

# URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison  
Planning Division  
Madison Municipal Building, Suite 017  
215 Martin Luther King, Jr. Blvd.  
P.O. Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



Complete all sections of this application, including the desired meeting date and the action requested.

*If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.*

## FOR OFFICE USE ONLY:

Paid \_\_\_\_\_ Receipt # \_\_\_\_\_

Date received \_\_\_\_\_

Received by \_\_\_\_\_

Aldermanic District \_\_\_\_\_

Zoning District \_\_\_\_\_

Urban Design District \_\_\_\_\_

12/7/22

10:34 a.m.

received

Submittal reviewed by \_\_\_\_\_

Legistar # \_\_\_\_\_

## 1. Project Information

Address: 6604 Odana Road

Title: Market Square Redevelopment

## 2. Application Type (check all that apply) and Requested Date

UDC meeting date requested ~~November 30, 2022~~ January 11, 2023

- ☒ New development ☐ Alteration to an existing or previously-approved development  
☐ Informational ☒ Initial approval ☒ Final approval

## 3. Project Type

- ☐ Project in an Urban Design District  
☐ Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)  
☐ Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)  
☐ Planned Development (PD)  
☐ General Development Plan (GDP)  
☐ Specific Implementation Plan (SIP)  
☐ Planned Multi-Use Site or Residential Building Complex

### Signage

- ☐ Comprehensive Design Review (CDR)  
☐ Signage Variance (i.e. modification of signage height, area, and setback)  
☐ Signage Exception

### Other

- ☒ Please specify  
Planned Multi-Use Site

## 4. Applicant, Agent, and Property Owner Information

**Applicant name** Randy Christianson  
**Street address** 702 N. High Point Road, #200  
**Telephone** 608-235-9020

**Project contact person** Marc Ott  
**Street address** 800 W. Broadway, suite 200  
**Telephone** 608-442-3867

**Property owner (if not applicant)** Market Square Associates, LLC  
**Street address** 1741 Commercial Ave  
**Telephone** 608-255-3753

**Company** Walter Wayne Development, LLC  
**City/State/Zip** Madison, WI 53717  
**Email** rc@starkcommercial.com

**Company** JLA Architects  
**City/State/Zip** Monona, WI 53713  
**Email** mott@jla-ap.com

**City/State/Zip** Madison WI 53704  
**Email** bbosben@apexrents.com

## 5. Required Submittal Materials

- ☒ **Application Form**
- ☒ **Letter of Intent**
  - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
  - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- ☒ **Development Plans** (Refer to checklist on Page 4 for plan details)
- ☒ **Filing fee**
- ☒ **Electronic Submittal\***
- ☒ **Notification to the District Alder**
  - Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.


Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

*\*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to [udcapplications@cityofmadison.com](mailto:udcapplications@cityofmadison.com). The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

## 6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Jessica Vaughn on 6-7-2022 pre-application, 8-18-2022 DAT meeting.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Randy Christianson Relationship to property Development Team Contact  
 Authorizing signature of property owner  Date 10-10-2022

## 7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- ☐ Urban Design Districts: \$350 (per §35.24(6) MGO).
- ☐ Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- ☐ Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- ☐ Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- ☐ All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- ☒ Planned Multi-Use Site or Residential Building Complex





January 4, 2023

City of Madison  
Planning Division  
Madison Municipal Building, Suite 017  
215 Martin Luther King Jr Boulevard  
P.O. Box 2985  
Madison, WI 53701-2985

Attention: Colin Punt

Re: Market Square Redevelopment

Dear Plan Commission Members:

Please accept this letter of intent and land use application for the redevelopment of former Market Square Theater site at 6604 Odana Road into a new mixed-use building. We are requesting a conditional use approval.

**Project Team**

Developer: Walter Wayne Development, LLC  
702 N. High Point Road, #200  
Madison, WI 53717  
Randy Christianson ([rc@starkcommercial.com](mailto:rc@starkcommercial.com))

Architect: JLA Architects  
800 W Broadway Suite 200  
Monona, WI 53713  
Marc Ott ([mott@jla-ap.com](mailto:mott@jla-ap.com))

Civil & Landscape: Vierbicher Engineers  
999 Fourier Drive  
Madison, WI 53717  
John Kastner ([jkas@vierbicher.com](mailto:jkas@vierbicher.com))

**Existing Conditions**

The project site is located behind the existing Market Square mall on the location of the former Market Square Theater. The request is to raze the now vacant theater building to make way for the new mixed-use building.

Existing exterior and interior photos of the theater have been submitted as separate exhibits. There have been efforts to lease the theater to another provider. With the changing landscape of how the public consumes movies there is no current need for the space to operate in that capacity. Additionally, efforts were made to lease the space of a new use. However, as the space was specifically built to be a theater the renovation cost are prohibitive due to the sloped floors and lack of windows.

The relocation of the structure is also not a practical option due to its size and location, along with the structure holding no architectural, neighborhood, or community significance.

The development team feels that in conjunction with the Odana Area Plan the changing commercial market, and the need for additional housing options in the area, the highest and best use for the property is for a mixed-use development.

### **Project Overview**

The development is located in the Odana Area Plan which was adopted by the City of Madison on September 21, 2021. This proposed redevelopment will be the first in Market Square area to be implemented under the OAP and will set the stage for the future redevelopment of the area.

In the OAP and the City of Madison Generalized Future Land Use plan the project site is designated as Community Mixed Use (CMU). Under CMU the number of stories is allowed at 2-6 stories. The current site is zoned CC with a proposed rezone to CC-T. Under both zoning buildings are allowed 5 stories and 78 feet, with the option for an extra story with conditional approval. The proposed building is for 6 stories at 74 feet thus staying under the max height allowed with the extra story.

The redevelopment of the site is complicated by the network of cross-access easements the surround the subject property on three sides. Attempts to renegotiate and modify these cross-access easements with the current stakeholders has not been successful and thus they must remain in place. An exhibit of these cross-access easements is included in the drawing submission package.

### **Future Plans**

The Market Square Shopping Center property is currently an active retail center occupied by about 40 commercial tenants. As the utilization of the retail spaces evolves over time, we may seek to redevelop some or all of the current building sites. Many current tenants have multi-year leases and extension options. The longest lease currently in place could unilaterally extend through September of 2030. We will contemplate future plans as tenancy insight unfolds.

### **Operations**

The building will be managed by Apex Property Management Company.

### **Staff and Neighborhood Input**

During the design process, the development team worked closely with Alder Furman, city staff, the Development Assistance Team (DAT) and the neighbors at a City staff-moderated neighborhood meeting.

### **Lot Coverage**

Total Lot Area = 54,913 s.f. / 1.26 acres

Dwelling Units = 87

Lot Area/Dwelling Units = 631 s.f. per unit

Density = 69 DU per acre

### **Zoning**

Rezone from Commercial Center District (CC) to Commercial Corridor-Transitional District (CC-T).

### **Construction Timeline**

April 1, 2023, to April 1, 2024.

Sincerely,



Marc Ott  
Joseph Lee & Associates, LLC



# MARKET SQUARE BUILDING A1

MADISON, WISCONSIN



## LAND USE APPLICATION SUBMITTAL

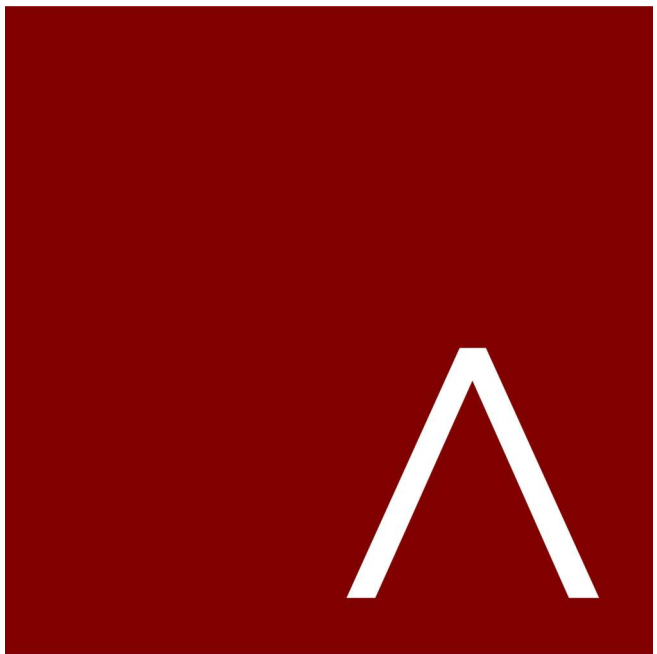
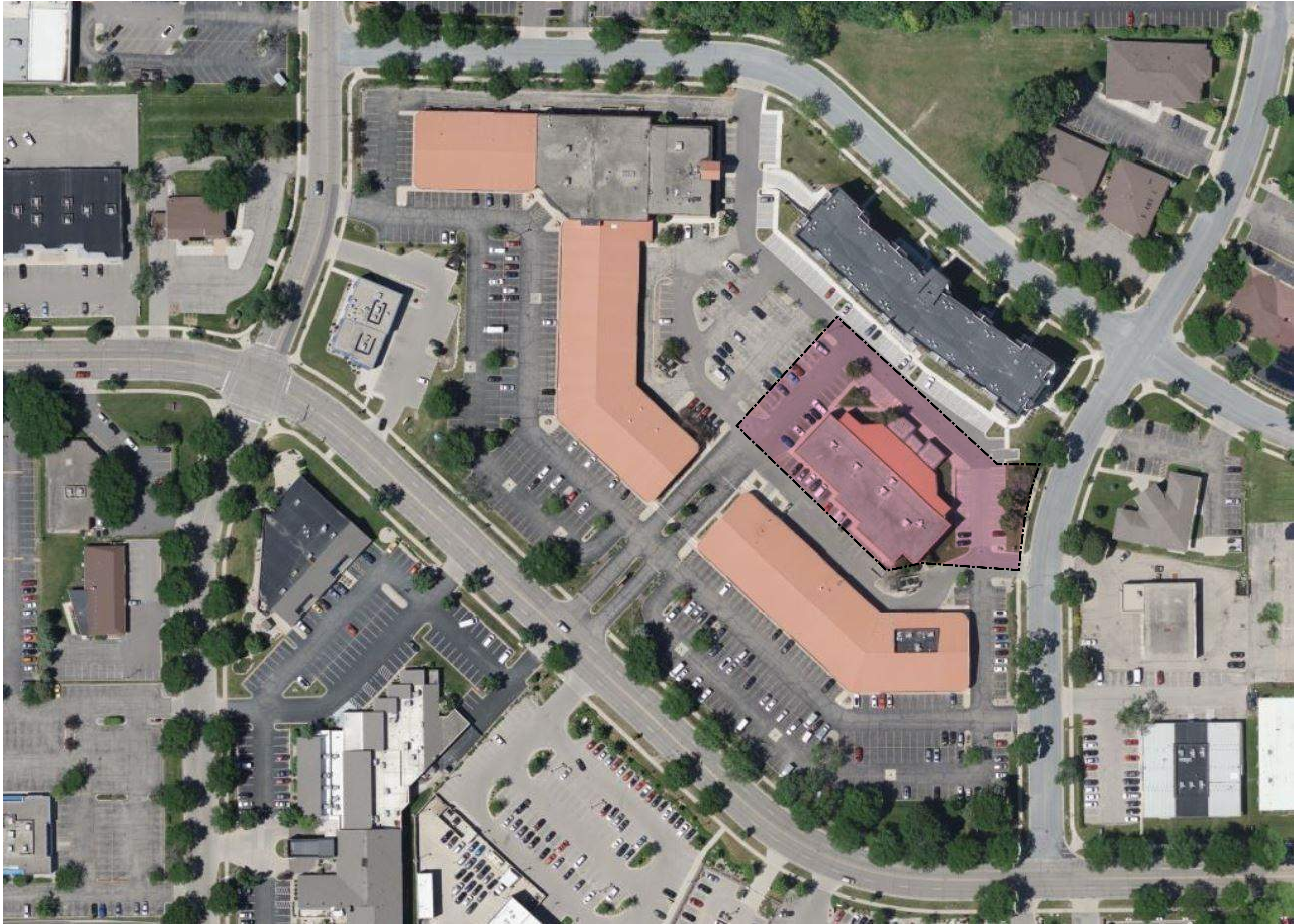
JANUARY 4th, 2023



**JLA**  
ARCHITECTS

JLA PROJECT NUMBER: W22-0122





**JLA**  
ARCHITECTS  
MADISON | MILWAUKEE | DENVER  
[JLA-AP.COM](http://JLA-AP.COM)

JLA PROJECT NUMBER: W22-0122

MARKET SQUARE  
BUILDING A1  
LAND USE APPLICATION  
SUBMITTAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE      DECEMBER 7, 2022

REVISION SCHEDULE		
Mark	Description	Date

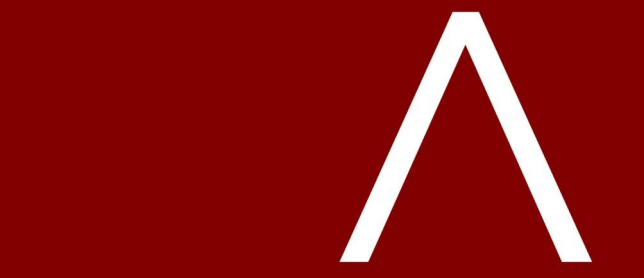
SHEET TITLE

SITE CONTEXT

SHEET NUMBER

G100





**JLA**  
ARCHITECTS  
MADISON | MILWAUKEE | DENVER  
[JLA-AP.COM](http://JLA-AP.COM)

JLA PROJECT NUMBER: W22-0122

MARKET SQUARE  
BUILDING A1  
LAND USE APPLICATION  
SUBMITTAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE DECEMBER 7, 2022

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SITE CONTEXT

SHEET NUMBER

G101





**JLA**  
ARCHITECTS  
MADISON | MILWAUKEE | DENVER  
[JLA-AP.COM](http://JLA-AP.COM)

JLA PROJECT NUMBER: W22-0122

MARKET SQUARE  
BUILDING A1  
LAND USE APPLICATION  
SUBMITTAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE DECEMBER 7, 2022

REVISION SCHEDULE		
Mark	Description	Date

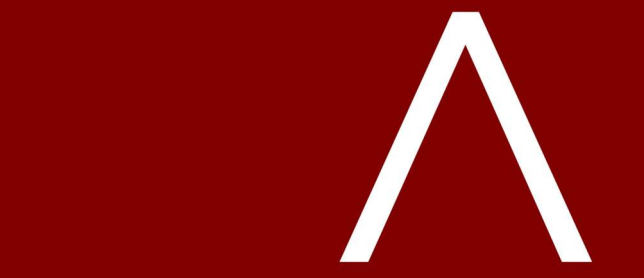
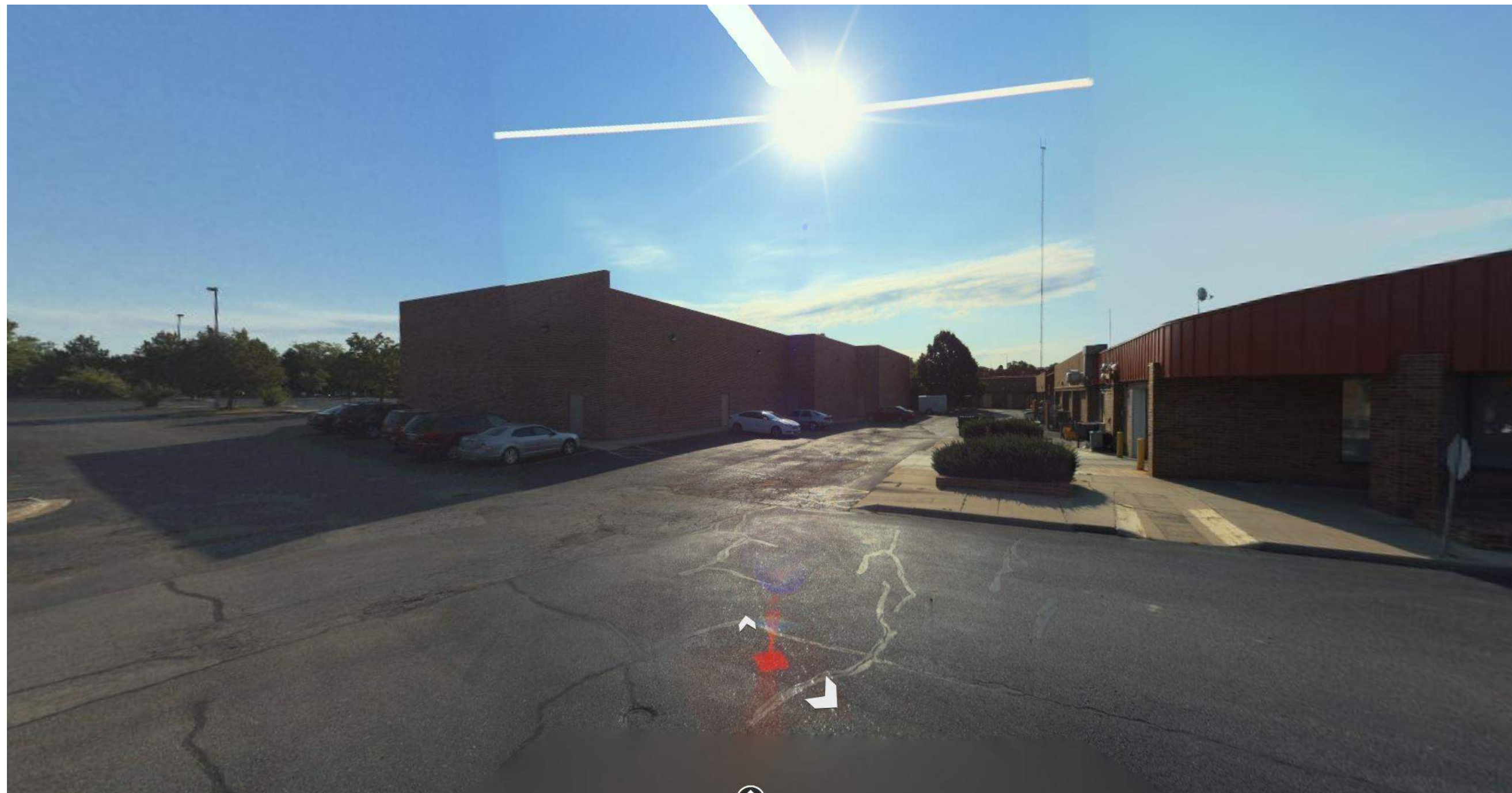
SHEET TITLE

