



145 East Badger Road, Suite 200  
Madison, WI 53713  
608.258.5580  
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[www.alexandercompany.com](http://www.alexandercompany.com)

DATE: 10-8-2008

SUBJECT: Northgate Shopping Center

### **Narrative Description of Proposed Alterations for Comprehensive Design Review (revised to reflect recommendations by UDC and city staff)**

The proposed alterations for 1127 and 1291 North Sherman Avenue are intended to enhance the existing buildings and site by integrating site design with architecture and street graphics.

#### **Revisions to previous submittal:**

Since the initial presentation to the Urban Design Commission, the Developer has made revisions to reflect the input provided by the UDC and city staff. The revisions are as follows:

1. Site plan alternative 'B', showing relocated parking entry curb cut on Aberg Avenue, is the accepted version. The Developer will work with the Traffic Engineering Division to coordinate new entry with proposed traffic calming features on Aberg Avenue.
2. Additional landscape islands are included in the "future development zone". These islands will contain eight additional trees on the site.
3. The parking geometry has been modified to accommodate proposed changes to North Sherman Avenue made by the Traffic Engineering Division. In the future, new turn lanes, a pedestrian crosswalk and an island for pedestrian refuge will be constructed at the south entrance to the site. This proposal will require the Owner to relinquish 10' x 300' of right-of-way along North Sherman Avenue. Consequently, the location of the new monument sign must move north of current pylon sign. Refer to exhibit 'A'.
4. The monument sign will not have a permanently displayed "Leasing" message. The source of illumination will be LED rather than neon.
5. In lieu of replacing the existing "China Palace" monument sign, the "China Palace" sign will be removed permanently. A new second monument sign will be located at the parking entrance from Aberg Avenue.

**Site:**

The current parking lot is completely devoid of landscape islands. With the introduction of landscape islands, the proposed design adds logical structure to the site circulation and reduces the area of asphalt. New connections are created between the site and public pedestrian walkways. Bicycle parking is also accommodated. The new design anticipates the possible creation of a new out lot on the site. On the east side of the mall building, existing dumpsters are consolidated into a single location.

Over an acre of existing asphalt will be transformed into landscape areas. The proposed modifications to the site are compatible with the existing storm water drainage system and the existing site lighting.

**Architecture:**

The existing mall building elevations can be loosely described as “Tudor” or “traditional.” The intent of the architectural modifications is to enhance the traditional design with additional trim boards and decorative columns. All trim and siding will receive a new paint color scheme. The resulting design can be described as “Tudor with craftsman tendencies.”

The Annex building has similar traditional qualities on the south and part of the east elevations. Other portions of the buildings are simply utilitarian in nature. What was previously an Oriental restaurant will have all Oriental décor removed including the round columns supporting the drop-off canopy. New decorative columns, trim boards, and paint color are introduced to coordinate with the improvements to the mall building.

To the west of the existing restaurant is the entrance to a large retail space. The current entrance has been reintroduced to a more prominent location several feet to the west. The roof forms and architectural detail of the restaurant building is carried over to the new entrance alterations.

Attached and to the north of the restaurant is a metal and concrete block utilitarian structure originally constructed as a bowling alley. The facades of the east and north sides are enhanced with a “modern” aesthetic. A new entrance vestibule has been created on the east side of the building presenting new opportunities to demise the large interior space. Metal wall panels on the Aberg Avenue elevation are replaced with aluminum and glass windows.

**Street graphics:**

Alterations to existing street graphics are intended to work with the overall architecture and site design. Two existing, non-conforming pylon signs on N. Sherman Avenue are to be removed. Two new monument signs will be installed - one on North Sherman Avenue, another on Aberg Avenue. The form and color of the new signs take cues from the proposed architectural alterations. An existing “above roof” sign over the Annex building will remain. Additional

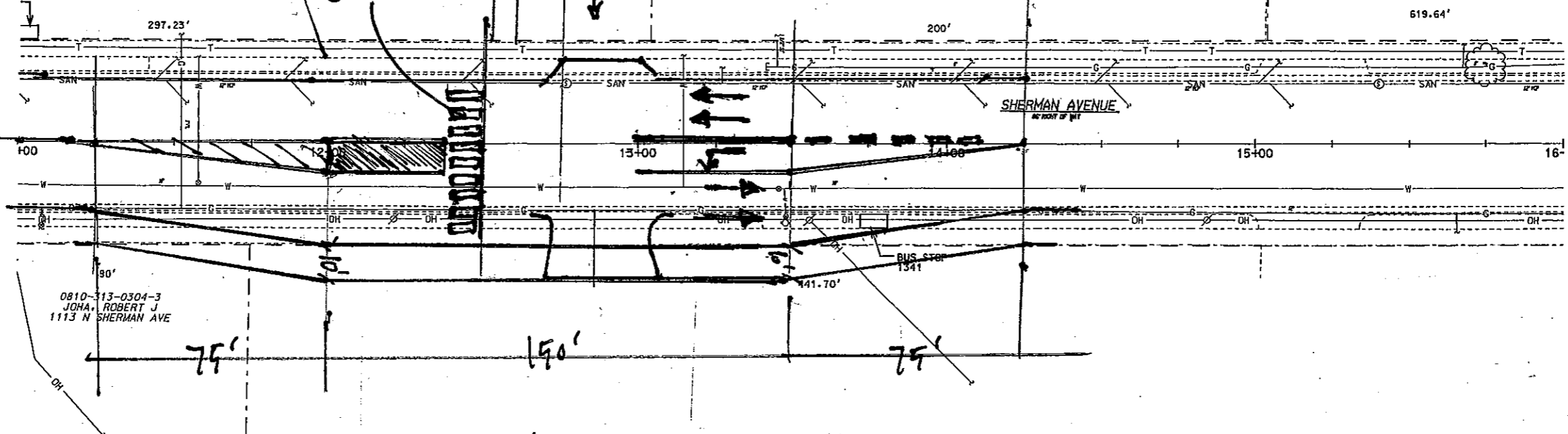
signable areas of the buildings are indicated on the architectural drawings. Signage proposed by new tenants shall meet current ordinances and further be regulated by the Landlord to maintain consistency of design.

While the new monument signs do not strictly adhere to the current ordinance regulating street graphics, the intent is to pursue this Comprehensive Design review process to acknowledge the visual harmony between the street graphics, architecture, and site.

0709-011-1211-3  
MAPLE WOOD CONDOMINIUM  
UNIT OWNERS ASSOC INC  
1601 STEENSLAND DR

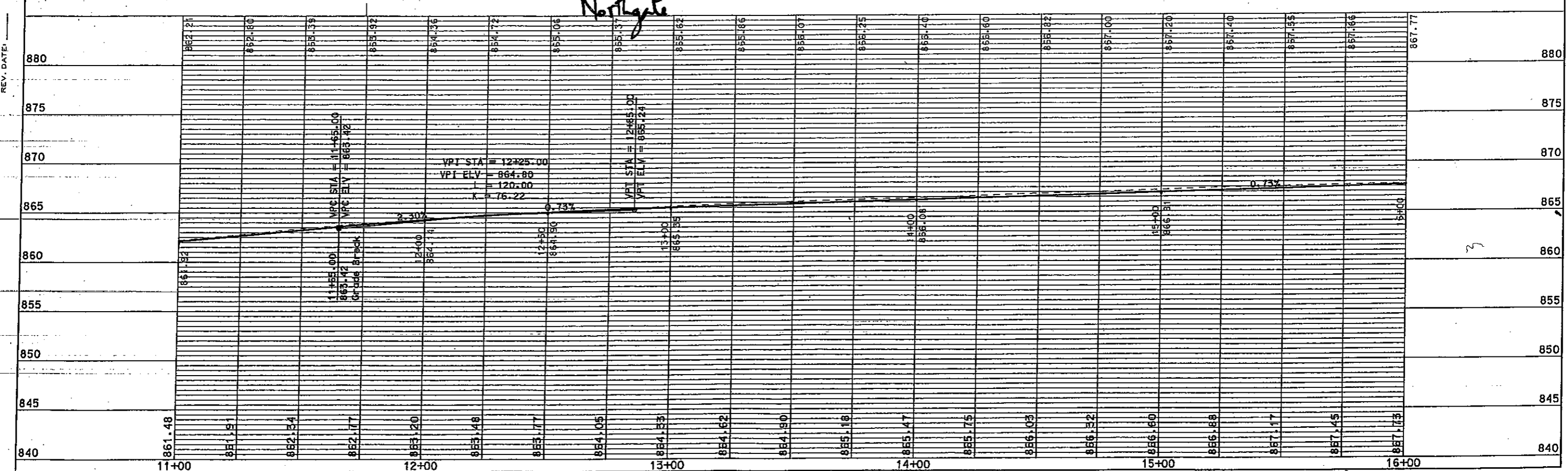
0709-011-1202-2  
SHERMAN GLEN LLC  
& MEYAC INC  
1110 N SHERMAN AVE

0709-011-1203-0  
LAKE CITY BANK  
& VALLEY BANK FINANCE DEP  
1202 N SHERMAN AVE



PLOT NAME: \_\_\_\_\_  
PLOT SCALE: \_\_\_\_\_

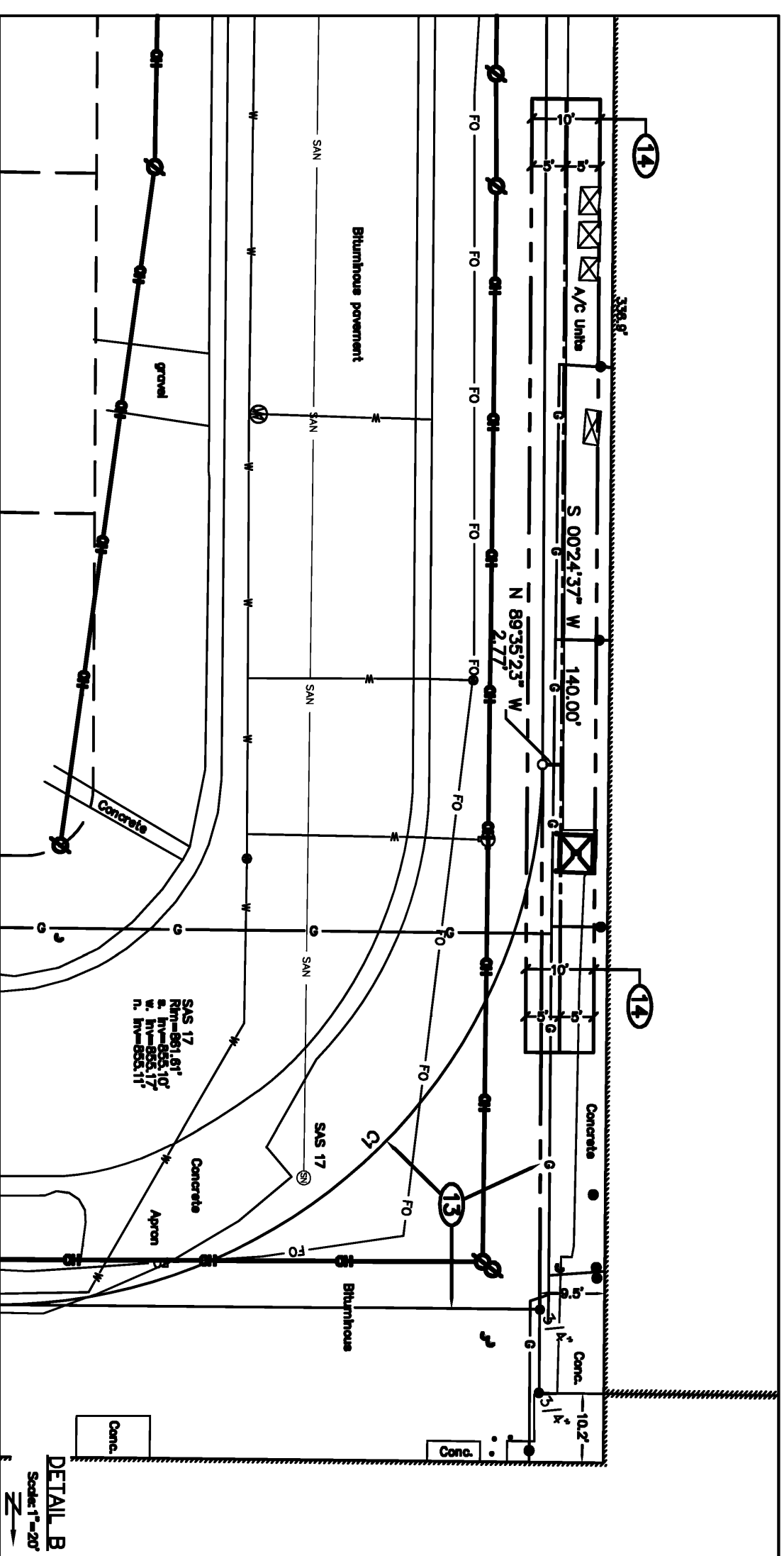
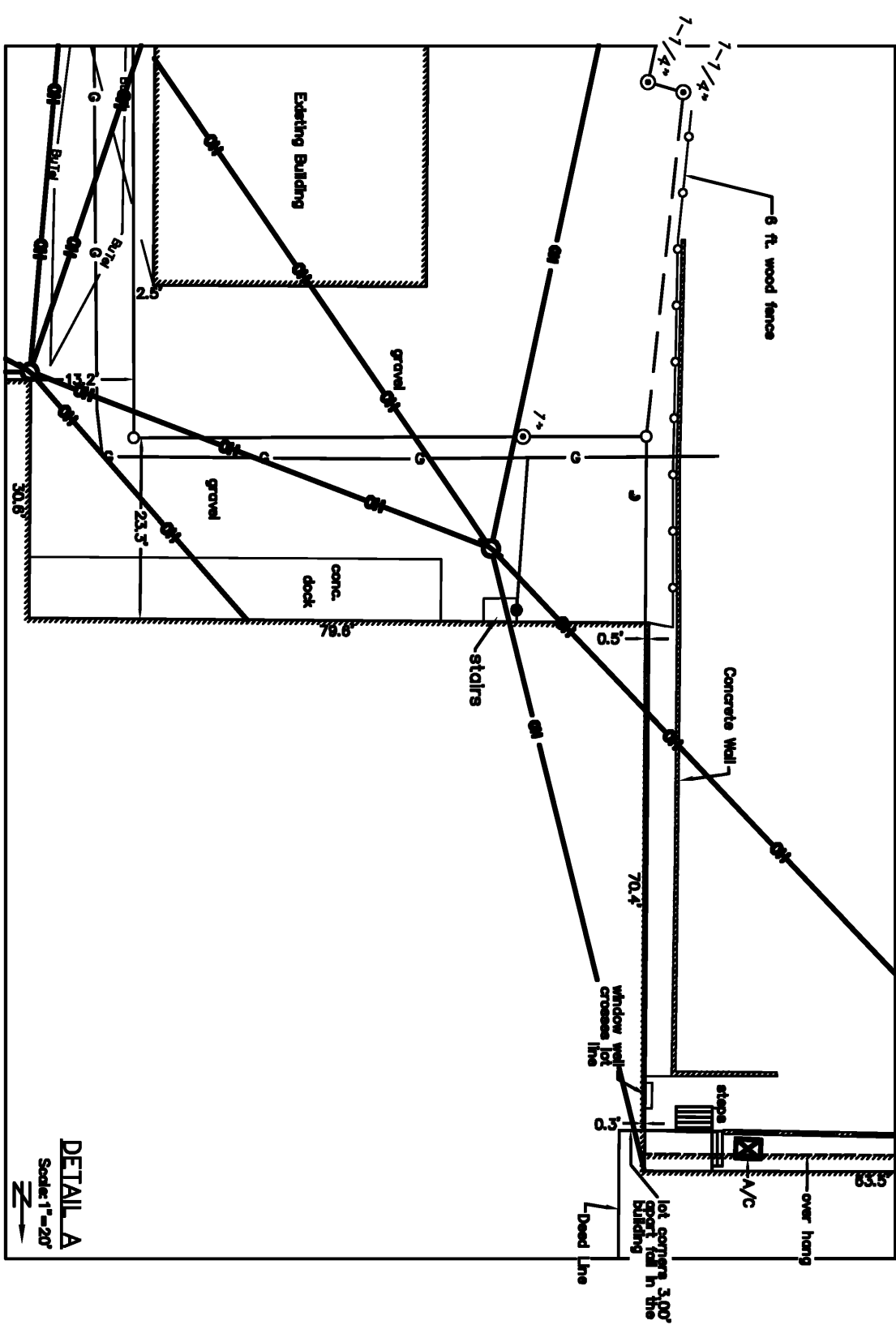
REV. DATE: \_\_\_\_\_



ORIGINATOR: CITY OF MADISON, STREETS DIVISION

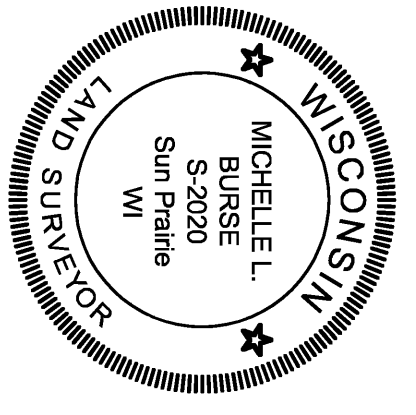
**EXHIBIT 'A'**  
PROVIDED BY CITY OF MADISON,  
TRAFFIC ENGINEERING DIVISION

# ALTA/ACSM LAND TITLE SURVEY



**NOTES:**

1. Date of field work: April 14 - 15, 2008.
2. Total Parcel Area: 387,208 sq. ft.
3. Site Address: 1127 & 1291 N Sherman Ave. Tax Parcel Numbers: 081031303035 & 081031303018.
4. Routing of public utilities is based upon:
  - a. Existing utility lines shown on the subject plat.
  - b. Engineering provided by Digger's Hole's Hydraulic & Electric Engineering Division, and Madison Gas & Electric Company.
  - c. Engineering provided from DGI of Madison Engineering Division, and Madison Gas & Electric Company.
  - d. Additional buried utilities/structures may be encountered. No excavations were made to locate utilities.
  - e. Before excavations are performed contact Digger's Hole's.
5. No attempt has been made as a part of this boundary survey to obtain or show data concerning condition or capacity of any utility or multiplex/public service facility. For information regarding these utilities or facilities, please contact the appropriate operator.
6. All surface and subsurface improvements on and adjacent to the site are not necessarily shown hereon.
7. All trees, hedges and ground cover on the site may not necessarily be shown hereon.
8. By graphic method only, this parcel is located in Zone X (Area determined to be outside of 500-year flood plain) per the Flood Insurance Rate Map Community Panel Number 55025C0428F, Effective Date: June 17, 2003.
9. Except as specifically stated or shown on this map, this survey does not purport to reflect any of the following which may be applicable to the subject and entire assessment: building setback lines, restrictions concerning subdivision, restrictions zoning or other city and town regulations, and any other rules that in connection and extent the several may assess.
10. Surveyor has made no investigation or independent search for encumbrances, mortgages, liens, judgments, or any other facts that on records and otherwise may affect the subject property. The surveyor is not responsible for any such encumbrances, mortgages, liens, judgments, or any other facts that on records and otherwise may affect the subject property.
11. Rights for entrance to, maintenance, construction, or repair of any utility structure, improvements or services which may be under the surface of the portion of the bounded premises (ingress and egress) are shown as they exist on the subject property and are not necessarily shown hereon.
12. Grant of Easement to Wisconsin River Power Company recorded in Volume 32 of Maps, Page 613, on Document No. 344828. This item does affect the subject property and is plotted hereon. No utilities were marked by Digger's Hole's within this easement.
13. Grant of Easement to Wisconsin River Power Company recorded in Volume 32 of Maps, Page 613, on Document No. 344828. This item does affect the subject property and is plotted hereon. No utilities were marked by Digger's Hole's within this easement.
14. Grant of Easement to Madison Gas and Electric Company recorded July 10, 1982, in Volume 18013 of Records, Page 21, on Document No. 2378533. This item does affect the subject property and is plotted hereon.
15. Subject property is designated as C2 General Commercial District. According to Madison General Ordinance 28.02(3)(a), yard requirements for Zone C2 are as follows: In the C2 district, minimum yard shall be provided on all lots. A yard shall be provided where the extension of a front or side lot line abutting a street, combined with a front or side lot line of an adjacent lot located side lot abutting a street, for a distance of at least twenty-five (25) feet, including the width of any intervening alley, from such residential lot. 2. A yard shall be provided where a side lot the adjacent residential district. (Am. by Ord. 12,246, 1-1-2003). 3. A yard shall be provided where a rear lot the combined with an alley right-of-way, the rear lot side lot or rear lot line of an adjacent residential district. (Am. by Ord. 12,246, 1-1-2003). 4. For residential uses, there shall be provided side and rear yards as established in the R3 district regulations. For residential uses located above the ground floor, such yards shall begin at a level no higher than the level of the finished floor of the lowest residential unit.



LEGEND	
○	FOUND IRON PIPE SIZE NOTED
●	FOUND SOLID IRON ROD SIZE NOTED
○	SET SOLID IRON ROD 3/4" DIA. BY 18"
○	LONG WEIGHTS 1.50 LBS./IN. FT.
—W—	WATER MAIN
—S—	STORM SEWER
—ST—	STORM GAS LINE
—E—	BURIED ELECTRIC LINE
—F—	BURIED FIBER OPTIC
—B—	BURIED TELEPHONE
—G—	GAS VALVE (G.V.)
○	WATER VALVE
○	ELECTRIC BOX
○	CONCRETE BASE NO LIGHT (UNLESS NOTED)
○	TELEPHONE BOX
○	FIRE HYDRANT
○	SIGN
○	STORM SEWER INLET
○	ELECTRIC MANHOLE
○	STORM SEWER MANHOLE
○	SANITARY SEWER MANHOLE
○	UTILITY POLE
○	LIGHT POLE
( )	INDICATES RECORDED AS

**Burse**  
 Surveying & engineering  
 1400 E. Washington Ave., Ste. 1150  
 Madison, WI 53703  
 Fax: 608.250.9266  
 email: burse@dhwa.net  
 www.burseengr.com  
 Date: 05/02/08  
 Plot: ALTA  
 F:\MADISON\999-NORTHGATE.DWG\999-SURVEY.DWG

**ALTA/ACSM LAND TITLE SURVEY**

PART OF OUTLOT 1, BURKE ASSESSORS PLAT NO. 1, PART OF VACATED PORTION OF RUSKIN AND STEPHEN STREETS, AND LOT 1, CERTIFIED SURVEY MAP NO. 852, ALL LOCATED IN THE NORTHWEST 1/4 OF SECTION 31, TOWNSHIP 08 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN

CSM #8441

CSM #8441

2

GRID NORTH

BEARINGS ARE BASED ON THE WISCONSIN COUNTY  
SURVEYING SYSTEM DME 83 1897 120  
0  
40  
80  
SCALE: ONE INCH = FORTY FEET

**DESCRIPTION (FURNISHED):**

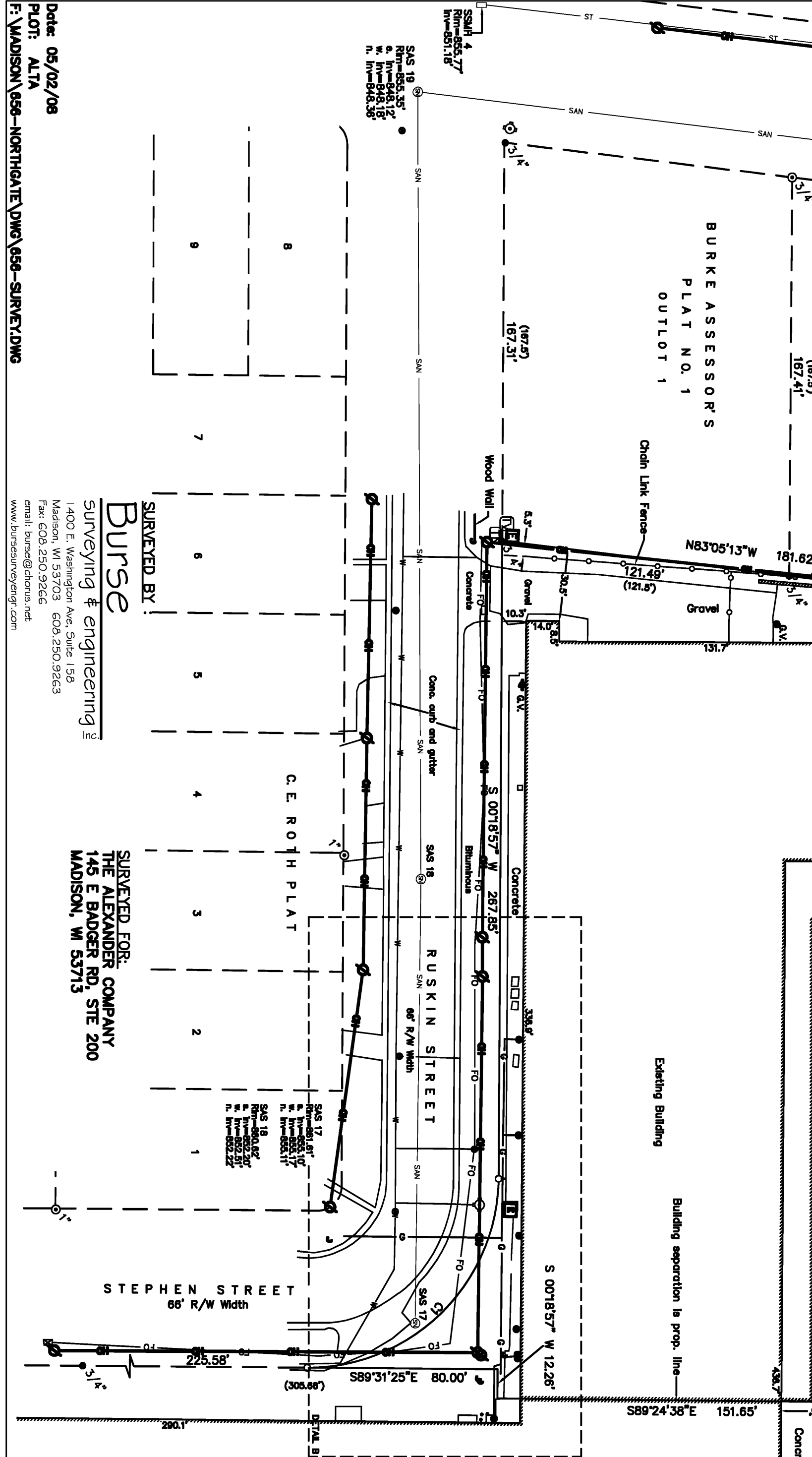
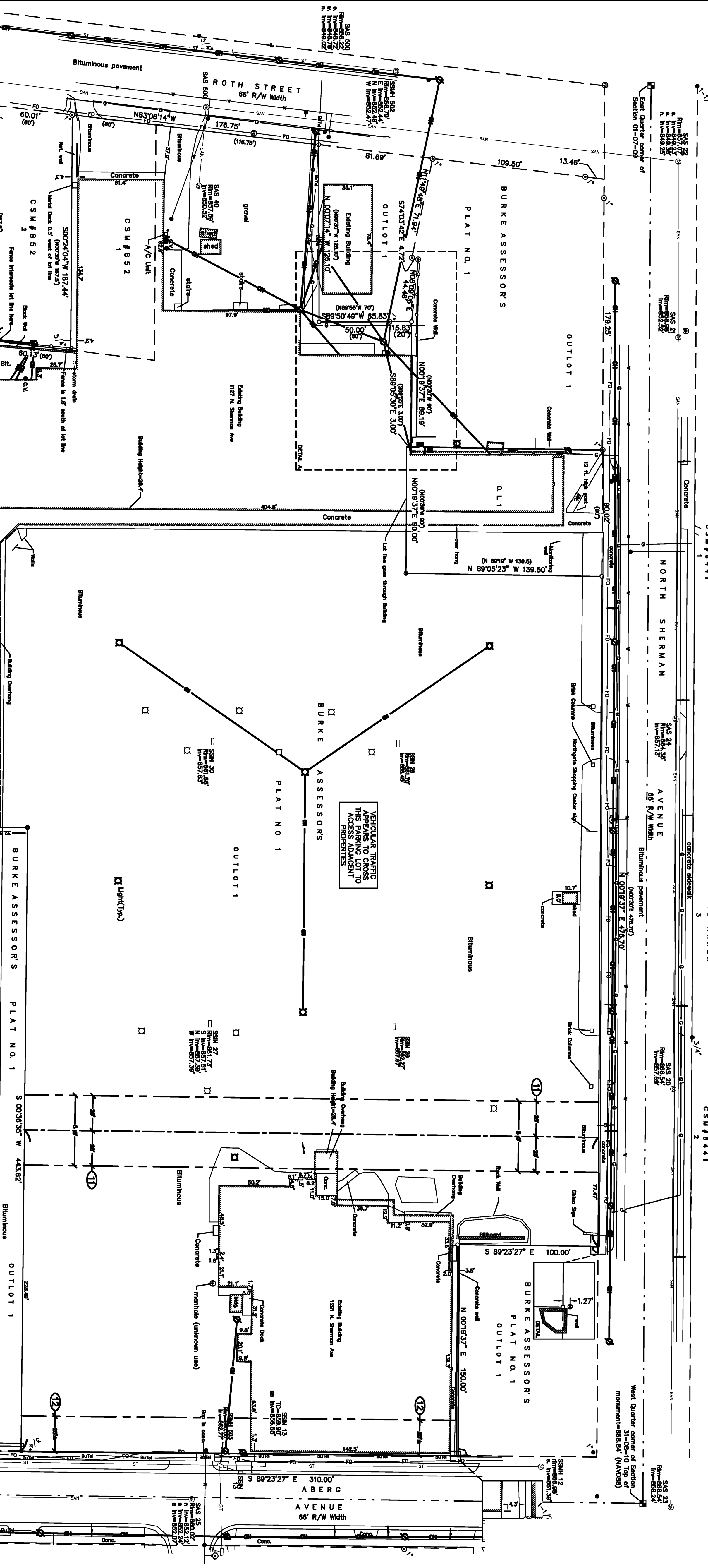
Commitment No. NCS-348861-LAD First American Title Insurance Company, Exhibit A

Part of Outlot One (1), Burke Assessor's Plat No. 1, in the City of Madison, Dane County, Wisconsin, more fully described as follows: Commencing at the West 1/4 corner of Section Thirty-one (31), Township 08 North, Range 10 East, T18N R10E S31, thence South 89°23'27" East, 33 feet to the Eastern line of Sherman Avenue and the point of beginning of the description; thence South 0°00' East along said Eastern line 478.79 feet to on ten stake; thence South 89°19' East, on ten stake, thence North 89°20' West, 3 feet to on ten stake; thence South 0°00' East, 90 feet to on ten stake; thence South 89°23'27" East, 70 feet to on ten stake; thence South 0°00' East, 128.10 feet to on ten stake; thence South 89°23'27" East, 101.64 feet to on ten stake; thence North 0°00' West, 17.50 feet to on ten stake; thence North 0°00' West, 241.50 feet to on ten stake; thence South 89°20' West, 85.00 feet to on ten stake; thence North 89°23'27" East, 85.00 feet to on ten stake; thence South 0°00' East, 150 feet to on ten stake; thence South 89°23'27" East, 100 feet to the front of Voluntary 1889 of Land Records, on Page 8, on Document No. 2282781.

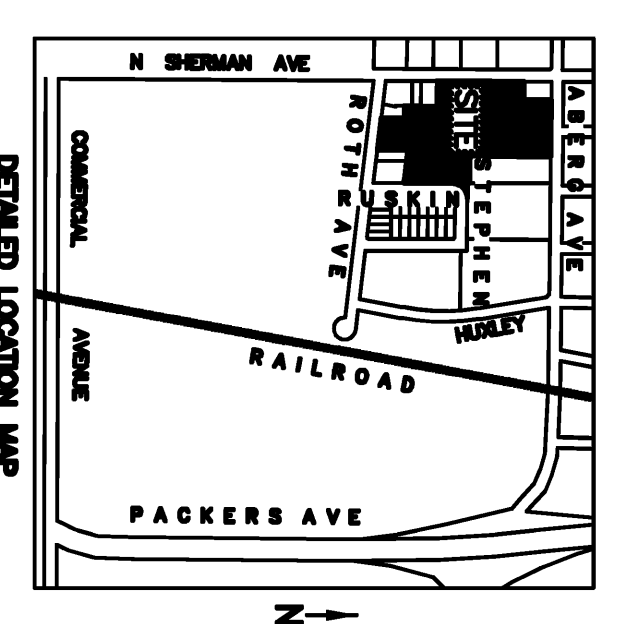
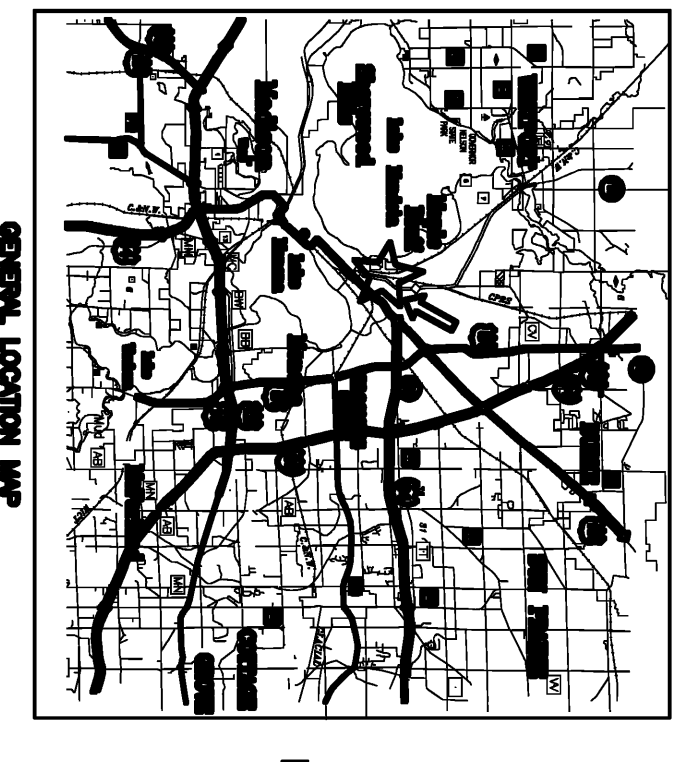
"Part of Vacated Streets, Stephen and Vacated Sherman Street, as described in resolution recorded in Volume 458 of Records, Page 353, on Document No. 1778231.

1st and 2nd (1) Certified Survey Map No. 852, recorded in Volume 4 of Certified Surveys, Page 74, on Document No. 1288842, being a part of Outlot 1, Burke Assessor's Plat No. 1, in the City of Madison, Dane County, Wisconsin."

**NOTE: DESCRIPTION DOES NOT CREATE A MATHEMATICALLY CLOSED FIGURE.**



- LEGEND**
- FOUND IRON PIPE SIZE NOTED
  - FOUND SOLID IRON ROD SIZE NOTED
  - FOUND CHISEL 'X' IN CONCRETE
  - SET SOLID IRON ROD 3/4" DIA. BY 18"
  - LONG WELDING L50 US/ALV. FT.
  - SET P.K. NAIL IN PAVEMENT
  - WATER MAIN
  - SANITARY SEWER
  - ST- STORM SEWER
  - BURIED GAS LINE
  - BURIED ELECTRIC LINE
  - BURIED FIBER OPTIC
  - BURIED WATER VALVE
  - G.V. VALVE (G.V.)
  - ELECTRICAL BOX
  - ELECTRICAL BOX NO LIGHT (UNLESS NOTED)
  - TELEPHONE BOX
  - TELEPHONE SIGN
  - STORM SEWER INLET
  - ELECTRICAL MANHOLE
  - SANITARY SEWER MANHOLE
  - UTILITY POLE
  - LIGHT POLE
  - ( ) INDICATES RECORDED AS

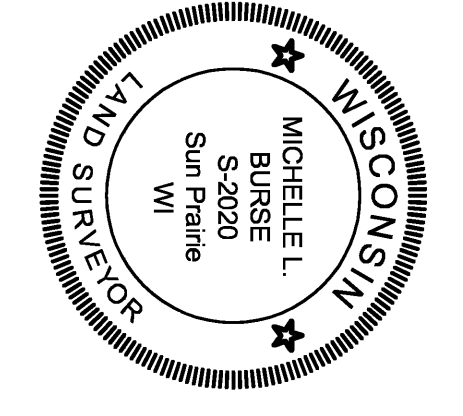


**SURVEYOR'S CERTIFICATE:**

**TO: NORTHSTAR VENTURES, LLC**  
**TR: FIRST AMERICAN TITLE INSURANCE COMPANY**

This map or plat and the survey on which it is based were made in accordance with the rules and regulations governing the practice of land surveying in the State of Wisconsin, and were made on or with the instruments and methods specified in the rules and regulations. This title survey, which was made on or with the instruments and methods specified in the rules and regulations, and is based on a correct traverse, is correct and true to the data of the original observations, and the surveyor certifies that in his professional opinion, as far as he is concerned, the data of this survey are correct and true, and that he is not aware of any error that would affect the accuracy of this survey. Dated this fifth day of May, 2008.

