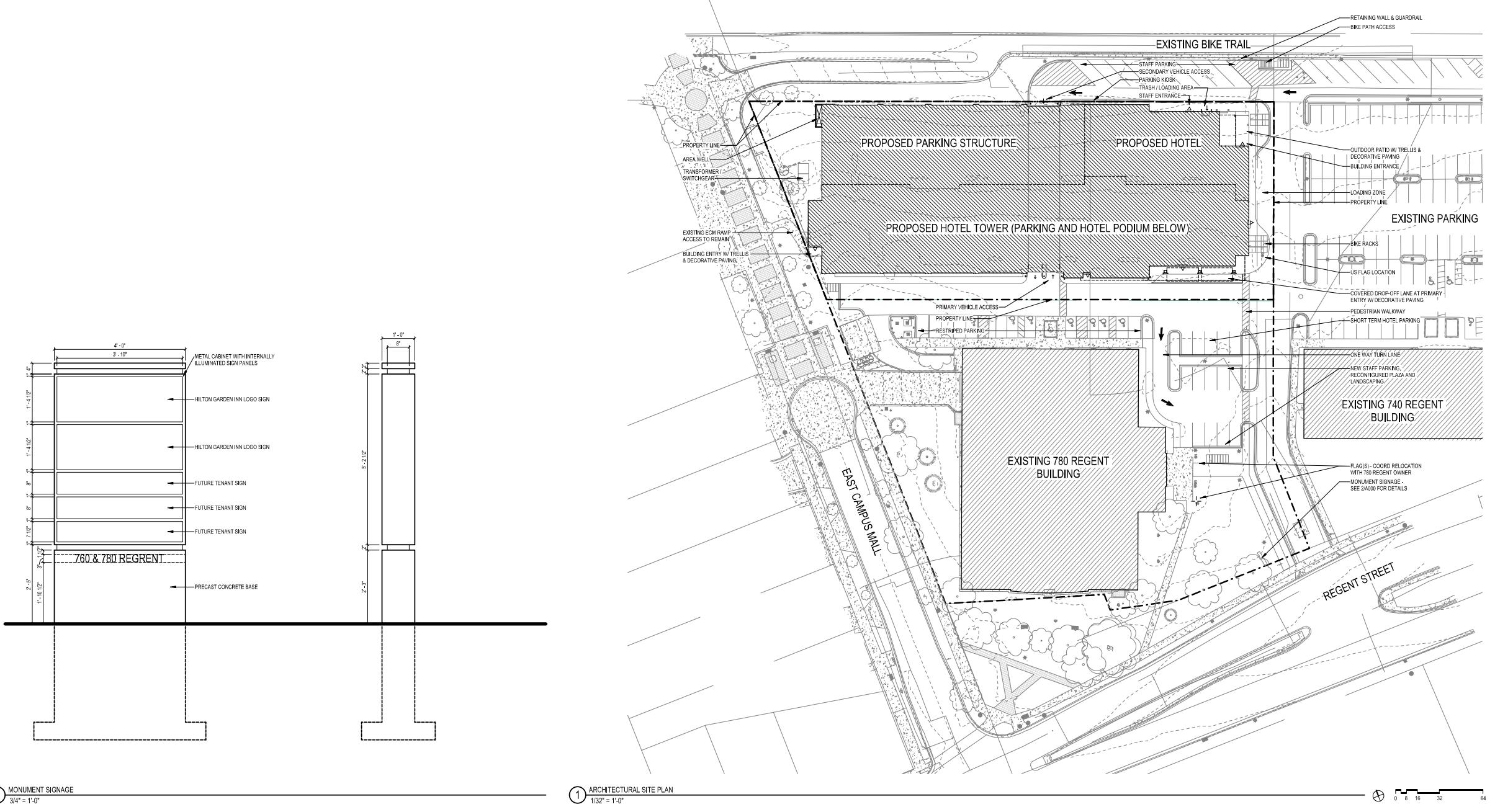
UW CAMPUS HOTEL

780 Regent Street
 Madison, WI 53715

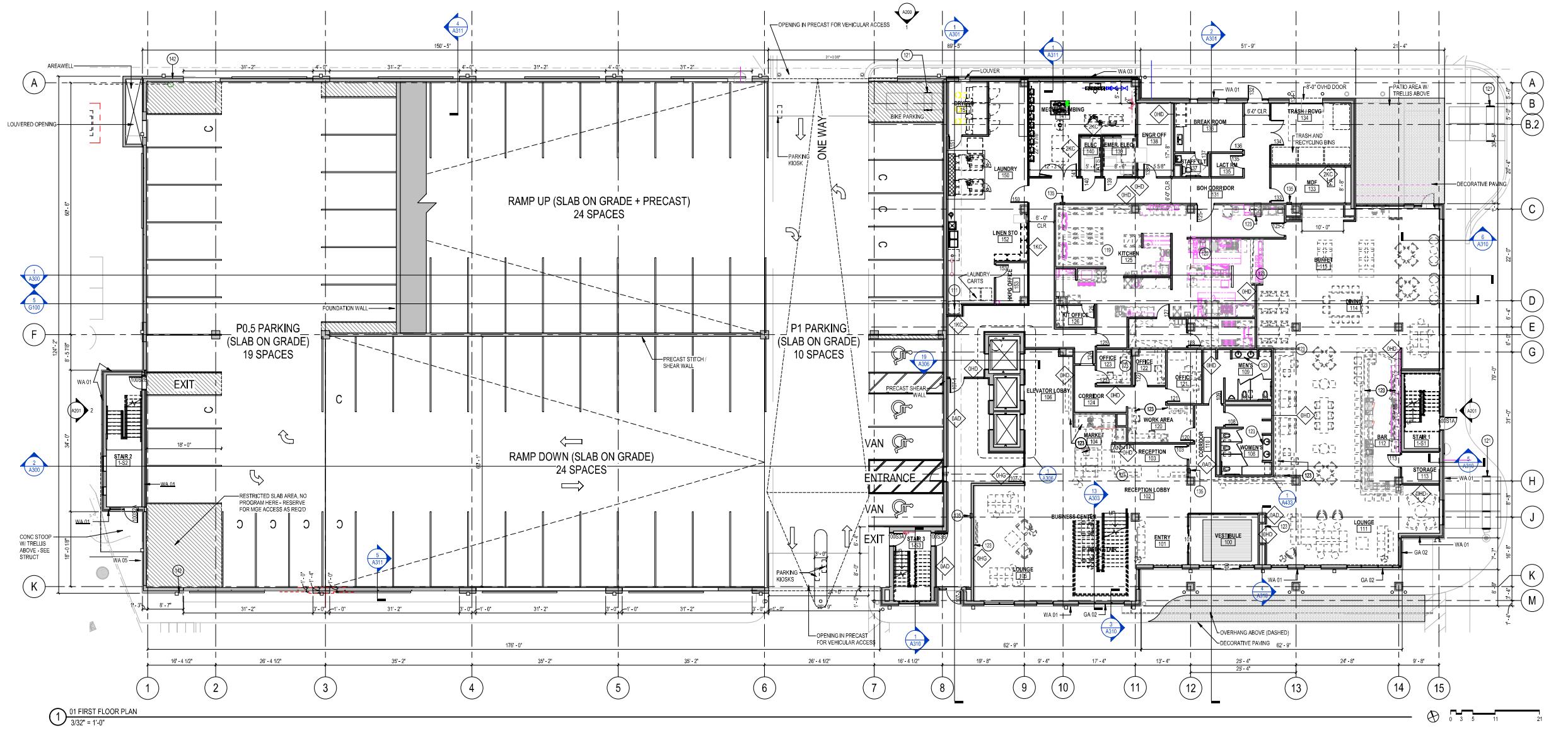
Project No. Mortenson
 218051

Sheet Title
LANDSCAPE PLAN

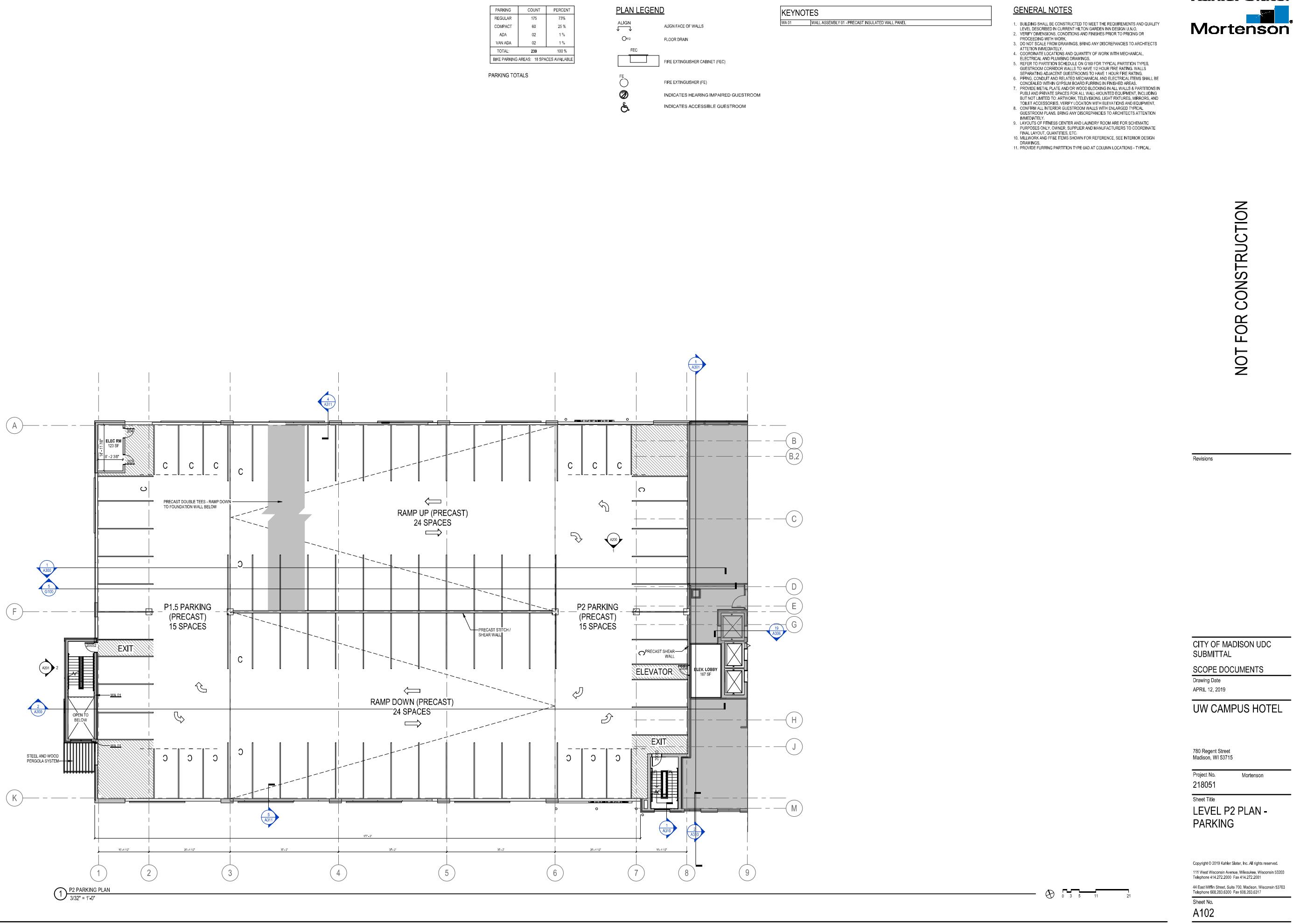
