



City of Madison

Proposed Demolition

Location
501 Walnut Street

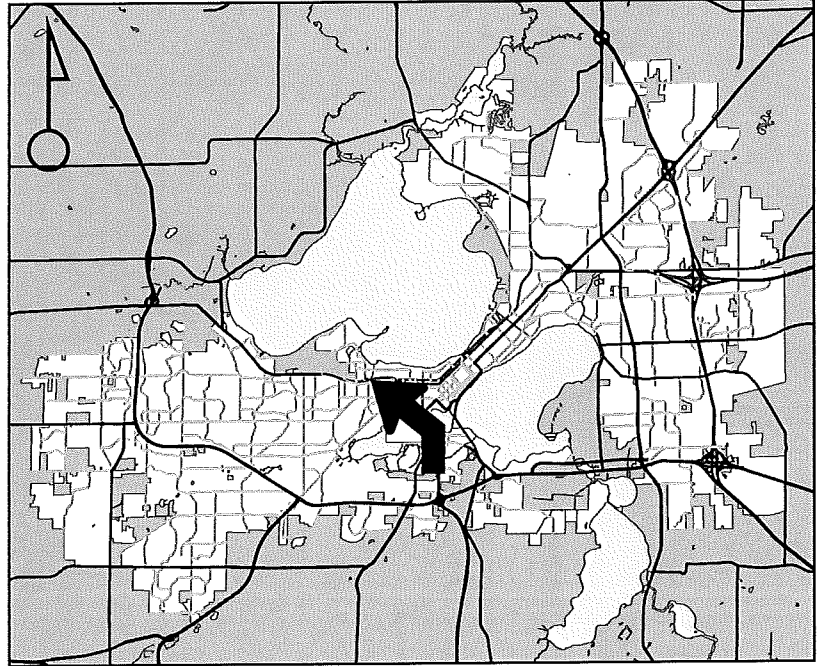
Project Name
Barley Malt Research Facility Demo

Applicant
USDA ARS / Mr. Don
Callen - Dakota Intertek Corp.

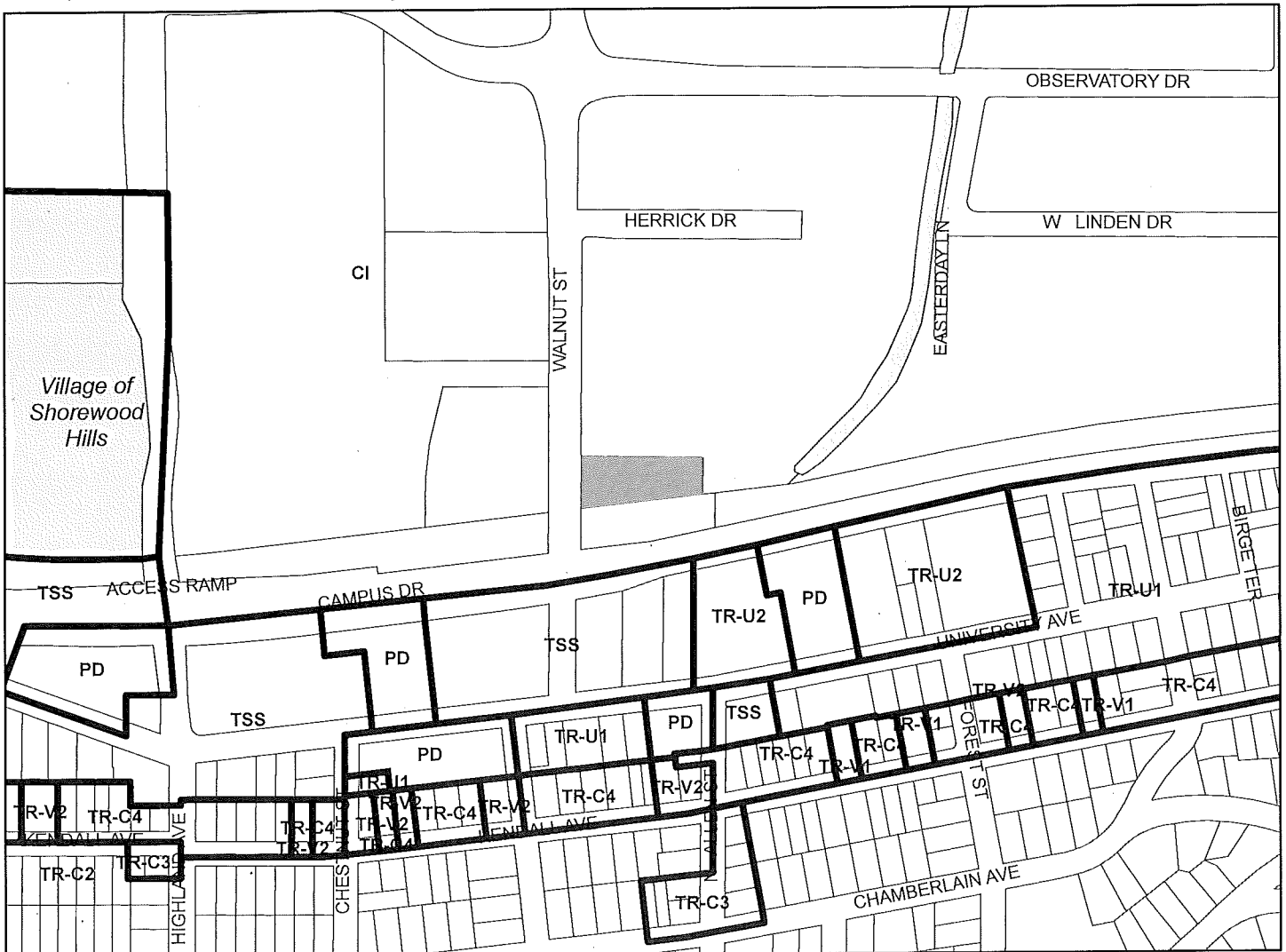
Existing Use
Laboratory

Proposed Use
Demolish laboratory with no
proposed use

Public Hearing Date
Plan Commission
21 November 2016

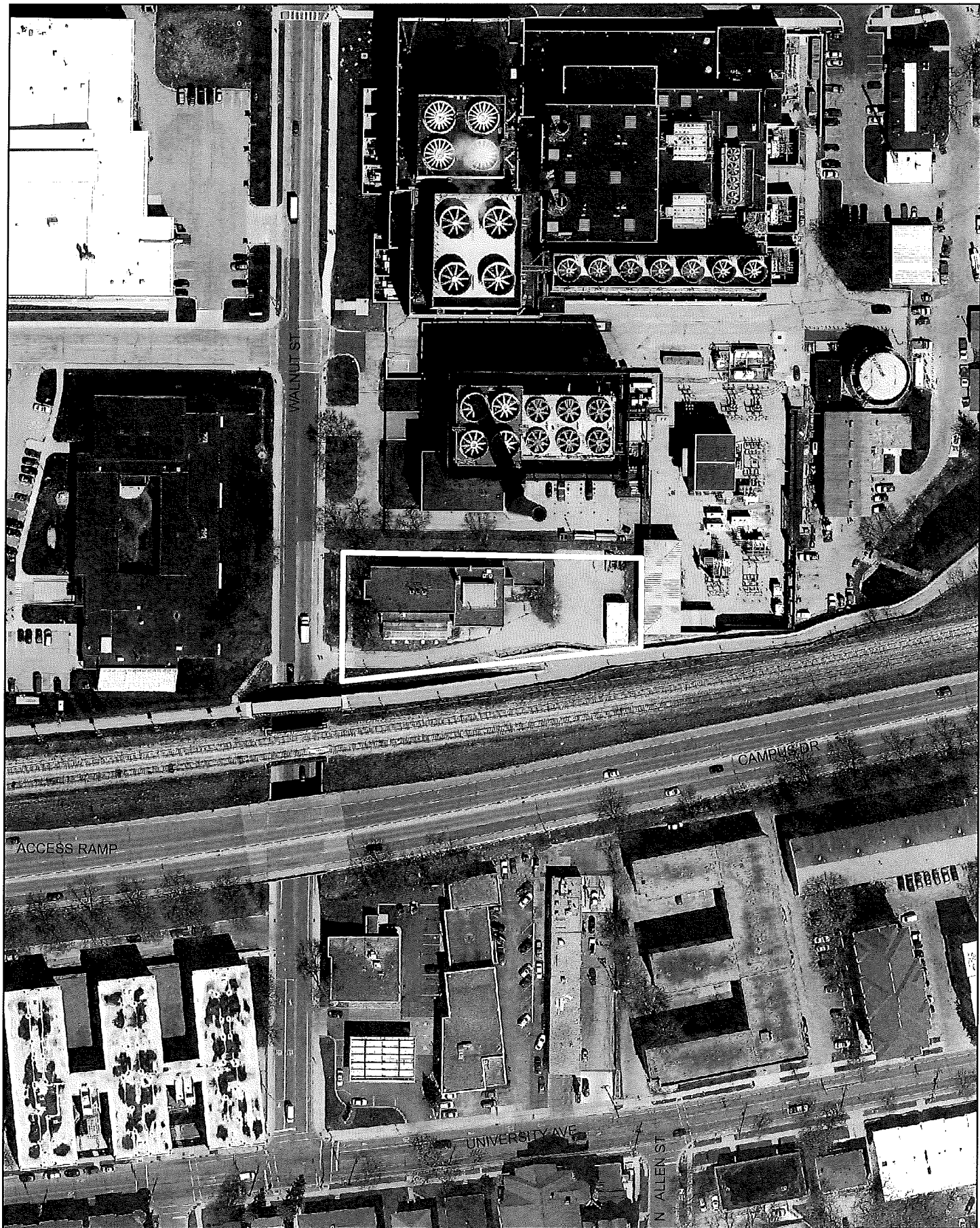


For Questions Contact: Jessica Vaughn at: 267-8733 or jvaughn@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : PPE : Date : 15 November 2016





LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:	
Amt. Paid: <u>\$600</u>	Receipt No. <u>021844-0007</u>
Date Received: <u>10/12/16</u>	
Received By: <u>[Signature]</u>	
Parcel No. <u>0709-153-0402-9</u>	
Aldermanic District <u>5 - Bidar-Sielaff</u>	
Zoning District <u>CT</u>	<u>grandfuel</u>
Special Requirements <u>Near Above Storage</u>	
Review Required By:	
<input type="checkbox"/> Urban Design Commission	<input type="checkbox"/> Plan Commission
<input type="checkbox"/> Common Council	<input type="checkbox"/> Other: _____

Form Effective: February 21, 2013

1. Project Address: 501 Walnut Street, Madison, WI 53726 LANDUSE-2016-00123
 Project Title (if any): Demolition of the Barley Malt Research Facility (BMRF) (Laboratory)

2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from _____ to _____
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit w/out a future use.
- Other Requests: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: Mr. Don Callen Company: Dakota Intertek Corp.
 Street Address: 16600 West National Avenue City/State: New Berlin, WI Zip: 53151
 Telephone: (262) 784-8844 Fax: (262) 784-8833 Email: dcallen@dakotaic.com

Project Contact Person: Mr. Don Callen Company: Dakota Intertek Corp.
 Street Address: 16600 West National Avenue City/State: New Berlin, WI Zip: 53151
 Telephone: (262) 784-8844 Fax: (262) 784-8833 Email: dcallen@dakotaic.com

Property Owner (if not applicant): USDA ARS
 Street Address: 502 Walnut Street City/State: Madison, WI Zip: 53726

4. Project Information:

Dakota Intertek Corp. has been awarded the contract to demolish the USDA Barley and Malt Laboratory. Built in 1949, the building is a defunct 9,705 square foot USDA research facility, and also has an 800 square foot detached garage. Total of 0.72 acres of land. Our contract calls for the complete abatement and demolition of both buildings, utilities, and improvements, returning the land to pristine condition. Upon demolition, the USDA ARS will cede the land to the University of WI, Madison, which currently has no plans for future development.

Development Schedule: Commencement November 15th, 2016 Completion May 15th, 2016

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/alterd buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)

Grading and Utility Plans (existing and proposed)

Landscape Plan (including planting schedule depicting species name and planting size)

Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)

Floor Plans (fully dimensioned plans including interior wall and room location)

① existing conditions ② post demolition

③ photos

④ Environ. Assess. COPY.

Provide collated project plan sets as follows:

- *32 copies* Seven (7) copies of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- *11" x 17"* Twenty Five (25) copies of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- One (1) copy of the plan set reduced to fit onto 8 1/2 X 11-inch paper

* For projects requiring review by the Urban Design Commission, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

32 copies

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: City Treasurer.

*\$4000
double check verify*

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

- Refuse/Recycling plan - transition list serve notifications - photos

transition list serve

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: JLW Date: 9/29/16 Zoning Staff: Jenny Kirchgatterer Date: 9/29/16

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Dakota Intertek Corp. Relationship to Property: Demolition Contractor

Authorizing Signature of Property Owner Cynthia Newman Date 10/6/16

Letter of Intent

Full Demolition of the Abandoned USDA Barley Malt Laboratory 501 North Walnut Street, Madison, Wisconsin

Dear Madam(s) or Sir(s):

The United States Department of Agriculture, Agricultural Research Service (USDA-ARS) has contracted with Dakota Intertek Corp. (Dakota) to demolish a defunct former laboratory building located at 501 North Walnut Street, Madison, WI (site). The project is full mechanical demolition, including full utility and foundation removal. Upon completion, the site will be restored to "original" condition conforming to adjacent existing grade, finished to greenspace.

The abandoned building has not been in service for approximately nine years, and there are no plans for future site development at this time. Reportedly, the land will be ceded as greenspace to the University of Wisconsin.

