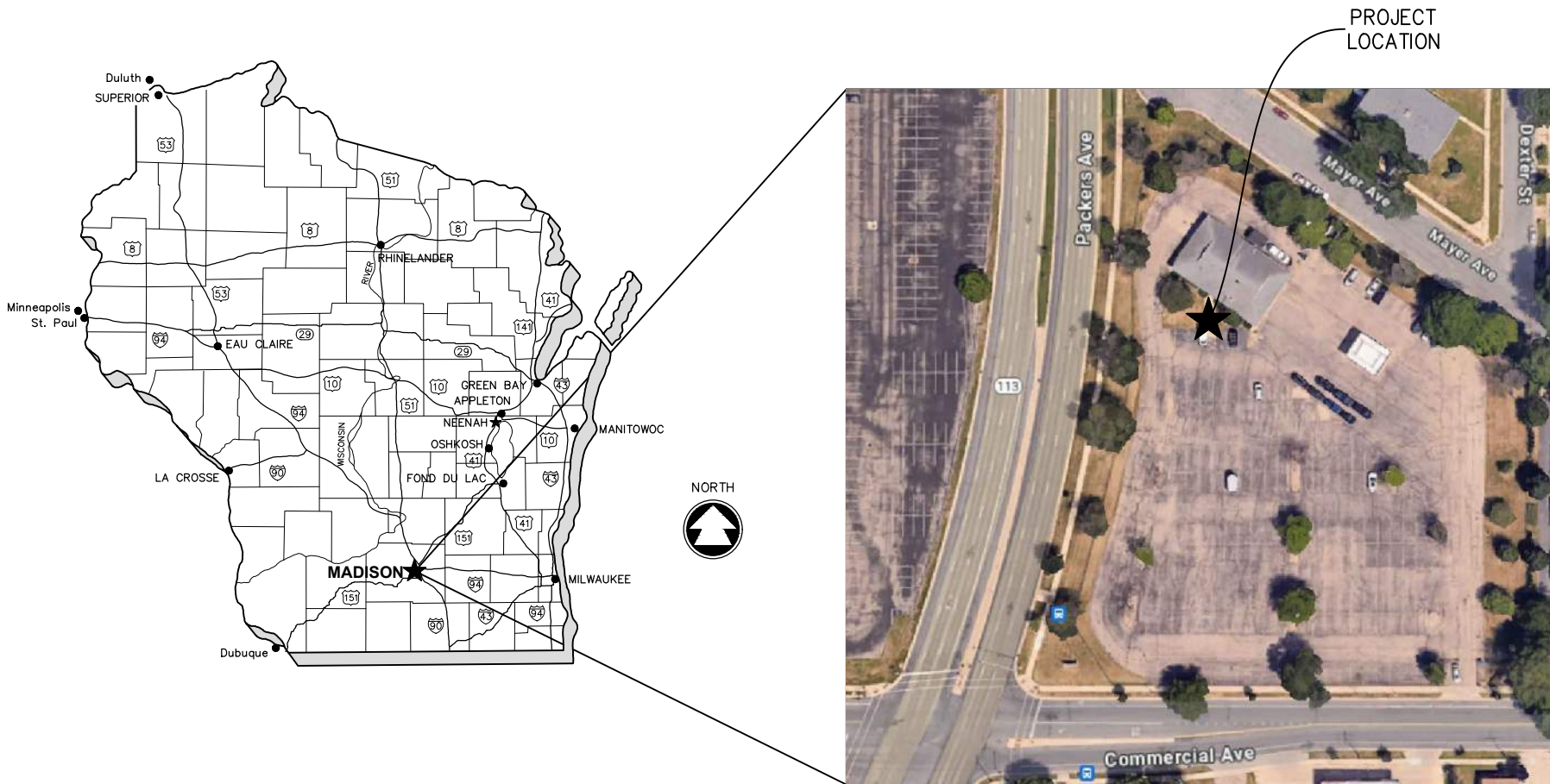


ENTERPRISE RENT-A-CAR CITY OF MADISON

DANE COUNTY, WISCONSIN
MCM # A0614-09-24-00264



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CONTACT INFORMATION

OWNER CONTACT

ENTERPRISE RENT-A-CAR
ADAM ROSQUIST
S17W22650 LINCOLN AVE
WAUKESHA, WI 53186
(262) 989-8027
ADAM.ROSQUIST@EHI.COM

GENERAL CONTRACTOR

ALLIANCE CONSTRUCTION & DESIGN
RON GROTH
1050 BROADWAY ST
WRIGHTSTOWN, WI 54180
(920) 226-8095
RON.GROTH@ALLIANCEBUILDS.COM

DESIGN CONTACT

McMAHON ASSOCIATES, INC.
SHAWN JANDREY, P.E.
1445 McMAHON DRIVE
NEENAH, WI 54956
(920) 751-4200
SJANDREY@MCMGRP.COM



Dial 811 or (800) 242-8511
www.DiggersHotline.com

McMAHON
ENGINEERS ARCHITECTS

McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025
PH 920.751.4200 FX 920.751.4284 MCMGRP.COM

DATE
APRIL, 2024
PROJECT NO.
A0614-09-24-00264

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STANDARD ABBREVIATIONS

AC	ACRE	LT	LEFT
AGG	AGGREGATE	LVC	LENGTH OF VERTICAL CURVE
AH	AHEAD	MAINT	MAINTENANCE
ASPH	ASPHALT PAVEMENT	MAT'L	MATERIAL
AVG	AVERAGE	MAX	MAXIMUM
B-B	BACK TO BACK	MIN	MINIMUM
BEG	BEGIN	MH	MANHOLE
BIT	BITUMINOUS	MP	MILE POST
BK	BACK	NB	NORTHBOUND
B/L	BASE LINE	NO	NUMBER
BLDG	BUILDING	NOR	NORMAL
BM	BENCH MARK	OD	OUTSIDE DIAMETER
BOC	BACK OF CURB	OBLIT	OBLITERATE
BRG	BEARING	PAVT	PAVEMENT
C-C	CENTER TO CENTER	PC	POINT OF CURVATURE
CY	CUBIC YARD	PCC	PORTLAND CEMENT CONCRETE OR POINT OF COMPOUND CURVATURE
C&G	CURB AND GUTTER	PE	PRIVATE ENTRANCE
CB	CATCH BASIN	PED	PEDESTAL
CE	COMMERCIAL ENTRANCE	PGL	PROFILE GRADE LINE
CHD	CHORD	PI	POINT OF INTERSECTION
C/L	CENTER LINE	P/L	PROPERTY LINE
CL	CLASS (FOR CONC PIPE)	PLE	PERMANENT LIMITED EASEMENT
CMP	CORRUGATED METAL PIPE	PP	POWER POLE
CO	CLEAN OUT	PRC	POINT OF REVERSE CURVATURE
CONC	CONCRETE	PROP	PROPOSED
CORR	CORRUGATED	PSD	PASSING SIGHT DISTANCE
CP	CONTROL POINT	PSI	POUNDS PER SQUARE INCH
CR	CRUSHED	PT	POINT OF TANGENCY
CS	CURB STOP	PVC	POLYVINYL CHLORIDE OR POINT OF VERTICAL CURVATURE
CSW	CONCRETE SIDEWALK	PVI	POINT OF VERTICAL INTERSECTION
CTH	COUNTY TRUNK HIGHWAY	PVT	POINT OF VERTICAL TANGENCY
CULV	CULVERT	R	RADIUS
D	DEPTH OR DELTA	RCP	REINFORCED CONCRETE PIPE
DI	DUCTILE IRON	RD	ROAD
DIA	DIAMETER	REBAR	REINFORCEMENT ROD
DIS	DISCHARGE	REM	REMOVE
EA	EACH	RECON	RECONSTRUCT
EB	EASTBOUND	REQ'D	REQUIRED
EBS	EXCAVATION BELOW SUBGRADE	R/L	REFERENCE LINE
EG	EDGE OF GRAVEL	RP	RADIUS POINT
ELEV	ELEVATION	RR	RAILROAD
ELEC	ELECTRIC	RT	RIGHT
EMB	EMBANKMENT	R/W	RIGHT-OF-WAY
EMAT	EROSION MAT	SB	SOUTHBOUND
ENT	ENTRANCE	SE	SUPERELEVATION
EOR	END OF RADIUS	SF	SQUARE FEET
EP	EDGE OF PAVEMENT	SI	SLOPE INTERCEPT
EXC	EXCAVATION	STH	STATE TRUNK HIGHWAY
EX	EXISTING	SY	SQUARE YARD
EW	ENDWALL	SALV	SALVAGED
F-F	FACE TO FACE	SAN	SANITARY
FDN	FOUNDATION	SEC	SECTION
FE	FIELD ENTRANCE	SHLDR	SHOULDER
FERT	FERTILIZER	S/L	SURVEY LINE
FG	FINISHED GRADE	SQ	SQUARE
F/L	FLOW LINE	STA	STATION
FT	FOOT	STD	STANDARD
FTG	FOOTING	STM	STORM
GRAV	GRAVEL	SW	SIDEWALK
GN	GRID NORTH	TC	TOP OF CURB
GV	GAS VALVE	TEL	TELEPHONE
HDPE	HIGH DENSITY POLYETHYLENE	TEMP	TEMPORARY
HE	HIGHWAY EASEMENT	TLE	TEMPORARY LIMITED EASEMENT
HMA	HOT MIX ASPHALT	TV	TELEVISION
HP	HIGH POINT	TYP	TYPICAL
HT	HEIGHT	UG	UNDERGROUND
HYD	HYDRANT	USH	U.S. HIGHWAY
ID	INSIDE DIAMETER	VAR	VARIES
IN	INCH	VC	VERTICAL CURVE
INL	INLET	VERT	VERTICAL
INV	INVERT	WB	WESTBOUND
IP	IRON PIPE	WM	WATER MAIN
JCT	JUNCTION	WV	WATER VALVE
LB	POUND		
LF	LINEAR FOOT		
LP	LIGHT POLE		

GENERAL NOTES

- THE UTILITIES SHOWN IN PLAN AND PROFILE ARE INDICATED IN ACCORDANCE WITH AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING ANY PRIVATE UTILITIES, FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITIES SHALL BE NOTIFIED 72 HRS. PRIOR TO EXCAVATION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PROPOSED SITE GRADES BY FIELD CHECKING TWO (2) BENCHMARKS AND A MINIMUM OF ONE (1) SITE FEATURE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY MCMAHON OF ANY VERTICAL DISCREPANCY.
- THE PROPERTY LINES, RIGHT-OF-WAY LINES AND OTHER PROPERTY INFORMATION ON THIS DRAWING WERE DEVELOPED OR OBTAINED AS PART OF THE COUNTY GEOGRAPHIC INFORMATION SYSTEM OR THROUGH THE COUNTY PROPERTY TAX MAPPING FUNCTION. MCMAHON DOES NOT GUARANTEE THIS INFORMATION TO BE CORRECT, CURRENT OR COMPLETE. THE PROPERTY AND RIGHT-OF-WAY INFORMATION ARE INTENDED FOR USE AS A GENERAL REFERENCE AND ARE NOT INTENDED OR SUITABLE FOR SITE-SPECIFIC USES. ANY USE TO THE CONTRARY OF THE ABOVE STATED USES IS THE RESPONSIBILITY OF THE USER AND SUCH USE IS AT THE USER'S OWN RISK.
- NO TREES OR SHRUBS ARE TO BE REMOVED WITHOUT PRIOR APPROVAL FROM THE OWNER.
- A SAWED JOINT IS REQUIRED WHERE NEW HMA PAVEMENT MATCHES EXISTING ASPHALTIC CONCRETE SURFACE.
- ALL CURB RADII SHOWN ON THE PLAN SHEETS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
- DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.

THIS PLAN SET WAS CREATED WITH CIVIL3D 2023. MCMAHON'S "DISCLAIMER FOR TRANSFER OF ELECTRONIC FILES" FORM NEEDS TO BE SIGNED IF A COPY OF THE ELECTRONIC FILES ARE REQUESTED. MCMAHON MAKES NO REPRESENTATION REGARDING THE COMPATIBILITY OF THESE FILES WITH OTHER SOFTWARE, NOR DOES MCMAHON REPRESENT THAT THE FILES WILL CONVERT TO OTHER SOFTWARE WITHOUT ERROR.

STANDARD SYMBOLS (PLAN VIEW ONLY)

	2" IRON PIPE FOUND		TELEPHONE CABLE - BURIED
	1 1/4" REBAR FOUND		ELECTRIC CABLE - BURIED
	1 1/4" x 30" IRON REBAR WEIGHING 4.30 LB/LF SET		UTILITIES - OVERHEAD
	1" (1.315 OD) IRON PIPE FOUND		FIBER OPTIC CABLE - BURIED
	1" IRON PIPE SET		GAS MAIN
	3/4" IRON REBAR FOUND		CABLE TELEVISION - BURIED
	3/4" IRON PIPE FOUND		DITCH LINE
	3/4" x 24" IRON REBAR WEIGHING 1.5 LB/LF SET		STREET C/L OR R/L
	MAG NAIL FOUND		PROPERTY LINE
	MAG NAIL SET		RIGHT-OF-WAY LINE
	MAG SPIKE FOUND		SECTION LINE
	MAG SPIKE SET		EXISTING CONTOURS
	CHISEL CROSS FOUND		PROPOSED CONTOURS
	CHISEL CROSS SET		EXISTING FORCEMAIN SEWER
	COUNTY MONUMENT		EXISTING SANITARY SEWER
	CONCRETE MONUMENT FOUND		PROPOSED SANITARY SEWER
	CONTROL POINT HORIZONTAL		EXISTING WATER MAIN
	VERTICAL BENCHMARK		PROPOSED WATER MAIN
	SOIL BORING OR MONITORING WELL		EXISTING STORM SEWER
	POWER POLE		PROPOSED STORM SEWER
	POWER POLE W/GUY WIRE		EXISTING CURB & GUTTER
	MAILBOX		PROPOSED REJECT CURB & GUTTER
	SIGN		EXISTING CULVERT WITH END SECTIONS
	RAILROAD CROSS BUCK		PROPOSED CULVERT WITH END SECTIONS
	RAILROAD GATE ARM		BUILDING OUTLINE
	RAILROAD TRACKS		FENCE LINE
	LIGHT POLE		SAW CUT REQ'D
	WOOD POLE		PERIMETER CONTROL
	TRAFFIC SIGNAL		GUARD RAIL
	TRAFFIC SIGNAL MAST ARM		DITCH CHECK
	CONIFEROUS TREE		INLET PROTECTION
	DECIDUOUS TREE		TRUCKING PAD
	TREE OR BRUSH LINE		TURBIDITY BARRIER OR SHEET PILING
	BED ROCK (IN PROFILE VIEW)		SANDBAG COFFERDAM
	HANDICAPPED PARKING STALL		SLOPE INTERCEPT
	EXISTING SPOT ELEVATION		LIMITS OF DISTURBANCE
	PROPOSED SPOT ELEVATION		ASPHALT PAVEMENT
	DRAINAGE HIGH POINT		CONCRETE SIDEWALK/DRIVEWAY
	DRAINAGE DIRECTION		GRAVEL
	EXISTING MANHOLE		RIP-RAP (SIZE AS SPECIFIED)
	PROPOSED MANHOLE		PROPOSED EROSION MAT
	EXISTING INLET		
	PROPOSED INLET		
	EXISTING YARD DRAIN		
	PROPOSED YARD DRAIN		
	EXISTING CLEAN OUT		
	PROPOSED CLEAN OUT		
	EXISTING DOWNSPOUT		
	PROPOSED DOWNSPOUT		
	EXISTING WATER VALVE		
	PROPOSED WATER VALVE		
	EXISTING CURB STOP		
	PROPOSED CURB STOP		
	EXISTING FIRE HYDRANT		
	PROPOSED FIRE HYDRANT		
	PROPOSED WATER FITTING		
	PROPOSED WATER REDUCER		
	PROPOSED ENDCAP		
	GAS VALVE		

EROSION & SEDIMENT CONTROL PLAN

BEST MANAGEMENT PRACTICES:

THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING, INSTALLING, MAINTAINING AND REMOVING BEST MANAGEMENT PRACTICES IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) TECHNICAL STANDARDS. THESE STANDARDS MAY BE FOUND ON THE DNR WEBSITE AT <http://www.dnr.wi.gov/dunoff/stormwater/techstds.htm>. RIP-RAP SHALL BE IN ACCORDANCE WITH SECTION 606, WS-DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, UNTIL TECHNICAL STANDARD 1065 IS COMPLETED BY THE DNR. THE MINIMUM BEST MANAGEMENT PRACTICES SPECIFIED FOR THIS PROJECT ARE AS FOLLOWS:

- | | |
|---|---|
| <input type="checkbox"/> LAND APPLICATION OF ADDITIVES (1050) | <input type="checkbox"/> DE-WATERING (1061) |
| <input type="checkbox"/> WATER APPLICATION OF ADDITIVES (1051) | <input type="checkbox"/> DITCH CHECK (1062) |
| <input type="checkbox"/> NON-CHANNEL EROSION MAT (1052) | <input type="checkbox"/> SEDIMENT TRAP (1063) |
| <input type="checkbox"/> CHANNEL EROSION MAT (1053) | <input type="checkbox"/> SEDIMENT BASIN (1064) |
| <input type="checkbox"/> VEGETATIVE BUFFER (1054) | <input type="checkbox"/> RIP-RAP (1065) |
| <input type="checkbox"/> SEDIMENT BALE BARRIER (1055) | <input type="checkbox"/> CONSTRUCTION DIVERSION (1066) |
| <input type="checkbox"/> PERIMETER SEDIMENT CONTROL (1056) | <input type="checkbox"/> TEMPORARY GRADING PRACTICES (1067) |
| <input type="checkbox"/> TRACKOUT CONTROL (1057) | <input checked="" type="checkbox"/> DUST CONTROL (1068) |
| <input checked="" type="checkbox"/> MULCHING (1058) | <input type="checkbox"/> TURBIDITY BARRIER (1069) |
| <input checked="" type="checkbox"/> SEEDING (1059) | <input type="checkbox"/> SILT CURTAIN (1070) |
| <input checked="" type="checkbox"/> STORM DRAIN INLET PROTECTION (1060) | <input type="checkbox"/> HORIZONTAL DIRECTIONAL DRILLING (1072) |

THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES AND IMPLEMENT BEST MANAGEMENT PRACTICES TO PREVENT OR REDUCE ALL OF THE FOLLOWING IN RUNOFF:

- DEPOSITION OR TRACKING OF SOIL ONTO STREETS BY VEHICLES.
- DISCHARGE OF SEDIMENT INTO STORM WATER INLETS.
- DISCHARGE OF SEDIMENT INTO ADJACENT STREAMS, RIVERS, LAKES AND WETLANDS.
- DISCHARGE OF SEDIMENT FROM DITCHES AND STORM SEWERS THAT FLOW OFFSITE.
- DISCHARGE OF SEDIMENT FROM DEWATERING ACTIVITIES.
- DISCHARGE OF SEDIMENT FROM SOIL STOCKPILES EXISTING FOR 7 DAYS OR MORE.
- DISCHARGE OF SEDIMENT FROM EROSION OUTLET FLOWS.
- DISCHARGE OF CHEMICALS, CEMENT AND BUILDING MATERIALS.
- DISCHARGE OF UNTREATED VEHICLE AND WHEEL WASH WATER.

THE CONTRACTOR SHALL IMPLEMENT THE FOLLOWING PREVENTATIVE MEASURES:

- PRESERVE EXISTING VEGETATION WHENEVER POSSIBLE.
- MINIMIZE SOIL COMPACTION AND PRESERVE TOPSOIL.
- MINIMIZE LAND DISTURBANCES ON SLOPES OF 20% OR MORE.
- MINIMIZE THE AMOUNT OF SOIL EXPOSED AT ANY ONE TIME.
- DIVERT CLEAR WATER AWAY FROM EXPOSED SOILS.
- TEMPORARILY STABILIZE EXPOSED SOILS THAT WILL NOT BE ACTIVE FOR 14 DAYS OR MORE. USE MULCHING, SEEDING, POLYACRYLAMIDE OR GRAVELING TO STABILIZE.
- PERMANENTLY STABILIZE EXPOSED SOILS AS SOON AS POSSIBLE.
- CONTRACTOR SHALL EDUCATE ITS EMPLOYEES AND SUBCONTRACTORS ABOUT PROPER SPILL PREVENTION AND RESPONSE PROCEDURES. IF A SPILL OCCURS, THE CONTRACTOR SHALL EVACUATE THE AREA AND IMMEDIATELY NOTIFY THE LOCAL MUNICIPALITY, FIRE DEPARTMENT OR 911 EMERGENCY SYSTEM. IF NO FIRE, EXPLOSION OR LIFE / HEALTH SAFETY HAZARD EXISTS, THE NEXT STEP IS TO CONTAIN THE SPILL AND PERFORM CLEANUP. USE DRY CLEANUP METHODS, NOT WET.

THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING BEST MANAGEMENT PRACTICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES BY THE END OF THE WORK DAY. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING BEST MANAGEMENT PRACTICES TEMPORARILY REMOVED FOR CONSTRUCTION ACTIVITY AS SOON AS THOSE ACTIVITIES ARE COMPLETED. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND DISPOSING OF TEMPORARY BEST MANAGEMENT PRACTICES AFTER CONSTRUCTION IS COMPLETE AND PERMANENT VEGETATION IS ESTABLISHED.

INSPECTION & MAINTENANCE:

THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING BEST MANAGEMENT PRACTICES WEEKLY, AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. WRITTEN DOCUMENTATION OF EACH INSPECTION SHALL BE KEPT AT THE CONSTRUCTION SITE AND SHALL INCLUDE THE FOLLOWING INFORMATION: DATE, TIME, AND LOCATION OF INSPECTION; NAME OF INDIVIDUAL WHO PERFORMED THE INSPECTION; AN ASSESSMENT OF THE CONDITION OF BEST MANAGEMENT PRACTICES; A DESCRIPTION OF ANY BEST MANAGEMENT PRACTICE IMPLEMENTATION AND MAINTENANCE PERFORMED; AND A DESCRIPTION OF THE PRESENT PHASE OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, REPAIRING, OR REPLACING BEST MANAGEMENT PRACTICES AS NECESSARY WITHIN 24 HOURS OF AN INSPECTION OR NOTIFICATION. THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING, MAINTAINING, REPAIRING, OR REPLACING BEST MANAGEMENT PRACTICES UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY IS COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER IS ESTABLISHED WITH A DENSITY OF AT LEAST 70%.

THE CONTRACTOR IS RESPONSIBLE FOR POSTING THE PERMIT IN A CONSPICUOUS LOCATION ON THE CONSTRUCTION SITE. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING A COPY OF THE APPROVED REPORTS, PLANS, AMENDMENTS, INSPECTION REPORTS, AND PERMITS AT THE CONSTRUCTION SITE AT ALL TIMES UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY IS COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER IS ESTABLISHED WITH A DENSITY OF AT LEAST 70%. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE OWNER WHEN THE VEGETATIVE DENSITY REACHES AT LEAST 70%. THE OWNER IS RESPONSIBLE FOR TERMINATING DNR PERMIT COVERAGE.

AMENDMENTS:

THE CONTRACTOR IS RESPONSIBLE FOR AMENDING THE EROSION & SEDIMENT CONTROL PLAN IF: THERE IS A CHANGE IN CONSTRUCTION, OPERATION OR MAINTENANCE AT THE SITE WHICH HAS THE REASONABLE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS; THE ACTIONS REQUIRED BY THE PLAN FAIL TO REDUCE THE IMPACTS OF POLLUTANTS CARRIED BY CONSTRUCTION SITE RUNOFF; OR IF THE DNR NOTIFIES THE APPLICANT OF CHANGES NEEDED IN THE PLAN. THE DNR AND OWNER SHALL BE NOTIFIED 5 WORKING DAYS PRIOR TO MAKING CHANGES TO THE PLAN.



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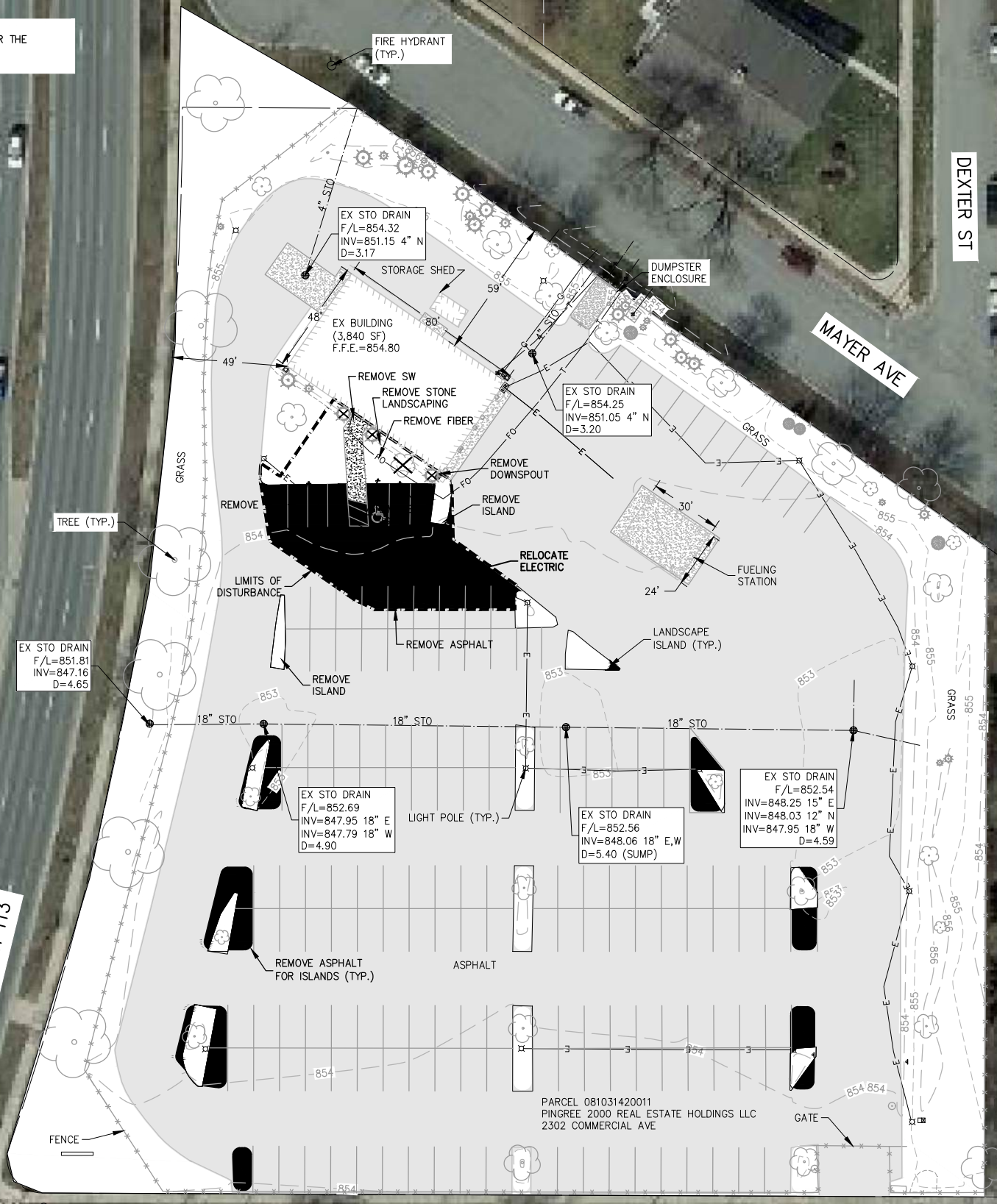
NO.	DATE	REVISION

**ENTERPRISE RENT-A-CAR
CITY OF MADISON, DANE CO., WI
ABBREVIATIONS, SYMBOLS & NOTES**

DESIGNED SMJ	DRAWN SMJ
PROJECT NO. A0614-09-24-00264	
DATE APRIL, 2024	
SHEET NO. 1	

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EXISTING SITE & DEMOLITION NOTES:
 1) EXISTING FIBER OPTIC AND ELECTRIC LINES TO BE REMOVED AND/OR RELOCATED FOR THE PROPOSED BUILDING. WORK SHALL BE COORDINATED BY THE GENERAL CONTRACTOR.
 2) NO LIGHT POLES OR FIXTURES SHALL BE MODIFIED FOR THIS PROJECT.



PACKERS AVE/STH 113

DEXTER ST

MAYER AVE

COMMERCIAL AVE

PARCEL 081031423122
 BUIE, CARRIE R & DON K BRAXTON
 2448COMMERCIAL AVE

PARCEL 081031420011
 PINGREE 2000 REAL ESTATE HOLDINGS LLC
 2302 COMMERCIAL AVE

McMAHON
 ENGINEERS ARCHITECTS
 McMAHON ASSOCIATES, INC.
 1445 McMAHON DRIVE WEEHAW, WI 53096
 Mailing: P.O. BOX 1025 WEEHAW, WI 53097-1025
 PH 920.751.4200 FX 920.751.4284 MCINGR-0001

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NO.	DATE	REVISION

ENTERPRISE RENT-A-CAR
CITY OF MADISON, DANE CO., WI
EXISTING SITE & DEMOLITION PLAN

DESIGNED SMJ	DRAWN SMJ
PROJECT NO. A0614-09-24-00264	
DATE APRIL, 2024	
SHEET NO.	

3

CITY OF MADISON NOTES:

28.142(4)(g)

FIVE (5) LANDSCAPE POINTS SHALL BE PROVIDED FOR EACH THREE HUNDRED (300) SQ. FT. OF DEVELOPED AREA

REQUIRED:

THERE IS APPROX. 105,916 SQ FT OF DEVELOPED AREA, EXCLUDING THE BUILDING FOOTPRINT.

$105,916 \text{ SQ FT} / 300 \text{ SQ FT} = 353.5 * 5 = 1,761.5 \text{ POINTS REQUIRED}$

PROVIDED: SEE PLANTING SCHEDULE AND WORKSHEET

28.142(4)(e)

PLANTING BEDS MUST HAVE AT LEAST SEVENTY-FIVE PERCENT (75%) VEGETATIVE COVER MULCHED

PROVIDED: ALL BEDS CONTAIN AT LEAST 75% VEGETATIVE COVERAGE

28.142(4)(f)

IF THE DEVELOPMENT SITE HAS BETWEEN FIVE (5) AND FIFTY (50) CANOPY TREES, NO SINGLE SPECIES MAY COMPRISE MORE THAN THIRTY-THREE PERCENT (33%) OF TREES.

PROVIDED: SEE PLANTING SCHEDULE

28.142(5): DEVELOPMENT FRONTAGE LANDSCAPING

ONE (1) OVERSTORY TREE AND FIVE (5) SHRUBS SHALL BE PLANTED FOR EACH THIRTY (30) LINEAL FEET OF LOT FRONTAGE.

• PACKER AVE

REQUIRED:

THERE IS APPROXIMATELY 470 LINEAL FEET OF FRONTAGE

$470 \text{ FEET} / 30 \text{ FEET} = 15.67 = (16) \text{ TREES REQUIRED}$
 $15.67 * 5 = (78) \text{ SHRUBS REQUIRED}$

PROVIDED:

- (6) EXISTING OVERSTORY TREES ARE PROVIDED
- (8) NEW OVERSTORY TREES ARE PROVIDED
- (4) NEW ORNAMENTAL TREES ARE PROVIDED (EQUIVALENT TO (2) OVERSTORY TREES)
- (78) NEW SHRUBS ARE PROVIDED

A TOTAL OF (14) OVERSTORY TREES, (4) ORNAMENTAL TREES AND (78) ARE PROVIDED

• MAYER AVE

REQUIRED:

THERE IS APPROXIMATELY 401 LINEAL FEET OF FRONTAGE

$352 \text{ FEET} / 30 \text{ FEET} = 11.7 = (12) \text{ TREES REQUIRED}$
 $11.7 * 5 = (59) \text{ SHRUBS REQUIRED}$

PROVIDED:

- (5) EXISTING OVERSTORY TREES ARE PROVIDED
- (4) EXISTING EVERGREEN TREES ARE PROVIDED (EQUIVALENT TO (2) OVERSTORY TREES)
- (2) EXISTING ORNAMENTAL TREES ARE PROVIDED (EQUIVALENT TO (1) OVERSTORY TREE)
- (19) EXISTING SHRUBS ARE PROVIDED
- (4) NEW OVERSTORY TREES ARE PROVIDED
- (45) NEW SHRUBS ARE PROVIDED

A TOTAL OF (9) OVERSTORY TREES, (4) EVERGREEN TREES, (2) ORNAMENTAL TREES AND (59) SHRUBS ARE PROVIDED

• COMMERCIAL AVE

LANDSCAPING IS OMITTED DUE TO PAVEMENT CONSTRAINTS.

28.142(5)(d): DEVELOPMENT FRONTAGE LANDSCAPING – FENCING

THE EXISTING CHAIN LINK FENCE WAS PREVIOUSLY MODIFIED TO BRING IT INTO COMPLIANCE BASED ON INSTRUCTIONS FROM CITY STAFF.

CITY OF MADISON NOTES:

28.142(6)(a) & (b): INTERIOR PARKING LOT LANDSCAPING

FOR CHANGES TO A DEVELOPED SITE, A MINIMUM OF FIVE PERCENT (5%) OF THE ASPHALT OR CONCRETE AREA SHALL BE INTERIOR PLANTING ISLANDS, PENINSULAS, OR LANDSCAPE STRIPS

REQUIRED:

THERE IS 85,925 SQ FT OF ASPHALT PARKING LOT

$85,925 \text{ SQ FT} * 0.05 = 4,296 \text{ SQ FT OF ISLANDS REQUIRED}$

PROVIDED:

4,312 SQ FT (5.02%) OF ISLANDS PROVIDED

AT LEAST (1) DECIDUOUS CANOPY TREE FOR EVERY ONE HUNDRED SIXTY (160) SQ FT OF REQUIRED LANDSCAPED AREA.

REQUIRED:

THERE IS 4,296 SQ FT OF LANDSCAPED ISLANDS REQUIRED

$4,296 \text{ SQ FT} / 160 = 26.85. 27 \text{ DECIDUOUS CANOPY TREES REQUIRED}$

PROVIDED:

- (5) EXISTING DECIDUOUS CANOPY TREES PROVIDED
- (19) DECIDUOUS CANOPY TREES PROVIDED. DUE TO SIZE AND UTILITY CONSTRAINTS, THIS INCLUDES (1) EXISTING TREE LOCATED AT THE NORTHWEST CORNER OF THE LOT AND (3) NEW TREES ALONG THE PARKING PERIMETER ON NORTH END OF THE LOT.
- (6) ORNAMENTAL TREES PROVIDED (EQUIVALENT OF 3 CANOPY TREES)

A TOTAL OF (24) DECIDUOUS CANOPY TREES AND (6) ORNAMENTAL TREES PROVIDED

28.142(7): FOUNDATION PLANTINGS

FOUNDATION PLANTINGS SHALL BE INSTALLED ALONG BUILDING FACADES, EXCEPT WHERE BUILDING FACADES DIRECTLY ADJUT THE SIDEWALK, PLAZA, OR OTHER HARDSCAPE FEATURES.

PROVIDED:

SHRUBS ARE PROVIDED ALONG THE WEST AND SOUTH SIDES OF THE BUILDING NOT ABUTTING THE PARKING LOT

28.142(8): SCREENING ALONG DISTRICT BOUNDARIES

SCREENING SHALL BE PROVIDED ALONG SIDE AND REAR PROPERTY BOUNDARIES BETWEEN COMMERCIAL, MIXED USE OR INDUSTRIAL DISTRICTS AND RESIDENTIAL DISTRICTS

REQUIRED:

HEDGE WITH YEAR-ROUND FOLIAGE BETWEEN SIX (6) AND EIGHT (8) FEET IN HEIGHT SHALL BE PROVIDED ALONG THE EAST BOUNDARY

PROVIDED:

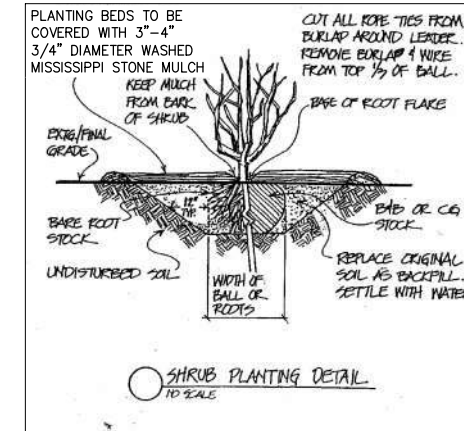
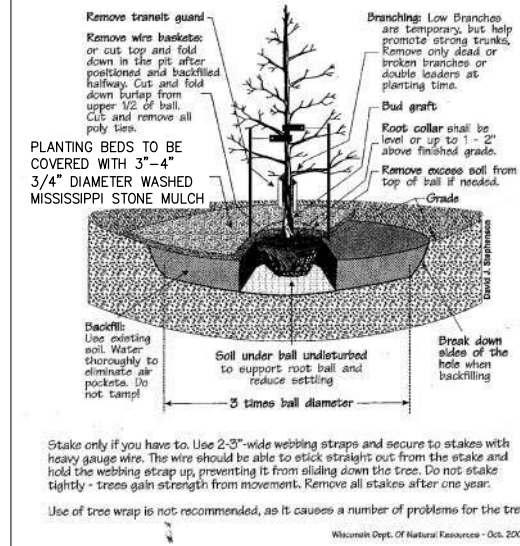
A ROW OF (32) TALL EVERGREEN TREES IS PROVIDED.

28.142(9)(g): SCREENING OF REFUSED DISPOSAL AREAS

REFUSE DISPOSAL AREAS SHALL BE SCREENED ON FOUR (4) SIDES BY A SOLID COMMERCIAL-GRADE WOOD FENCE, WALL, OR EQUIVALENT MATERIAL WITH A MINIMUM HEIGHT OF SIX (6) FEET AND NOT GREATER THAN EIGHT (8) FEET.

PROVIDED: AN EXISTING MASONRY WALL ENCLOSURE IS PROVIDED.

Proper Tree Planting Diagram



s:\projects\A0614\092400264\CADD\Civil\Plan_Sheets\7.2_LANDSCAPE NOTES AND DETAILS.dwg, 7.2_LANDSCAPE NOTES AND DETAILS, Plot Date: 4/29/2024 10:29 AM, xrefstone

McMAHON
 ENGINEERS ARCHITECTS
 1445 McMAHON DRIVE WEEHAW, WI 53096
 Mailing: P.O. BOX 1025 WEEHAW, WI 53097-1025
 PH 920.751.4200 FX 920.751.4284 MCINGRPL.COM

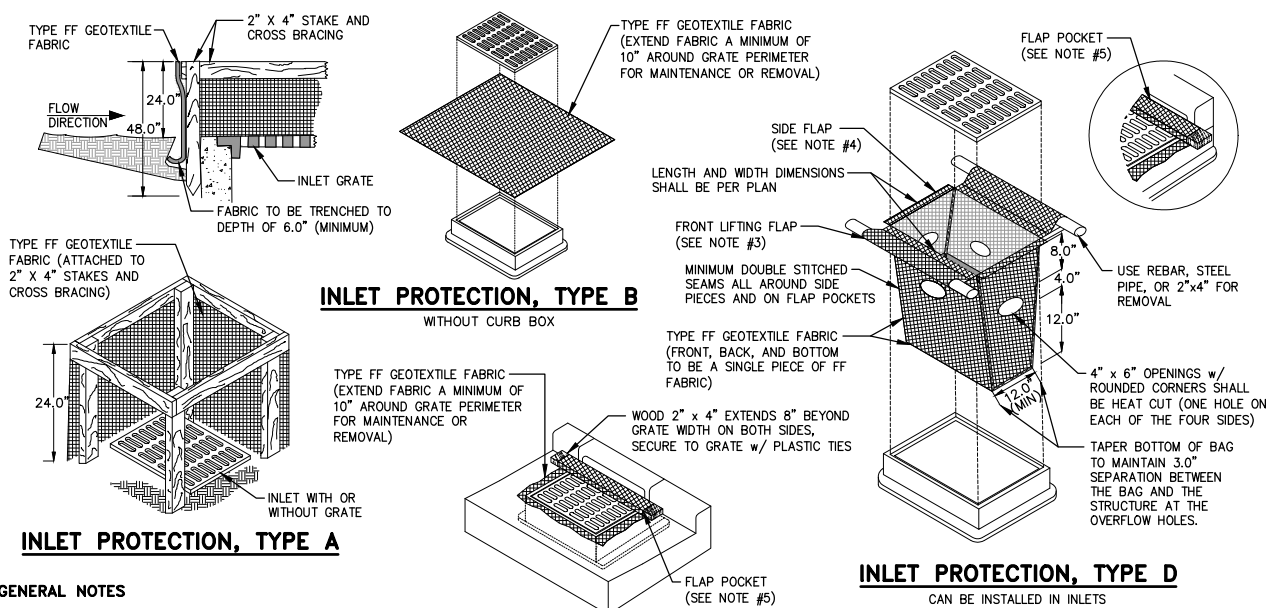
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NO.	DATE	REVISION

ENTERPRISE RENT-A-CAR
 CITY OF MADISON, DANE CO., WI
 LANDSCAPE NOTES & DETAILS

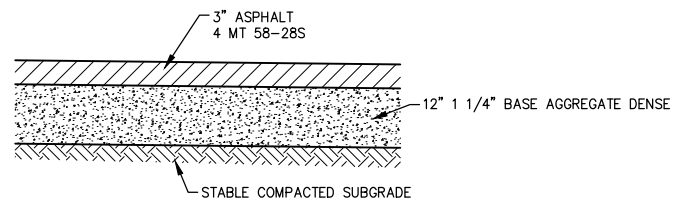
DESIGNED SMJ	DRAWN SMJ
PROJECT NO. A0614-09-24-00264	
DATE APRIL, 2024	
SHEET NO. 7	

s:\projects\A0614\09240026A\CADD\Civil3D\Plan Sheets\0 COVER NOTES DETAILS.dwg, 22x34-misc detail, Plot Date: 4/29/2024 10:29 AM, xrefs: (x-prop info national car rental madison, x-all points national car rental madison, x-exist shade national car rental madison, x-exist topo national car rental madison)

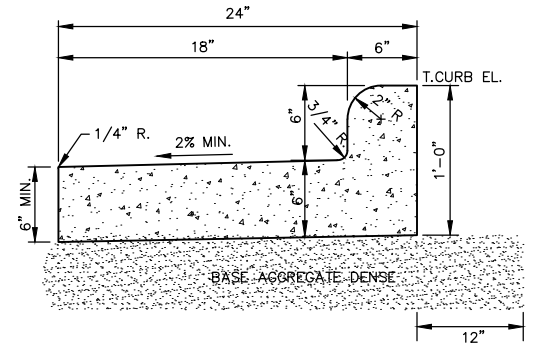


- GENERAL NOTES**
- TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
 - GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG. FRONT, BACK, AND BOTTOM OF FILTER BAG BEING ONE PIECE.
 - FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
 - SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
 - FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" x 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

- MAINTENANCE NOTES**
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.