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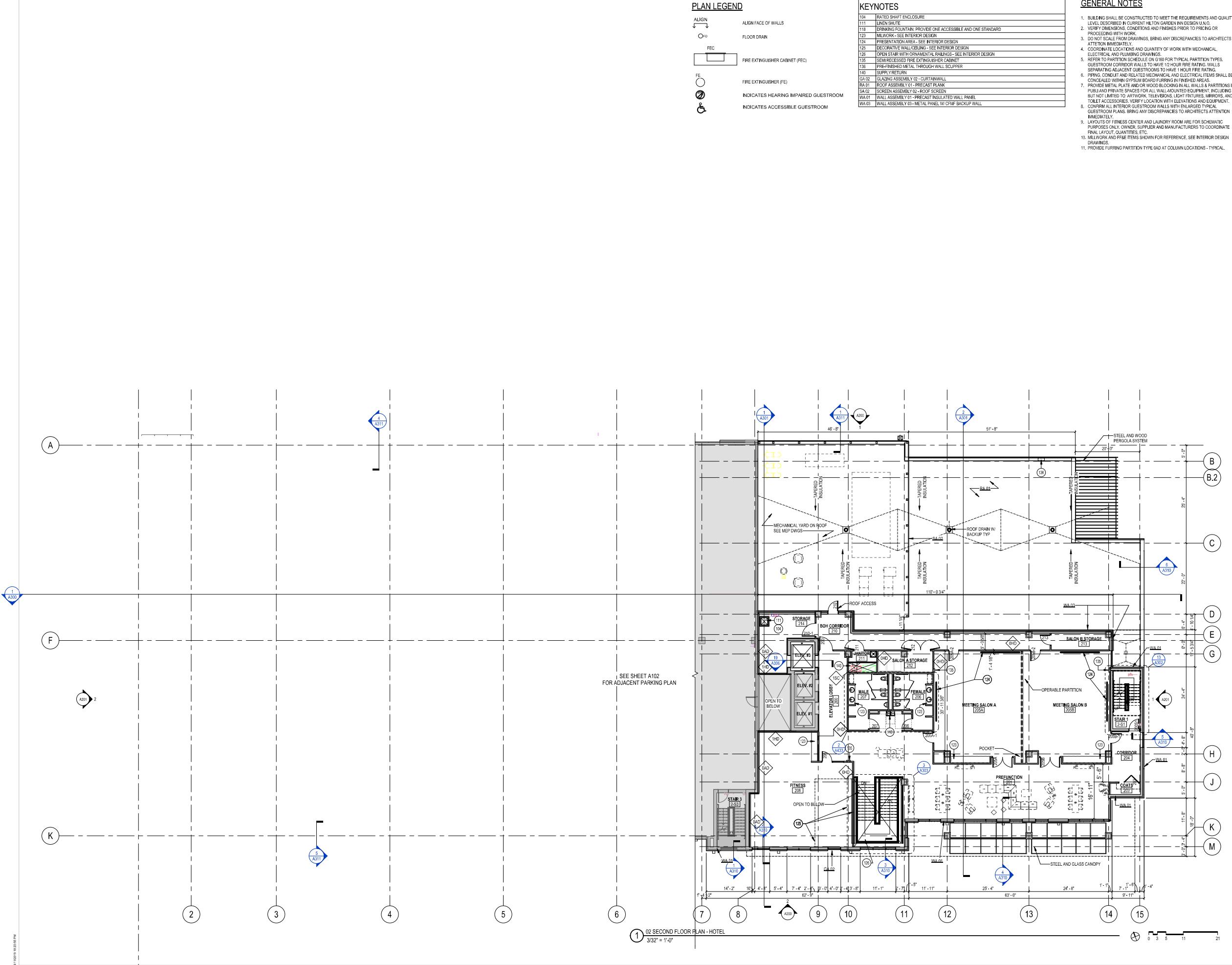
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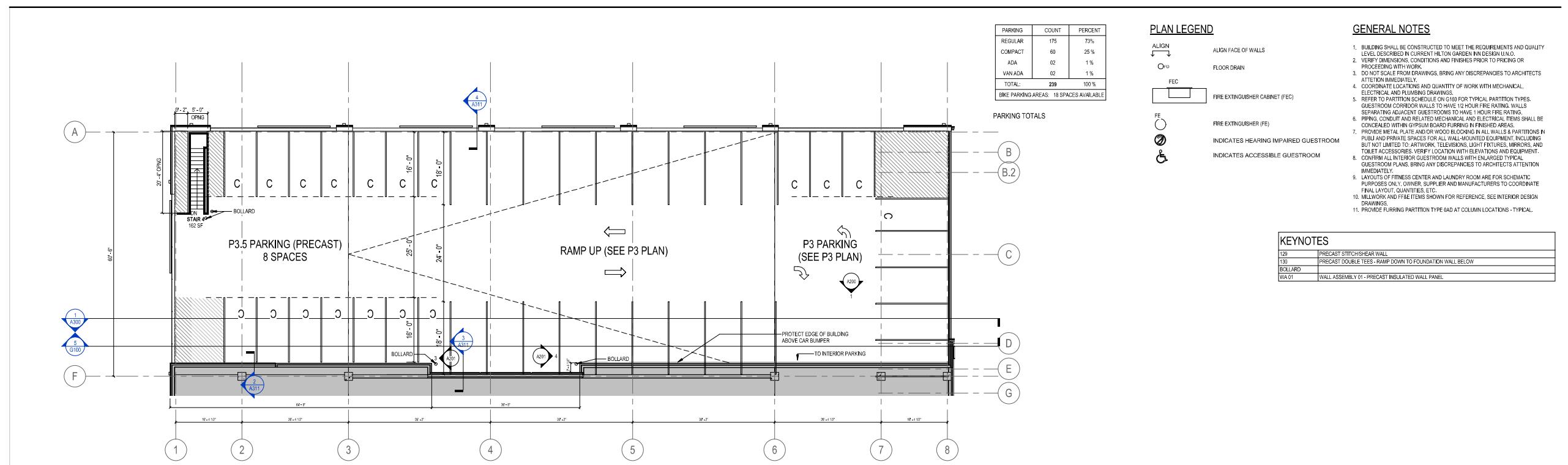
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APRIL 12, 2019