Project Team:

Owner

USDA-ARS EBSC Contracting, Acquisition
1815 N. University St.
Peoria, IL 61604
Representative – Lori Faber: 308-681-6610

Demolition Contractor

Dakota Intertek Corp.
16600 West National Avenue
New Berlin, WI 53151
Ph: (262) 784-8844
Representative – Don Callen: 414-581-0376

Asbestos and Lead Abatement Contractor

Dirty Ducts
3025 Perry Street
Madison, WI 53713
Ph: (608) 204-3828
Representative – Justin Vondra: 608-575-4205

Concrete, asphalt, brick and block will be recycled at Homberg Construction yard on Milwaukee Street, Madison. Madison's All Metal Recycling will receive demolition steel, light metals, and appliances (with CFC's properly evacuated). Dakota will use Landfill Reduction of Madison to recycle and dispose wood and miscellaneous debris. Advanced Restoration of Milwaukee will remove and recycle trees, and landscaping materials. Dakota Intertek personnel will properly remove, containerize, and transport hazardous materials to Veolia Environmental Services, and Waste Management Madison Prairie Landfill

Existing Conditions:

The site building is a two-story 9,570 square foot brick and block structure with full basement. A detached 800 square foot four-bay garage will also be removed. Asphalt parking lot and greenspace totaling 0.72 acres currently occupies the remainder of the site.

Project Schedule:

Dakota Intertek Corp. will complete all demolition and restoration activities within 125 calendar days. Site activities could begin as early as possible after public hearing and demolition permit acquisition – projected to be the week of November 28, 2016. When ambient temperature is below freezing for an extended period of time, the time of performance will be suspended, and resume when frost is no longer in the ground, typically March. Therefore, the latest anticipated end date would be early May, 2017.

Proposed Uses:

The site will be returned to original condition, including full removal of all subsurface structures and utilities. The USDA-ARS will cede the land to the University of Wisconsin. The University of Wisconsin does not have any current plans for development.

Hours of Operation:

The site is in an institutional and commercial use area. Dakota will begin work no earlier than 0700, and end work no later than 1700, Monday through Friday. Holidays will be observed.

Building Square Footage, Number of Dwelling Units, and Parking Spaces:

The existing abandoned site building is an institutional two-story 9,570 square foot brick and block structure, with a detached 800 square foot four-bay garage, with 0.72 acres of asphalt and existing greenspace. The site has never been used as residential property. After demolition activities, the site will revert to greenspace with no new structures or parking area planned.

Lot Coverage, Usable Space, Value:

The post-demolition site will be greenspace with no planned development. The value of the empty lot has not been calculated at this time.

Estimated Project Cost:

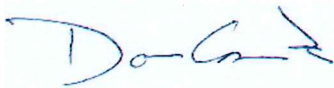
The project will cost approximately \$276,000.00.

Jobs Created:

Dakota Intertek Corp. does not anticipate recruiting additional internal workforce for the project. However, suppliers, vendors, and subcontractors are all local business interests.

Thank you for the opportunity to work with the City of Madison. Please do not hesitate to contact us with any questions or comments.

Sincerely,



Vice-President
Dakota Intertek Corp.

DRIVEWAY TO REMAIN SAWCUT POINTS

A	Alignment: P1008KAP0111A Station: 624+37.87 Offset: 6.0'	E	Alignment: P1008KAP0111A Station: 625+25.32 Offset: 6.0'
B	Alignment: P1008KAP0111A Station: 624+47.24 Offset: 6.0'	F	Alignment: P1008KAP0111A Station: 625+34.91 Offset: 6.0'
C	Alignment: P1008KAP0111A Station: 624+48.72 Offset: 6.0'	D	Alignment: P1008KAP0111A Station: 625+44.42 Offset: 7.0' Angle from P1008KAP0111A: 28°45'47"
D	Alignment: P1008KAP0111A Station: 624+53.93 Offset: 6.0'	H	Alignment: P1008KAP0111A Station: 625+58.29 Offset: 6.0'

LEGEND

—E—	UNDERGROUND ELECTRIC TO BE REMOVED	—E—	UNDERGROUND ELECTRIC TO REMAIN
—G—	UNDERGROUND GAS TO BE REMOVED	—G—	UNDERGROUND GAS TO REMAIN
—W—	UNDERGROUND WATER TO BE REMOVED	—W—	UNDERGROUND WATER TO REMAIN
—SS—	UNDERGROUND STORM SEWER TO BE REMOVED	—SS—	UNDERGROUND STORM SEWER TO REMAIN
—S—	UNDERGROUND SANITARY TO BE REMOVED	—S—	UNDERGROUND SANITARY TO REMAIN
		—FO—	UNDERGROUND FIBER OPTIC TO REMAIN

REMOVAL AND DEMOLITION ITEMS

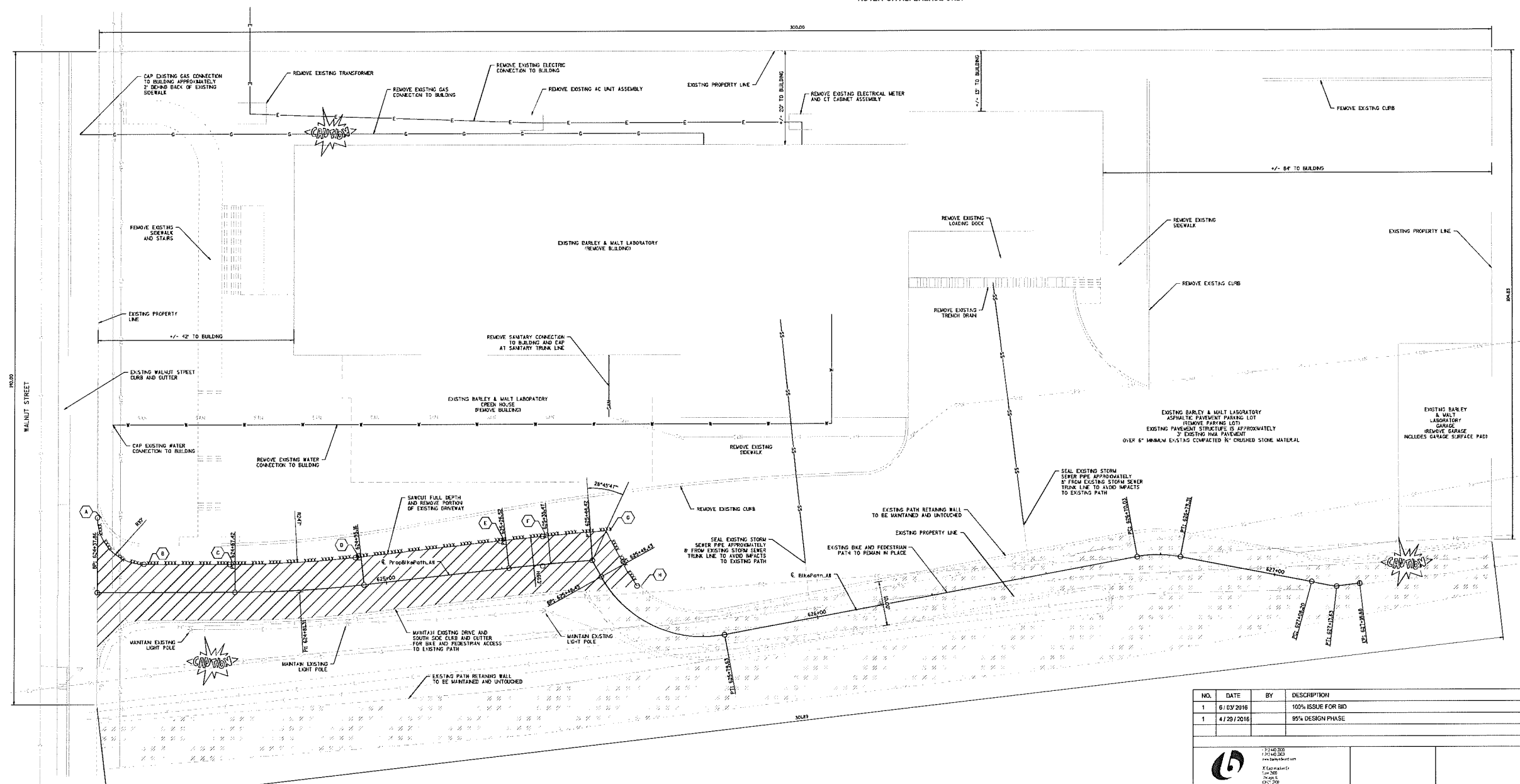
ITEM	QUANTITY	UNIT
CLEARING	0.75	ACRE
GRUBBING	0.75	ACRE
SAWCUT ASPHALT FULL DEPTH	130	LF
REMOVING CONCRETE SIDEWALK	158	SY
REMOVING EXISTING TRENCH DRAIN	36	LF
REMOVING EXISTING LOADING DOCK	40	SY
REMOVING ASPHALTIC SURFACE	1260	SY
REMOVING CURB & GUTTER	392	LF
REMOVING EXISTING PORCH	25	SY
REMOVING EXISTING CONCRETE STEPS	12	SY
REMOVING EXISTING GAS CONNECTION TO BUILDING	137	LF
REMOVING EXISTING WATER CONNECTION TO BUILDING	179	LF

REMOVAL AND DEMOLITION ITEMS CONTINUED

ITEM	QUANTITY	UNIT
REMOVING EXISTING SANITARY CONNECTION TO BUILDING	25	LF
REMOVING EXISTING STORM SEWER TO BUILDING	106	LF
REMOVING EXISTING ELECTRIC CONNECTION TO BUILDING	138	LF
REMOVING EXISTING TRANSFORMER	1	EACH
REMOVING EXISTING AC UNIT ASSEMBLY	1	EACH
REMOVING EXISTING ELECTRICAL METER AND CT CABINET ASSEMBLY	1	EACH
CAP EXISTING GAS CONNECTION	1	EACH
CAP EXISTING WATER CONNECTION	1	EACH
CAP EXISTING SANITARY CONNECTION	1	EACH
TERMINATE EXISTING ELECTRICAL CONNECTION	1	EACH
SEAL EXISTING STORM SEWER PIPE	2	EACH

NOTE: FOR REFERENCE ONLY

NOTE: FOR REFERENCE ONLY



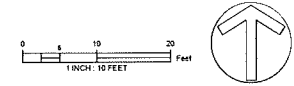
NOTES:

REMOVE EXISTING BILLING, PARKING LOT, SIDEWALKS, AND STORAGE GARAGE. EXISTING BIKE AND PEDESTRIAN PATH AND RETAINING WALL SHALL REMAIN IN PLACE. SAWCUT AND MAINTAIN 10 FEET OF EXISTING ASPHALT DRIVEWAY TO MAINTAIN BIKE AND PEDESTRIAN PATH CONNECTION FROM WALNUT STREET.

UTILITIES SHOWN ON THIS SHEET WERE RECORDED FROM AS-BUILTS. THESE LOCATIONS ARE APPROXIMATE. EXACT LOCATIONS TO BE VERIFIED IN THE FIELD.

REMOVE ALL EXISTING UTILITIES ON THE PROJECT SITE. COORDINATE WITH UTILITY COMPANIES TO DETERMINE UTILITY TERMINATION LOCATIONS.

BACKFILL IN LOCATION OF EXISTING BUILDINGS ONCE DEMOLITION IS COMPLETE AND ANY OTHER LOCATIONS WHERE EXCAVATION OCCURS DURING DEMOLITION.



NO.	DATE	BY	DESCRIPTION
1	6/03/2016		100% ISSUE FOR BID
1	4/29/2016		95% DESIGN PHASE

 BAILEY EDWARD DESIGN OHB DESIGNER: BE	USA DM EPAL TV	 CIVIL SITE DEMOLITION PLAN DEMOLISH BARLEY AND MALT LABORATORY	 UNIVERSITY OF WISCONSIN MADISON CAMPUS 501 NORTH WALNUT STREET, WI 53726	DWG. NO. CD001
				SHEET 1 OF 1

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NOTES:

PLACE BASE AGGREGATE DENSE 1 3/4-INCH UNDER PROPOSED CONCRETE CURB AND GUTTER 30-INCH TYPE D AND CONCRETE CURB TYPE D AT A MINIMUM DEPTH OF 3-INCHES. RESTORE THE RE-CRAVED GRAVEL WITH MINIMUM 6 INCHES TOPSOIL, SEEDING MIXTURE NO. 75, AND FERTILIZER TYPE B.