SITE CONTEXT

SHEET NUMBER

G102





**JLA**  
ARCHITECTS  
MADISON | MILWAUKEE | DENVER  
[JLA-AP.COM](http://JLA-AP.COM)

JLA PROJECT NUMBER: W22-0122

**MARKET SQUARE  
BUILDING A1**  
LAND USE APPLICATION  
SUBMITTAL

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE DECEMBER 7, 2022

REVISION SCHEDULE		
Mark	Description	Date

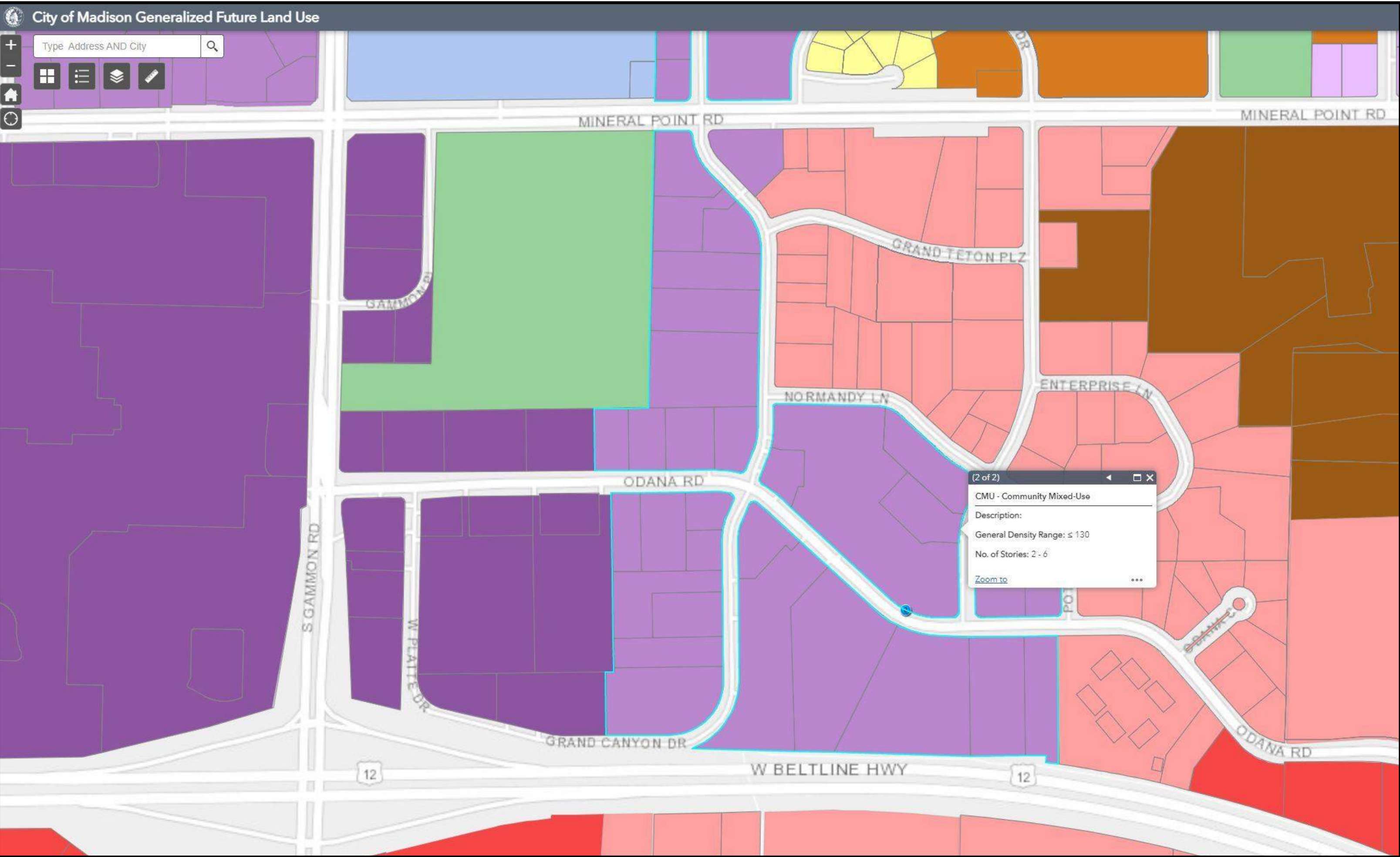
SHEET TITLE

**SITE CONTEXT**

SHEET NUMBER

**G103**





Mixed-Use Future Land Use Categories

Mixed-Use and Commercial Building Form	Neighborhood Mixed-Use (NMU)	Community Mixed-Use (CMU)	Regional Mixed-Use (RMU)	Downtown Mixed-Use (DMU)	Downtown Core (DC)
Commercial Block Building					
Civic or Institutional Building					
Residential - Commercial Conversion					
Live-Work Building					
Single-Family Attached Building					
Small Multifamily Building					
Courtyard Multifamily Building					
Large Multifamily Building					
Parking / Liner Buildings					
Free-Standing Commercial Building					
Podium Building					
Flex Building					
Number of Stories	2-4	2-6	2-12	See Downtown Plan, page 37	
General Residential Density Range	≤70	≤130	--	--	--



JLA  
ARCHITECTS  
MADISON | MILWAUKEE | DENVER  
JLA-AP.COM

JLA PROJECT NUMBER: W22-0122

MARKET SQUARE  
BUILDING A1  
LAND USE APPLICATION  
SUBMITTAL

**PROGRESS DOCUMENTS**

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DATE OF ISSUANCE DECEMBER 7, 2022

REVISION SCHEDULE		
Mark	Description	Date

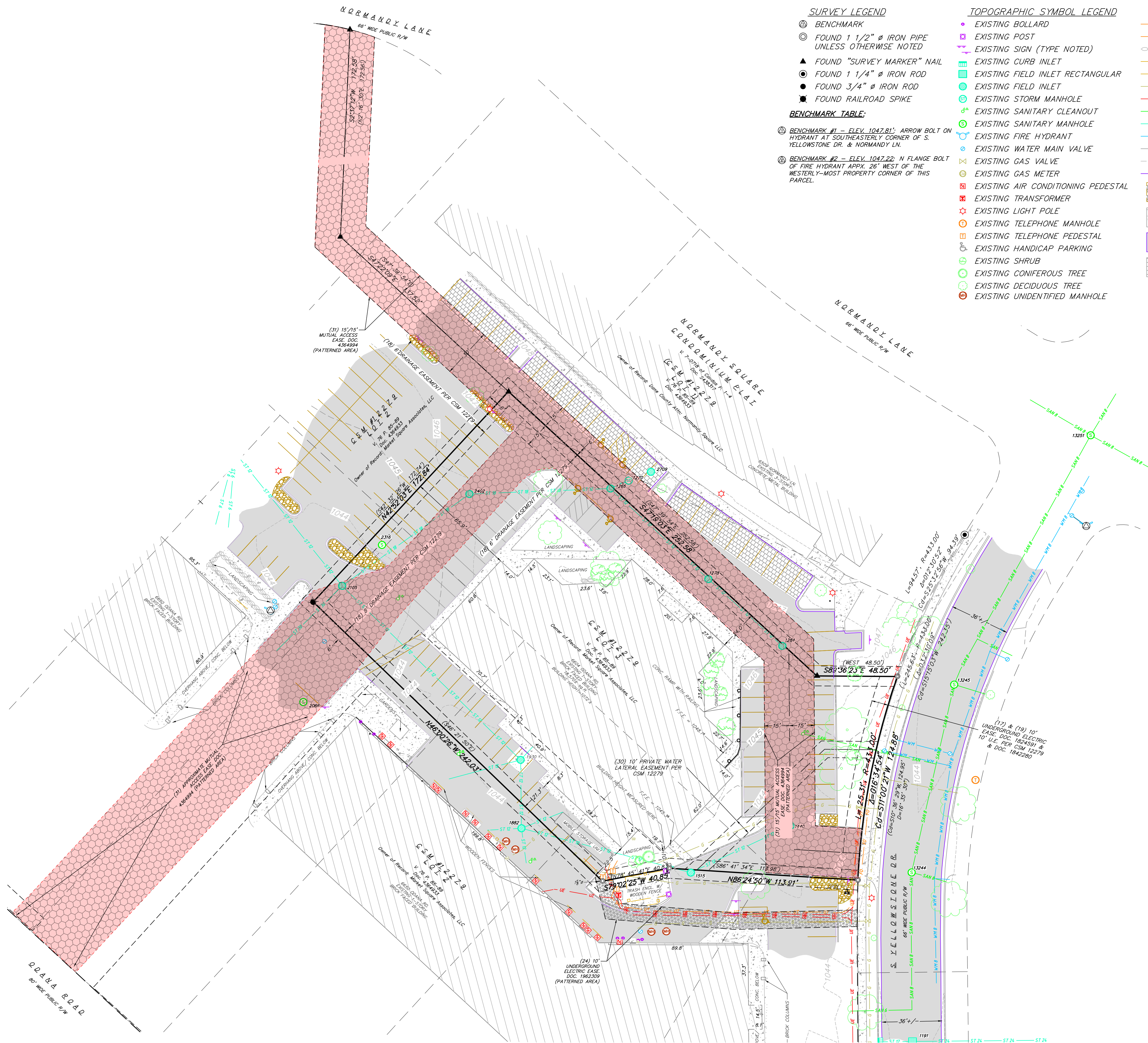
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ZONING SUMMARY














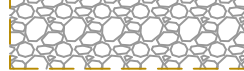

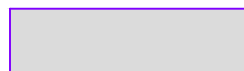
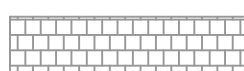
SHEET NUMBER

G103





### WORK LEGEND

- |   |   |
|---|---|
|    | EXISTING FIBER OPTIC LINE                 |
|  | EXISTING UNDERGROUND TELEPHONE            |
|  | EXISTING RETAINING WALL                   |
|  | EXISTING METAL RAILING                    |
|  | EXISTING WOOD FENCE                       |
|  | EXISTING GAS LINE                         |
|  | EXISTING UNDERGROUND ELECTRIC LINE        |
|  | EXISTING SANITARY SEWER LINE (SIZE NOTED) |
|  | EXISTING STORM SEWER LINE (SIZE NOTED)    |
|  | EXISTING WATER MAIN (SIZE NOTED)          |
|  | EXISTING MAJOR CONTOUR                    |
|  | EXISTING MINOR CONTOUR                    |
|  | EXISTING EDGE OF PAVEMENT                 |
|  | EXISTING GRAVEL SURFACE                   |
|  | EXISTING CONCRETE SURFACE                 |
|  | EXISTING ASPHALT SURFACE                  |
|  | EXISTING BRICK PAVER SURFACE              |

DESCRIPTION:

Lot 3 of Certified Survey Map No. 12279, recorded in the Office of the Register of Deeds for Dane County, Wisconsin, in Volume 76 of Certified Survey Maps, Pages 85-89, as Document No. 4364993, located in the Southeast  $\frac{1}{4}$  of the Northwest  $\frac{1}{4}$  of Section 25, Township 07 North, Range 08 East, in the City of Madison, Dane County, Wisconsin.

GENERAL SURVEY NOTES:

- 1) *This survey was prepared based upon information provided in the Title Commitment NCS-965490-MAD, dated June 18, 2019 at 8:00 a.m. from First American Title Insurance Company National Commercial Services, 25 West Main Street, Suite 400, Madison, WI 53703, now located at 3330 University Ave., Suite 400, Madison, WI 53705.*
- 2) *This survey is based upon field work performed on July 25-26, 2022. Any changes in site conditions after July 26, 2022 are not reflected by this survey.*
- 3) *Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that the current title search may disclose.*
- 4) *No attempt has been made as a part of this survey to obtain or show data concerning size, depth, condition or capacity of any utility or municipal/public service facility. For information regarding these utilities or facilities contact the appropriate agencies.*

*Utility locations were field located based upon substantial, visible, above ground structures, upon maps provided to the surveyor, or upon markings on the ground placed by utility companies and/or their agents. No warranty is given to the utility markings by others or that all underground utilities affecting this property were marked and subsequently located for this survey. A locate request was sent to Digger's Hotline per Digger's Hotline One-Call ticket numbers 20223001429 and 20223001464. Location of buried private utilities are not within the scope of this survey.*
- 5) *Before excavation, appropriate utility companies should be contacted. For exact location of underground utilities, contact Digger's Hotline at 1-800-242-8511.*
- 6) *Vertical datum is NAVD88.*
- 7) *Parcel is subject to and benefits from cross access, parking, ingress & egress easements in Document Nos. 2144275, 4364994 that include parking areas, sidewalks, drives, curb-cuts, etc. Refer to documents.*

EXISTING SANITARY STRUCTURE TABLE			
STRUCTURE PT. #	STRUCTURE TYPE	RIM ELEVATION	INVERT
2066	SAN MH	1044.08	
2316	SAN MH	1044.13	
13244	SAN MH	1043.79	N 8" 1034.94
			E 6" 1035.07
13245	SAN MH	1044.57	N 8" 1034.60
			S 8" 1034.65
13251	SAN MH	1045.17	N 8" 1033.79
			E 6" 1035.61
			S 8" 1033.79
			W 8" 1035.31

EXISTING STORM SEWER STRUCTURE TABLE			
STRUCTURE PT. #	STRUCTURE TYPE	RIM ELEVATION	INVERT
1191	SQUARE INLET	1043.26	E 24" RCP 1039.22
			S 24" RCP 1038.93
			W 12" RCP 1039.41
1199	CURB INLET	1043.24	E 12" RCP 1039.72
1266	ROUND INLET	1046.52	NE 12" PVC 1040.26
			E 12" PVC 1040.70
			SW 18" RCP 1040.24
1270	STMH STORMCEPTOR	1047.20	
1278	ROUND INLET	1046.64	E 12" PVC 1041.99
			W 12" PVC 1041.93
1284	ROUND INLET	1045.93	W 12" PVC 1042.41
1440	ROUND INLET	1043.14	SW 12" PVC 1040.04
1515	ROUND INLET	1044.10	E 12" PVC 1039.88
			NW 12" PVC 1039.90
1882	ROUND INLET	1044.24	NE 12" PVC 1038.88
			E 12" PVC 1038.96
			SW 12" PVC 1039.08
			NW 12" PVC 1038.74
			SE 12" PVC 1038.87
1930	ROUND INLET	1043.10	NE 12" PVC 1038.76
			SE 12" PVC 1038.69
			SW 12" PVC 1038.74
			W 12" PVC 1038.68
2105	ROUND INLET	1043.21	N 18" RCP 1037.71
			E 12" RCP 1038.99
			S 30" RCP 1036.80
			W 12" RCP 1036.94
2311	ROUND INLET	1043.89	E 12" RCP 1037.63
			SE 6" PVC 1038.37
			SE 6" PVC 1038.03
			WSW 12" RCP 1037.63
2402	ROUND INLET	1045.92	NE 18" RCP 1039.46
			SSW 18" RCP 1039.03
2709	ROUND INLET	1047.36	

SURVEYED FOR:  
Walter Wayne Development  
702 North High Point Road  
Suite 200  
Madison, WI 53717

**SURVEYED BY:**  
Vierbicher Associates, Inc.  
By: Baiba M. Rozite, PLS  
600 W. Virginia St., Suite 601  
Milwaukee, WI 53204  
(262) 408-5564  
broz@vierbicher.com

**DIGGERS HOTLINE**  
Dial **811** or (800) 242-8511  
[www.DiggersHotline.com](http://www.DiggersHotline.com)

THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE  
1-800-242-8511

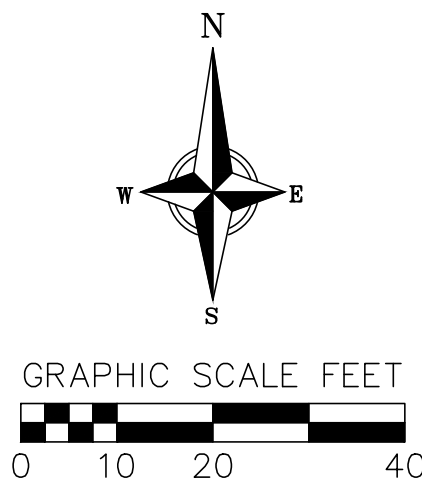
**NOT FOR CONSTRUCTION**

# C1.0






- DEMOLITION PLAN LEGEND
- CURB AND GUTTER REMOVAL
  - ASPHALT REMOVAL
  - CONCRETE REMOVAL
  - GRAVEL REMOVAL
  - BUILDING REMOVAL
  - TREE REMOVAL
  - UTILITY STRUCTURE REMOVAL
  - UTILITY LINE REMOVAL



NOT FOR CONSTRUCTION



vierbicher

planners | engineers | advisors

DEMOLITION PLAN

MARKET SQUARE SHOPPING CENTER

MADISON

DANE COUNTY, WISCONSIN

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE

1/3/2023

DRAFTER

JGRU

CHECKED

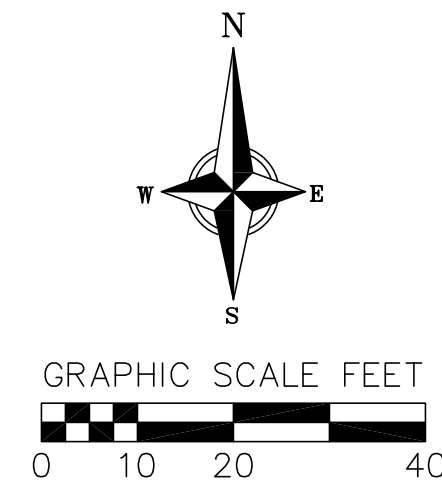
KJEN




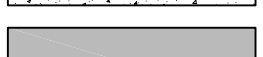
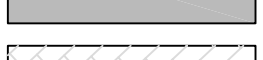






PROJECT NO.