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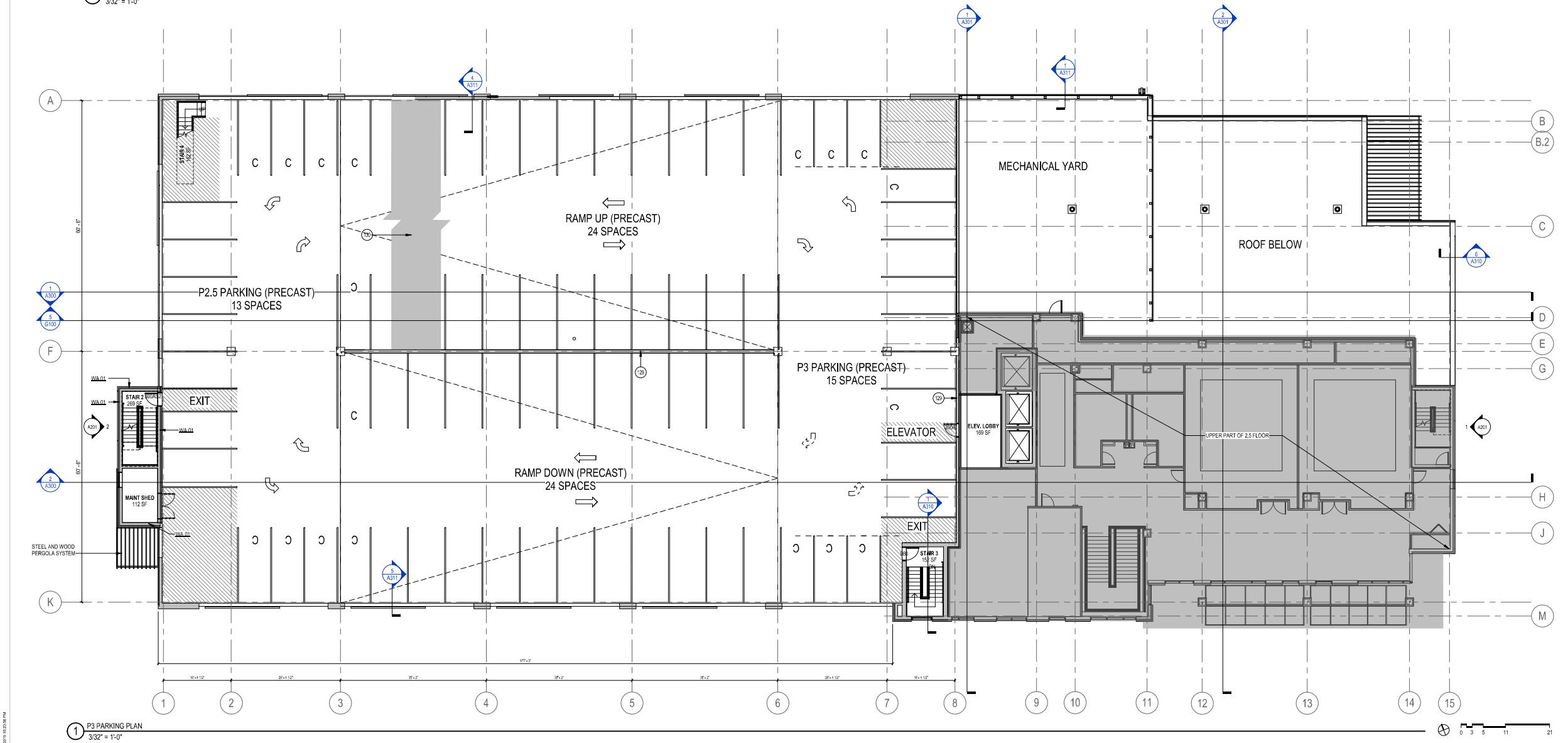
780 Regent Street
Madison, WI 53715

Project No. Mortenson
218051

Sheet Title
LEVEL 2 PLAN - HOTEL



② P3.5 PARKING PLAN
3/32" = 1'-0"

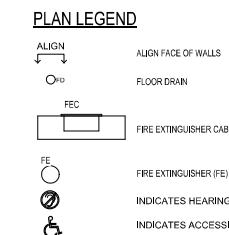


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GENERAL NOTES

UNIT TYPE	COUNT	PERCENT
DQ	72	41 %
DQ-ADA	02	01 %
K	88	50 %
K-ADA	04	02 %
PK	08	5 %
PK-ADA	02	01 %
TOTAL	176	100 %

UNIT TOTALS

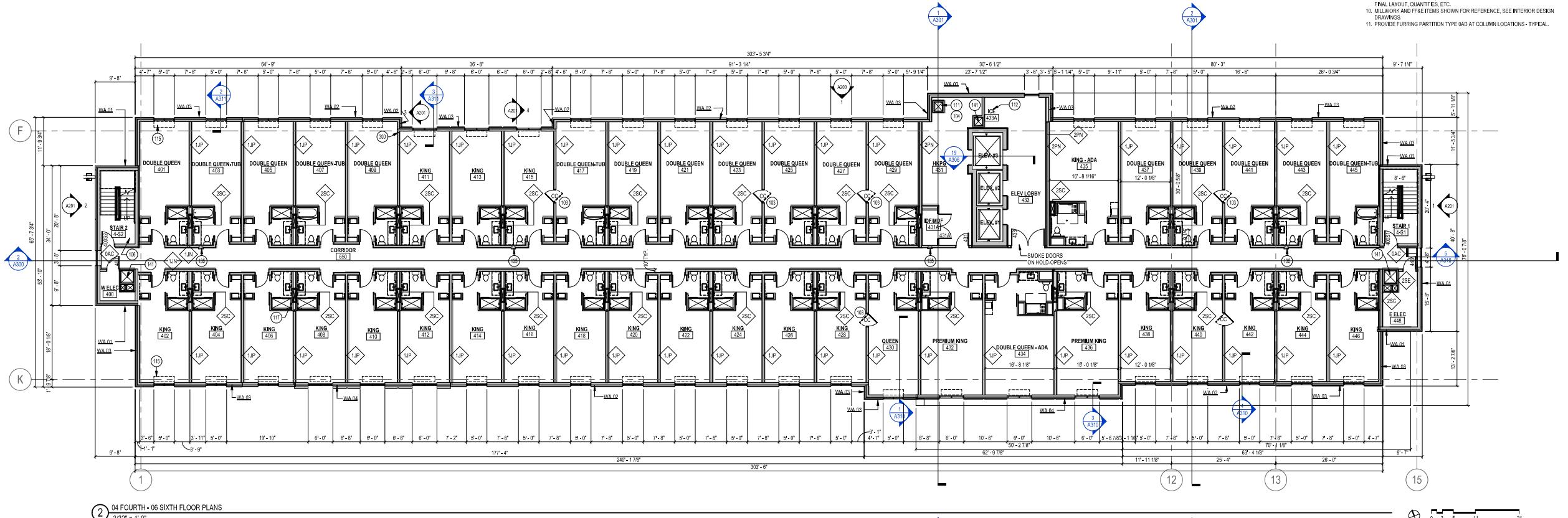


KEYNOTE

103	ADJOINING ROOM DOUBLE DOOR - SEE PLAN FOR LOCATIONS	1.
104	SHOWER SHAFT ENCLOSURE	2.
106	RATED STAR SHAFT ENCLOSURE	3.
111	LINEN SHUTE	3.
112	ICE MACHINE, BY OTHERS	4.
115	PTAC UNIT, TYPICAL EACH GUESTROOM	4.
117	PROVIDE GLASS MRY SHAFT/TLR AT ALL SUBDCT SHAFTS TYPICAL	5.
136	SEW/RECESSCED FIRE EXTINGUISHER CABINET	6.
139	PREFINISHED METAL KITCHEN EDGE PANEL, ALL EDGES	6.
141	1/2" PVC, SDR 35	7.
300	COLD FORM, METAL, FRAMING TO ALIGN WITH EXTERIOR WALL, COORDINATE WITH GYPSUM BOARD	7.
WA#01	WALL ASSEMBLY 1-01: PRECAST INSULATED METAL WALL PANEL	7.
WA#02	WALL ASSEMBLY 2-02: EFRS W/ CFM BACKUP WALL	8.
WA#03	WALL ASSEMBLY 3-03: METAL PANEL W/ CFM BACKUP WALL	8.
WA#04	WALL ASSEMBLY 4-04: METAL PANEL W/ CFM BACKUP WALL	8.