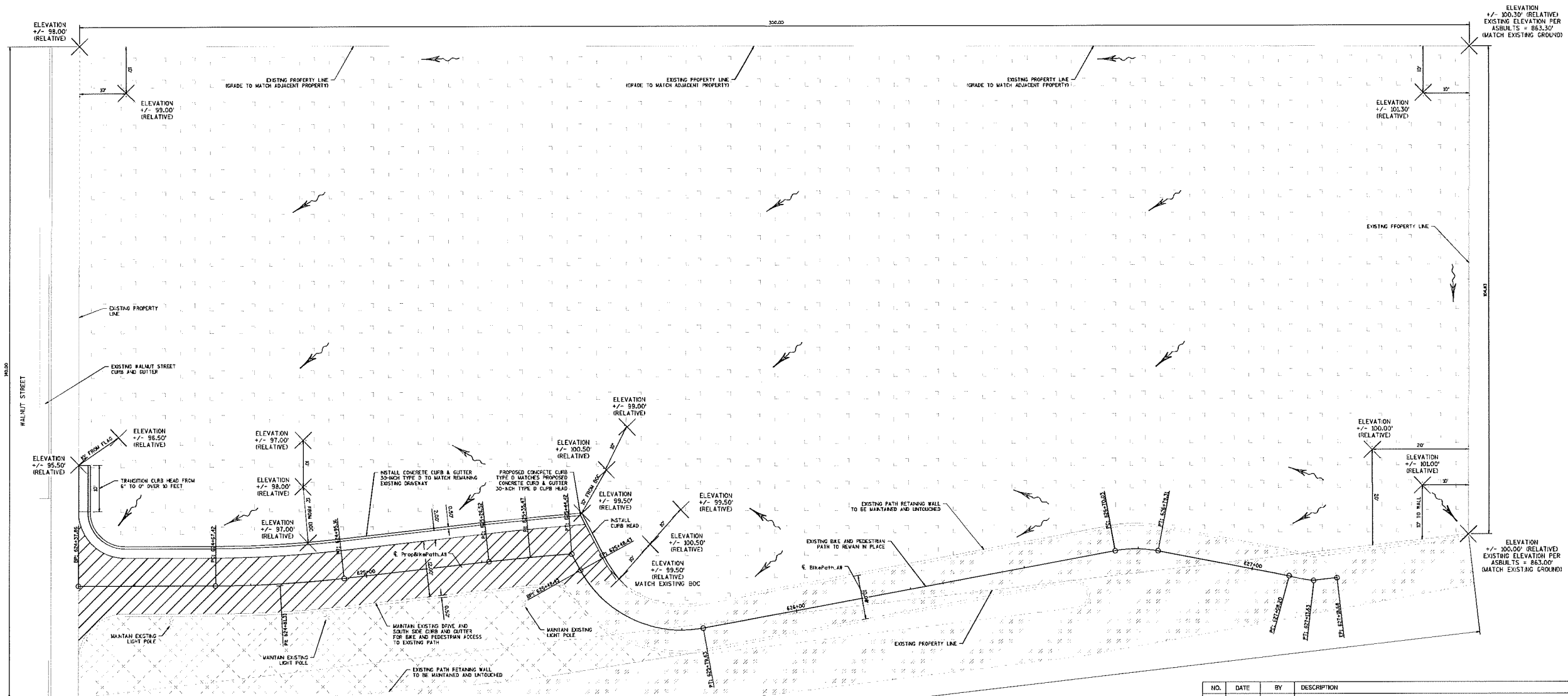
LEGEND

- EROSION MAT URBAN CLASS 1 TYPE B, TOPSOIL, SEED, AND FERTILIZER
MAINTAIN EXISTING DRIVEWAY FOR BAKE AND PEDESTRIAN PATH CONNECTION
EXISTING SKE AND PEDESTRIAN PATH TO REMAIN IN PLACE
EXISTING GROUND UNDISTURBED
GRADE TO DRAIN WATER FLOW FROM
RELATIVE GROUND ELEVATION POINT

RESTORATION ITEMS

Table with 3 columns: RESTORATION ITEM, QUANTITY, UNIT. Includes items like EXCAVATION COMMON, BORROW, BASE AGGREGATE DENSE 1 1/4-INCH, CONCRETE CURB TYPE D, etc.

NOTE: FOR REFERENCE ONLY

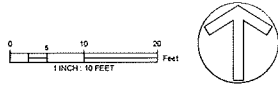


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Revision table with columns: NO., DATE, BY, DESCRIPTION. Shows revisions for 100% ISSUE FOR BID and 95% DESIGN PHASE.

Logo for Bailey Edward Design and contact information.

Project information including Project Manager (OH), Designer (BE), and Project Name (SITE RESTORATION PLAN).



SITE PHOTOS



Exterior- Front View of Property



Exterior- Front View of Property



Exterior- Front View of Property,
Showing Surroundings on Left



Exterior- Front View of Property,
Showing Surroundings on Right



Exterior- Front Foliage, View of
Property on Opposite Street Side



Exterior- Front Stairwell



Exterior- Side View of Property



Exterior- Side View of Property



Exterior- Side View of Property



Exterior- Rear View of Property



Exterior- Rear View of Property,
Showing Bike Ramp on Left



Exterior- Rear View of Property



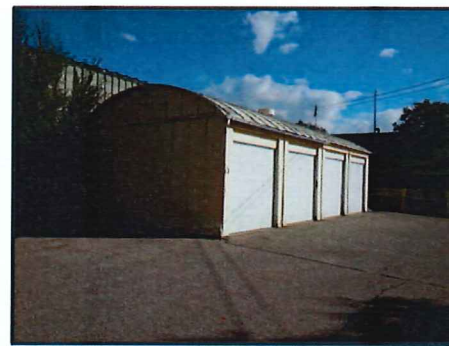
Exterior- Rear View of Property



Exterior- Rear View of Property,
Showing Surroundings on Right



Exterior- Driveway Approach to
Rear, Also Showing 4 Bay Garage



Exterior- 4 Bay Detached Garage



Exterior- Surrounding Property
Behind Detached Garage



Exterior- Side of Detached Garage

DEMO PLAN SHEET NOTES

- IT IS RECOMMENDED, ALTHOUGH NOT MANDATORY, THE CONTRACTOR VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS PRIOR TO COMMENCING THE WORK. EXISTING CONDITIONS SHOWN ARE FROM INFORMATION PROVIDED BY THE OWNER. VERIFY IN FIELD ALL EXISTING CONDITIONS, DIMENSIONS, ELEVATION HEIGHTS, CONSTRUCTION AND BUILDING SYSTEMS PRIOR TO PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL NOTIFY THE CONTRACTING OFFICER OF ANY AND ALL DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS PRIOR TO PROCEEDING WITH THE WORK.
- PROTECT EXISTING WALLS, ROOFS AND FINISHES OF ADJACENT BUILDINGS DURING REMOVAL AND CONSTRUCTION. PROVIDE TEMPORARY PROTECTION FROM DUST, NOISE, DAMAGE, ETC. AND CONSTRUCTION BARRIERS AND OTHER SITE PROTECTION REQUIREMENTS CONSISTENT WITH THE SPECIFICATIONS SECTION, AND DIVISION 1, GENERAL REQUIREMENTS. REFER TO THE PROJECT MANUAL, SPECIFICATIONS DIVISION 1, AND GENERAL REQUIREMENTS, FOR RELATED PROJECT, DEMOLITION, CONSTRUCTION AND PROTECTION REQUIREMENTS.
- THE CONTRACTOR SHALL COORDINATE ALL NECESSARY PERMITS REQUIRED.
- CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS DAILY. DEMOLITION WORK SHALL REMAIN SAFE & CLEAN FOR THE BUILDING'S OCCUPANTS & CONSTRUCTION WORKERS. OCCUPIED AREAS ADJACENT TO THE PROJECT WORK AREAS SHALL BE KEPT CLEAN AT ALL TIMES DURING THE WORK.
- CONTRACTOR TO VERIFY AND ABATE ALL LEAD BASED PAINT & ACM PRIOR TO DEMO, COORDINATE WITH HAZARDOUS MATERIAL DRAWINGS.
- EXISTING CONDITIONS AND DIMENSIONS SHOWN ON THE DRAWINGS HAVE BEEN COMPILED BY THE ARCHITECT FROM EXISTING DRAWINGS PROVIDED BY THE OWNER AND SHALL BE USED BY THE CONTRACTOR ONLY AS A GUIDE. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL CONDITIONS AND SHALL REPORT ANY DISCREPANCIES IN THE SITE CONDITIONS OR THE DOCUMENTS TO THE CONTRACTING OFFICER IN WRITING.
- THE CONTRACTOR MUST RECEIVE WRITTEN NOTIFICATION FROM THE POWER, WATER AND GAS UTILITY COMPANIES THAT EACH UTILITY HAS BEEN SHUT OFF AND THE WRITTEN NOTIFICATION MUST BE PROVIDED TO THE CONTRACTING OFFICER.

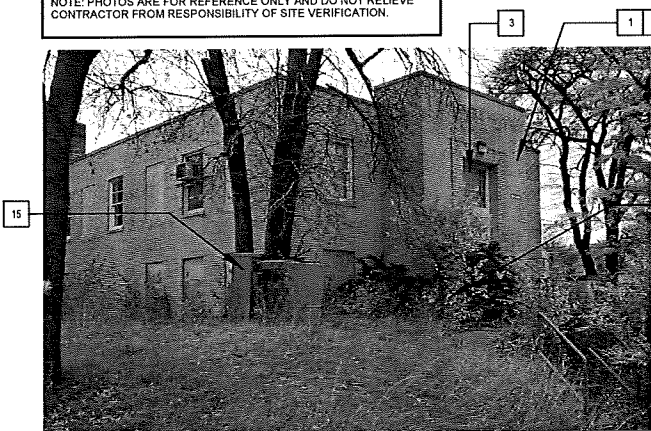
NOTE: PHOTOS ARE FOR REFERENCE ONLY AND DO NOT RELIEVE CONTRACTOR FROM RESPONSIBILITY OF SITE VERIFICATION.

DEMO PLAN KEY NOTES

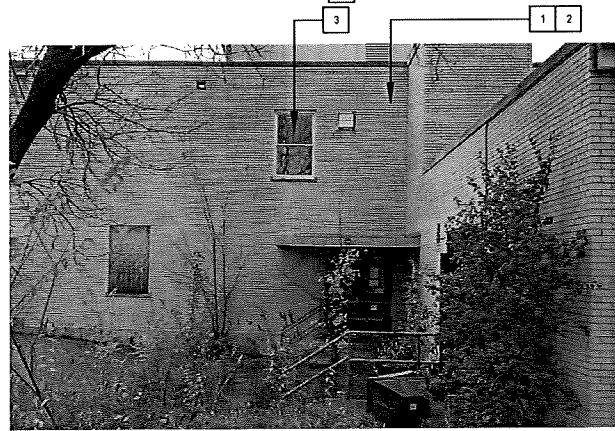
- DEMO ENTIRE BUILDING, INCLUDING FOUNDATIONS AND FOOTINGS.
- OFFICE AND LABORATORY MATERIAL TO BE REMOVED PRIOR TO DEMO WORK.
- DEMO DOORS AND GLASS ASSEMBLIES.
- DEMO CONCRETE SLAB AND FLOOR DRAIN ASSEMBLY.
- DEMO (4) AC UNITS, PADS AND BOLLARDS ASSEMBLY.
- DEMO WOOD RETAINING WALL PLANTER.
- DEMO EXISTING UTILITY. SEE CIVIL.
- DEMO STORAGE GARAGE.
- NOT USED.
- DEMO ELECTRICAL METER AND CT CABINET ASSEMBLY.
- DEMO FENCE AND AC UNIT ASSEMBLY.
- DEMO PLANT MATERIAL, APPROXIMATELY SIX (6) SIXTY-FOOT TALL TREES, TWO-TIER STONE RETAINING WALLS, (APPROXIMATELY 83' IN LENGTH), AND STAIR GUARDRAILS AT EACH STAIR.
- DEMO EXISTING WATER SERVICE. SEE CIVIL.
- PART OF THE DRIVEWAY WILL REMAIN TO TIE INTO PATH.
- DEMO TRANSFORMER.
- EXISTING FENCE TO REMAIN.
- DEMO EXISTING 1 1/2" GAS MAIN.
- DEMO 12" DIA. METAL SLEEVES PROJECT 6" ABOVE ROOF SLAB AND 2" BELOW, SEE SPECIFICATIONS.
- DEMO CHIMNEY.
- DEMO EXHAUST CHASE.
- DEMO VENT.
- DEMO A/C UNITS.
- 6" CONCRETE REINFORCED PAVEMENT WITH 6X6 - 4/4 W/W. PLACED 2" FROM TOP OF SLAB.
- EXISTING RAMP TOWARDS MAIN STREET PERPENDICULAR WITH WALNUT STREET TO REMAIN.
- STOP SIGN TO REMAIN.
- LIGHT POLE TO REMAIN, ALONG WITH BIKE PATH.
- CONTRACTOR TO PROVIDE TEMPORARY FENCING TO PROHIBIT ACCESS DURING DURATION OF WORK.
- DEMO APPROXIMATELY FIVE (5) THIRTY-FOOT TALL TREES IN THIS AREA.
- TEMPORARY BARRICADE WITH SIGN INDICATING NO EXIT.

DEMO PLAN LEGEND

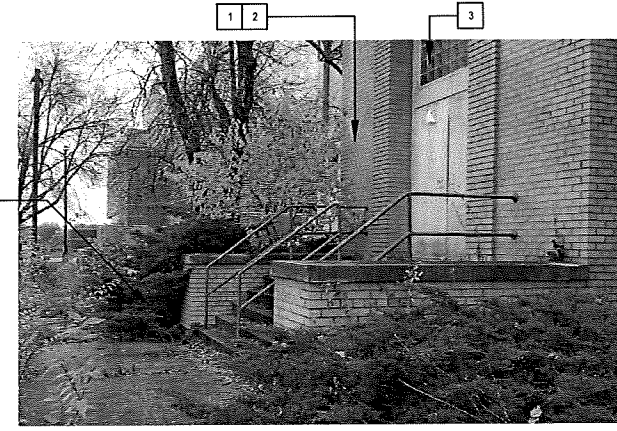
- DEMOLISH EXISTING SITE ELEMENT
- === DEMOLISH EXISTING BUILDING ELEMENT & EQUIPMENT
- - - DEMOLISH EXISTING BUILDING DOOR, OVERHEAD DOOR OR GLAZING