220094

C2.0

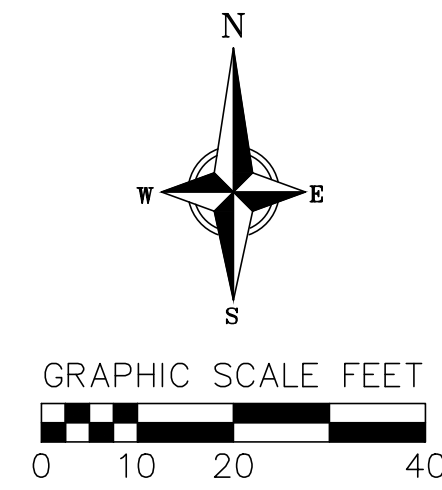
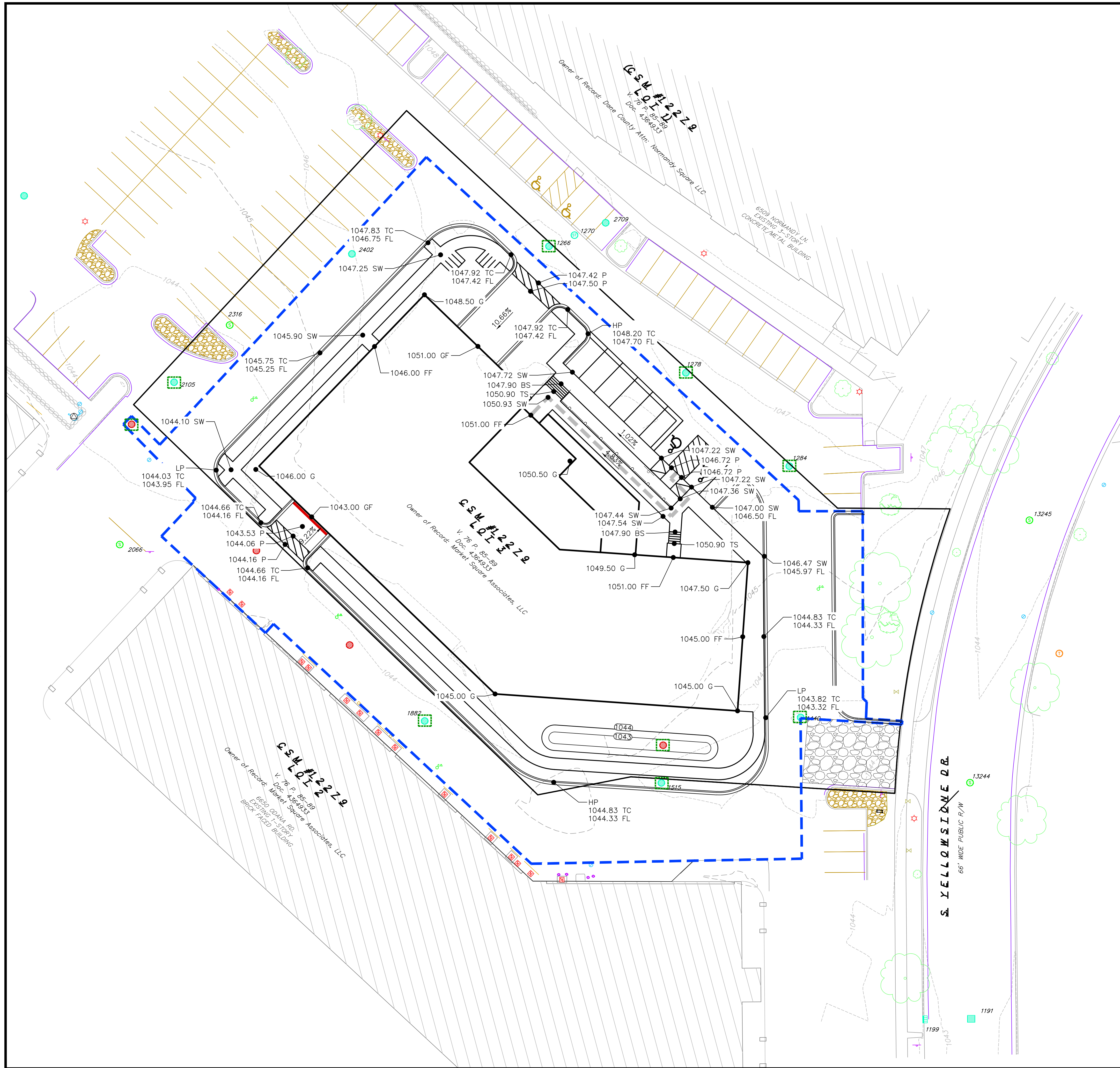















- ### SITE PLAN LEGEND
- |   |  |
|---|--|
|  | PROPERTY BOUNDARY                      |
|  | CURB AND GUTTER (REVERSE CURB HATCHED) |
|  | PROPOSED CONCRETE                      |
|  | PROPOSED LIGHT-DUTY ASPHALT            |
|  | PROPOSED PERMEABLE PAVERS              |
|  | PROPOSED RAILING                       |
|  | PROPOSED SIGN                          |
|  | PROPOSED LIGHT POLE                    |
|  | PROPOSED BOLLARD                       |
|  | PROPOSED ADA DETECTABLE WARNING FIELD  |
|  | PROPOSED HANDICAP PARKING              |

**NOT FOR CONSTRUCTION**



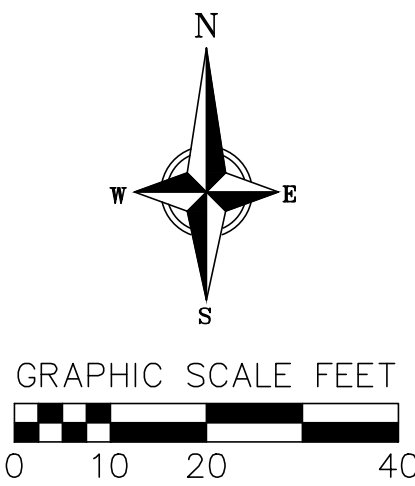
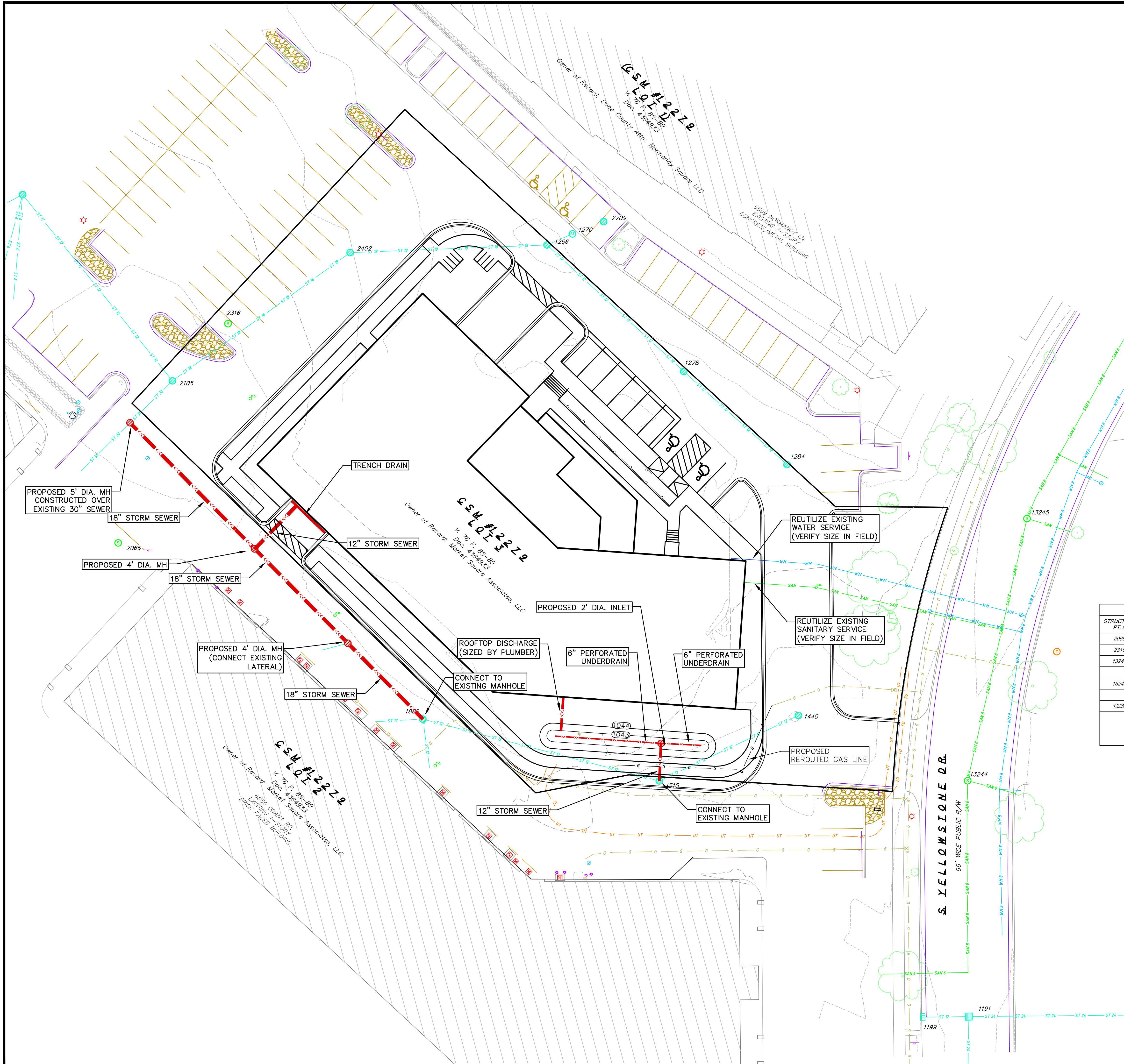


- ### GRADING LEGEND
- |   |                          |
|---|--------------------------|
|  | EXISTING MAJOR CONTOURS  |
|  | EXISTING MINOR CONTOURS  |
|  | PROPOSED MAJOR CONTOURS  |
|  | PROPOSED MINOR CONTOURS  |
|  | DRAINAGE DIRECTION       |
|  | PROPOSED SLOPE ARROWS    |
|  | EXISTING SPOT ELEVATIONS |
|  | PROPOSED SPOT ELEVATIONS |
|  | DISTURBED LIMITS         |
|  | INLET PROTECTION         |
|  | TRACKING PAD             |

**NOT FOR CONSTRUCTION**

[illegible]





- PROPOSED UTILITY LEGEND**
- STORM SEWER PIPE
  - STORM SEWER MANHOLE
  - STORM SEWER ENDWALL
  - STORM SEWER CURB INLET
  - STORM SEWER CURB INLET W/MANHOLE
  - STORM SEWER FIELD INLET
  - ROOF DRAIN CLEANOUT
  - SANITARY SEWER PIPE (GRAVITY)
  - SANITARY SEWER PIPE (FORCE MAIN)
  - SANITARY SEWER LATERAL PIPE
  - SANITARY SEWER MANHOLE
  - SANITARY SEWER CLEANOUT
  - WATER MAIN
  - WATER SERVICE LATERAL PIPE
  - FIRE HYDRANT
  - WATER VALVE
  - CURB STOP
  - WATER VALVE MANHOLE
  - PROPOSED PIPE INSULATION
  - GAS MAIN
  - ELECTRIC SERVICE

**ABBREVIATIONS**

STMH	STORM MANHOLE
FI	FIELD INLET
CI	CURB INLET
CB	CATCH BASIN
EW	ENDWALL
SMH	SANITARY MANHOLE

**EXISTING SANITARY STRUCTURE TABLE**

STRUCTURE PT. #	STRUCTURE TYPE	RIM ELEVATION	INVERT
2086	SAN MH	1044.08	
2316	SAN MH	1044.13	
13244	SAN MH	1043.79	N 8" 1034.94
			E 8" 1035.07
13245	SAN MH	1044.57	N 8" 1034.60
			S 8" 1034.65
13251	SAN MH	1045.17	N 8" 1033.79
			E 8" 1035.61
			S 8" 1033.79
			W 8" 1035.31

**EXISTING STORM SEWER STRUCTURE TABLE**

STRUCTURE PT. #	STRUCTURE TYPE	RIM ELEVATION	INVERT
1191	SQUARE INLET	1043.26	E 24" RCP 1039.22
			S 24" RCP 1038.93
			W 12" RCP 1039.41
1199	CURB INLET	1043.24	E 12" RCP 1039.72
1266	ROUND INLET	1046.52	NE 12" PVC 1040.26
			E 12" PVC 1040.70
			SW 18" RCP 1040.24
1270	STMH STORMCEPTOR	1047.20	
1278	ROUND INLET	1046.64	E 12" PVC 1041.99
			W 12" PVC 1041.93
1284	ROUND INLET	1045.93	W 12" PVC 1042.41
1440	ROUND INLET	1043.14	SW 12" PVC 1040.04
1515	ROUND INLET	1044.10	E 12" PVC 1039.88
			NIW 12" PVC 1039.90
1882	ROUND INLET	1044.24	NE 12" PVC 1038.88
			E 12" PVC 1038.96
			SW 12" PVC 1039.08
			NIW 12" PVC 1038.74
			SE 12" PVC 1038.87
1930	ROUND INLET	1043.10	NE 12" PVC 1038.76
			SE 12" PVC 1038.69
			SW 12" PVC 1038.74
			W 12" PVC 1038.68
2105	ROUND INLET	1043.21	N 18" RCP 1037.74
			E 12" RCP 1038.00
			S 30" RCP 1038.80
			W 12" RCP 1038.04
2311	ROUND INLET	1043.89	E 12" RCP 1037.63
			SE 6" PVC 1038.37
			SE 6" PVC 1038.03
			WSW 12" RCP 1037.63
2402	ROUND INLET	1045.92	NE 18" RCP 1039.46
			SSW 18" RCP 1039.03
2709	ROUND INLET	1047.36	

NOT FOR CONSTRUCTION

**vierbicher**  
planners | engineers | advisors

**UTILITY PLAN**

MARKET SQUARE SHOPPING CENTER  
MADISON  
DANE COUNTY, WISCONSIN

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE: 1/3/2023  
DRAFTER: JGRU  
CHECKED: KUEN  
PROJECT NO.: 220094

C5.0



PLANT INSTALLATION SCHEDULE:

	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	ROOT	NOTES
<b>Deciduous Trees</b>							
Ame / Aut	5	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6' ht	As shown	BB	multi-stem
Bet / nig	2	Betula nigra	River Birch	7' ht	As shown	BB	multi-stem
Gle / Imp	3	Gleditsia triacanthos 'Impcole' PP 1605	Imperial Honeylocust	2 1/2"	As shown	BB	
<b>Evergreen Trees/Shrubs</b>							
Jun / Man	7	Juniperus chinensis 'Maney'	Maney Juniper	5 gallon	As shown	Cont.	
Jun / Tra	10	Juniperus chinensis 'Trautman'	Trautman Juniper	5'-6" Ht	As shown	BB	
Jun / Sea	6	Juniperus chinensis 'Sea Green'	Sea Green Juniper	5 gallon	As shown	Cont.	
Tax / Hic	1	Taxus x media 'Hicksii'	Hicks Yew	7 gallon	As shown	Cont.	
Tax / Tau	4	Taxus x media 'Tauntonii'	Tauntton Yew	5 gallon	As shown	Cont.	
Thu / Tec	2	Thuja occidentalis 'Techny'	Techny Arborvitae	6'-7' ht	As shown	BB	
<b>Deciduous Shrubs</b>							
Hyd / Ann	16	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	3 gallon	As shown	Cont.	
Rhu / Gro	86	Rhus aromatica 'Gro-low'	Gro-low Sumac	3 gallon	4' o.c.	Cont.	
Ros / Radk	4	Rosa 'Radkoprnik pp#18507	Double Pink Knock Out Rose	3 gallon	4' o.c.	Cont.	
Syr / mey	12	Syringa meyeri 'Palibin'	Dwarf Korean Lilac	3 gallon	As shown	Cont.	
Vib / Bai	6	Viburnum trilobum 'Bailey Compact'	Bailey Compact Viburnum	3 gallon	As shown	Cont.	

<b>Perennials</b>							
Alc / mol	12	Alchemilla mollis	Lady's Mantle	1 gallon	24" o.c.	Cont.	
Ech / Mag	16	Echinacea purpurea 'Magnus'	Magnus Purple Coneflower	1 gallon	30" o.c.	Cont.	
Eup / Gat	27	Eupatorium maculatum 'Gateway'	Gateway Joe-Pye Weed	1 gallon	28" o.c.	Cont.	
Hem / Par	36	Hemerocallis x Pardon Me	Pardon Me Daylily	1 gallon	24" o.c.	Cont.	
Hem / Hyp	22	Hemerocallis 'Hyperion'	Hyperion Daylily	1 gallon	24" o.c.	Cont.	
Hos / Ele	22	Hosta sieboldiana 'Elegans'	Elegans Hosta	1 gallon	30" o.c.	Cont.	
Iri / ver	16	Iris versicolor	Northern Blue Flag Iris	1 gallon	21" o.c.	Cont.	
Iri / vir	9	Iris virginica var. shrevei	Southern Blue Flag Iris	1 gallon	21" o.c.	Cont.	
Lia / Kob	43	Liatis spicata 'Kobold'	Kobold Spike Blazing Star	1 gallon	21" o.c.	Cont.	
Nep / Wal	37	Nepeta faassenii 'Walker's Low'	Walker's Low Catmint	1 gallon	30" o.c.	Cont.	
Per / atr	6	Perovskia atriplicifolia	Russian Sage	1 gallon	36" o.c.	Cont.	
Rud / Gol	11	Rutbeckia fulgida 'Goldsturm'	Goldsturm Black-Eyed Susan	1 gallon	24" o.c.	Cont.	
<b>Ornamental Grasses</b>							
Cal / Kar	26	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 gallon	24" o.c.	Cont.	
Mis / Pur	9	Miscanthus sinensis 'Purpurascens'	Flame Grass	1 gallon	36" o.c.	Cont.	
Mol / Sky	23	Molinia caerulea arundinacea 'Skraycer'	Molinia Skyracer	1 gallon	30" o.c.	Cont.	
Pan / Hae	29	Panicum virgatum 'Shenandoah'	Red Switch Grass	1 gallon	30" o.c.	Cont.	
Spo / Tar	15	Sporobolus heterolepis 'Tara'	Dwarf Prairie Dropseed Tara	1 gallon	30" o.c.	Cont.	