GENERAL NOTES

1. BUILDING SHALL BE CONSTRUCTED TO MEET THE REQUIREMENTS AND QUALITY LEVEL DESCRIBED IN CONSTRUCTED HILTON GARDEN IN DESIGN UNO.
2. VERIFY DIMENSIONS, CONDITIONS AND FINISHES PRIOR TO PRICING OR CONTRACTING.
3. DO NOT SCALE FROM DRAWINGS, BRING ANY DISPARITIES TO ARCHITECT'S ATTENTION IMMEDIATELY.
4. COORDINATE LOCATION AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
5. REFER TO PARTITION SCHEDULE ON 1601 FOR TYPICAL PARTITION TYPES. GUESTROOM CORRIDOR WALLS HAVE TO HAVE 1/2 HOUR FIRE RATING, WALLS IN BATHROOMS HAVE TO HAVE 1/2 HOUR FIRE RATING.
6. PIPE CONDUIT AND RELATED MECHANICAL AND ELECTRICAL, SHALL BE CONCEALED WITHIN GYPSUM BOARD FURNISHING IN FINISHED AREAS.
7. PROVIDE METAL PLATE AND/OR WOOD BLOCKING IN ALL WALLS & PARTITIONS IN BATHROOMS, GUESTROOMS, KITCHENS, AND MEETING ROOMS. PROVIDED BY CONTRACTOR BUT NOT LIMITED TO APPLIANCES, TELEVISIONS, UPHOLSTERY, MIRRORS, AND TOILET ACCESSORIES. VERIFY LOCATION WITH ELEVATIONS AND EQUIPMENT.
8. CONFIRM ALL INTERIOR GUESTROOM WALLS WITH ENLARGED TYPICAL GUESTROOM PLANS, BRING ANY DISPARITIES TO ARCHITECT'S ATTENTION IMMEDIATELY.
9. LAYOUTS OF FITNESS CENTER AND LAUNDRY ROOM ARE FOR SCHEMATIC PURPOSES ONLY, OWNER, SUPPLIER AND MANUFACTURERS TO COORDINATE AND VERIFY QUANTITIES, ETC.
10. MILITARY AND FRAMING SHOWN FOR REFERENCE, SEE INTERIOR DESIGN DRAWINGS.
11. PROVIDE FURNING PARTITION TYPE 040 AT COLUMN LOCATIONS- TYPICAL.