ASPHALT SECTION



REVERSE SLOPE CURB & GUTTER
(FOR LANDSCAPE ISLANDS)

INLET PROTECTION, TYPE D
CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES

This drawing based on Wisconsin Department of Natural Resources Technical Standard No. 1060.
Revision Date: 08/2014

STORM DRAIN INLET PROTECTION

McMAHON
ENGINEERS & ARCHITECTS
McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE WEEHAW, WI 53096
Mailing: P.O. BOX 1025 WEEHAW, WI 53097-1025
PH 920.751.4200 FX 920.751.4284 MCINGRPLCO01

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NO.	DATE	REVISION

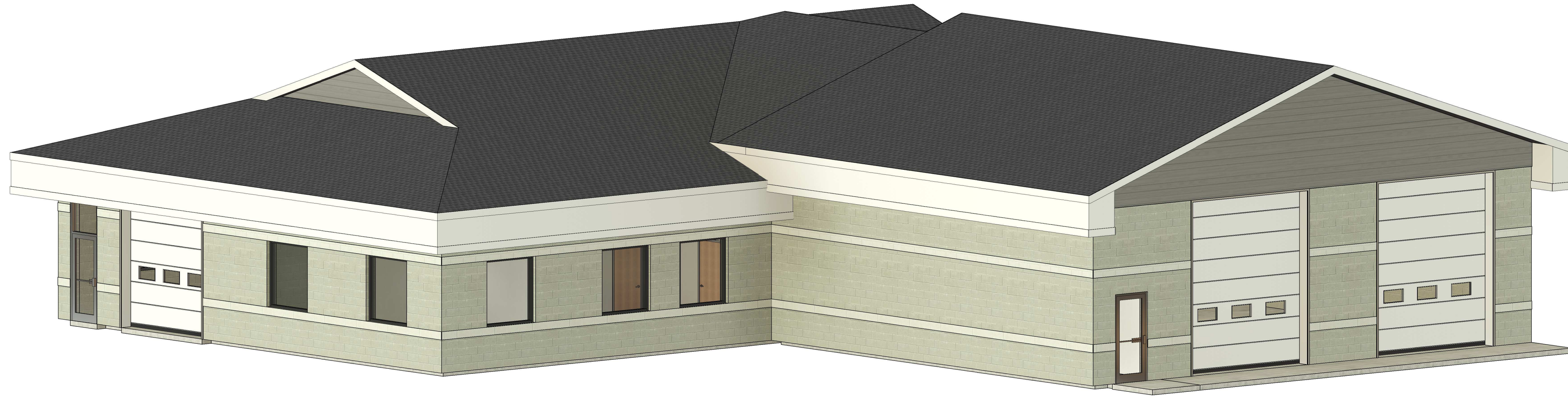
ENTERPRISE RENT-A-CAR
CITY OF MADISON, DANE CO., WI
MISCELLANEOUS DETAILS

DESIGNED SMJ	DRAWN SMJ
PROJECT NO. A0614-09-24-00264	
DATE APRIL, 2024	
SHEET NO.	

ENTERPRISE RENT-A-CAR

PROJECT NUMBER: 23-207

STATUS: APPROVAL



PROFESSIONAL SEAL:

LLOYD CARPENTER ARCHITECT, LLC.

ENTERPRISE RENT-A-CAR

PROJECT NUMBER: 23-207
2302 COMMERCIAL AVENUE
MADISON, WI 53704

THESE RENDERINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE NOT MEANT TO BE AN EXACT DEPICTION OF THE RENDITION SHOWN. ANY RELIANCE ON THESE RENDERINGS SHALL BE AT THE USER'S SOLE RISK. ALLIANCE CONSTRUCTION & DESIGN, INC. IS NOT RESPONSIBLE FOR ANY RELIANCE OR MISUSE OF THESE RENDERINGS AND/OR DAMAGES, CLAIMS, LOSSES OR LIABILITY THAT MAY RESULT.

PROJECT LOCATION	CONTACT INFORMATION		
<p>2302 COMMERCIAL AVENUE MADISON, WI. 53704</p>	OWNER / DEVELOPER CONTACT ENTERPRISE RENT-A-CAR ADAM ROSQUIST S17W22850 LINCOLN AVENUE, WAUKESHA, WI 53186 PHONE: 382.544.8300 CELL: 262.989.8027 FAX: - EMAIL: adam.rosquist@eri.com	GENERAL CONTRACTOR ALLIANCE CONSTRUCTION & DESIGN RON GROTH 1050 BROADWAY ST., WRIGHTSTOWN, WI 54180 PHONE: 920.336.3400 CELL: 920.228.8096 FAX: 920.336.3401 EMAIL: ron.groth@alliancebuilds.com	ARCHITECT OF RECORD LLOYD CARPENTER ARCHITECT, LLC. LLOYD CARPENTER 2663 MAPLE HILLS DRIVE, GREEN BAY, WI 54313 PHONE: 920.434.0753 CELL: 920.655.3829 FAX: 920.434.6333 EMAIL: carp.arch@gmail.com
	MECHANICAL CONTRACTOR AIR TEMPERATURE SYSTEMS, INC. ANNA NORSETTER 5301 VOGES ROAD, MADISON, WI. 53718 PHONE: 608.257.2900 CELL: - FAX: 608.638.6821 EMAIL: anna@airtemperature.com	ELECTRICAL CONTRACTOR WANKOWSKI ELECTRIC LLC MIKE WANKOWSKI 1288 SUMMIT AVENUE, STE 107, OCCONOMOWOC, WI. 53066 PHONE: 414.530.4512 CELL: - FAX: - EMAIL: -	PLUMBING CONTRACTOR RHD PLUMBING, INC. TREVOR VORDERMANN 6474 BLANCHAR'S CROSSING, WINDSOR, WI. 53589 PHONE: 608.872.8923 CELL: 608.931.7809 FAX: - EMAIL: trevor@rhdplumbing.com

SHEET #	SHEET NAME
G000	TITLE SHEET
G010	PROJECT NOTES & SYMBOLS
G020	ACCESSIBILITY REQUIREMENTS
G100	LIFE SAFETY PLANS

SHEET #	SHEET NAME
A050	ARCHITECTURAL SITE PLAN
A051	SITE DETAILS

SHEET #	SHEET NAME
AD100	DEMO PLAN
A110	FLOOR PLAN
A200	ELEVATIONS
A201	ELEVATIONS
A300	BUILDING SECTIONS
A620	SCHEDULES

SHEET #	SHEET NAME
S100	FOUNDATION PLAN
S120	STRUCTURAL FRAMING PLAN

#	STAGE	DATE

STATUS:

APPROVAL

CURRENT AS OF: 5/1/2024 7:42:15 AM

DRAWN BY: BB

SCALE:

TITLE SHEET

G000

ARCHITECTURAL ABBREVIATIONS

A	AMPERES	DR	DOOR	INCL.	"INCLUDE, INCLUSIVE"	R	RADIUS
A.B.	ANCHOR BOLT	E.A.	EXPANSION ANCHOR	INSUL.	INSULATION	R.D.L.	ROOF DRAIN LEADER
A.F.F.	ABOVE FINISHED FLOOR	E.F.	EXHAUST FAN	INT.	INTERIOR	R.D.O.	ROOF DRAIN OVERFLOW
A.F.G.	ABOVE FINISHED GRADE	E.J.	EXPANSION JOINT	J-BOX	JUNCTION BOX	R.O.	ROUGH OPENING
A/C	AIR CONDITIONING	E.N.	END NAILING	JCT	JUNCTION	R.O.W. or RW	RIGHT OF WAY
ABC	AGGREGATE BASE COURSE	E.W.	EACH WAY	JST.	JOIST	REF	REFRIGERATOR
ABS	ACRYLONITRILE-BUTADIENE-STYRENE	EA	EACH	JT.	JOINT	REF.	REFERENCE
ABV.	ABOVE	EL	ELEVATION	K-D	KNOCK DOWN	REINF.	REINFORCED
ACB	ASBESTOS-CEMENT BOARD	ELECT.	"ELECTRIC, ELECTRICAL"	KD	KILN DRIED	REQ'D.	REQUIRED
ACOU.	ACOUSTIC	ELEV.	ELEVATOR	KO	KNOCK OUT	RET.	RETURN
ACT	ACOUSTICAL CEILING TILE	EMC	ELECTRICAL METALLIC CONDUIT	L.E.D.	LIGHT EMITTING DIODE	REV.	REVISION
ADD.	ADDITION or ADDENDUM	EMT	ELECTRICAL METALLIC TUBING	L.FT.	LINEAR FEET	RM	ROOM
AG	ABOVE GRADE	ENT	ELECTRICAL NON-METALLIC TUBING	LAM	LAMINATE	RMV.	REMOVE
AHU	AIR HANDLER UNIT	EQ.	EQUAL	LAT.	LATERAL	S.C.	SOLID CORE
AL. or ALUM.	ALUMINUM	EQUIP.	EQUIPMENT	LAV	LAVATORY	S.D.	SMOKE DETECTOR
ALT.	ALTERNATE	EST.	ESTIMATE	LD.	LEAD	S.O.V.	SHUT OFF VALVE
ANL	ANNEALED	EVAP.	EVAPORATIVE COOLER	LIN.	LINEAR	S/L	SKYLIGHT
ASPH.	ASPHALT	EWC	ELECTRIC DRINKING COOLER	LINO.	LINOLEUM	S/S	STAINLESS STEEL
AVG	AVERAGE	EXC	EXCAVATE	LT.	LIGHT	SC	SELF CLOSING
AWG	AMERICAN WIRE GAUGE	EXH.	EXHAUST	LTG.	LIGHTING	SCHED.	SCHEDULE
\sphericalangle or ANG.	ANGLE	EXIST. or E	EXISTING	LVL	LAMINATED VENEER LUMBER	SECT.	SECTION
B.M.	BENCH MARK	EXT.	EXTERIOR	M.B.	MACHINE BOLT	SES	SERVICE ENTRANCE SECTION
B.N.	BOUNDARY NAILING	F.A.	FIRE ALARM	M.H.	MANHOLE	SH	SHEET
B.O.	BOTTOM OF	F.C.	FAN COIL	M.I.	MALLEABLE IRON	SHTG.	SHEATHING
B.O.F.	BOTTOM OF FOOTING	F.C.O.	FLOOR CLEAN OUT	M.O.	MASONRY OPENING	SIM.	SIMILAR
B.U.	BUILT UP	F.D.	FLOOR DRAIN	MAR.	MARBLE	SPA	SPACE
B/C	BACK OF CURB	F.E.	FIRE EXTINGUISHER	MAS.	MASONRY	SPECS	SPECIFICATIONS
BD.	BOARD	F.N.	FIELD NAILING	MATL	MATERIAL	SPKR.	SPEAKER
BLDG	BUILDING	F.O.	FACE OF	MAX.	MAXIMUM	SQ. FT. or SF	SQUARE FEET
BLK.	BLOCK	F.S.	FLOOR SINK	MECH.	MECHANICAL	SQ. IN.	SQUARE INCHES
BLKG.	BLOCKING	FIG	FIBERGLASS	MED.	MEDIUM	STC	SOUND TRANSMISSION CLASS
BM.	BEAM	FAB.	FABRICATE	MFG.	MANUFACTURING	STD.	STANDARD
BR	BRASS	FACP	FIRE ALARM CONTROL PANEL	MFR.	MANUFACTURER	STL.	STEEL
BRG.	BEARING	FDC	FIRE DEPARTMENT CONNECTION	MIN.	MINIMUM	SUSP.	SUSPENDED
BRZ	BRONZE	FDN.	FOUNDATION	MISC.	MISCELLANEOUS	SW	SWITCH
C.A.P.	CONCRETE ASBESTOS PIPE	FHC	FIRE HOSE CABINET	MOD	MODULAR	SYM	SYMMETRICAL
C.D.	CONSTRUCTION DOCUMENTS	FIN.	FINISH	MTL.	METAL	SYS.	SYSTEM
C.I.P.	CAST IN PLACE	FL	FLOOR	MUL	MULLION	T & G	TONGUE AND GROOVE
C.J.	CONTROL JOINT	FLG.	FLOORING	N.I.C.	NOT IN CONTRACT	T.B.	THROUGH BOLT
C.O.	CLEAN OUT	FLUOR.	FLUORESCENT	N.T.S.	NOT TO SCALE	T.M.B.	TELEPHONE MOUNTING BOARD
C.T.	CERAMIC TILE	FP	FIRE PROOF	NCM	NON-CORROSIIVE METAL	T.O.	TOP OF
CAB	CABINET	FTG.	FOOTING	NFC	NOT FOR CONSTRUCTION	T.O.B.	TOP OF BEAM
CAM.	CAMBER	FURN.	FURNISH	NLR.	NAILER	T.O.C.	TOP OF CURB
CCTV	CLOSED CIRCUIT TELEVISION	G.I.	GALVANIZED IRON	NO.	NUMBER	T.O.F.	TOP OF FOOTING
CEM.	CEMENT	GA.	GAUGE	NO.	NOMINAL	T.O.J.	TOP OF JOIST
CER	CERAMIC	GALV.	GALVANIZED	O.C.	ON CENTER	T.O.M.	TOP OF MASONRY
CFM	CUBIC FEET PER MINUTE	GAR.	GARAGE	O.D.	OUTSIDE DIAMETER	T.O.S.	TOP OF SLAB
CH or \square	CHANNEL	GFCI	GROUND FAULT CIRCUIT INTERRUPTER	O.H.	OVER HANG	T.O.W.	TOP OF WALL
CRT. BKR	CIRCUIT BREAKER	GFI	GROUND FAULT INTERRUPTER	O.I.	ORNAMENTAL IRON	T.S.	TUBE STEEL
CL or \sphericalangle	CENTERLINE	GL	GLASS	O.R.	OUTSIDE RADIUS	T.V.	TELEVISION OUTLET
CLG.	CEILING	GLB	GLUE LAMINATED BEAM	OAI	OUTSIDE AIR INTAKE	TEL.	TELEPHONE
CLKG.	CAULKING	GM	GRADE MARK	OH	OVER HEAD	TH.	THRESHOLD
CLO.	CLOSET	GM	GATE VALVE	OPNG.	OPENING	THD.	THREADED
CLR.	CLEAR	GRC	GALVANIZED RIGID TUBING	OPPO.	OPPOSITE	THK.	THICK
CMU	CONCRETE MASONRY UNIT	GYP.	GYPSUM	P.C.	PRECAST CONCRETE	THRU	THROUGH
CNTRD.	CENTERED	GYP. BD.	GYPSUM BOARD	P.L. or P	PROPERTY LINE	TLT.	TOILET
COL.	COLUMN	H.B.	HOSE BIBB	P.LAM.	PLASTIC LAMINATE	TRANS.	TRANSFORMER
COMB.	COMBINATION	H.C.	HOLLOW CORE	P.O.C.	POINT OF CONNECTION	TYP.	TYPICAL
CONC.	CONCRETE	H.M.	HOLLOW METAL	PERF.	PERFORATED	UNF.	UNFINISHED
CONST.	CONSTRUCTION	HIC	HANDICAPPED	PERP. or \perp	PERPENDICULAR	UR	URINAL
CONT.	CONTINUOUS	HDBD.	HARDBOARD	PH.	PHASE	V.B.	VAPOR BARRIER
CONTR.	CONTRACTOR	HDW.	HARDWARE	PL.	PLASTER	V.I.F.	VERIFY IN FIELD
CU	COPPER	HGT.	HEIGHT	PL. or P	PLATE	VA	VOLT AMPERE
d	PENNY	HOR.	HORIZONTAL	PLAS.	PLASTIC	VCT	VINYL COMPOSITION TILE
D.F.	DRINKING FOUNTAIN	HTR	HEATER	PLUMB.	PLUMBING	VERT.	VERTICAL
D.G.	DECOMPOSED GRANITE	HVAC	"HEATING, VENTILATING & AIR CONDITIONING"	PLYWD.	PLYWOOD	W/C	WATER CLOSET
D.S.	DOWN SPOUT	HW	HOT WATER	PORC.	PORCELAIN	WDW	WINDOW
D/W	DISHWASHER	HYD.	HYDRAULIC	PREFAB.	PREFABRICATED	WCT	WAINSCOT
DBL.	DOUBLE	I.C.	INTERCOM OUTLET	PSF	POUNDS PER SQUARE FOOT	WP	WEATHER PROOF
DEMO	DEMOLITION	I.D.	INSIDE DIAMETER	PSI	POUNDS PER SQUARE INCH	WT.	WEIGHT
DIA. or \varnothing	DIAMETER	I.F.	INSIDE FACE	PTN	PARTITION	W/	WITH
DIAG.	DIAGONAL	ID	IDENTIFICATION	PVC	POLYVINYLCHLORIDE	W/O	WITHOUT
DIM.	DIMENSION	IG	ISOLATED GROUND	PWR.	POWER	WD.	WOOD
DL	DEAD LOAD	IMC	INTERMEDIATE METALLIC CONDUIT	Q.T.	QUARRY TILE	W.I.	WROUGHT IRON
DN.	DOWN	IMPG	IMPREGNATED	QTY.	QUANTITY	YD.	YARD

GENERAL PROJECT NOTES

- CONSTRUCTION OF THIS BUILDING SHALL MEET OR EXCEED ALL APPLICABLE ORDINANCES CODES AND STANDARDS. IN CASE OF CONFLICT, THE MOST STRINGENT SHALL APPLY.
- ALL CONCRETE SHALL BE PLACED IN ACCORDANCE WITH THE CURRENT PUBLICATIONS OF THE PORTLAND CEMENT ASSOCIATION.
- LOCATION, SIZE, & INSTALLATION FOR ALL ANCHORS, SLEEVES, HANGERS, INSERTS, OPENINGS, ETC., SHALL BE COORDINATED WITH ALL OTHER APPLICABLE TRADES.
- REINFORCING STEEL SHALL BE ASTM-615 GRADE 60.
- FABRICATION SHALL BE IN ACCORDANCE WITH CURRENT SPECIFICATIONS OF THE AMERICAN CONCRETE INSTITUTE.
- CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE CONSTRUCTION, AND NOTIFY ARCHITECT & OWNER OF ANY INTERFERENCES.
- CONTRACTORS SHALL PROVIDE ALL BARRICADES, FENCES, SAFETY EQUIPMENT, AND PRECAUTIONS REQUIRED BY ALL CODES OR AGENCIES HAVING JURISDICTION OVER THE PROJECT.
- ALL HEATING EQUIPMENT SHALL BE SEALED COMBUSTION DIRECT VENT. WATER HEATER SHALL BE ELECTRIC. ALL TOILET ROOM FINISHES SHALL BE IMPERVIOUS TO WATER.
- ALL STRUCTURAL LUMBER SHALL BE MINIMUM (6) 90L. ALL HOLES IN TOP PLATES AND ANY VOIDS IN EXTERIOR WALL TO BE CAULKED.
- ALL BATT INSULATION IN EXTERIOR WALLS TO BE SPLIT TO ENVELOPE WIRING.
- EXTERIOR DOORS AND WINDOWS TO BE FOAMED.
- CONFIRM ALL CRITICAL DIMENSIONS w/ DESIGN DEPARTMENT. DO NOT SCALE ON SITE.
- ALL MATERIALS, DETAILS, AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S STANDARDS AND SPECIFICATIONS.

FIRE PROTECTION NOTES

- ALL WALL FRAMING TO HAVE FIRE BLOCKING @ MAX. 10'-0" O.C. VERT. IN ALL STUD CAVITIES.
- PROVIDE FIRE EXTINGUISHERS PER PLAN. PER TABLE 906.3(1) IBC 2015, MAXIMUM DISTANCE OF TRAVEL TO FIRE EXTINGUISHER TO BE 75'-0".
- REFER TO VERTICAL AND HORIZONTAL ASSEMBLY SCHEDULES SHEET FOR RATED ASSEMBLY DETAILS.
- PROVIDE SMOKE/DRAFT-STOPPING IN ENCLOSED ATTIC SPACES WHERE REQUIRED PER IBC 718.3 AND 718.4. PROVIDE INSPECTION ACCESS THROUGH SMOKE BARRIER WITH PROPER SPRING CLOSURE ON ACCESS DOOR.
- ALL SMOKE DETECTORS SHALL BE DIRECTLY AND PERMANENTLY WIRED TO A PROPER UN-SWITCHED CIRCUIT AND BE PROVIDED w/ A POWER SOURCE BACKUP.
- SMOKE DETECTORS SHALL BE LOCATED IN THE UTILITY ROOM AND SHALL BE WIRED TO AN UN-SWITCHED CIRCUIT w/ EMERGENCY BACKUP POWER.