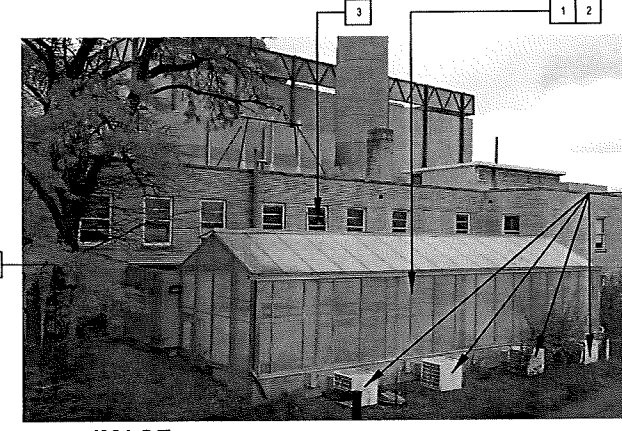
8 IMAGE
SCALE: NTS



7 IMAGE
SCALE: NTS



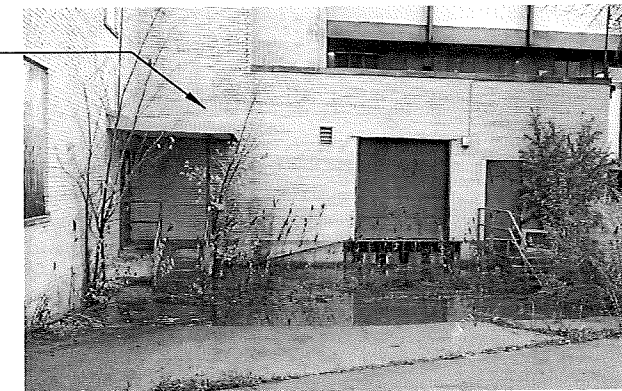
6 IMAGE
SCALE: NTS



5 IMAGE
SCALE: NTS



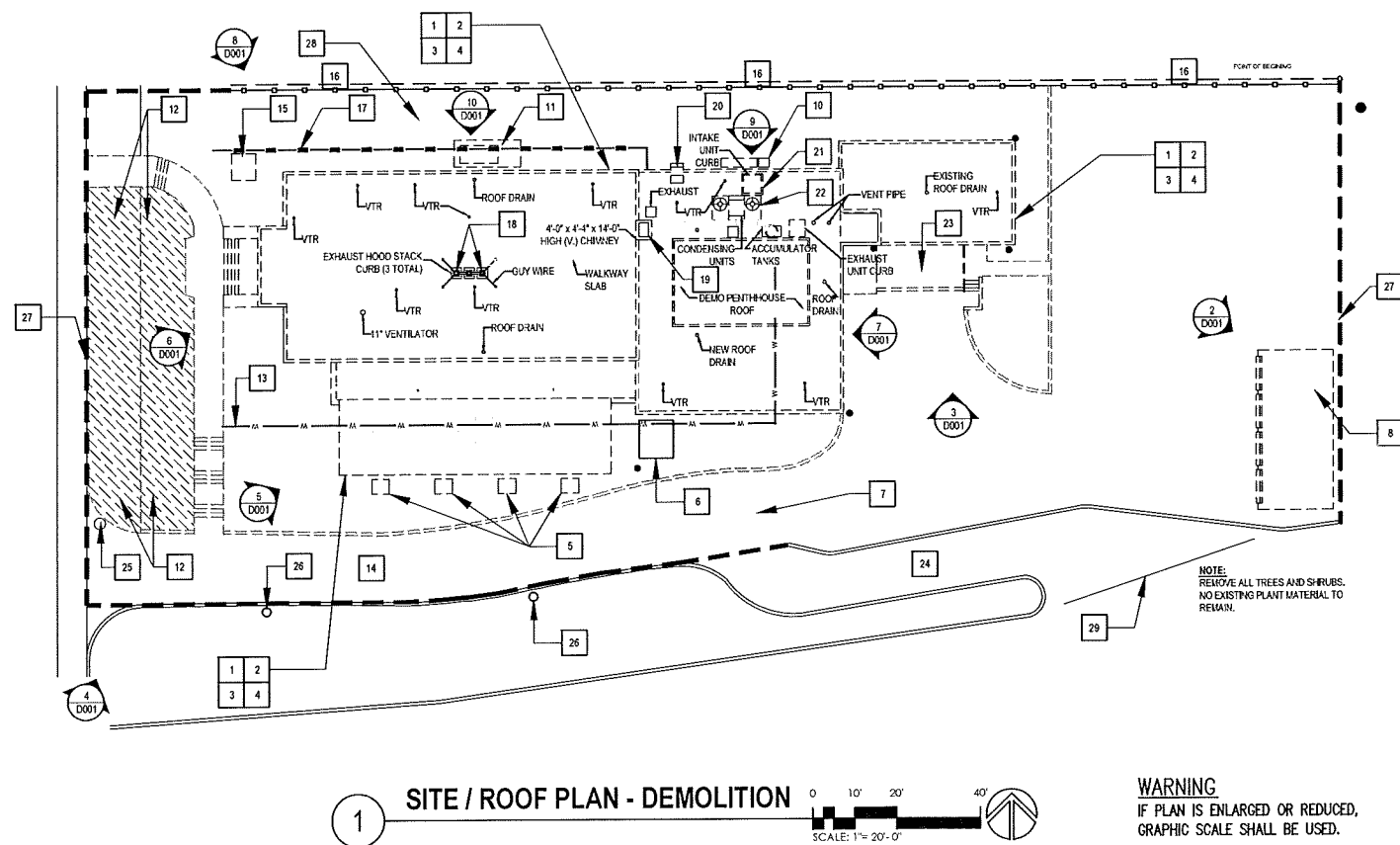
4 IMAGE
SCALE: NTS



3 IMAGE
SCALE: NTS



2 IMAGE
SCALE: NTS



1 SITE / ROOF PLAN - DEMOLITION
SCALE: 1" = 20'-0"

WARNING
IF PLAN IS ENLARGED OR REDUCED,
GRAPHIC SCALE SHALL BE USED.

NO.	DATE	BY	DESCRIPTION
1	6 / 03 / 2016		100% ISSUE FOR BID

<p>BAILEY EDWARD DESIGN</p>	<p>USDA</p>	<p>USDA</p>	<p>Aggricultural Research Service</p>
<p>CHECKED BY: OHB</p> <p>BED PROJECT NO.: 1101-15-13</p>	<p>SAFETY & HEALTH: DM</p> <p>REAL PROPERTY: XXX</p>	<p>TASK ORDER NO.: AG-32SC-D-15-0320</p> <p>ORDER DATE: 10.27.2015</p>	<p>UNIVERSITY OF WISCONSIN, MADISON CAMPUS</p> <p>601 NORTH WALNUT STREET, WI 53726</p>
			<p>DWG. NO. D001</p> <p>SHEET OF</p>

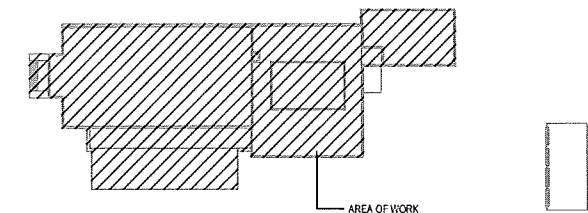
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- THE CONTRACTOR SHALL COORDINATE ALL NECESSARY PERMITS REQUIRED.
- CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS DAILY. DEMOLITION WORK SHALL REMAIN SAFE & CLEAN FOR THE BUILDING'S OCCUPANTS & CONSTRUCTION WORKERS. OCCUPIED AREAS ADJACENT TO THE PROJECT WORK AREAS SHALL BE KEPT CLEAN AT ALL TIMES DURING THE WORK.
- CONTRACTOR TO VERIFY AND ABATE ALL LEAD BASED PAINT & ACM PRIOR TO DEMO. COORDINATE WITH HAZARDOUS MATERIAL DRAWINGS.
- EXISTING CONDITIONS AND DIMENSIONS SHOWN ON THE DRAWINGS HAVE BEEN COMPILED BY THE ARCHITECT FROM EXISTING DRAWINGS PROVIDED BY THE OWNER AND SHALL BE USED BY THE CONTRACTOR ONLY AS A GUIDE. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL CONDITIONS AND SHALL REPORT ANY DISCREPANCIES IN THE SITE CONDITIONS OR THE DOCUMENTS TO THE CONTRACTING OFFICER IN WRITING.
- THE CONTRACTOR MUST RECEIVE WRITTEN NOTIFICATION FROM THE POWER, WATER AND GAS UTILITY COMPANIES THAT EACH UTILITY HAS BEEN SHUT OFF AND THE WRITTEN NOTIFICATION MUST BE PROVIDED TO THE CONTRACTING OFFICER.

DEMO PLAN KEY NOTES

- DEMO ENTIRE BUILDING. SEE MECH. FOR ADDITIONAL INFORMATION.
- DEMO SUPPORT COLUMNS, BEAMS AND CONCRETE FOOTINGS. DEMO ALL UTILITY CONNECTIONS - SEE MECH. REMOVE ALL LOOSE DEBRIS.
- DEMO ALL CONDUIT, UTILITY PIPING & ASSOC. SUPPORTS, SEE MECH. FOR ADDITIONAL INFORMATION.
- DEMO EXISTING DOORS AND HOLLOW METAL FRAME.
- DEMO GREEN HOUSE GLAZING AND METAL FRAME.
- DEMO ALL PIPING, CONDUITS AND SUPPORTS. CAP AT EXISTING FLOOR LEVEL. SEE MECH. FOR ADDITIONAL INFORMATION.
- DEMO METAL GUARDRAILS AND SUPPORTS.
- DEMO TOILETS AND ALL BATHROOM EQUIPMENT.

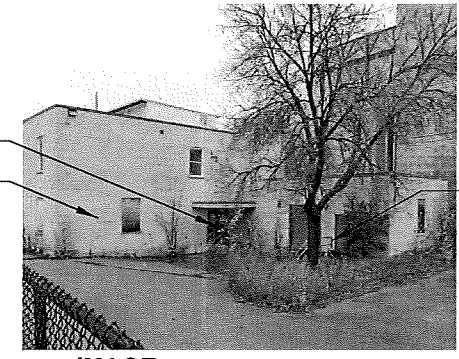
NOTE: PHOTOS ARE FOR REFERENCE ONLY AND DO NOT RELIEVE CONTRACTOR FROM RESPONSIBILITY OF SITE VERIFICATION.



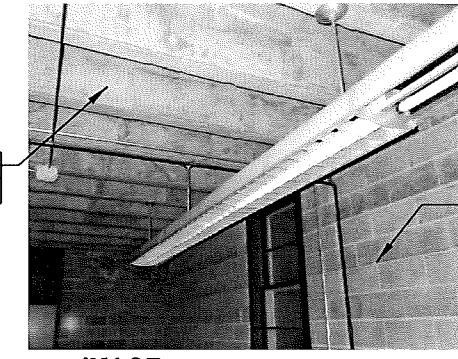
MAIN BUILDING KEY PLAN

DEMO PLAN LEGEND

- DEMOLISH EXISTING BUILDING ELEMENT & EQUIPMENT IN ITS ENTIRETY
- DEMOLISH EXISTING BUILDING DOOR, OVERHEAD DOOR OR GLAZING IN ITS ENTIRETY



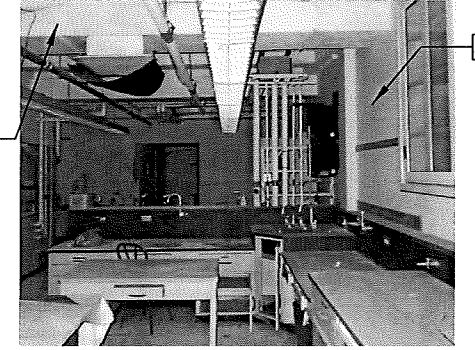
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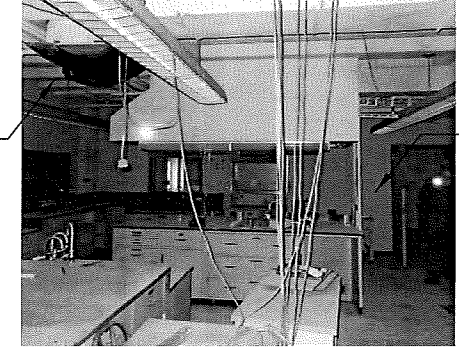
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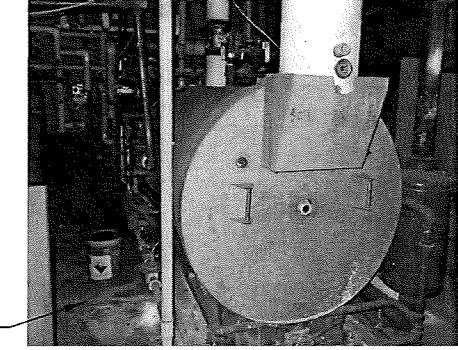
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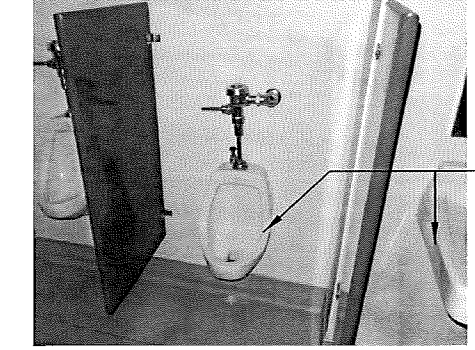
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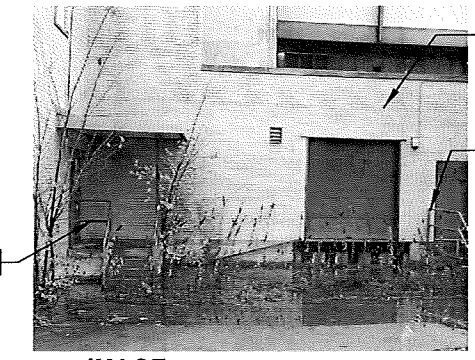
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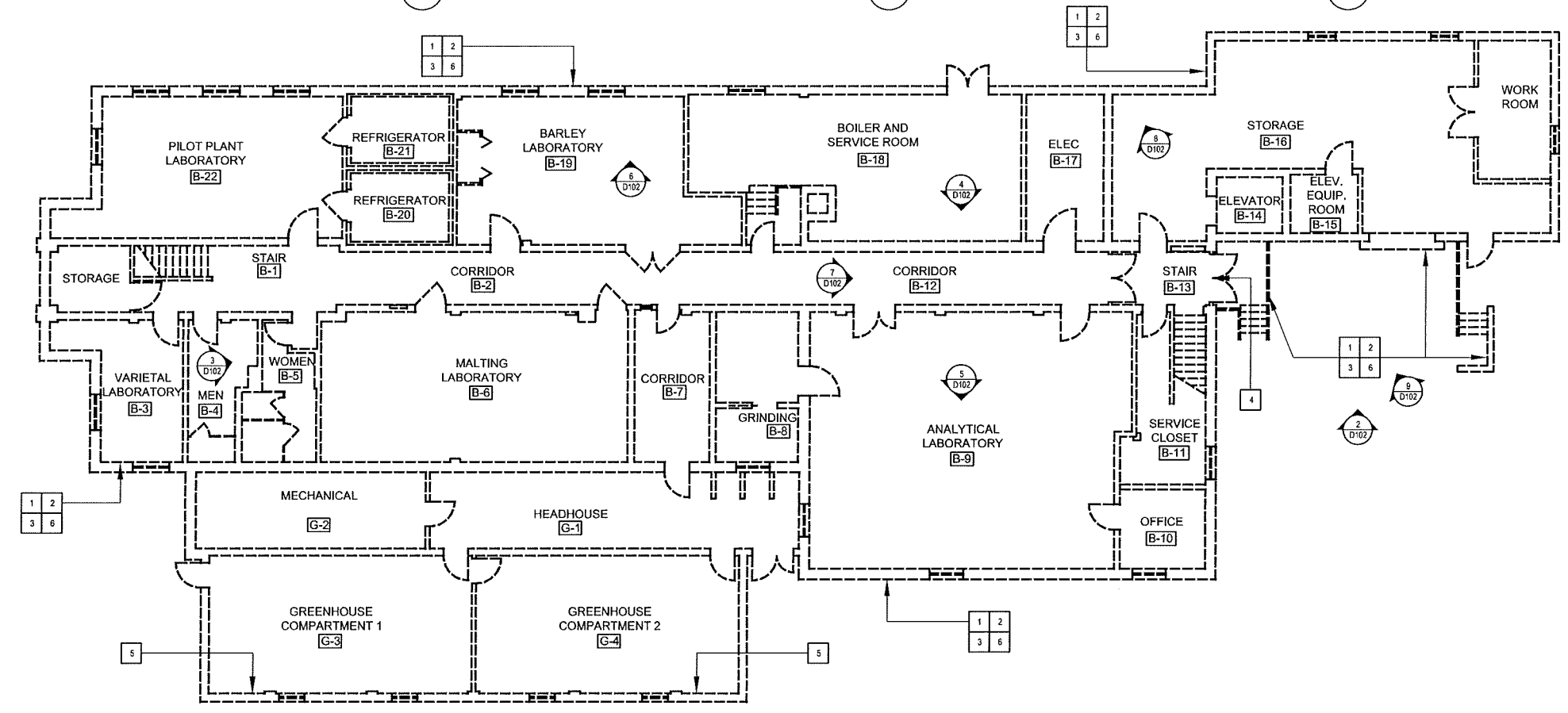
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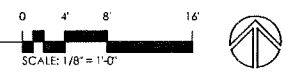
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2 IMAGE
SCALE: NTS