LEGEND

	EXISTING TREE		NEW PERENNIALS
	NEW SHADE TREE		NEW ORNAMENTAL GRASSES
	NEW ORNAMENTAL TREE		TURF SOD
	NEW CONIFEROUS TREE		EXTENSIVE GREEN ROOF
	NEW CONIFEROUS SHRUB		
	NEW DECIDUOUS SHRUB		

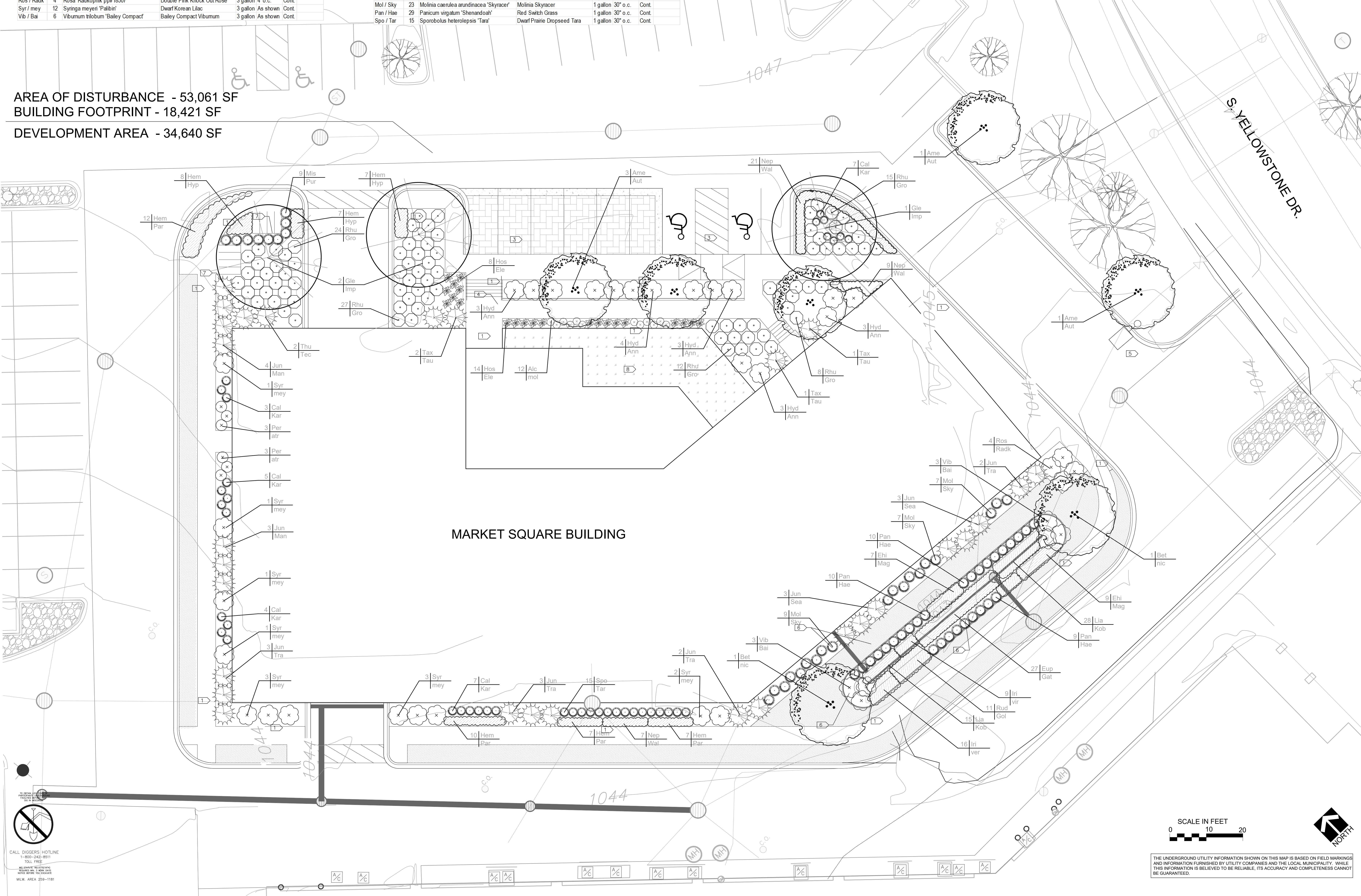
GENERAL NOTES:

- ALL PLANTS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH, U.N.O.
- ALL PLANTS SHALL HAVE SPADED EDGE - 6" DEPTH U.N.O.
- ALL PLANTS SHOULD BE IRRIGATED.
- REFER TO LANDSCAPE WORKSHEET FOR LANDSCAPE POINTS CALCULATIONS.

KEYNOTES:

- CONCRETE WALK, REFER TO CIVIL DWGS
- CONCRETE PATIO, REFER TO CIVIL DWGS
- PERMEABLE PAVERS, REFER TO CIVIL DWGS
- CONCRETE STAIR, REFER TO CIVIL
- POLE LIGHT FIXTURE, REFER TO LIGHTING DWGS
- METAL EDGING
- BIKE RACKS, SEE CIVIL
- EXTENSIVE GREEN ROOF AREA

AREA OF DISTURBANCE - 53,061 SF  
BUILDING FOOTPRINT - 18,421 SF  
DEVELOPMENT AREA - 34,640 SF







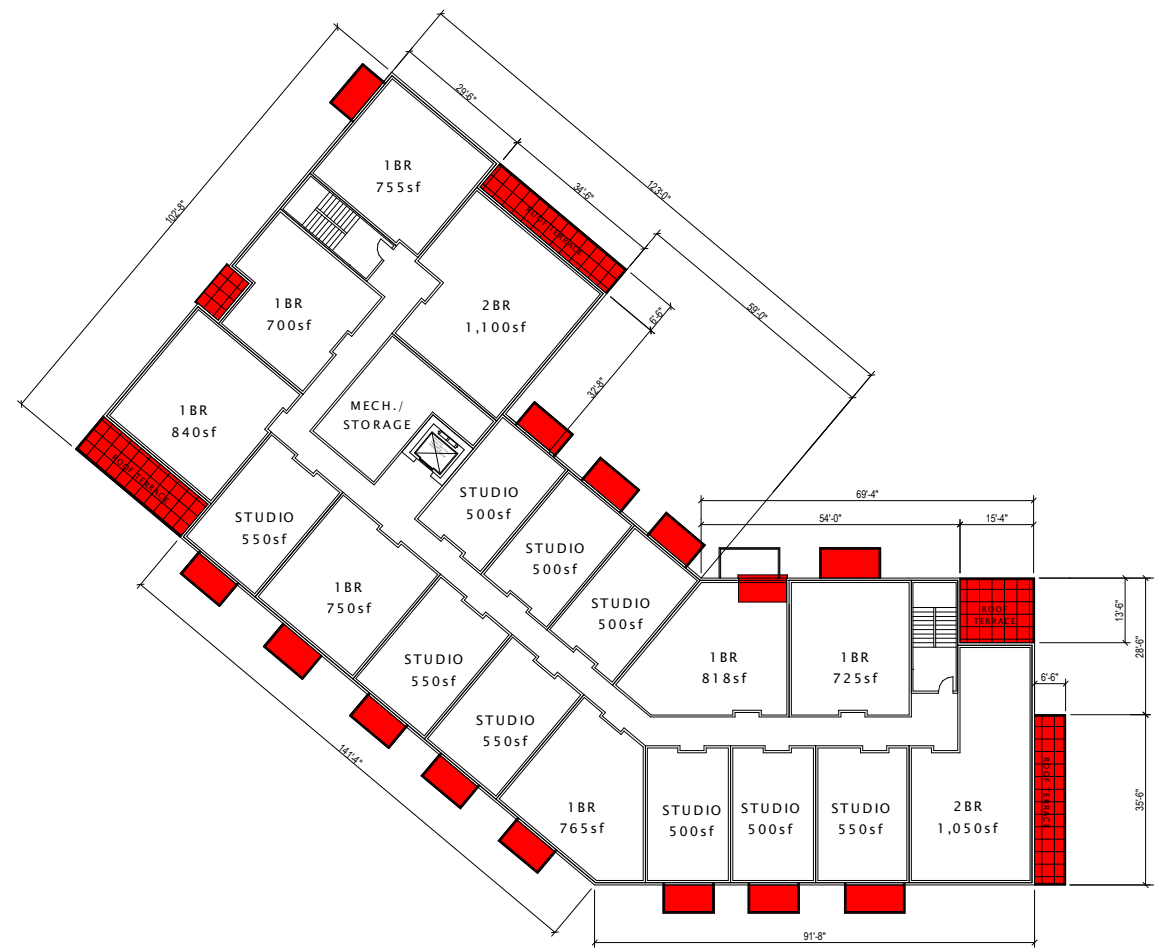
1 USABLE OPEN SPACE - 3RD FLOOR  
1" = 40'-0"



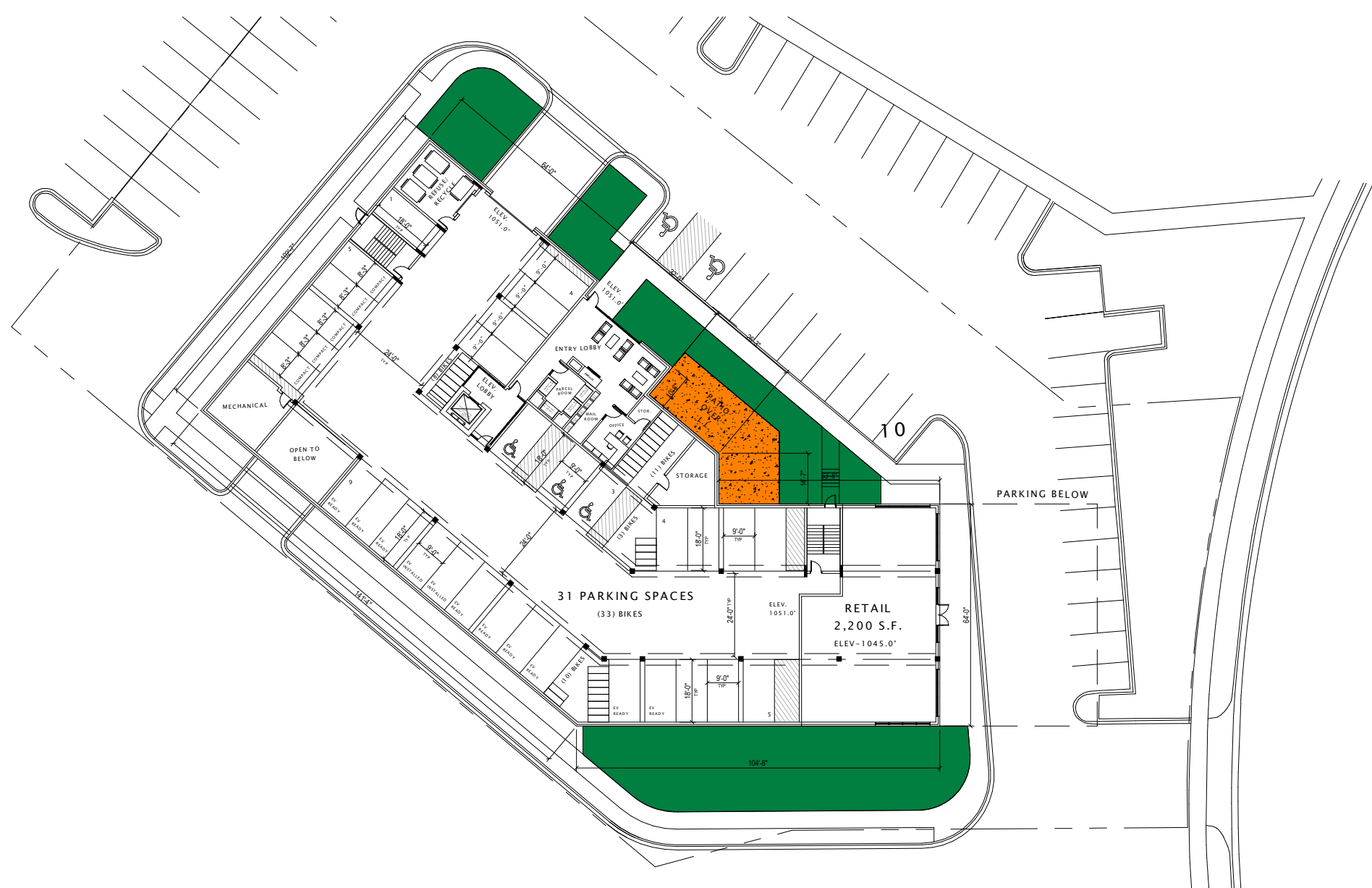
3 USABLE OPEN SPACE - 6TH FLOOR  
1" = 40'-0"



6 USABLE OPEN SPACE - 2ND FLOOR  
1" = 40'-0"



9 USABLE OPEN SPACE - 5TH FLOOR  
1" = 40'-0"






11 USABLE OPEN SPACE - 1ST FLOOR  
1" = 40'-0"



13 USABLE OPEN SPACE - 4TH FLOOR  
1" = 40'-0"

#### USABLE OPEN AREA CHART

-  DENOTES USABLE OPEN AREA ON PLAN = 4,824 S.F.
-  DENOTES USABLE OPEN AREA PRIVATE BALCONIES = 7,742 S.F.
-  DENOTES USABLE OPEN AREA ROOF DECKS = 3,994 S.F.

REQUIRED USABLE OPEN AREA =  
(40 S.F. X 87 DWELLING UNITS) =  
3,480 S.F.

TOTAL USABLE OPEN AREA = 16,560 S.F.



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ARCHITECTS

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JLA PROJECT NUMBER: W22-0122

## MARKET SQUARE BUILDING A1 LAND USE APPLICATION SUBMITTAL

#### PROGRESS DOCUMENTS

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DATE OF ISSUANCE JANUARY 4th, 2023

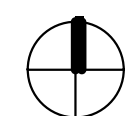
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Mark	Description	Date

SHEET TITLE

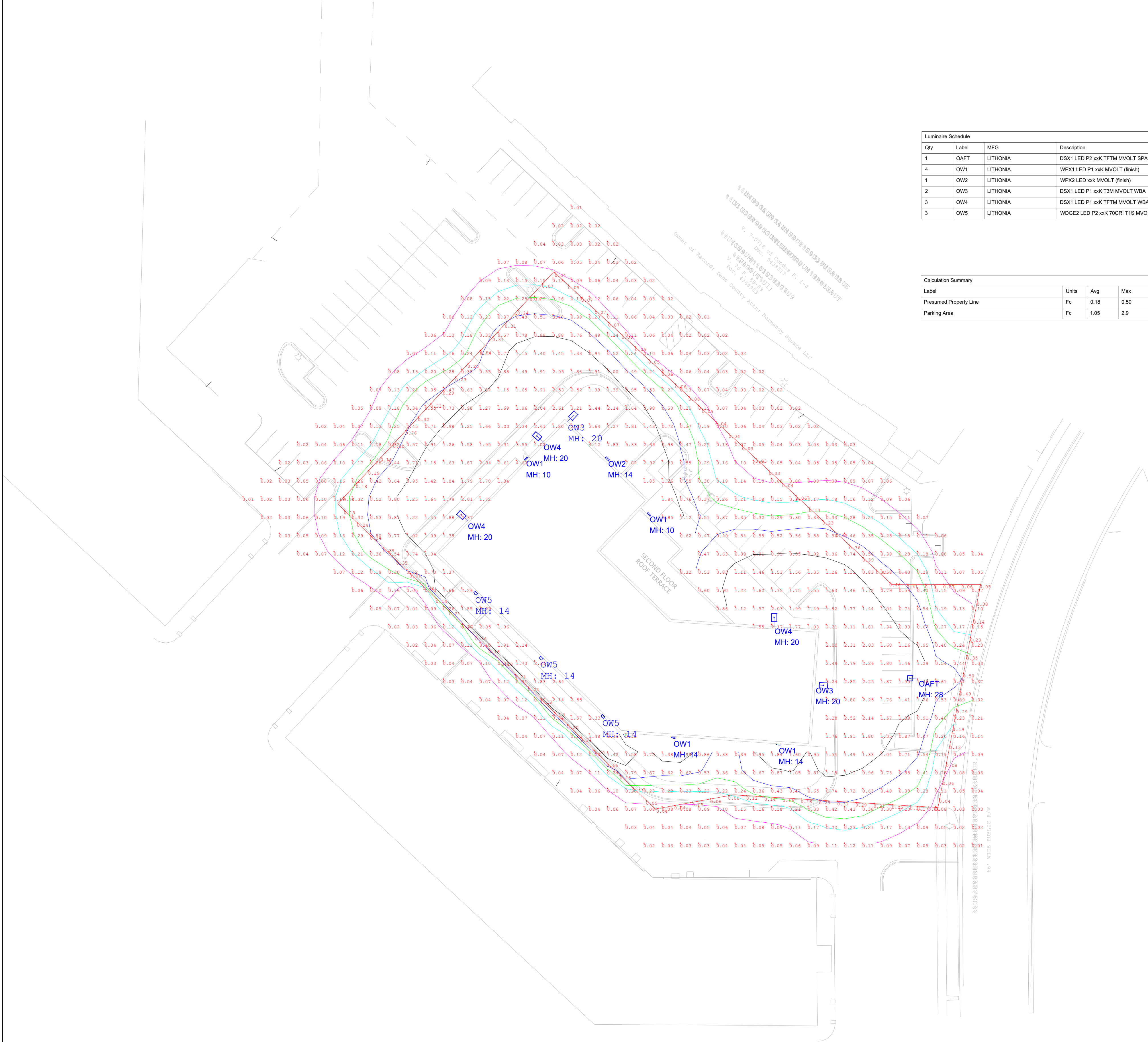
USABLE OPEN SPACE

SHEET NUMBER

ASP-100








Luminaire Schedule					
Qty	Label	MFG	Description	LLF	Lum. Watts
1	OAF1	LITHONIA	DSX1 LED P2 xxK TFTM MVOLT SPA (finish) G1 + 25' POLE + 3' BASE	0.950	70
4	OW1	LITHONIA	WPX1 LED P1 xxK MVOLT (finish)	0.950	11
1	OW2	LITHONIA	WPX2 LED xxK MVOLT (finish)	0.950	47
2	OW3	LITHONIA	DSX1 LED P1 xxK T3M MVOLT WBA	0.950	54
3	OW4	LITHONIA	DSX1 LED P1 xxK TFTM MVOLT WBA	0.950	54
3	OW5	LITHONIA	WDGE2 LED P2 xxK 70CRI T1S MVOLT (mounting) (finish)	0.950	19
					Total Watts
					70
					44
					47
					108
					162
					57