PARISIODE

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SCOPE DOCUMENTS

Drawing Date
APRIL 12, 2010

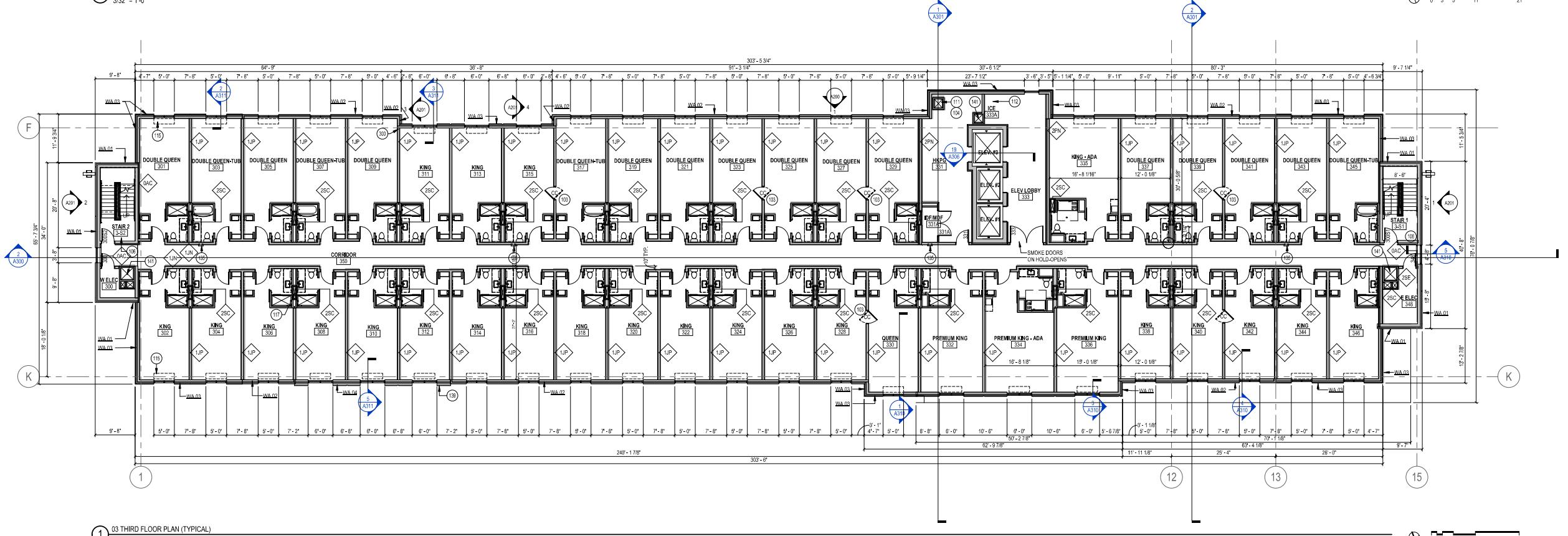
UIW CAMPUS HOTEL

780 Regent Street
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Project No. Mortenson
218051

Sheet Title

LEVEL 3 & 4 PLAN



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UW CAMPUS HOTEL

780 Regent Street
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218051

Sheet Title

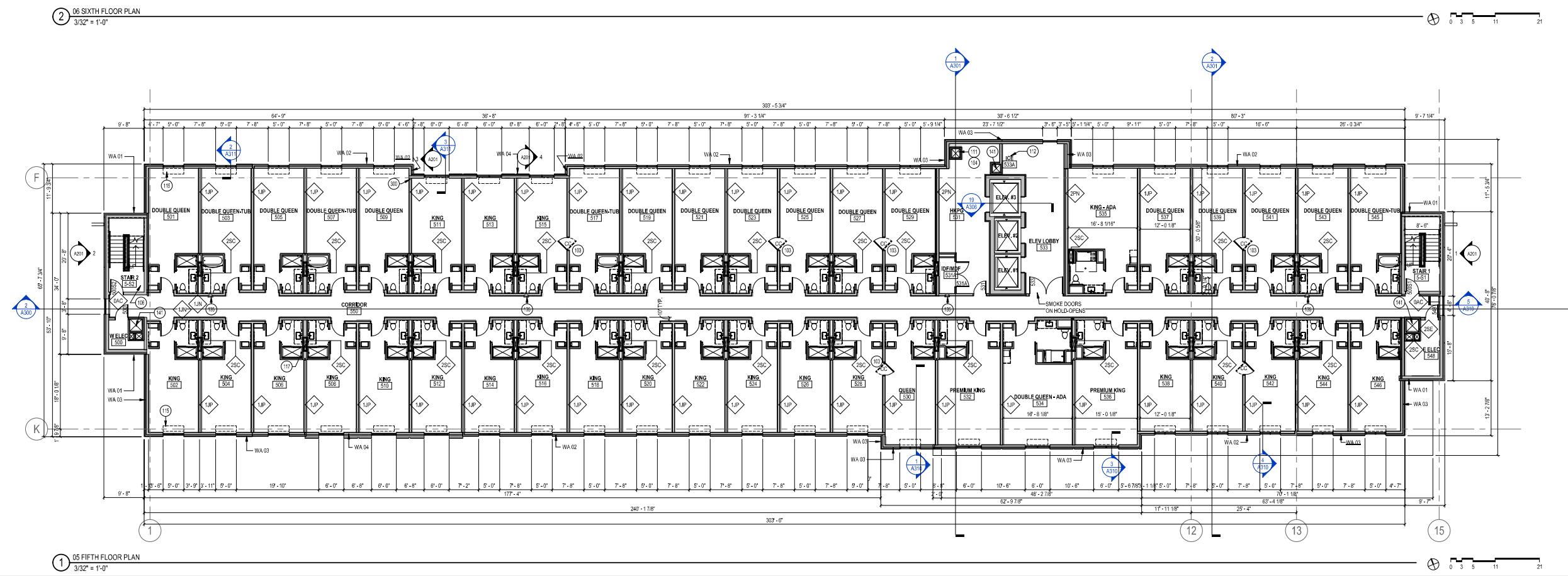
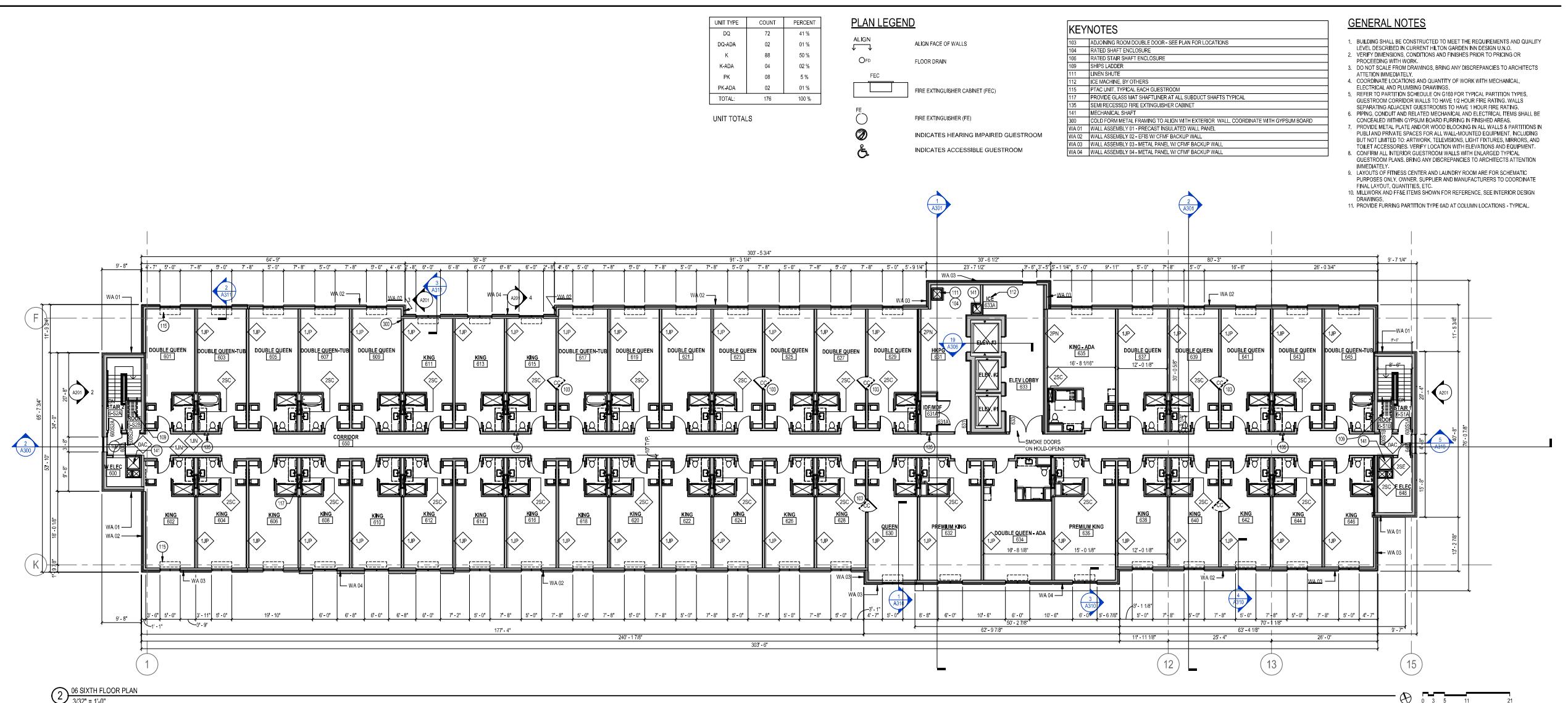
LEVEL 5 & 6 PLAN

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Sheet No.