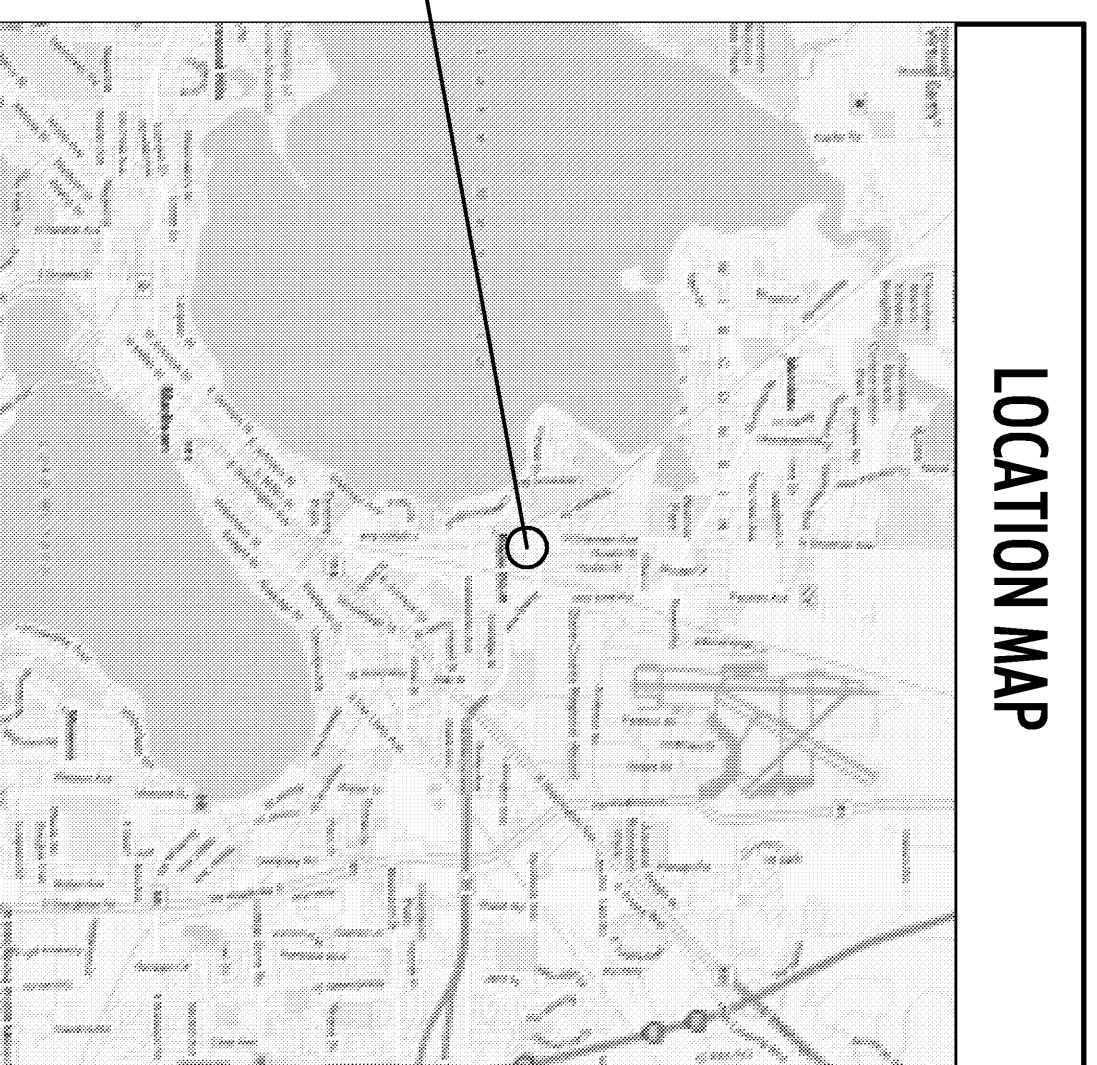
Michelle L. Burns, FLS No. 2020



# EXTERIOR ALTERATIONS AND SITE IMPROVEMENTS FOR NORTHGATE SHOPPING CNTR.

## 1127 & 1291 NORTH SHERMAN AVENUE MADISON, WI

DRAWING INDEX	
T1	TITLE SHEET
P1	PANORAMIC PHOTO OF MALL, 1127 N. SHERMAN AVE.
P2	PHOTOGRAPHS OF ANNEX, 1291 N. SHERMAN AVE
P3	PHOTOGRAPHS OF ANNEX, 1291 N. SHERMAN AVE
P4	PHOTOGRAPHS OF Pylon SIGNS
1 d 2	ATAKSM LAND TITLE SURVEY
2 d 2	ATAKSM LAND TITLE SURVEY
CD	SITE CONTEXT (AERIAL PHOTOGRAPH)
C1-A	(NOT INCLUDED)
C1-B	SITE IMPROVEMENTS, CONCEPT 'B'
C2	SITE IMPROVEMENTS, DETAILS
C3-A	(NOT INCLUDED)
C3-B	SITE DETAIL, ABERG ENTRANCE, CONCEPT 'B'
C4-A	(NOT INCLUDED)
C4-B	SITE CONCEPT 'B' OVERLaid ON AERIAL PHOTOGRAPH
L1-A	(NOT INCLUDED)
L1-B	LANDSCAPE PLAN, CONCEPT 'B'
L2	ENLARGED LANDSCAPE PLAN AND DETAILS
L3	ENLARGED LANDSCAPE PLAN AND DETAILS
L4	ENLARGED LANDSCAPE PLAN AND DETAILS
L5-A	(NOT INCLUDED)
L5-B	ENLARGED LANDSCAPE PLAN AND DETAILS, CONCEPT 'B'
A1.0	OVERALL ELEVATIONS
A1.1	PLANS AND ELEVATIONS, UNIT 'A' AND 'B'
A1.2	PLANS AND ELEVATIONS, UNIT 'C' AND 'D'
A1.3	PLANS AND ELEVATIONS, UNIT 'E' AND ARCADE
A1.4	PLANS AND ELEVATIONS, UNIT 'F'
A2.1	FLOOR PLAN, 1/16" = 1'-0", (ANNEX)
A4.1	FLOOR PLAN 1/4" = 1'-0", (ANNEX)
A5.1	ANNEX BUILDING EXTERIOR ELEVATIONS
A9.1	ARCHITECTURAL DETAILS (UNITS 'A' THRU 'F')
A9.2	ARCHITECTURAL SECTIONS AND DETAILS (ANNEX)
A9.3	ARCHITECTURAL SECTIONS AND DETAILS (ANNEX)
A9.4	ARCHITECTURAL SECTIONS AND DETAILS (ANNEX)
A9.5	ARCHITECTURAL SECTIONS AND DETAILS (ANNEX)
NG-1	PROPOSED MONUMENT SIGN
color	COLOR SAMPLES
finish	SHERMAN AVENUE RESURFACING PROJECT



**ALEXANDER COMPANY**  
145 EAST BADGER ROAD  
SUITE 200  
MADISON, WI. 53713

APPROVALS	NAME	DATE
DESIGN		
CONSTRUCTION		
DEVELOPMENT		
MANAGEMENT		
OWNER		

DRAWN: AAA APPR.: BBB

NORTHGATE SHOPPING  
CENTER  
N. SHERMAN AVE  
MADISON, WI

PROJECT # 08-656

TITLE SHEET &  
DRAWING INDEX

**TT**

UDC  
**SUBMITTAL**

10-3-2008

08-27-08 UDC SUBMITTAL  
10-3-08 UDC SUBMITTAL

**UDC  
SUBMITTAL**

10-8-2008

08-27-08	UDC SUBMITTAL
10-08-08	UDC SUBMITTAL

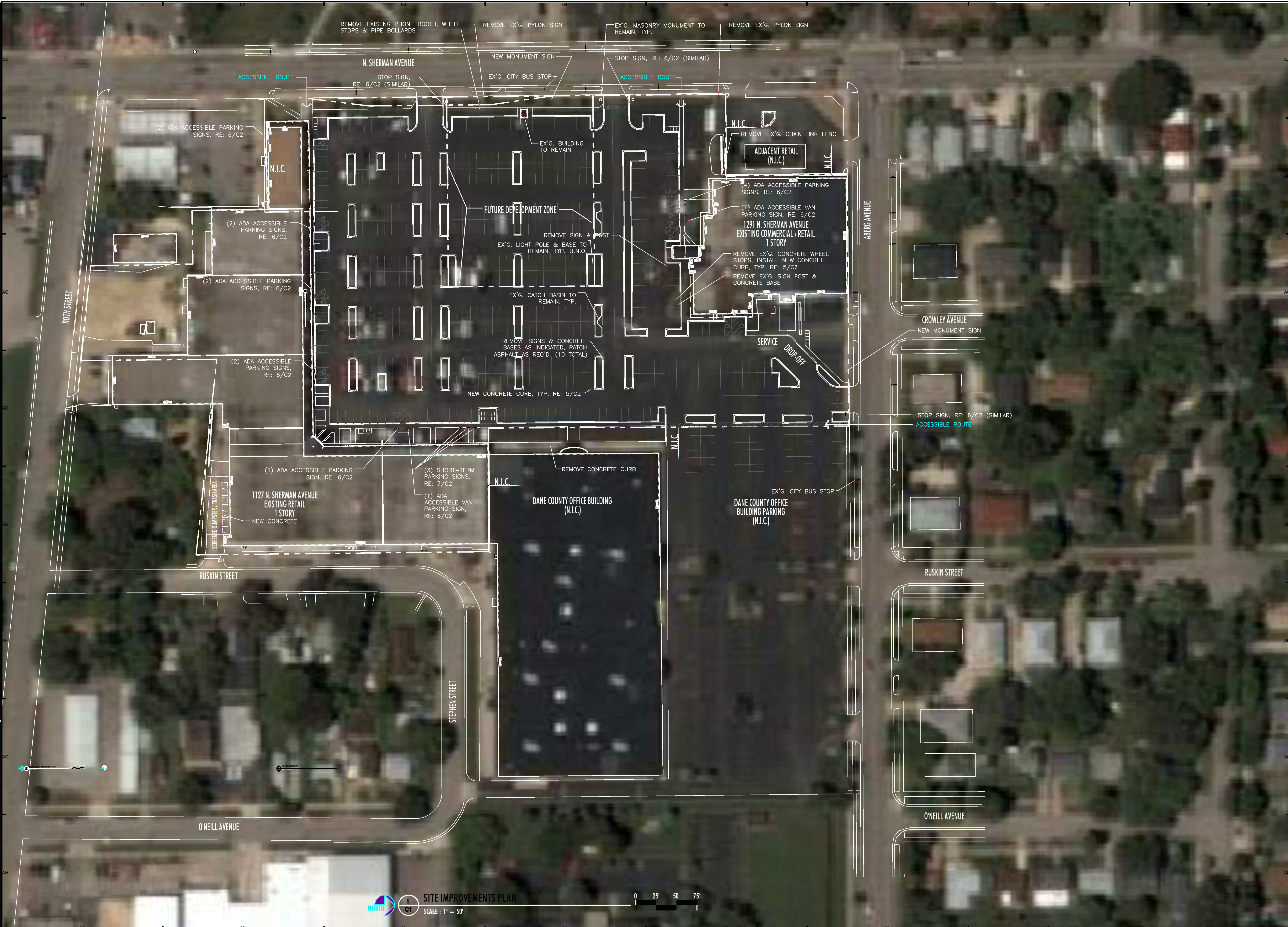
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**NORTHGATE SHOPPING  
CENTER  
N. SHERMAN AVE  
MADISON, WI**

PROJECT # 08-656

**'CONCEPT B'  
AERIAL OVERLAY SITE  
PLAN**

**C4-B**





**GENERAL NOTES:**  
FOR GENERAL NOTES SEE SHEET C1.

**Alexander  
Company**

145 E. Badger Road  
Suite 200  
Madison, WI 53713  
Telephone: 608-258-5590  
Fax: 608-258-5599

**UDC  
SUBMITTAL**

10-3-2008

08/27/08 UDC SUBMITTAL  
10/01/08 UDC SUBMITTAL

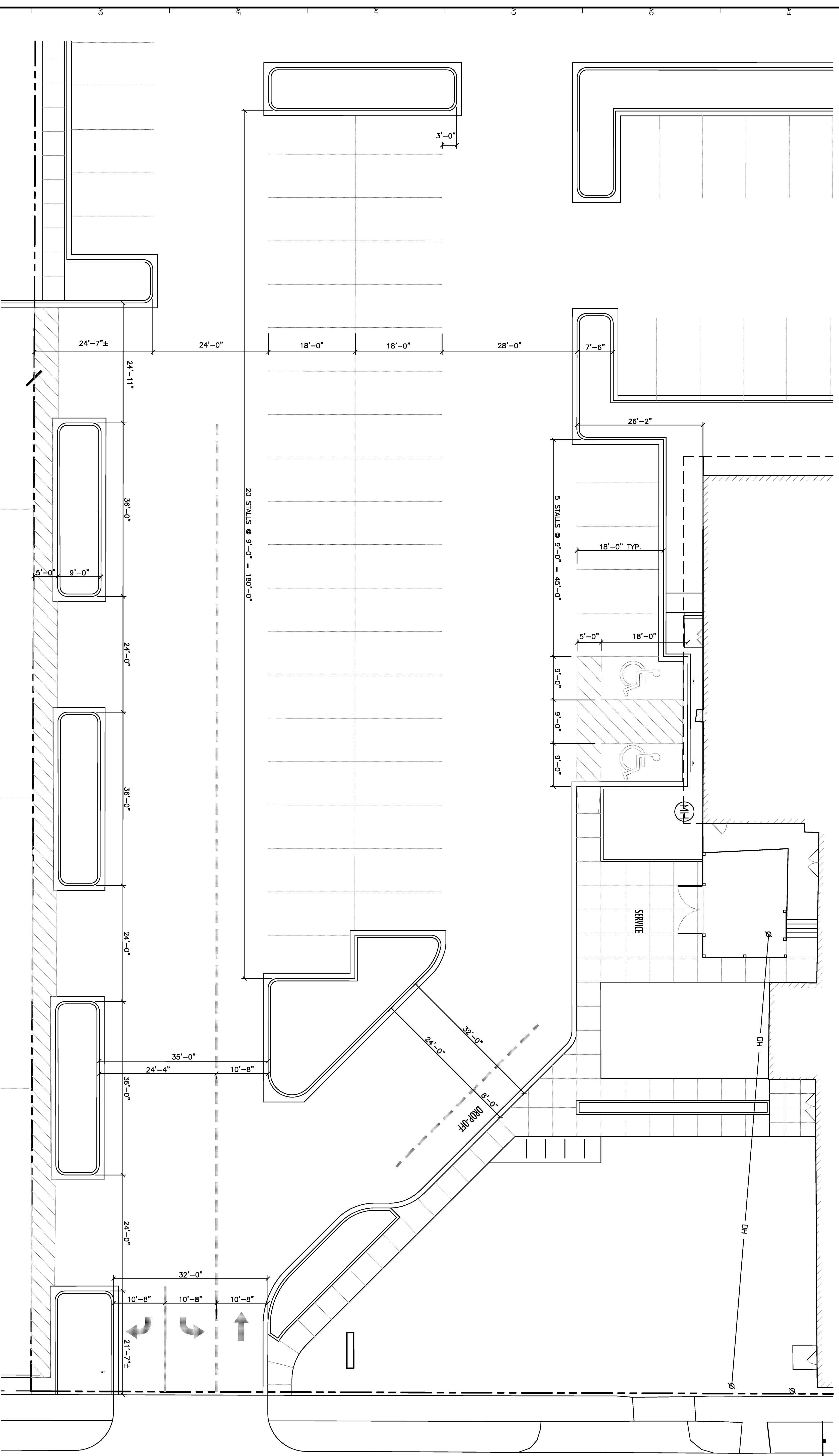
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**NORTHGATE SHOPPING  
CENTER  
N. SHERMAN AVE  
MADISON, WI**

PROJECT # 08-656

**'CONCEPT B'  
ENLARGED SITE  
IMPROVEMENT PLAN**

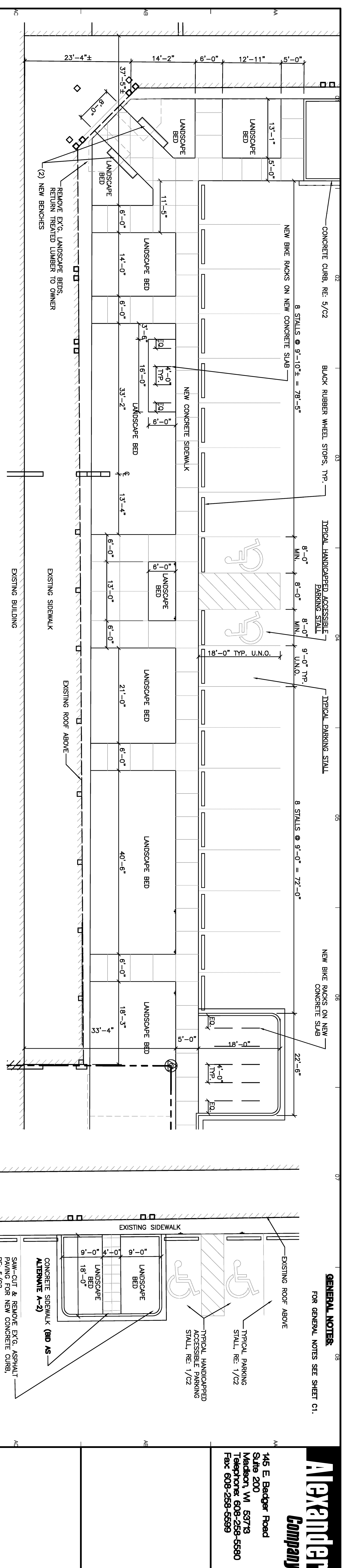
**C3-B**



01 02 03 04 05 06 07 08

A4 A3 A2 A1

**GENERAL NOTES:**  
 FOR GENERAL NOTES SEE SHEET C1.

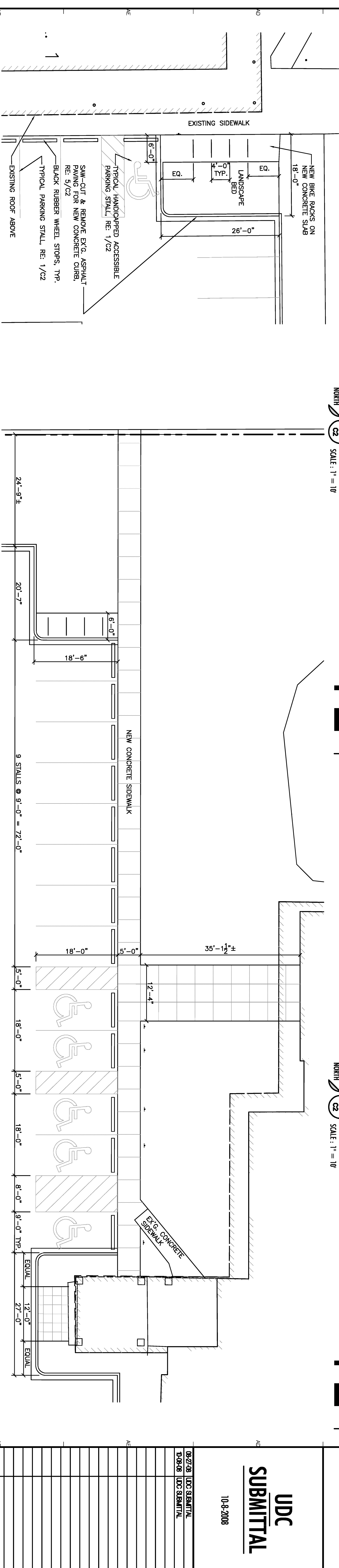


**1 ENLARGED SITE IMPROVEMENTS PLAN**  
 SCALE: 1" = 10'

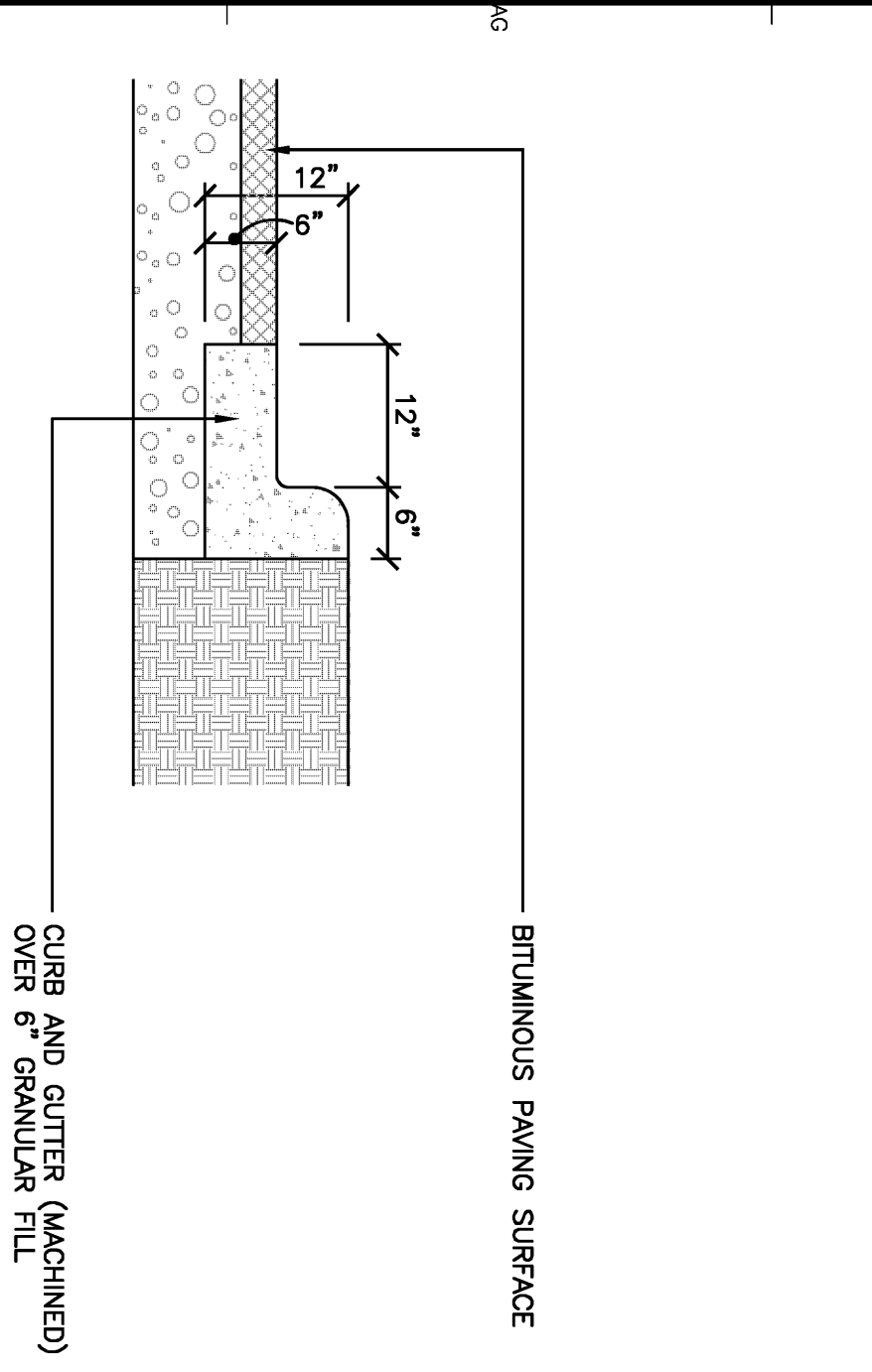
**2 ENLARGED SITE IMPROVEMENTS PLAN**  
 SCALE: 1" = 10'

**3 ENLARGED SITE IMPROVEMENTS PLAN**  
 SCALE: 1" = 10'

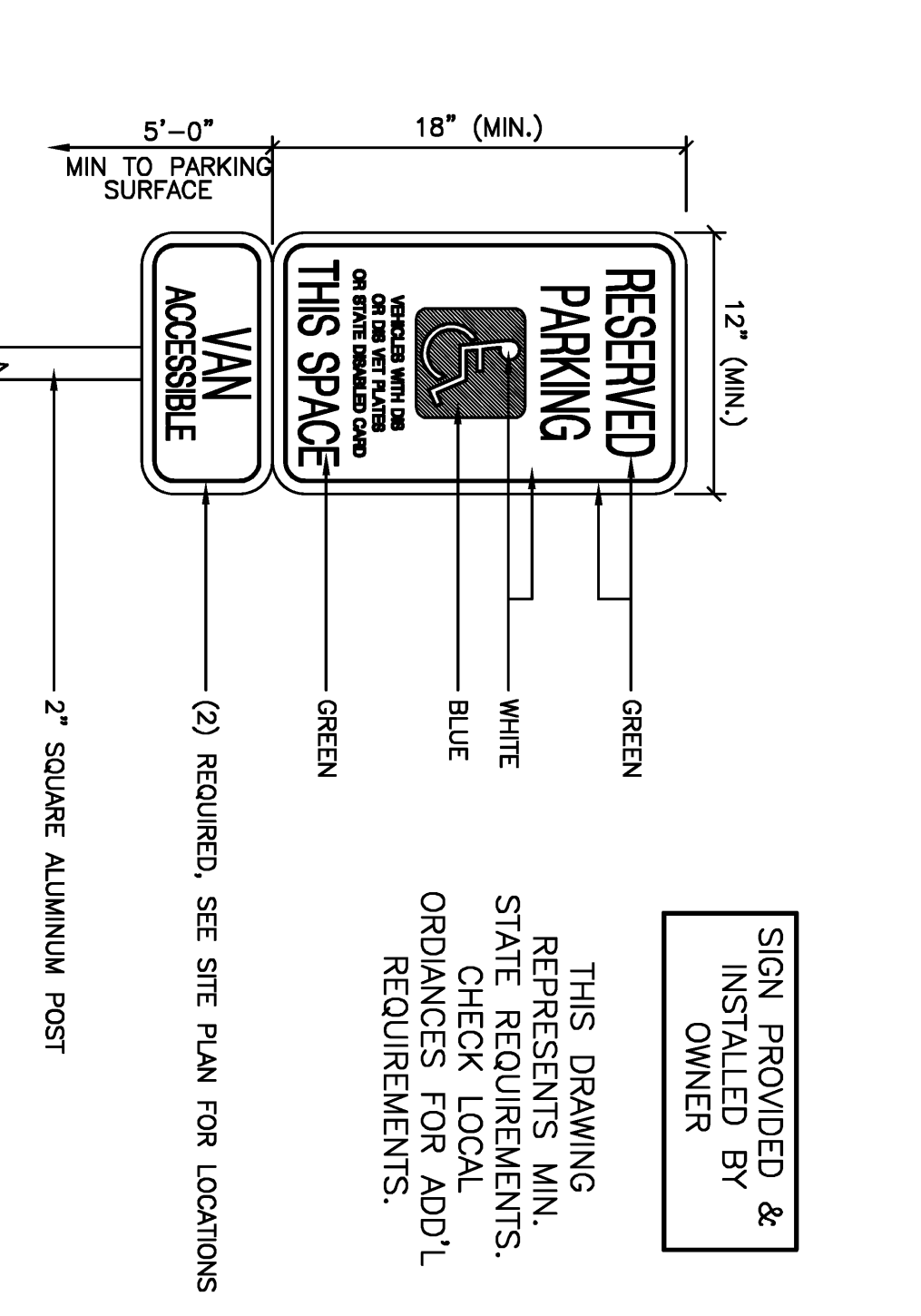
**4 ENLARGED SITE IMPROVEMENTS PLAN**  
 SCALE: 1" = 10'



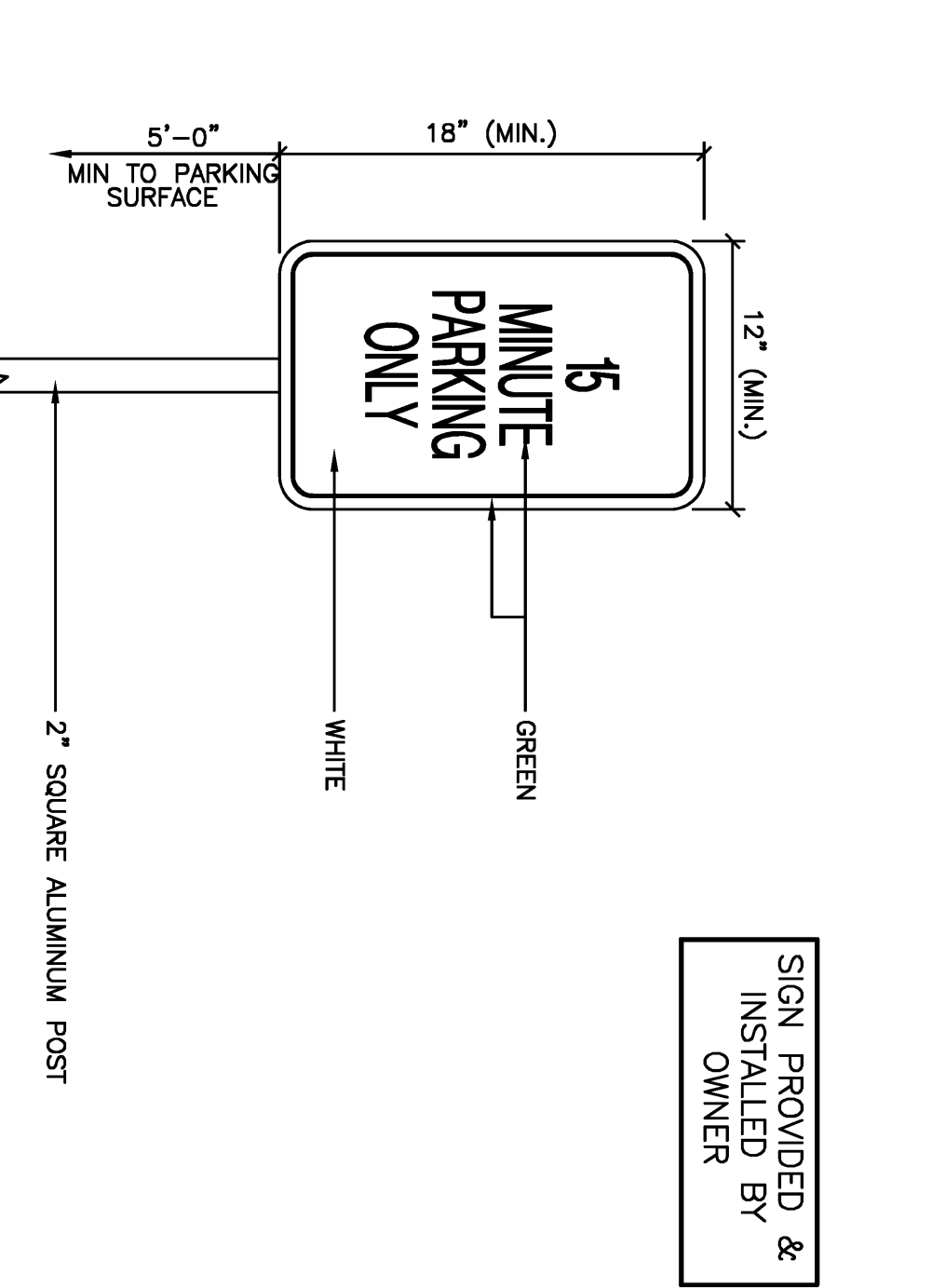
**5 18" CURB & GUTTER DETAIL**  
 SCALE: 3/4" = 1'-0"

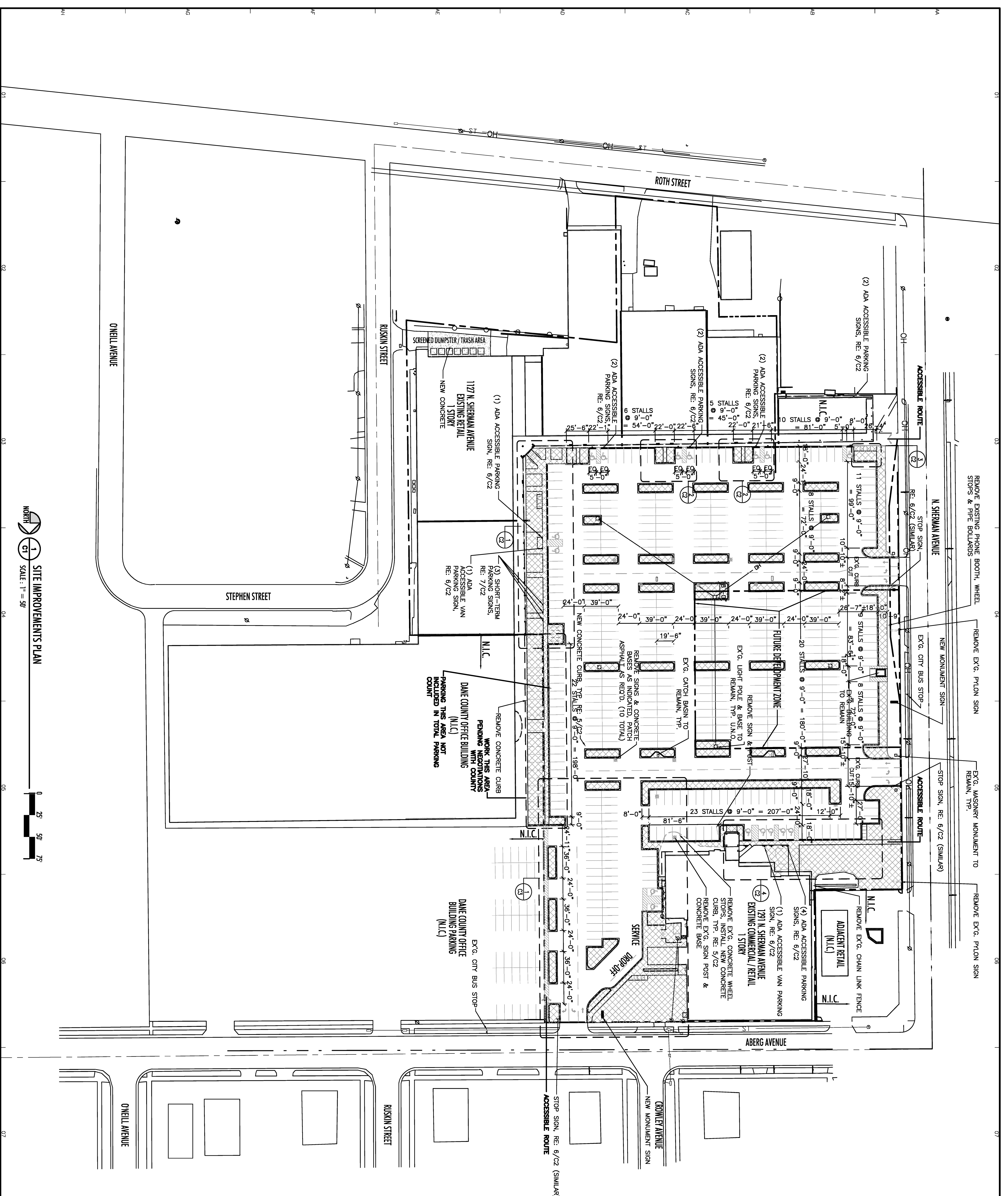


**6 ADA ACCESSIBLE SIGN DETAIL**  
 SCALE: 3/4" = 1'-0"

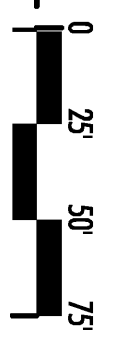


**7 PARKING SIGN DETAIL**  
 SCALE: 3/4" = 1'-0"





NORTH  
 1 SITE IMPROVEMENTS PLAN  
 G1 SCALE: 1" = 50'



REMOVE EXG. Pylon SIGN  
 STOPS & PIPE BOLLARDS

REMOVE EXG. Pylon SIGN  
 STOP SIGN, RE: 6/C2 (SIMILAR)

REMOVE EXG. MASONRY MONUMENT TO  
 REMAIN, TYP.

REMOVE EXG. CHAIN LINK FENCE

REMOVE EXG. CONCRETE WHEEL  
 STOPS, INSTAL NEW CONCRETE  
 CURB, TYP. RE: 5/C2

REMOVE EXG. SIGN POST &  
 CONCRETE BASE

REMOVE EXG. CONCRETE WHEEL  
 STOPS, TYP. RE: 6/C2

REMOVE EXG. CONCRETE WHEEL  
 STOPS, TYP. RE: 6/C2

REMOVE EXG. CONCRETE WHEEL  
 STOPS, TYP. RE: 6/C2

REMOVE EXG. CONCRETE WHEEL  
 STOPS, TYP. RE: 6/C2

REMOVE EXG. CONCRETE WHEEL  
 STOPS, TYP. RE: 6/C2

REMOVE EXG. CONCRETE WHEEL  
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 STOPS, TYP. RE: 6/C2

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 STOPS, TYP. RE: 6/C2

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 STOPS, TYP. RE: 6/C2

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 STOPS, TYP. RE: 6/C2

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 STOPS, TYP. RE: 6/C2

REMOVE EXG. CONCRETE WHEEL  
 STOPS, TYP. RE: 6/C2

REMOVE EXG. CONCRETE WHEEL  
 STOPS, TYP. RE: 6/C2

REMOVE EXG. CONCRETE WHEEL  
 STOPS, TYP. RE: 6/C2

REMOVE EXG. CONCRETE WHEEL  
 STOPS, TYP. RE: 6/C2

REMOVE EXG. CONCRETE WHEEL  
 STOPS, TYP. RE: 6/C2

REMOVE EXG. CONCRETE WHEEL  
 STOPS, TYP. RE: 6/C2

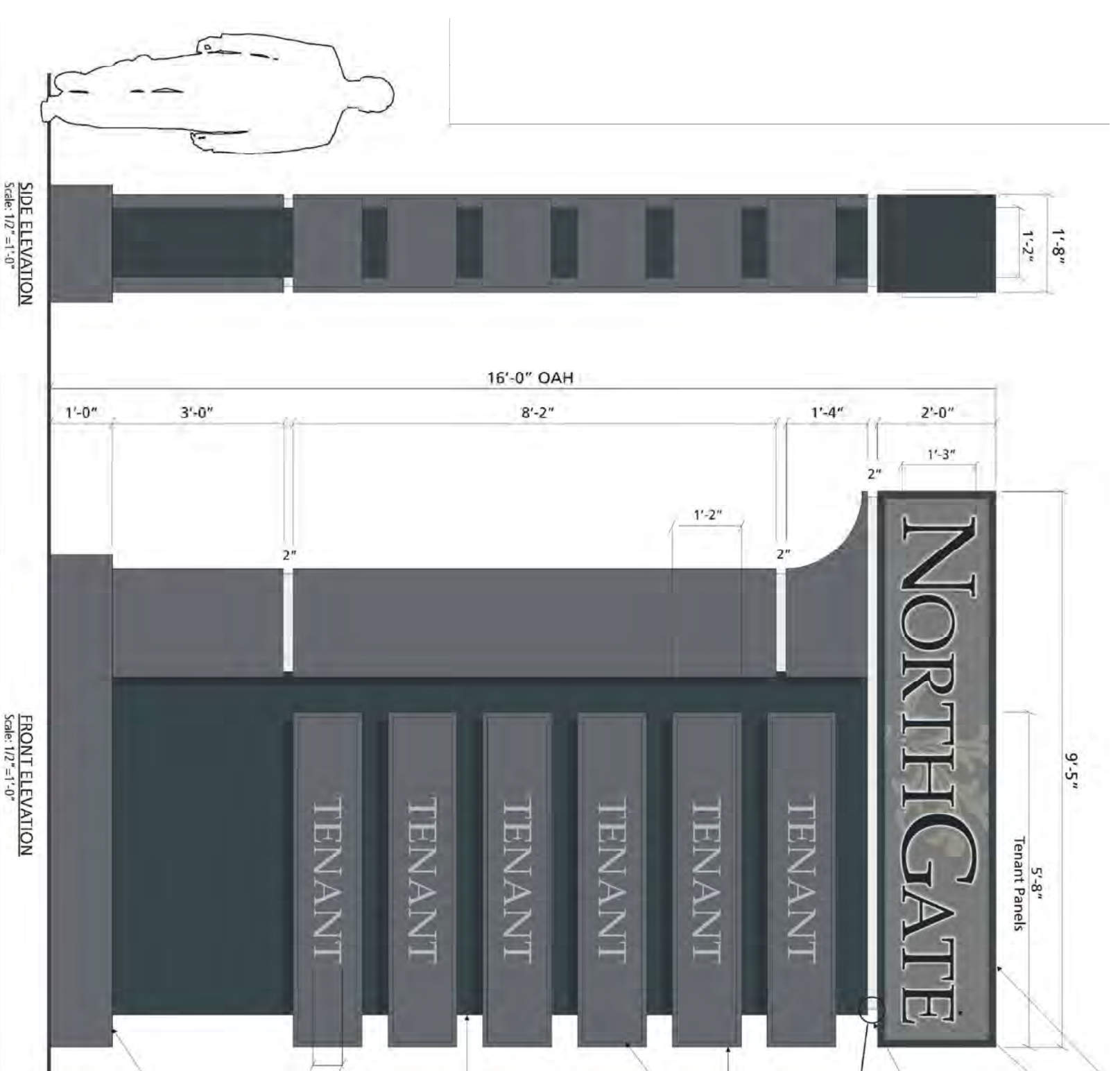
- GENERAL NOTES:**
- FOR SYMBOL AND ABBREVIATION DESCRIPTIONS SEE SHEET G2.1
  - FOR LANDSCAPING INFORMATION SEE SHEET L.1
  - NOTIFY ARCHITECT IF ± DIMENSION VARIES BY 6" OR 5/8" WHICH EVER IS LESS.
  - REPLACE ASPHALT PAVING AS REQUIRED.
  - SEAL COAT EXISTING ASPHALT PAVING TO REMAIN.
  - NEW PARKING STRIPING AS SHOWN ON 1/C.1.
  - FOR ALTERATIONS TO BUILDINGS SEE SHEETS A1.1-A1.4 & A2.1-A2.2.
  - EXISTING LIGHT POLES AND POLE MOUNTED TRAFFIC SIGNALS TO REMAIN.
  - REMOVE INTERIOR PARKING LOT TRAFFIC CONTROL SIGNS AND CONCRETE BASES. TURN OVER TO OWNER ALL SIGNS FOR OWNER'S USE.
  - FOR LOCATION OF UTILITIES, SEE SITE SURVEY SHEETS 1 OF 2 AND 2 OF 2.

EXISTING PAVING =	221,091 S.F.
NEW LANDSCAPE AREA =	49,706 S.F.
PROPOSED PAVING =	158,766 S.F.
EXISTING BUILDINGS =	108,533 G.S.F.
TOTAL PARKING STALLS =	433
(402 STALLS PER 1,000 S.F.)	
ADA ACCESSIBLE STALLS REQUIRED =	9
ADA ACCESSIBLE STALLS =	16
(3 VAN ACCESSIBLE STALLS)	
BICYCLE PARKING =	52
FUTURE OUTLOT DEVELOPMENT	
FUTURE BLDG. APPROX. =	11,400SF
TOTAL PARKING WITH FUTURE BLDG. = 359 (302 STALLS PER 1,000 S.F.)	

<p><b>Alexander Company</b></p> <p>145 E. Badger Road          Suite 200          Madison, WI 53713          Telephone: 608-259-6590          Fax: 608-259-6599</p>	<p>UDC          SUBMITTAL</p> <p>10-4-2008</p>
	<p>02/27/08 100% SUBMITTAL          TDR/BR 100% SUBMITTAL</p>
<p>DRAWN: DZ          APPR: EF</p>	<p>NORTHGATE SHOPPING          CENTER          N. SHERMAN AVE          MADISON, WI</p>
<p>PROJECT # 08-656</p> <p>'CONCEPT B'          SITE IMPROVEMENTS          PLAN</p> <p><b>C1-B</b></p>	<p>10-4-2008</p>



VIEW FROM PARKING EXIT LOOKING NORTH



NEW MONUMENT SIGN (SEE SHEET NG-1 FOR ADDITIONAL DETAILS)



EXISTING PYLON SIGN, N. SHERMAN AVE.



EXISTING PYLON SIGN, N. SHERMAN AVE., TO BE REMOVED

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 Fax: 608-258-5599

**UDC SUBMITTAL**  
 144-5000

08-27-08 UDC SUBMITTAL  
 10-06-08 UDC SUBMITTAL

DATE	DRAWN	BY	APP'D.	REV.
	DZ		APR 14, 07	

**NORTHGATE SHOPPING CENTER**  
 N. SHERMAN AVE  
 MADISON, WI

**PROJECT # 08-656**

**PHOTOS OF EXISTING PYLON SIGNS AND PROPOSED SIGN**

**P4**



EAST ELEVATION, 1291 N. SHERMAN AVE.



NORTH ELEVATION, 1291 N. SHERMAN AVE.



DETAIL, EAST ELEVATION, 1291 N. SHERMAN AVE.



EAST ELEVATION, 1291 N. SHERMAN AVE.

**UDC**  
**SUBMITTAL**

144-5000

08-27-08 UDC SUBMITTAL  
10-08-08 UDC SUBMITTAL

DATE: 02 APRIL, 2017

**NORTHGATE SHOPPING  
CENTER  
N. SHERMAN AVE  
MADISON, WI**

**PROJECT # 08-656**

**PHOTOS OF ANNEX  
BUILDING**

**P2**



SOUTH ELEVATION, 1291 N. SHERMAN AVE.



DETAIL, SOUTH ELEVATION, 1291 N. SHERMAN AVE.



DETAIL, SOUTH ELEVATION, 1291 N. SHERMAN AVE.