Calculation Summary						
Label	Units	Avg	Max	Min	Max/Min	Avg/Min
Presumed Property Line	Fc	0.18	0.50	0.03	16.67	6.00
Parking Area	Fc	1.05	2.9	0.1	29.00	10.50



MARKET SQUARE	MADISON, WI	SITE LIGHTING LAYOUT	DRAWN BY : JT	DATE : 10-7-2022	SCALE : 1" = 30'	REVISIONS	#	DATE	COMMENTS

STUDIO UNIT

1 BD UNIT

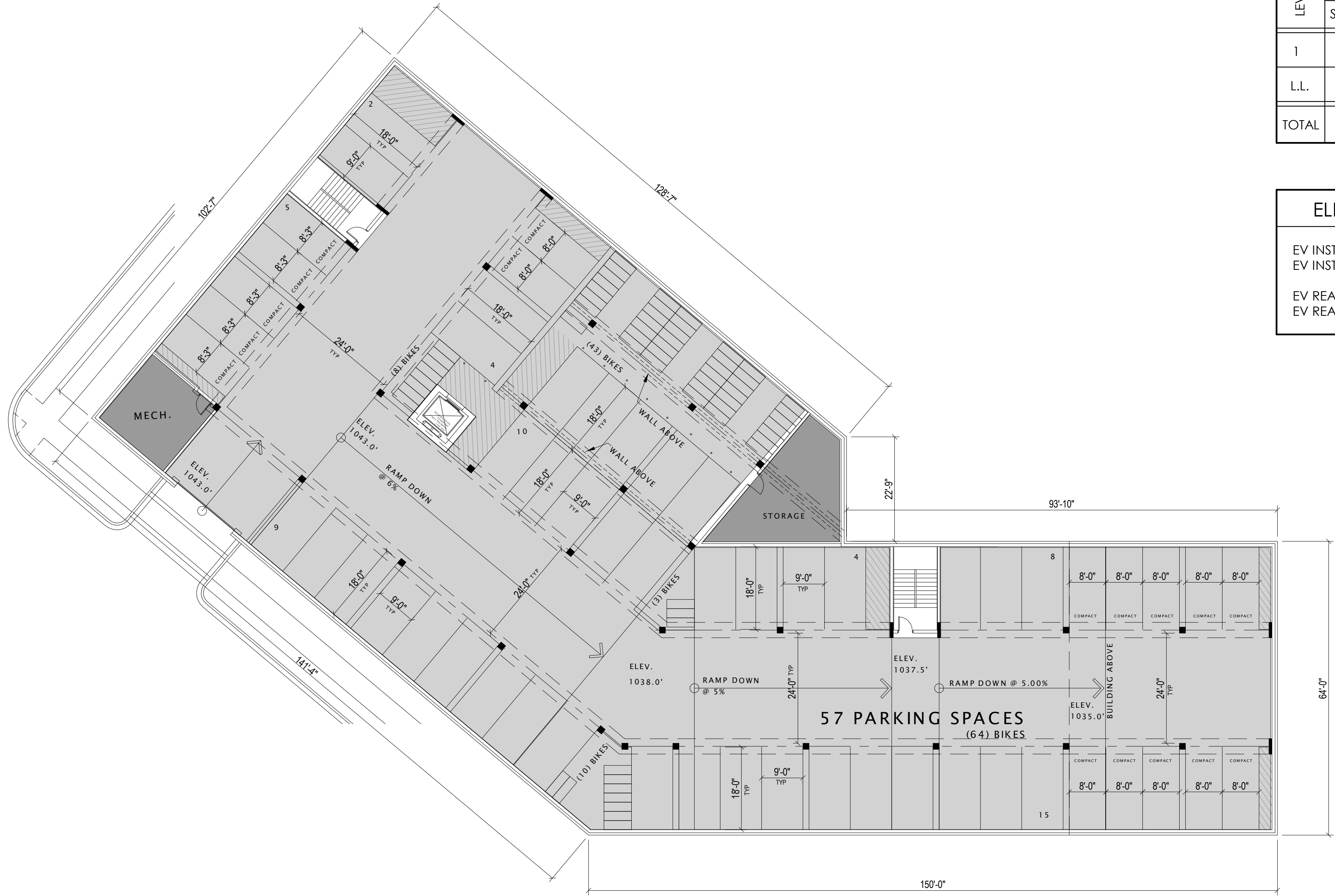
2 BD UNIT

AMENITIES

BLDG. SUPP / STOR.

CIRCULATION

PARKING



PARKING DATA					
LEVEL	AUTOMOBILE PARKING			TOTAL	BIKE PARKING
	STANDARD	COMPACT	ADA		
1	23	5	3	31	32
L.L.	40	17	0	57	64
TOTAL	59	22	3	88	96

ELECTRIC VEHICLE PARKING DATA	
EV INSTALLED REQUIRED - 2%	EV INSTALLED PROVIDED - 2% (2 STALLS)
EV READY REQUIRED - 10%	EV READY PROVIDED - 10% (9 STALLS)



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MARKET SQUARE  
BUILDING A1  
LAND USE APPLICATION  
SUBMITTAL

PROGRESS DOCUMENTS

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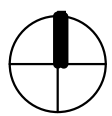
SHEET TITLE

LOWER LEVEL PLAN

SHEET NUMBER

A100

1 LOWER LEVEL PLAN  
1/16" = 1'-0"





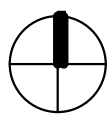
- STUDIO UNIT
- 1 BD UNIT
- 2 BD UNIT
- AMENITIES
- BLDG. SUPP / STOR.
- CIRCULATION
- PARKING



PARKING DATA					
LEVEL	AUTOMOBILE PARKING			TOTAL	BIKE PARKING
	STANDARD	COMPACT	ADA		
1	23	5	3	31	32
L.L.	40	17	0	57	64
TOTAL	59	22	3	88	96

ELECTRIC VEHICLE PARKING DATA	
EV INSTALLED REQUIRED - 2%	
EV INSTALLED PROVIDED - 2% (2 STALLS)	
EV READY REQUIRED - 10%	
EV READY PROVIDED - 10% (9 STALLS)	

1 FIRST FLOOR PLAN  
1/16" = 1'-0"



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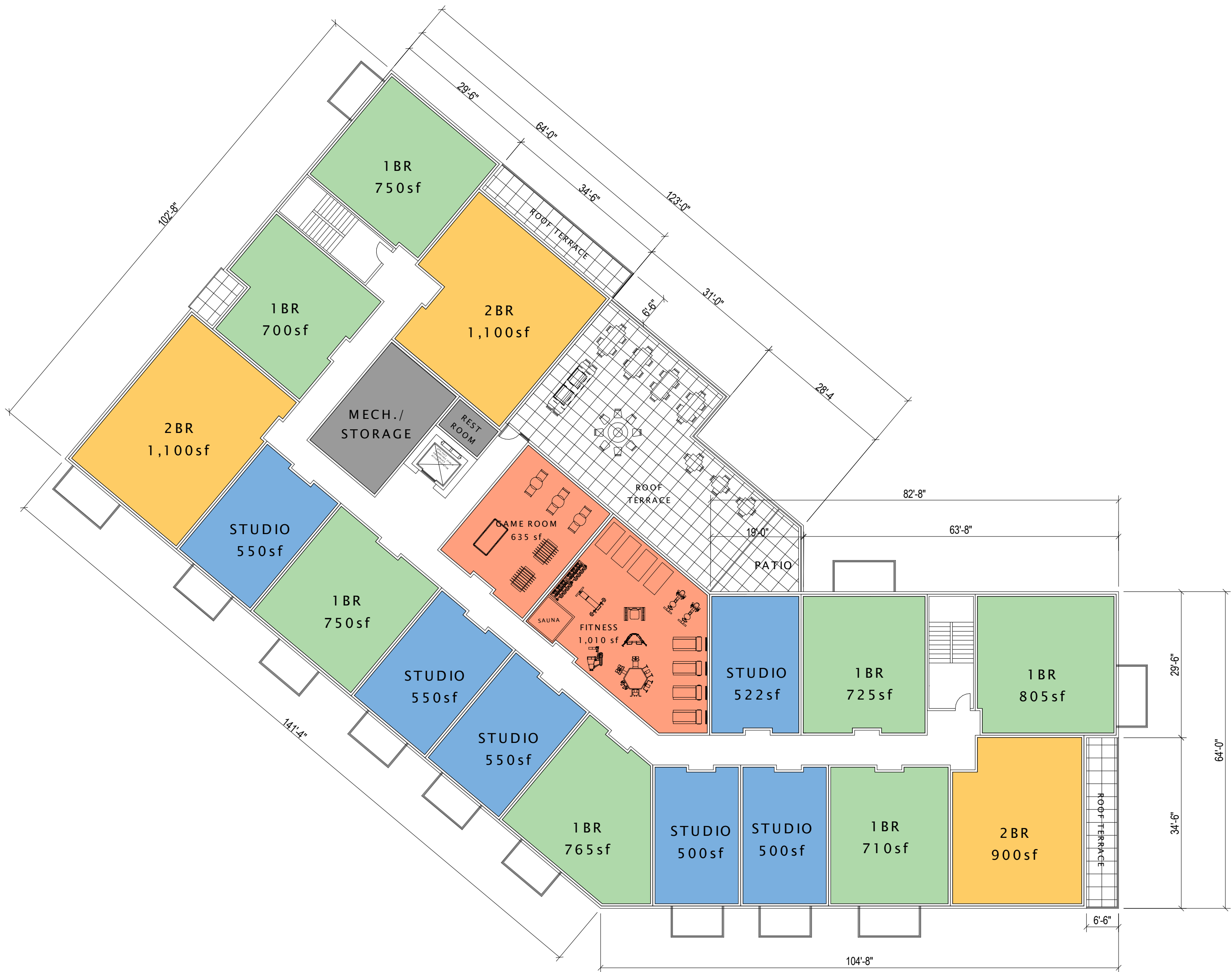
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FIRST FLOOR PLAN

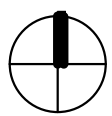
SHEET NUMBER

A101

- STUDIO UNIT
- 1 BD UNIT
- 2 BD UNIT
- AMENITIES
- BLDG. SUPP / STOR.
- CIRCULATION
- PARKING



1 SECOND FLOOR PLAN  
1/16" = 1'-0"



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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SECOND FLOOR PLAN

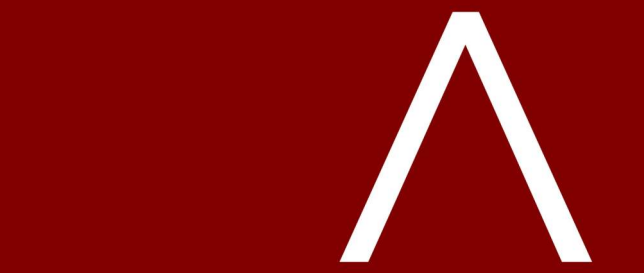
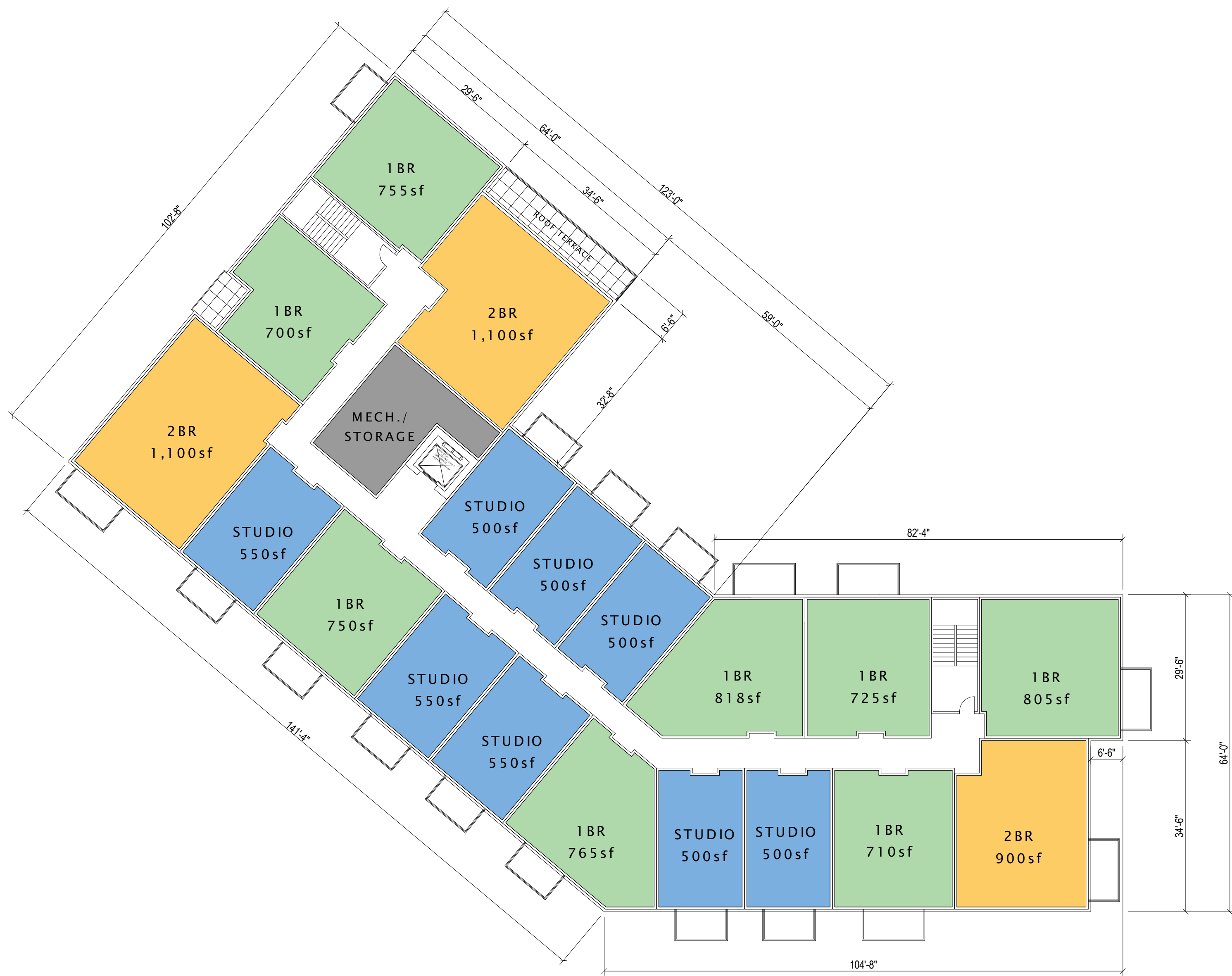
SHEET NUMBER

A102



1/4/2023 9:33:12 AM

1 THIRD FLOOR PLAN  
1/16" = 1'-0"



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PROGRESS DOCUMENTS

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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

THIRD FLOOR PLAN

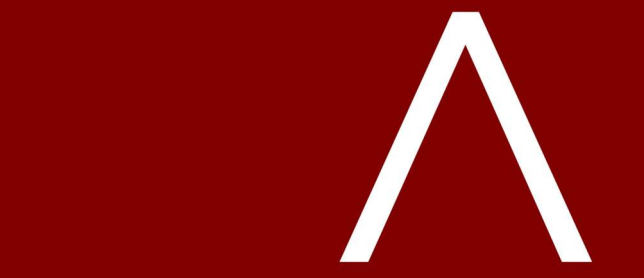
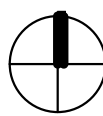
SHEET NUMBER

A103



1/4/2023 9:33:12 AM

1 FOURTH FLOOR PLAN  
1/16" = 1'-0"



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**MARKET SQUARE  
BUILDING A1**  
LAND USE APPLICATION  
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**PROGRESS DOCUMENTS**

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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