SYMBOLS

	ROUGH LUMBER		ELEVATION
	FINISH LUMBER		TRUE
	STRUCTURAL STEEL (LARGE SCALE SECTION)		NORTH ARROW
	BRICK (PLAN & SECTION)		ROOM SYMBOL EX. ROOM NAME/ROOM #
	CONCRETE MASONRY UNIT (PLAN & SECTION)		108-1 DOOR TAG SEE DOOR SCHEDULE
	POURED-IN-PLACE CONC.		01 WINDOW TAG SEE WINDOW SCHEDULE
	BATT INSULATION		1/200 INTERIOR ELEVATION
	RIGID INSULATION		3/270 DETAIL CALLOUT
	SPRAY FOAM INSULATION		1/250 BUILDING SECTION
	GRASS		1/240 EXTERIOR ELEVATION
	GRANULAR FILL		EXIT EXIT SIGN
	UNDISTURBED SOIL		CL CENTER LINE
	STONE		1 ENTRANCE NOTE
	GYPNUM BOARD		WELD TYPE / APPLICATION
	PLYWOOD (LARGE SCALE)		
	SAND/MORTAR/PLASTER OR CONC. IN PLAN		
	PARTICLE BOARD (LARGE SCALE)		
	EXISTING BUILDING		
	ITEMS / AREAS FOR DEMOLITION		

Alliance CONSTRUCTION & DESIGN

ALLIANCEBUILDS.COM
 PHONE: (920)-336-3400 | FAX: (920)-336-3401
 1950 BROADWAY ST., WRIGHTSTOWN, WI 54180

PROFESSIONAL SEAL:

LLOYD CARPENTER ARCHITECT, LLC.

ENTERPRISE RENT-A-CAR
 PROJECT NUMBER: 23-207
 2302 COMMERCIAL AVENUE
 MADISON, WI 53704

REVISIONS		
#	STAGE	DATE

STATUS:

APPROVAL

CURRENT AS OF: 5/1/2024 7:42:16 AM

DRAWN BY: BB

SCALE: As indicated

PROJECT NOTES & SYMBOLS

G010

P:\23-207 Enterprise Madison Service Center\07 Models\Rev\23-207 Enterprise Madison Addition.rvt

OCCUPANCY SCHEDULE					
ROOM	NAME	AREA	AREA PER OCCUPANT	CLASSIFICATION	OCCUPANT LOAD
ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM					
101	NEW SERVICE BAYS	1449 SF	300 SF	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	5
001	EX. SERVICE BAYS	816 SF	300 SF	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	3
002	EX. WASH BAY	1487 SF	300 SF	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	5
009	EX. SUPPLY ROOM	103 SF	300 SF	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	1
010	EX. STOR.	40 SF	300 SF	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	1
013	EX. STOR.	25 SF	300 SF	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	1
BUSINESS AREAS					
004	EX. BREAKROOM	118 SF	100 SF	BUSINESS AREAS	2
005	EX. MANAGERS OFFICE	118 SF	100 SF	BUSINESS AREAS	2
006	EX. OPEN AREA	386 SF	100 SF	BUSINESS AREAS	4
007	EX. VEST.	29 SF	100 SF	BUSINESS AREAS	1
008	EX. IT	23 SF	100 SF	BUSINESS AREAS	1
011	EX. R.R.	40 SF	100 SF	BUSINESS AREAS	1
012	EX. R.R.	50 SF	100 SF	BUSINESS AREAS	1
003	EX. CORRIDOR	178 SF	100 SF	BUSINESS AREAS	2
102	CORR.	231 SF	100 SF	BUSINESS AREAS	3
TOTAL		5093 SF			33

GENERAL NOTES

- PER IBC TABLE 906.3 (1), MAXIMUM DISTANCE OF TRAVEL TO FIRE EXTINGUISHER TO BE 75'-0".
- PER IBC SECTION 1013, EXIT SIGN PLACEMENT SHALL BE SUCH THAT NO POINT IN AN EXIT ACCESS CORRIDOR OR EXIT PASSAGEWAY IS MORE THAN 100'-0" OR THE LISTED VIEWING DISTANCE FROM THE SIGN, WHICHEVER IS LESS, FROM THE NEAREST VISIBLE EXIT SIGN.
- PER IBC SECTION 703.7, FIREWALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS, AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED IN THE FIELD WITH SIGNS OR STENCILING SPACED AND SIZED TO MEET CODE REQUIREMENTS.
- REFER TO LIFE SAFETY PLAN FOR TRAVEL DISTANCES, COMMON PATH OF TRAVEL, EGRESS WIDTHS, ACCESSIBLE ROUTE, ACCESSIBLE ENTRANCES AND EXITS.
- REFER TO ARCHITECTURAL SITE PLAN FOR DISTANCES TO PROPERTY LINES, STREETS, AND BUILDINGS ON SAME SITE.
- EXIT DOORS w/ PANIC HARDWARE SHALL BE PROVIDED AT EACH ACCESSIBLE PATH EGRESS EXIT
- REFER TO ELECTRICAL CONSULTANT DRAWINGS FOR EXIT SIGNAGE LOCATION AND TYPES
- REFER TO ELECTRICAL CONSULTANT DRAWINGS FOR EMERGENCY LIGHTING LOCATIONS AND TYPES
- REFER TO MEP CONSULTANT DRAWINGS FOR FIRE DEPARTMENT CONNECTIONS AND CONTROL PANEL LOCATIONS

PROJECT INFORMATION/CODE SUMMARY

DESCRIPTION OF WORK
 THE PROJECT REPRESENTS THE NEW ADDITION TO THE EXISTING BUILDING TO ADD TWO NEW SERVICE BAYS AND ACCESS CORRIDOR. THE EXISTING STRUCTURE IS TO REMAIN INTACT. THE ADDITION WILL CONSIST OF EXTERIOR CMU WALLS, WOOD ROOF, AND INTERIOR PARTITIONS TO BE NEW, WOOD FRAME CONSTRUCTION WITH COMMERCIAL GRADE ARCHITECTURAL FINISHES.

PROJECT LOCATION & AREA
 CITY OF MADISON, DANE COUNTY, WI

- CLIMATE ZONE: 6
- PARCEL NUMBER: 2510810-314-2001-1
- PROPERTY ZONED: COMMERCIAL
- PROPOSED BUILDING AREA: 1,827 S.F.
- EXISTING BUILDING AREA: 3,987 S.F.
- TOTAL LOT AREA: 145,403 S.F. (3.338 ACRES)

LEGAL DESCRIPTION: CSM 6197, VOL. 14624, P.A. DOC'T 2218732 LOT 1

APPLICABLE CODES

- STATE OF WISCONSIN ENROLLED COMMERCIAL BUILDING CODE VOLUME I&II
- WISCONSIN ADMINISTRATIVE CODE: SPS 381-366 (COMMERCIAL BUILDING CODE)
- 2015 INTERNATIONAL BUILDING CODE (IBC)
- 2015 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
- 2015 INTERNATIONAL FIRE CODE (IFC)
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) (COMMERCIAL PROVISIONS)
- 2015 INTERNATIONAL MECHANICAL CODE (IMC)
- 2015 INTERNATIONAL PLUMBING CODE (IPC)
- 2017 ICC / ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

DEFERRED SUBMITTALS

- HVAC
- PLUMBING

GENERAL BUILDING HEIGHTS AND AREAS

CONSTRUCTION TYPE VB

BUILDING AREA (TABLE 506.2)
 ALLOWABLE: 9,000 SQ. FT.
 ACTUAL: 15,750 SQ. FT.

BUILDING HEIGHT (TABLE 504.3)
 ALLOWABLE: 40 FT.
 ACTUAL: 24'-2" FT.

BUILDING STORIES (TABLE 504.4)
 ALLOWABLE: 1 STORY
 ACTUAL: 1 STORY

FRONTAGE INCREASE (TABLE 506.3)
 MINIMUM FRONTAGE DISTANCE = 30 FT.
 $W = [(L_1 \times W_1) + (L_2 \times W_2) + (L_3 \times W_3)] / F$
 AMOUNT OF INCREASE = .75
 $I_i = (F / P - 0.25) W / 30$

ALLOWABLE AREA
 TOTAL ALLOWABLE AREA = 15,750 SQ. FT.
 FIRST FLOOR ALLOWABLE AREA = 15,750 SQ. FT.
 $A_a = [A_s + (NS \times I_i)]$

OCCUPANCY

OCCUPANCY CLASSIFICATION(S) (CHAPTER 3)
 GROUP S-1 - STORAGE
 GROUP B - BUSINESS

OCCUPANCY SEPARATION (TABLE 508.4)
 NON SEPERATED

OCCUPANT LOAD (TABLE 1004.1.2)
 GROUP S 16 OCC. (3,920 SF.)
 GROUP B + 17 OCC. (1,173 SF.)
 TOTAL = 33 OCC. (5,093 SF.)

MEANS OF EGRESS (SECTION 1005.3)
 STAIRWAYS
 MIN. REQ. = 9'9" (0.3 IN. PER OCCUPANT OR 44" MIN. PER SECTION 1011.2)
 ACTUAL = 0"
 OTHER
 MIN. REQ. = 6'6" (0.2 IN. PER OCCUPANT)
 ACTUAL = 96"

FIRE PROTECTION

SPRINKLER SYSTEM (CHAPTER 903.2)
 NONSPRINKLERED BUILDING

MAXIMUM FIRE AREA (CHAPTER 903.2)
 12,000 SQ. FT.

FIRE ALARM (CHAPTER 907.2)
 NONE

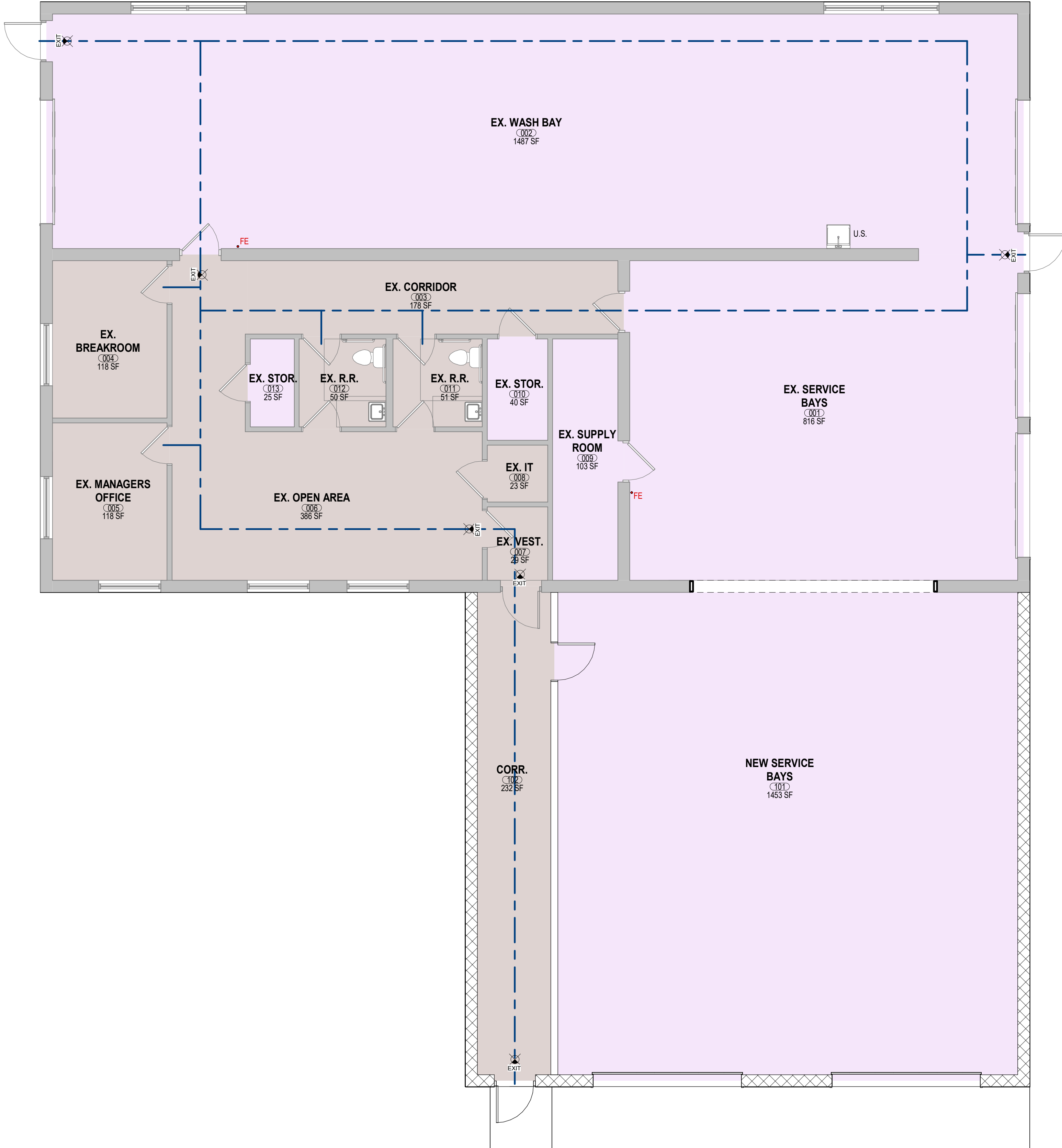
BUILDING ELEMENT	CONSTRUCTION TYPE --	
	REQUIRED (HOURS)	PROVIDED (HOURS)
PRIMARY STRUCTURAL FRAMING	0	0
BEARING WALLS	0	0
NONBEARING WALLS AND PARTITIONS (EXTERIOR)	SEE TABLE 602	
NONBEARING WALLS AND PARTITIONS (INTERIOR)	0	0
FLOOR CONSTRUCTION	0	0
ROOF CONSTRUCTION	0	0

EXIT DISTANCE

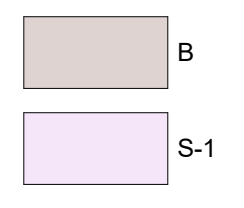
EXIT ACCESS TRAVEL DISTANCE (TABLE 1017.2)
 200 FT.

PLUMBING FIXTURES

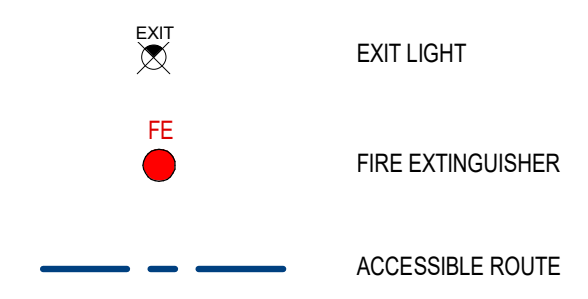
	MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES					
	TABLE 2902.1					
	MEN	WOMEN	BATHTUBS/SHOWERS	DRINKING FOUNTAINS	OTHER	
	URINALS	W/C	LAV			
REQUIRED	0	1	2	0	0	1 S.S.
EXISTING	0	1	2	0	0	1 S.S.
PROPOSED	0	0	0	0	0	0 S.S.



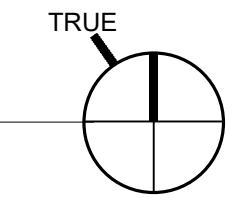
OCCUPANCY KEY



LIFE SAFETY SYMBOLS



1 LIFE SAFETY PLAN
 3/16" = 1'-0"



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ALLIANCEBUILDS.COM
 PHONE: (920)-336-3400 | FAX: (920)-336-3401
 1950 BROADWAY ST., WRIGHTSTOWN, WI 54180

PROFESSIONAL SEAL:
 LLOYD CARPENTER ARCHITECT, LLC.

ENTERPRISE RENT-A-CAR

PROJECT NUMBER: 23-207
 2302 COMMERCIAL AVENUE
 MADISON, WI 53704

REVISIONS		
#	STAGE	DATE

STATUS:
APPROVAL

CURRENT AS OF: 5/1/2024 7:42:18 AM

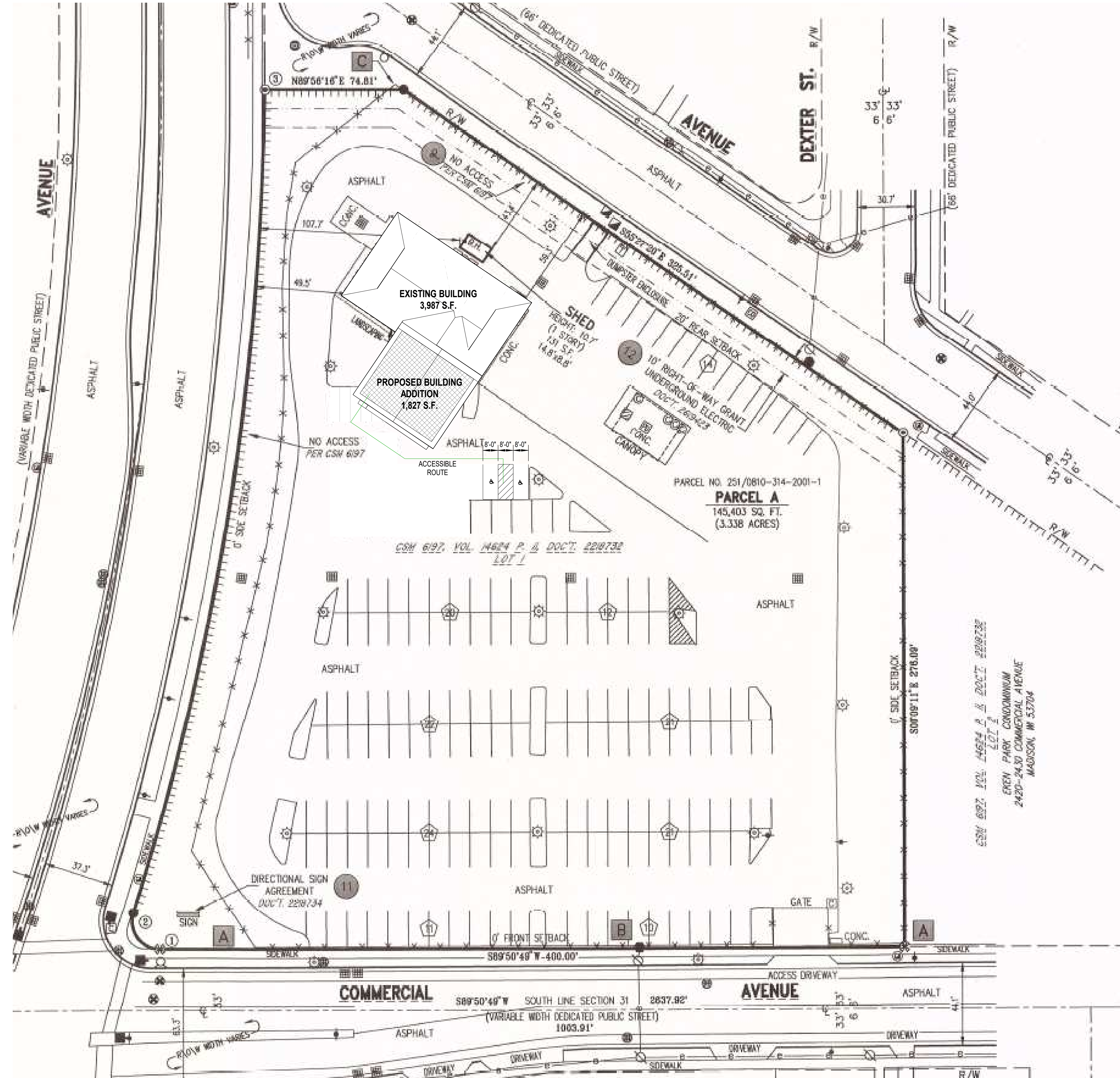
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SCALE: As indicated

LIFE SAFETY PLANS

G100

P:\23-207 Enterprise Madison Service Center\27 Model\Rev\23-207 Enterprise Madison Addition.rvt



GENERAL NOTES

1. PARKING COUNT:
2. VAN ACCESSIBLE PARKING STALL PROVIDED: ONE (1)
3. COORDINATE ALL STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING DISCIPLINES AND ANY ADDITIONAL SUPPORTING DOCUMENTS. CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION.
4. COORDINATE DOWNSPOUT LOCATIONS AND/OR DOWNSPOUT TIE-IN TO STORM SEWER.
5. ALL UTILITY LOCATIONS AND SCOPE OF WORK SHALL BE COORDINATED PRIOR TO START OF CONSTRUCTION.
6. LANDSCAPING SHALL MEET LOCAL MUNICIPALITY REQUIREMENTS.