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- LEGEND:**
- CURB & GUTTER
  - EXISTING TREE
  - DECIDUOUS TREE
  - ORNAMENTAL TREE
  - SHRUBS / PERENNIALS
- GROUND COVER:**
- ROCK MULCH
  - WOOD MULCH
  - GRASS

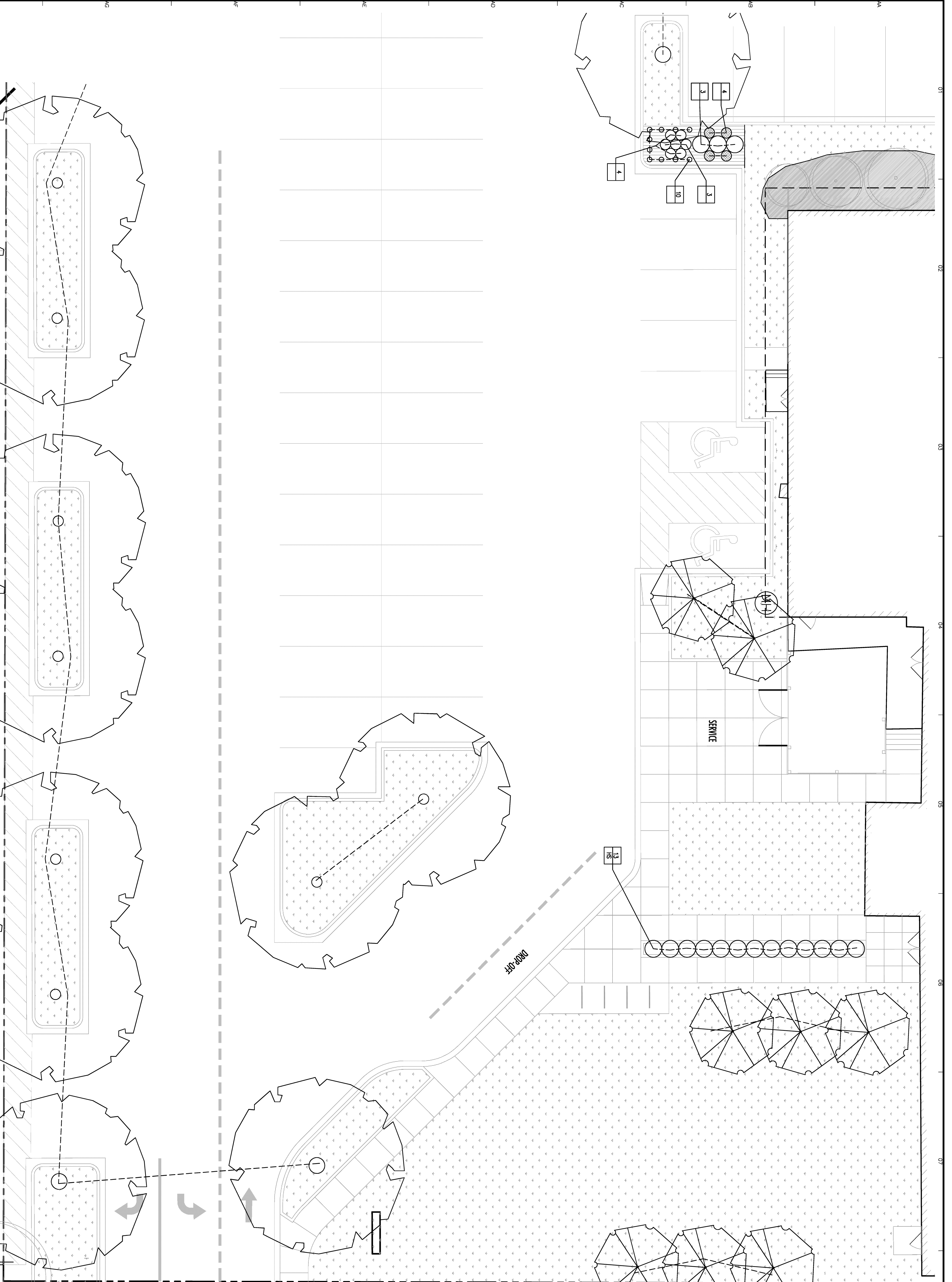
NORTHGATE SHOPPING CENTER  
 N. SHERMAN AVE  
 MADISON, WI

PROJECT # 08-656

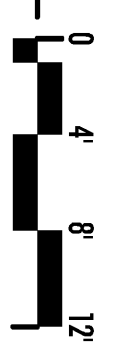
'CONCEPT B'  
 ENLARGED LANDSCAPE PLAN

**L5-B**

DRAWN: DZ APPR: EF



**ENLARGED LANDSCAPE PLAN**  
 SCALE: 1/8" = 1'-0"

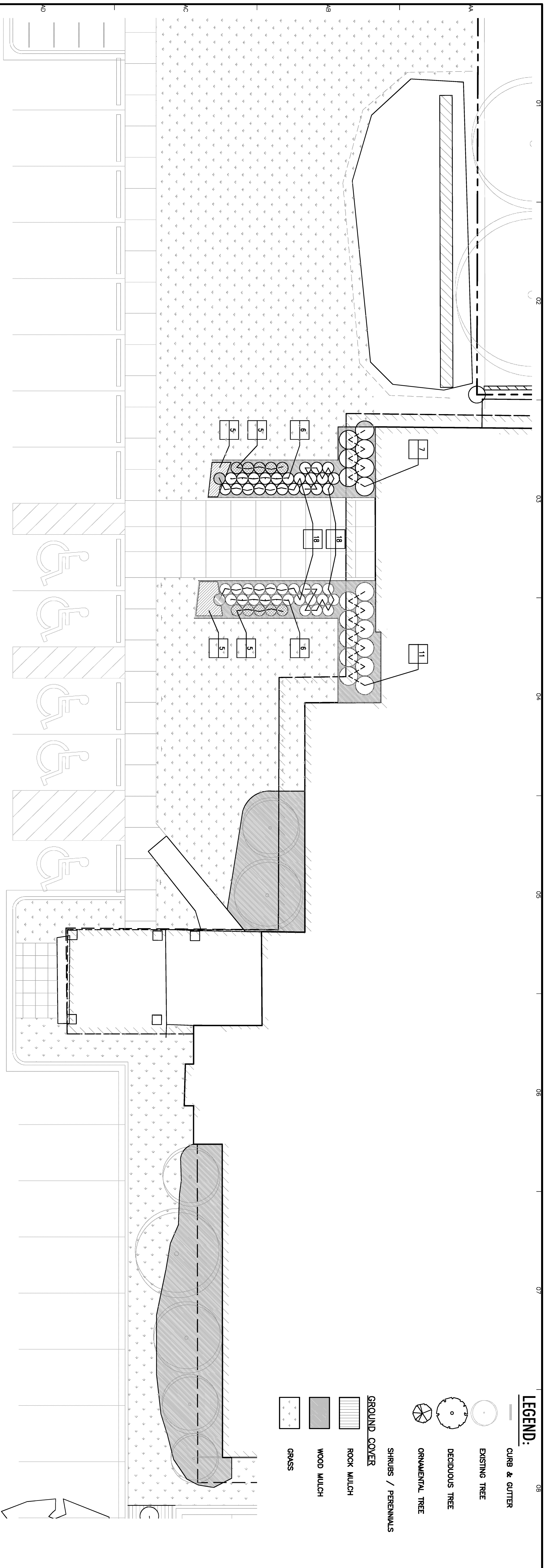




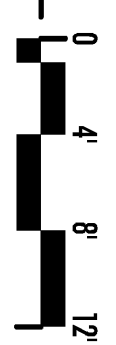
01 02 03 04 05 06 07 08 09 A4

- Curb & Gutter
- Existing Tree
- Deciduous Tree
- Ornamental Tree
- Shrubs / Perennials

- Ground Cover
- Rock Mulch
- Wood Mulch
- Grass



NORTH



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 Fax: 608-256-5599

**UDC**  
 SUBMITTAL  
 10-8-2008

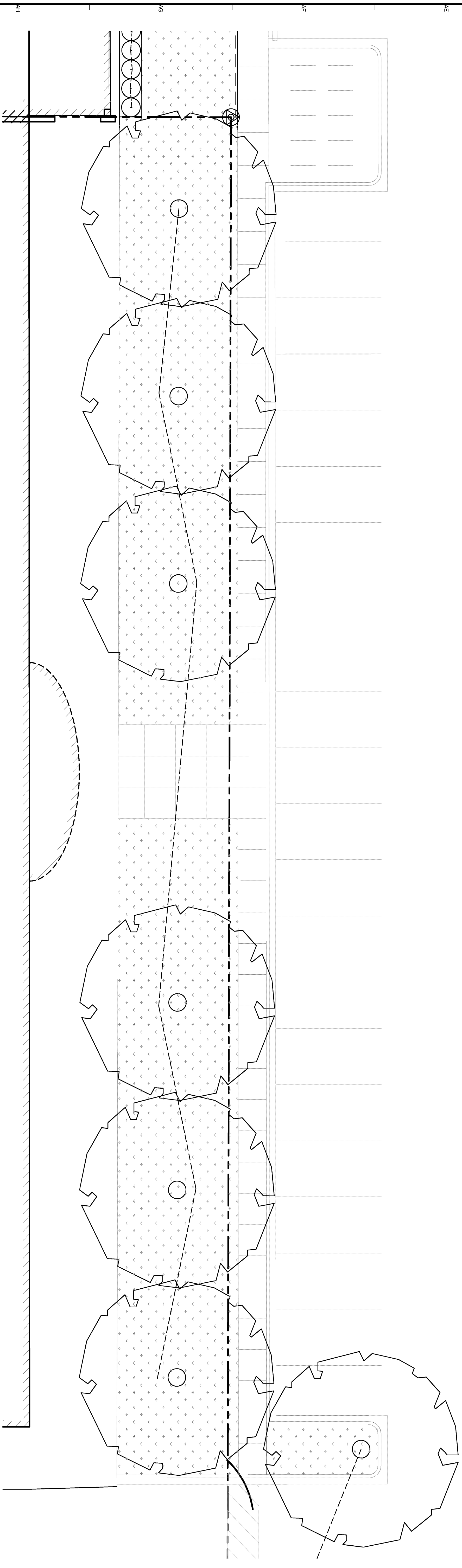
DATE:	10-8-2008	DESIGN:	UDC SUBMITTAL
DATE:	10-8-2008	DESIGN:	UDC SUBMITTAL

**NORTHGATE SHOPPING CENTER**  
 N. SHERMAN AVE  
 MADISON, WI  
 PROJECT # 08-656

**ENLARGED LANDSCAPE PLANS**  
 L4

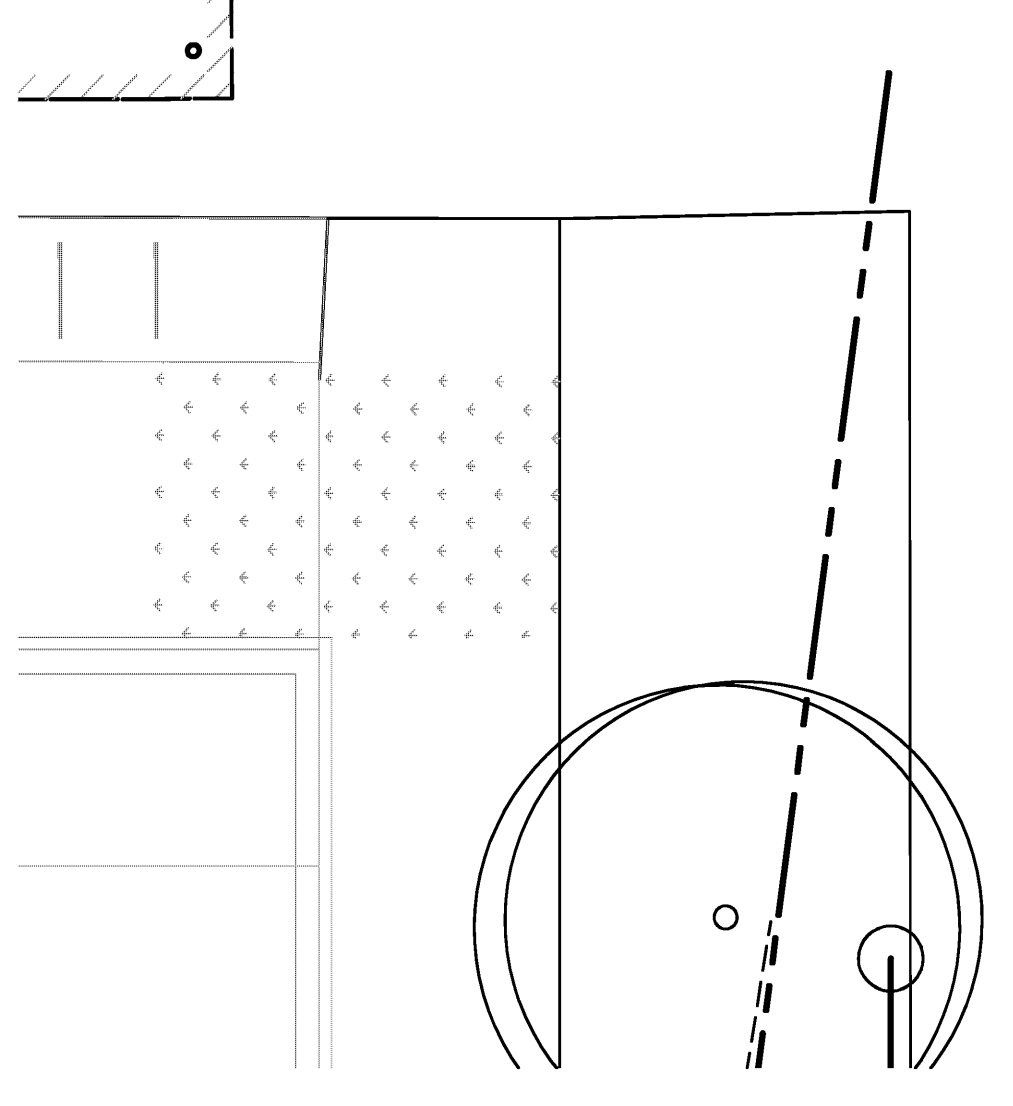
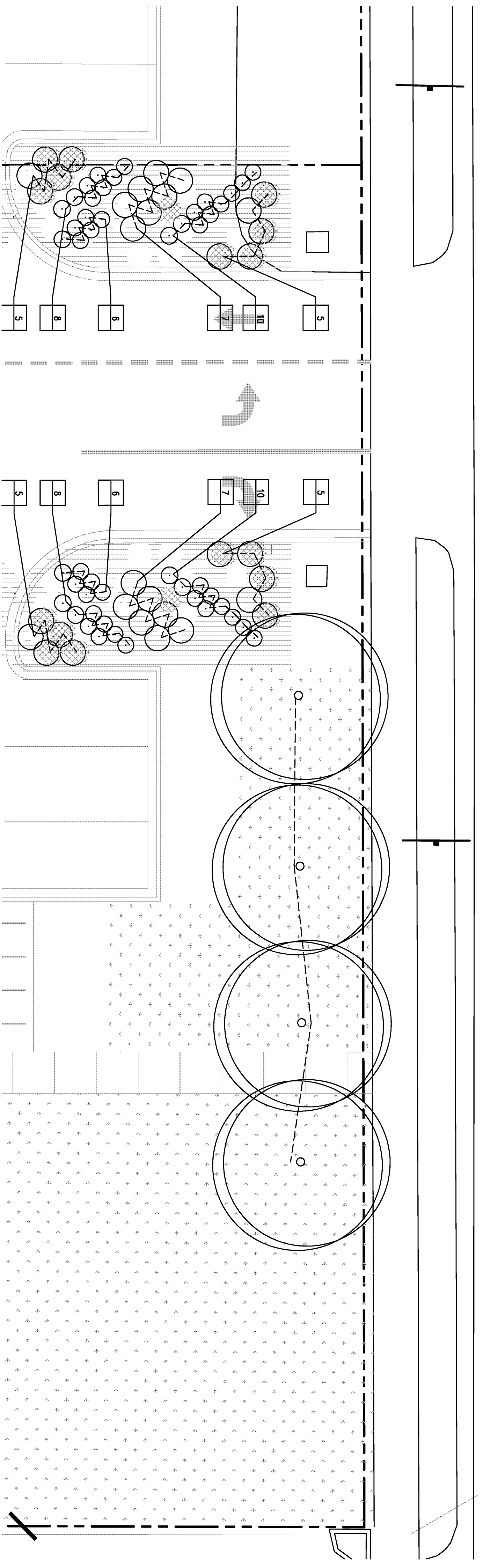
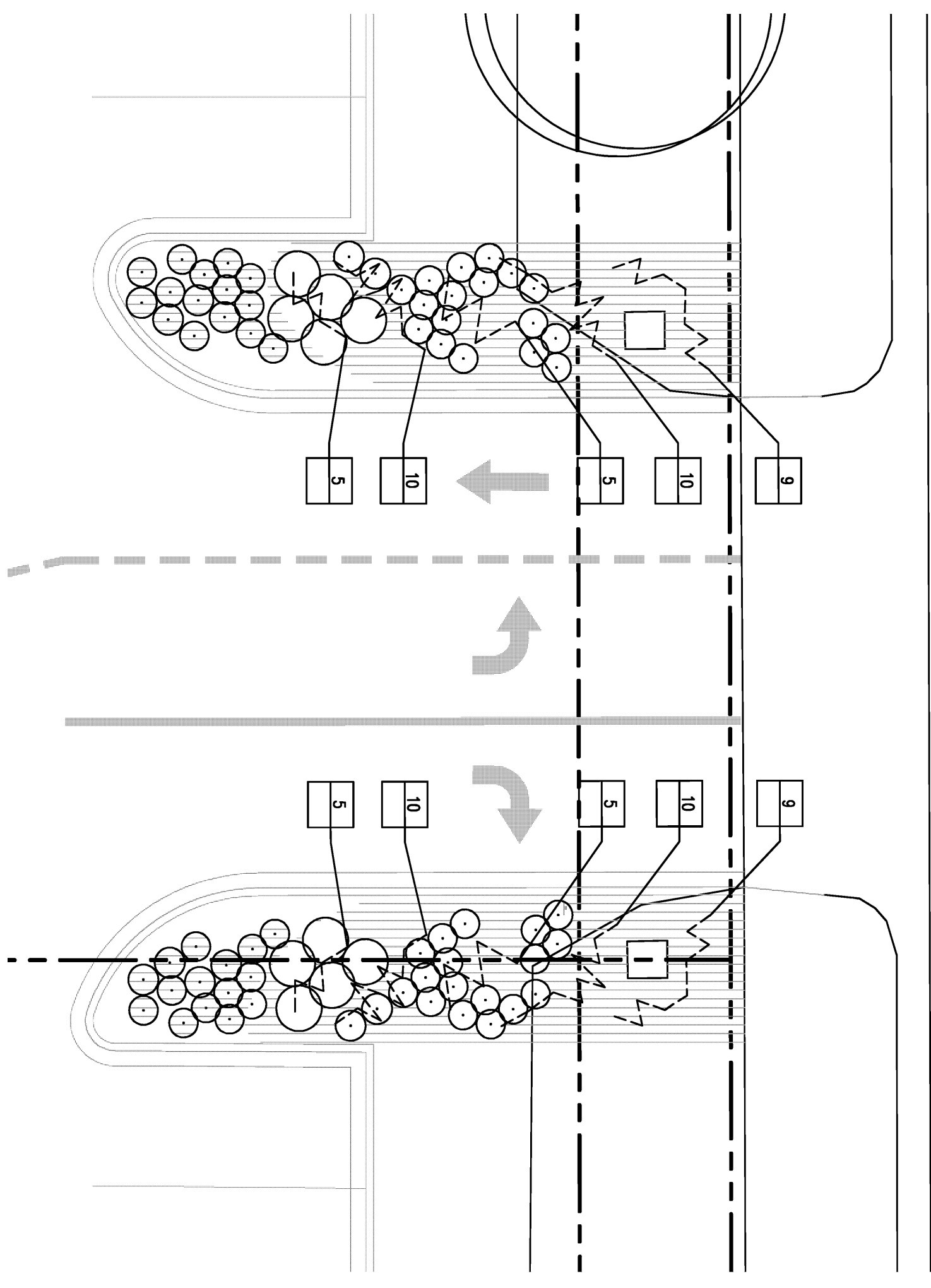
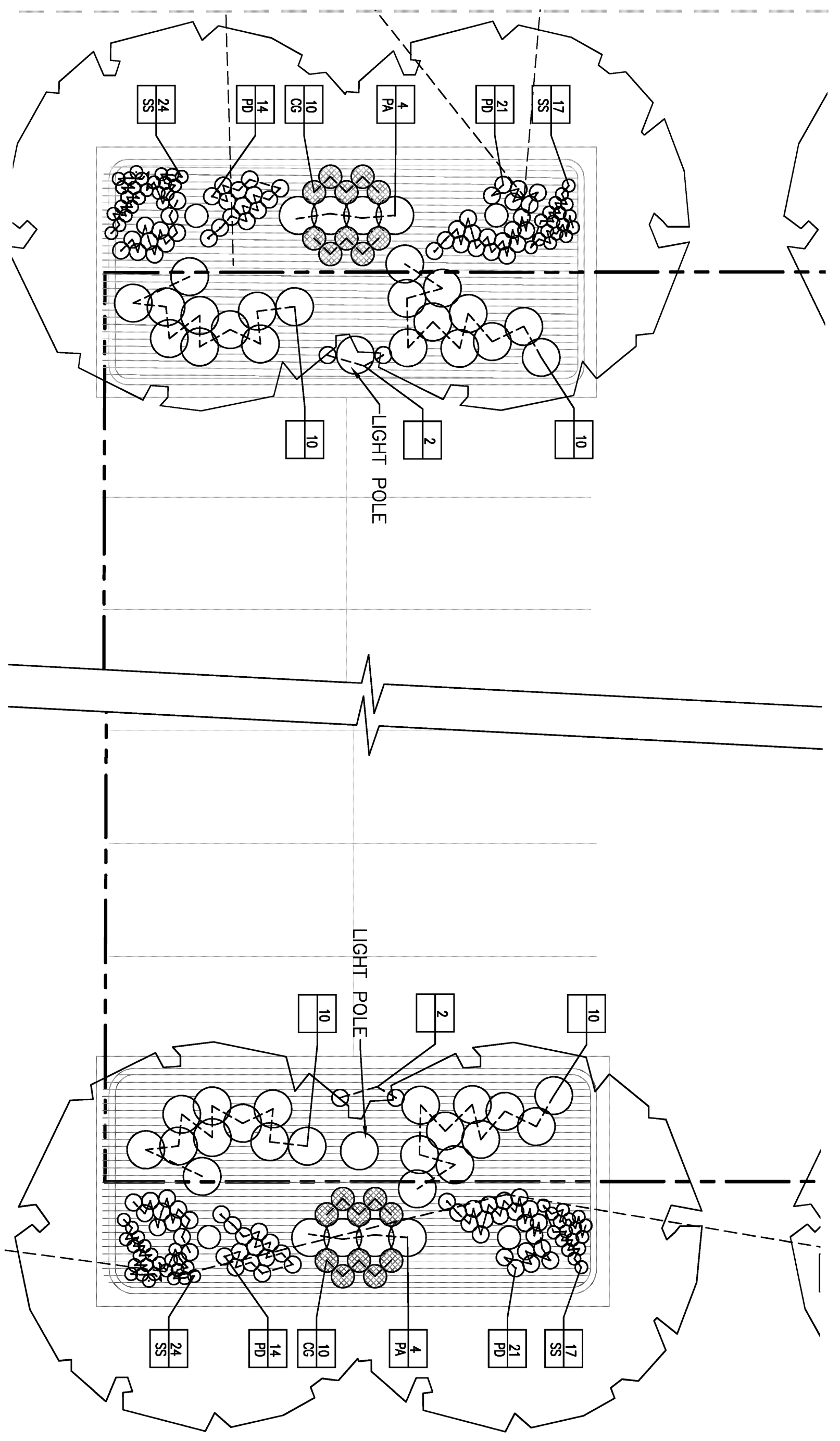
01 02 03 04 05 06 07 08 09 A4

NORTH



01 02 03 04 05 06 07 08 09 A4

- LEGEND:**
- CURB & GUTTER
  - EXISTING TREE
  - DECIDUOUS TREE
  - ORNAMENTAL TREE
  - SHRUBS / PERENNIALS
  - GROUND COVER**
  - ROCK MULCH
  - WOOD MULCH
  - GRASS



**UDC**  
**SUBMITTAL**  
 10-4-2008

08-27-08 UDC SHERMATA  
 TDR:08 UDC SHERMATA

DRAWN: DZ APPR.: EF

**NORTHGATE SHOPPING CENTER**  
 N. SHERMAN AVE  
 MADISON, WI

PROJECT # 08-656

**ENLARGED LANDSCAPE PLANS**

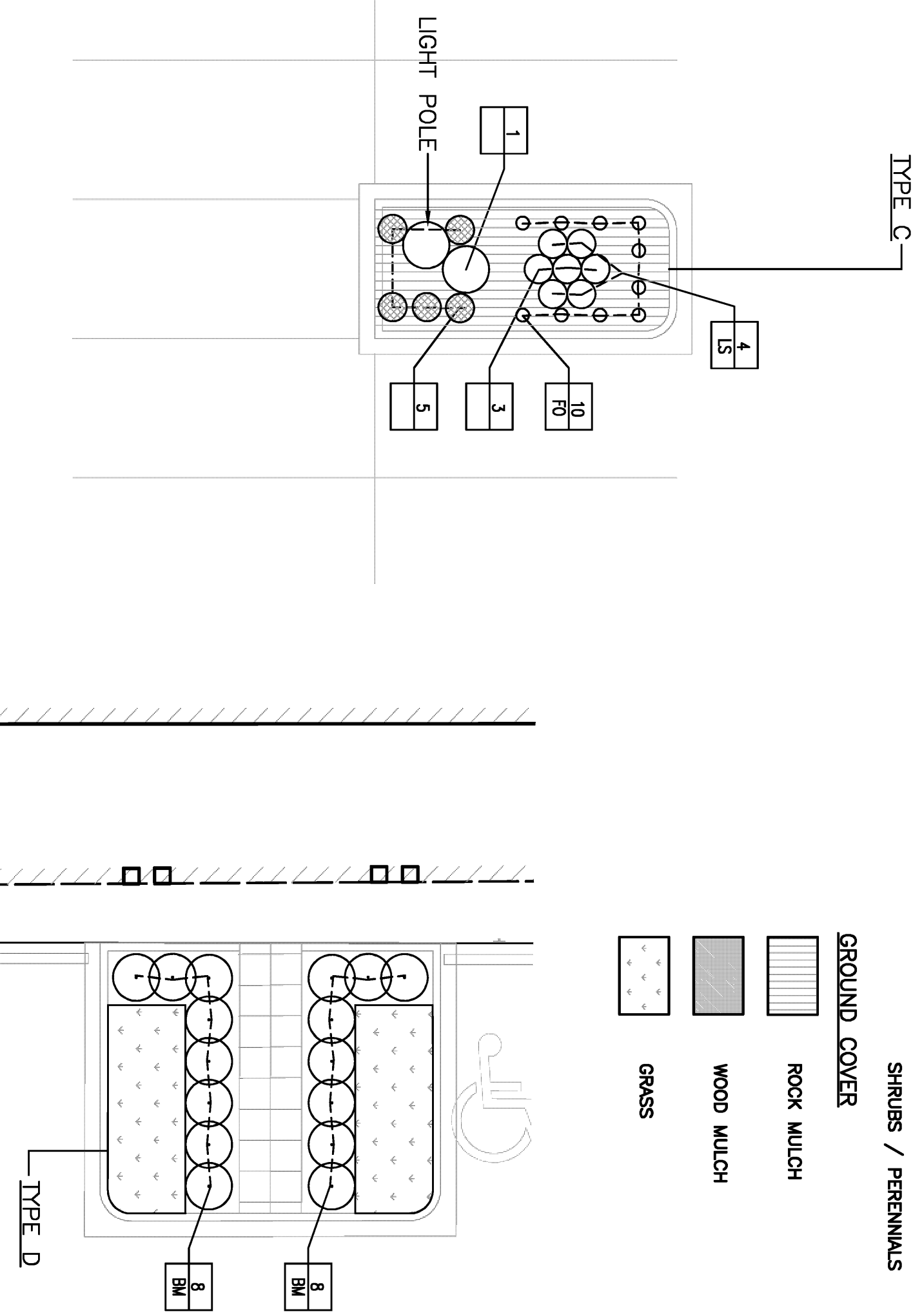
**L3**

**LEGEND:**

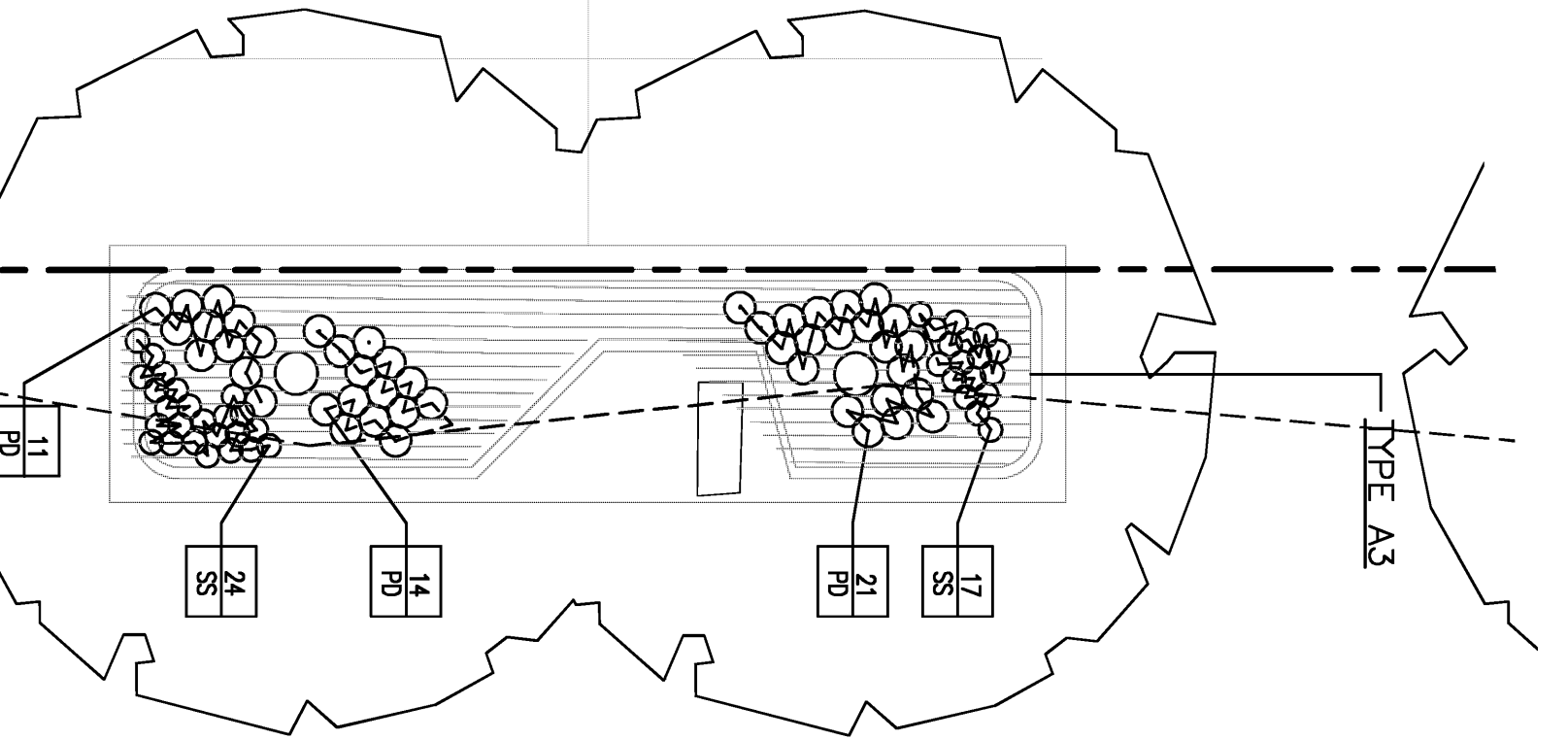
- CURB & GUTTER
- EXISTING TREE
- DECIDUOUS TREE
- ORNAMENTAL TREE
- SHRUBS / PERENNIALS

**GROUND COVER**

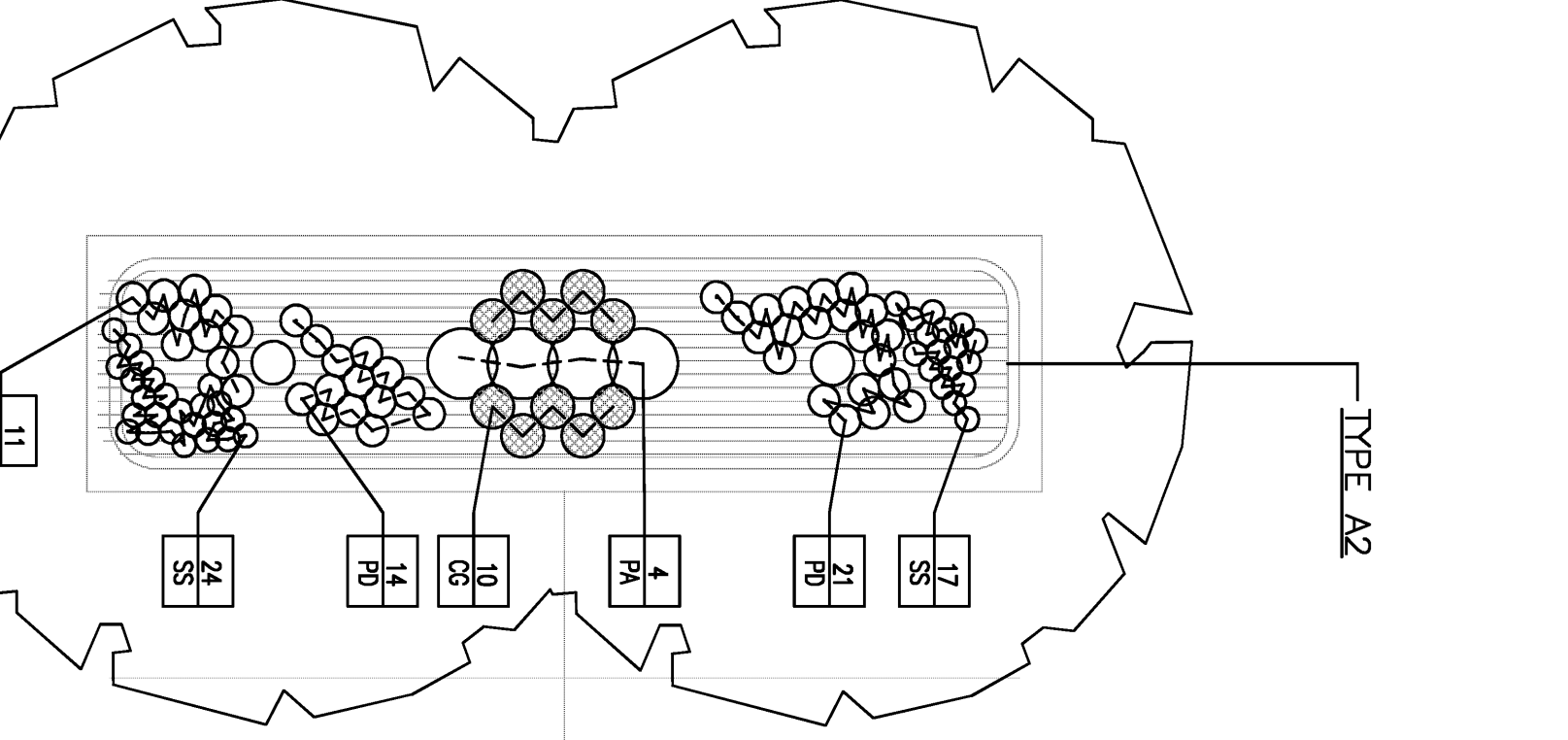
- ROCK MULCH
- WOOD MULCH
- GRASS



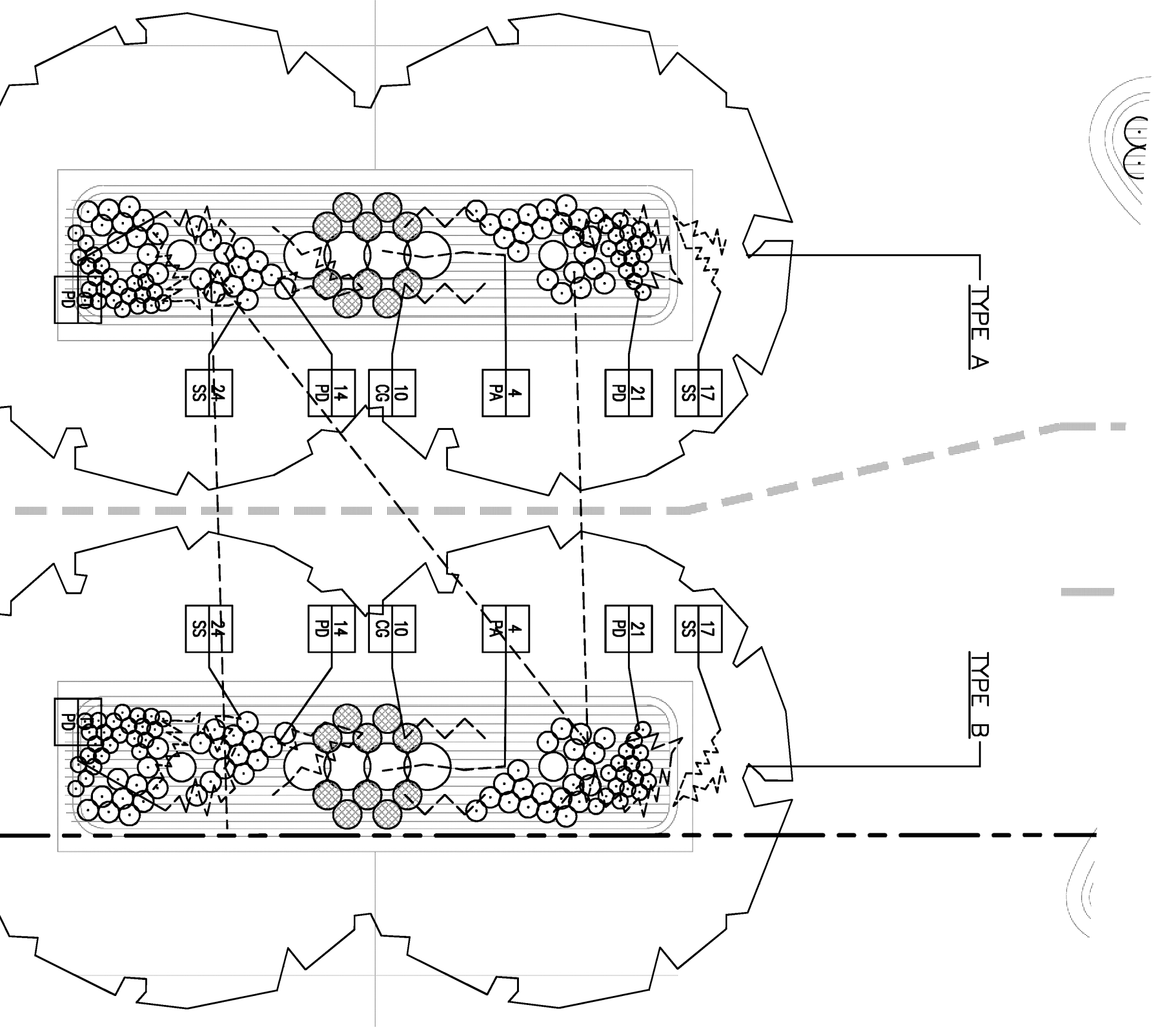
**1** TYPICAL ISLAND LANDSCAPE PLAN  
SCALE: 1/8" = 1'-0"



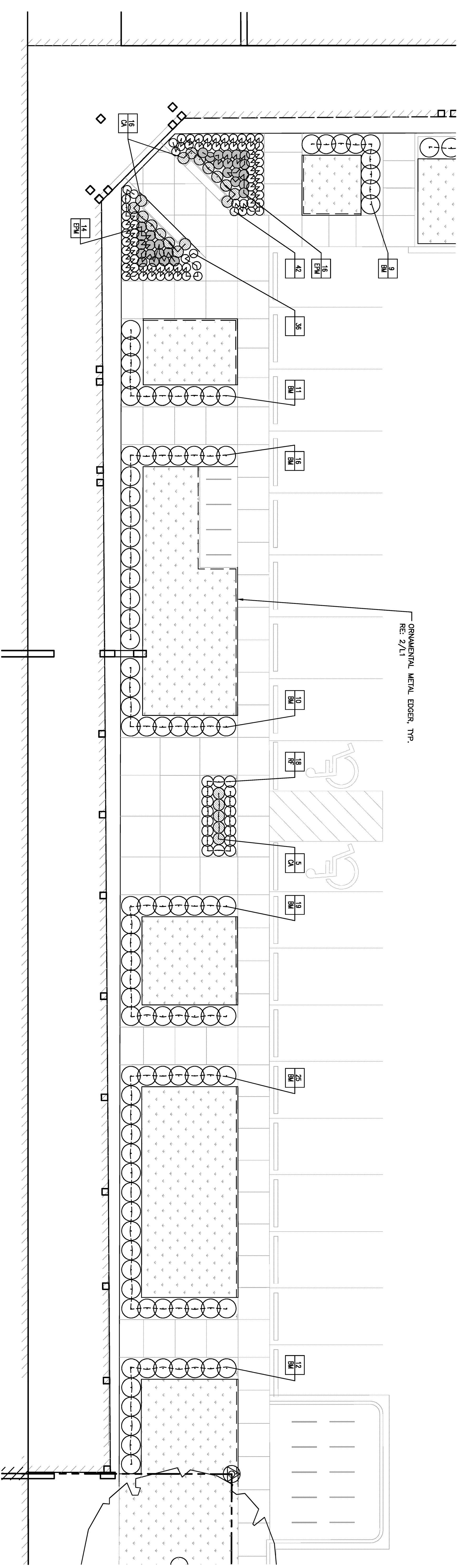
**3** TYPICAL ISLAND LANDSCAPE PLAN  
SCALE: 1/8" = 1'-0"



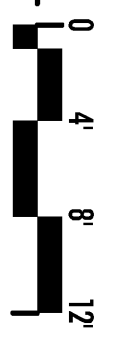
**2** TYPICAL ISLAND LANDSCAPE PLAN  
SCALE: 1/8" = 1'-0"



**1** TYPICAL ISLAND LANDSCAPE PLAN  
SCALE: 1/8" = 1'-0"



**5** ENLARGED LANDSCAPE PLAN  
SCALE: 1/8" = 1'-0"



**UDC SUBMITTAL**  
 10-4-2008

02-27-08 UDC SUBMITTAL  
 10-6-08 UDC SUBMITTAL

DRAWN: DZ APPR: EF

PROJECT # 08-656

'CONCEPT B' LANDSCAPE PLAN

**L1-B**

**LEGEND:**

- CURB & GUTTER
- EXISTING TREE
- DECIDUOUS TREE
- ORNAMENTAL TREE
- SHRUBS / PERENNIALS
- GROUND COVER
- ROCK MULCH
- WOOD MULCH
- GRASS

**LANDSCAPE REQUIREMENT CHART**

**I. NUMBER OF TREES REQUIRED:**  
 The number of trees required for a parking lot is based on the number of parking stalls. Using the Schedule for Required Trees on the reverse side of the worksheet, determine the number of trees required. (Example: 1 tree is required for 10 parking stalls.)  
 Landscape requirements for storage areas are determined by dividing the total square footage of the storage area by (300) square feet. This converts area to stalls. (Example: 10,000 square feet is equivalent to (33) stalls or (3) trees and (180) points.)