A107



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SCOPE DOCUMENTS

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APRIL 12, 2019

UW CAMPUS HOTEL

780 Regent Street
Madison, WI 53715

Project No. Mortenson
218051

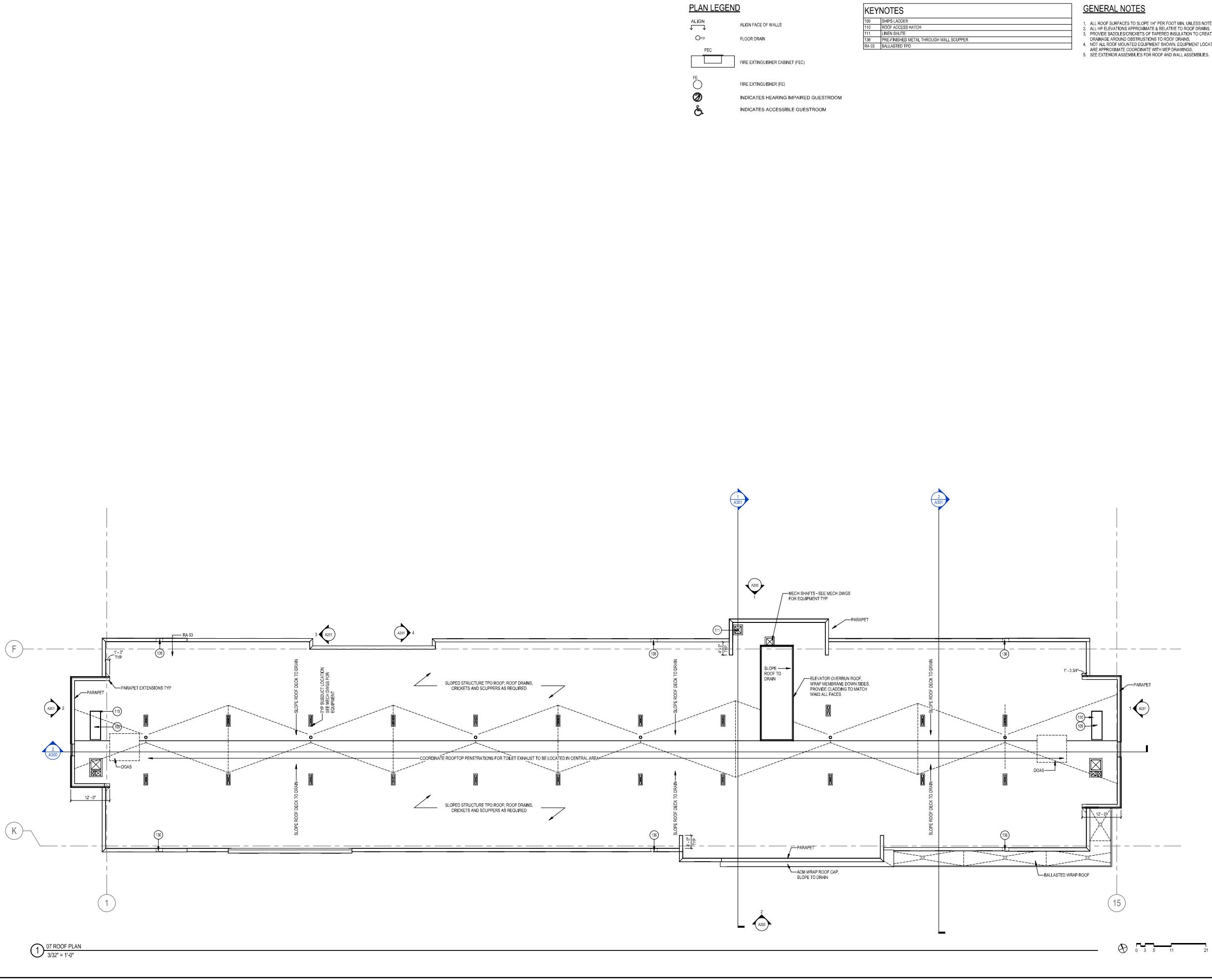
Sheet Title
LEVEL 7 - ROOF PLAN

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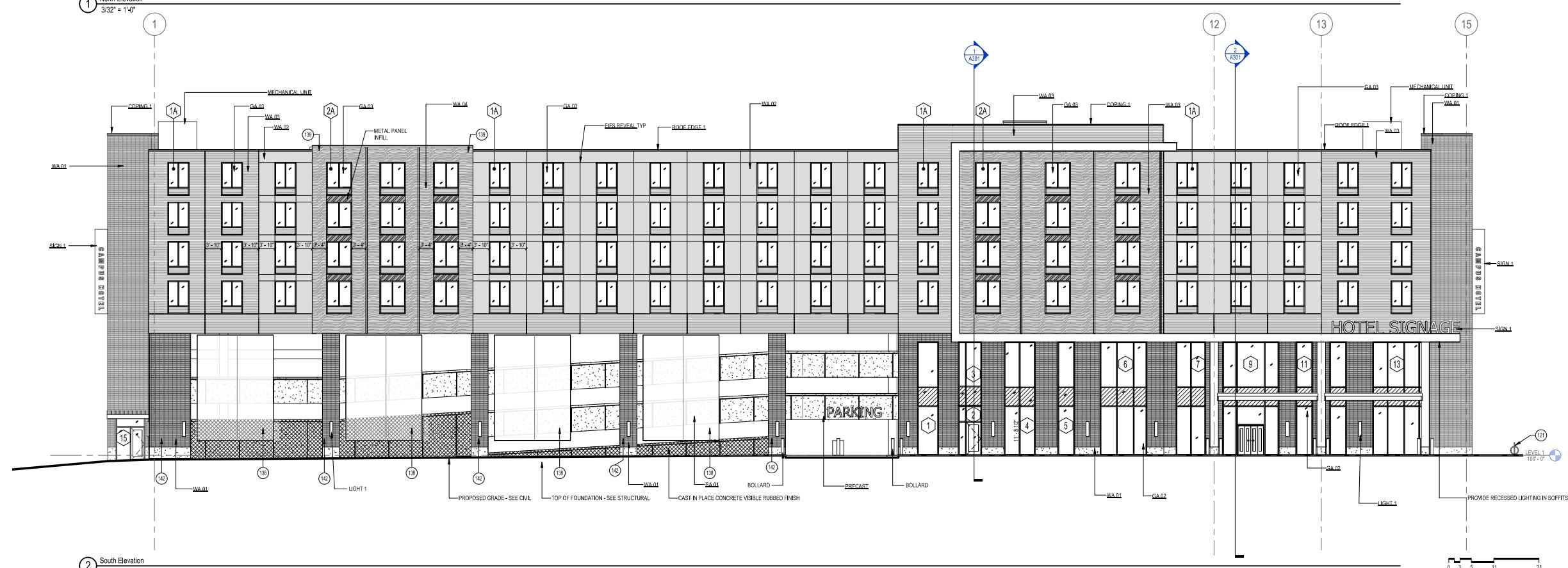
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UIW CAMPUS HOTEL

SW SWIII

700 Bassett Street

700 Regent Street
Madison, WI 53715

Project No. Mortenson
610074

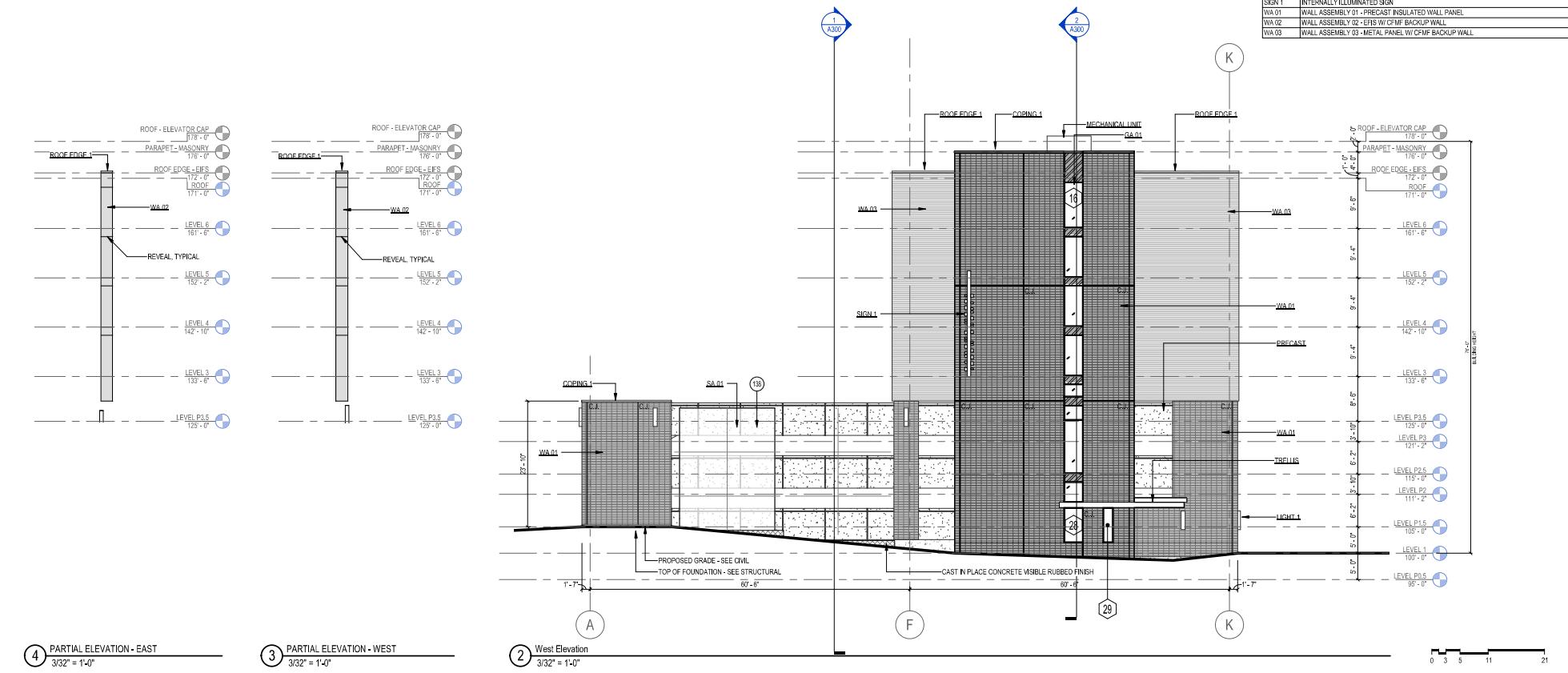
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Sheet Title

EXTERIOR

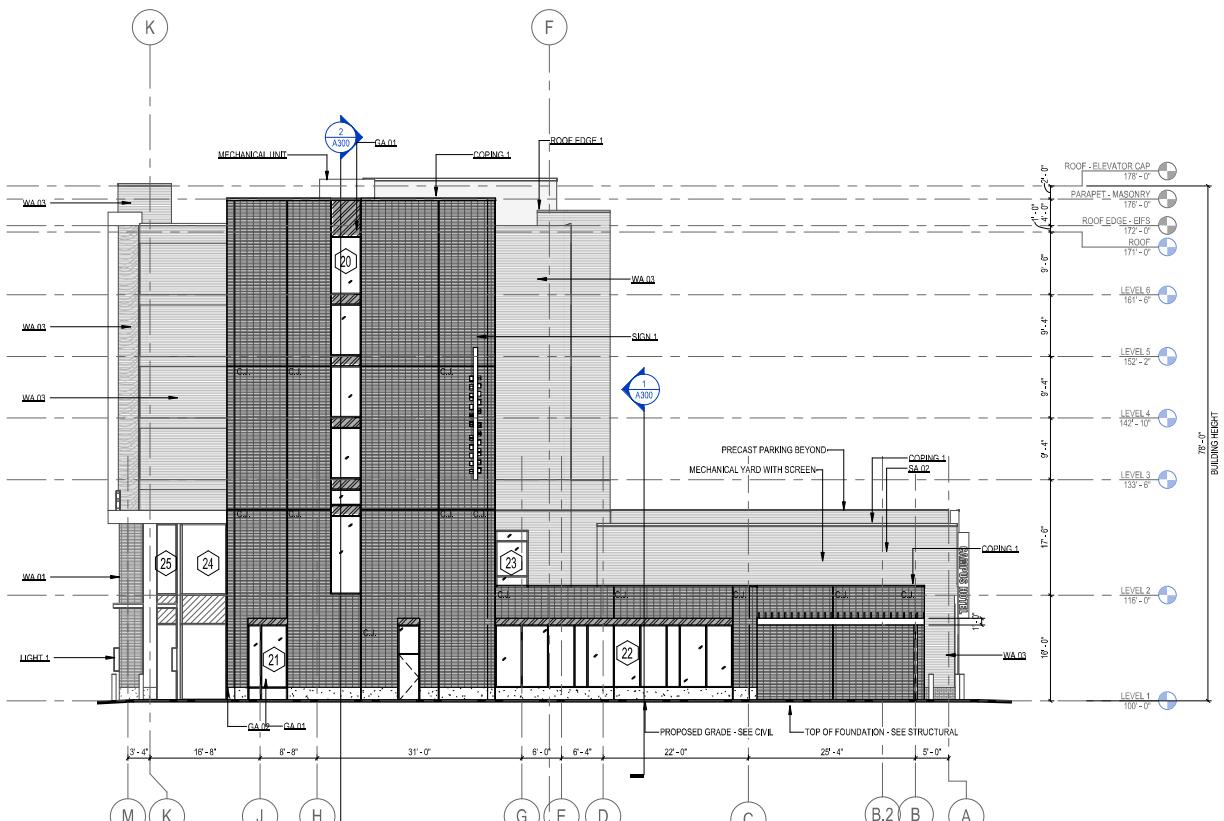
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KEYNOTES	
138	MESH PANEL
COPING 1	PREFINISHED METAL COPING
GA.01	GLAZING ASSEMBLY 01 - STOREFRONT
GA.02	GLAZING ASSEMBLY 02 - CURTAINWALL
LIGHT.1	ARCHITECTURAL LIGHTING
PRECAST	STRUCTURAL PRECAST CONCRETE WITH AN ARCHITECTURAL FINISH
PRE	PREFINISHED METAL ROOF EDGE
EDGE.1	
SA.01	SCREEN ASSEMBLY 01 - PARKING SCREEN
SA.02	SCREEN ASSEMBLY 02 - ROOF SCREEN
SIGN.1	INTERNAL ILLUMINATED SIGN
WA.01	WALL ASSEMBLY 01 - PRECAST INSULATED WALL PANEL
WA.02	WALL ASSEMBLY 02 - EIFS WI CMF BACKUP WALL
WA.03	WALL ASSEMBLY 03 - METAL PANEL WI CMF BACKUP WALL