PLAN KEYNOTES

NO.	DESCRIPTION
-----	-------------

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1050 BROADWAY ST., WRIGHTSTOWN, WI 54180

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LLOYD CARPENTER ARCHITECT, LLC.

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PROJECT NUMBER: 23-207
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MADISON, WI 53704

REVISIONS

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STATUS:

APPROVAL

CURRENT AS OF: 5/1/2024 7:42:19 AM

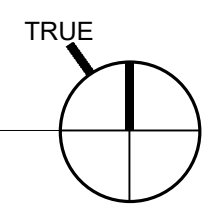
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SCALE: As indicated

ARCHITECTURAL SITE PLAN

A050

2 SITE PLAN - PLAN NORTH
1" = 30'-0"

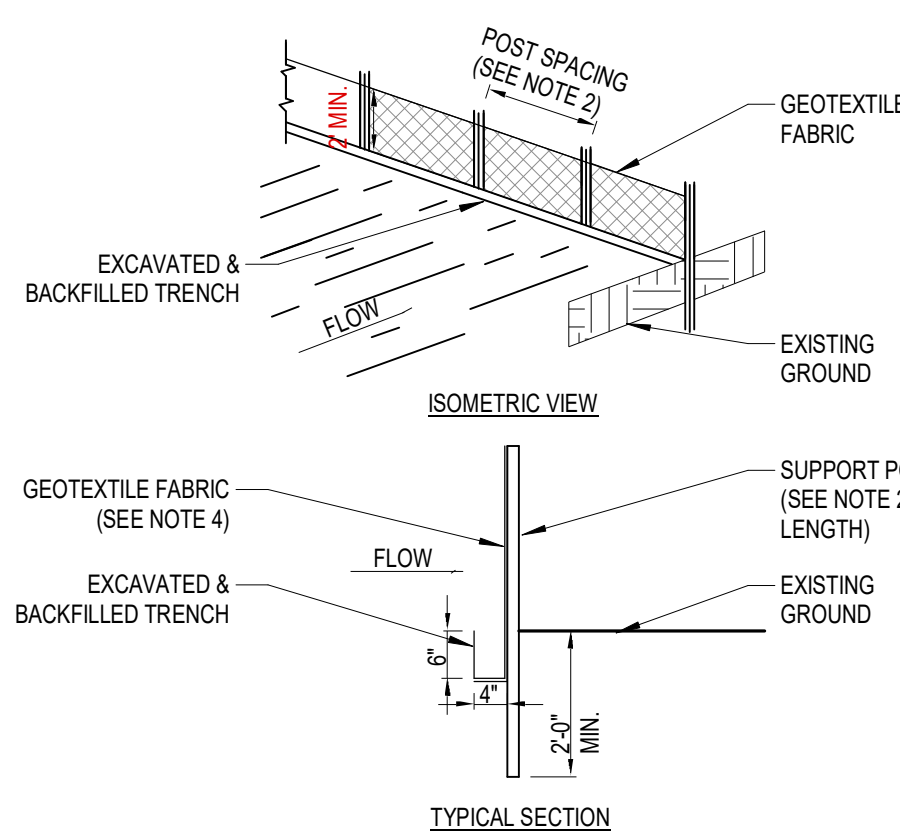


TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITY BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE 1-800-242-8511

WISCONSIN STATUTE 182.0175 (1974)
REQUIRES MINIMUM OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

DIGGERS HOTLINE



NOTES:

1. THE GEOTEXTILE FABRIC SHALL BE PLACED IN THE EXCAVATED TRENCH, BACKFILLED, AND COMPACTED TO THE EXISTING GROUND SURFACE.
2. WOODEN SUPPORT POSTS SHALL BE A MINIMUM DIMENSION OF 1-1/8" X 1-1/8" AIR OR KILN DRIED OF HICKORY OR OAK AND 4 FEET LONG. STEEL POSTS SHALL BE STUDDED "TEE" OR "U" TYPE WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAL FOOT AND 5 FEET LONG. POST SPACING SHALL BE A MAXIMUM OF 8 FEET FOR WOVEN FABRIC AND 3 FEET FOR NON-WOVEN FABRIC.
3. THE GEOTEXTILE FABRIC SHALL BE ATTACHED DIRECTLY TO THE UPSLOPE SIDE OF WOODEN POSTS WITH 0.5 INCH STAPLES IN AT LEAST 3 PLACES, OR WITH WOODEN LATH AND NAILS. ATTACHMENT TO STEEL POSTS WILL BE BY WIRE FASTENERS OR 50 POUND PLASTIC TIE STRAPS ON THE UPSLOPE SIDE.
4. THE GEOTEXTILE FABRIC SHALL CONSIST OF EITHER WOVEN OR NON-WOVEN POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE, OR POLYVINYLIDENE CHLORIDE. NON-WOVEN FABRIC MAY BE NEEDLE PUNCHED, HEAT BONDED, RESIN BONDED, OR COMBINATIONS THEREOF.

ALL FABRIC SHALL MEET THE FOLLOWING REQUIREMENTS:

TEST REQUIREMENTS:	METHOD	VALUE:
MIN. GRAB TENSILE STRENGTH IN THE MACHINE DIRECTION	ASTM D 4632	120 LBS
MIN. GRAB TENSILE STRENGTH IN THE CROSS MACHINE DIRECTION	ASTM D 4632	100 LBS
MAXIMUM APPARENT OPENING SIZE EQUIVALENT STANDARD SIEVE	ASTM D 4751	NO. 30
MIN. PERMITTIVITY	ASTM D 4491	0.05 SEC.
MIN. PERMITTIVITY	ASTM D 4491	0.135 SEC. OR 10 GAL/SQ. FT. @ 50MM CONSTANT HEAD
MIN. ULTRAVIOLET STABILITY PERCENTAGE OF STRENGTH RETAINED	ASTM D 4355 70%	AFTER 500 HOURS OF EXPOSURE

* ALL NUMERICAL VALUES REPRESENT MINIMUM/MAXIMUM AVERAGE ROLL VALUES. (FOR EXAMPLE, THE AVERAGE OF MINIMUM TEST RESULTS ON ANY ROLL IN A LOT SHOULD MEET OR EXCEED THE MINIMUM SPECIFIED VALUES.)

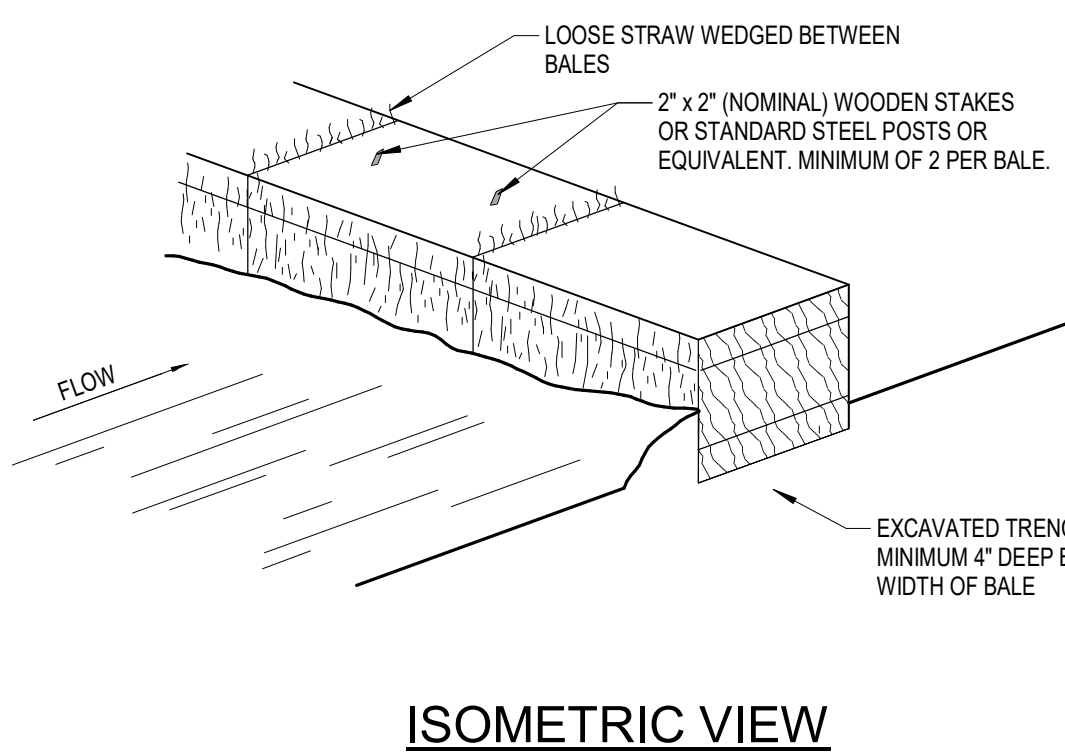
SILT FENCE DETAIL

EROSION MAINTENANCE PLAN:

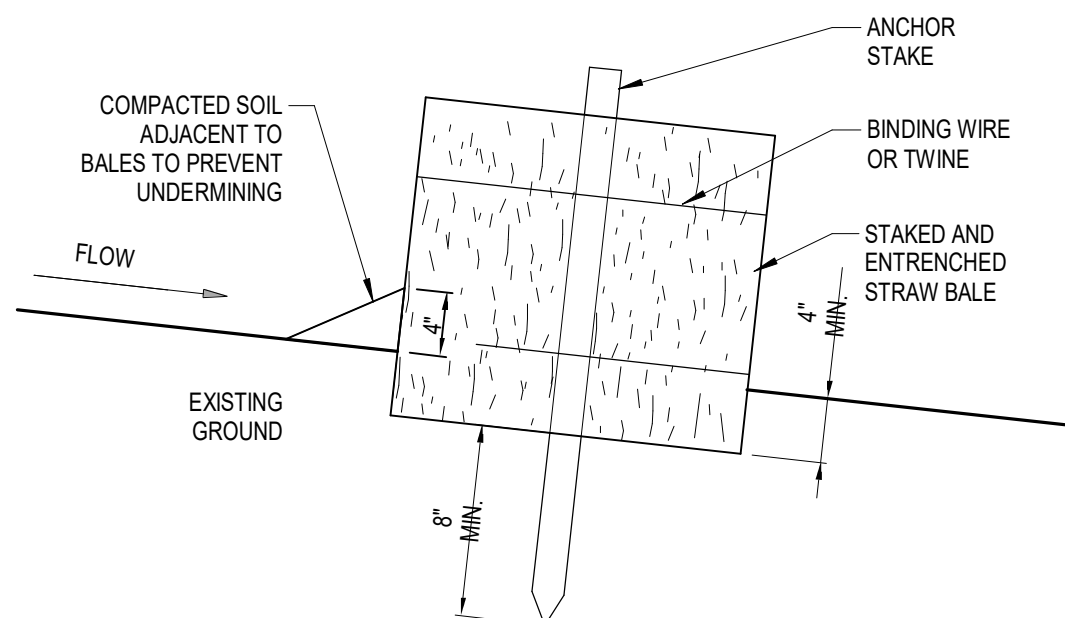
1. ALL EROSION CONTROL AND STORM WATER MANAGEMENT PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION EVERY 7 DAYS, AND WITHIN 24 HOURS OF A STORM PRODUCING AT LEAST 0.5 INCHES OF RAINFALL. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED. ALSO, ANY SEDIMENT THAT HAS BEEN DEPOSITED OFFSITE FROM THIS CONSTRUCTION PROJECT SHALL BE CLEANED UP IMMEDIATELY.
2. REMOVE SEDIMENT FROM BEHIND ANY SILT FENCE WHEN IT HAS ACCUMULATED TO A DEPTH OF 12" OR MORE. WHEN THE FENCE CAN NO LONGER FILTER WATER OR TRAP SEDIMENT, REPAIR THE SILT FENCE TO PROVIDE AN EFFECTIVE BARRIER.
3. ALL SEEDED AREAS, INCLUDING THE GRASS-LINED CHANNELS, WILL BE RE-SEEDED AND MULCHED AS NECESSARY TO MAINTAIN VIGOROUS, DENSE VEGETATIVE COVER.
4. BIODEGRADABLE EROSION CONTROL MAT. INSTALLATION WILL FOLLOW MANUFACTURER'S RECOMMENDATIONS.
5. REMOVE SILT FENCE AND TEMPORARY STRUCTURES AFTER FINAL STABILIZATION AND VEGETATIVE COVER IS ESTABLISHED.
6. SEDIMENT THAT HAS MIGRATED ONTO ADJACENT PROPERTIES SHALL BE SWEEPED OFF PAVEMENTS AND REMOVED FROM VEGETATED AREAS MONTHLY.

PLANNED EROSION CONTROL PRACTICES:

1. TEMPORARY CONSTRUCTION ENTRANCE / EXIT (TECH. STANDARD 1057)
A NEW GRAVEL CONSTRUCTION ENTRANCE WILL BE INSTALLED AT ALL CONSTRUCTION ACCESS POINTS TO PREVENT SEDIMENT FROM TRACKING ONTO THE ROADWAYS.
2. STOCKPILED TOPSOIL / TEMPORARY FILL PILES
SILT FENCING OR STRAW BALE FENCING WILL BE REQUIRED AROUND ALL STOCKPILED TOPSOIL OR TEMPORARY FILL PILES. SOIL PILES OF MORE THAN 10 CUBIC YARDS THAT WILL BE IN EXISTENCE FOR MORE THAN 7 DAYS SHALL BE SEEDED AND / OR MULCHED TO PROVIDE VEGETATIVE COVER AND SHALL USE SILT FENCING OR STRAW BALES FENCING UNTIL THE VEGETATION IS ESTABLISHED.
3. SILT FENCE (TECH. STANDARD 1056)
SILT FENCING WILL BE REQUIRED DOWNSLOPE OF ALL DISTURBED AREAS, INCLUDING ANY DISTURBED AREAS OF THE INDIVIDUAL LOTS, AND WHERE NOTED ON THE SITE PLAN. IF THE SILT FENCE IS LOCATED IN A CHANNELLED AREA, TWO CONSECUTIVE SILT FENCES WILL BE INSTALLED, OR ONE STRAW BALE FENCE WILL BE INSTALLED.
4. DUST CONTROL (TECH. STANDARD 1068)
DUST SHALL BE CONTROLLED IN ACCORDANCE WITH WDNR STANDARDS AS NEEDED.
5. INLET PROTECTION (TECH. STANDARD 1069)
INLET PROTECTION SHALL BE INSTALLED AT ALL EXISTING AND PROPOSED STORM DRAIN INLETS ON THE PROJECT SITE AND IMMEDIATELY DOWN STREAM FROM ANY DISTURBED AREAS.



ISOMETRIC VIEW

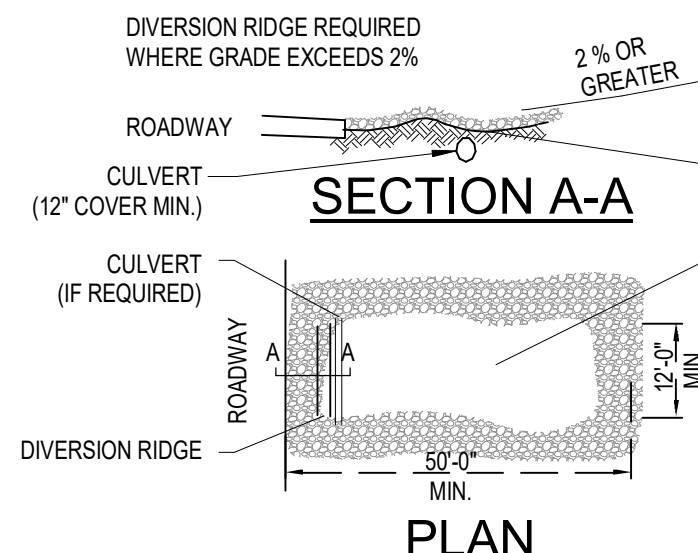


TYPICAL SECTION

NOTES:

1. TURN THE ENDS OF THE STRAW BALE SEDIMENT TRAP UPSLOPE 1 TO 2 FEET IN ELEVATION TO PREVENT FLANKING.
2. THE STRAW BALES SHALL BE BUTTED TOGETHER AS TIGHTLY AS POSSIBLE.
3. THE FIRST ANCHOR STAKE SHALL BE DRIVEN TOWARD THE PREVIOUSLY ANCHORED BALE TO HELP CREATE A TIGHT FIT.

STRAW BALE FENCE DETAIL

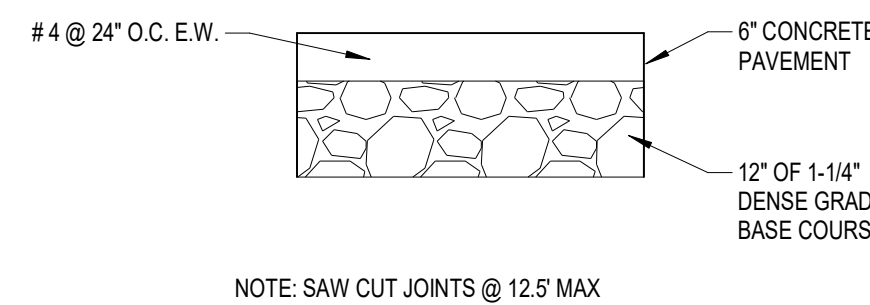


PLAN

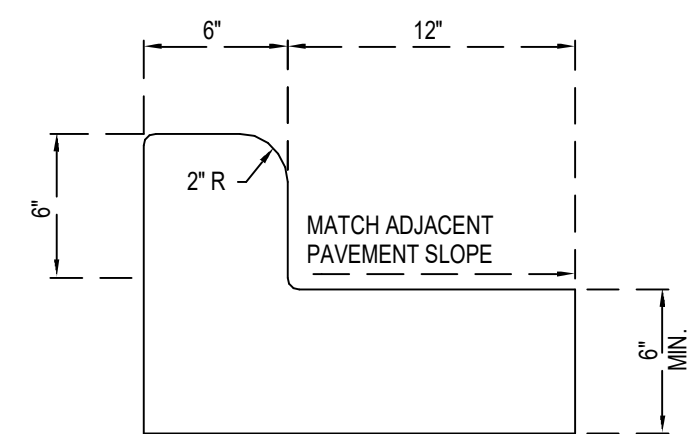
NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED EROSION CONTROL BMP.
4. USE SANDBAGS, STRAW BALES, OR OTHER APPROVED METHODS TO CHANNELIZE RUNOFF TO BMP AS REQUIRED.

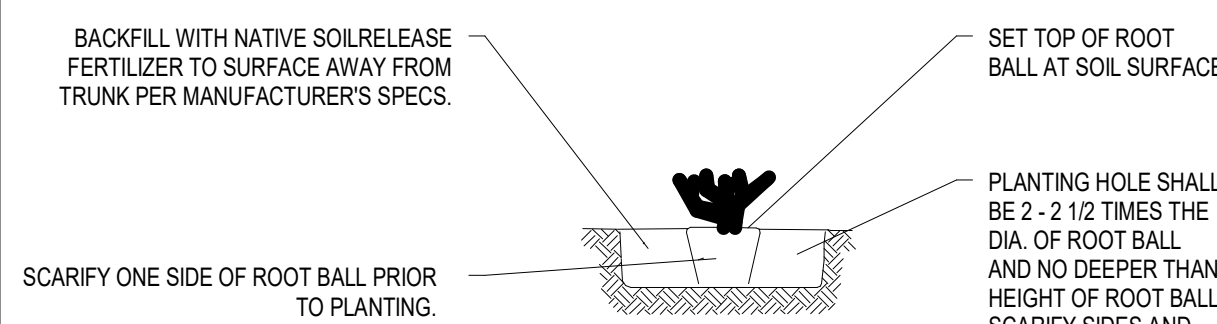
SILT FENCE DETAIL



6" CONCRETE PAVEMENT SECTION



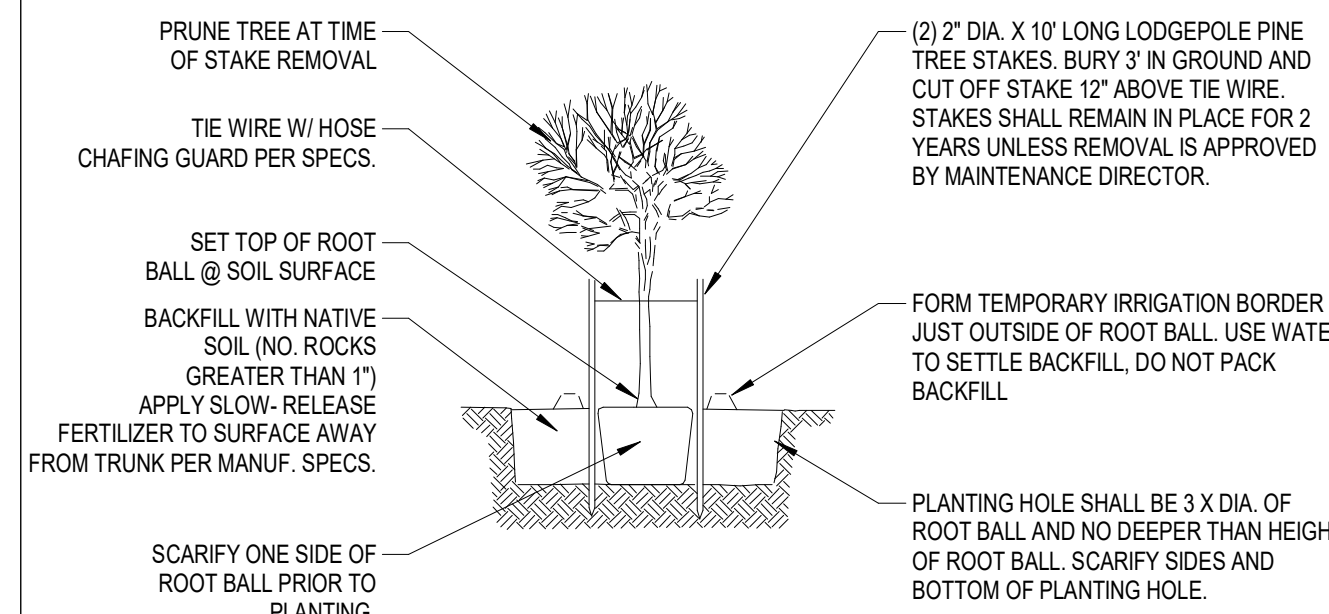
18 IN. CURB & GUTTER DETAIL



NOTES:

1. SUFFICIENT CLEARANCE SHALL BE MAINTAINED BETWEEN SHRUBS & UTILITY FACILITIES SO AS TO NOT HINDER USE OF FACILITIES.
2. PLANT PIT BASINS WITHIN SLOPED PLANTING AREAS SHALL BE CONSTRUCTED WITH A MAX. 2:1 SLOPE. PROVIDE SMOOTH TRANSITION TO SURROUNDING FINISH GRADE.