**NUMBER OF PARKING STALLS**  
 TOTAL SQUARE FOOTAGE OF THE STORAGE AREA  
 DIVIDED BY THREE HUNDRED (300) SQUARE FEET  
 NUMBER OF CANOPY SHADE TREES REQUIRED (2'-2 1/2" CALIPER - Manufacturing / Industrial (60% of requirement above))

457	2
26	

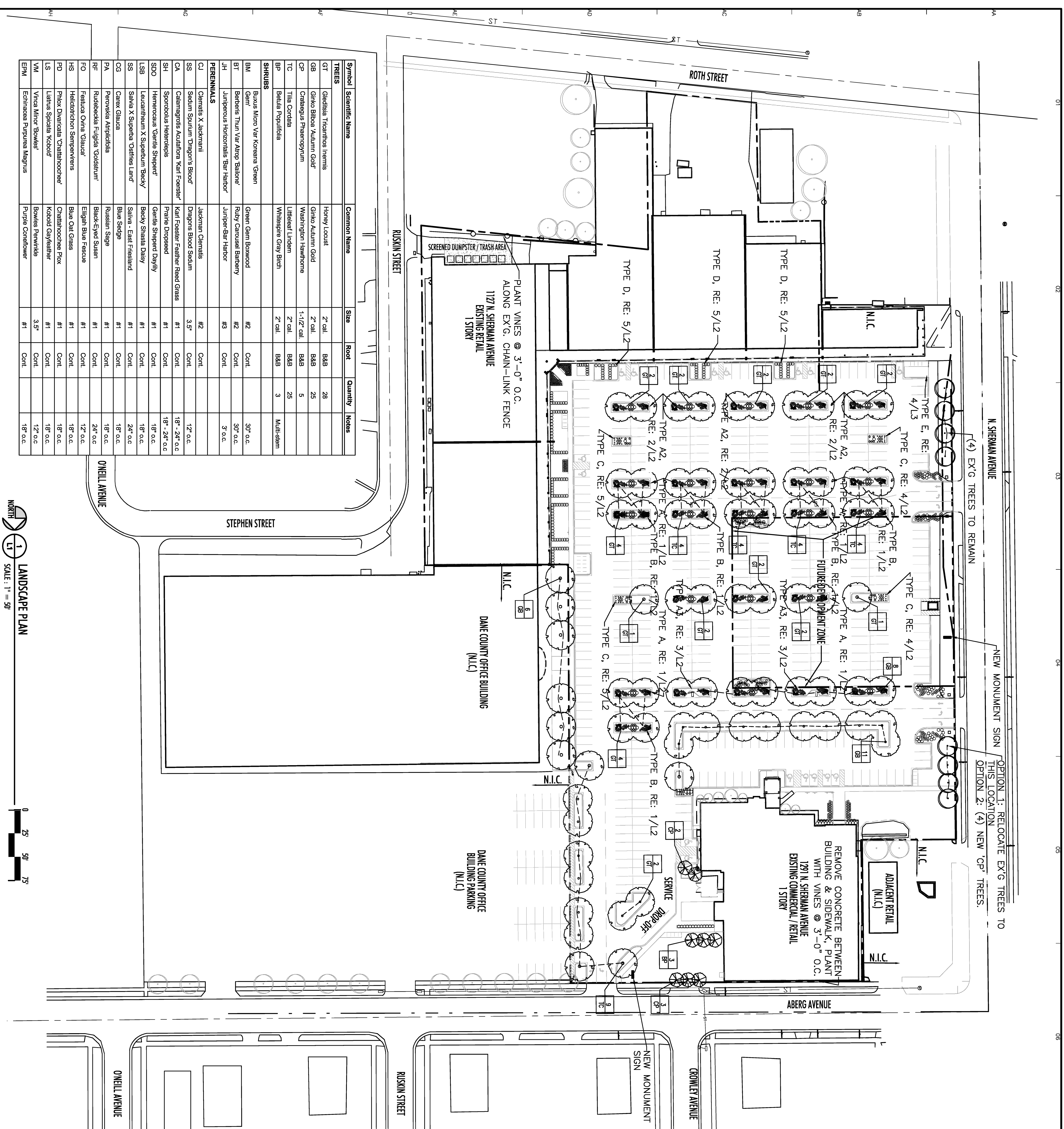
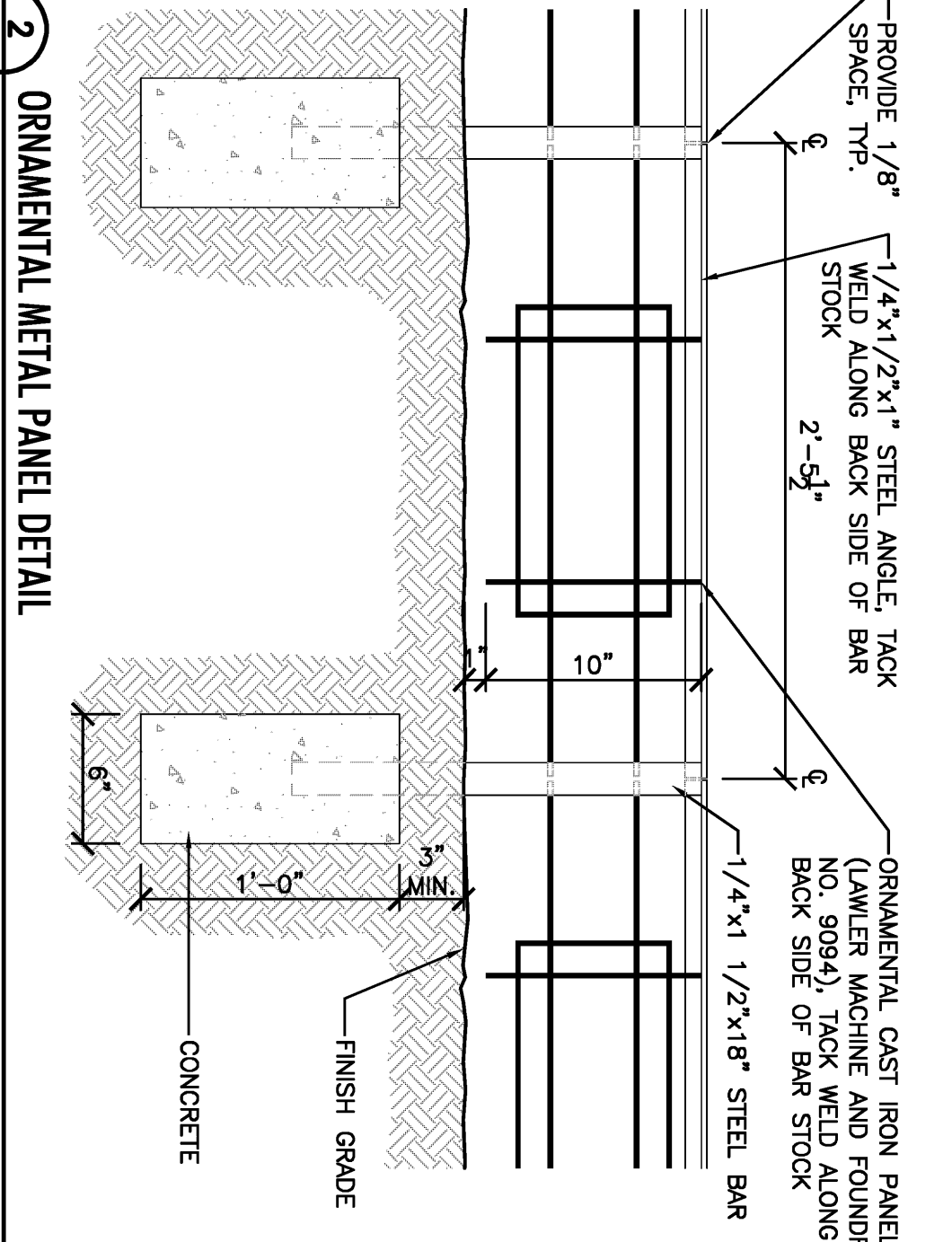
**II. NUMBER OF LANDSCAPE POINTS REQUIRED**  
 The number of points required is also based on the number of parking stalls. Using the Point Schedule for Landscape Elements on the reverse side of this worksheet, determine the number of points required. (Example: 49.5 points are required for 10 stalls.) A point fraction of (.5) or less may be disregarded, while a fraction in excess of (.5) must be counted as one point. Thus: 49.5 points would be rounded down to 49.0 points required.  
 The number of points required for loading areas is (75) points for each loading berth.

NUMBER OF POINTS REQUIRED Manufacturing / Industrial (60% of requirement above)

1557
------

**TABULATION OF POINTS AND CREDITS**  
 Indicate below the quantity and points for all pertinent landscape elements. Also, credit information for boundary screening and any existing elements to be retained.

ELEMENT	POINT VALUE	QUANTITY	POINTS ACHIEVED	CREDITS	QUANT.	POINTS
Existing Tree - 2'-2 1/2" plus	35	8	280	8	280	
Canopy Tree - 2'-2 1/2" *	35	46	1610	46	1610	
Deciduous Shrub	2	0	0	0	0	
Evergreen Shrub	3	0	0	0	0	
Decorative wall or Fence (per) 10 L.F.	5	0	0	0	0	
Earth Berm (per 10 L.F.)	5	0	0	0	0	
Ave. Height 30"	2	0	0	0	0	
Evergreen Trees 3 - ft. height min.	15	0	0	0	0	
Canopy Tree or Small tree 1 1/2" - 2" Cal. (i.e., Crab, Hawthorn)	15	8	120	0	0	
*Trees required in Part I above, are not to be included in the point count.						
<b>TOTAL</b>						2010



Symbol	Scientific Name	Common Name	Size	Root	Quantity	Notes
<b>TREES</b>						
GT	Gleditsia Triacanthos Inermis	Honey Locust	2' cal.	B&B	28	
GB	Ginkgo Biloba 'Autumn Gold'	Ginkgo Autumn Gold	2' cal.	B&B	25	
CP	Catalpa Biondum	Washington Hawthorne	1-1 1/2" cal.	B&B	5	
TC	Tilia Cordata	Lilthelof Linden	2' cal.	B&B	25	
BP	Betula Populifolia	Whitespine Gray Birch	2' cal.	B&B	3	Multi-stem
<b>SHRUBS</b>						
BM	Buxus Micro Var Koreana Green	Green Gem Boxwood		Cont.	30'	a.c.
BT	Berberis Thun Var Atrop Balmore	Ruby Coronet Barberry		Cont.	30'	a.c.
JH	Juniperus Horizontalis 'Bar Harbor'	Juniper-Bar Harbor		Cont.	3'	a.c.
<b>PERENNIALS</b>						
CI	Clematis X Ardennani	Jackman Clematis	#2	Cont.	12'	a.c.
SS	Sedum Spatum 'Dragon's Blood'	Dragon's Blood Sedum	3.5"	Cont.	18" - 24"	a.c.
CA	Callirhoe Acauliflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1	Cont.	18" - 24"	a.c.
SH	Sporobolus Helonioides	Prairie Dropseed	#1	Cont.	18" - 24"	a.c.
SOD	Heierococcus 'Gentle Shepherd'	Gentle Shepherd Daylily	#1	Cont.	18"	a.c.
LSB	Leucanthemum X Superbum 'Becky'	Becky Shasta Daisy	#1	Cont.	18"	a.c.
SS	Silene X Suprema 'Golfers Land'	Silene - East Freshend	#1	Cont.	24"	a.c.
CG	Carex Glauca	Blus Sedge	#1	Cont.	18"	a.c.
PA	Panoxeia Amphicladia	Russian Sage	#1	Cont.	18"	a.c.
RF	Rudbeckia Fulgida 'Goldstrum'	Black-eyed Susan	#1	Cont.	24"	a.c.
FO	Ferulca Oxya 'Glacier'	Elegant Blue Fescue	#1	Cont.	12"	a.c.
HS	Helictotrichon Sempervirens	Blue Oat Grass	#1	Cont.	18"	a.c.
PD	Plix Denticulata 'Chantabochner'	Chantabochner Plox	#1	Cont.	18"	a.c.
US	Liatris Spicata 'Kobold'	Kobold Gay/feather	#1	Cont.	12"	a.c.
VM	Vivca Minor 'Bowles'	Bowles Pawinkle	3.5"	Cont.	12"	a.c.
EPM	Echinacea Purpurea Magnus	Purple Coneflower	#1	Cont.	18"	a.c.

**UDC  
SUBMITTAL**

10-9-2008

08-27-08 UDC SUBMITTAL

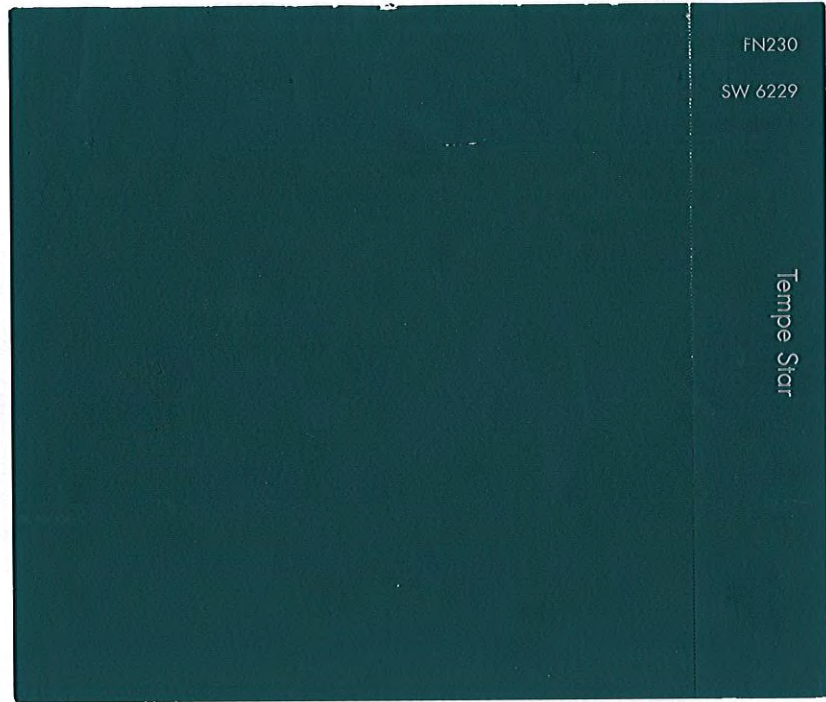
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NORTHGATE SHOPPING  
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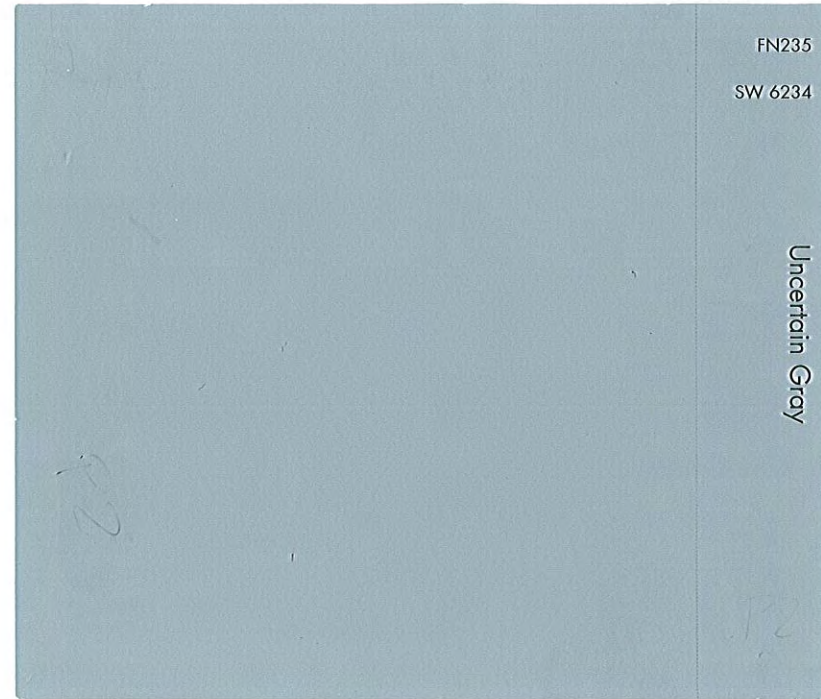
PROJECT # 08-656

PANORAMIC PHOTO  
ELEVATIONS

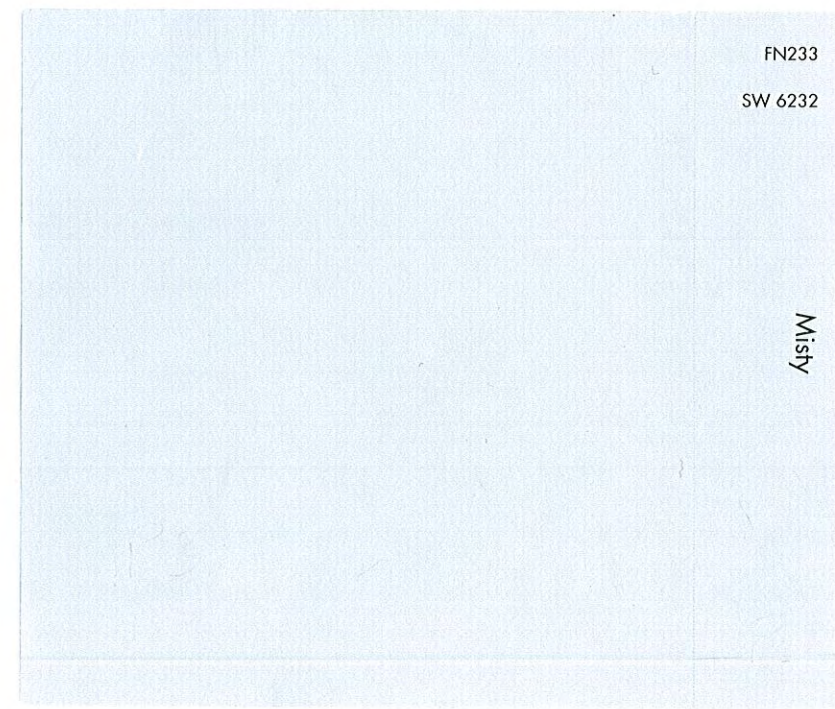
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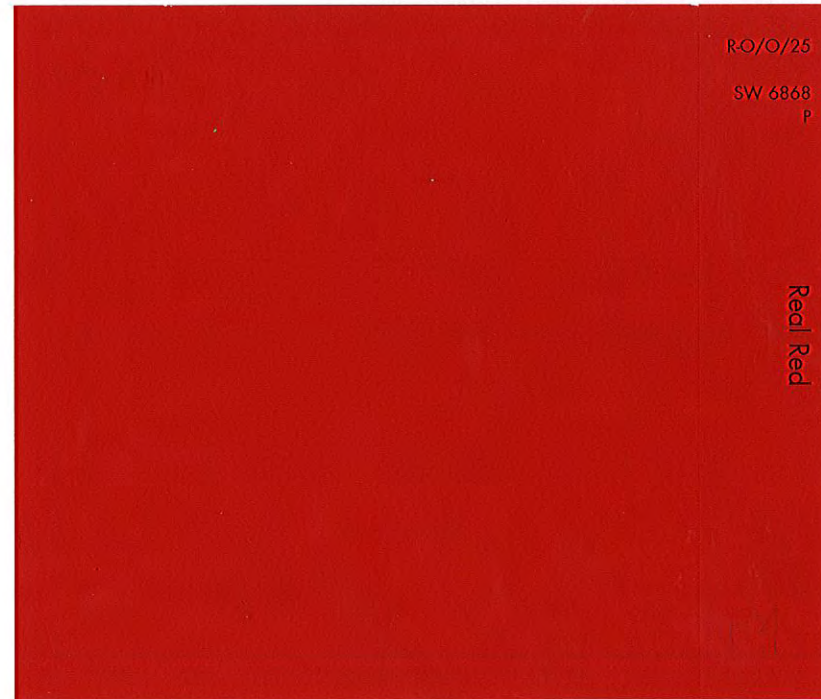
P1



P2



P3



P4

**Alexander**  
Company

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Telephone: 608-258-5590  
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**UDC**  
**SUBMITTAL**

10.3.2008

08/27/08 UDC SUBMITTAL

10/8/08 UDC SUBMITTAL

DRAWING NO. **APPL. EF**

**NORTHGATE SHOPPING**  
**CENTER**  
**N. SHERMAN AVE**  
**MADISON, WI**

**PROJECT # 08-656**

**EXISTING AERIAL**

**CO**



Image © 2008 DigitalGlobe  
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Streaming | 100%

**UDC**  
**SUBMITTAL**

10-3-2008

09/27/08 UDC SUBMITTAL  
10/01/08 UDC SUBMITTAL

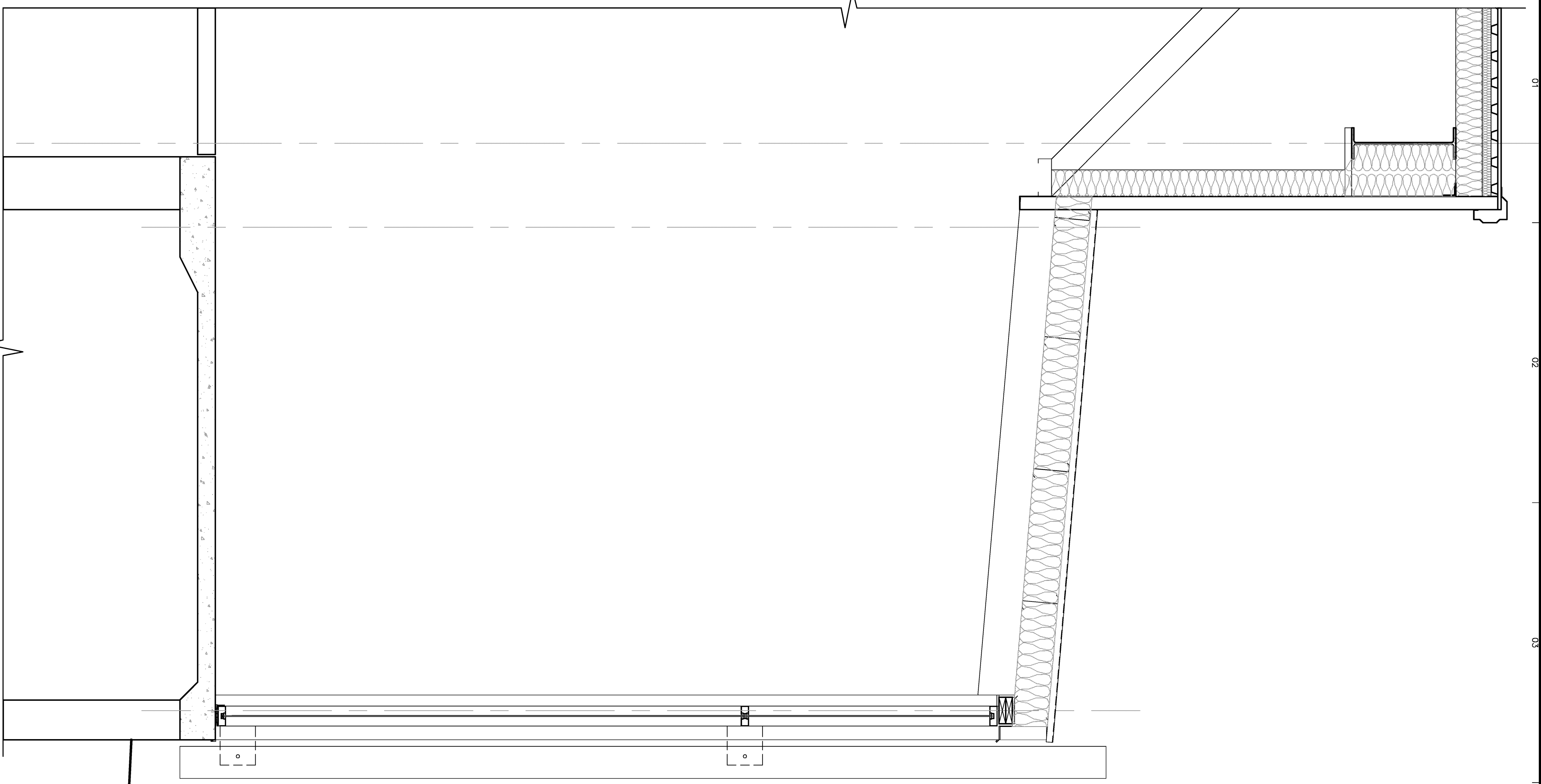
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**NORTHGATE SHOPPING**  
**CENTER**  
**N. SHERMAN AVE**  
**MADISON, WI**

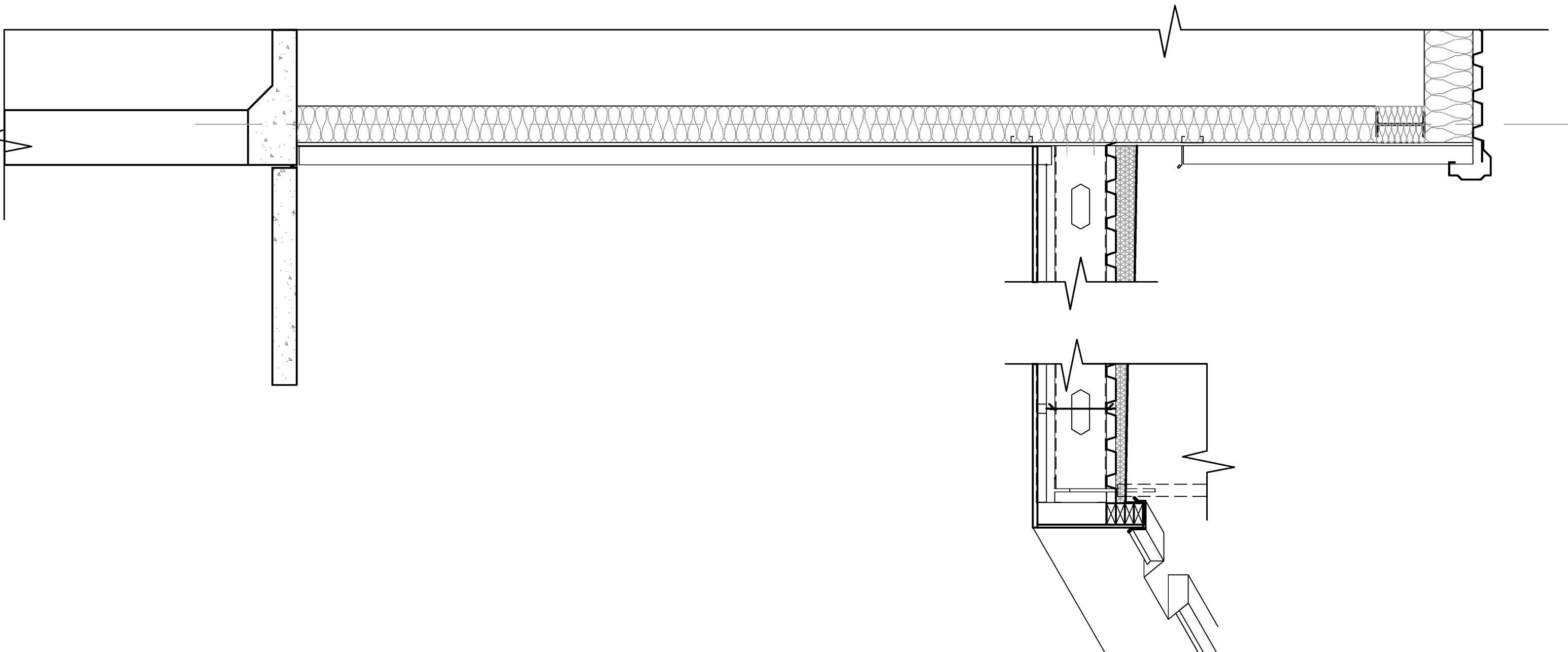
PROJECT # 08-656

**SECTIONS & DETAILS**

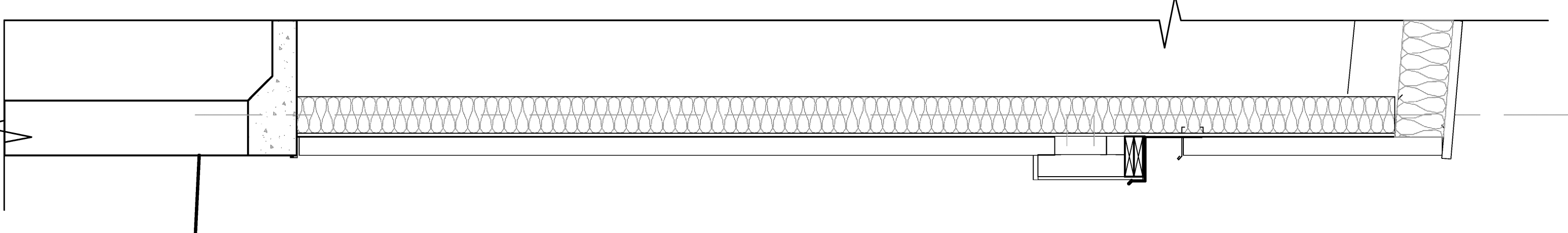
**A9.5**



**3**  
**WALL SECTION**  
SCALE: 3/4" = 1'-0"



**2**  
**WALL SECTION**  
SCALE: 3/4" = 1'-0"

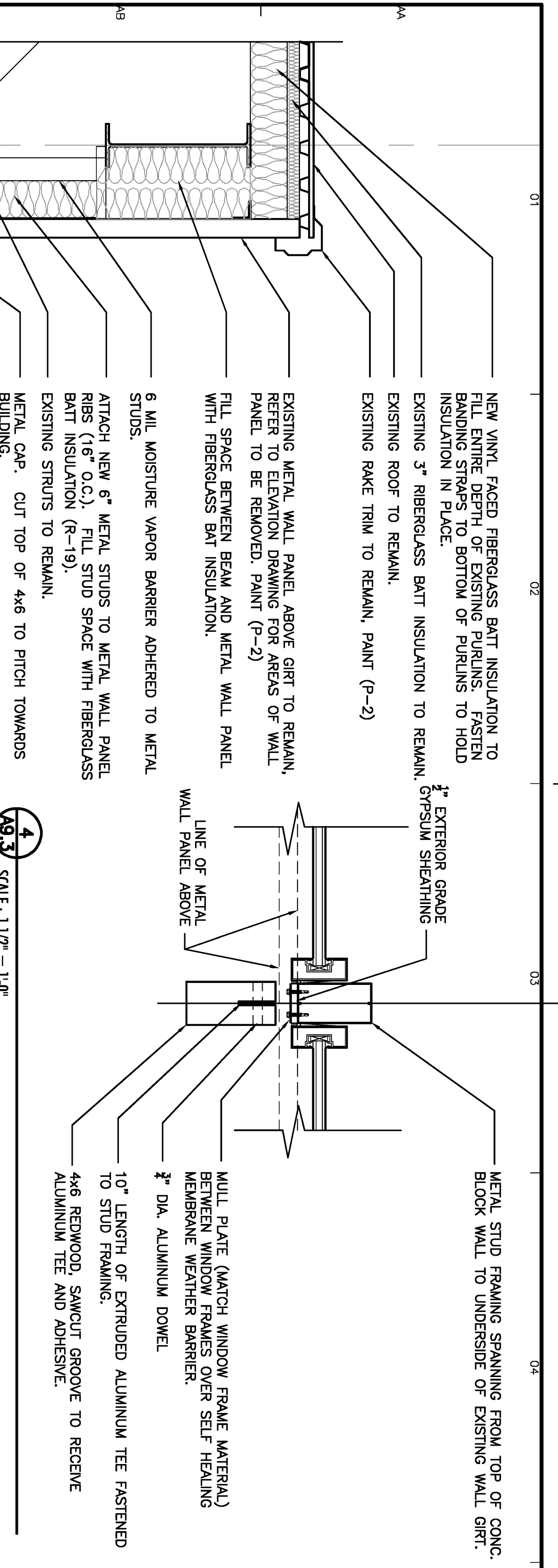


**1**  
**WALL SECTION**  
SCALE: 3/4" = 1'-0"

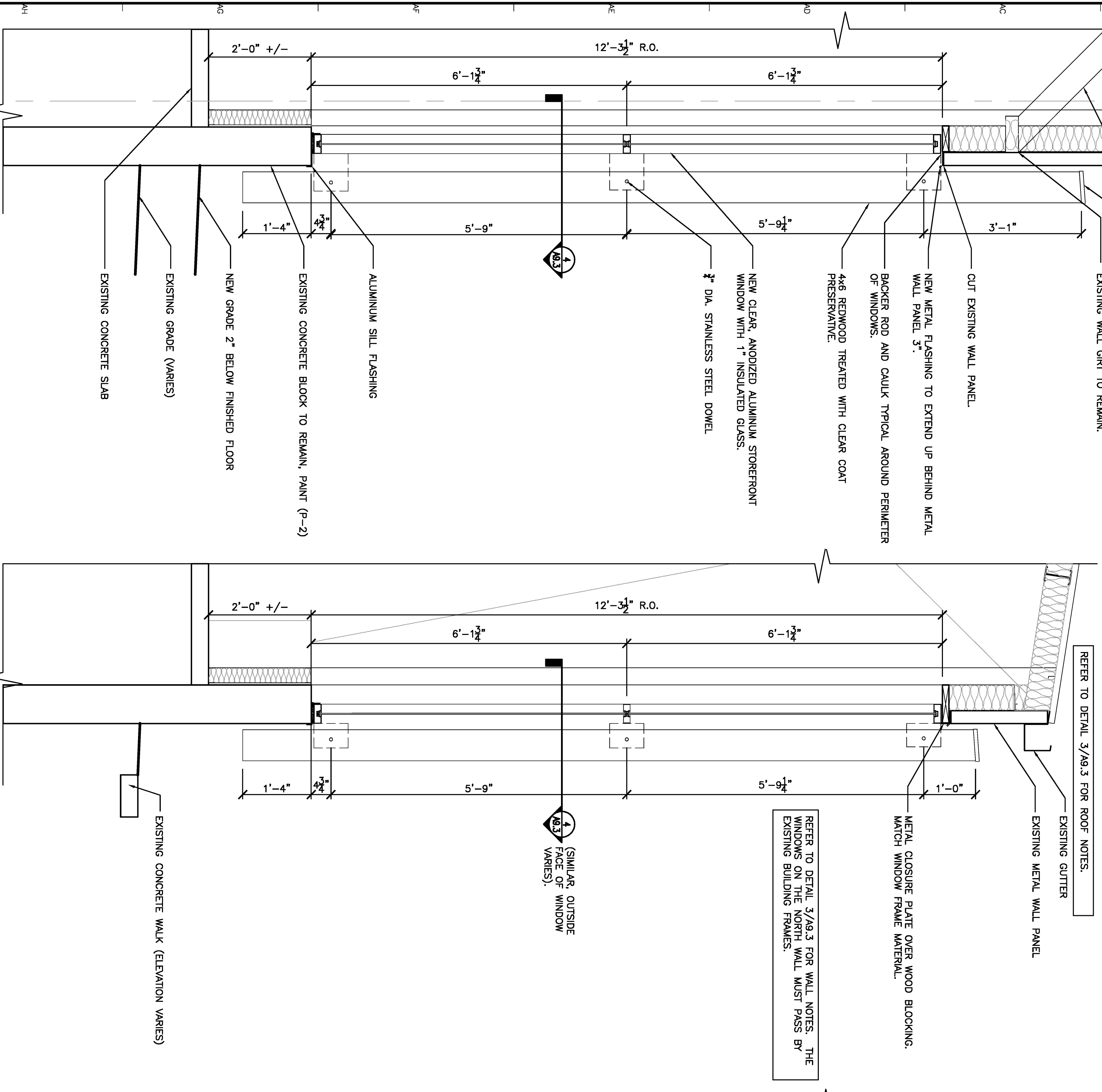




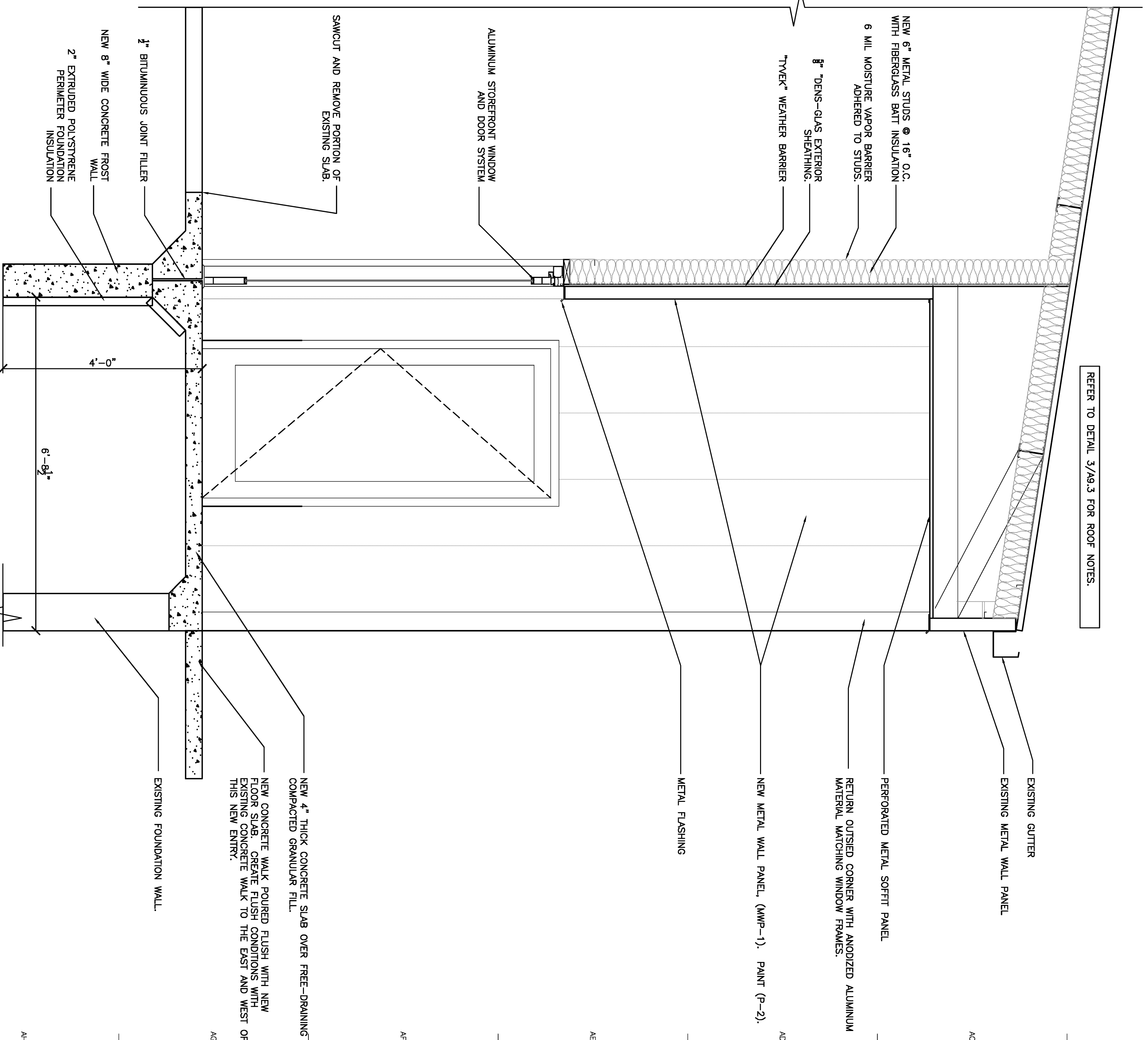
DRWN: DZ	APP: MT
NORTHGATE SHOPPING CENTER N. SHERMAN AVE MADISON, WI	
PROJECT # 08-656	
SECTIONS & DETAILS	
<b>A9.3</b>	



**4**  
SCALE: 1/2" = 1'-0"



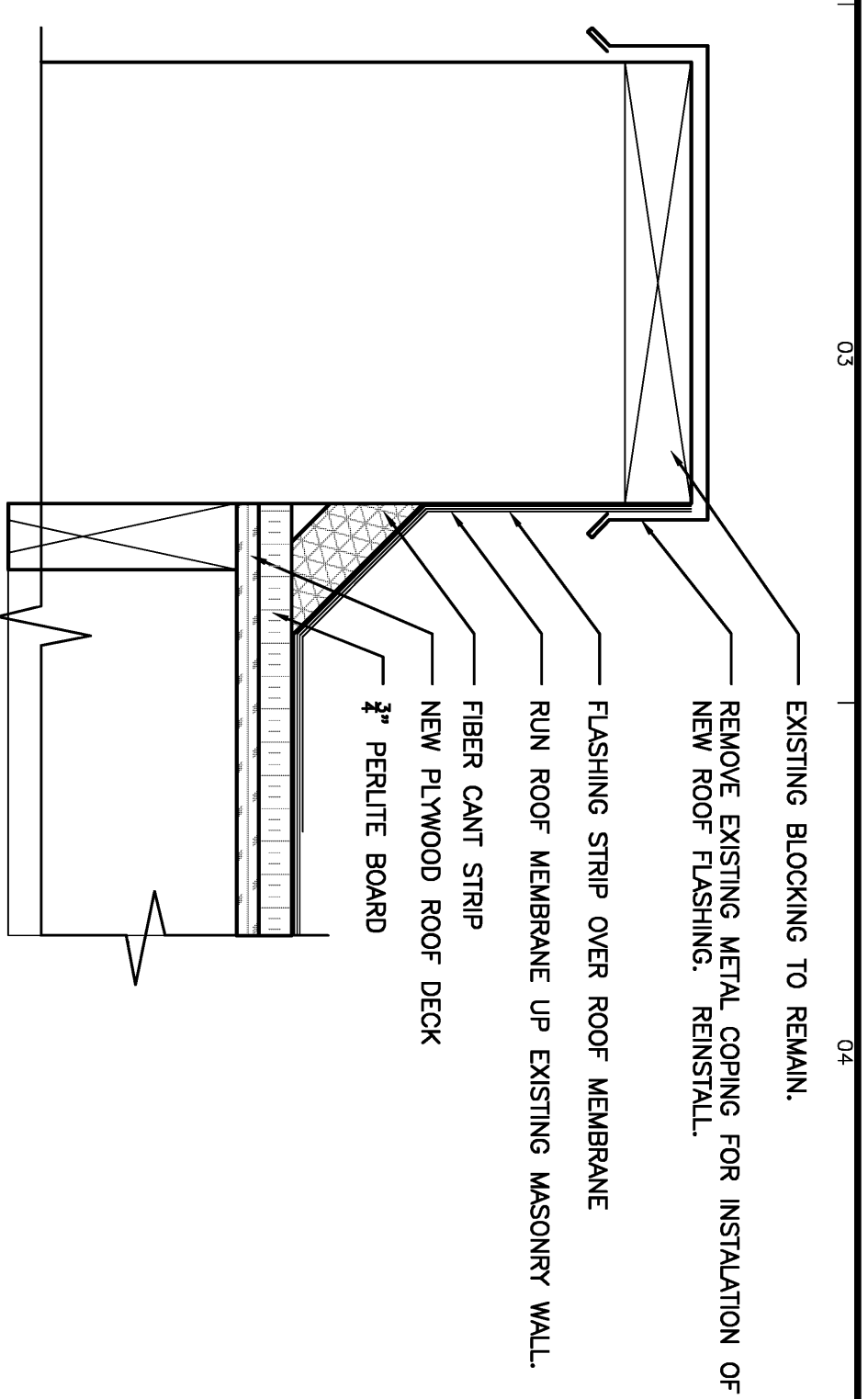
**2**  
SCALE: 3/4" = 1'-0"