1 BASEMENT FLOOR PLAN - DEMOLITION
SCALE: 1/8" = 1'-0"



WARNING
IF PLAN IS ENLARGED OR REDUCED,
GRAPHIC SCALE SHALL BE USED.

NO.	DATE	BY	DESCRIPTION
1	6/03/2016		100% ISSUE FOR BID

 BAILEY EDWARD DESIGN		USDA	
PROJECT MANAGER: OHB DESIGNER: BE		AOE: DM EPM: TV	
CHECKED BY: OHB BED PROJECT NO.: 1101-15-13		SAFETY & HEALTH: DM REAL PROPERTY: XXX	
TASK ORDER NO.: AG-32SC-D-15-0320 ORDER DATE: 10.27.2015		UNIVERSITY OF WISCONSIN, MADISON CAMPUS 501 NORTH WALNUT STREET, WI 53726	
DWG. NO. D101 SHEET OF		USDA Agricultural Research Service BASEMENT FLOOR PLAN - DEMO DEMOLISH BARLEY AND MALT LABORATORY	

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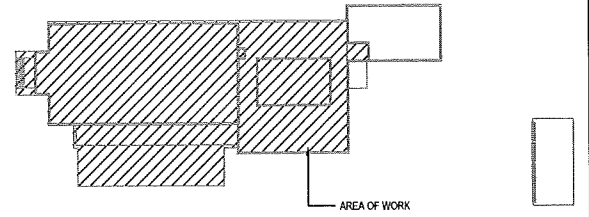
DEMO PLAN SHEET NOTES

- IT IS RECOMMENDED, ALTHOUGH NOT MANDATORY, THE CONTRACTOR VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS PRIOR TO COMMENCING THE WORK. EXISTING CONDITIONS SHOWN ARE FROM INFORMATION PROVIDED BY THE OWNER. VERIFY IN FIELD ALL EXISTING CONDITIONS, DIMENSIONS, ELEVATION HEIGHTS, CONSTRUCTION AND BUILDING SYSTEMS PRIOR TO PROCEEDING WITH THE WORK.
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- DEMO ALL CONDUIT, UTILITY PIPING & ASSOC. SUPPORTS. SEE MECH. FOR ADDITIONAL INFORMATION
- DEMO EXISTING DOORS AND HOLLOW METAL FRAME.
- DEMO GREEN HOUSE GLAZING AND METAL FRAME.
- DEMO ALL PIPING, CONDUITS AND SUPPORTS. CAP AT EXISTING FLOOR LEVEL. SEE MECH. FOR ADDITIONAL INFORMATION
- DEMO METAL GUARDRAILS AND SUPPORTS.
- DEMO METAL FENCING.
- DEMO ALL MECH. & MISC. PADS, SUPPORTS, ETC.

NOTE: PHOTOS ARE FOR REFERENCE ONLY AND DO NOT RELIEVE CONTRACTOR FROM RESPONSIBILITY OF SITE VERIFICATION.



MAIN BUILDING KEY PLAN

DEMO PLAN LEGEND

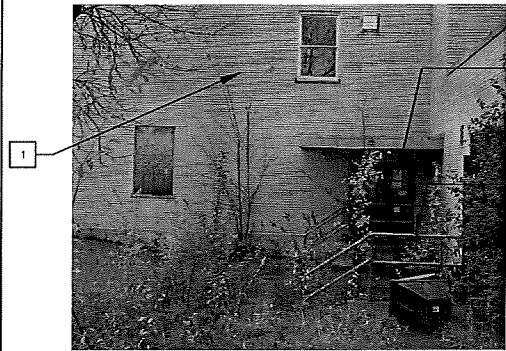
- DEMOLISH EXISTING SITE ELEMENT
- DEMOLISH EXISTING BUILDING ELEMENT & EQUIPMENT
- DEMOLISH EXISTING BUILDING DOOR, OVERHEAD DOOR OR GLAZING



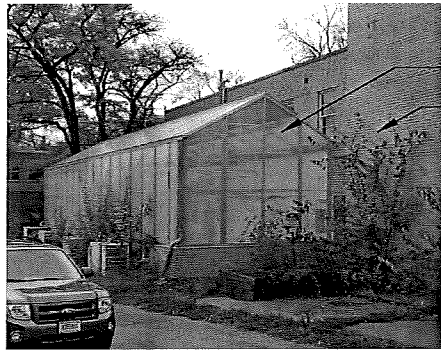
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9 IMAGE
SCALE: NTS



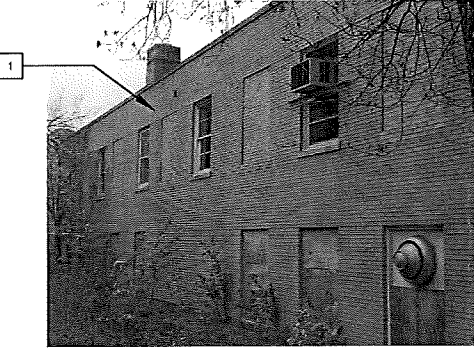
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7 IMAGE
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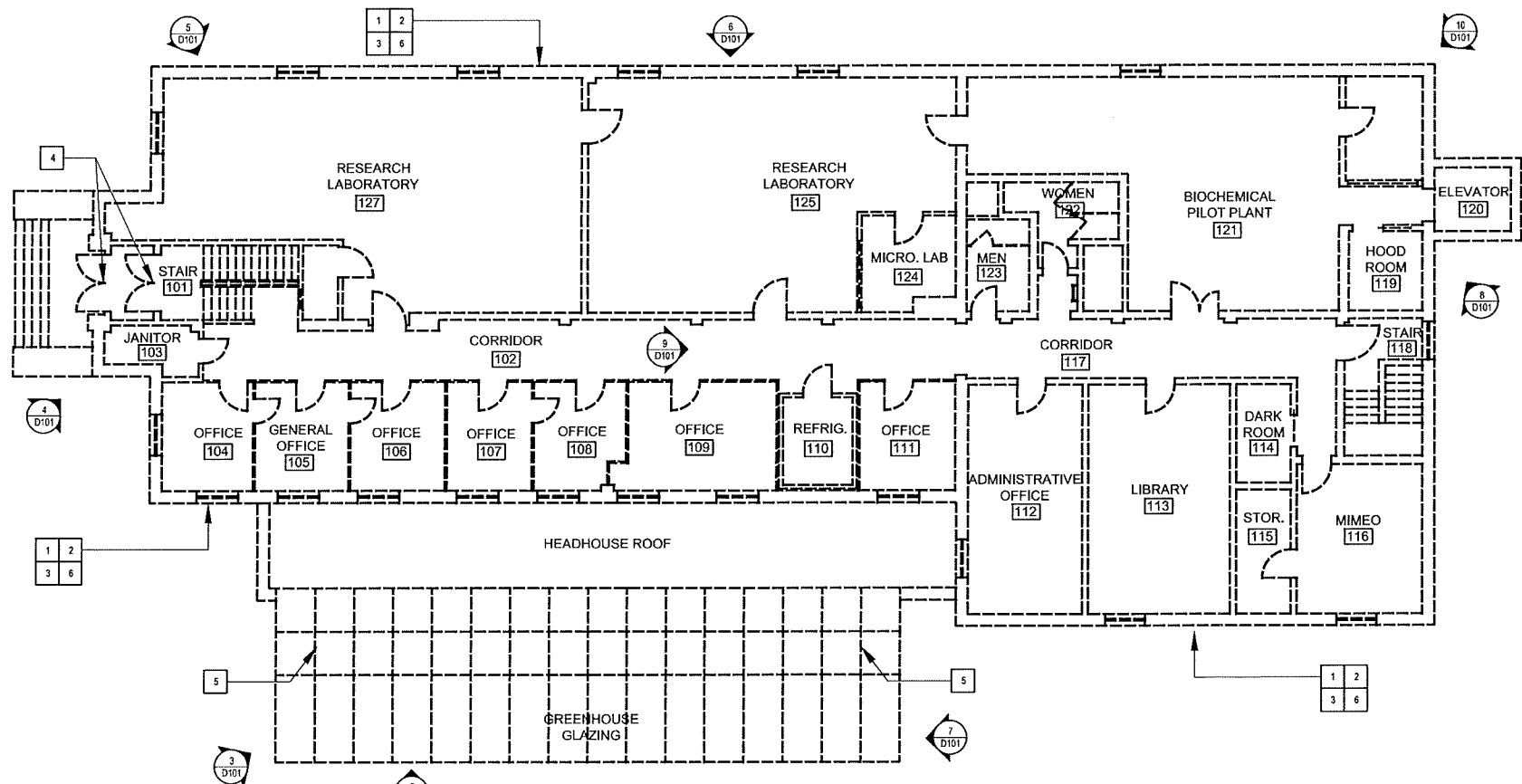
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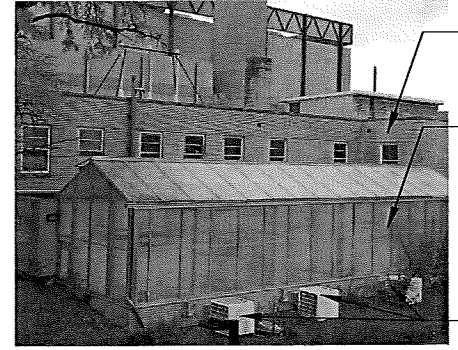
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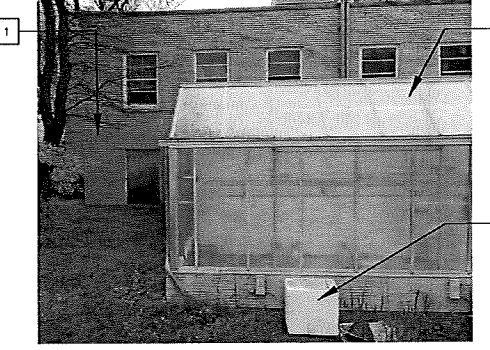
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1 1ST FLOOR PLAN - DEMOLITION
SCALE: 1/8" = 1'-0"



3 IMAGE
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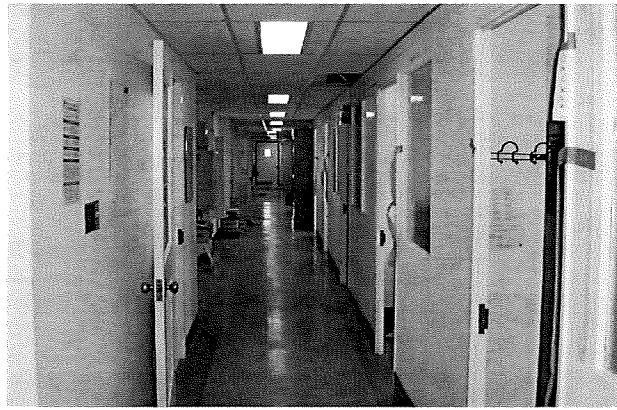
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NO.	DATE	BY	DESCRIPTION
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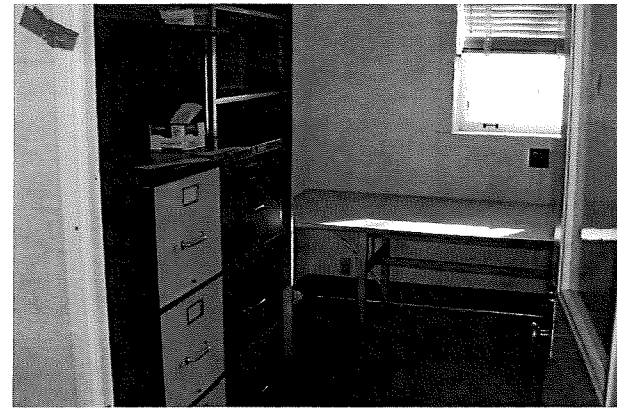
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<p>CHECKED BY: OHB</p> <p>BED PROJECT NO: 1101-15-13</p>	<p>SAFETY & HEALTH: DM</p> <p>REAL PROPERTY: XXX</p>	<p>TASK ORDER NO.: AG-32SC-D-15-0320</p> <p>ORDER DATE: 10.27.2015</p>	<p>UNIVERSITY OF WISCONSIN, MADISON CAMPUS 501 NORTH WALNUT STREET, WI 53726</p>

WARNING
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GRAPHIC SCALE SHALL BE USED.