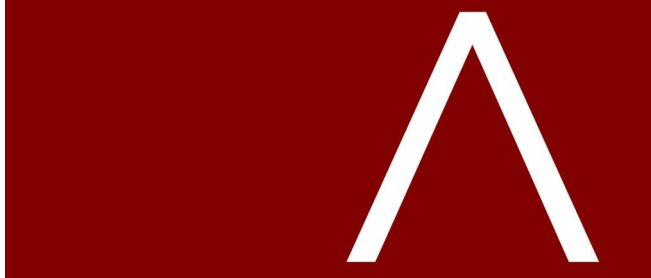
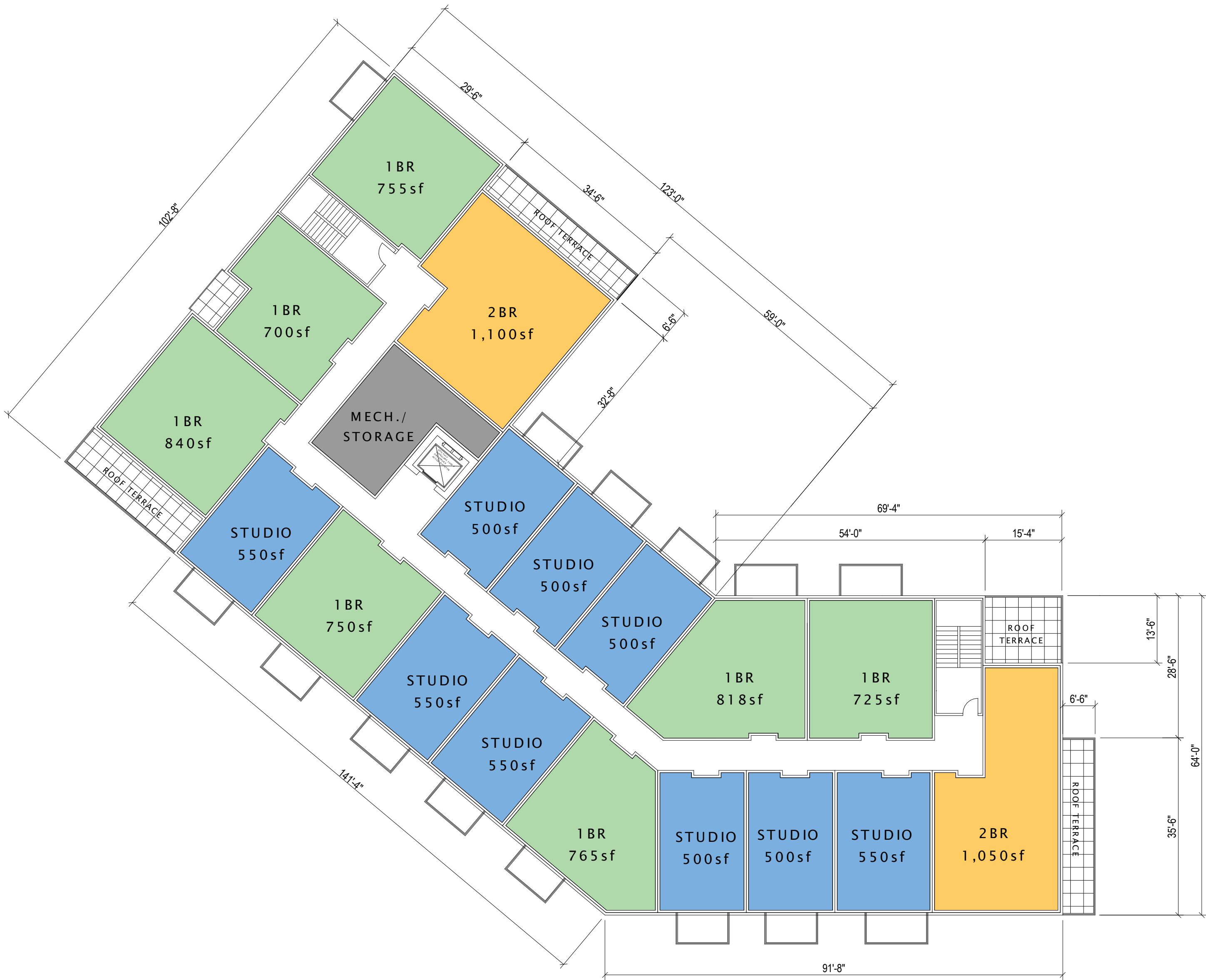
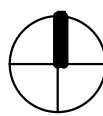
FOURTH FLOOR PLAN

SHEET NUMBER

A104

1/4/2023 9:33:13 AM

1 FIFTH FLOOR PLAN  
1/16" = 1'-0"



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JLA PROJECT NUMBER: W22-0122

MARKET SQUARE  
BUILDING A1  
LAND USE APPLICATION  
SUBMITTAL

**PROGRESS DOCUMENTS**  
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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

FIFTH FLOOR PLAN

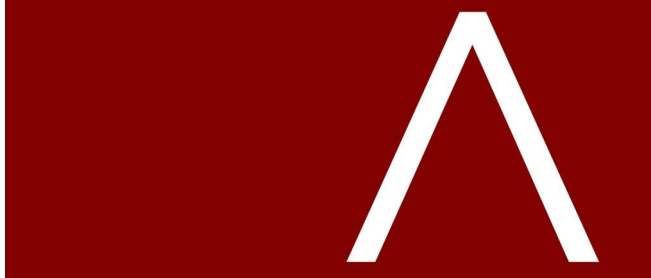
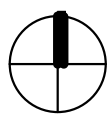
SHEET NUMBER

A105



1/4/2023 9:33:14 AM

① SIXTH FLOOR PLAN  
1/16" = 1'-0"



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JLA PROJECT NUMBER: W22-0122

MARKET SQUARE  
BUILDING A1  
LAND USE APPLICATION  
SUBMITTAL

PROGRESS DOCUMENTS

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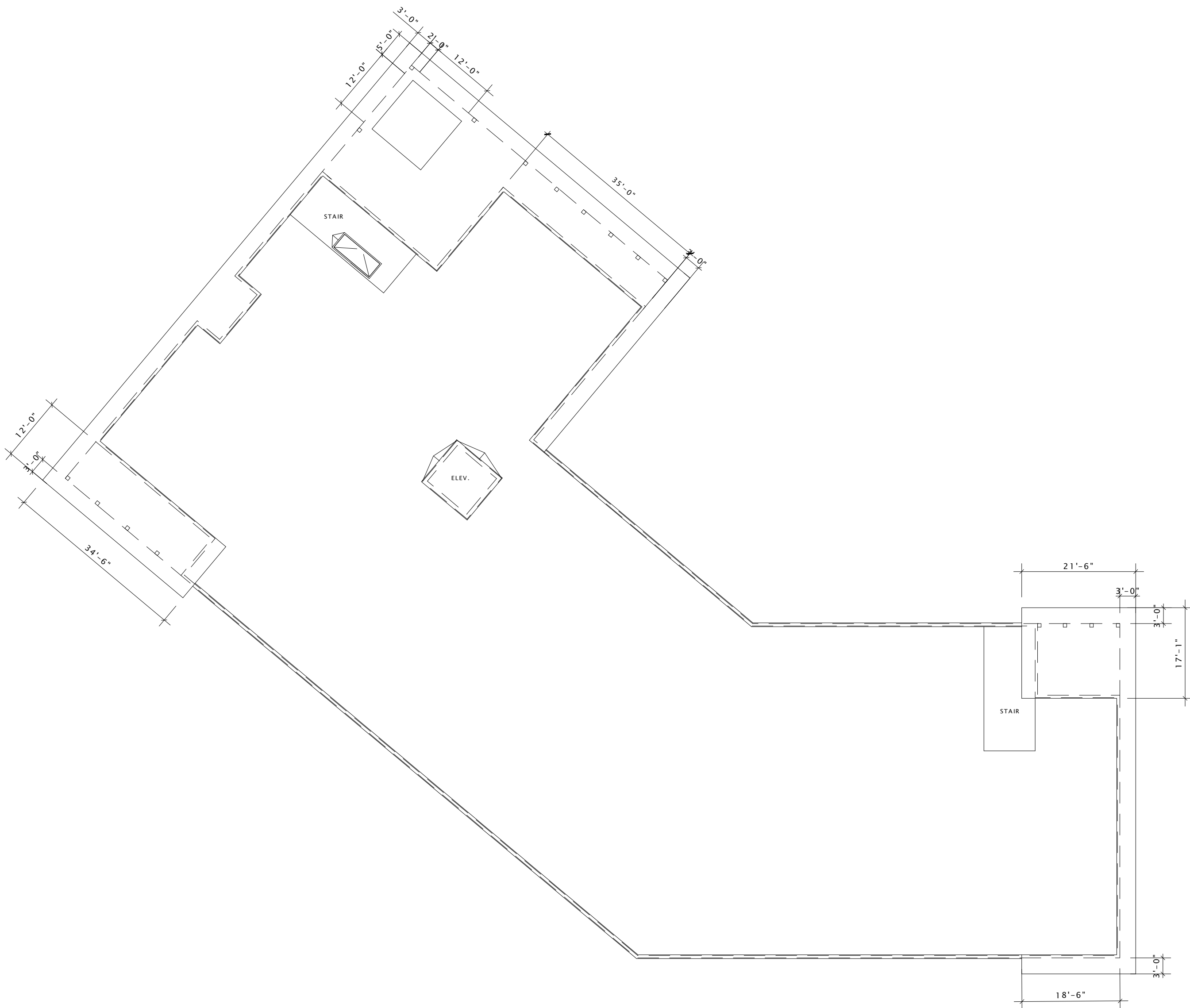
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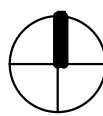
SIXTH FLOOR PLAN

SHEET NUMBER

A106



1 ROOF PLAN  
1/16" = 1'-0"



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JLA PROJECT NUMBER: W22-0122

MARKET SQUARE  
BUILDING A1  
LAND USE APPLICATION  
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REVISION SCHEDULE		
Mark	Description	Date

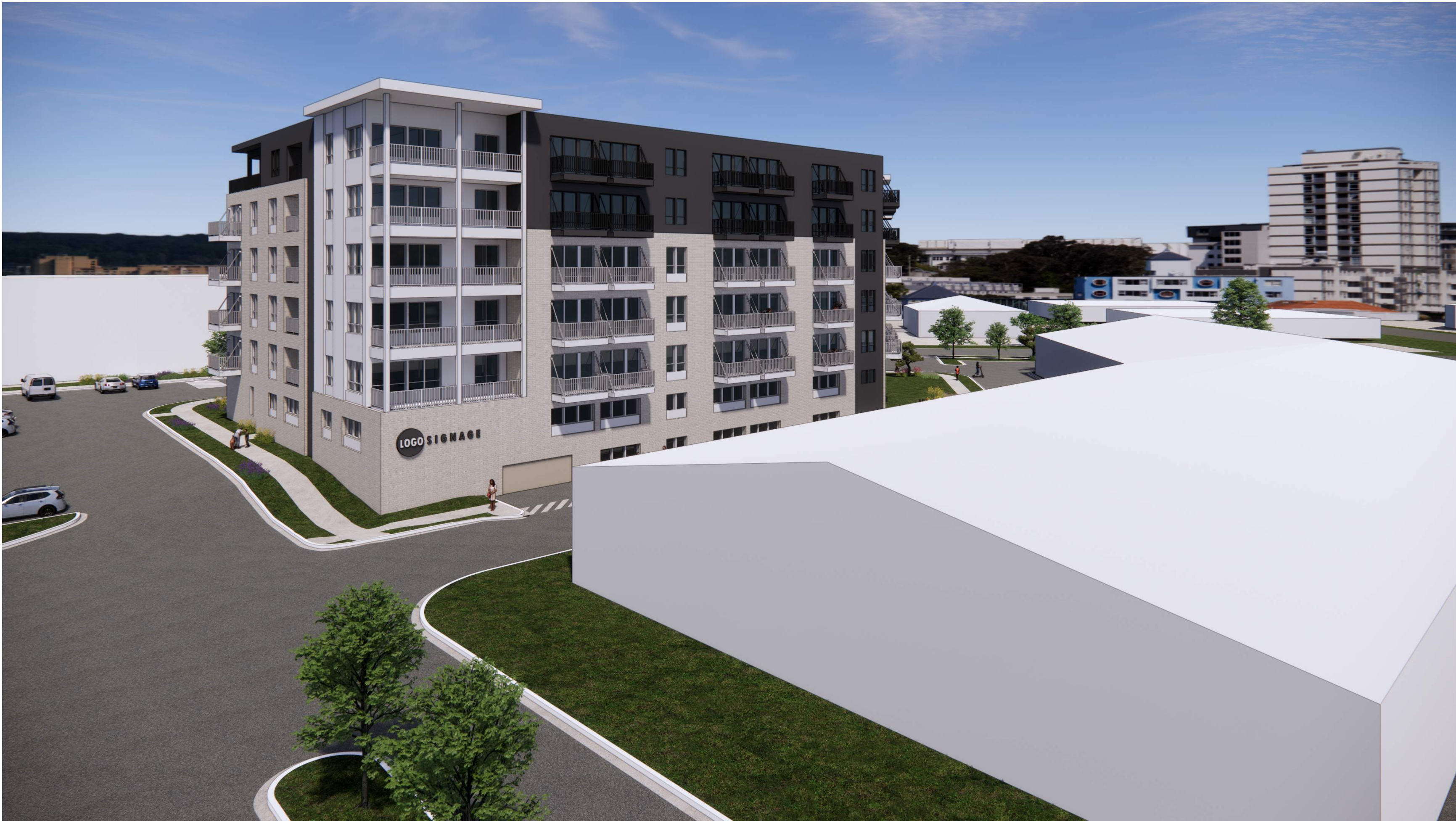
SHEET TITLE

ROOF PLAN

SHEET NUMBER

A110





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MARKET SQUARE  
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SUBMITTAL

PROGRESS DOCUMENTS

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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

AERIAL PERSPECTIVE

SHEET NUMBER

A200





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SHEET TITLE

AERIAL PERSPECTIVE

SHEET NUMBER

A201





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REVISION SCHEDULE		
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SHEET TITLE

EXTERIOR  
PERSPECTIVES

SHEET NUMBER

A210





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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR  
PERSPECTIVES

SHEET NUMBER

A211





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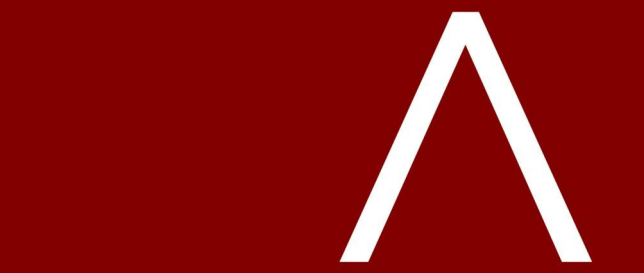
SHEET TITLE

EXTERIOR  
PERSPECTIVES

SHEET NUMBER

A212





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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR  
PERSPECTIVES

SHEET NUMBER

A213





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LAND USE APPLICATION  
SUBMITTAL

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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR  
PERSPECTIVES

SHEET NUMBER

A214





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BUILDING A1  
LAND USE APPLICATION  
SUBMITTAL

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DATE OF ISSUANCE JANUARY 4th, 2023

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR  
PERSPECTIVES

SHEET NUMBER

A215





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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR PERSPECTIVE

SHEET NUMBER

A216





UTILTY BRICK-  
'TUMBLEWEED'

COMPOSITE  
PANEL #1 -  
'IRON GRAY'

COMPOSITE  
PANEL #2 -  
'COBBLE  
STONE'

COMPOSITE  
PANEL #3 -  
'AGED  
PEWTER'



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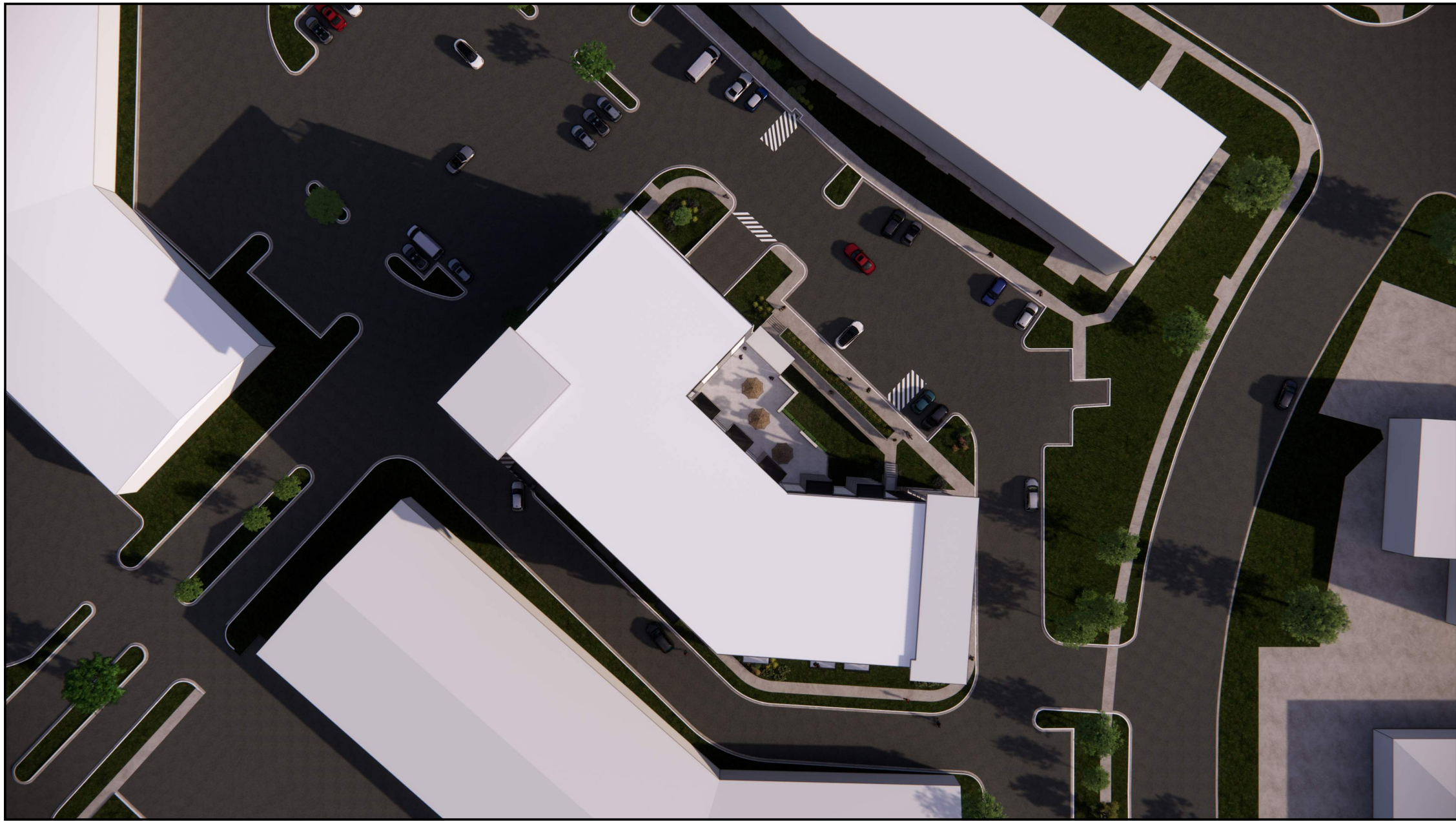
SHEET TITLE