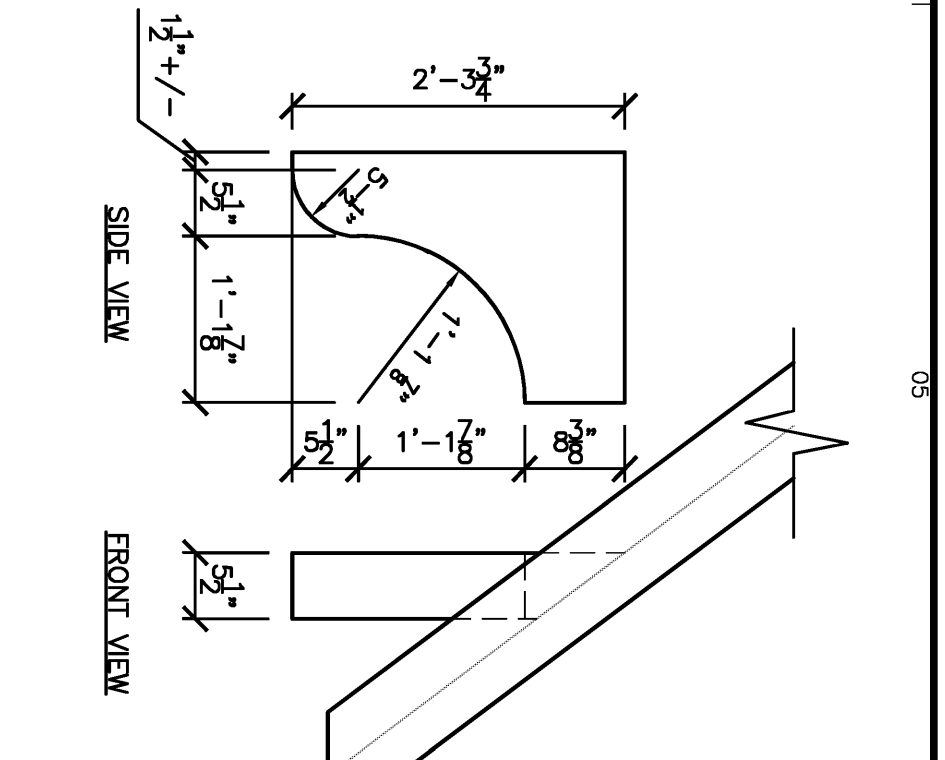
**1**  
SCALE: 3/4" = 1'-0"

**3**  
SCALE: 3/4" = 1'-0"

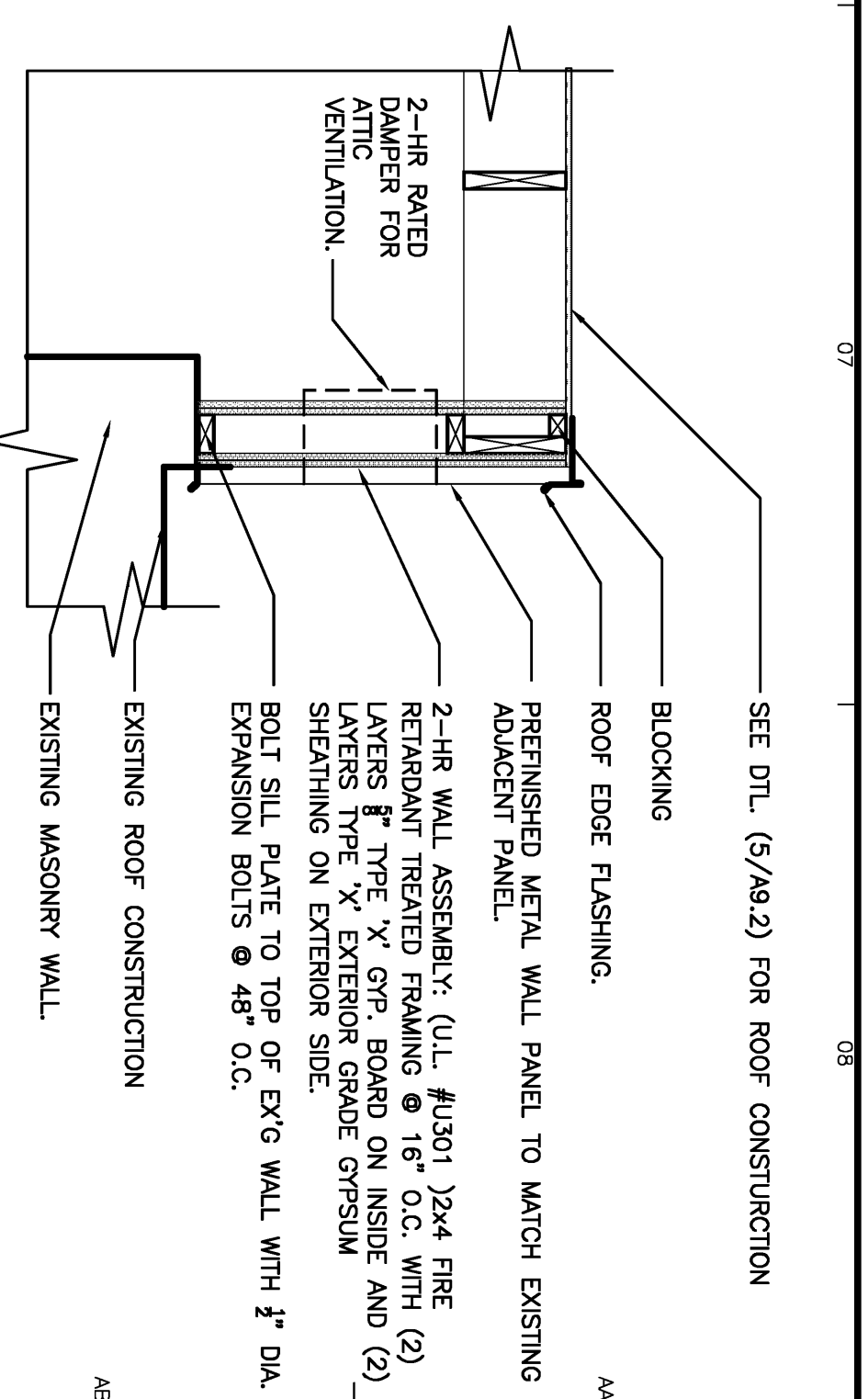
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SCALE: 3/4" = 1'-0"



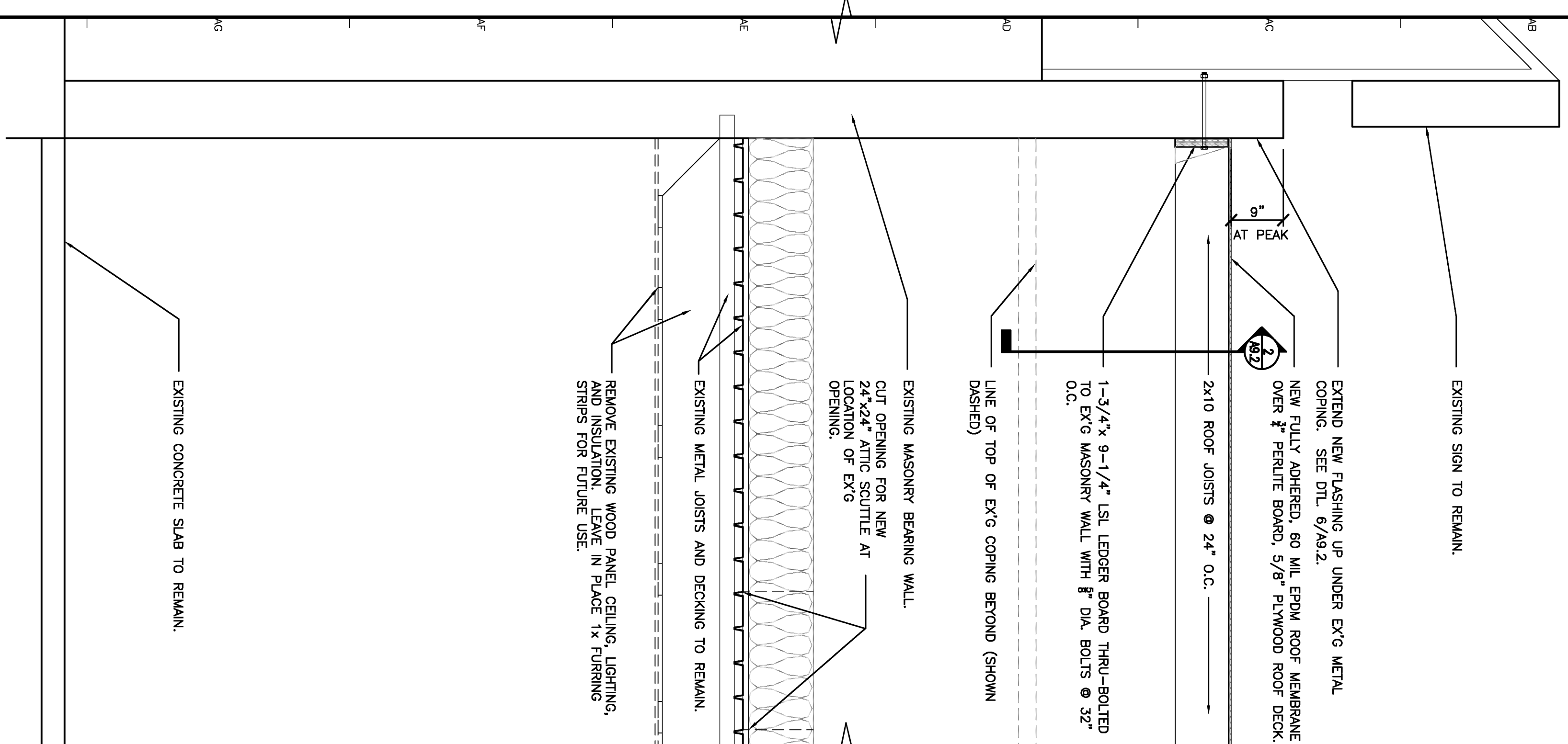
**A9.1** SCALE: 3/4" = 1'-0"



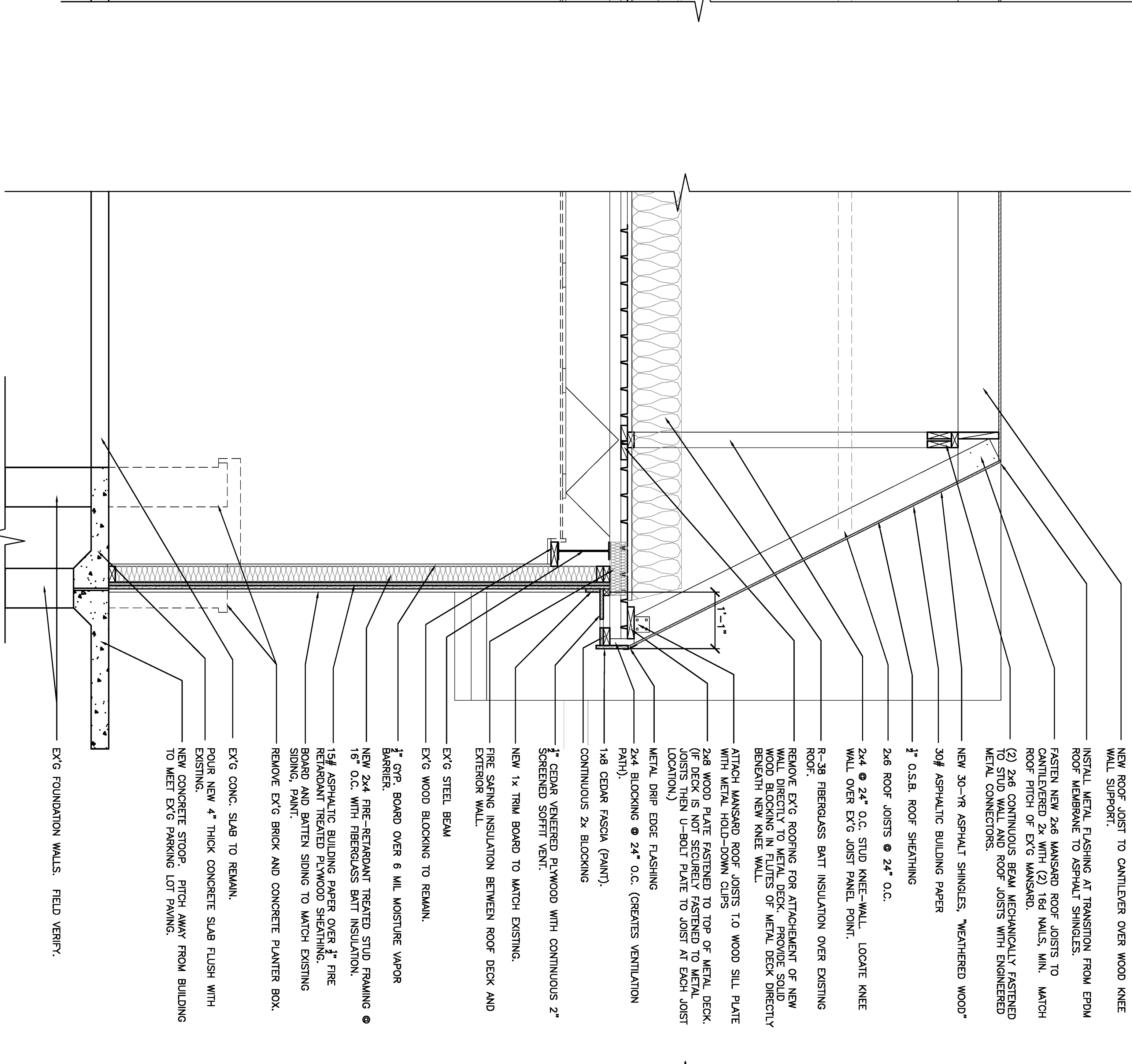
**A9.2** SCALE: 3/4" = 1'-0"



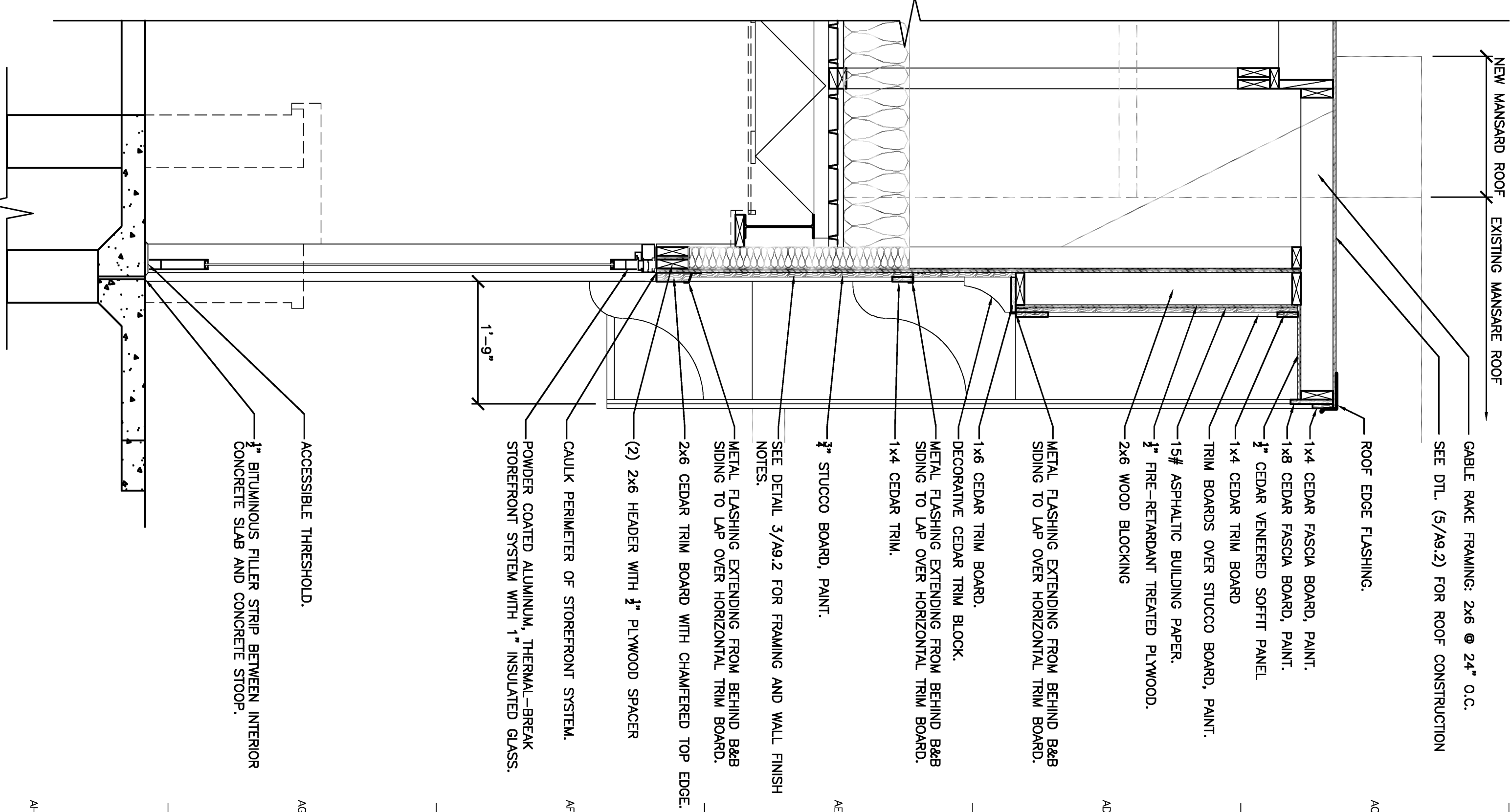
**A9.3** SCALE: 3/4" = 1'-0"



**A9.2** SCALE: 3/4" = 1'-0"



**A9.3** SCALE: 3/4" = 1'-0"



**A9.1** SCALE: 3/4" = 1'-0"

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**UDC**  
**SUBMITTAL**

10-4-2008

08-27-08 UDC SUBMITTAL  
 10-08-08 UDC SUBMITTAL

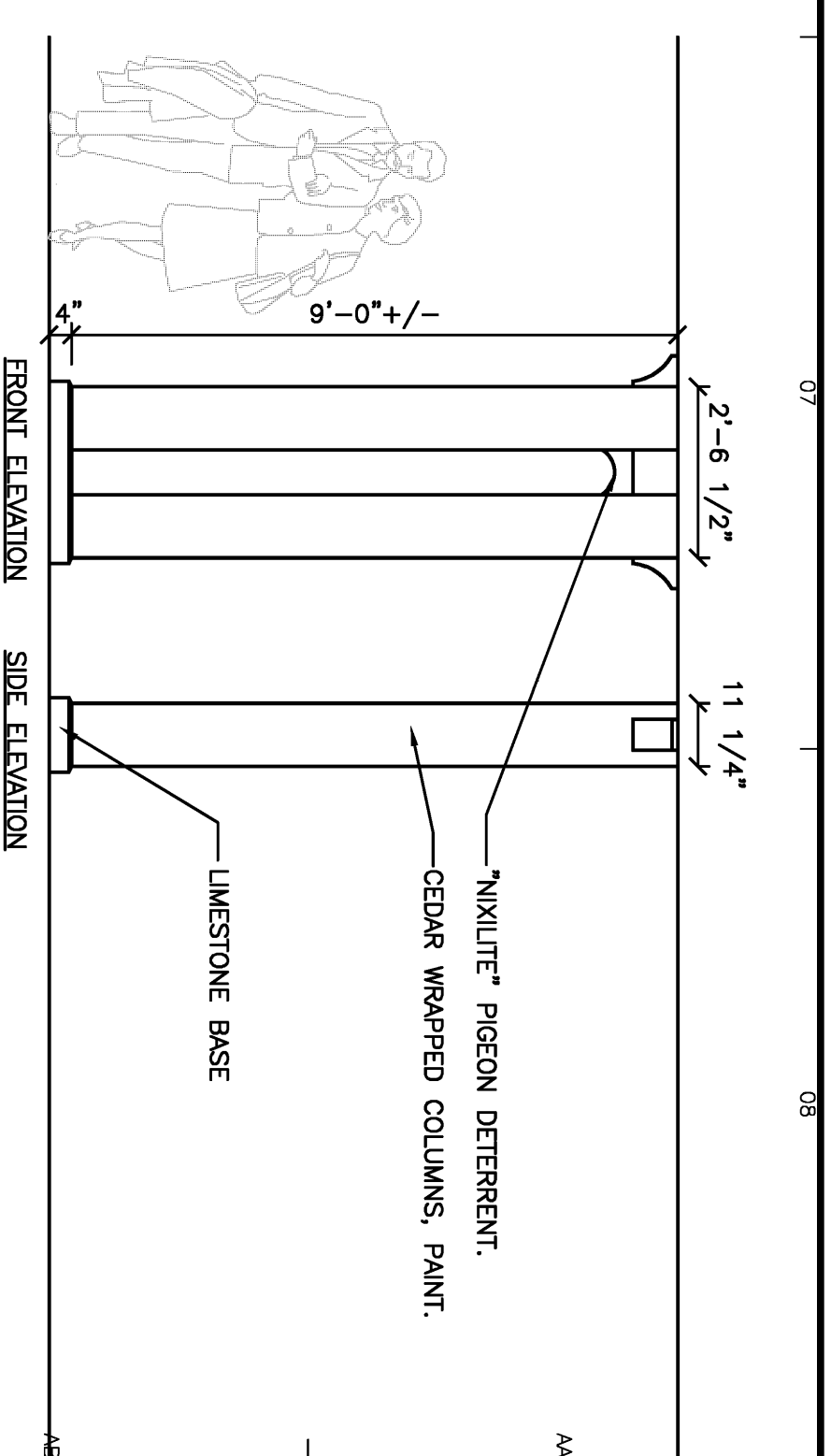
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**NORTHGATE SHOPPING CENTER**  
 N. SHERMAN AVE  
 MADISON, WI

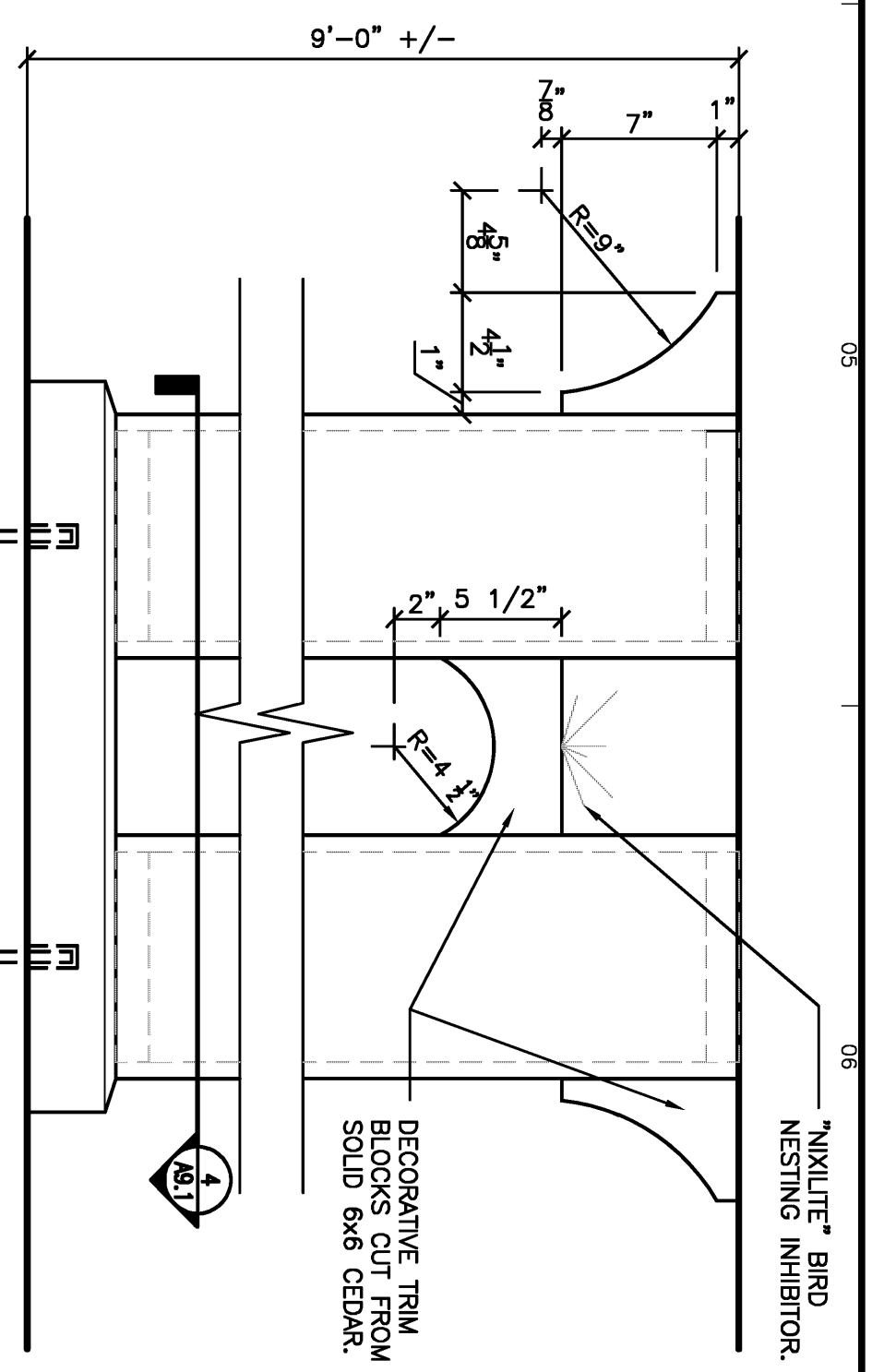
PROJECT # 08-656

SECTIONS & DETAILS

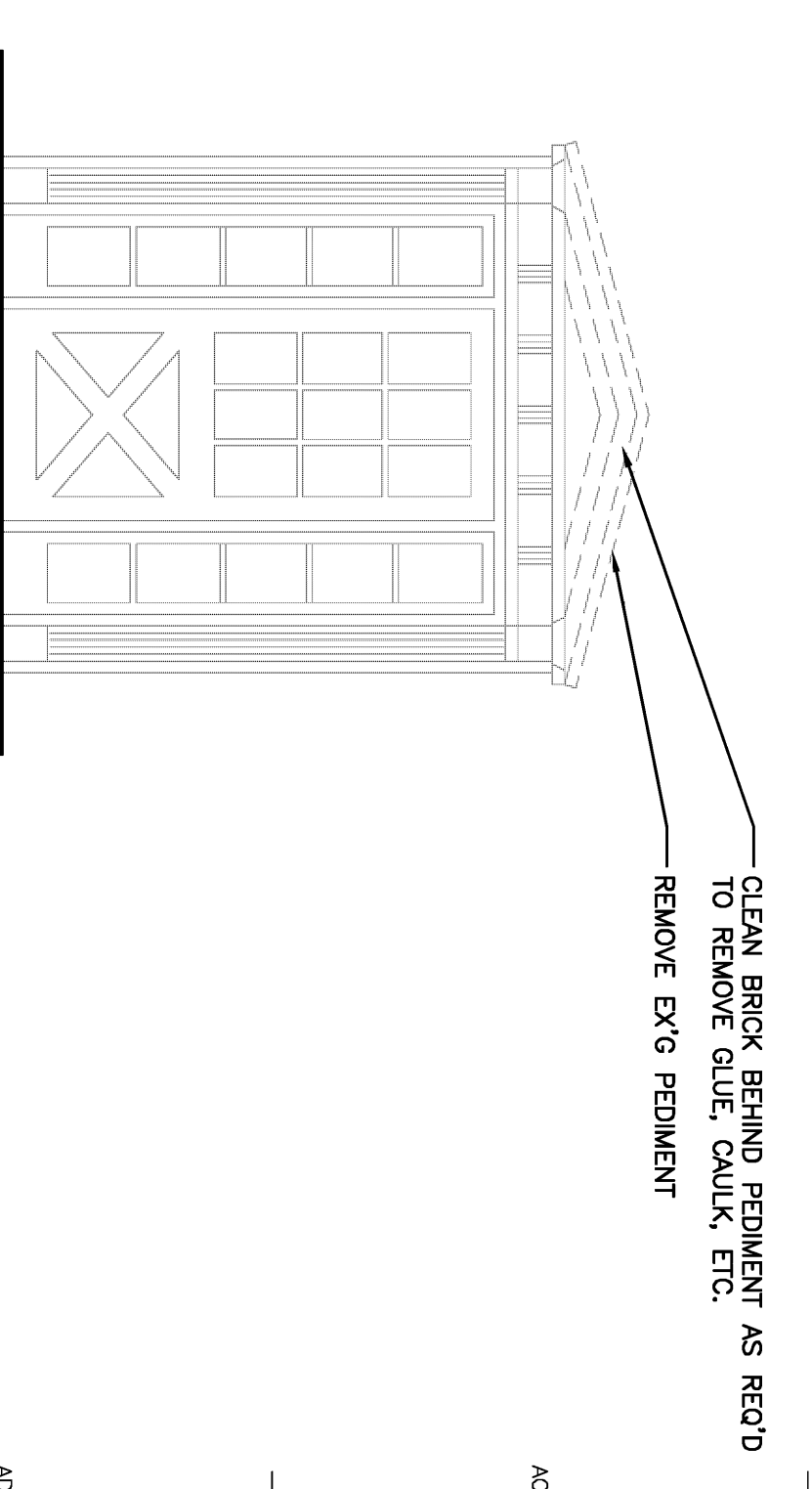
**A9.2**



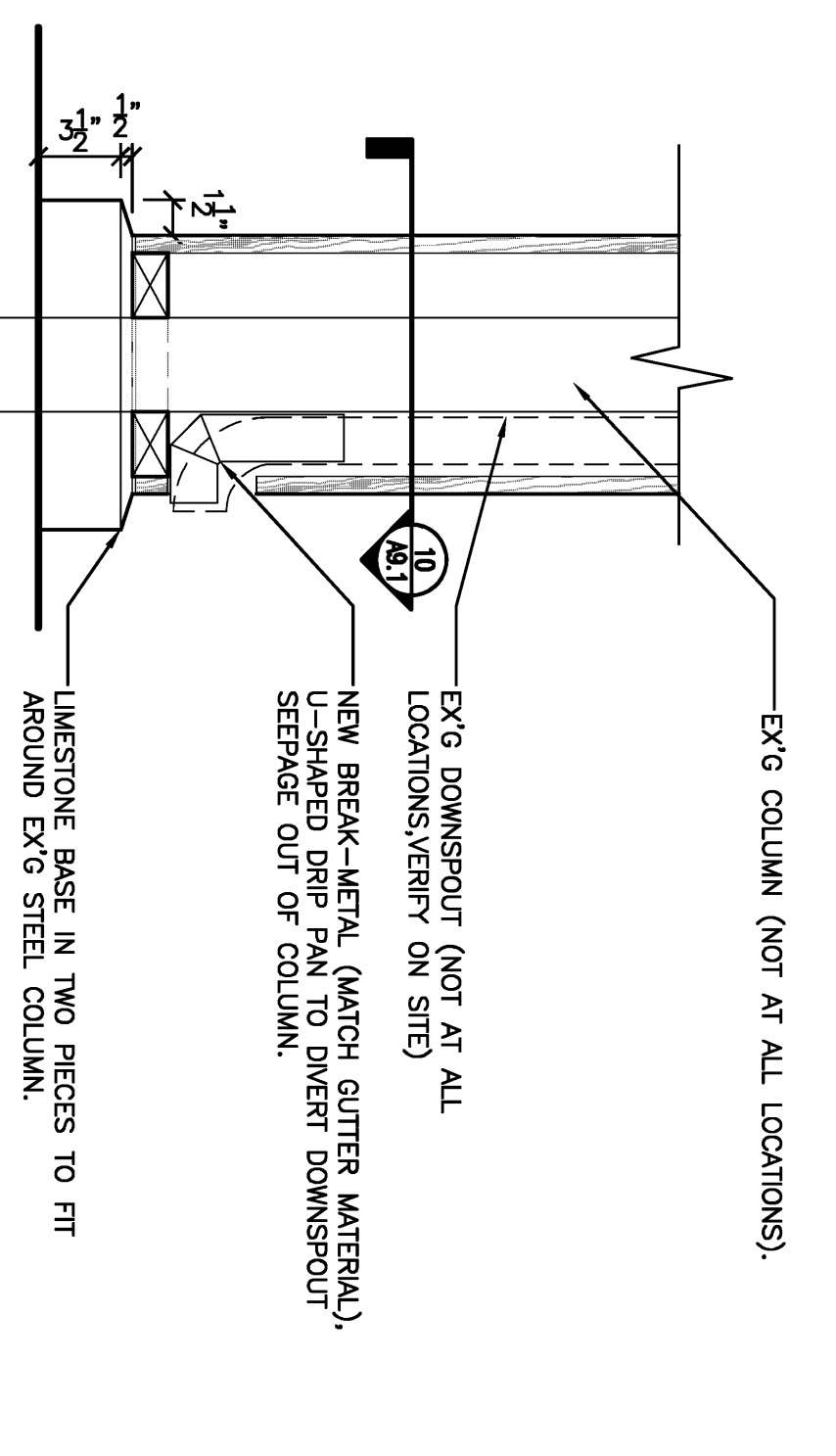
**1** DETAIL--NEW COLUMN  
 SCALE: 3/8" = 1'-0"



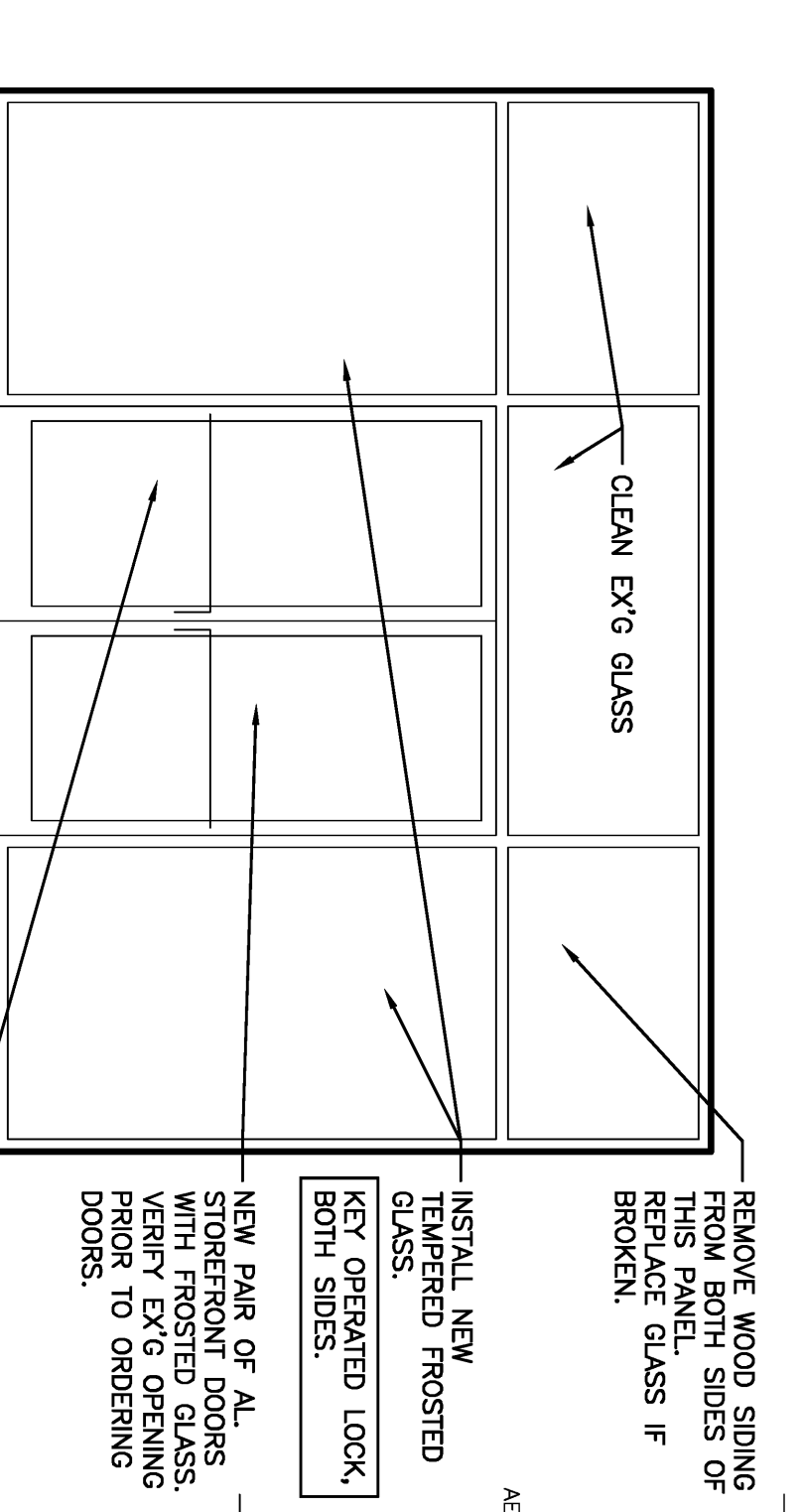
**5** DETAIL - COLUMN FRONT VIEW  
 SCALE: 1/2" = 1'-0"



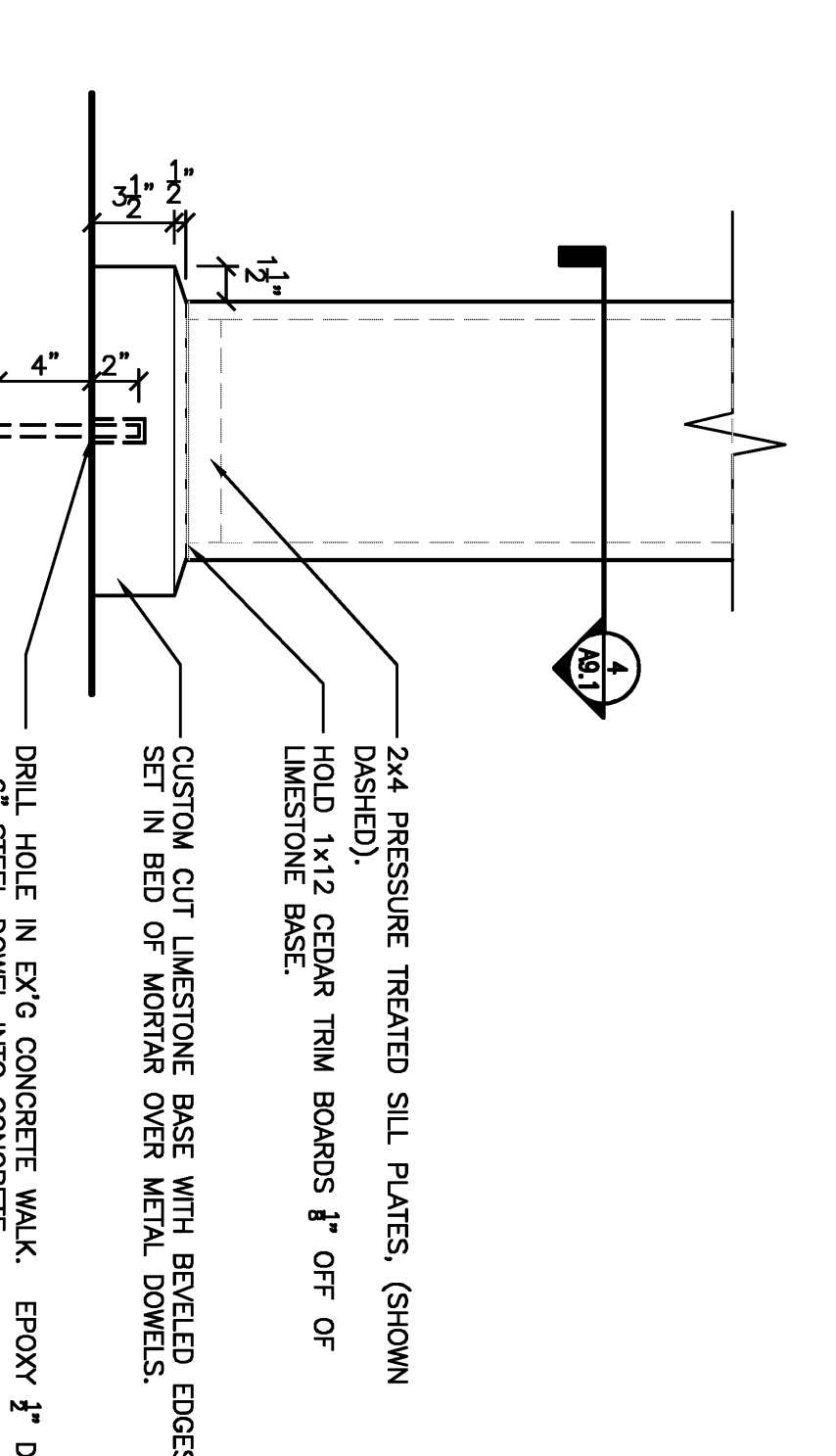
**2** DETAIL--EXG DOOR SURROUND  
 SCALE: 3/8" = 1'-0"



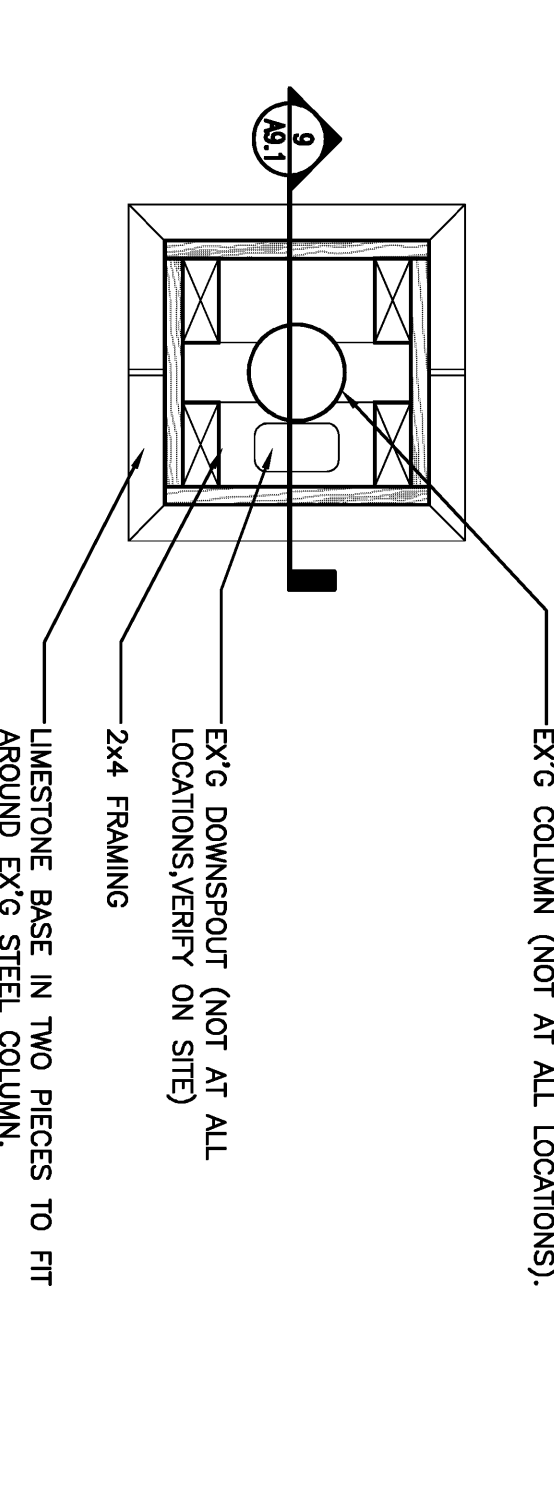
**8** DETAIL - COLUMN SECTION VIEW  
 SCALE: 1/2" = 1'-0"