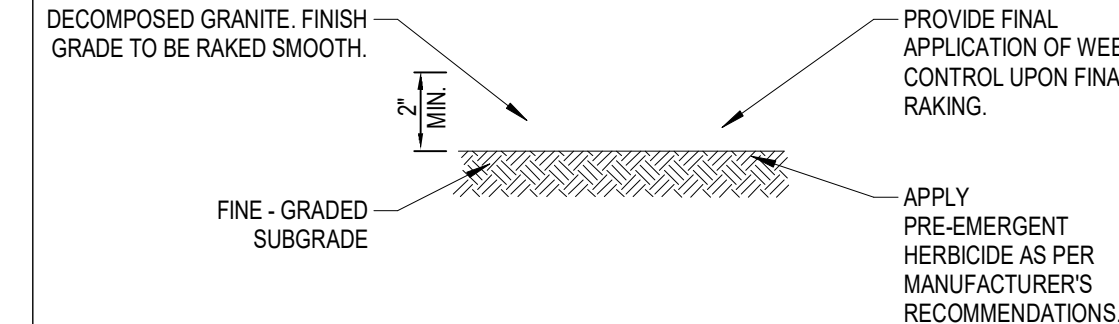
SHRUB PLANTING



NOTES:

1. SUFFICIENT CLEARANCE SHALL BE MAINTAINED BETWEEN SHRUBS & UTILITY FACILITIES SO AS TO NOT HINDER USE OF FACILITIES.
2. PLANT PIT BASINS WITHIN SLOPED PLANTING AREAS SHALL BE CONSTRUCTED WITH A MAX. 2:1 SLOPE. PROVIDE SMOOTH TRANSITION TO SURROUNDING FINISH GRADE.

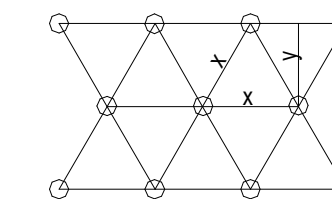
TREE PLANTING & STAKING 36" BOX OR 2" CALIPER



NOTES:

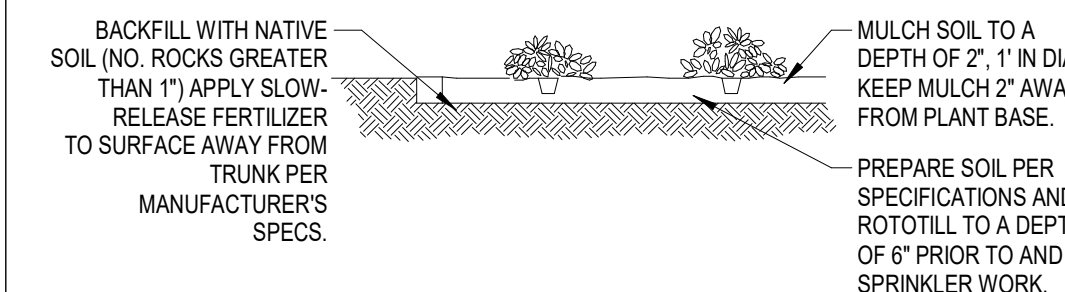
1. REFER TO COS DETAIL FOR FINISH GRADE HEIGHT OF DECOMPOSED GRANITE IN RELATION TO TOP OF CURBS AND SIDEWALKS.

DECOMPOSED GRANITE



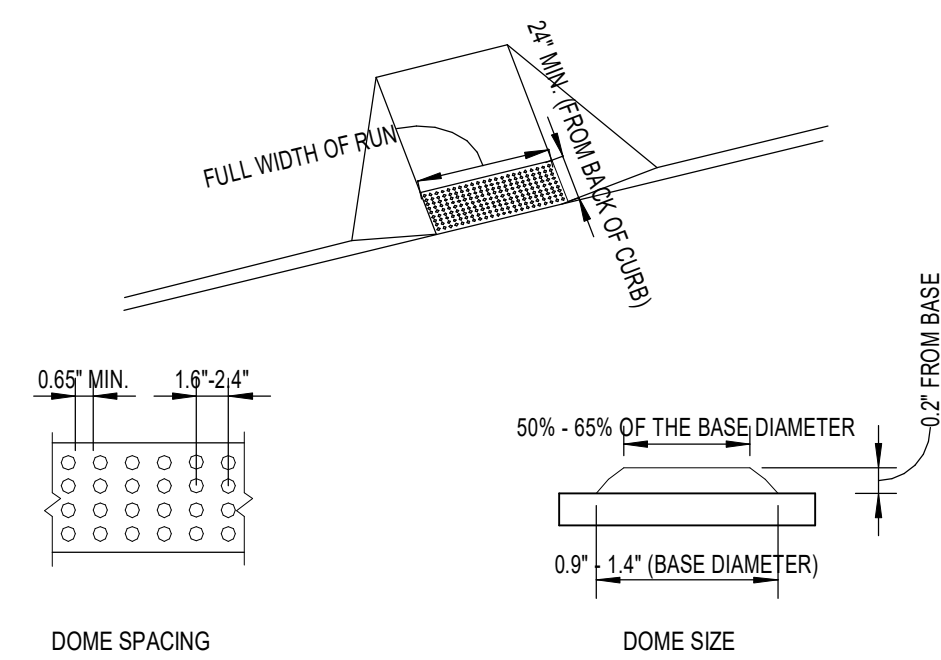
NOTES:

1. ALL GROUND COVERS TO BE PLANTED ON CENTER IN A TRIANGULAR PATTERN, (SEE DIAGRAM ABOVE)
2. X = O.C. DIMENSION NOTED IN PLAN
3. Y = 0.86 OF DIMENSION 'X'

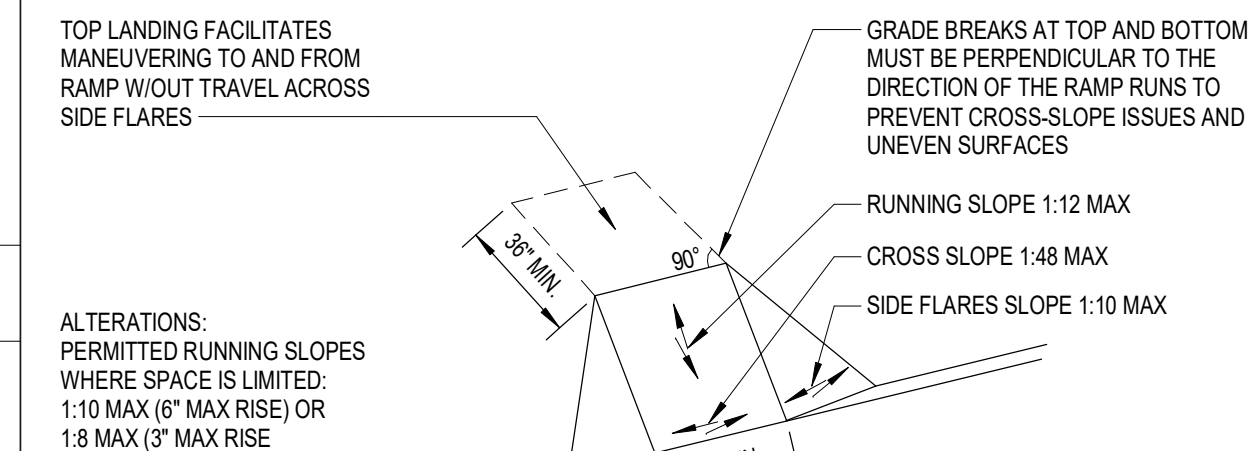


GROUND COVERS

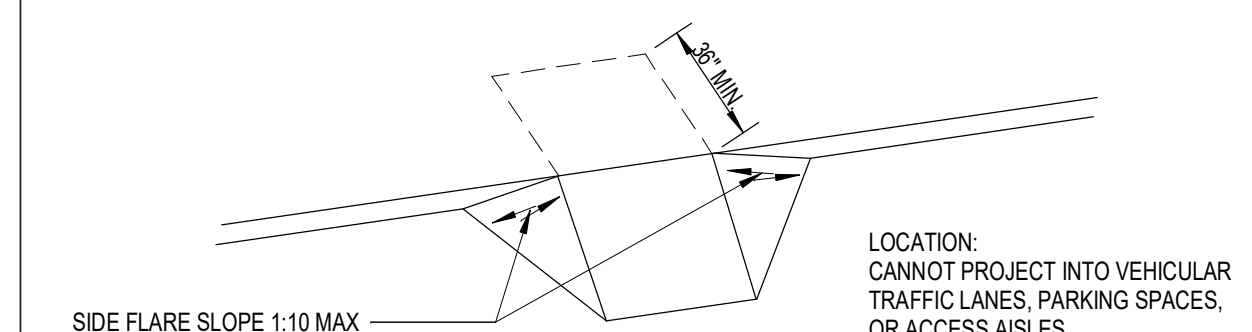
ACCESSIBLE ROUTE



DETECTABLE WARNINGS ON CURB RAMPS



CURB TRANSITION TO STREET



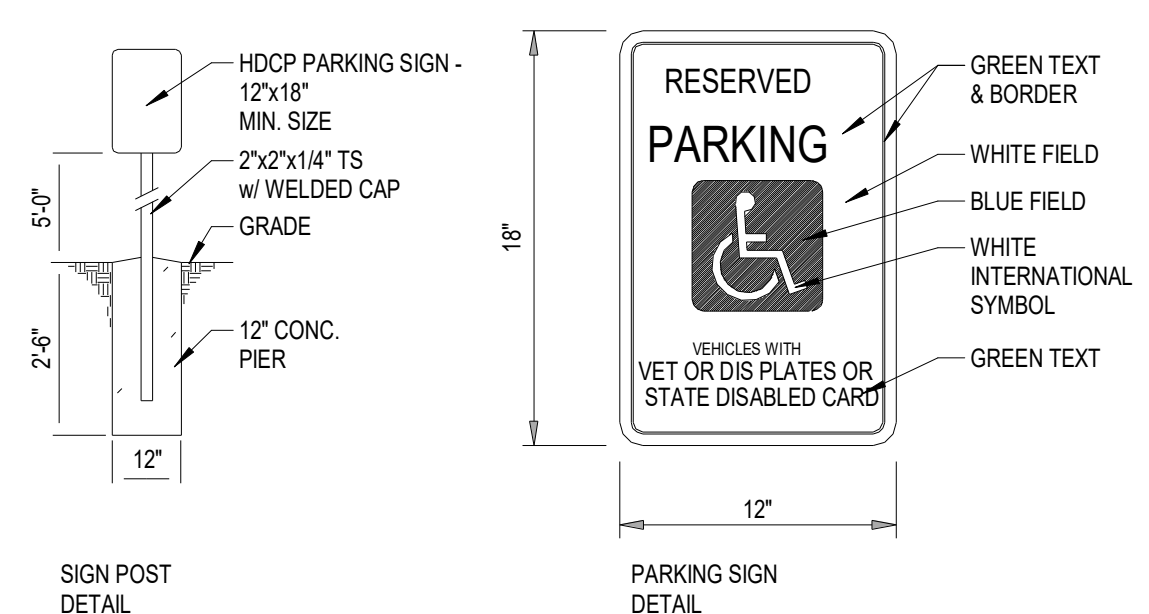
BUILT-UP CURB RAMPS WITH SIDE FLARES

ACCESSIBLE ROUTE

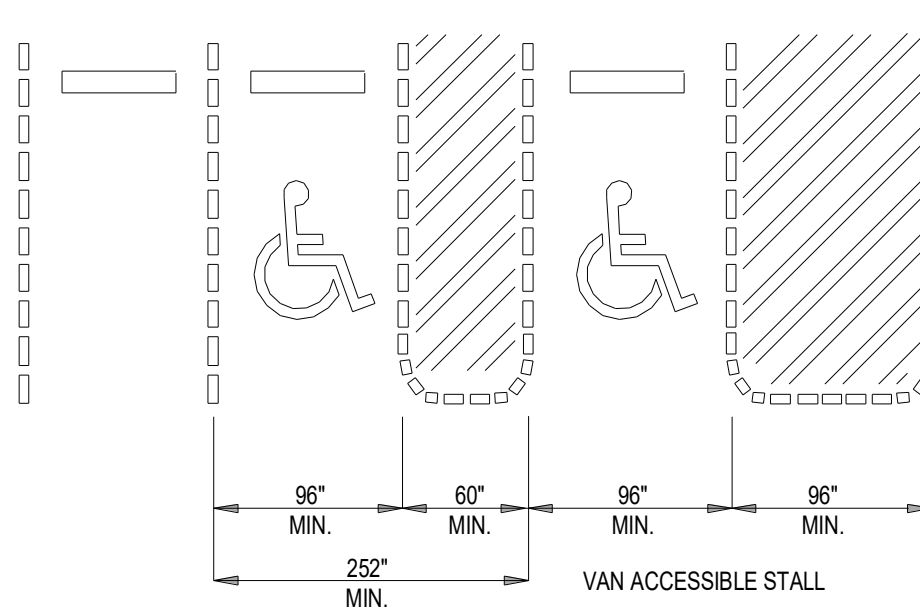


INTERNATIONAL SYMBOL FOR BARRIER-FREE ENVIRONMENTS

IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO INSTALL (WHERE SHOWN HEREON), BARRIER FREE PARKING SIGNS IN CONFORMITY TO WISCONSIN ADMINISTRATIVE CODE : TRANS #200.07



HNDCP PARKING SIGN DETAILS



PARKING SPACE DIMENSIONS

NOTE: IF ONLY ONE ACCESSIBLE STALL IS REQUIRED, THAT STALL MUST BE VAN ACCESSIBLE



PROFESSIONAL SEAL:

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1090 BROADWAY ST., WRIGHTSTOWN, WI 54180

LLOYD CARPENTER ARCHITECT, LLC.

ENTERPRISE RENT-A-CAR

PROJECT NUMBER: 23-207
2302 COMMERCIAL AVENUE
MADISON, WI 53704

REVISIONS		
#	STAGE	DATE

STATUS:

APPROVAL

CURRENT AS OF: 5/1/2024 7:42:20 AM

DRAWN BY: BB

SCALE: As indicated

SITE DETAILS

A051

P:\23-207 Enterprise Rent-A-Car\23-207 Madiso\Rev02\207 Enterprise Madison Addition.rvt

GENERAL NOTES

- 1. FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION. CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION.
- 2. ALL EXISTING ITEMS TO REMAIN SHALL BE PROTECTED DURING DEMOLITION AND NEW CONSTRUCTION.
- 3. AT EXISTING WALLS TO REMAIN, PATCH AND REPAIR REMAINING WALL TO MATCH EXISTING WALL TEXTURE. PREPARE WALL TO RECEIVE NEW FINISHES.
- 4. COORDINATE ALL STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING DISCIPLINES AND ANY ADDITIONAL SUPPORTING DOCUMENTS. CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION.

KEYNOTES

NO.	DESCRIPTION
-----	-------------



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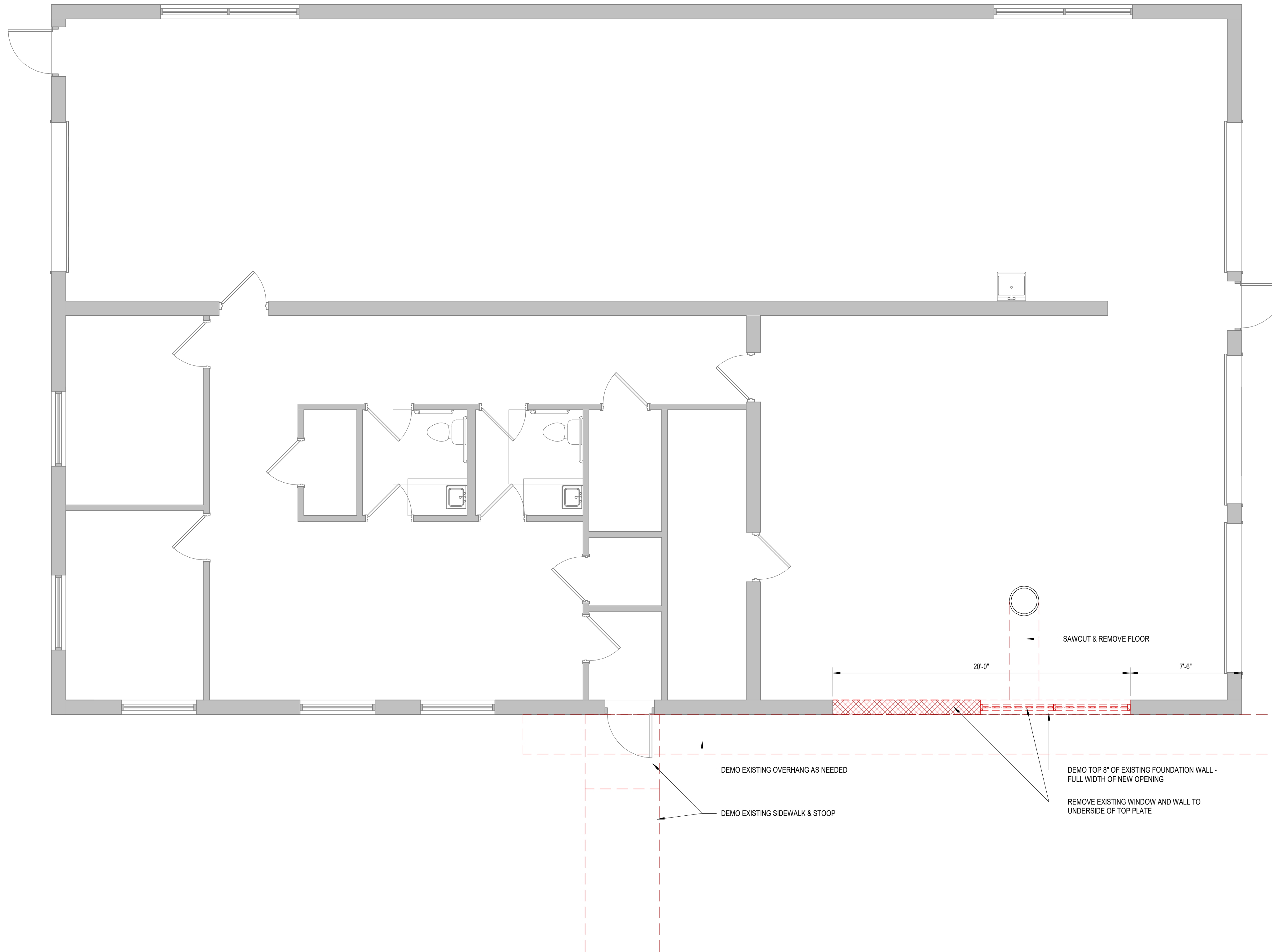
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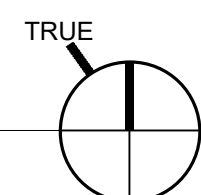
SCALE: As indicated

DEMO PLAN

AD100



1 FIRST FLOOR DEMO PLAN
1/4" = 1'-0"



GENERAL NOTES

- PER IBC TABLE 906.3 (1), MAXIMUM DISTANCE OF TRAVEL TO FIRE EXTINGUISHER TO BE 75'-0".
- PER IBC SECTION 1013, EXIT SIGN PLACEMENT SHALL BE SUCH THAT NO POINT IN AN EXIT ACCESS CORRIDOR OR EXIT PASSAGEWAY IS MORE THAN 100'-0" OR THE LISTED VIEWING DISTANCE FROM THE SIGN, WHICHEVER IS LESS, FROM THE NEAREST VISIBLE EXIT SIGN.
- WALL DIMENSIONS ARE FROM FACE OF STUD / CORE MATERIAL.
- COORDINATE ALL STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING DISCIPLINES AND ANY ADDITIONAL SUPPORTING DOCUMENTS. CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION.