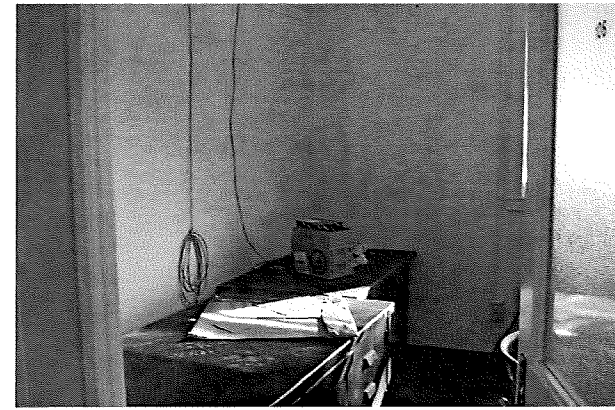
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SHEET OF



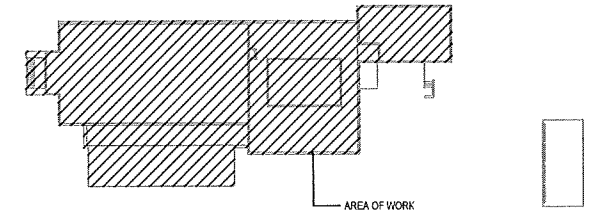
12 MAIN BUILDING INTERIOR VACANT SPACE IMAGE
SCALE: NTS



11 MAIN BUILDING INTERIOR VACANT SPACE IMAGE
SCALE: NTS



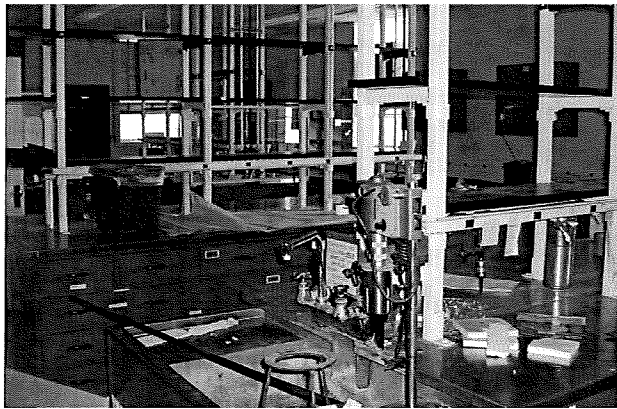
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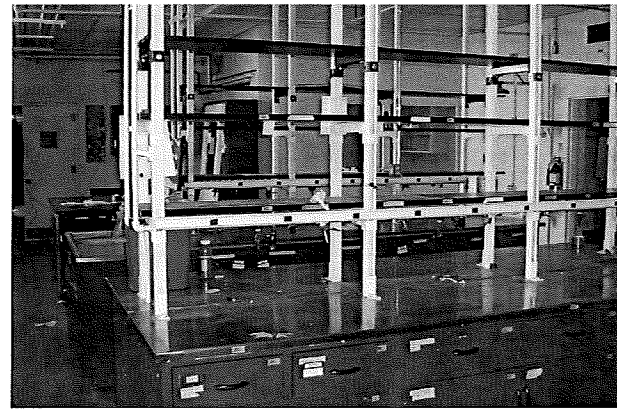
MAIN BUILDING KEY PLAN

GENERAL NOTES

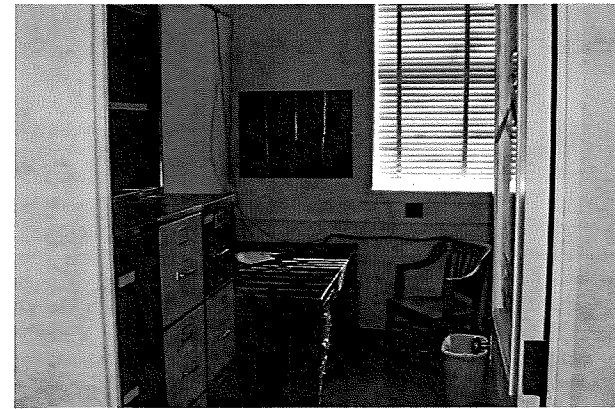
- PHOTOS OF THE EXISTING CONDITIONS OF THE INTERIOR OF THE BUILDING SHOWING THE GENERAL CONDITIONS, FURNITURE AND EQUIPMENT TO BE REMOVED BY THE CONTRACTOR FROM THE SITE.
- MAIN BUILDING 1ST FLOOR: TOTAL CONTENTS LESS THAN 45 CUBIC YARDS.
- MAIN LEVEL DOCK AREA AND 1ST FLOOR LABS / SPACES CONTAINED SEVERAL STEEL CABINETS, SHELVES, A CHEST FREEZER, SEVERAL (20+) TABLES / CHAIRS, 4 LARGE TVs, AND MISCELLANEOUS OLD EQUIPMENT.



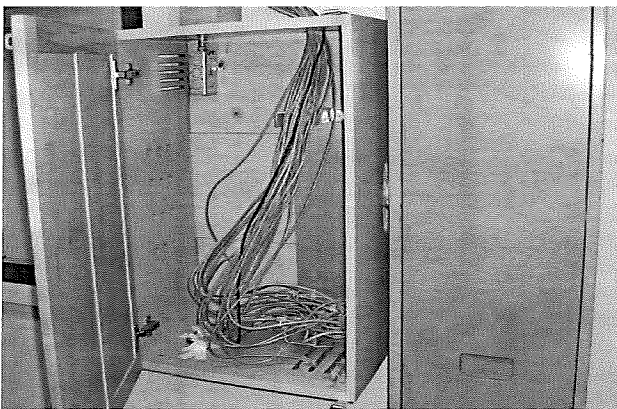
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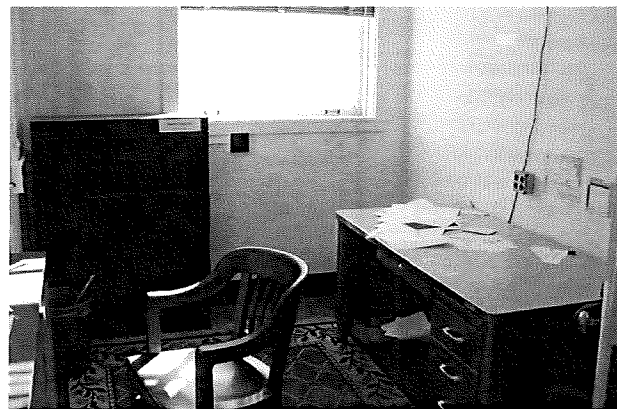
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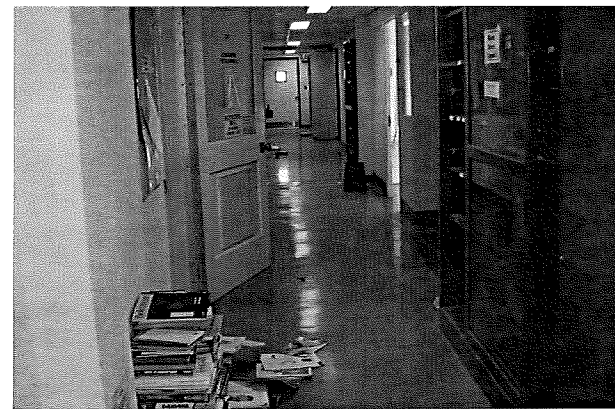
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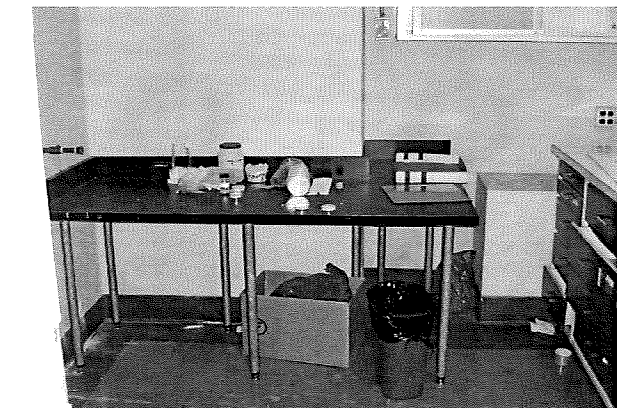
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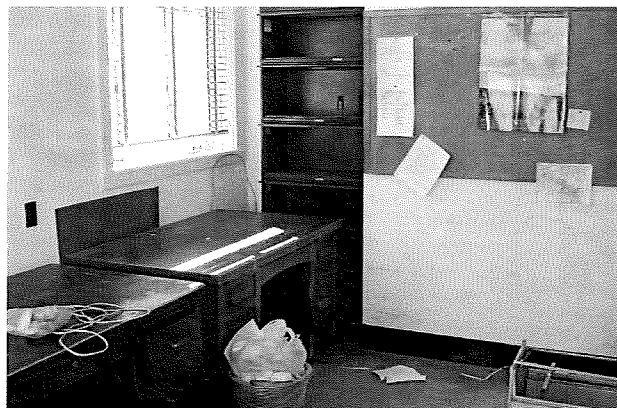
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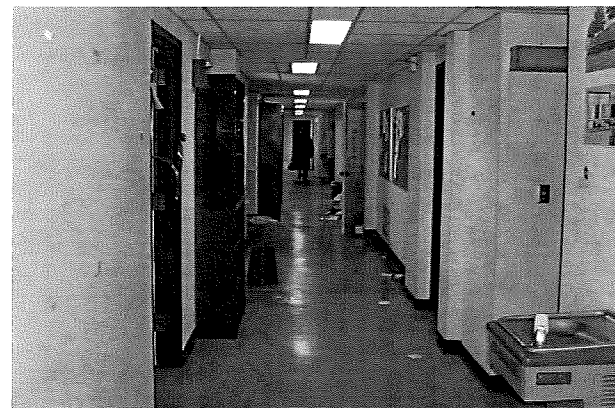
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3 MAIN BUILDING INTERIOR VACANT SPACE IMAGE
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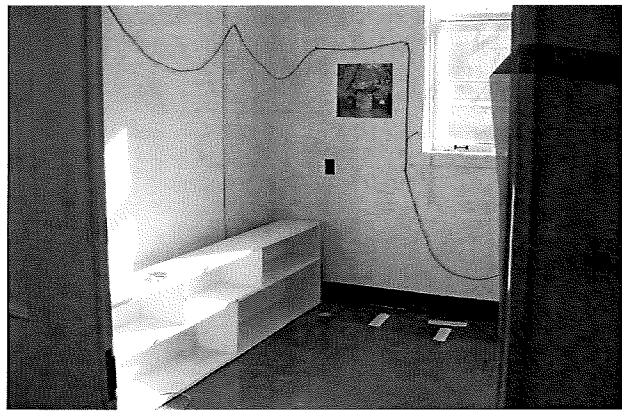
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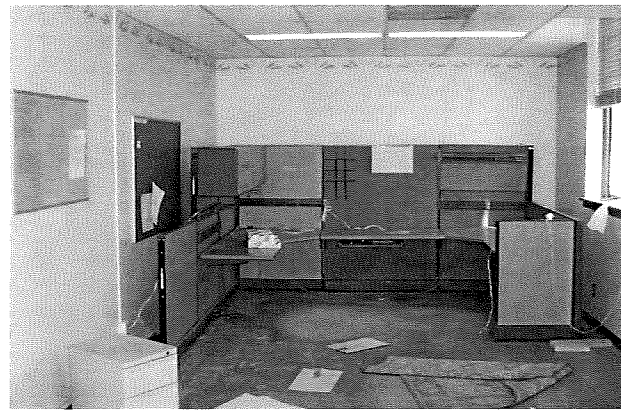
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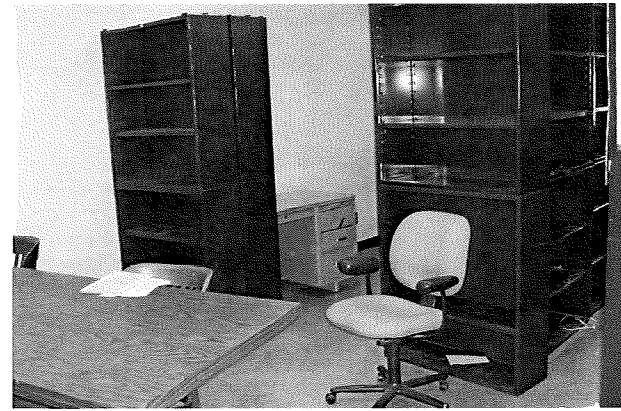
<p>bailey edward design</p>		<p>1 312.443.2100 1 312.443.2103 www.baileyedward.com 35 East Rockwell Dr Suite 200 Chicago, IL 60624-2108 Design Office (Barley) 312.443.2102</p>	
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<p>PROJECT MANAGER: OHB DESIGNER: BE</p>		<p>AD: DM EPM: TV</p>	
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<p>BED PROJECT NO.: 1101-15-13</p>		<p>TASK ORDER NO.: AG-32SC-D-15-0320</p>	
<p>REAL PROPERTY: XXX</p>		<p>ORDER DATE: 10.27.2015</p>	
		<p>UNIVERSITY OF WISCONSIN, MADISON CAMPUS 501 NORTH WALNUT STREET, WI 53726</p>	
		<p>AGRICULTURAL RESEARCH SERVICE</p>	
		<p>MAIN BUILD. INT. VACANT - IMAGES</p>	
		<p>DEMOLISH BARLEY AND MALT LABORATORY</p>	
		<p>DWG. NO. D103</p>	
		<p>SHEET OF</p>	