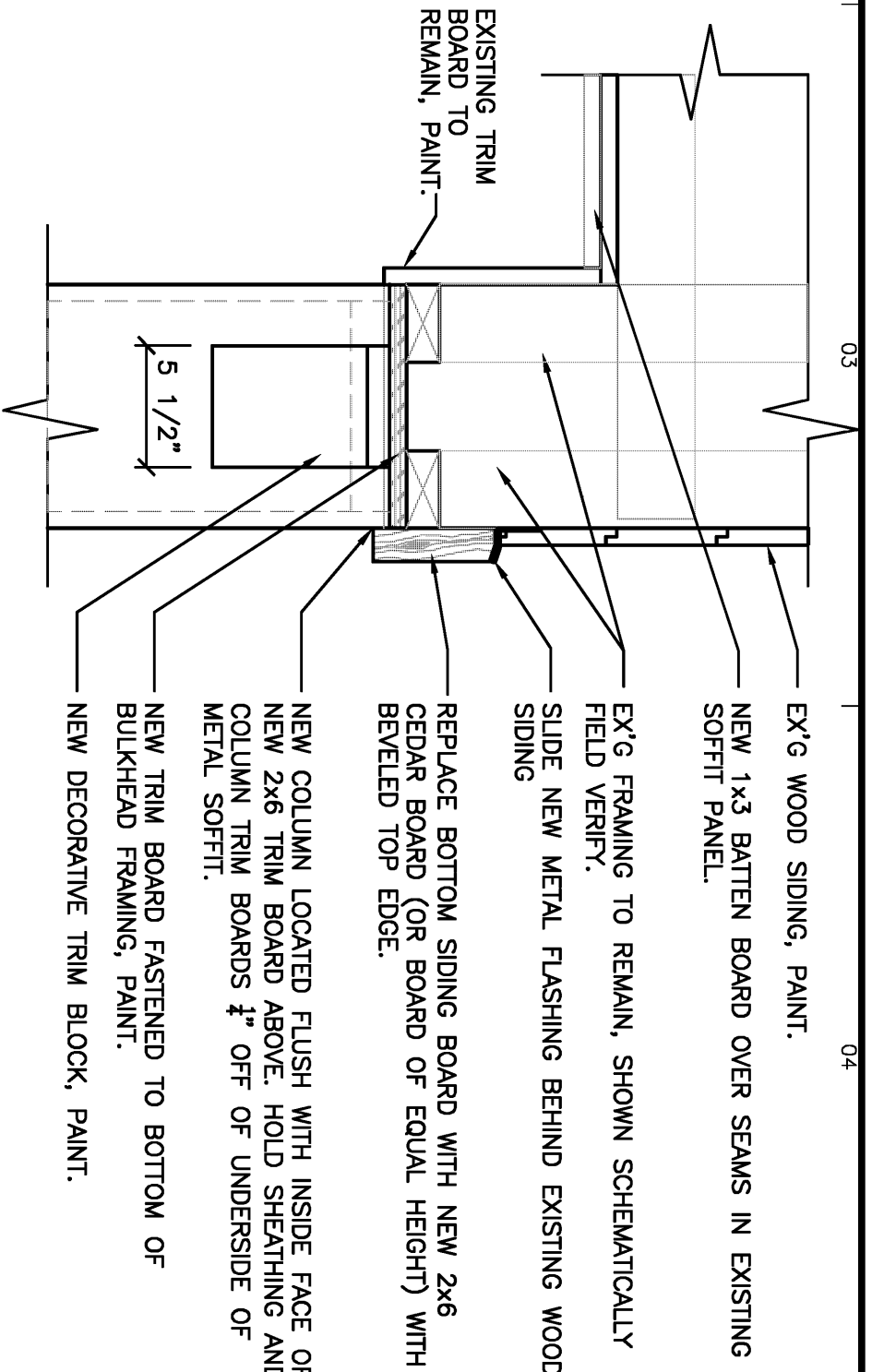
**3** DETAIL--STAIR FRONT/END BRN GRCA BALADE  
 SCALE: 3/8" = 1'-0"



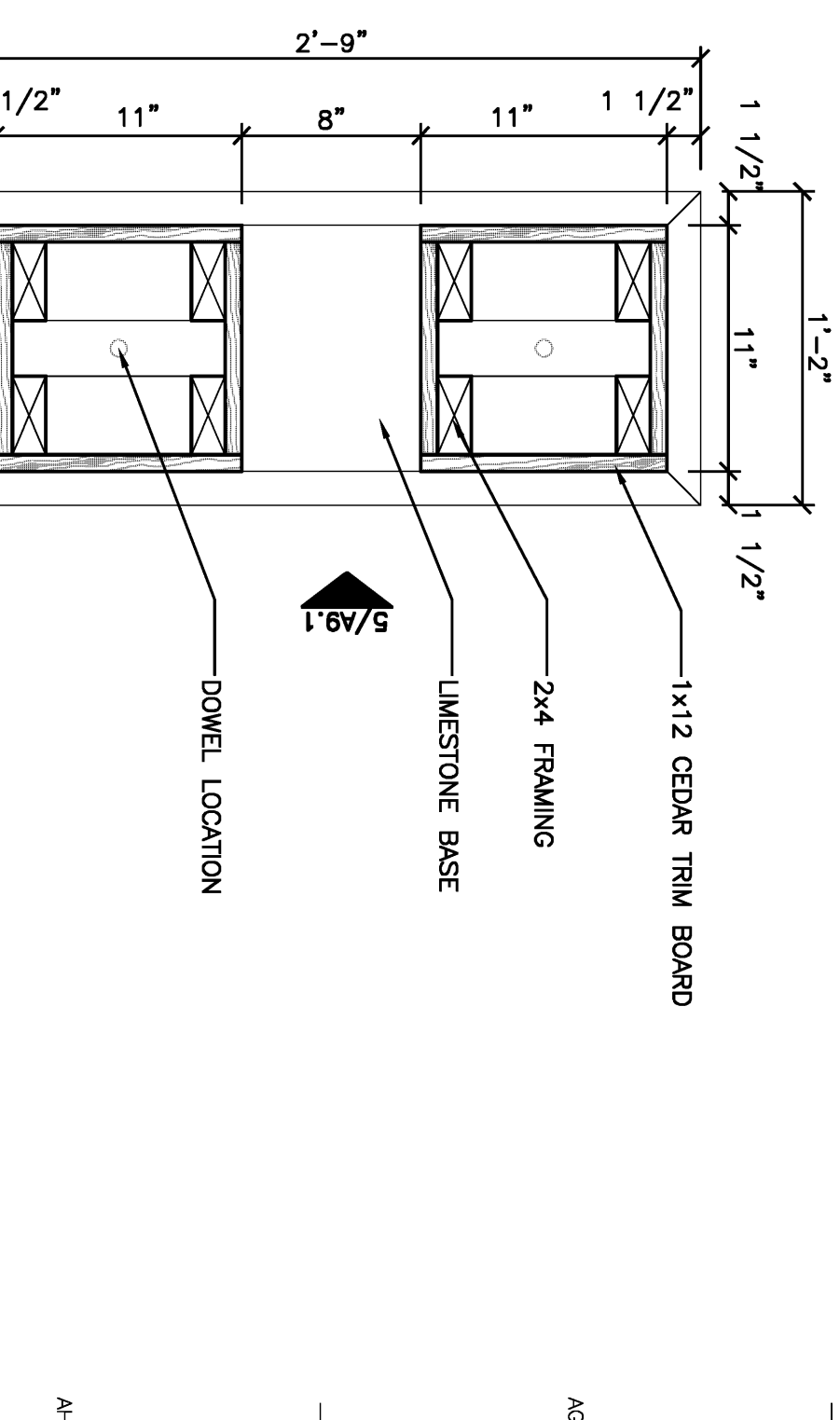
**6** DETAIL - COLUMN SIDE VIEW  
 SCALE: 1/2" = 1'-0"



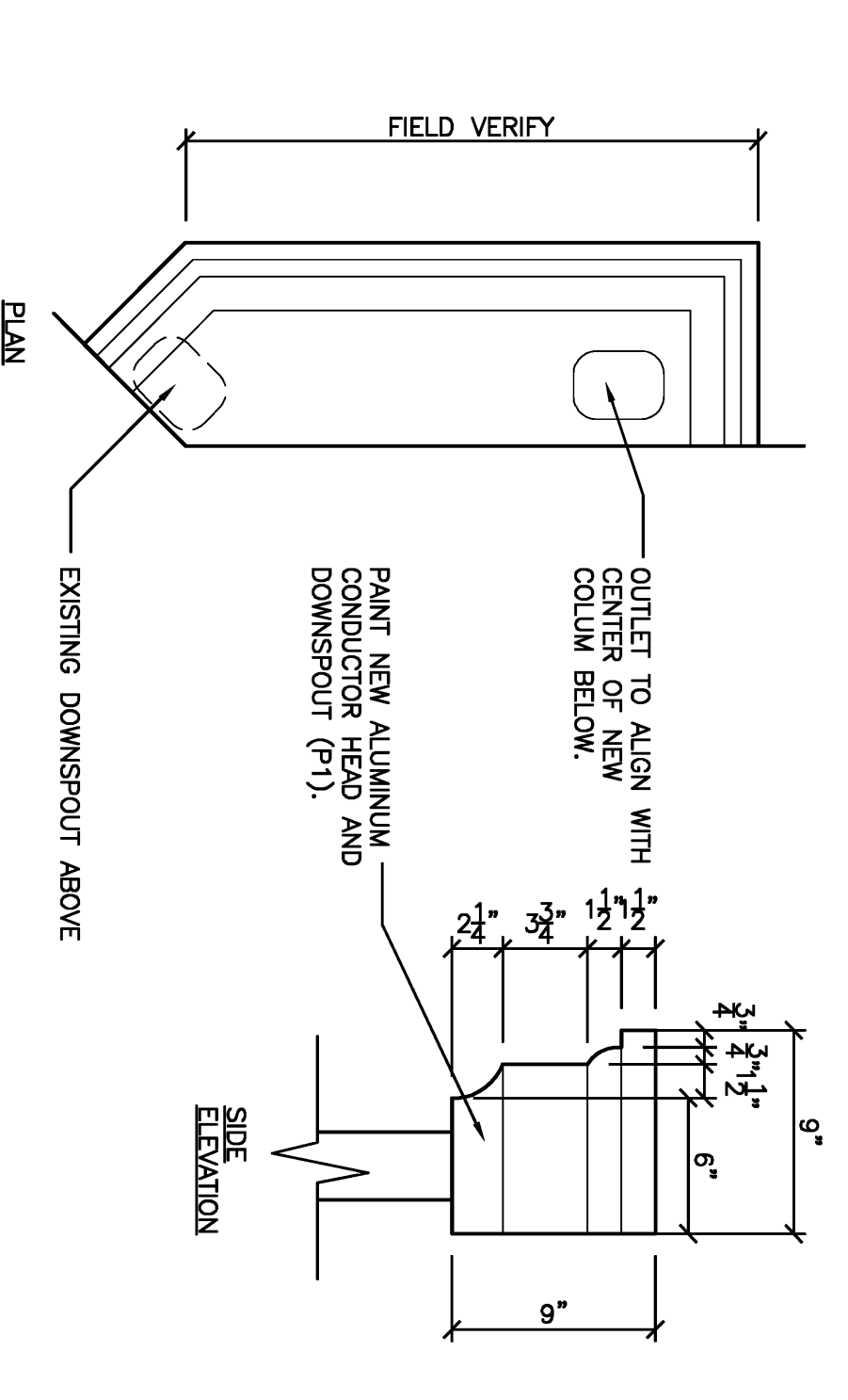
**9** DETAIL - COLUMN SECTION VIEW  
 SCALE: 1/2" = 1'-0"



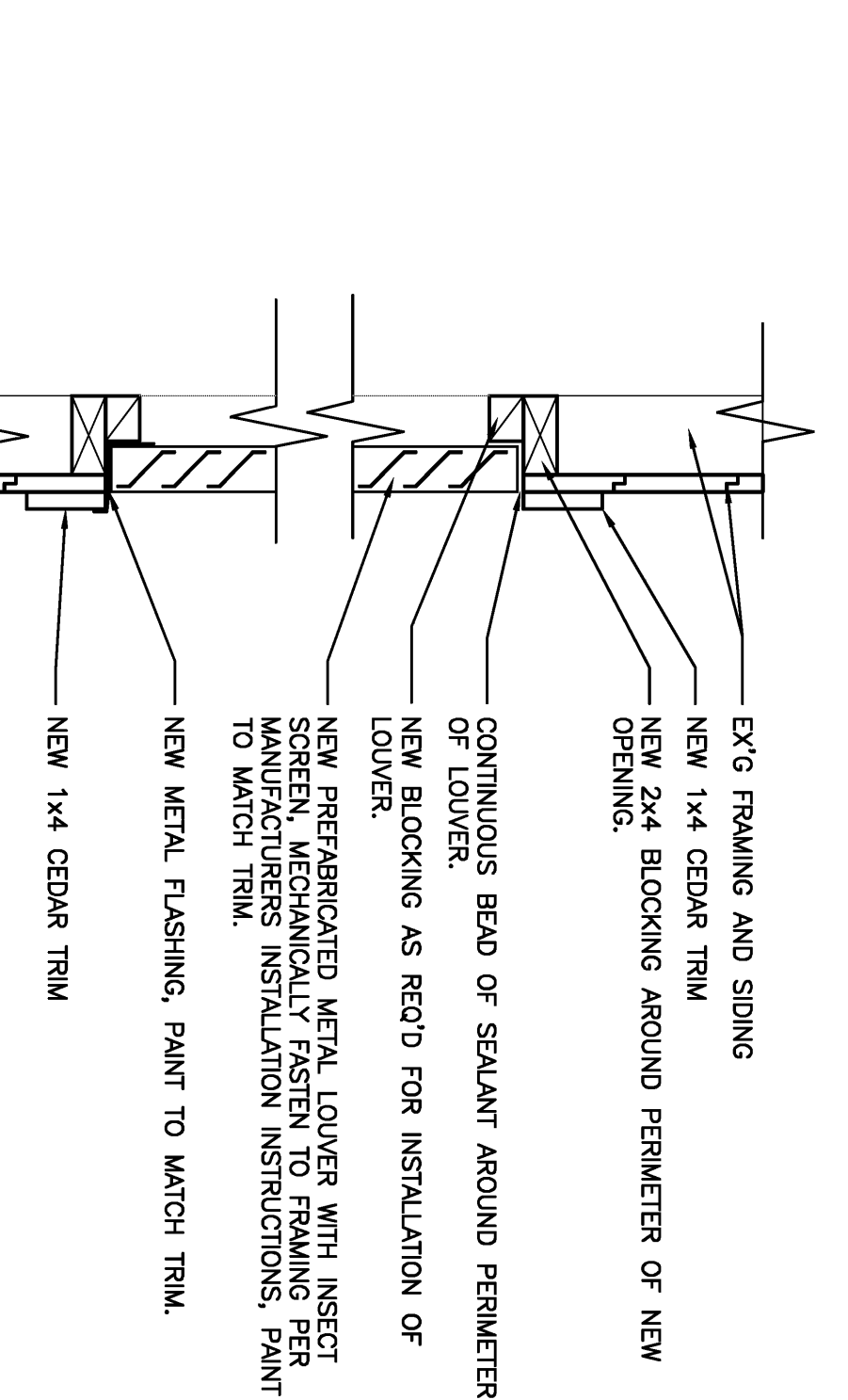
**8** DETAIL - COLUMN SIDE VIEW  
 SCALE: 1/2" = 1'-0"



**4** DETAIL  
 SCALE: 1/2" = 1'-0"



**10** DETAIL - COLUMN PLAN VIEW  
 SCALE: 1/2" = 1'-0"

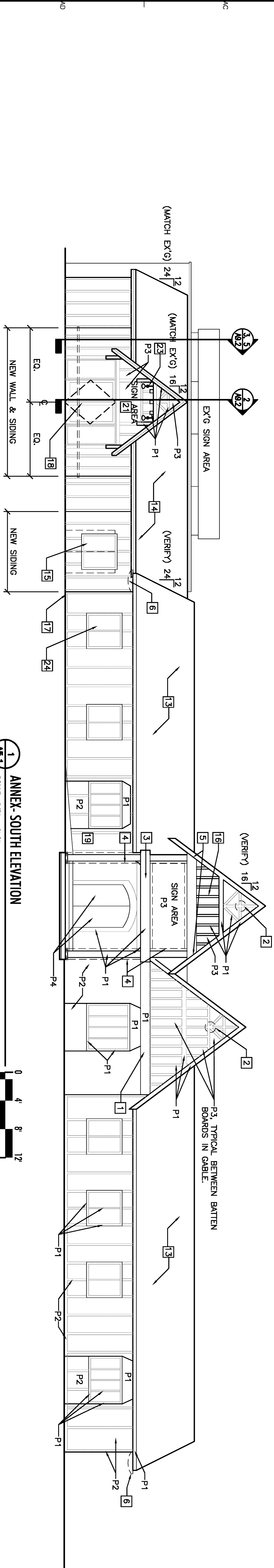
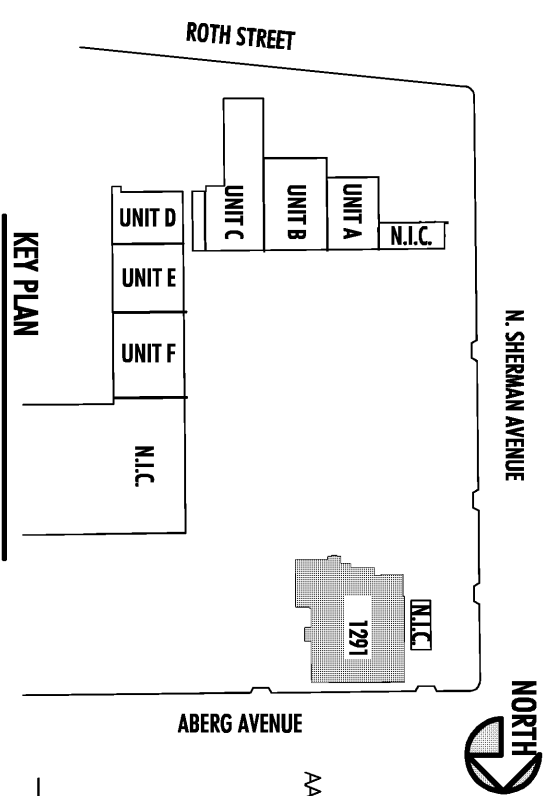


**7** DETAIL - NEW LOUVERED GABLE VENT  
 SCALE: 1/2" = 1'-0"

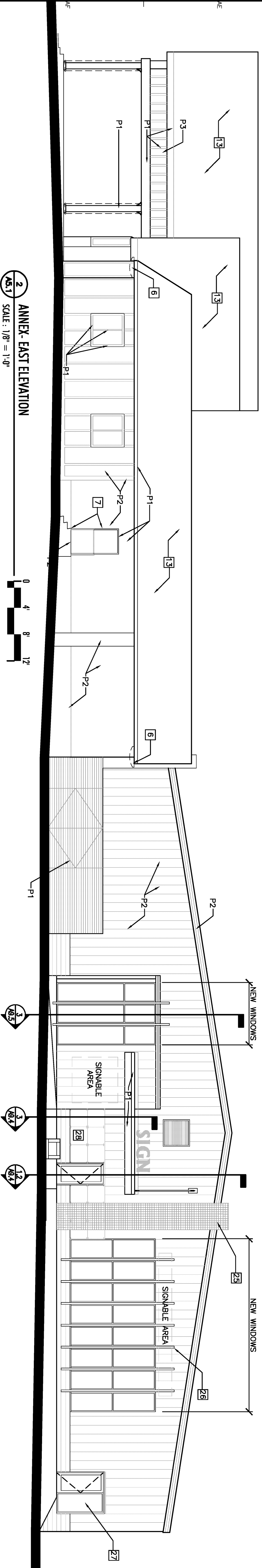
**11** DETAIL - CUSTOM CONDUCTOR HEAD CONCEPT  
 SCALE: 1/2" = 1'-0"

1. FOR SYMBOL AND ABBREVIATION DESCRIPTIONS SEE SHEET G2.1.
2. GENERAL PAINT CONCEPT: ALL TRIM BOARDS, AND FASIA BOARDS TO BE PAINTED (P1). ALL EXISTING BRICK THAT IS CURRENTLY PAINTED TO BE PAINTED (P2). PAINT THE UNDERSIDE OF PAINTED TRIM BOARDS TO BE PAINTED (P2). MATCH OFF AND PAINT (P1). UNPAINTED TRIM BOARDS TO BE PAINTED (P2). REFER TO ELEVATION DRAWINGS FOR SPECIFIC AREAS OF SIGN TO BE PAINTED (P2).
3. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS. NO ALLOWANCE WILL BE MADE FOR THE CONTRACTOR'S FAILURE TO DETERMINE THE FULL EXTENT OF WORK TO BE PERFORMED.
4. REMOVE ALL LOOSE OR PEELING PAINT DOWN TO SOUND SUBSTRATE. REPAIR ALL AREAS OF DAMAGE. THE ARCHITECT HAS INDICATED NUMEROUS LOCATIONS WHERE SIGNING AND/OR TRIM BOARDS ARE DAMAGED AND ROTTEN THE G.C. IS RESPONSIBLE TO IDENTIFY ALL LOCATIONS WHERE EXG TRIM AND SIDING IS NOT SUITABLE FOR PAINTING AND REPORT TO THE ARCHITECT/OWNER ALL SUCH LOCATIONS PRIOR TO BEGINNING WORK.
5. REMOVE ALL HOLIDAY/CIRCLE LIGHTING FROM BUILDING.
6. FILL ALL HOLES LEFT BY THE REMOVAL OF SIGNAGE, CONDUIT, OR OTHER SIMILAR OBJECTS.

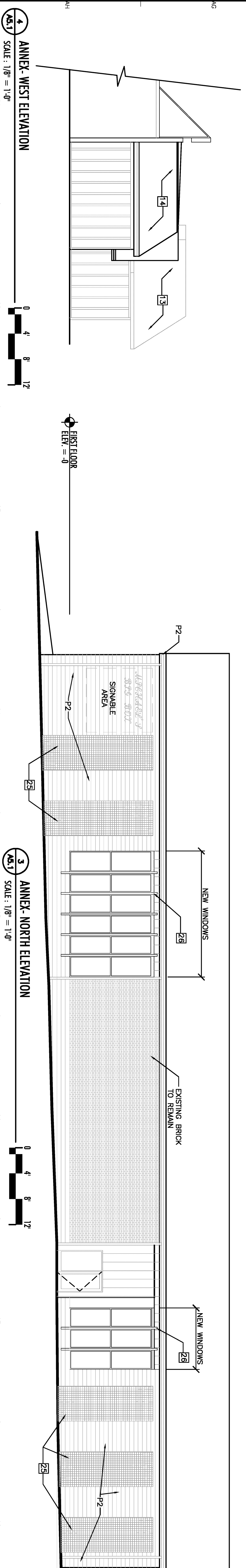
- 1 REMOVE HORIZONTAL TRIM BOARD. REPLACE WITH NEW TRIM BOARD TO MATCH HEIGHT OF EXISTING BOARD.
- 2 REMOVE EXISTING CIRCULAR MEDALLIONS.
- 3 REMOVE APPLIQUE DECORATIONS.
- 4 REMOVE DECORATIVE ROUND COLUMN ENCLOSURE AND BRACKETS. USE SINGLE COLUMN ENCLOSURE SIMILAR TO DETAIL 4.5.6.7 ON A2.1.
- 5 REMOVE EXG LIGHT FIXTURES. PROVIDE WEATHERIGHT COVER PLATE ON JUNCTION BOX.
- 6 REMOVE EXG DECORATIVE SOFTT BRACKETS.
- 7 PATCH AND REPAIR DAMAGED CONCRETE STEP. EXISTING STAIR RAILING TO REMAIN. PAINT BLACK.
- 8 REMOVE EXISTING DECORATIVE "VALOR" PENDANTS FROM UNDERSIDE OF COVERED DROP-OFF. PROVIDE NEW TRIM AND LENS FOR EXISTING RECESSED LIGHT FIXTURES.
- 9 REMOVE EXISTING NEON SIGN. ABANDON AND CAP ELECTRICAL PER CODE.
- 10 REMOVE EXISTING SURFACE MOUNTED ELECTRIC RIGID BOX FROM WALL. INSTALL NEW ELECTRIC BOX RECESSED INTO EXG SOFTT.
- 11 REMOVE WOOD JAMBS AND OVERHEAD DOOR.
- 12 -
- 13 INSTALL NEW ASPHALT SHINGLE ROOF OVER EXG SHINGLED ROOF.
- 14 NEW WANSARD ROOF WITH ASPHALT SHINGLES.
- 15 NEW WINDOW TO MATCH ALUMINUM AND GLASS STOREFRONT SYSTEM. SEE NOTE #18. MATCH HEIGHT OF EXG WINDOWS AND WIDTH OF EXISTING OPENING.
- 16 REMOVE EXISTING "CHINA PALACE" SIGN AND TRIM BOARDS AS INDICATED ON THE DRAWING. TRIM BOARDS IN GABLE AREA ABOVE. PAINT (P1).
- 17 REPAIR DAMAGED TRIM BOARDS.
- 18 ALUMINUM AND GLASS STOREFRONT SYSTEM WITH REMOVABLE CENTER MULLION. 1" CLEAR INSULATED GLASS IN POWDER COATED THERMAL-BREAK FRAME. COLOR OF FRAME MATCHES BLUE AS MANUFACTURED BY MILLER.
- 19 EXISTING RAILING TO REMAIN (NOT SHOWN). PAINT BLACK.
- 20 INSTALL NEW ROOF MOUNTED FLOOD LIGHTS FOR EXISTING SIGNAGE.
- 21 REMOVE ELECTRICAL CIRCUIT TO JUNCTION BOX IN ATTIC FOR FUTURE SIGNAGE AND SIGN ILLUMINATION.
- 22 NEW WINDOW TO MATCH ALUMINUM AND GLASS STOREFRONT SYSTEM. SEE NOTE #18.
- 23 NEW SHERARD'S HOOK STYLE LIGHT FIXTURE. QTY: 2. REFER TO SPECIFICATION MANUAL.
- 24 REPAIR BROKEN GLASS IN EXISTING WINDOW.
- 25 METAL LANDSCAPING GRID FOR VINES.
- 26 4x8 REDWOOD, CLEAR PRESERVATIVE APPLIED.
- 27 REPLACE EXISTING METAL DOORS WITH NEW MODIFIED ALUMINUM STOREFRONT WINDOW AND DOOR.
- 28 PREFINISHED "HARDIE" CEMENT BOARD.
- 29 INSULATED GLASS IN POWDER COATED THERMAL-BREAK FRAME. COLOR OF FRAME MATCHES BLUE AS MANUFACTURED BY MILLER.
- 30 EXISTING RAILING TO REMAIN (NOT SHOWN). PAINT BLACK.
- 31 INSTALL NEW ROOF MOUNTED FLOOD LIGHTS FOR EXISTING SIGNAGE.
- 32 REMOVE ELECTRICAL CIRCUIT TO JUNCTION BOX IN ATTIC FOR FUTURE SIGNAGE AND SIGN ILLUMINATION.
- 33 NEW WINDOW TO MATCH ALUMINUM AND GLASS STOREFRONT SYSTEM. SEE NOTE #18.
- 34 NEW SHERARD'S HOOK STYLE LIGHT FIXTURE. QTY: 2. REFER TO SPECIFICATION MANUAL.
- 35 REPAIR BROKEN GLASS IN EXISTING WINDOW.
- 36 METAL LANDSCAPING GRID FOR VINES.
- 37 4x8 REDWOOD, CLEAR PRESERVATIVE APPLIED.
- 38 REPLACE EXISTING METAL DOORS WITH NEW MODIFIED ALUMINUM STOREFRONT WINDOW AND DOOR.



1 ANNEX - SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

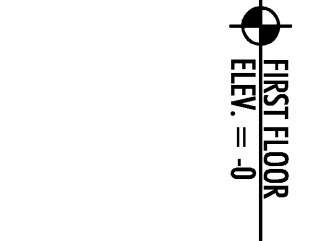


2 ANNEX - EAST ELEVATION  
SCALE: 1/8" = 1'-0"



3 ANNEX - NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

4 ANNEX - WEST ELEVATION  
SCALE: 1/8" = 1'-0"



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 Fax: 608-259-6599

**UDC SUBMITTAL**  
 10-4-2008

08-27-08 UDC SUBMITTAL  
 10-4-08 UDC SUBMITTAL

DRAWN: DZ APPR: MT

NORTHGATE SHOPPING CENTER  
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PROJECT # 08-656

EXTERIOR ELEVATIONS

# A5.1

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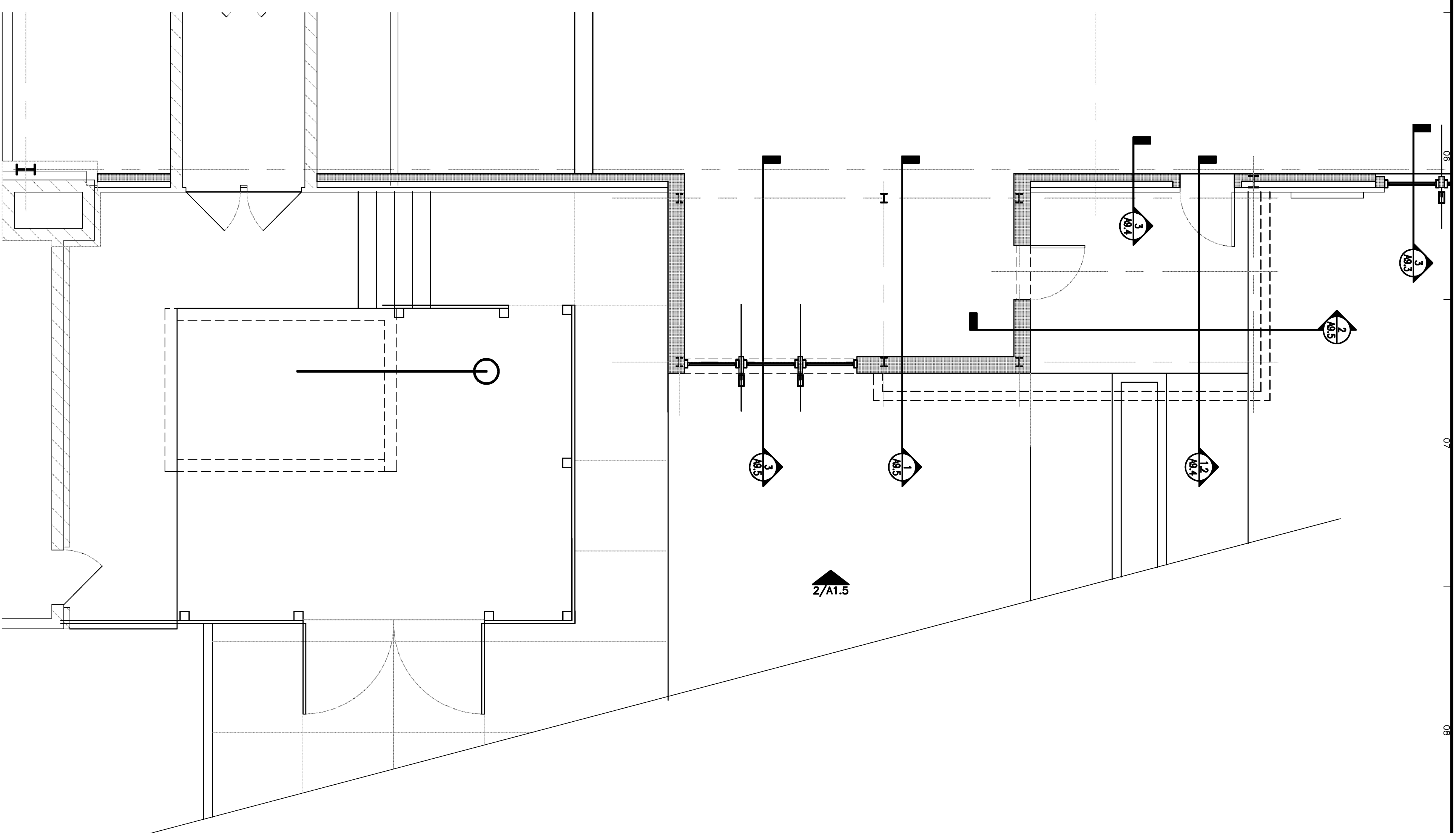
08-27-08 UDC SUBMITTAL  
10-08-08 UDC SUBMITTAL

DRAWN: DZ APPR: MT

**NORTHGATE SHOPPING  
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PROJECT # 08-656

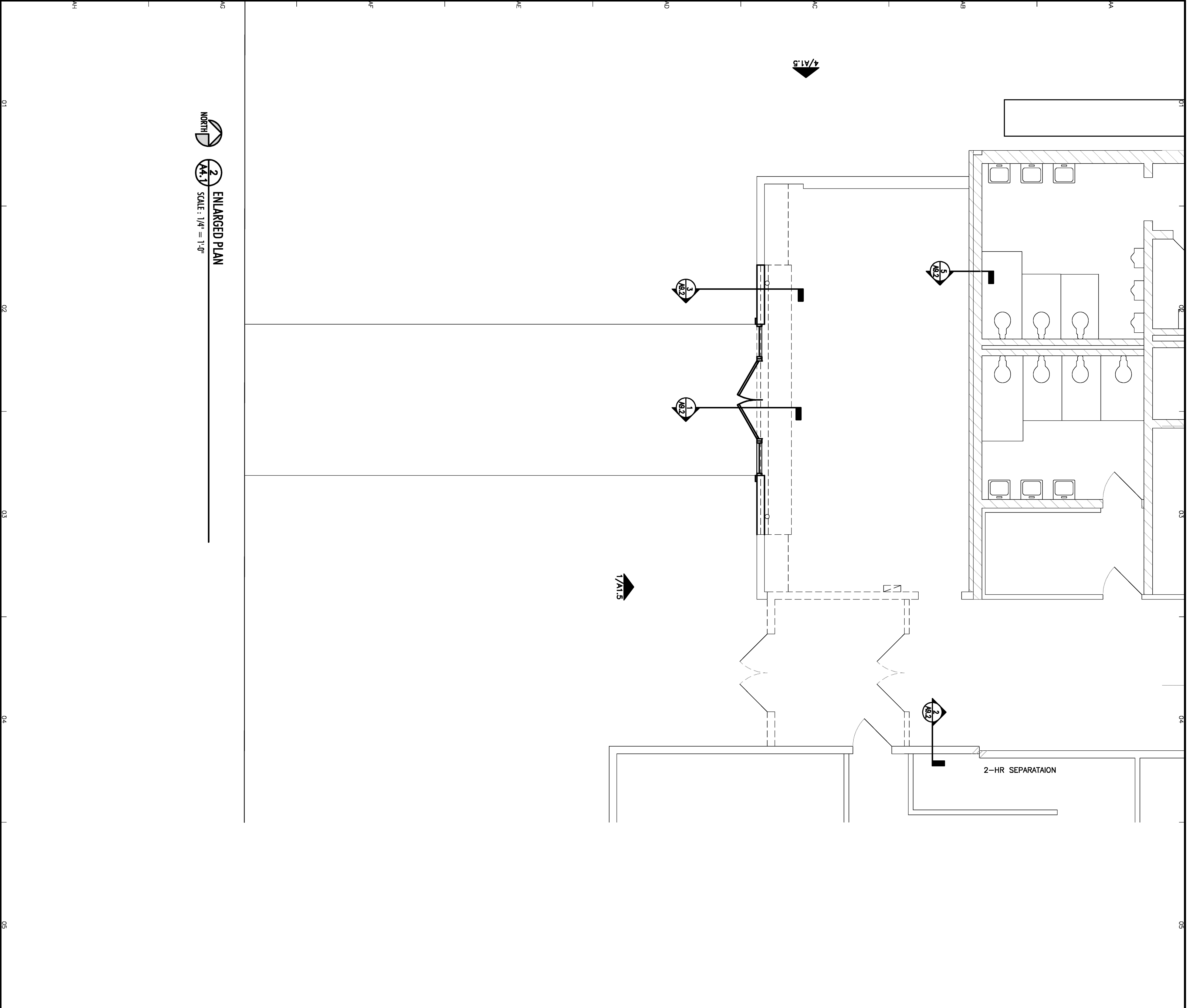
1/8" PLANS

**A4.1**

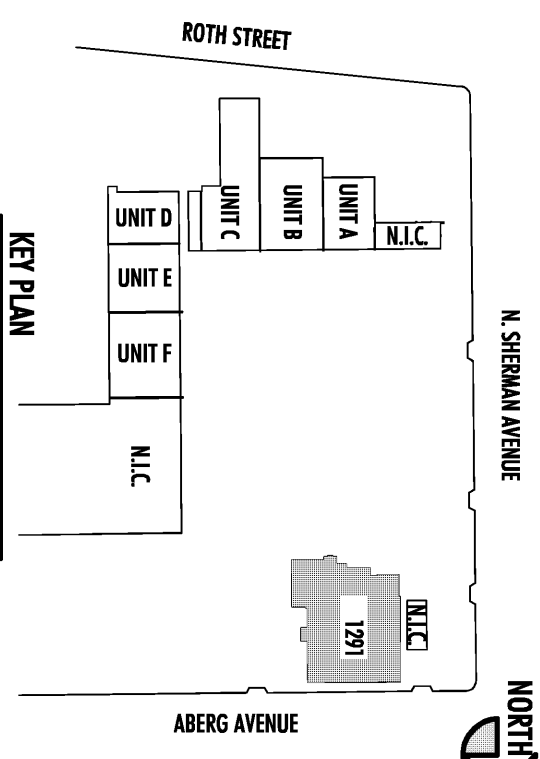


**1  
A4.1** ENLARGED PLAN  
SCALE: 1/4" = 1'-0"

**2  
A4.1** ENLARGED PLAN  
SCALE: 1/4" = 1'-0"



**2  
A4.1** ENLARGED PLAN  
SCALE: 1/4" = 1'-0"



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 10-8-2008

08/27/08 UDC Schematic  
 10/6/08 UDC Schematic

NO.	DATE	DESCRIPTION
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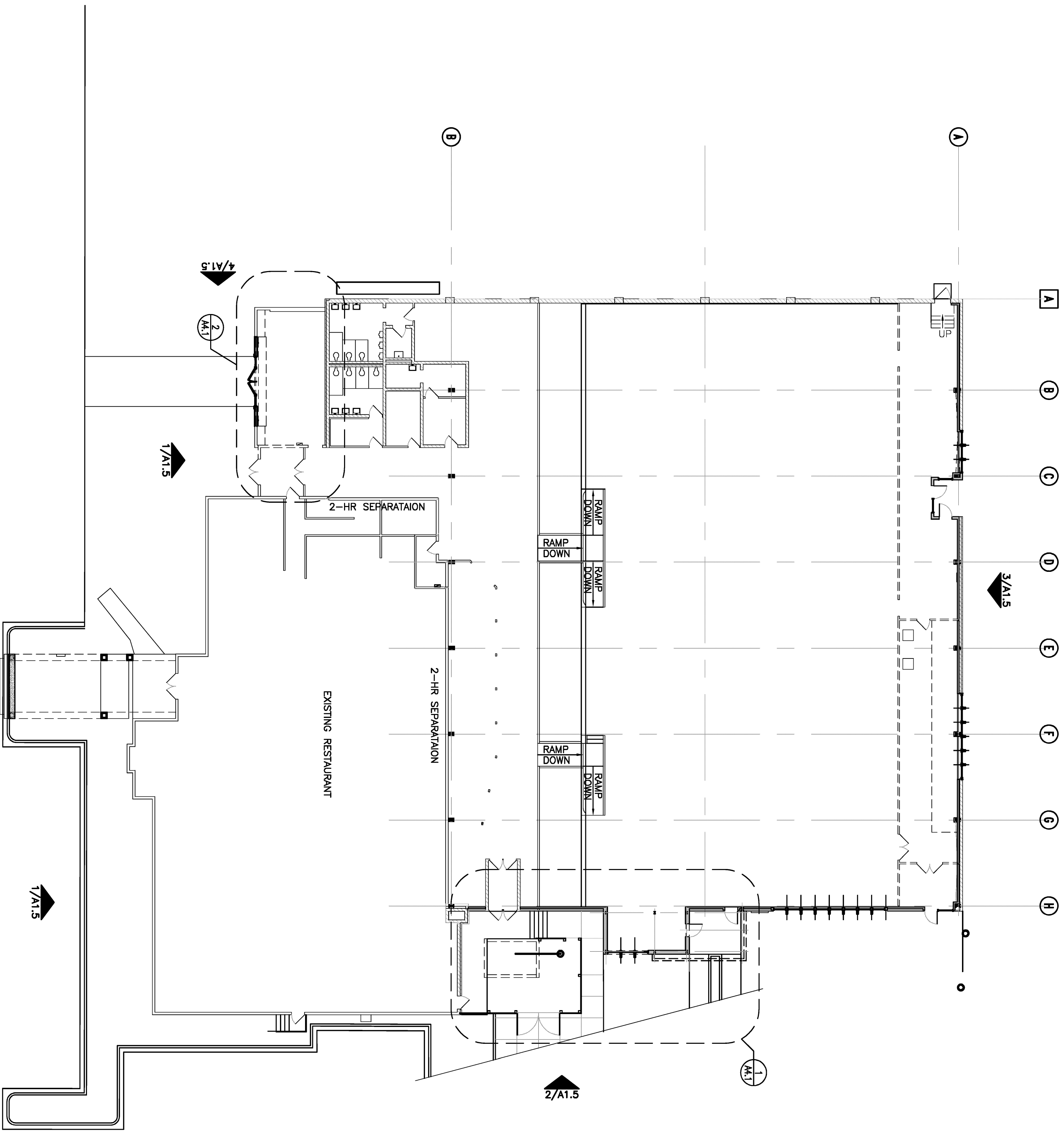
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**NORTHGATE SHOPPING CENTER**  
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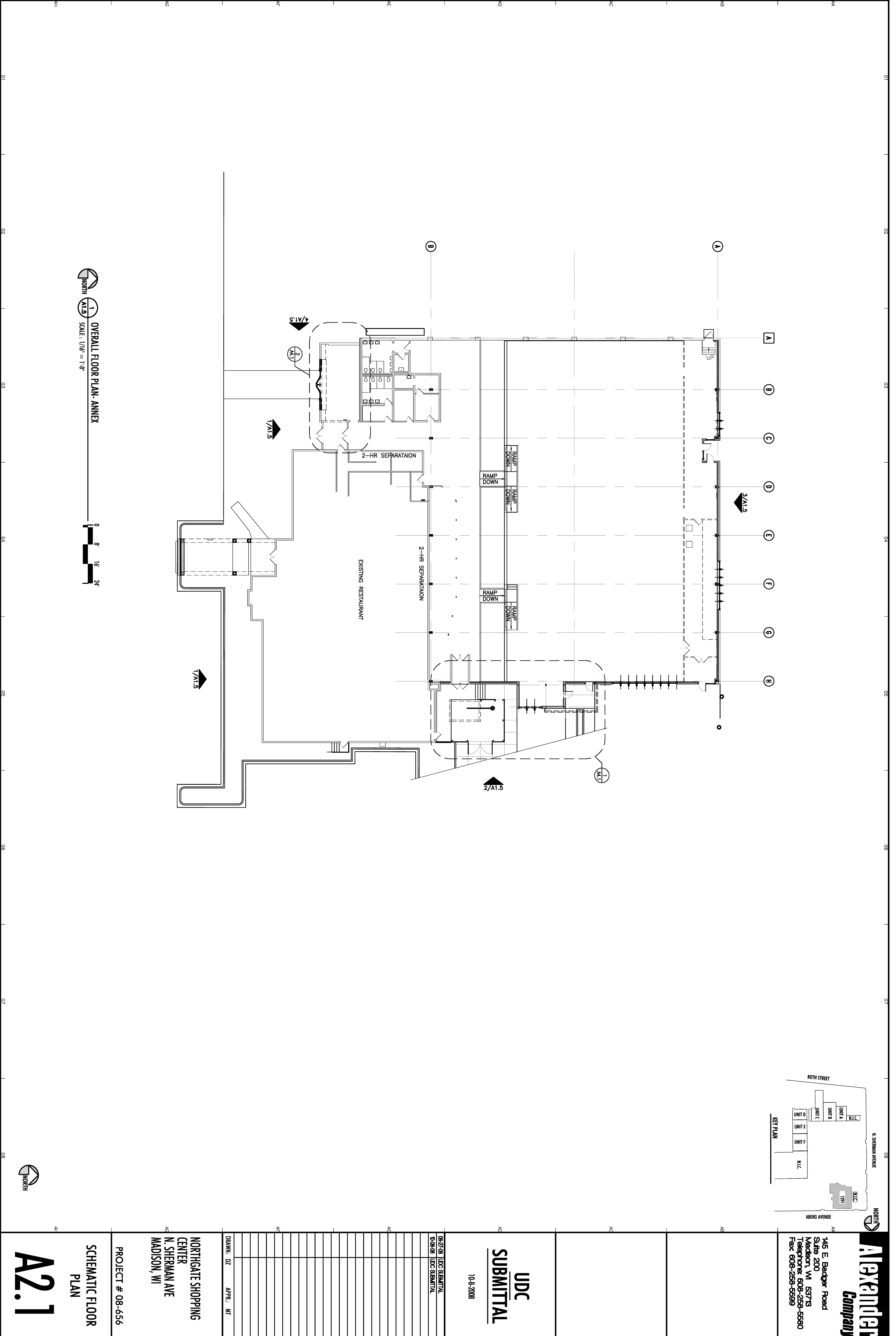
PROJECT # 08-656

**SCHEMATIC FLOOR PLAN**

**A2.1**



**1**  
 OVERALL FLOOR PLAN-ANNEX  
 SCALE: 1/16" = 1'-0"



- GENERAL NOTES:**
- FOR SYMBOL AND ABBREVIATION DESCRIPTIONS SEE SHEET G2.1
  - REMOVE ALL EXG BANNER HOOKS FROM FASOIA PRIOR TO PAINTING.
  - CLEAN ALL CANOPY LIGHT FIXTURE LENSES. REPLACE LENSES IF PERMANENTLY YELLOWED. PROVIDE ALTERNATE ADDITIONAL PRICE FOR REPLACING ALL CANOPY LIGHT FIXTURES.
  - PAINT ALL SPEAKER TRIMS ON UNDERSIDE OF CANOPY TO MATCH SOFTIT PANEL.
  - MASK OFF ALL STORAGE PRIOR TO PAINTING. EXISTING STORAGE SHALL BE MAINTAINED. EXISTING STORAGE SHALL BE MAINTAINED. PAINT CURRENTLY EXISTS ON SIGNAGE (EITHER BLACK OR WHITE).
  - ALL EXISTING BRICK TO REMAIN UNPAINTED.
  - PAINT ALL NEW AND EXISTING METAL GUTTERS AND DOWNSPOUTS TO MATCH WOOD TRIM (P1).
  - REFER TO SPECIFICATION MANUAL FOR BIDDING INSTRUCTIONS OF ALTERNATES.
  - OWNER SHALL BE RESPONSIBLE FOR REMOVAL OF PUBLIC GARAGE CANS OUTSIDE OF STOREFRONT. OWNER SHALL PROVIDE NEW CIGARETTE URNS.