MATERIALS BOARD

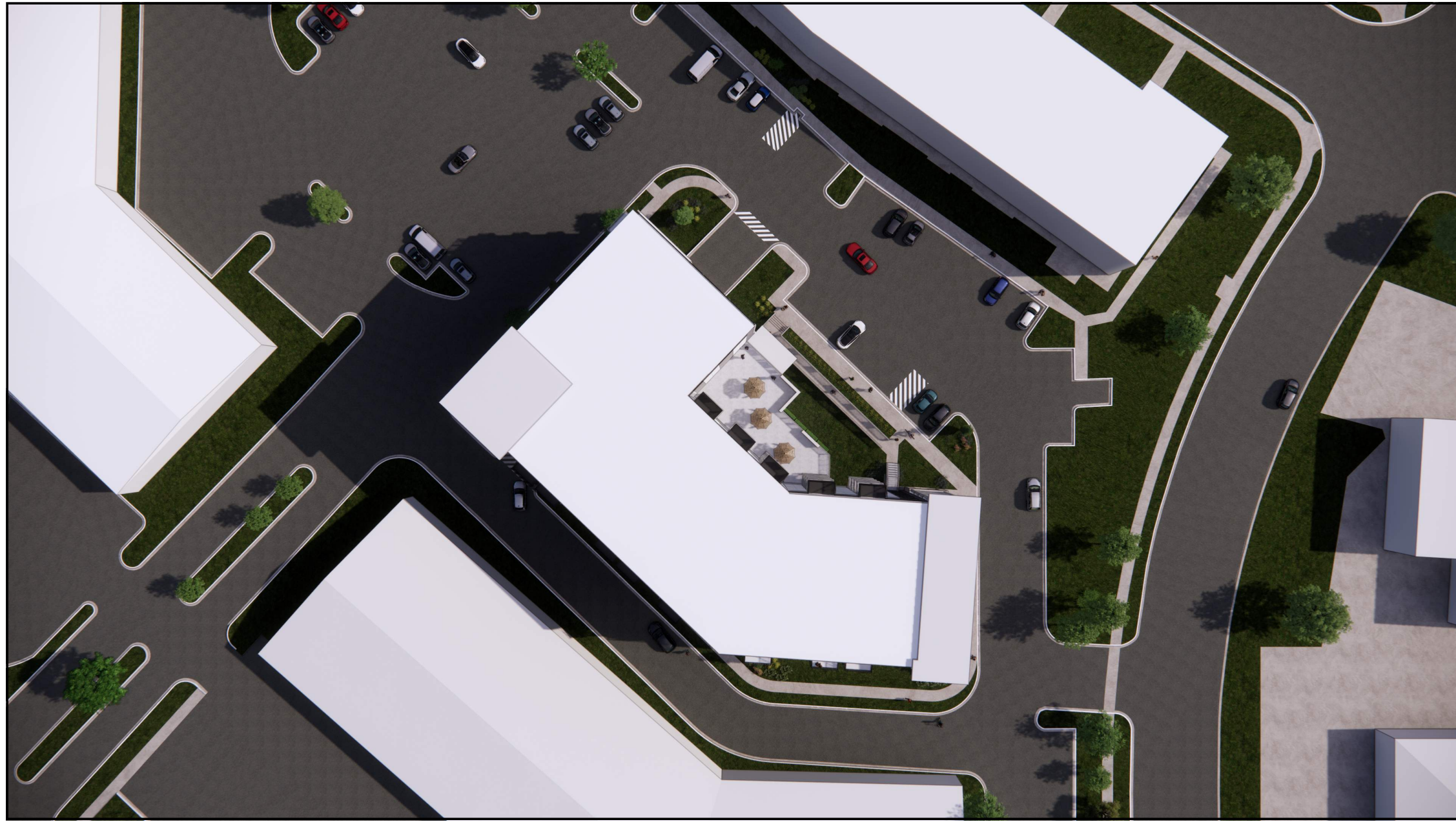
SHEET NUMBER

A219

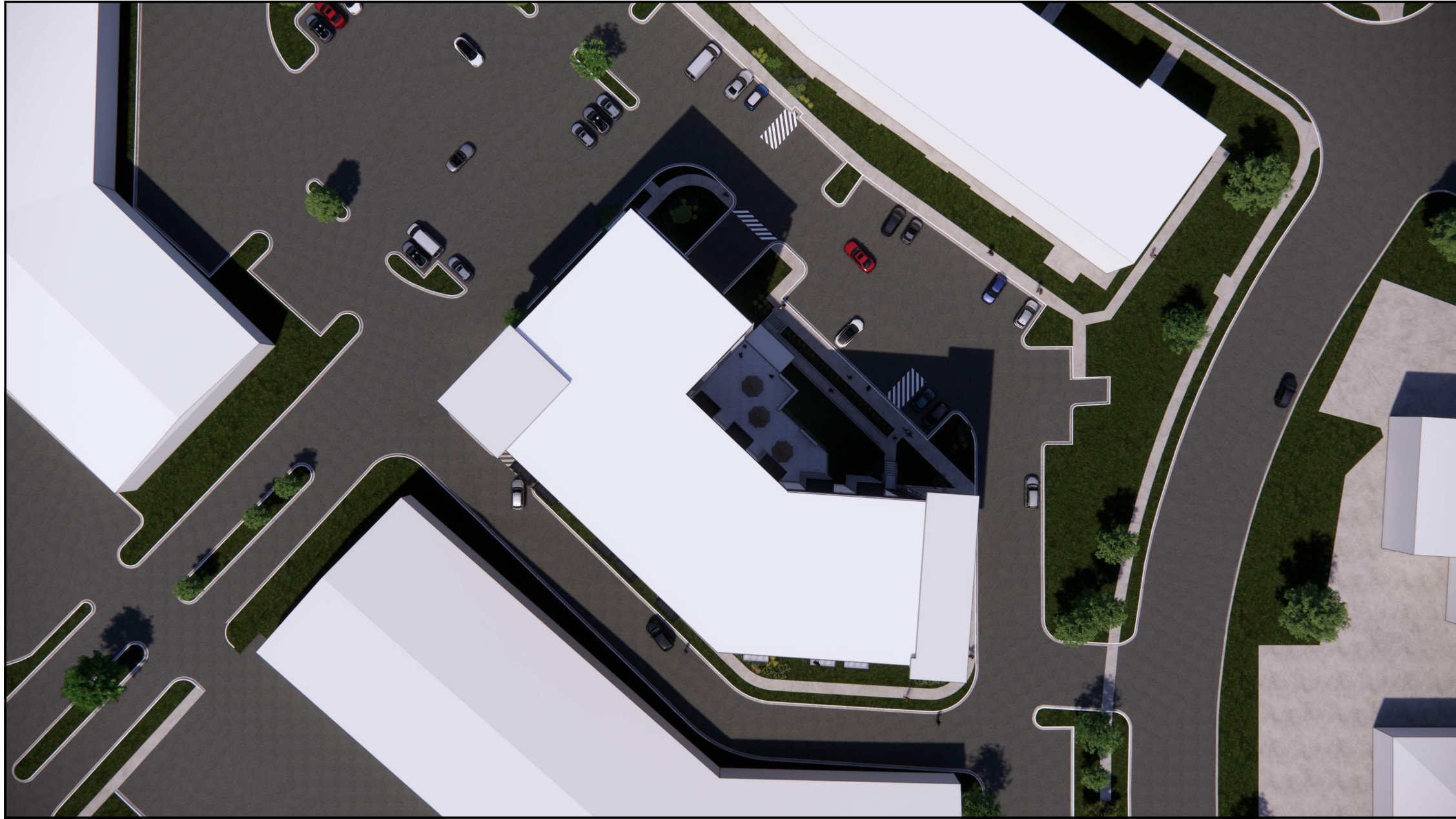




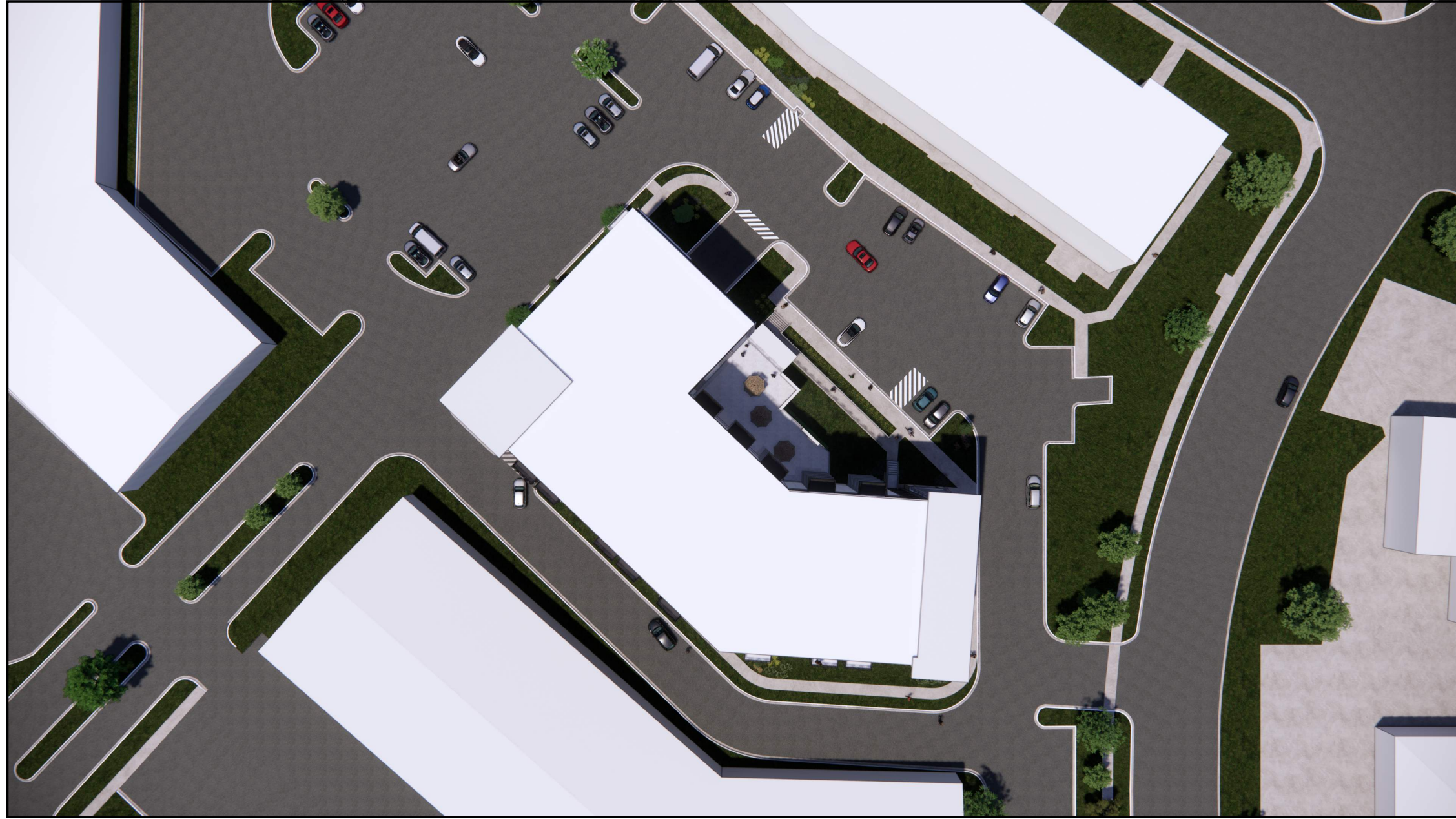
SHADOW ON MARCH 21ST @ 9AM



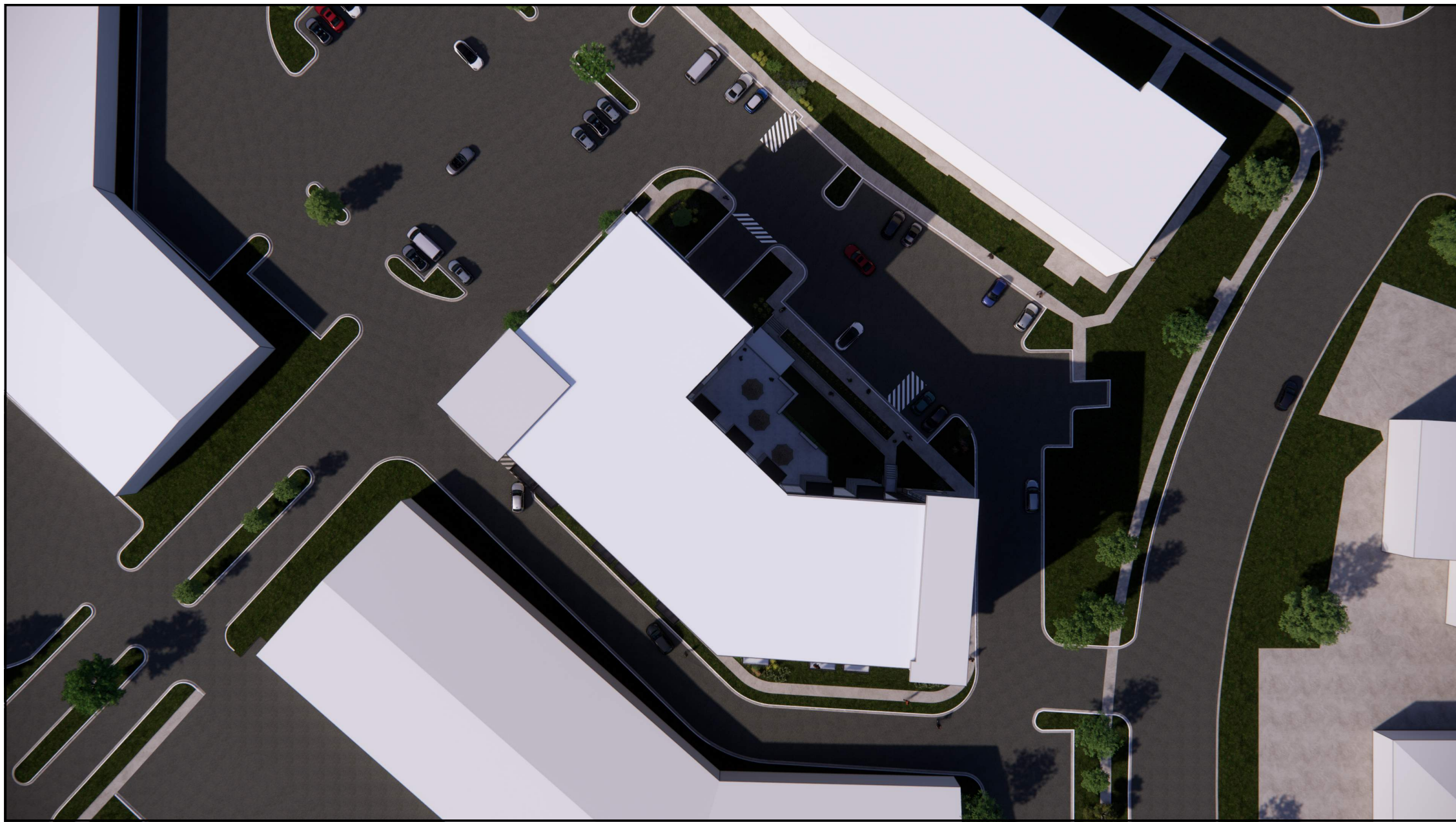
SHADOW ON JUNE 21ST @ 9AM



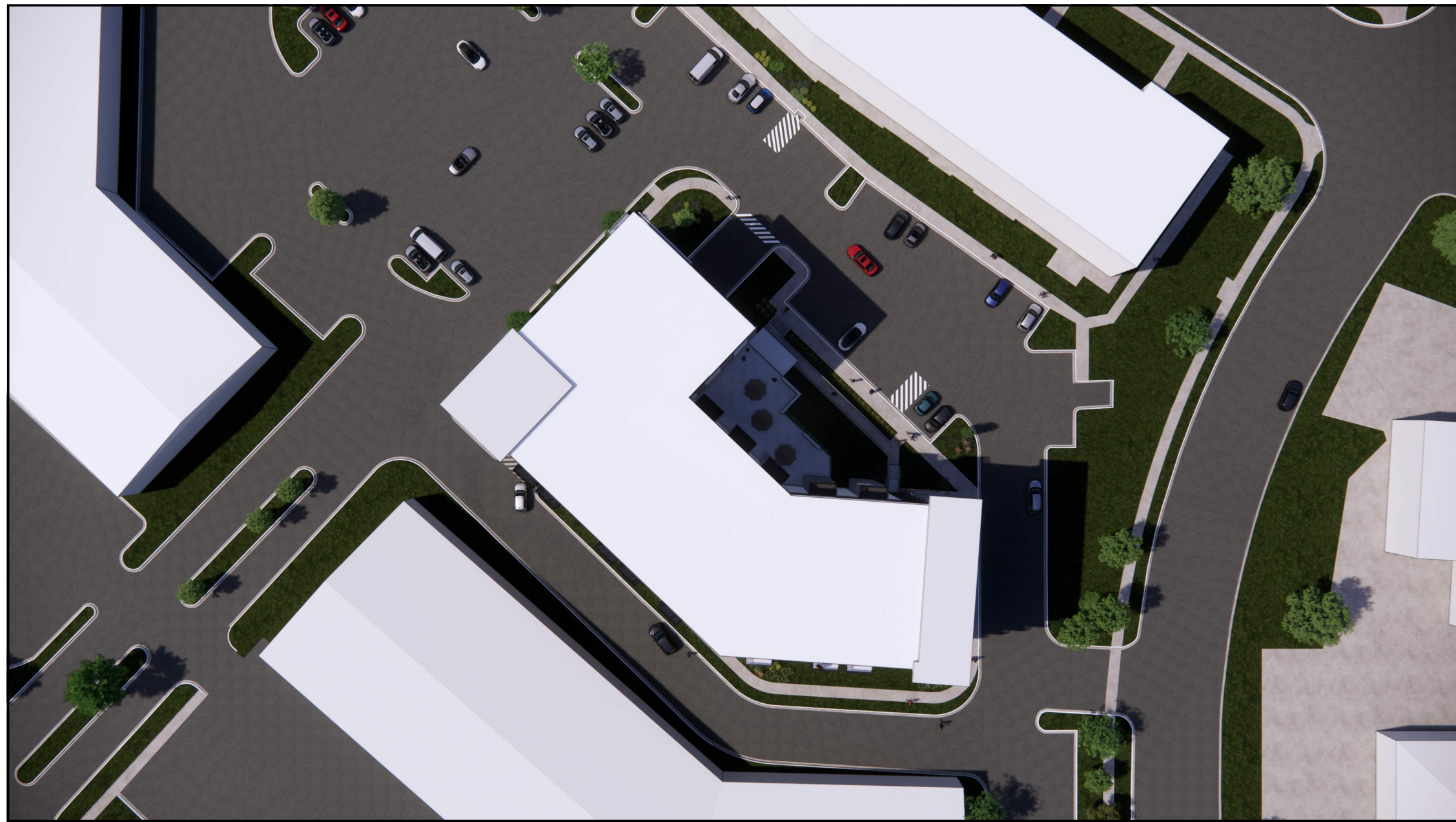
SHADOW ON MARCH 21ST @ 2PM



SHADOW ON JUNE 21ST @ 2PM



SHADOW ON MARCH 21ST @ 4PM



SHADOW ON JUNE 21ST @ 4PM



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REVISION SCHEDULE		
Mark	Description	Date