4 PARTIAL ELEVATION - EAST
3/32" = 1'-0"

3 PARTIAL ELEVATION - WEST
3/32" = 1'-0"



1 East Elevation
3/32" = 1'-0"

CITY OF MADISON UDC
SUBMITTAL

SCOPE DOCUMENTS

Drawing Date
APRIL 12, 2019

UW CAMPUS HOTEL

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Madison, WI 53715

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218051

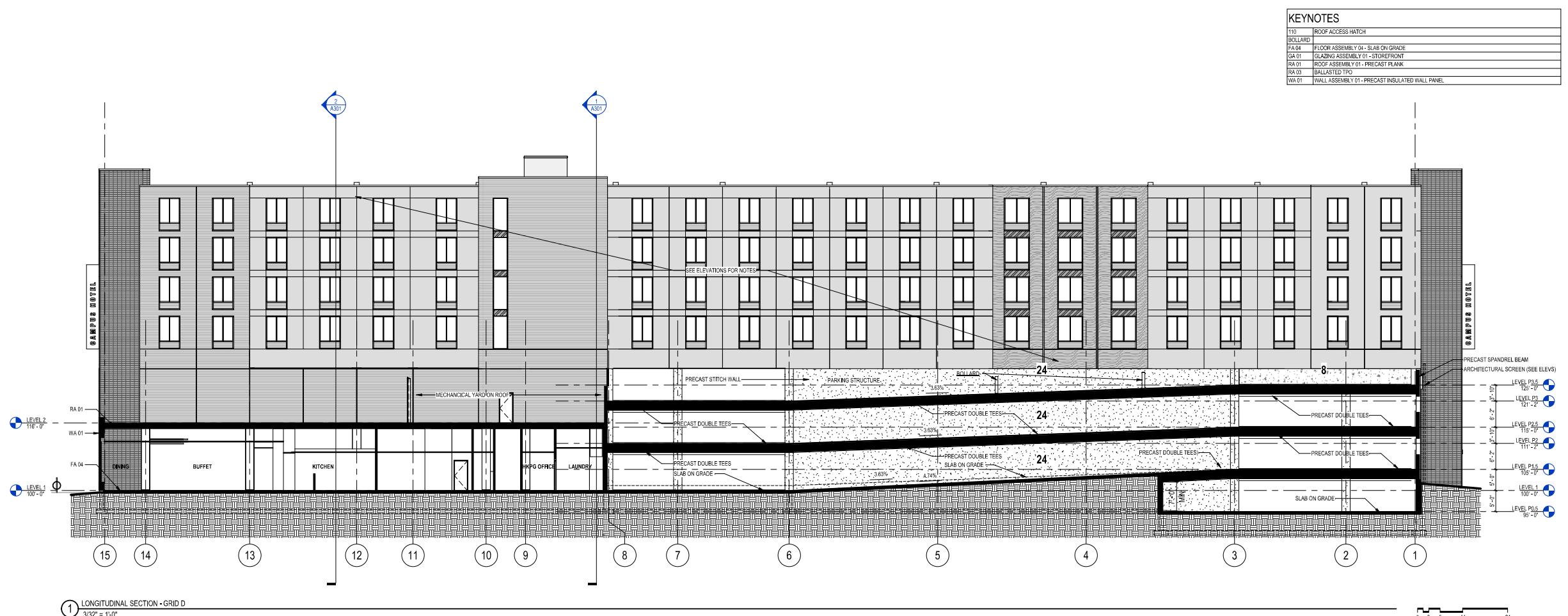
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EXTERIOR ELEVATIONS

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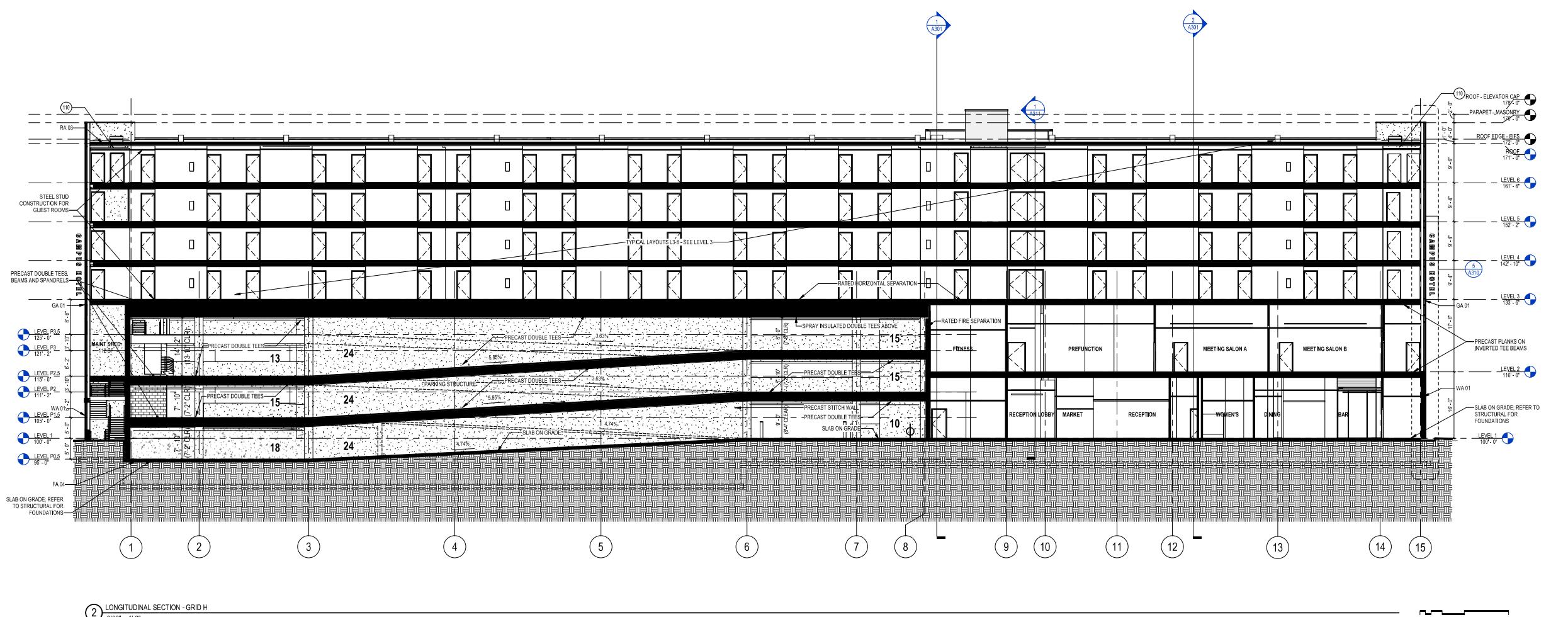
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A201