10. PAINT COLOR SCHEDULE ALL COLORS ARE SHERMAN WILLIAMS STANDARD COLORS. P1= UNCERTAIN GRAY, P2= SW 6232 "MISTY", P4= SW 6999 "TEAL RED."

- KEY NOTES:**
- REPAIR INTERIOR SCREEN OVER WINDOW GLASS ON INSIDE OF DOORWAY.
  - REMOVE 1x TRIM UNDER GUTTERS PRIOR TO INSTALLING NEW TRIM.
  - REMOVE EXISTING METAL SOFTIT PANELS AT BULKHEAD. REPLACE WITH NEW PERFORATED ALUMINUM SOFTIT PANELS. PROVIDE ADDITIONAL HANGING HARDWARE. PROVIDE ADDITIONAL OWNER/ARCHITECT APPROVAL.
  - INSTALL NEW 18"x24" SELF-TRIMMING METAL ACCESS PANELS AT EXISTING OPENINGS. MODIFY EXG OPENING AS REQ'D.
  - INSTALL NEW DECORATIVE COVER PLATE OVER EXISTING JUNCTION BOXES. PAINT WHITE.
  - REMOVE AND REINSTALL EXG SIGN SO THAT TEXT IS IN TWO LINES.
  - REMOVE AND REINSTALL EXG SIGN SO THAT TEXT IS IN ONE LINE.
  - REMOVE EXG BRICK BASES AND WOOD TRIM FROM COLUMNS. WRAP EXG COLUMNS WITH NEW MATERIALS PER DETAILS (9/10/09.1). PAINT WOOD ENCLOSURES (P1).
  - REMOVE EXISTING PLYWOOD FROM BOTTOM OF BEAM. REPLACE WITH NEW CEMENT FIBER BOARD TO FIT OVER BOTTOM OF EXISTING BEAM. PAINT.
  - REPAIR CEILING PANEL SUSPENSION SYSTEM IN THIS AREA SO THAT PANELS LIE FLAT.
  - REMOVE EXISTING DOORS AND ENCLOSING WALLS.
  - REPLACE DAMAGED STUCCO BOARD WITH NEW FIBER CEMENT BOARD. PAINT (P3).
  - RE-FASTEN LOOSE CEILING PANELS. INSTALL NEW 1x3 BATTEN BOARDS OVER EXG PANEL JOINTS ON CEILING. PAINT CEILING AND BATTEN BOARDS (P3).
  - RIP DOWN NEW 2x CEDAR TRIM BOARD TO MATCH HEIGHT OF SIDING BOARD BEING REPLACE. PAINT (P1). SEE DETAIL 6/A9.1.
  - REMOVE EXISTING PLANTER BOXES. SALVAGE AND RETURN LUMBER TO OWNER.
  - NEW CIGARETTE URN. PROVIDED AND INSTALLED BY OWNER.
  - NEW PLANTER BASKET LOCATION (QTY. 10). PROVIDE SOLID BLOCKING ABOVE SOFTIT PANEL FOR SUSPENSION SYSTEM. REFER TO LANDSCAPE PLANS FOR PLANT MATERIALS.
  - REPAIR AND REINSTALL EXISTING DAMAGED LIGHT FIXTURE.
  - CUSTOM ALUMINUM CONDUCTOR HEAD. SEE DTL. 11/A9.1.

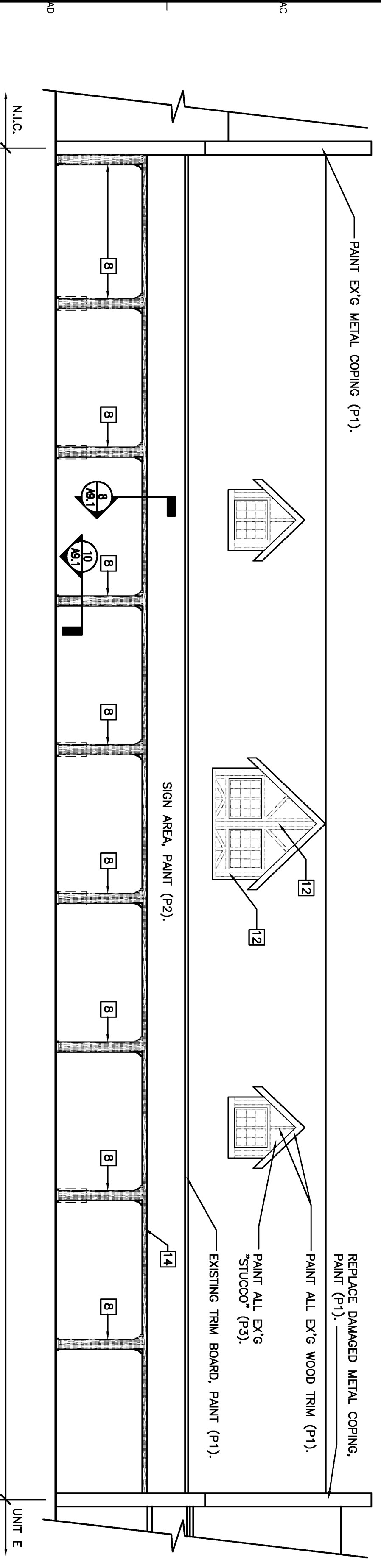
REPLACE DAMAGED METAL COPINGS, PAINT (P1).

PAINT ALL EXG WOOD TRIM (P1).

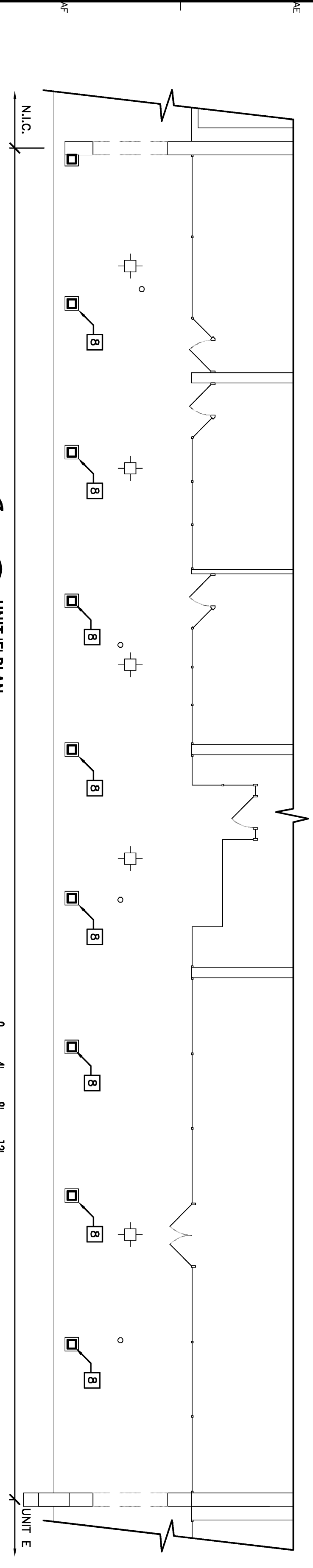
PAINT ALL EXG STUCCO (P3).

EXISTING TRIM BOARD. PAINT (P1).

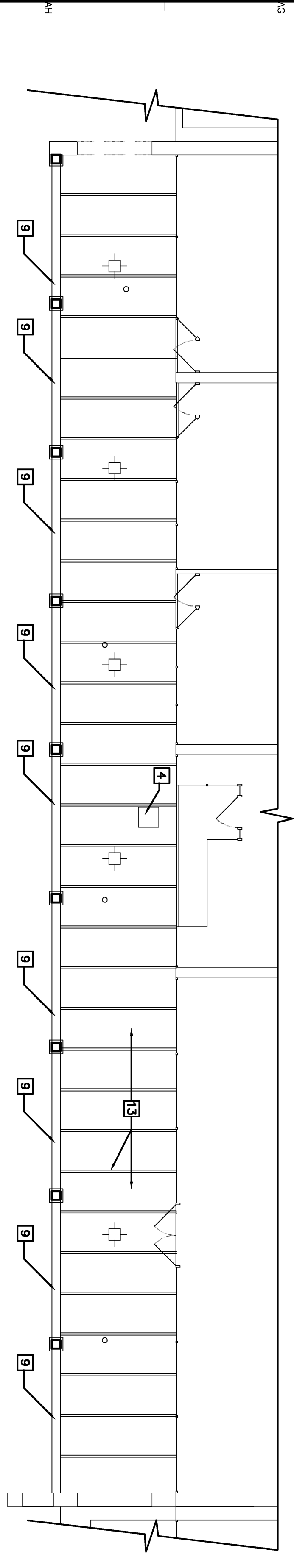
SIGN AREA. PAINT (P2).



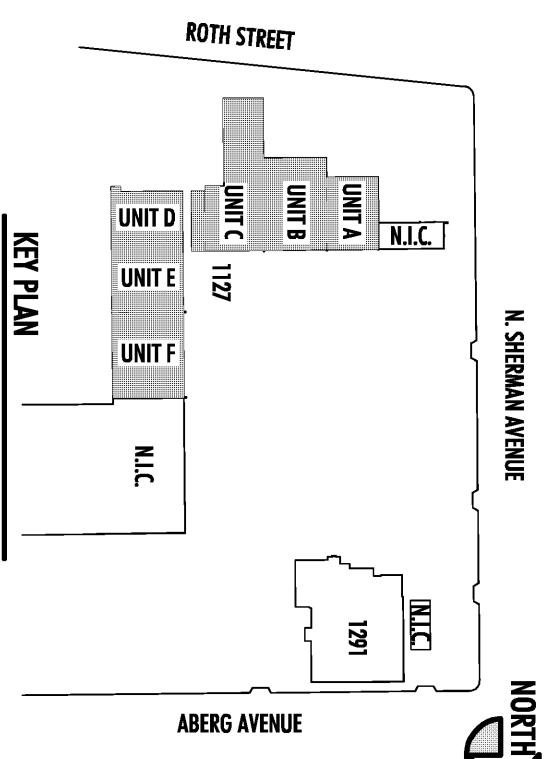
**1 UNIT 'F' ELEVATION**  
SCALE: 1/8" = 1'-0"



**2 UNIT 'F' PLAN**  
SCALE: 1/8" = 1'-0"



**3 UNIT 'F' REFLECTED CEILING PLAN**  
SCALE: 1/8" = 1'-0"



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10-8-2008

08-27-08	UDC SUBMITTAL
10-08-08	UDC SUBMITTAL

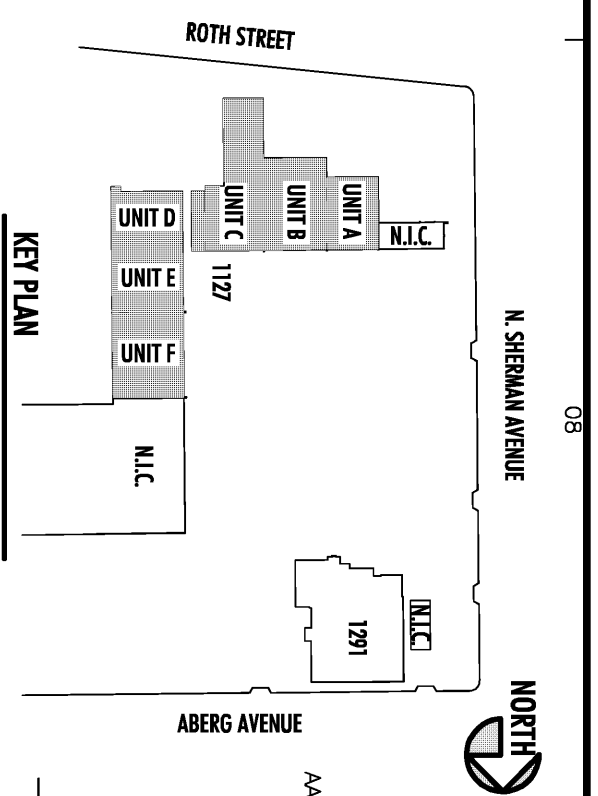
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NORTHGATE SHOPPING CENTER  
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PROJECT # 08-656

PLANS & ELEVATIONS

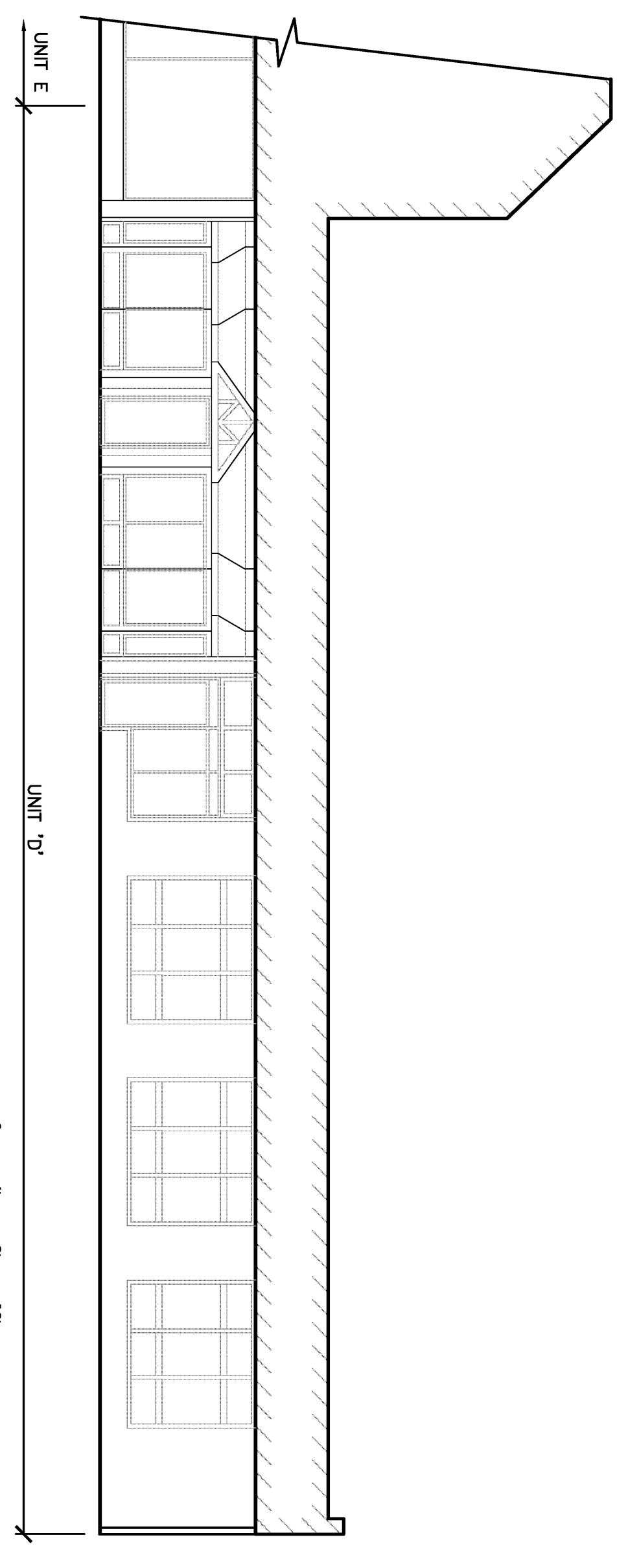
**A1.4**



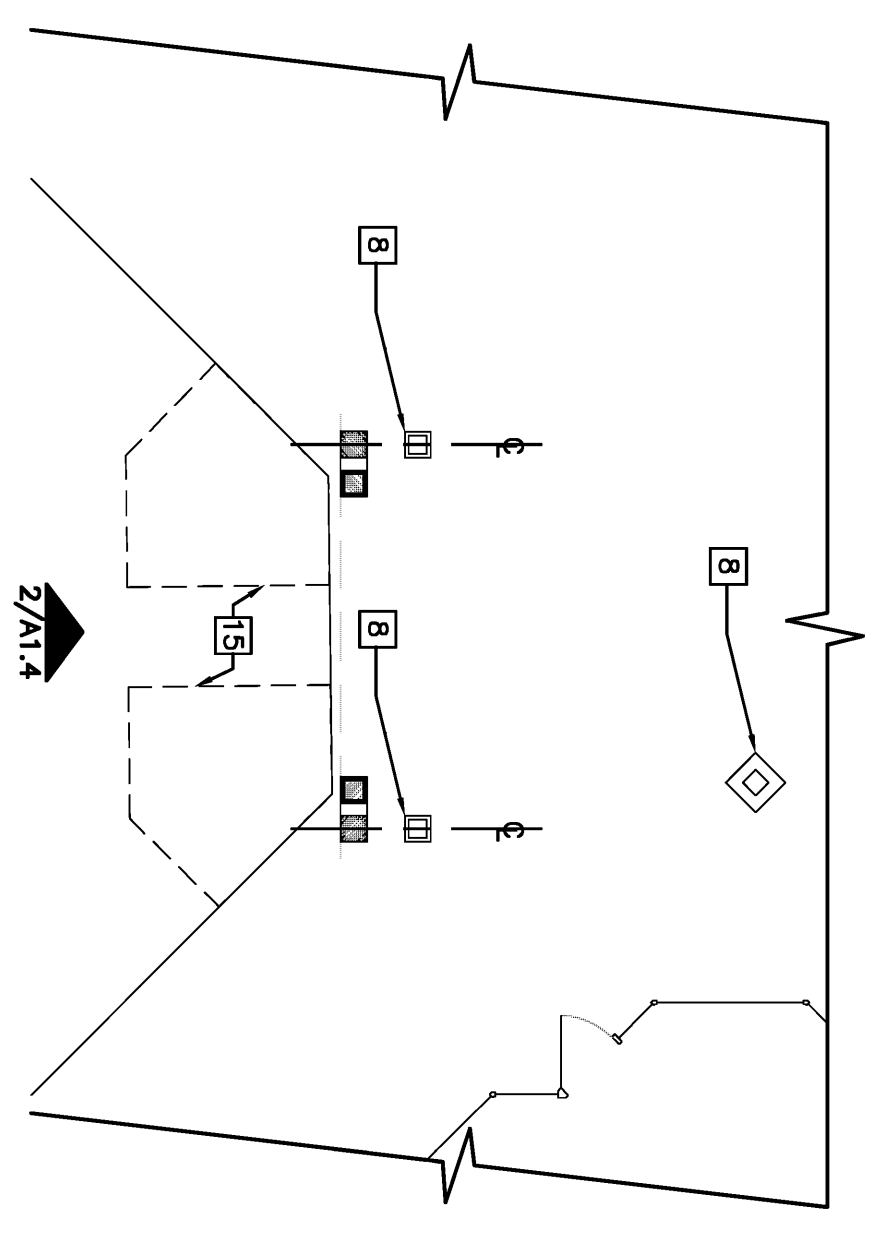
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- GENERAL NOTES:**
- FOR SYMBOL AND ABBREVIATION DESCRIPTIONS SEE SHEET G2.1
  - REMOVE ALL EXG BANNER HOOKS FROM FASOIA PRIOR TO PAINTING.
  - CLEAN ALL CANOPY LIGHT FIXTURE LENSES. REPLACE LENSES IF PERMANENTLY YELLOWED. PROVIDE ALTERNATE ADDITIONAL PRICE FOR REPLACING ALL CANOPY LIGHT FIXTURES.
  - PAINT ALL SPEAKER TRIMS ON UNDERSIDE OF CANOPY TO MATCH SOFTIT PANEL.
  - MASK OFF ALL STORAGE PRIOR TO PAINTING. EXISTING STORAGE SHALL BE REFINISHED. EXISTING STORAGE SHALL BE REFINISHED. PAINT CURRENTLY EXISTS ON SIGNAGE. USE A COLOR TO MATCH BOXED LETTERS (EITHER BLACK OR WHITE).
  - ALL EXISTING BRICK TO REMAIN UNPAINTED.
  - PAINT ALL NEW AND EXISTING METAL GUTTERS AND DOWNSPOUTS TO MATCH WOOD TRIM (P1).
  - REFER TO SPECIFICATION MANUAL FOR BIDDING INSTRUCTIONS OF ALTERNATES.
  - OWNER SHALL BE RESPONSIBLE FOR REMOVAL OF PUBLIC GARAGE CANS OUTSIDE OF STOREFRONTS. OWNER SHALL PROVIDE NEW CIGARETTE URNS.

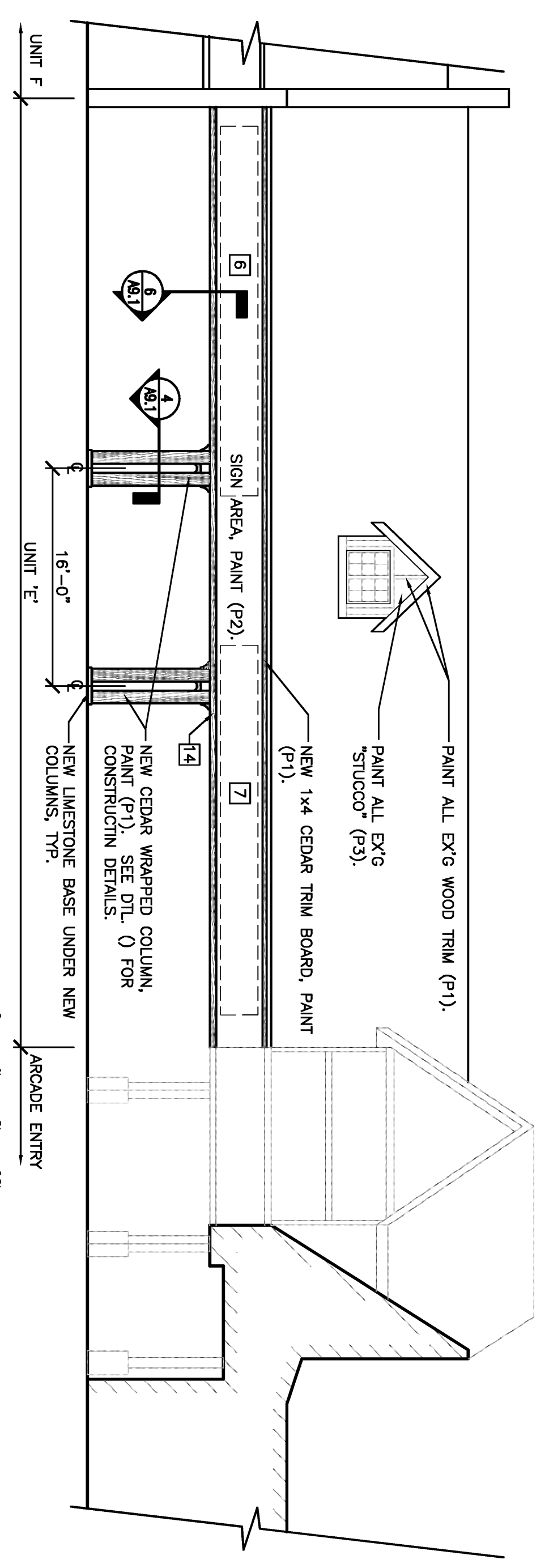
- PAINT COLOR SCHEDULE ALL COLORS ARE SHERMAN WOODS STANDARD COLORS. P1= SHERMAN GRAY, P2= SW 6232 "MISTY", P4= SW 6969 "TEAL RED".
- REPAIR INTERIOR SCREEN OVER WINDOW GLASS ON INSIDE OF DOORWAY.
- REMOVE 1x TRIM UNDER GUTTERS PRIOR TO INSTALLING NEW TRIM.
- REMOVE EXISTING METAL SOFTIT PANELS AT BULKHEAD. REPLACE WITH NEW PERFORATED ALUMINUM SOFTIT PANELS. PROVIDE ADDITIONAL PRICES FOR PERFORATED ALUMINUM SOFTIT PANELS. PROVIDE SAMPLE OF PRODUCT FOR OWNER/ARCHITECT APPROVAL.
- INSTALL NEW 18"x24" SELF-TRIMMING METAL ACCESS PANELS AT EXISTING OPENINGS. MODIFY EXG OPENING AS RECD.
- INSTALL NEW DECORATIVE COVER PLATE OVER EXISTING JUNCTION BOXES. PAINT WHITE.
- REMOVE AND REINSTALL EXG SIGN SO THAT TEXT IS IN TWO LINES.
- REMOVE AND REINSTALL EXG SIGN SO THAT TEXT IS IN ONE LINE.
- REMOVE EXG BRICK BASES AND WOOD TRIM FROM COLUMNS. WRAP EXG COLUMNS WITH NEW MATERIALS PER DETAILS (9/10/09.1). PAINT WOOD ENCLOSURES (P1).
- REMOVE EXISTING PLYWOOD FROM BOTTOM OF BEAM. REPLACE WITH NEW CEMENT FIBER BOARD TO FIT OVER BOTTOM OF EXISTING BEAM. PAINT.
- REPAIR CEILING PANEL SUSPENSION SYSTEM IN THIS AREA SO THAT PANELS LIE FLAT.
- REMOVE EXISTING DOORS AND ENCLOSING WALLS.
- REPLACE DAMAGED STUCCO BOARD WITH NEW FIBER CEMENT BOARD. PAINT (P3).
- RE-FASTEN LOOSE CEILING PANELS. INSTALL NEW 1x3 BATTEN BOARDS OVER EXG PANEL JOINTS ON CEILING. PAINT CEILING AND BATTEN BOARDS (P3).
- RIP DOWN NEW 2x CEDAR TRIM BOARD TO MATCH HEIGHT OF SIDING BOARD BEING REPLACE. PAINT (P1). SEE DETAIL 6/09.1.
- REMOVE EXISTING PLANTER BOXES. SALVAGE AND RETURN LUMBER TO OWNER.
- NEW CIGARETTE URN. PROVIDED AND INSTALLED BY OWNER.
- NEW PLANTER BASKET LOCATION (QTY. 10). PROVIDE SOLID BLOCKING ABOVE SOFTIT PANEL FOR SUSPENSION SYSTEM. REFER TO LANDSCAPE PLANS FOR PLANT MATERIALS.
- REPAIR AND REINSTALL EXISTING DAMAGED LIGHT FIXTURE.
- CUSTOM ALUMINUM CONDUCTOR HEAD. SEE DTL. 11/09.1.



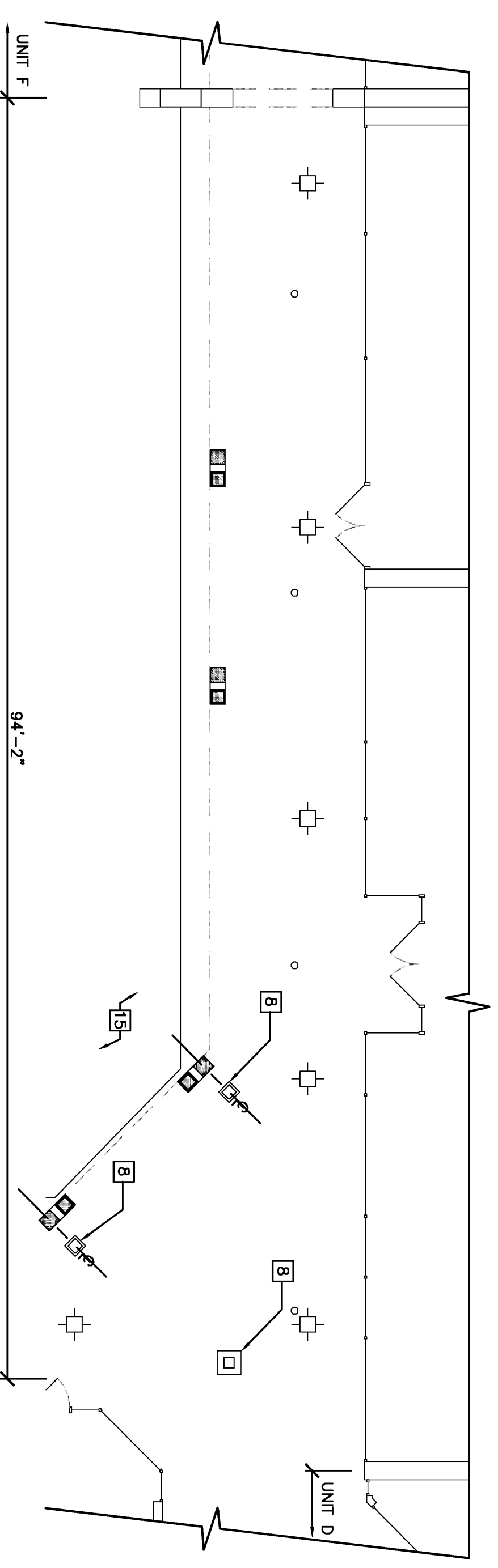
**A1.3** UNIT 'D' ARCADE ELEVATION  
 SCALE: 1/8" = 1'-0"



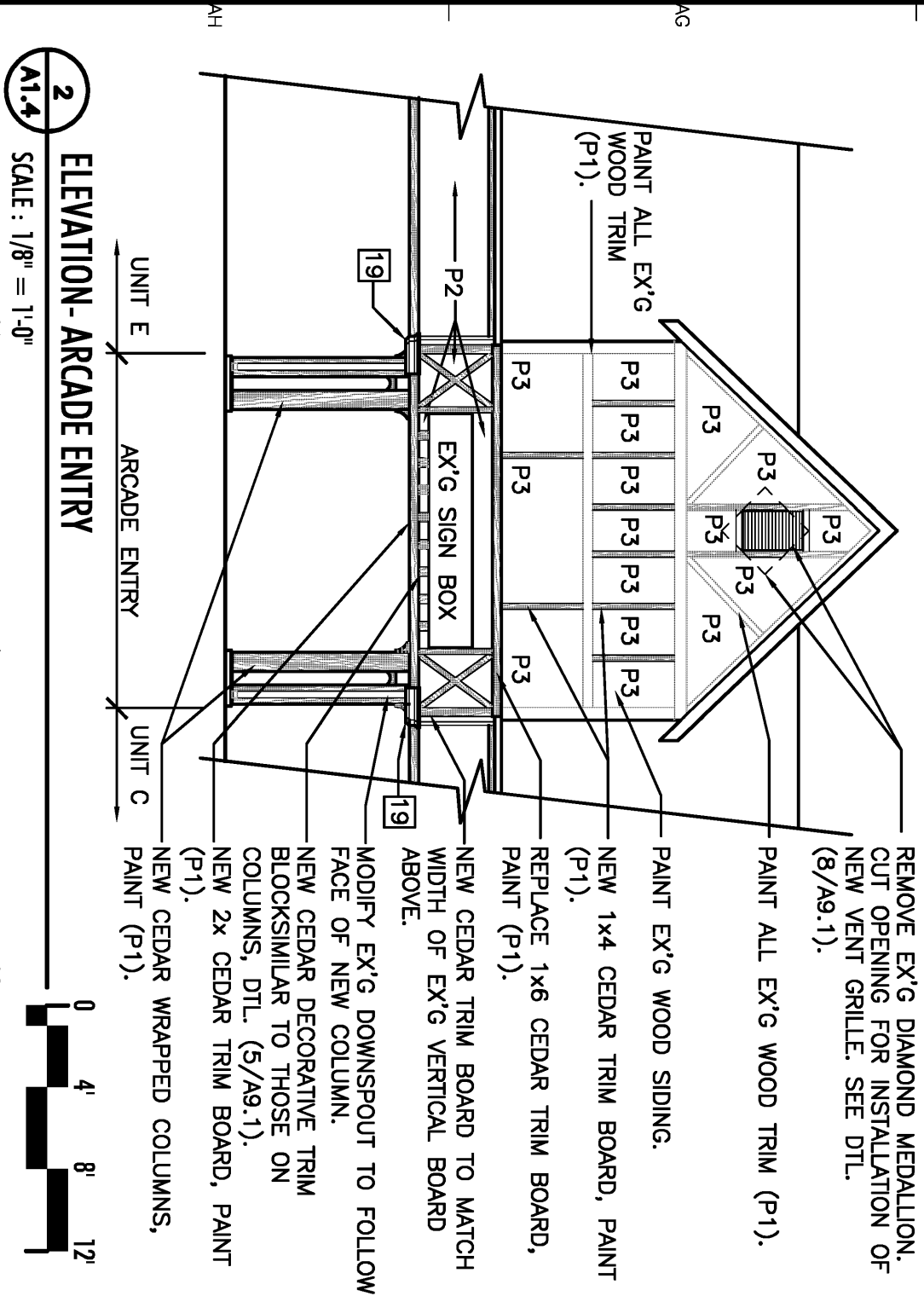
**A1.4** PLAN  
 SCALE: 1/8" = 1'-0"



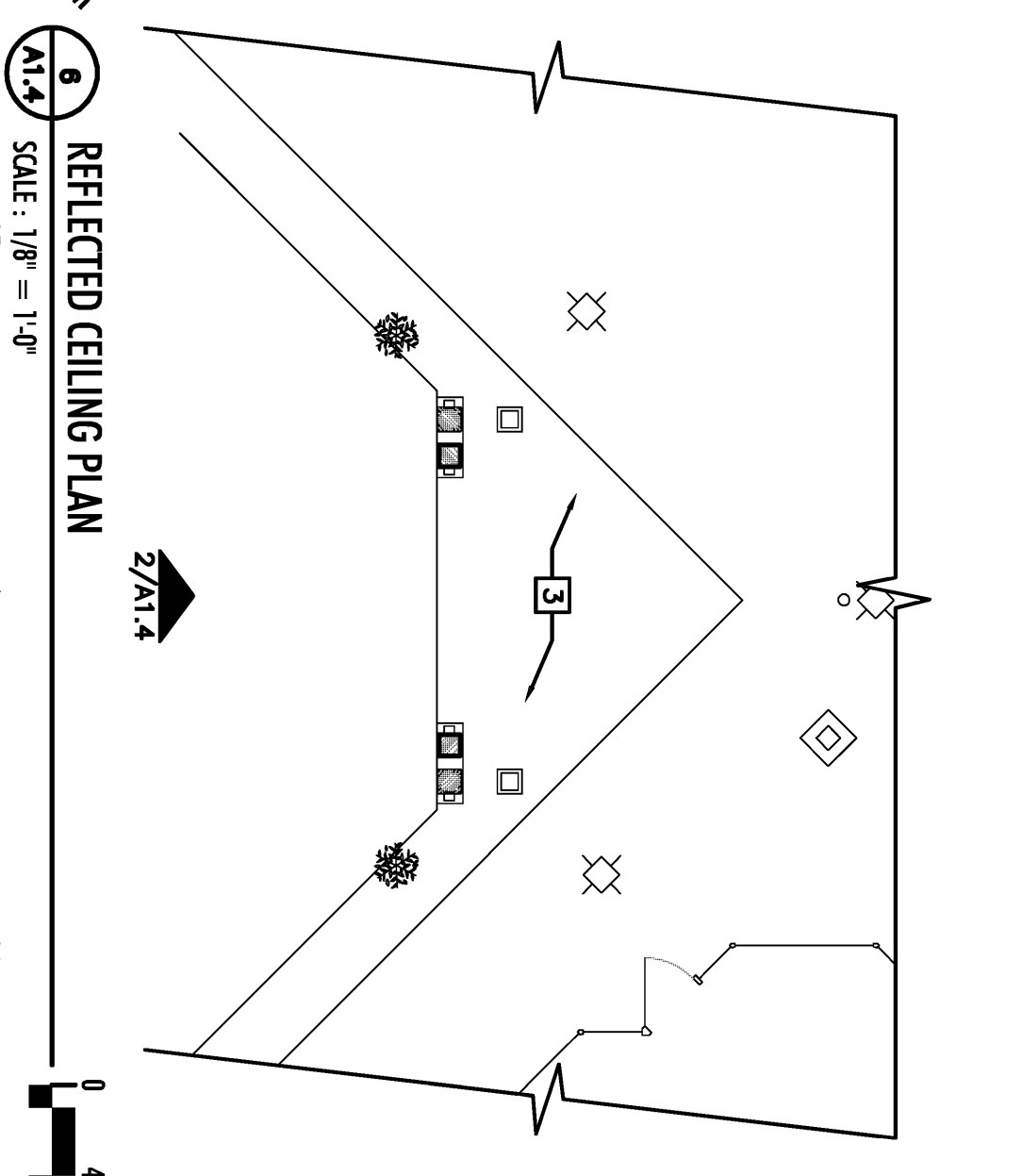
**A1.3** UNIT 'E' ELEVATION  
 SCALE: 1/8" = 1'-0"



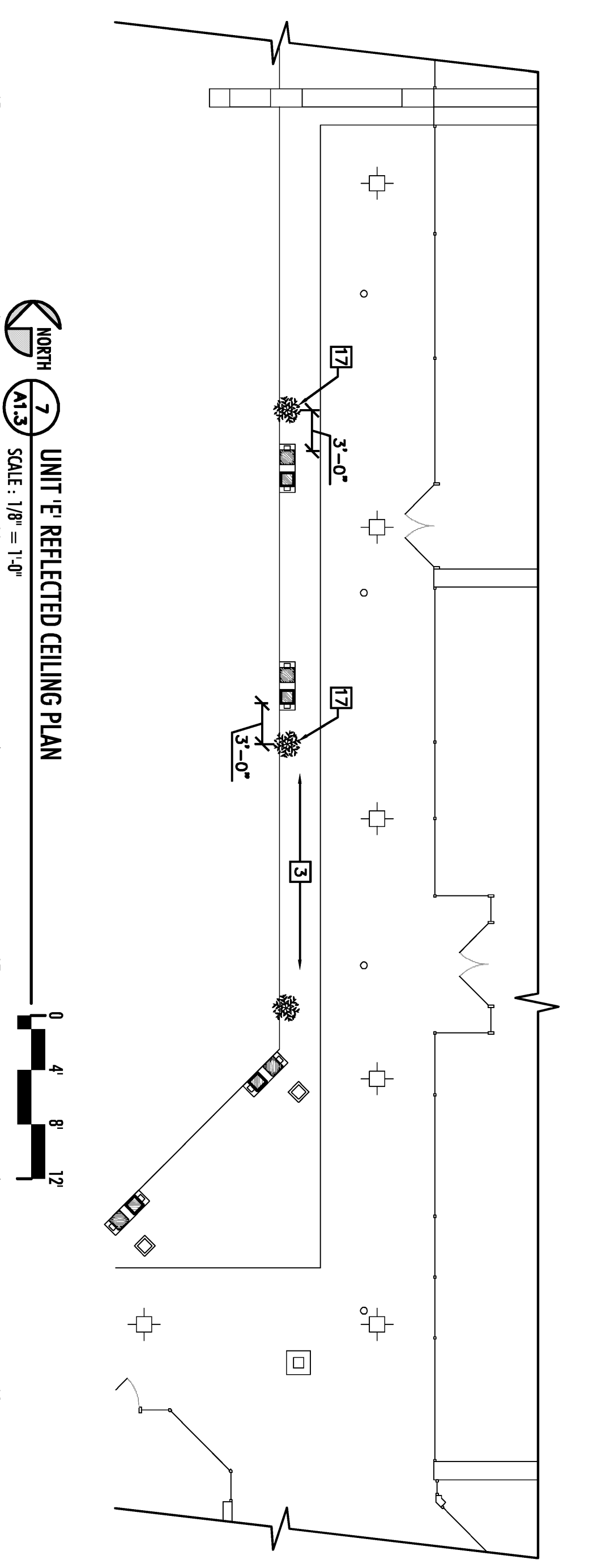
**A1.3** UNIT 'E' PLAN  
 SCALE: 1/8" = 1'-0"