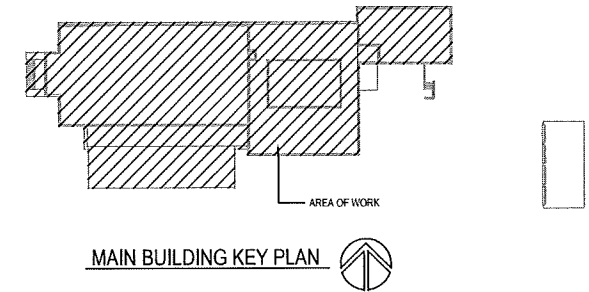
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11 MAIN BUILDING INTERIOR VACANT SPACE
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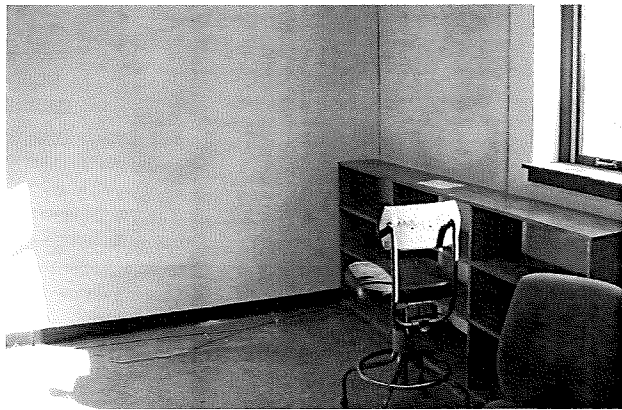


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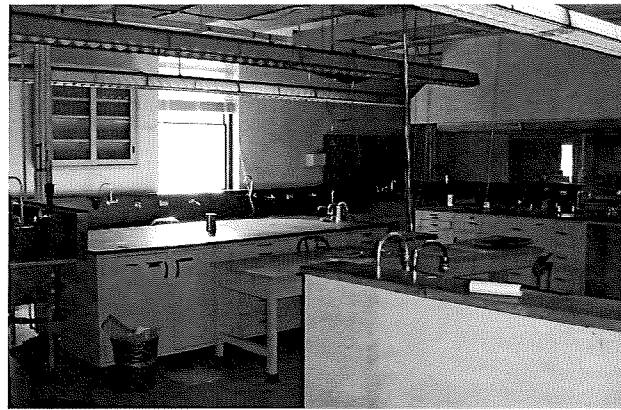


GENERAL NOTES

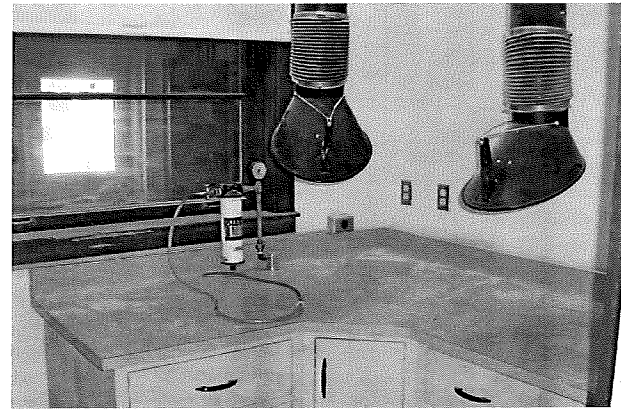
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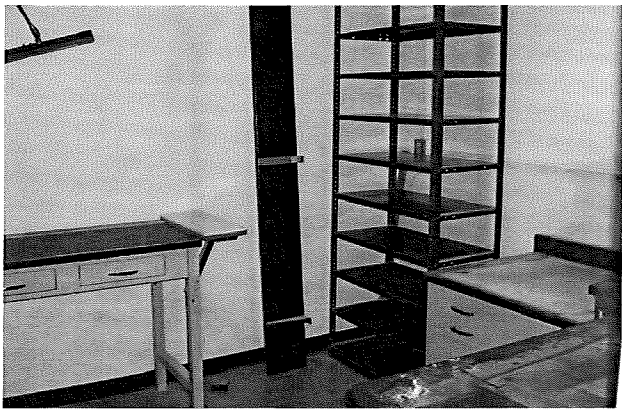
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8 MAIN BUILDING INTERIOR VACANT SPACE
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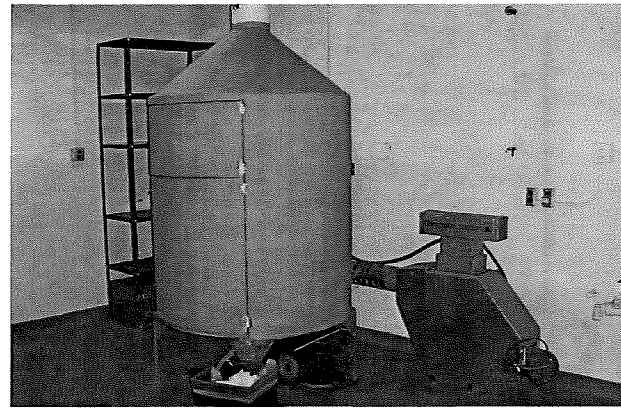
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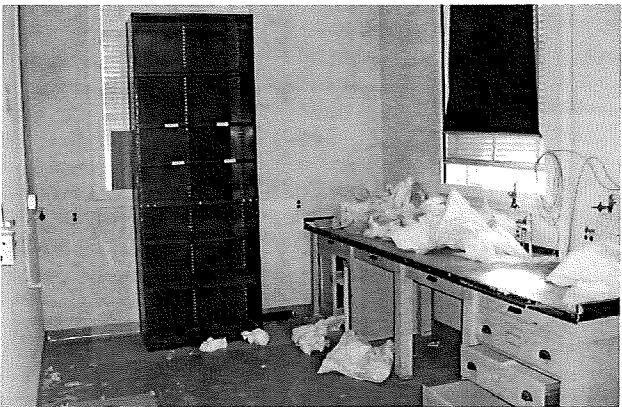
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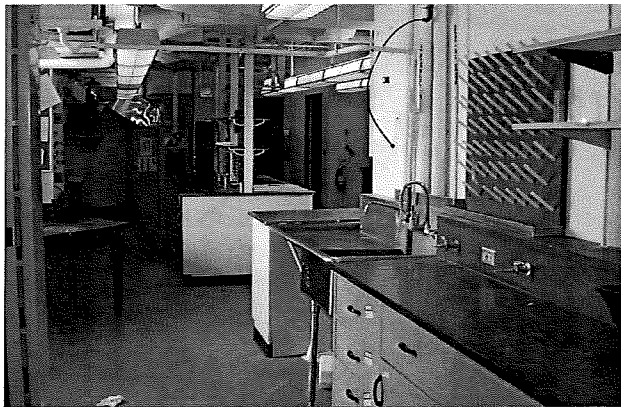
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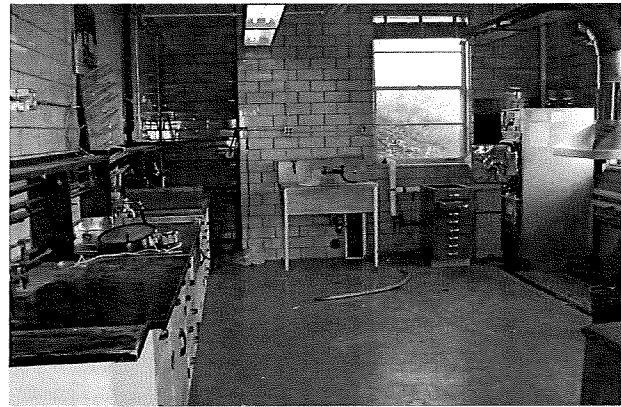
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3 MAIN BUILDING INTERIOR VACANT SPACE
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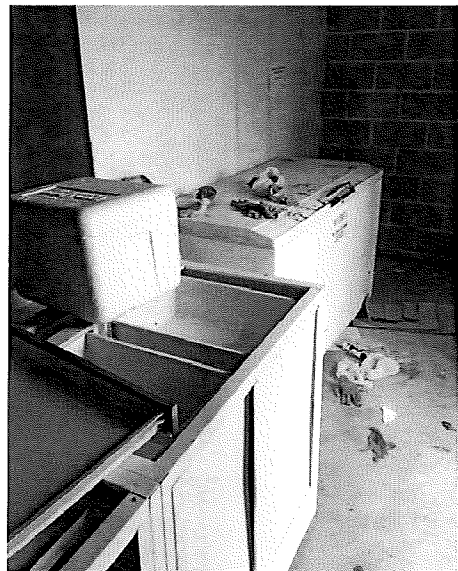


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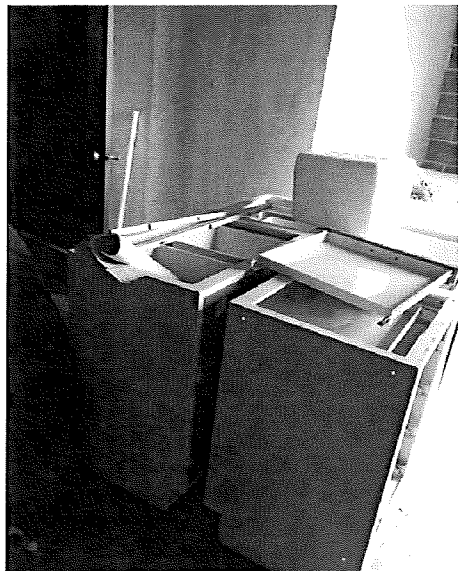


1 MAIN BUILDING INTERIOR VACANT SPACE
SCALE: NTS

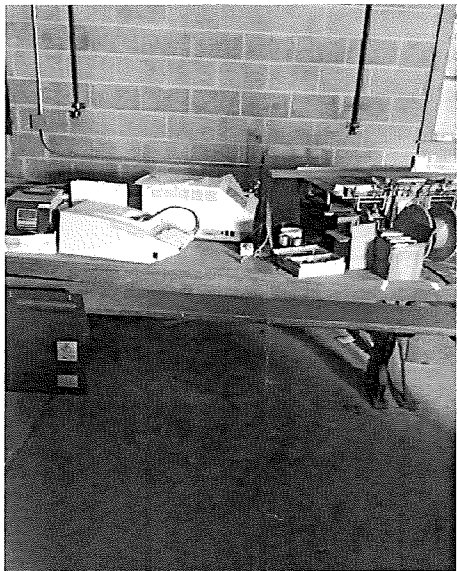
NO.	DATE	BY	DESCRIPTION
1	6 / 03 / 2016		100% ISSUE FOR BID
 1120442200 1120442200 www.baileyedward.com 35 East Walnut Dr Suite 202 Chicago, IL 60616 ©2016 Bailey Edward Design Design File Name: 15141023			
BAILEY EDWARD DESIGN PROJECT MANAGER: OHB DESIGNER: BE		USDA AOE: DM EPM: TV	
CHECKED BY: OHB BED PROJECT NO.: 1101-15-13		SAFETY & HEALTH: DM REAL PROPERTY: XXX	
TASK ORDER NO.: AG-325C-D-15-0320 ORDER DATE: 10.27.2015		UNIVERSITY OF WISCONSIN, MADISON CAMPUS 501 NORTH WALNUT STREET, WI 53726	
DWG. NO. D104 SHEET OF		Agricultural Research Service MAIN BLD. INT. VACANT - IMAGES DEMOLISH BARLEY AND MALT LABORATORY	



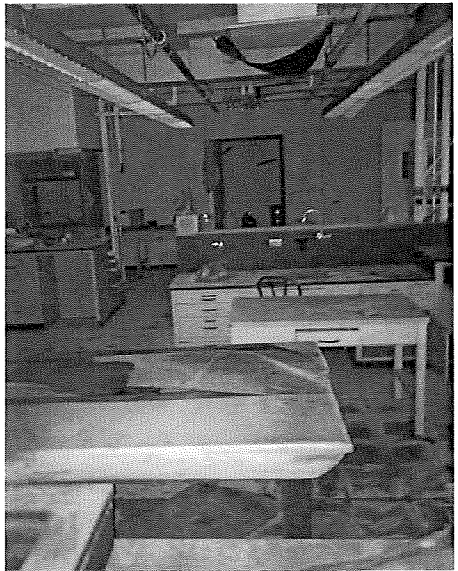
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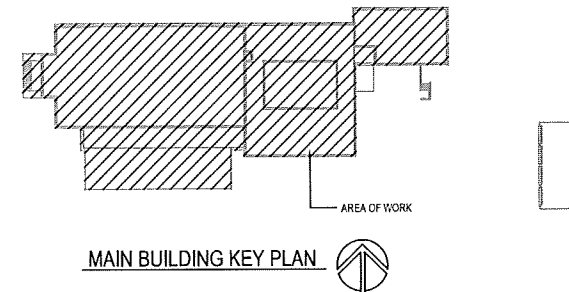
12 MAIN BUILDING 1ST FLOOR
SCALE: NTS