KEYNOTES

NO.	DESCRIPTION
-----	-------------



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PROFESSIONAL SEAL:

LLOYD CARPENTER ARCHITECT, L.L.C.

ENTERPRISE RENT-A-CAR

PROJECT NUMBER: 23-207
2302 COMMERCIAL AVENUE
MADISON, WI 53704

REVISIONS

#	STAGE	DATE

STATUS:

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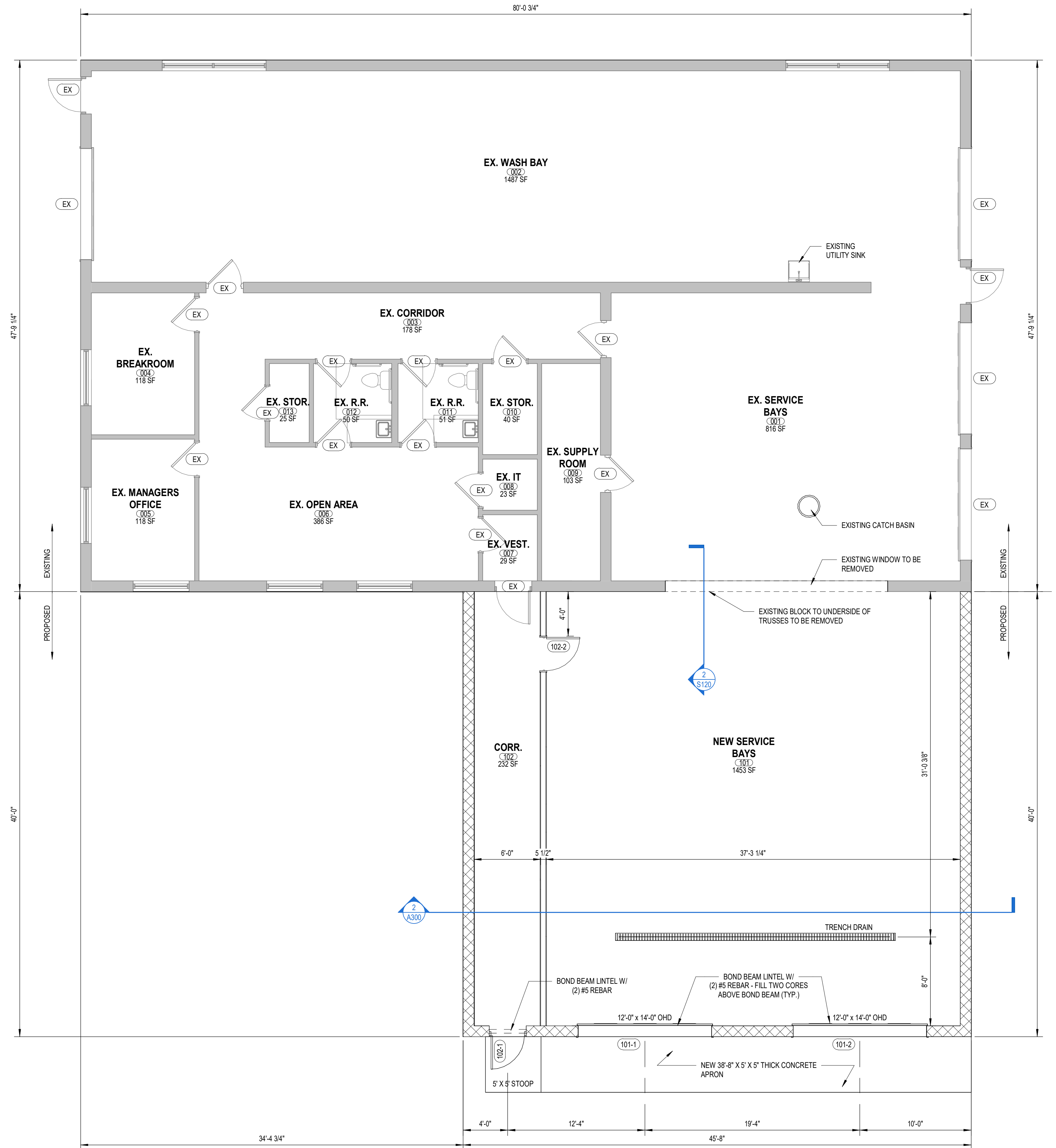
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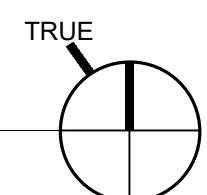
SCALE: As indicated

FLOOR PLAN

A110



1 FIRST FLOOR PLAN
3/16" = 1'-0"



P:\23-207 Enterprise Madison Service Center\07 Model\Rev\23-207 Enterprise Madison Addition.rvt

KEYNOTES	
NO.	DESCRIPTION



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PHONE: (608) 336-3400 | FAX: (608) 336-3401
1050 BROADWAY ST., WRIGHTSTOWN, WI 54180

PROFESSIONAL SEAL:

LLOYD CARPENTER ARCHITECT, L.L.C.

ENTERPRISE RENT-A-CAR
PROJECT NUMBER: 23-207
2302 COMMERCIAL AVENUE
MADISON, WI 53704

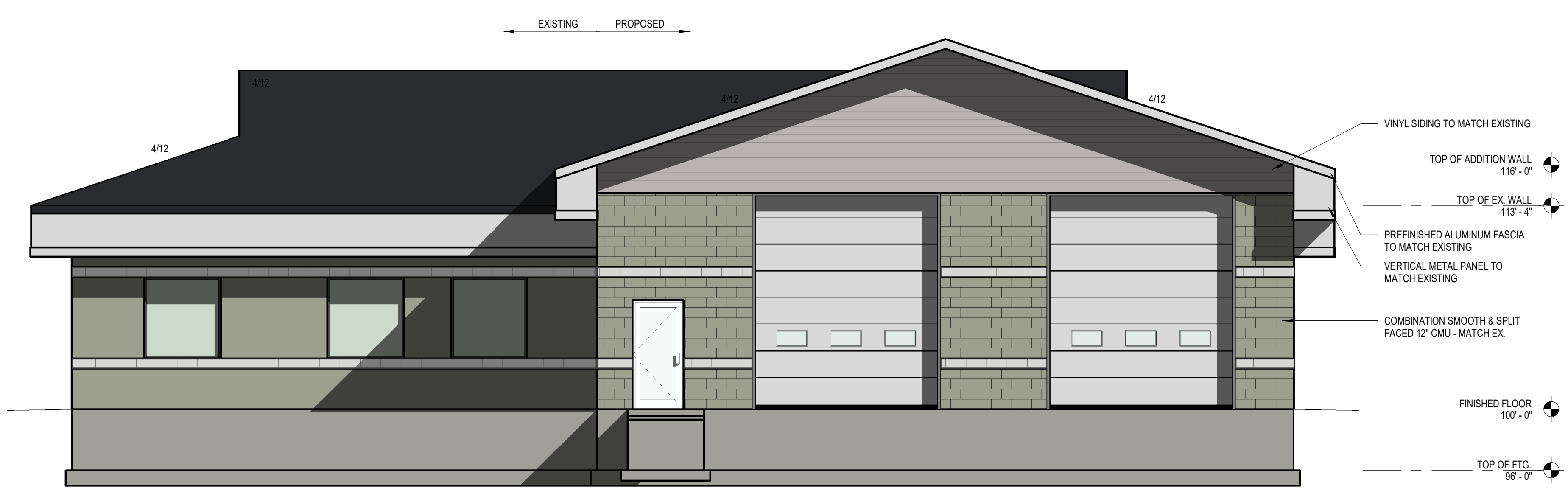
#	STAGE	DATE

STATUS:
APPROVAL
CURRENT AS OF: 5/1/2024 7:42:23 AM
DRAWN BY: BB
SCALE: 3/16" = 1'-0"

ELEVATIONS
A200



1 NORTH ELEVATION
3/16" = 1'-0"



2 SOUTH ELEVATION
3/16" = 1'-0"

KEYNOTES	
NO.	DESCRIPTION



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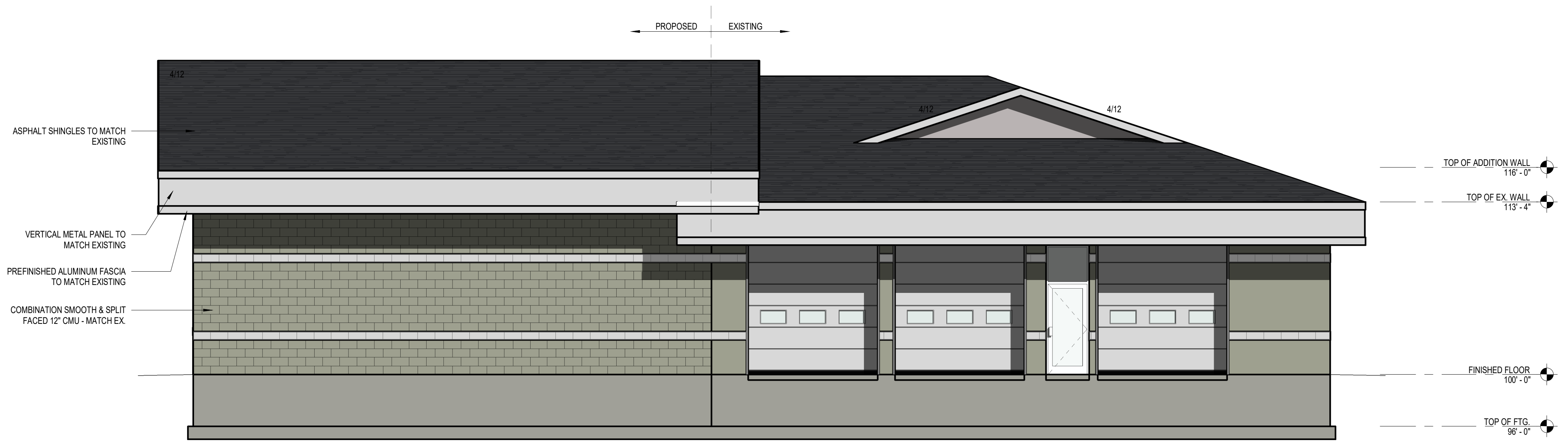
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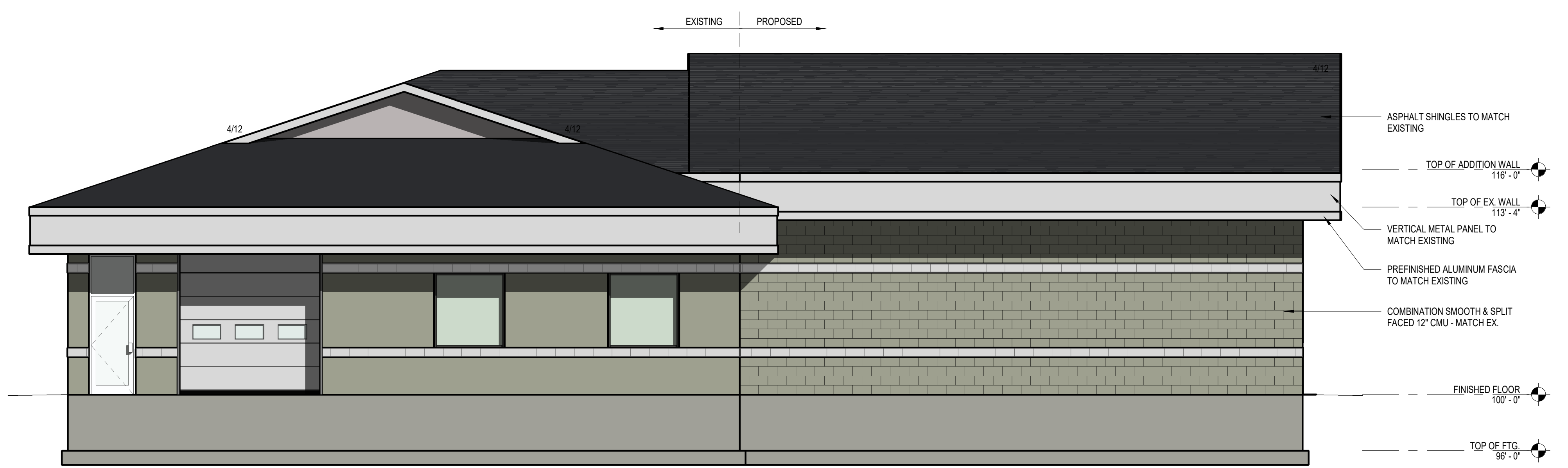
SCALE: 3/16" = 1'-0"

ELEVATIONS

A201



1 EAST ELEVATION
3/16" = 1'-0"



2 WEST ELEVATION
3/16" = 1'-0"

P:\23-207 Enterprise Madison Service Center\07 Models\Rev\23-207 Enterprise Madison Addition.rvt



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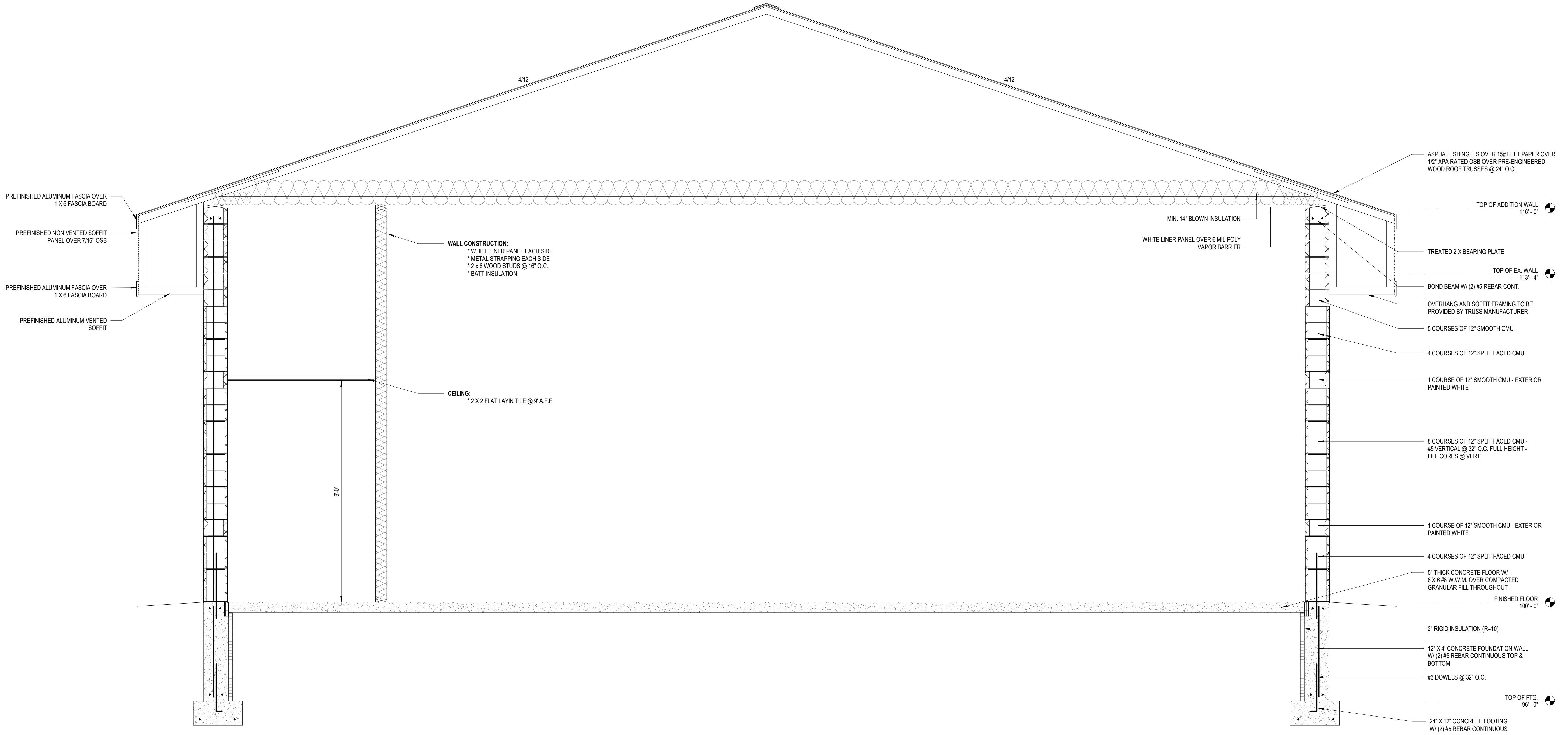
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SCALE: 1/2" = 1'-0"

BUILDING SECTIONS

A300



2 BUILDING SECTION
1/2" = 1'-0"

DOOR SCHEDULE

NO.	FROM ROOM	TO ROOM	DOOR					FRAME				HARDWARE GROUP	REMARKS	
			WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	ELEVATION TYPE	MATERIAL	FINISH	WALL THICKNESS			
101-1			12' - 0"	14' - 0"	0' - 1 3/4"	METAL	PREFINISHED	OHD-1	METAL	PREFINISHED	0' - 11 5/8"	E		
101-2			12' - 0"	14' - 0"	0' - 1 3/4"	METAL	PREFINISHED	OHD-1	METAL	PREFINISHED	0' - 11 5/8"	E		
102-1	CORR.		3' - 0"	7' - 0"		GLASS	CLEAR	G	ALUMINUM	CLEAR		D		39 1/2" X 87 3/4" T.S.
102-2	CORR.	NEW SERVICE BAYS	3' - 0"	7' - 0"				A	HM	PAINT		B		
EX	<varies>	<varies>	<varies>	<varies>	<varies>						<varies>	(none)		

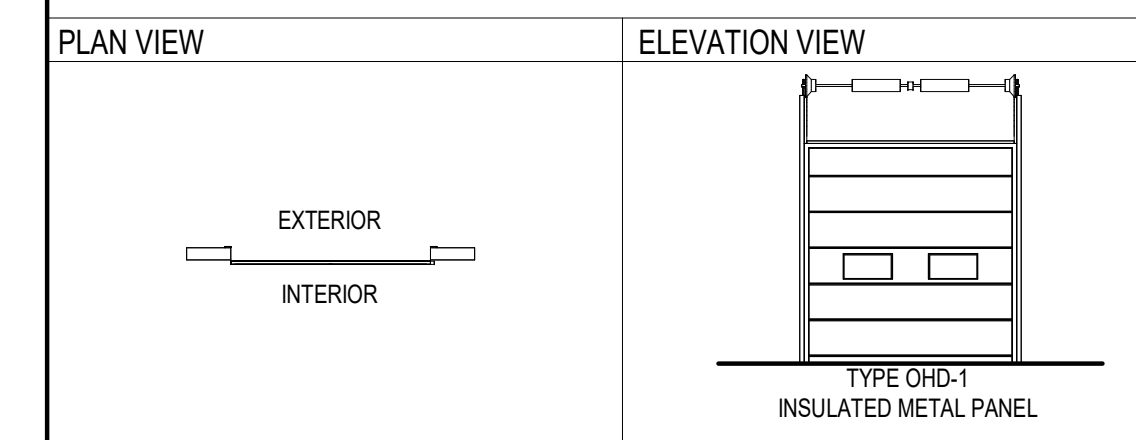
DOOR HARDWARE

HARDWARE GROUP	HINGES		HANDLE-LOCKSET		SECURITY / CONTROLS	WALL STOP		SEAL / SWEEP / SILENCER		FLUSH BOLT	CLOSER
	DESCRIPTION	QUANTITY	DESCRIPTION	QUANTITY		DESCRIPTION	QUANTITY	DESCRIPTION	QUANTITY		
A	(3) BALL BEARING HINGES	(1)	STANDARD DUTY ENTRY LOCK SET	(1)	-	(1) BASE MOUNTED WALL STOP	(1)	FULL WEATHER SEAL	(3) BUTTON SILENCERS		NIA
B	(3) BALL BEARING HINGES	(1)	STANDARD DUTY PASSAGE LOCK SET	(1)	-	(1) BASE MOUNTED WALL STOP	(1)	FULL WEATHER SEAL	(3) BUTTON SILENCERS		NIA
C	(3) BALL BEARING HINGES	(1)	STANDARD DUTY PRIVACY LOCK SET	(1)	-	(1) BASE MOUNTED WALL STOP	(1)	FULL WEATHER SEAL	(3) BUTTON SILENCERS		HEAVY DUTY CLOSER
D	(2) BALL BEARING HINGES	(1)	MS 1850 DEADBOLT W/ CYL. & T.T.	(1)	-	(1) BASE MOUNTED WALL STOP	(1)	FULL WEATHER SEAL & BRUSH SWEEP	(3) BUTTON SILENCERS		HEAVY DUTY CLOSER
E	(3) BALL BEARING HINGES	(1)	STANDARD DUTY ENTRY LOCK SET w/ DEADBOLT	(1)	STRIKE GAURD PLATE	(2) BASE MOUNTED WALL STOP	(2)	FULL WEATHER SEAL w/ EXTERIOR SEAL @ CENTER	(6) BUTTON SILENCERS	Yes	NIA
F	(6) BALL BEARING HINGES	(1)	STANDARD DUTY FRENCH DOOR PRIVACY LOCKSET	(1)	-	(2) BASE MOUNTED WALL STOP	(2)	FULL WEATHER SEAL w/ EXTERIOR SEAL @ CENTER	(6) BUTTON SILENCERS	Yes	NIA
G	N/A				O.H.D. CONTROLLER	N/A		EXTERIOR WEATHER SEAL & ASTRAGLE			AUTOMATIC O.H.D. OPENER