**A1.4** ELEVATION - ARCADE ENTRY  
 SCALE: 1/8" = 1'-0"



**A1.4** REFLECTED CEILING PLAN  
 SCALE: 1/8" = 1'-0"



**A1.3** UNIT 'E' REFLECTED CEILING PLAN  
 SCALE: 1/8" = 1'-0"

**UDC SUBMITTAL**  
 10-4-2008

08-27-08 UDC SUBMITTAL  
 10-08-08 UDC SUBMITTAL

DRAWN: DZ APPR: MT

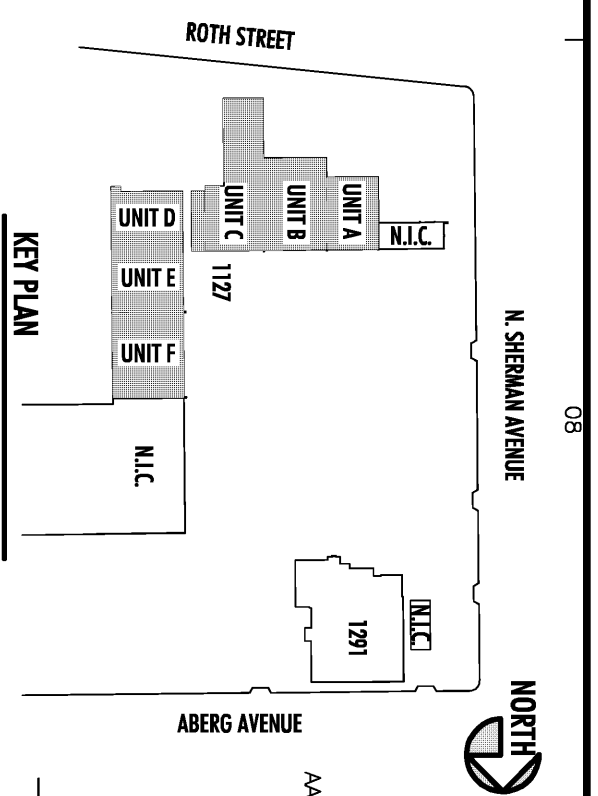
**NORTHGATE SHOPPING CENTER**  
 N. SHERMAN AVE  
 MADISON, WI

PROJECT # 08-656

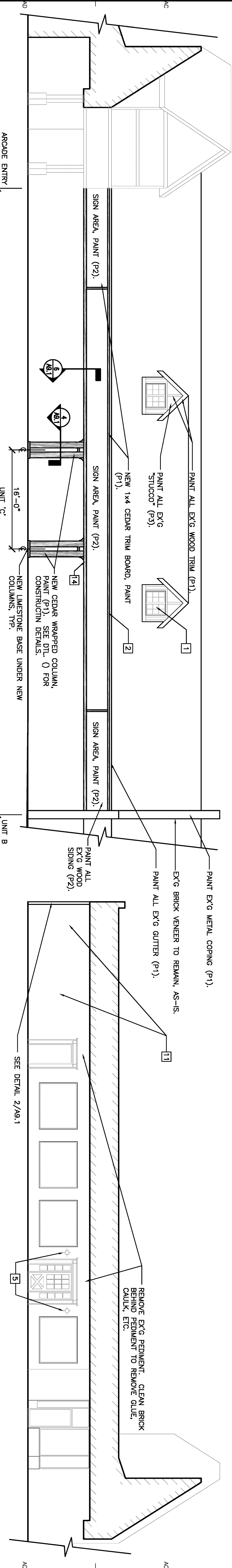
**PLANS & ELEVATIONS**

**A1.3**



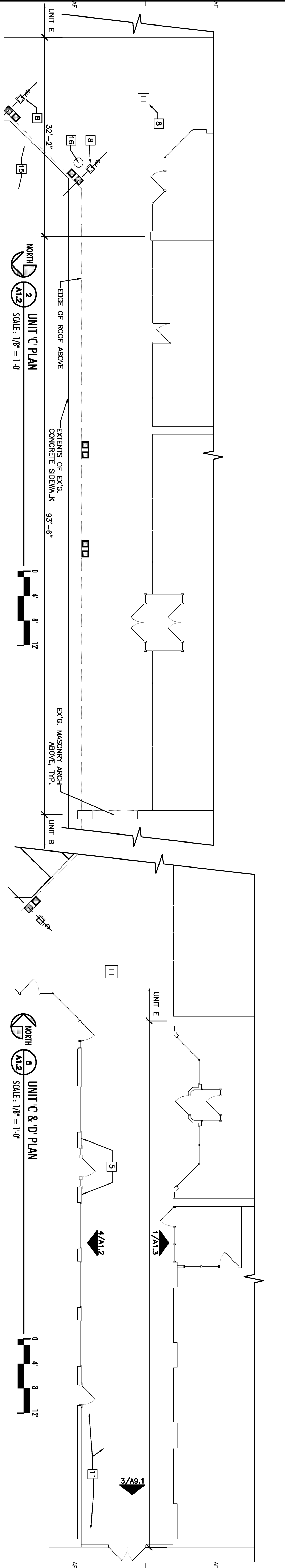


- GENERAL NOTES:**
- FOR SYMBOL AND ABBREVIATION DESCRIPTIONS SEE SHEET G2.1
  - REMOVE ALL EXC. BANNER HOOKS FROM FASOIA PRIOR TO PAINTING.
  - CLEAN ALL CANOPY LIGHT FIXTURE LENSES. REPLACE LENSES IF PERMANENTLY YELLOWED. PROVIDE ALTERNATE ADDITIONAL PRIOR FOR REPLACING ALL CANOPY LIGHT FIXTURES.
  - PAINT ALL SPEAKER TRIMS ON UNDERSIDE OF CANOPY TO MATCH SOFTIT PANEL.
  - MASK OFF ALL STORAGE PRIOR TO PAINTING. EXC. STORAGE SHALL BE REFINISHED. EXC. STORAGE SHALL BE REFINISHED. PAINT CURRENTLY EXISTS ON SIGNAGE. USE A COLOR TO MATCH BOXED LETTERS (EITHER BLACK OR WHITE).
  - ALL EXISTING BRICK TO REMAIN UNPAINTED.
  - PAINT ALL NEW AND EXISTING METAL GUTTERS AND DOWNSPOUTS TO MATCH WOOD TRIM (P1).
  - REFER TO SPECIFICATION MANUAL FOR BIDDING INSTRUCTIONS OF ALTERNATES.
  - OWNER SHALL BE RESPONSIBLE FOR REMOVAL OF PUBLIC GARAGE CANS OUTSIDE OF STOREFRONTS. OWNER SHALL PROVIDE NEW CIGARETTE URNS.
  - PAINT COLOR SCHEDULE ALL COLORS ARE SHERMAN WILLIAMS STANDARD COLORS. P1= UNCERTAIN GRAY, P2= SW 6232 "MISTY", P4= SW 6969 "TEAL RED".
- KEY NOTES:**
- REPAIR INTERIOR SCREEN OVER WINDOW GLASS ON INSIDE OF DOORWAY.
  - REMOVE 1x TRIM UNDER GUTTERS PRIOR TO INSTALLING NEW TRIM.
  - REMOVE EXISTING METAL SOFTIT PANELS AT BUILDHEAD. REPLACE WITH NEW PERFORATED ALUMINUM SOFTIT PANELS. PROVIDE ADDITIONAL SAMPLE OF PRODUCT FOR OWNER/ARCHITECT APPROVAL.
  - INSTALL NEW 18"x24" SELF-TRIMMING METAL ACCESS PANELS AT EXISTING OPENINGS. MODIFY EXG. OPENING AS RECD.
  - INSTALL NEW DECORATIVE COVER PLATE OVER EXISTING JUNCTION BOXES. PAINT WHITE.
  - REMOVE AND REINSTALL EXG. SIGN SO THAT TEXT IS IN TWO LINES.
  - REMOVE AND REINSTALL EXG. SIGN SO THAT TEXT IS IN ONE LINE.
  - REMOVE EXG. BRICK BASES AND WOOD TRIM FROM COLUMNS. WRAP EXG. COLUMNS WITH NEW MATERIALS PER DETAILS (9/10/09.1). PAINT WOOD ENCLOSURES (P1).
  - REMOVE EXISTING PLYWOOD FROM BOTTOM OF BEAM. REPLACE WITH NEW CEMENT FIBER BOARD TO FIT OVER BOTTOM OF EXISTING BEAM, PAINT.
  - REPAIR CEILING PANEL SUSPENSION SYSTEM IN THIS AREA SO THAT PANELS LIE FLAT.
  - REMOVE EXISTING DOORS AND ENCLOSING WALLS.
  - REPLACE DAMAGED STUCCO BOARD WITH NEW FIBER CEMENT BOARD, PAINT (P3).
  - RE-FASTEN LOOSE CEILING PANELS. INSTALL NEW 1x3 BATTEN BOARDS OVER EXG. PANEL JOINTS ON CEILING. PAINT CEILING AND BATTEN BOARDS (P3).
  - RIP DOWN NEW 2x CEDAR TRIM BOARD TO MATCH HEIGHT OF SIDING BOARD BEING REPLACE, PAINT (P1). SEE DETAIL 6/09.1.
  - REMOVE EXISTING PLANTER BOXES. SALVAGE AND RETURN LUMBER TO OWNER.
  - NEW CIGARETTE URN. PROVIDED AND INSTALLED BY OWNER.
  - NEW PLANTER BASKET LOCATION (QTY. 10). PROVIDE SOLID BLOCKING ABOVE SOFTIT PANEL FOR SUSPENSION SYSTEM. REFER TO LANDSCAPE PLANS FOR PLANT MATERIALS.
  - REPAIR AND REINSTALL EXISTING DAMAGED LIGHT FIXTURE.
  - CUSTOM ALUMINUM CONDUCTOR HEAD. SEE DTL. 11/09.1.



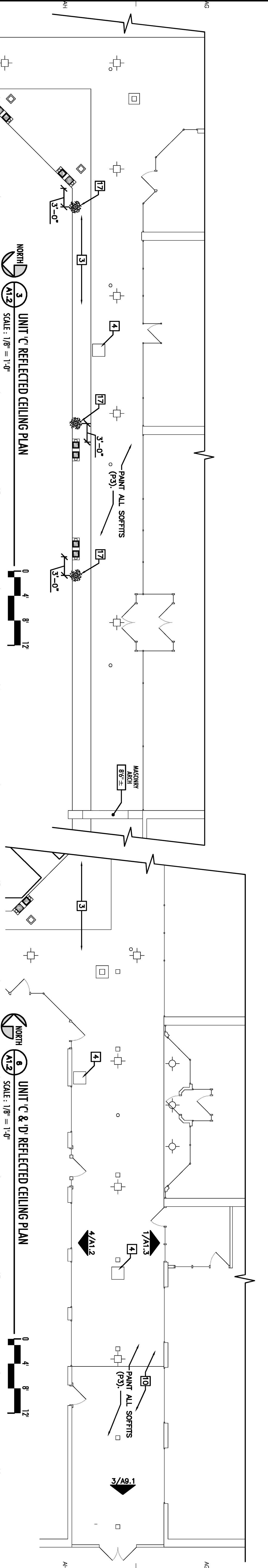
1 UNIT 'C' ELEVATION  
SCALE: 1/8" = 1'-0"

4 UNIT 'C' & 'D' ELEVATION  
SCALE: 1/8" = 1'-0"



2 UNIT 'C' PLAN  
SCALE: 1/8" = 1'-0"

5 UNIT 'C' & 'D' PLAN  
SCALE: 1/8" = 1'-0"



3 UNIT 'C' REFLECTED CEILING PLAN  
SCALE: 1/8" = 1'-0"

6 UNIT 'C' & 'D' REFLECTED CEILING PLAN  
SCALE: 1/8" = 1'-0"

**Alexander Company**  
 145 E. Badger Road  
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 Madison, WI 53713  
 Telephone: 608-259-5590  
 Fax: 608-259-5599

**UDC SUBMITTAL**  
 10-4-2008

08-27-08 UDC SUBMITTAL  
 TDR:8 UDC SUBMITTAL

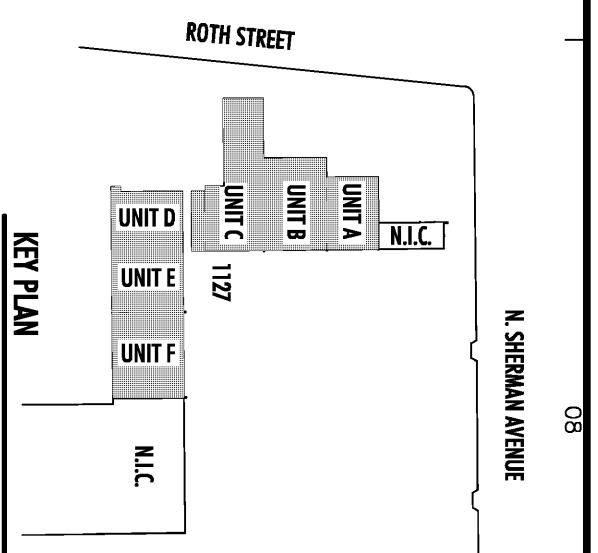
DRAWN: DZ APPR: MT

**NORTHGATE SHOPPING CENTER**  
 N. SHERMAN AVE  
 MADISON, WI

PROJECT # 08-656

**PLANS & ELEVATIONS**

**A1.2**

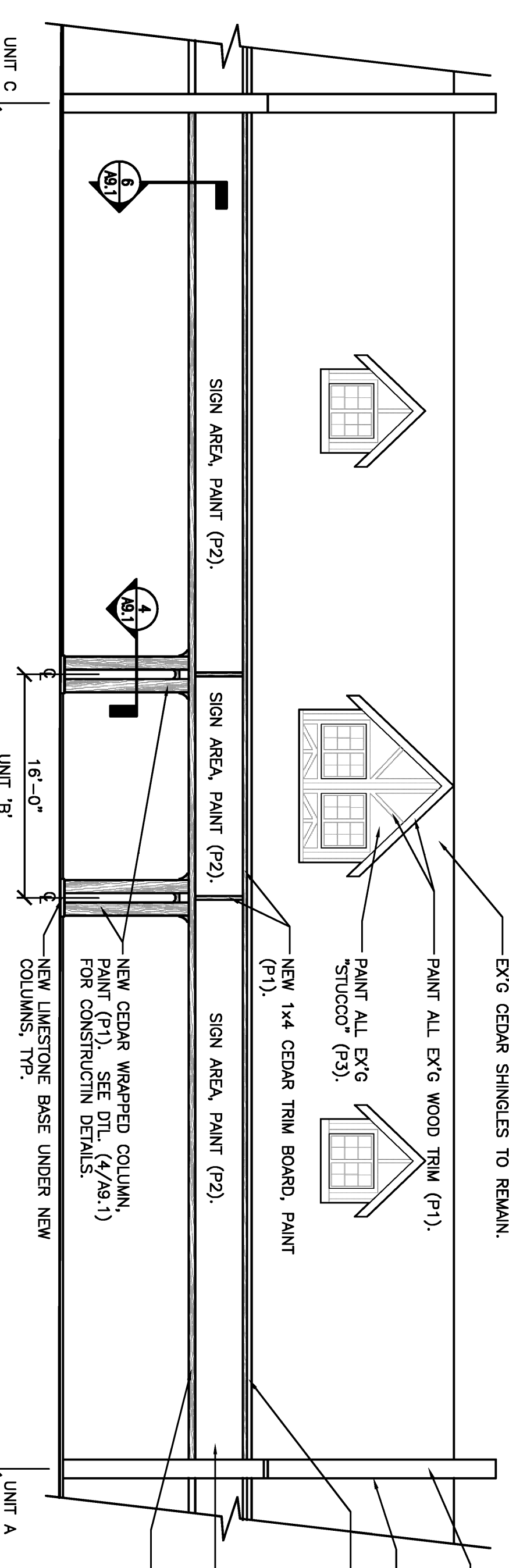


- GENERAL NOTES:**
- FOR SYMBOL AND ABBREVIATION DESCRIPTIONS SEE SHEET G2.1
  - REMOVE ALL EX'G BANNER HOOKS FROM FASODA PRIOR TO PAINTING.
  - CLEAN ALL CANOPY LIGHT FIXTURE LENSES. REPLACE LENSES IF PERMANENTLY YELLOWED. PROVIDE ALTERNATE ADDITIONAL PRICE FOR REPLACING ALL CANOPY LIGHT FIXTURES.
  - PAINT ALL SPEAKER TRIMS ON UNDERSIDE OF CANOPY TO MATCH SOFTIT PANEL.
  - MASK OFF ALL STORAGE PRIOR TO PAINTING. EX'G STORAGE SHALL NOT BE PAINTED. EX'G STORAGE SHALL BE PAINTED AFTER PAINT CURRENTLY EXISTS ON SIGNAGE USE A COLOR TO MATCH BOXED LETTERS (EITHER BLACK OR WHITE).
  - ALL EXISTING BRICK TO REMAIN UNPAINTED.
  - PAINT ALL NEW AND EXISTING METAL GUTTERS AND DOWNSPOUTS TO MATCH WOOD TRIM (P1).
  - REFER TO SPECIFICATION MANUAL FOR BIDDING INSTRUCTIONS OF ALTERNATES.
  - OWNER SHALL BE RESPONSIBLE FOR REMOVAL OF PUBLIC GARAGE CANS OUTSIDE OF STOREFRONTS. OWNER SHALL PROVIDE NEW CIGARETTE URNS.

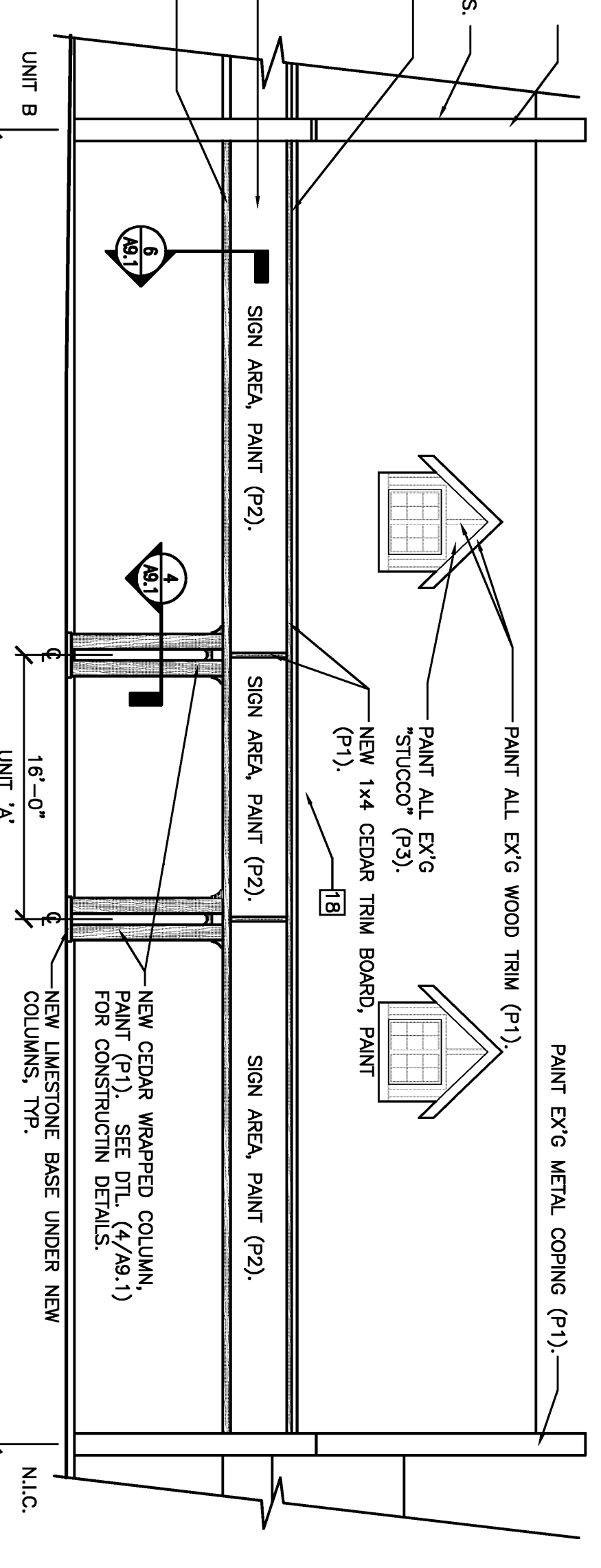
- REPAIR INTERIOR SCREEN OVER WINDOW GLASS ON INSIDE OF DOORWAY.
- REMOVE 1x TRIM UNDER GUTTERS PRIOR TO INSTALLING NEW TRIM.
- REMOVE EXISTING METAL SOFTIT PANELS AT BUILDHEAD. REPLACE WITH NEW PERFORATED ALUMINUM SOFTIT PANELS. PROVIDE ADDITIONAL PROVIDE SAMPLE OF PRODUCT FOR OWNER/ARCHITECT APPROVAL.
- INSTALL NEW 18"x24" SELF-TRIMMING METAL ACCESS PANELS AT EXISTING OPENINGS. MODIFY EX'G OPENING AS REQ'D.
- INSTALL NEW DECORATIVE COVER PLATE OVER EXISTING JUNCTION BOXES. PAINT WHITE.
- REMOVE AND REINSTALL EX'G SIGN SO THAT TEXT IS IN TWO LINES.
- REMOVE AND REINSTALL EX'G SIGN SO THAT TEXT IS IN ONE LINE.
- REMOVE EX'G BRICK BASES AND WOOD TRIM FROM COLUMNS. WRAP EX'G COLUMNS WITH NEW MATERIALS PER DETAILS (9/10/09.1). PAINT WOOD ENCLOSURES (P1).
- REMOVE EXISTING PLYWOOD FROM BOTTOM OF BEAM. REPLACE WITH NEW CEMENT FIBER BOARD TO FIT OVER BOTTOM OF EXISTING BEAM, PAINT.
- REPAIR CEILING PANEL SUSPENSION SYSTEM IN THIS AREA SO THAT PANELS LIE FLAT.
- REMOVE EXISTING DOORS AND ENCLOSING WALLS.
- REPLACE DAMAGED STUCCO BOARD WITH NEW FIBER CEMENT BOARD, PAINT (P3).
- RE-FASTEN LOOSE CEILING PANELS. INSTALL NEW 1x3 BATTEN BOARDS OVER EX'G PANEL JOINTS ON CEILING. PAINT CEILING AND BATTEN BOARDS (P3).
- REP DOWN NEW 2x CEDAR TRIM BOARD TO MATCH HEIGHT OF SIDING BOARD BEING REPLACE, PAINT (P1). SEE DETAIL 6/A9.1.
- REMOVE EXISTING PLANTER BOXES. SALVAGE AND RETURN LUMBER TO OWNER.
- NEW CIGARETTE URN. PROVIDED AND INSTALLED BY OWNER.
- NEW PLANTER BASKET LOCATION (QTY. 10). PROVIDE SOLID BLOCKING ABOVE SOFTIT PANEL FOR SUSPENSION SYSTEM. REFER TO LANDSCAPE PLANS FOR PLANT MATERIALS.
- REPAIR AND REINSTALL EXISTING DAMAGED LIGHT FIXTURE.
- CUSTOM ALUMINUM CONDUCTOR HEAD. SEE DTL. 11/A9.1.

- KEY NOTES:**
- EX'G CEDAR SHINGLES TO REMAIN.
  - PAINT ALL EX'G WOOD TRIM (P1).
  - PAINT ALL EX'G STUCCO (P3).
  - NEW 1x4 CEDAR TRIM BOARD, PAINT (P1).
  - EX'G METAL COPING, PAINT (P1).
  - EX'G BRICK VENEER TO REMAIN, AS-IS.
  - EX'G BRICK GUTTER (P1).
  - PAINT ALL EX'G WOOD SIDING (P2).
  - PAINT ALL EX'G WOOD TRIM (P1).
  - PAINT ALL EX'G GUTTER (P1).
  - NEW CEDAR WRAPPED COLUMN, PAINT (P1). SEE DTL. (4/09.1) FOR CONSTRUCTION DETAILS.
  - NEW LIMESTONE BASE UNDER NEW COLUMNS, TYP.
  - PAINT ALL EX'G WOOD TRIM (P1).
  - NEW 1x4 CEDAR TRIM BOARD, PAINT (P1).
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  - NEW CEDAR WRAPPED COLUMN, PAINT (P1). SEE DTL. (4/09.1) FOR CONSTRUCTION DETAILS.
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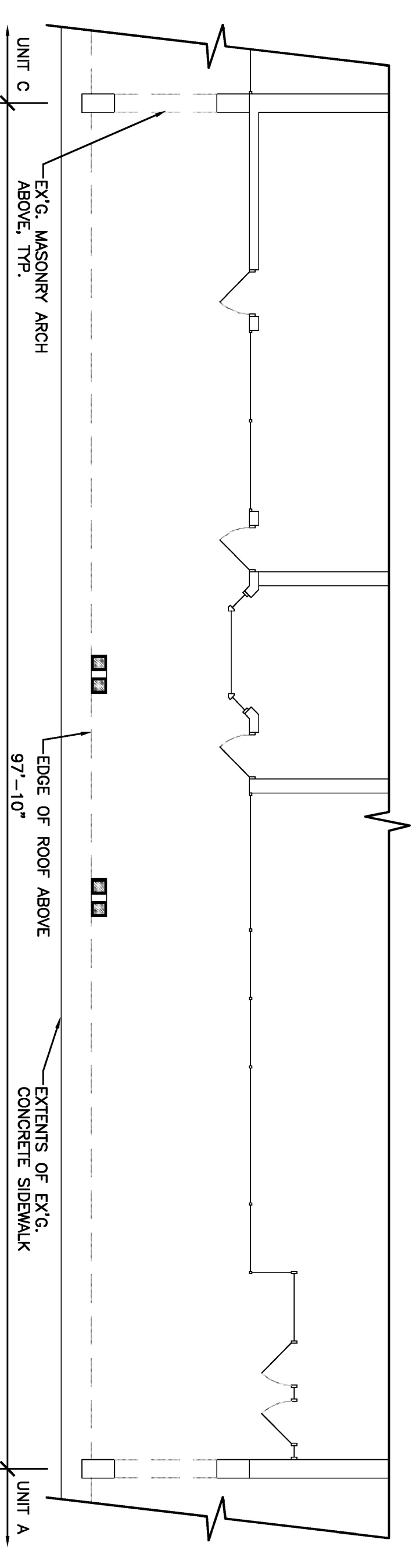
- REPAIR CEILING PANEL SUSPENSION SYSTEM IN THIS AREA SO THAT PANELS LIE FLAT.
- REMOVE EXISTING DOORS AND ENCLOSING WALLS.
- REPLACE DAMAGED STUCCO BOARD WITH NEW FIBER CEMENT BOARD, PAINT (P3).
- RE-FASTEN LOOSE CEILING PANELS. INSTALL NEW 1x3 BATTEN BOARDS OVER EX'G PANEL JOINTS ON CEILING. PAINT CEILING AND BATTEN BOARDS (P3).
- REP DOWN NEW 2x CEDAR TRIM BOARD TO MATCH HEIGHT OF SIDING BOARD BEING REPLACE, PAINT (P1). SEE DETAIL 6/A9.1.
- REMOVE EXISTING PLANTER BOXES. SALVAGE AND RETURN LUMBER TO OWNER.
- NEW CIGARETTE URN. PROVIDED AND INSTALLED BY OWNER.
- NEW PLANTER BASKET LOCATION (QTY. 10). PROVIDE SOLID BLOCKING ABOVE SOFTIT PANEL FOR SUSPENSION SYSTEM. REFER TO LANDSCAPE PLANS FOR PLANT MATERIALS.
- REPAIR AND REINSTALL EXISTING DAMAGED LIGHT FIXTURE.
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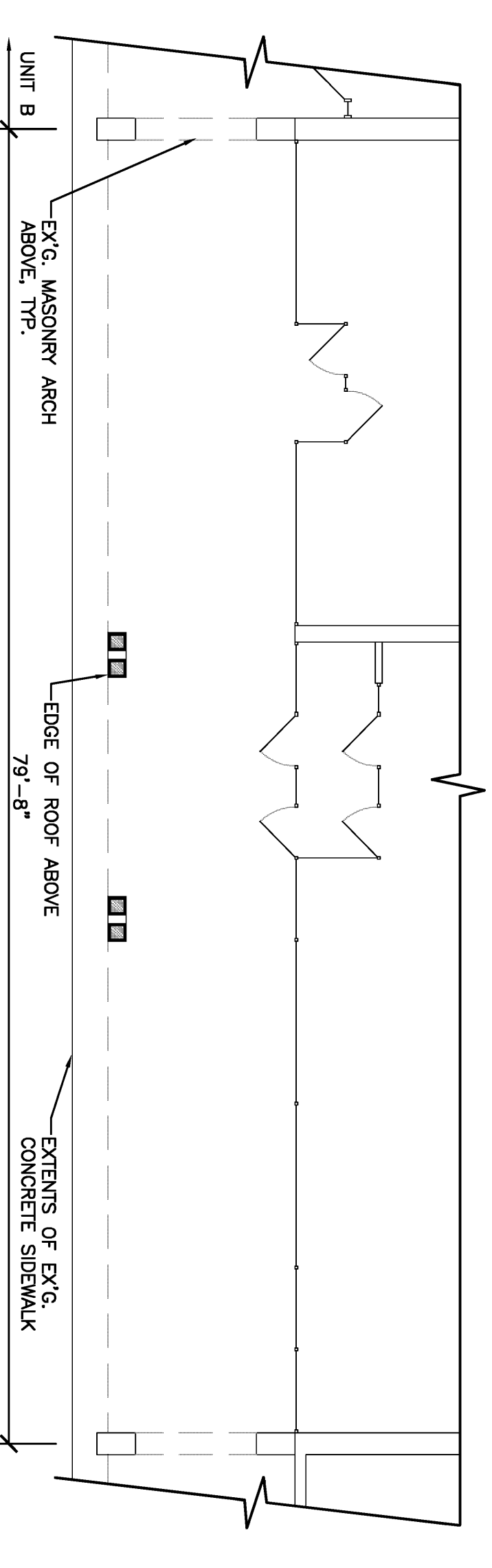
UNIT 'B' ELEVATION  
 A1.1 SCALE: 1/8" = 1'-0"



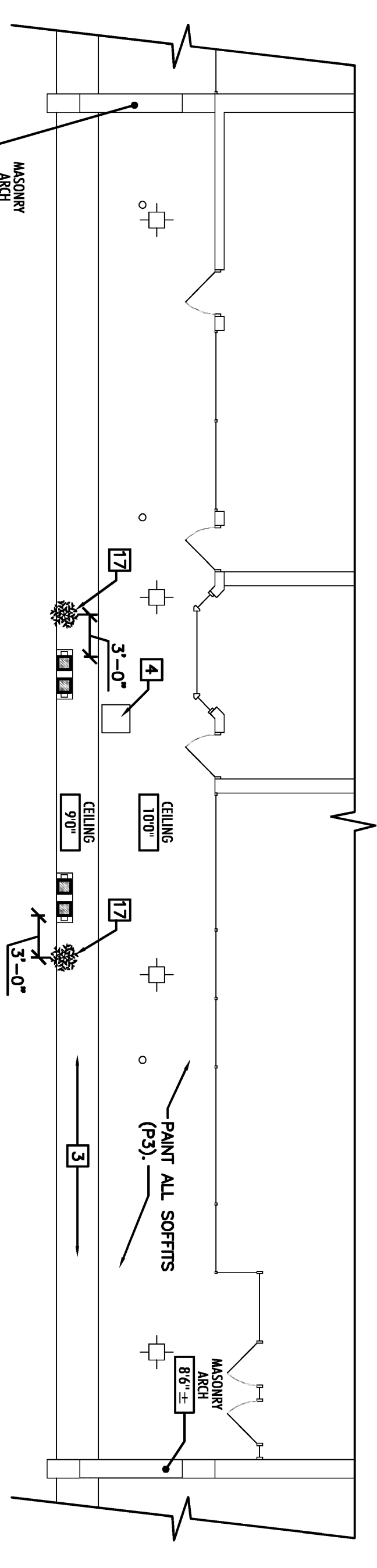
UNIT 'A' ELEVATION  
 A1.1 SCALE: 1/8" = 1'-0"



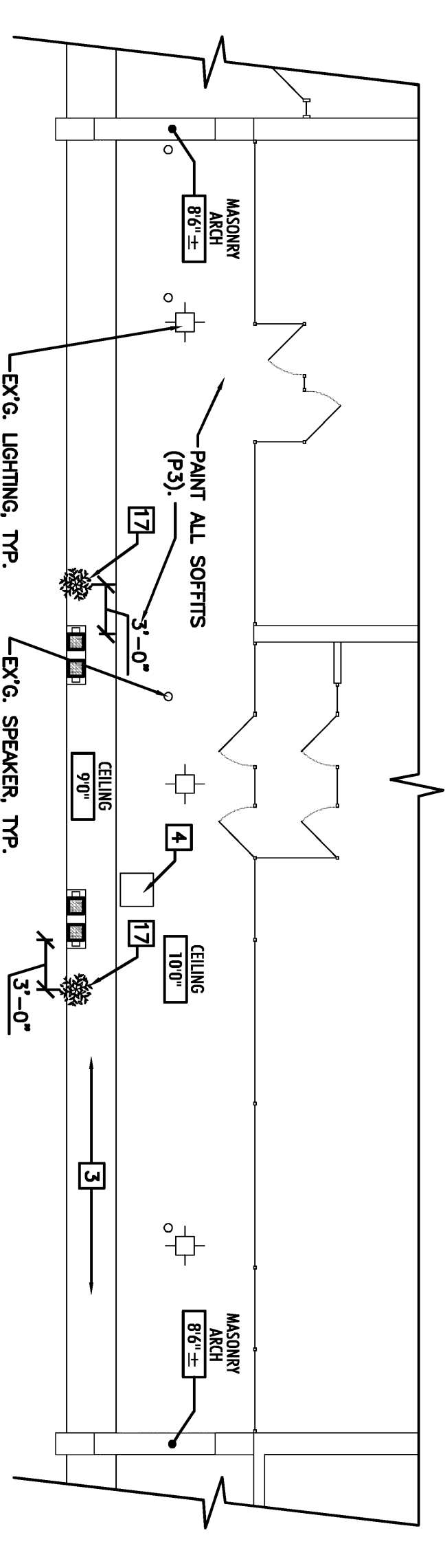
UNIT 'B' PLAN  
 A1.1 SCALE: 1/8" = 1'-0"



UNIT 'A' PLAN  
 A1.1 SCALE: 1/8" = 1'-0"



UNIT 'B' REFLECTED CEILING PLAN  
 A1.1 SCALE: 1/8" = 1'-0"



UNIT 'A' REFLECTED CEILING PLAN  
 A1.1 SCALE: 1/8" = 1'-0"

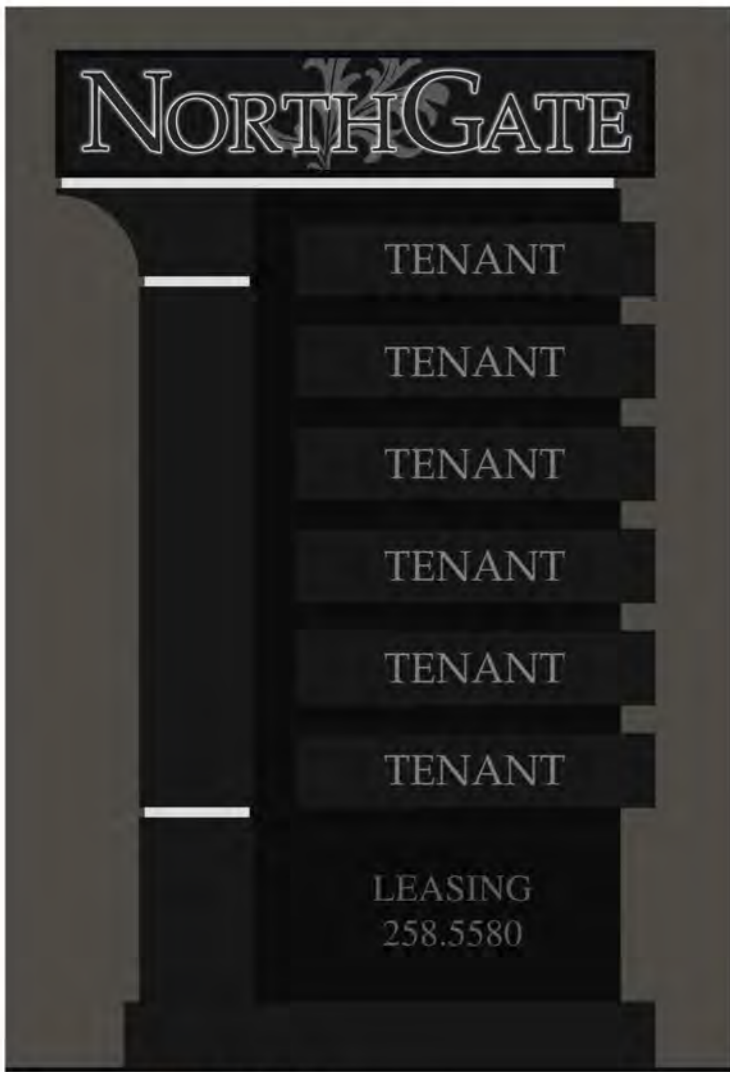
**UDC**  
**SUBMITTAL**  
 10-6-2008

08-27-08 UDC SUBMITTAL  
 10-06-08 UDC SUBMITTAL

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PLANS & ELEVATIONS	

**A1.1**

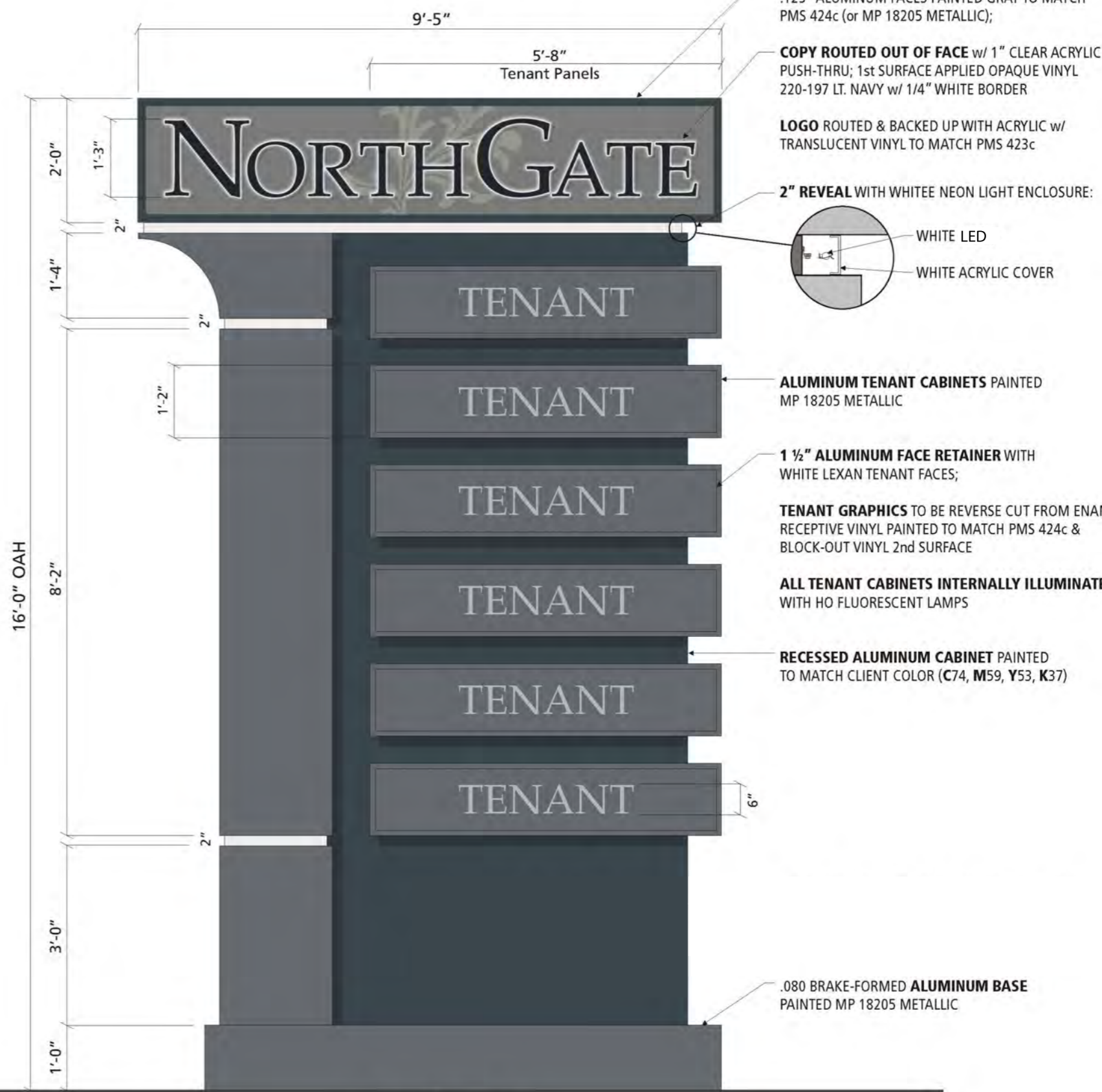




NIGHT VIEW - NTS



SIDE ELEVATION  
Scale: 1/2"=1'-0"



FRONT ELEVATION  
Scale: 1/2"=1'-0"

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