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① LONGITUDINAL SECTION - GRID D
3/32" = 1'-0"

Revisions



② LONGITUDINAL SECTION - GRID H
3/32" = 1'-0"

CITY OF MADISON UDC
SUBMITTAL
SCOPE DOCUMENTS

Drawing Date
APRIL 12, 2019

UW CAMPUS HOTEL

780 Regent Street
Madison, WI 53715

Project No. Mortenson
218051

Sheet Title
BUILDING SECTIONS

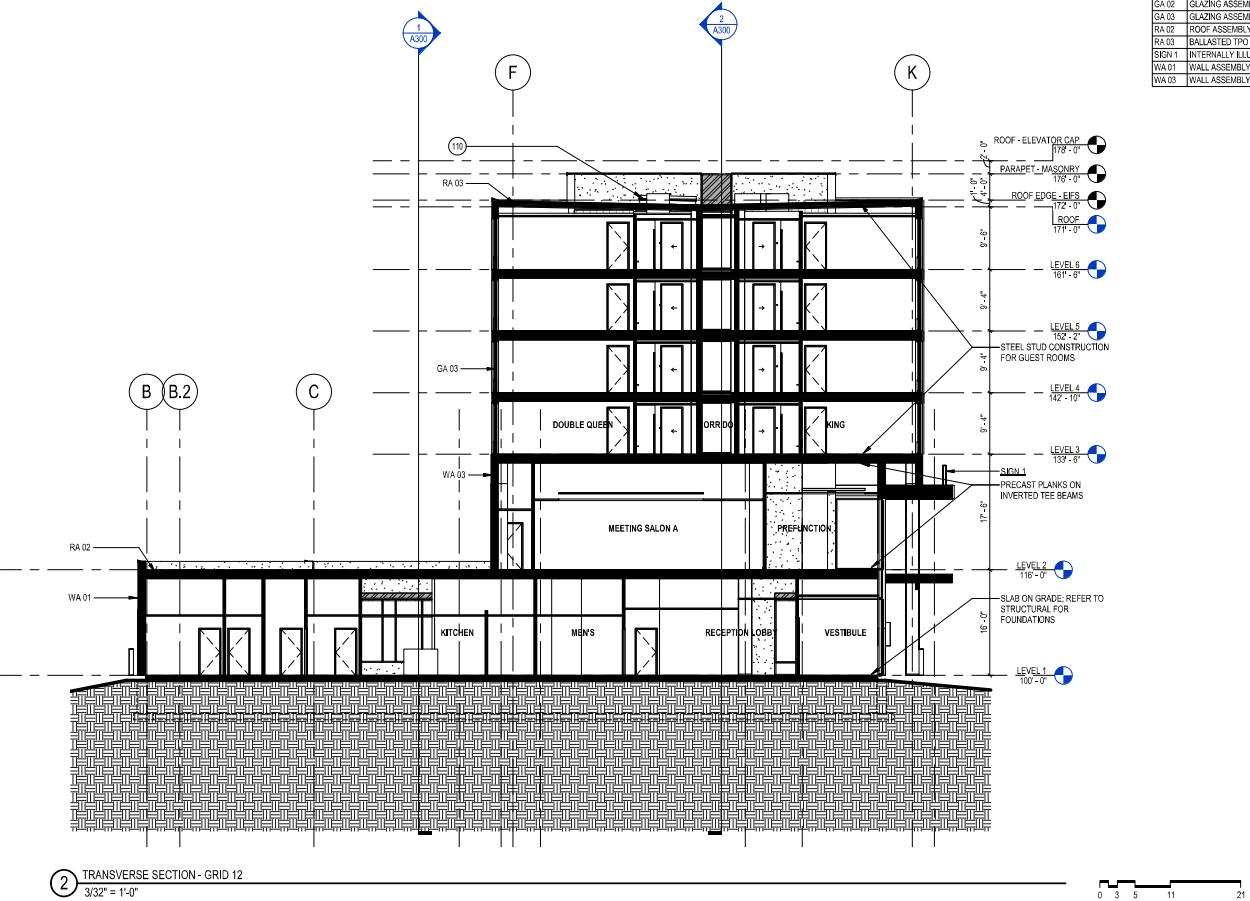
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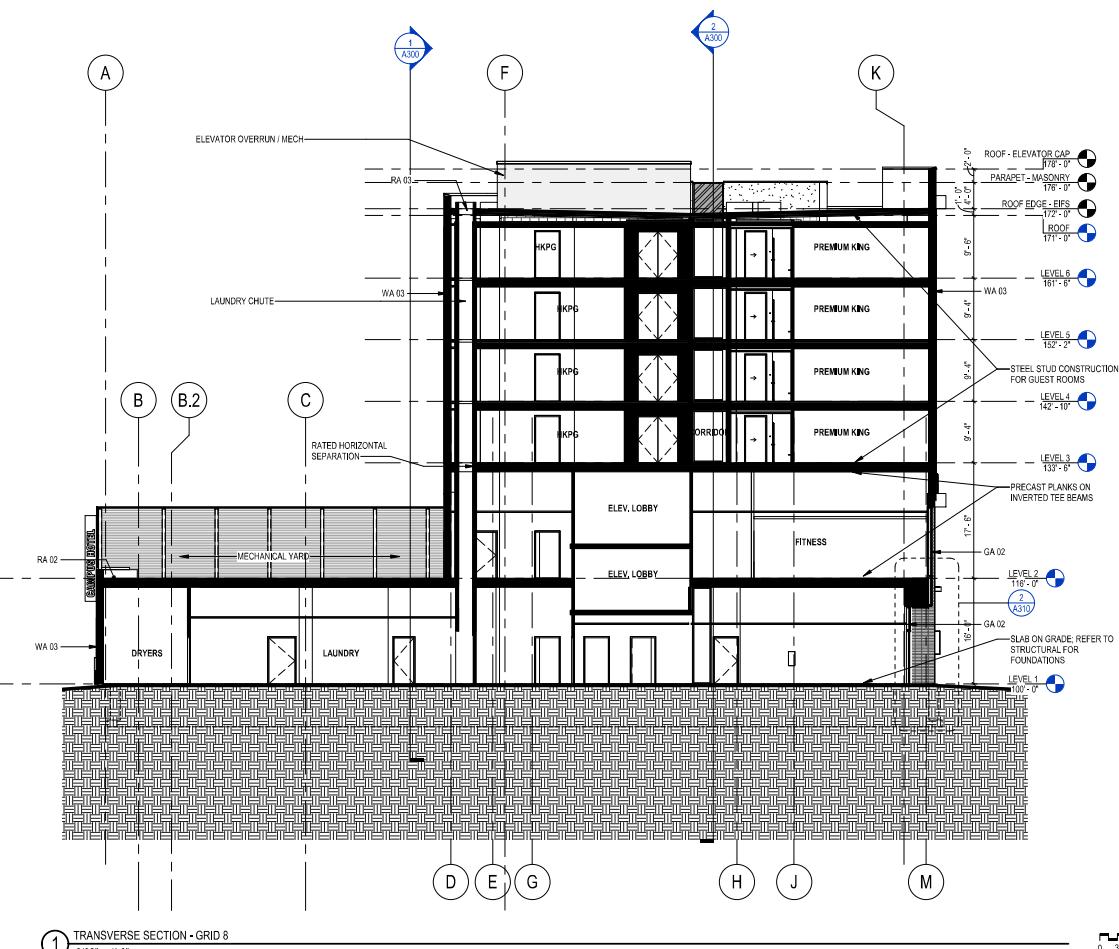
Sheet No.
A300

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KEYNOTES	
110	ROOF ACCESS HATCH
GA 02	GLAZING ASSEMBLY 02 - CURTAINWALL
GA 03	GLAZING ASSEMBLY 03 - ALUMINUM WINDOW
RA 02	ROOF ASSEMBLY 02 - SLOPED METAL DECK
RA 03	BALLASTED TPO
SIGN 1	INTERNALY ILLUMINATED SIGN
WA 01	WALL ASSEMBLY 01 - PRECAST INSULATED WALL PANEL
WA 03	WALL ASSEMBLY 03 - METAL PANEL W/ CFMF BACKUP WALL



Revisions



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SCOPE DOCUMENTS

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APRIL 12, 2019

UW CAMPUS HOTEL

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BUILDING SECTIONS

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SCOPE DOCUMENTS

Drawing Date
APRIL 12, 2019

UW CAMPUS HOTEL

780 Regent Street
Madison, WI 53715Project No. Mortenson
218051Sheet Title
SITE LIGHTING POINT
BY POINT