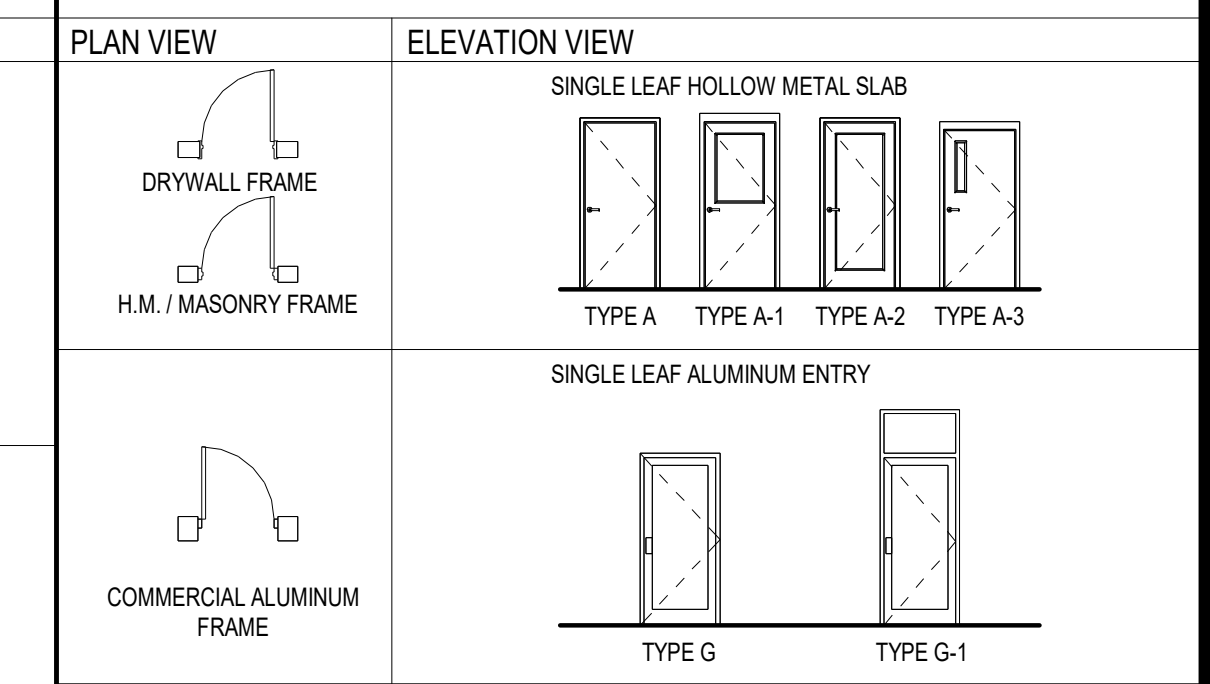
GENERAL NOTES

- EXISTING BUILDINGS:
 - VERIFY THAT NEW HARDWARE HAS THE CAPACITY TO BE KEyed w/ EXISTING.
- NEW BUILDINGS:
 - PROVIDE HARDWARE THAT CAN BE KEyed USING SCHLAGE KEYING HARDWARE.
 - WOOD DOORS SHALL BE PLAIN SLICED BIRCH, PREFINISHED AS SELECTED BY OWNER.
- PROVIDE PANIC HARDWARE AS NOTED ON PLAN
- PROVIDE FIRE PROTECTION AS NOTED PER PLAN
- PROVIDE ALUM. THRESHOLD AS NOTED PER PLAN
- FIRE DOOR ASSEMBLIES SHALL BE TEMPERED SAFETY GLASS AND PERMANENTLY IDENTIFIED BY THE MANUFACTURER.
- FIRE DOOR SHALL BE SELF-CLOSING OR AUTOMATIC-CLOSING IN ACCORDANCE WITH CODE.
- LOCK & LATCH SETS SHALL HAVE LEVER DEVICES FOR USE BY THOSE w/ DISABILITIES.
- HAND ACTIVATED DOOR OPENING HARDWARE TO BE CENTERED @ 30" TO 44" ABOVE F.F. & BE OPENED WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE.
- MAXIMUM EFFORT TO OPERATE SHALL NOT EXCEED 8.5 POUNDS FOR EXTERIOR DOORS & 5 POUNDS FOR INTERIOR DOORS.
- THE BOTTOM 10" OF ALL DOORS SHALL HAVE A SMOOTH, UNINTERRUPTED SURFACE.
- ALL REQUIRED EGRESS DOORS SHALL HAVE A MINIMUM OF 32" CLEAR OPENING w/ DOOR @ 90° TO THE CLOSED POSITION.
- THE MAXIMUM HEIGHT OF THE THRESHOLD TO BE 1/2", MAXIMUM VERTICAL CHANGE @ EDGE IS 1/4" WITH A MAXIMUM BEVEL OF 45°
- IF A DOOR HAS A CLOSER, THEN THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70° THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3" (75 MM) FROM THE LATCH, MEASURED TO THE LEADING EDGE OF THE DOOR.
- VERIFY ALL DOOR OPENINGS BEFORE FABRICATION.
- EXISTING EGRESS DOORS SHALL RECEIVE NEW PANIC HARDWARE AS REQUIRED.

ROLLING DOOR TYPE LEGEND



DOOR TYPE LEGEND



ROOM FINISH SCHEDULE

NO.	NAME	S.F.	FLOOR	BASE	NORTH WALL			EAST WALL			SOUTH WALL			WEST WALL			CEILING		REMARKS	
					MAT.	FIN.	INSUL.	MAT.	FIN.	INSUL.	MAT.	FIN.	INSUL.	MAT.	FIN.	INSUL.	MAT.	FIN.		INSUL.
101	NEW SERVICE BAYS	1453 SF	SEALED CONCRETE	N/A	EX. CMU	PAINT	EXISTING	CMU	PAINT	BLOCK FILL	CMU	PAINT	BLOCK FILL	INSUL.	6" STEEL STUD	WHITE LINER PANEL	6" BATT	WHITE LINER PANEL	16' - 0"	R50 MIN.
102	CORR.	232 SF	SEALED CONCRETE	N/A	EX. CMU	PAINT	EXISTING	2 X 6 WOOD STUDS	WHITE PINER PANEL	6" BATT	CMU	PAINT	BLOCK FILL		CMU	PAINT	BLOCK FILL	2 X 2 ACT FLAT LAYN	8' - 0"	R50 MIN.



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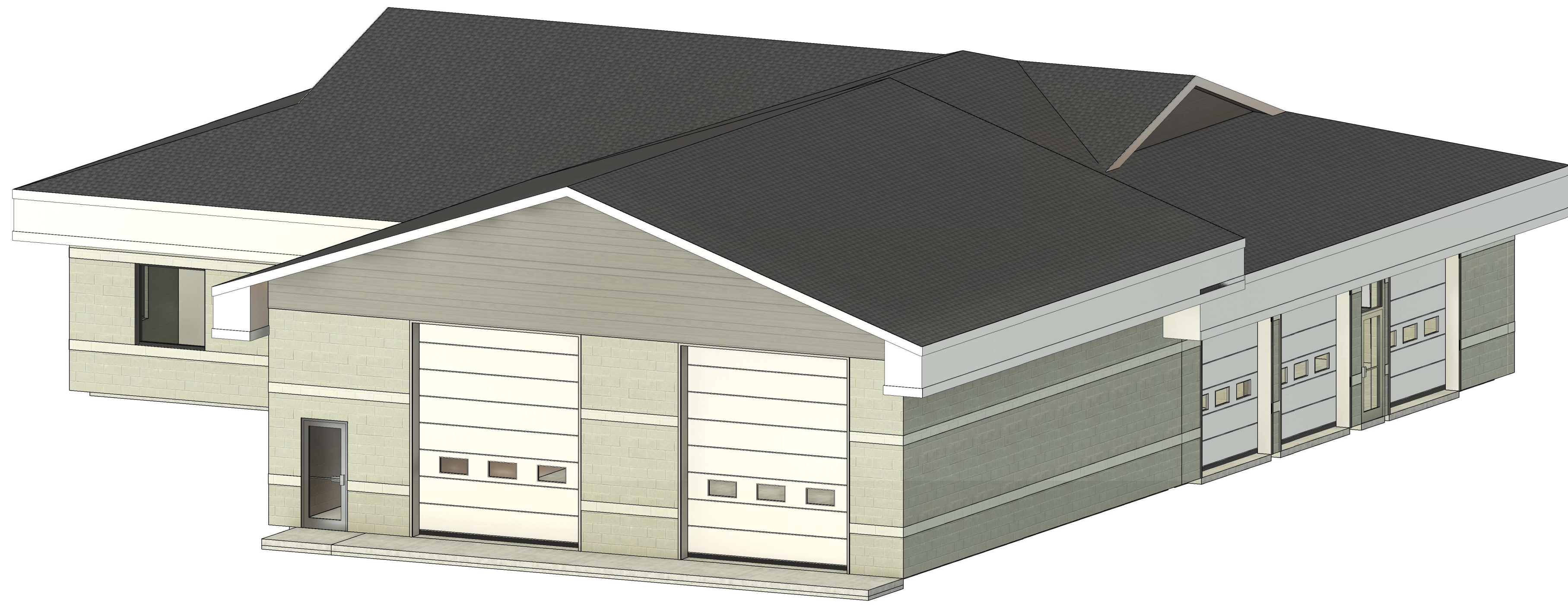
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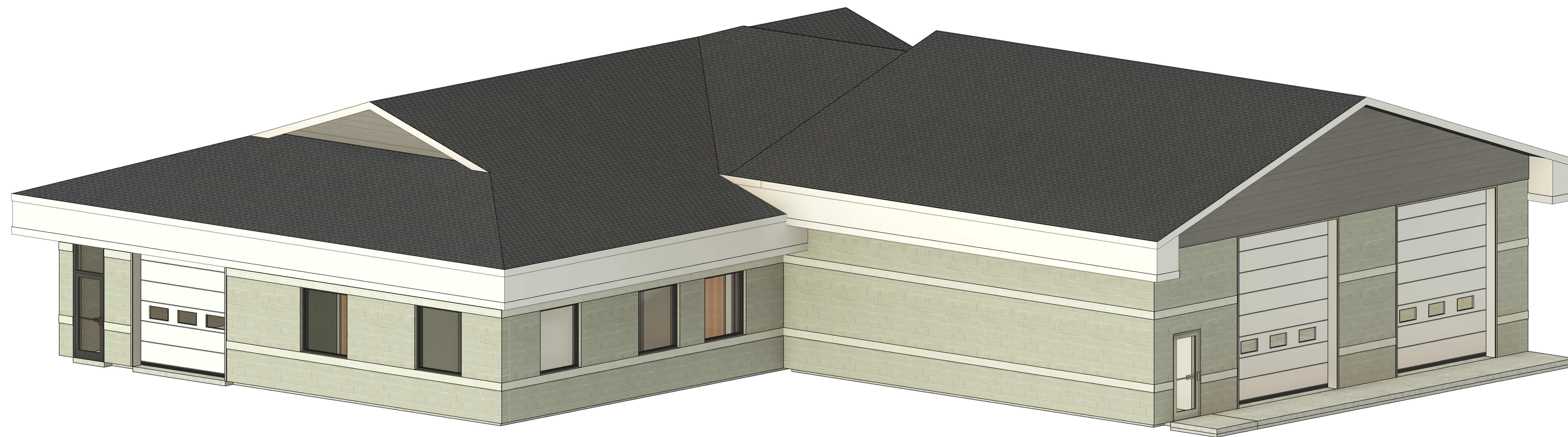
SCALE: As indicated

SCHEDULES

A620



1 PERSPECTIVE #1



2 PERSPECTIVE #2



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SCALE:

PERSPECTIVES

A900

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GENERAL NOTES

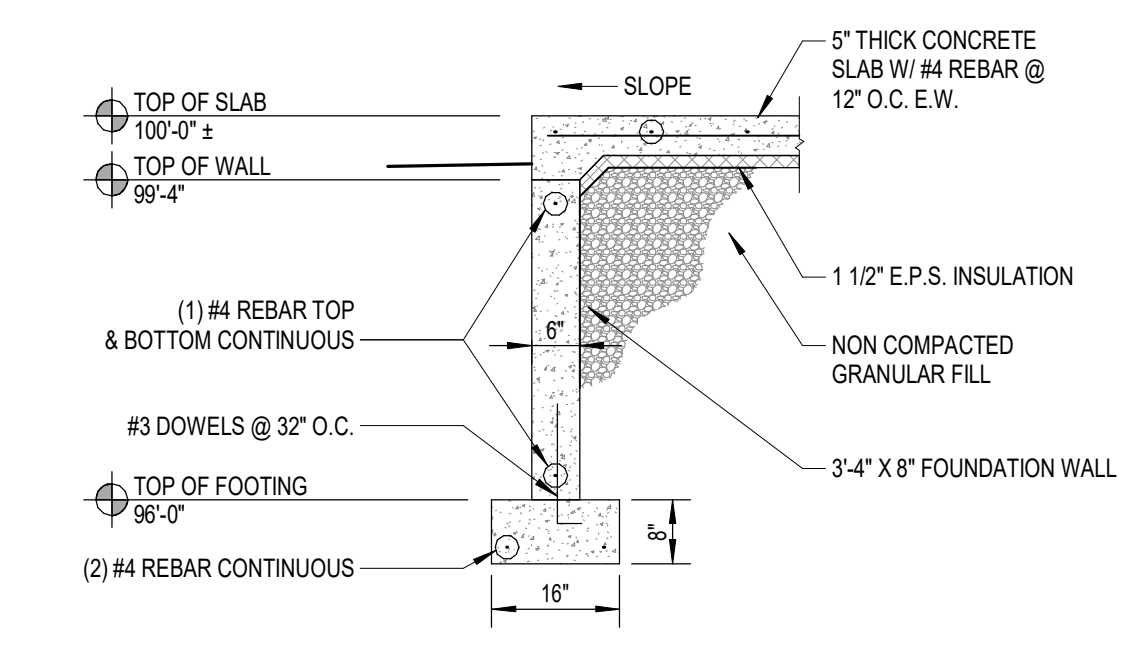
- ALL CONC. SHALL BE PLACED IN ACCORDANCE w/ CURRENT PUBLICATIONS OF THE PORTLAND CEMENT ASSOCIATION.
- BEND ALL REINFORCING RODS AROUND ALL CORNERS AND INTO ALL INTERSECTING WALLS.
- COORDINATE w/ ALL OTHER TRADES FOR THE INSTALLATION OF ALL ANCHORS, SLEEVES, HANGERS, INSERTS OPENINGS & ETC.
- REINFORCING STEEL SHALL BE ATSM-615 GRADE 60.
- FABRICATION SHALL BE WITHIN CURRENT SPECIFICATIONS OF THE AMERICAN CONCRETE INSTITUTE.
- COORDINATE w/ ALL OTHER TRADES LOCATIONS & SIZE OF ALL OPENINGS IN FLOORS, WALLS, CEILINGS, & ROOF, FOR MECH. EQUIP. & ETC.
- STRUCTURAL STEEL SHALL BE ATSM DES. A36 IN ACCORDANCE w/ SPECIFICATIONS OF THE AMERICAN INSTITUTE OF STEEL.
- ALL BOLTS SHALL BE HIGH-STRENGTH ATSM DES A325F.
- ALL WELDS SHALL BE FULL.
- ALL STEEL SHALL BE CLEAN, NEW, AND SHOP PRIMED.
- ALL STEEL SHALL BE ERECTED TRUE AND PLUMB.
- VERIFY ALL EXISTING CONDITIONS ON JOB SITE BEFORE CONSTRUCTION.
- ALL BUILDING MATERIALS SHALL BE INSTALLED IN ACCORDANCE w/ MANUFACTURER RECOMMENDATIONS & SPECIFICATIONS.
- CAULK ALL LOCATIONS WHERE DISSIMILAR MATERIALS MEET.
- CONTRACTORS SHALL LOCATE ALL UTILITIES BEFORE CONSTRUCTION & NOTIFY ARCHITECT & OWNER OF ANY INTERFERENCES.
- CONTRACTORS SHALL PROVIDE ALL BARRIERS, BARRICADES, FENCES, & SAFETY EQUIP. & PRECAUTIONS REQUIRED BY ALL CODES OR AGENCIES HAVING JURISDICTION OVER THE PROJECT.

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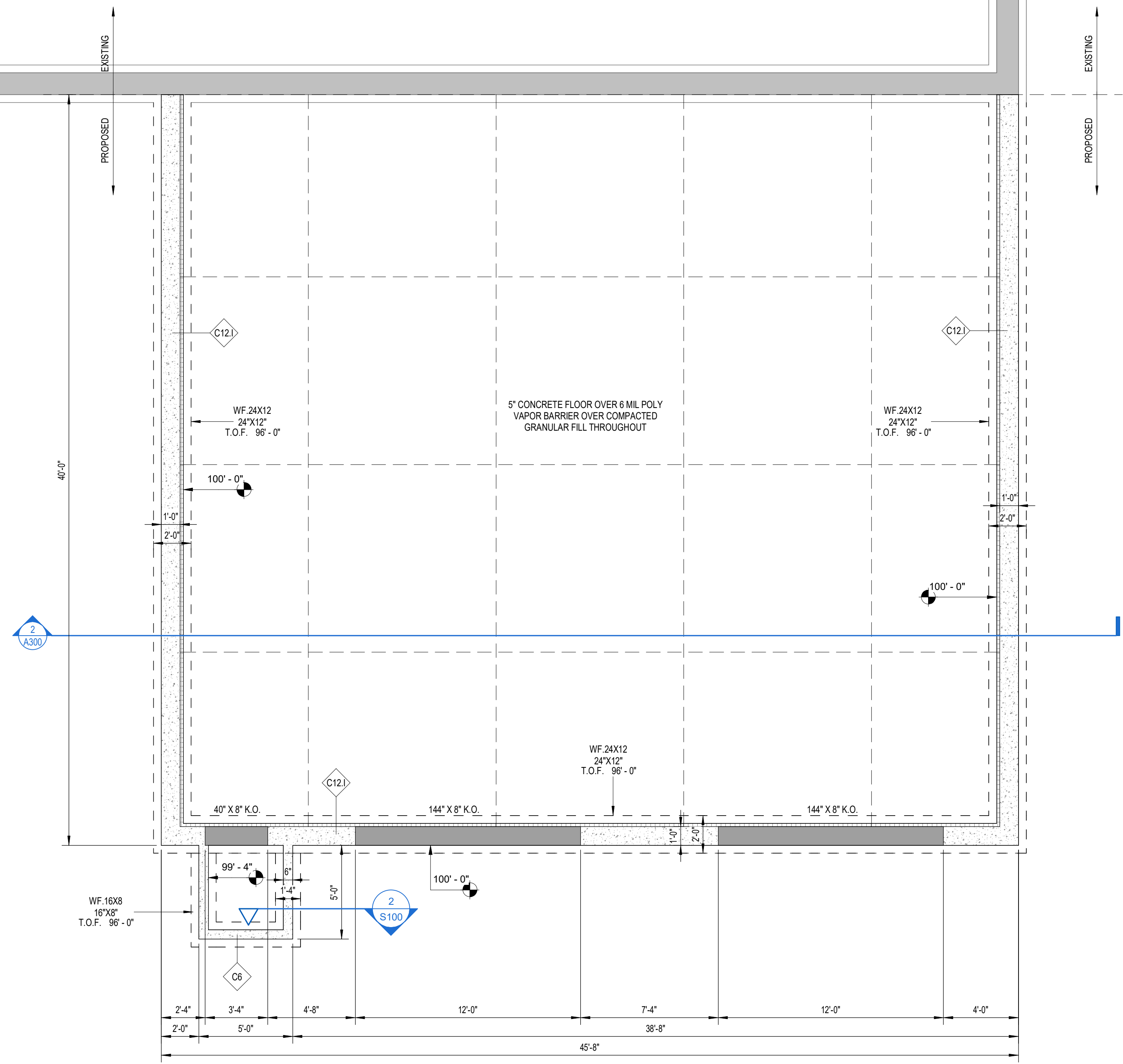
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2 6" STOOP WALL (TYP.)
1/2" = 1'-0"



1 FOUNDATION PLAN
1/4" = 1'-0"

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FOUNDATION PLAN

S100

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Streetview of South entrance and adjacent property to the East from Commercial Ave.



Streetview of Northeast corner of property and adjacent property to the East



Streetview of property and adjacent property properties to the North, from West side of property on Packers Ave.



Streetview on North side of property and adjacent properties on Mayer Ave.