11 MAIN BUILDING 1ST FLOOR
SCALE: NTS

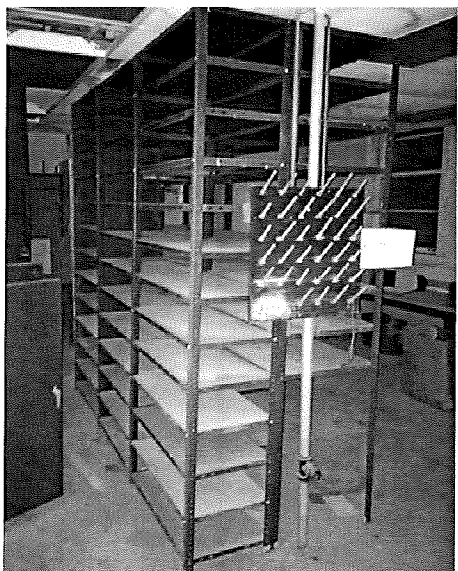


10 MAIN BUILDING 1ST FLOOR
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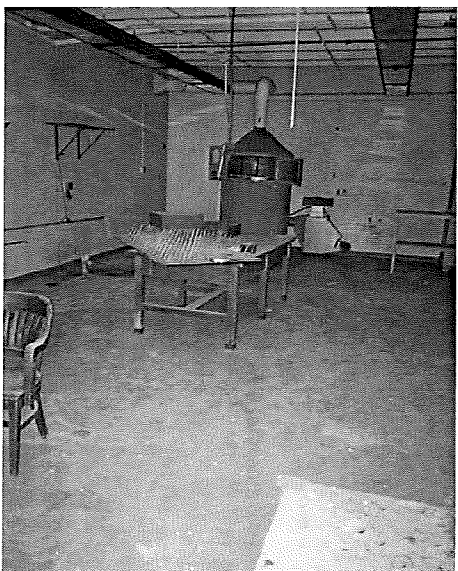


GENERAL NOTES

- PHOTOS OF THE EXISTING CONDITIONS OF THE INTERIOR OF THE BUILDING SHOWING THE GENERAL CONDITIONS, FURNITURE AND EQUIPMENT TO BE REMOVED BY THE CONTRACTOR FROM THE SITE.
- MAIN BUILDING 1ST FLOOR: TOTAL CONTENTS LESS THAN 45 CUBIC YARDS.
- MAIN LEVEL DOCK AREA AND 1ST FLOOR LABS / SPACES CONTAINED SEVERAL STEEL CABINETS, SHELVES, A CHEST FREEZER, SEVERAL (20+) TABLES / CHAIRS, 4 LARGE TV'S, AND MISCELLANEOUS OLD EQUIPMENT.
- MAIN BUILDING 2ND FLOOR: TOTAL CONTENTS LESS THAN 45 CUBIC YARDS.
- SECOND FLOOR LABS AND OFFICE SPACES CONTAINED AT LEAST 8 TALL STEEL BOOK SHELVES, UP TO 16 DESKS, SEVERAL CHAIRS, AND SEVERAL WOOD AND METAL CABINETS.



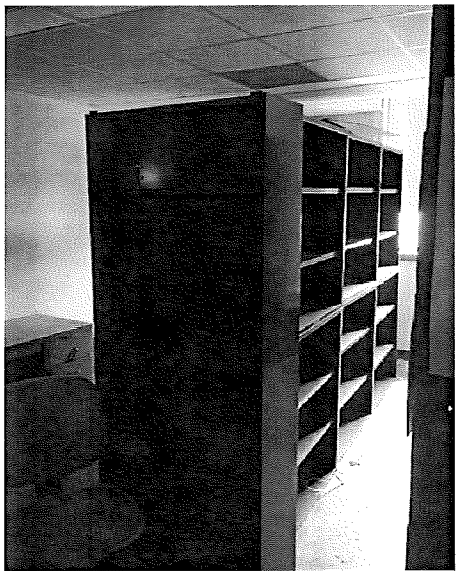
9 MAIN BUILDING 1ST FLOOR
SCALE: NTS



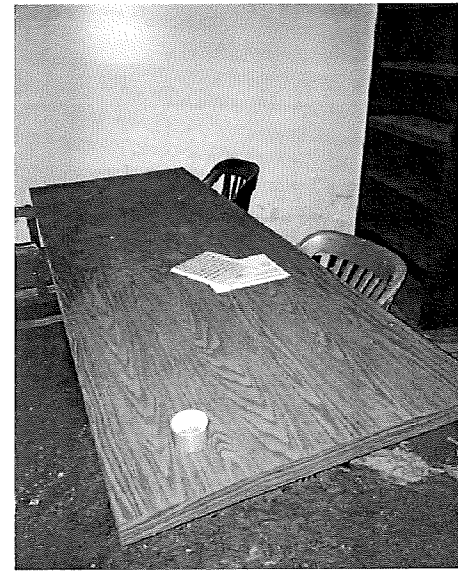
8 MAIN BUILDING 1ST FLOOR
SCALE: NTS



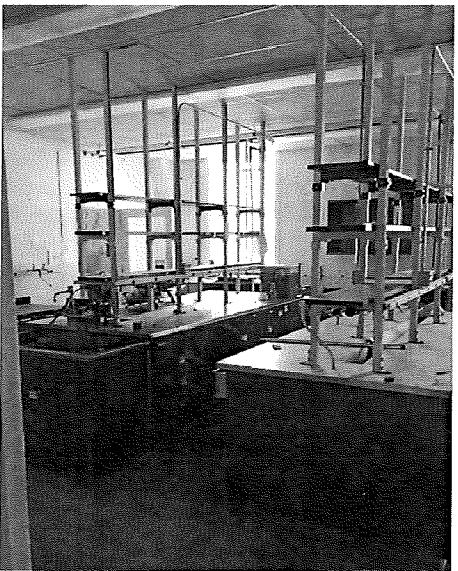
7 MAIN BUILDING 1ST FLOOR
SCALE: NTS



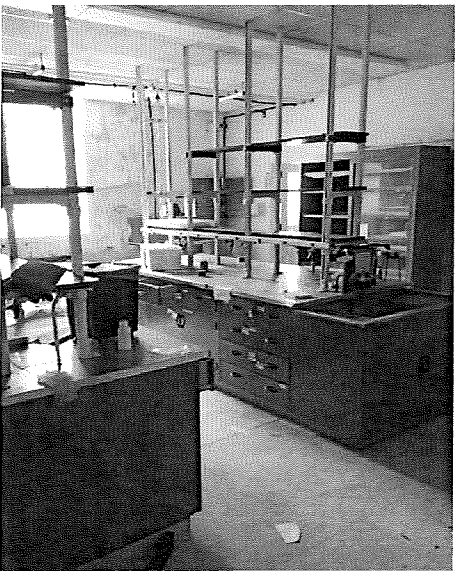
6 MAIN BUILDING 2ND FLOOR
SCALE: NTS



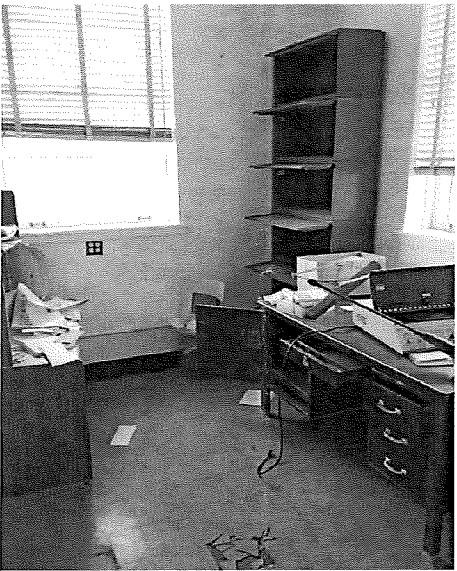
5 MAIN BUILDING 2ND FLOOR
SCALE: NTS



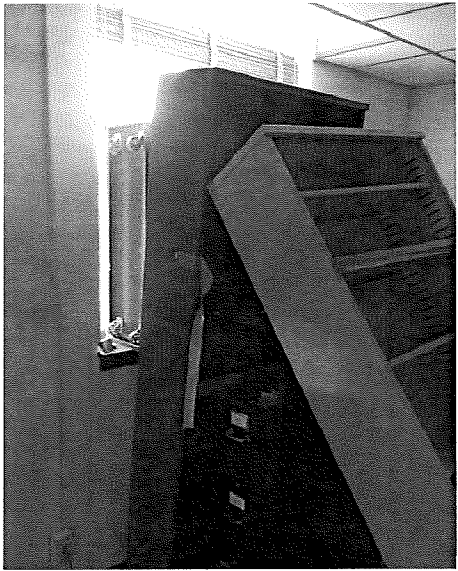
4 MAIN BUILDING 2ND FLOOR
SCALE: NTS



3 MAIN BUILDING 2ND FLOOR
SCALE: NTS



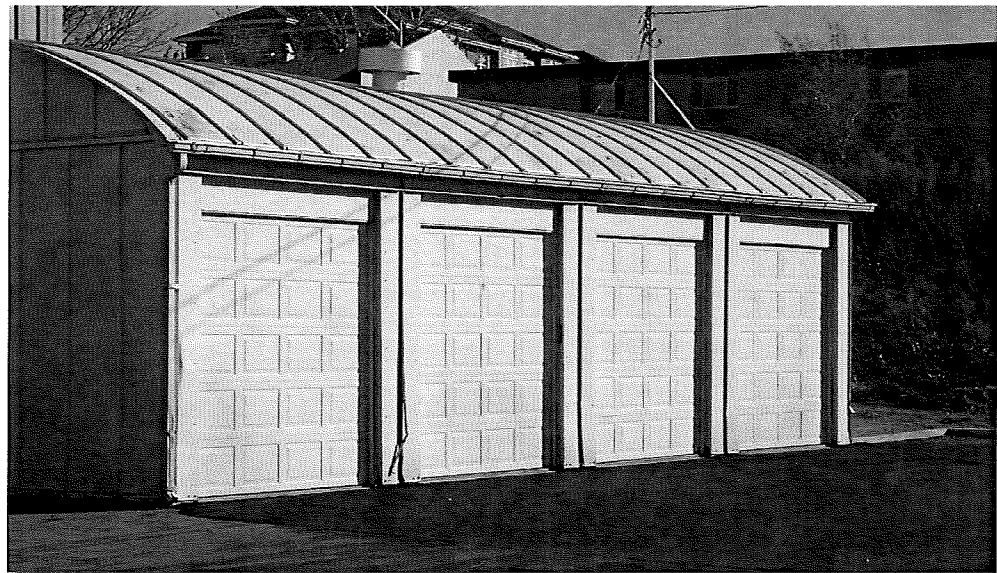
2 MAIN BUILDING 2ND FLOOR
SCALE: NTS



1 MAIN BUILDING 2ND FLOOR
SCALE: NTS

NO.	DATE	BY	DESCRIPTION
1	6/03/2016		100% ISSUE FOR BID

<p>BAILEY EDWARD DESIGN</p>	<p>USDA</p>	<p>USDA</p>	<p>Agricultural Research Service</p>
<p>CHECKED BY: OHB</p> <p>BED PROJECT NO: 1101-15-13</p>	<p>SAFETY & HEALTH: DM</p> <p>REAL PROPERTY: XXX</p>	<p>TASK ORDER NO: AG-32SC-D-15-0320</p> <p>ORDER DATE: 10.27.2015</p>	<p>UNIVERSITY OF WISCONSIN, MADISON CAMPUS</p> <p>501 NORTH WALNUT STREET, WI 53726</p> <p>DWG. NO. D105</p> <p>SHEET OF</p>



7 GARAGE VACANT SPACE IMAGE
SCALE: NTS



6 GARAGE VACANT SPACE IMAGE
SCALE: NTS



5 GARAGE VACANT SPACE IMAGE
SCALE: NTS



4 GARAGE VACANT SPACE IMAGE
SCALE: NTS



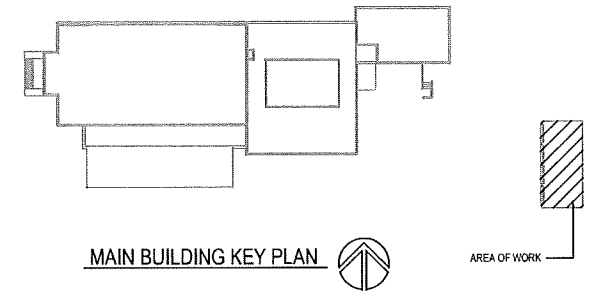
3 GARAGE VACANT SPACE IMAGE
SCALE: NTS



2 GARAGE VACANT SPACE IMAGE
SCALE: NTS



1 GARAGE VACANT SPACE IMAGE
SCALE: NTS



GENERAL NOTES

- PHOTOS OF THE EXISTING CONDITIONS OF THE INTERIOR OF THE BUILDING SHOWING THE GENERAL CONDITIONS, FURNITURE AND EQUIPMENT TO BE REMOVED BY THE CONTRACTOR FROM THE SITE.
- GENERAL CONTENTS INCLUDE, BUT NOT LIMITED TO: SEVERAL METAL CABINETS & SHELVES, STEEL DESK, PALLETS & WOOD SCRAP, 3 BICYCLES, OFFICE FURNITURE COMPONENTS, LARGE CONFERENCE AND OTHER TABLES, STEEL SQUARE TUBING, SEVERAL STEEL QUART CANS AND "BARLEY CANS", PLASTIC HOSE REELS.
- GARAGE: TOTAL CONTENTS LESS THAN 15 CUBIC YARDS.

NO.	DATE	BY	DESCRIPTION
1	6/03/2016		100% ISSUE FOR BID

<p>bailey edward DESIGN</p>		<p>1304 N. 22ND ST. 1304 N. 22ND ST. www.baileyedward.com 25 East Wacker Dr Suite 202 Chicago, IL 60601-1539 800% Green Building Design 2009 LEED Gold Certified</p>		<p>USDA Agricultural Research Service</p>	
PROJECT MANAGER: OHB	AOE: DM	<p>USDA GARAGE INT. VACANT SP. - IMAGES DEMOLISH BARLEY AND MALT LABORATORY</p>			
DESIGNER: BE	EPIC: TV				
CHECKED BY: OHB	SAFETY & HEALTH: DM	TASK ORDER NO.: AG-32SC-D-15-0320	UNIVERSITY OF WISCONSIN, MADISON CAMPUS 501 NORTH WALNUT STREET, WI 53726	DWG. NO. D106	
BED PROJECT NO.: 1101-15-13	REAL PROPERTY: XXX	ORDER DATE: 10.27.2015		SHEET OF	