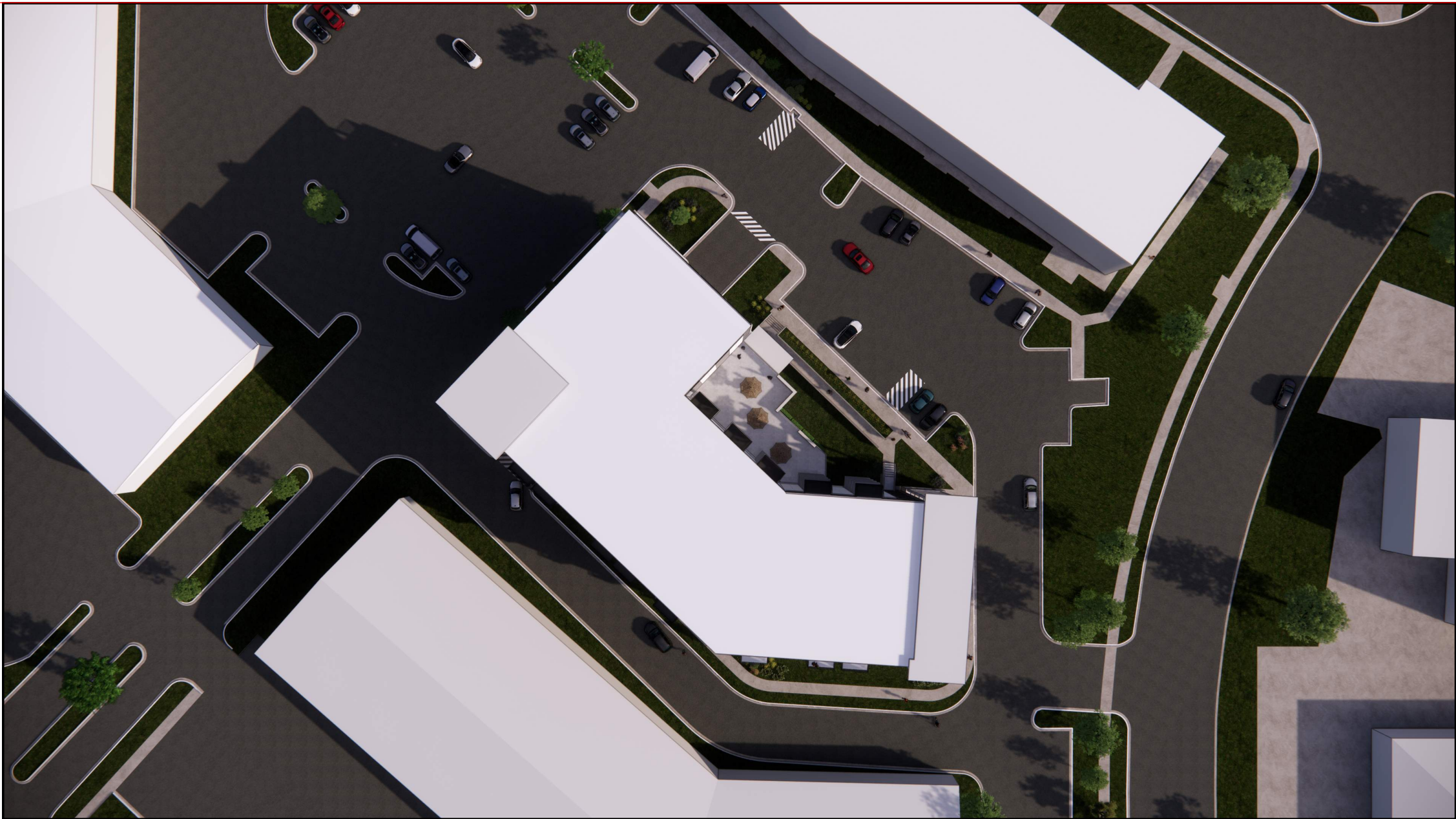
SHEET TITLE

SHADOW STUDY

SHEET NUMBER

A300

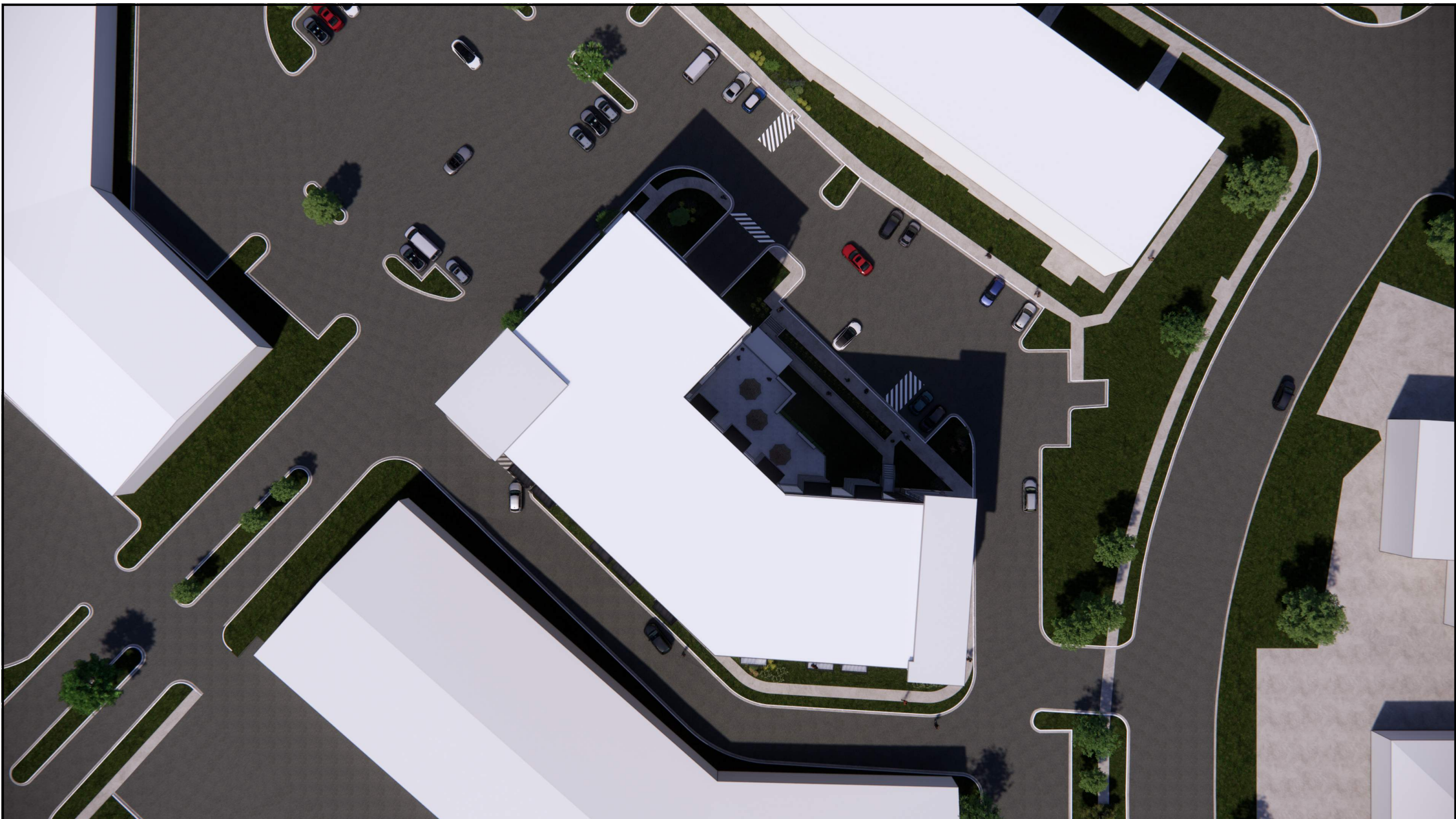




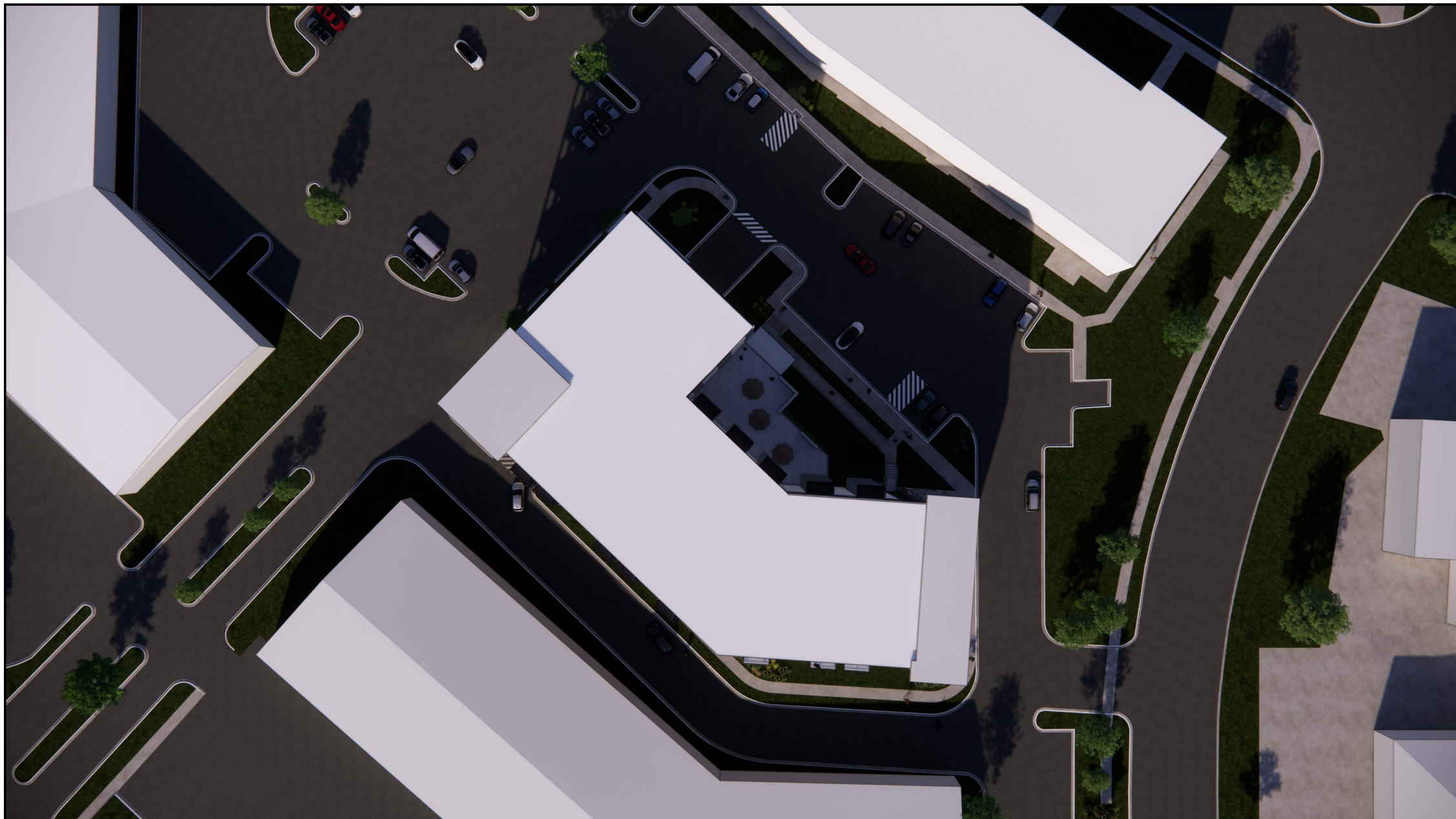
SHADOW ON SEPTEMBER 21ST @ 9AM



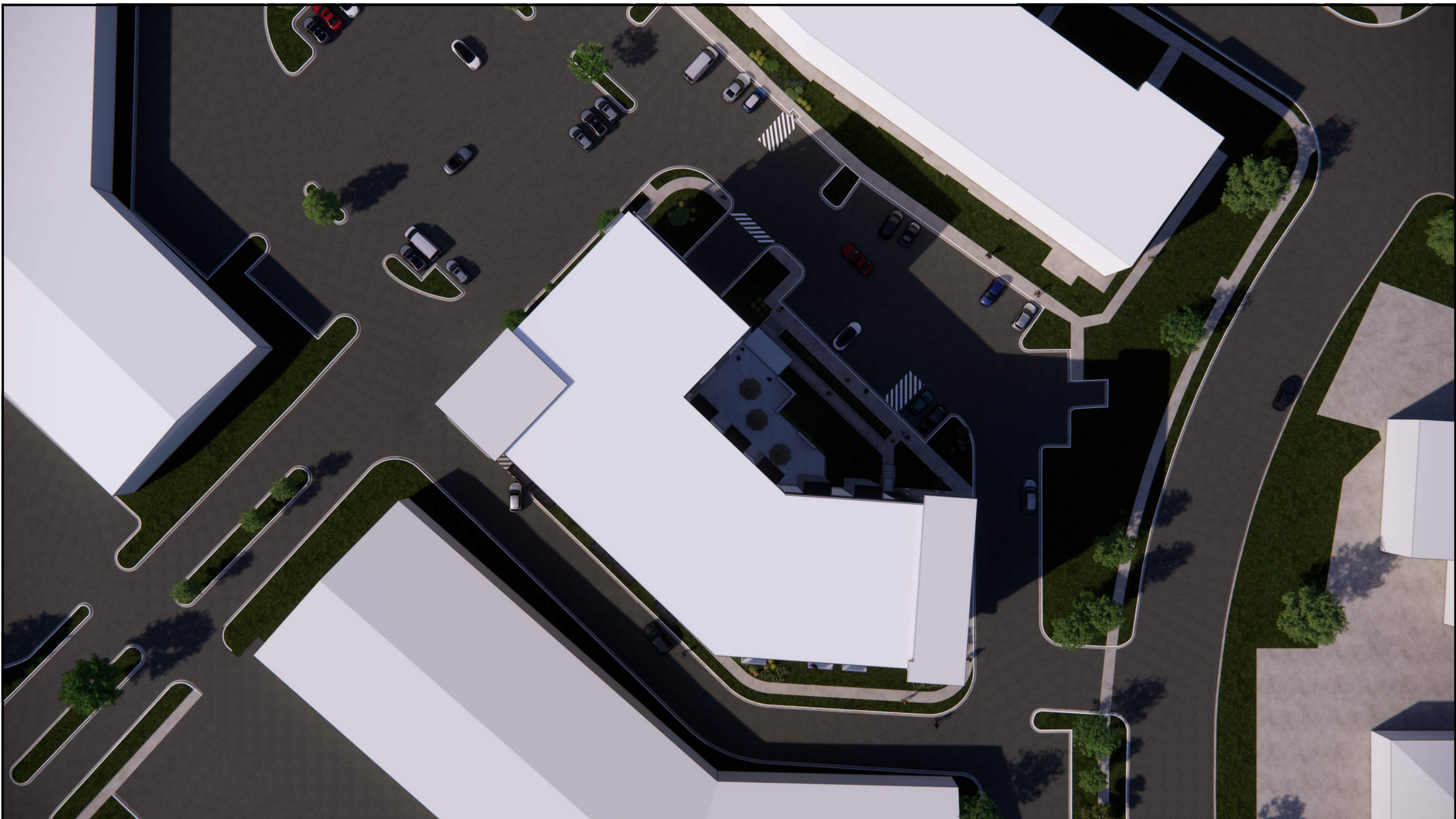
SHADOW ON DECEMBER 21ST @ 9AM



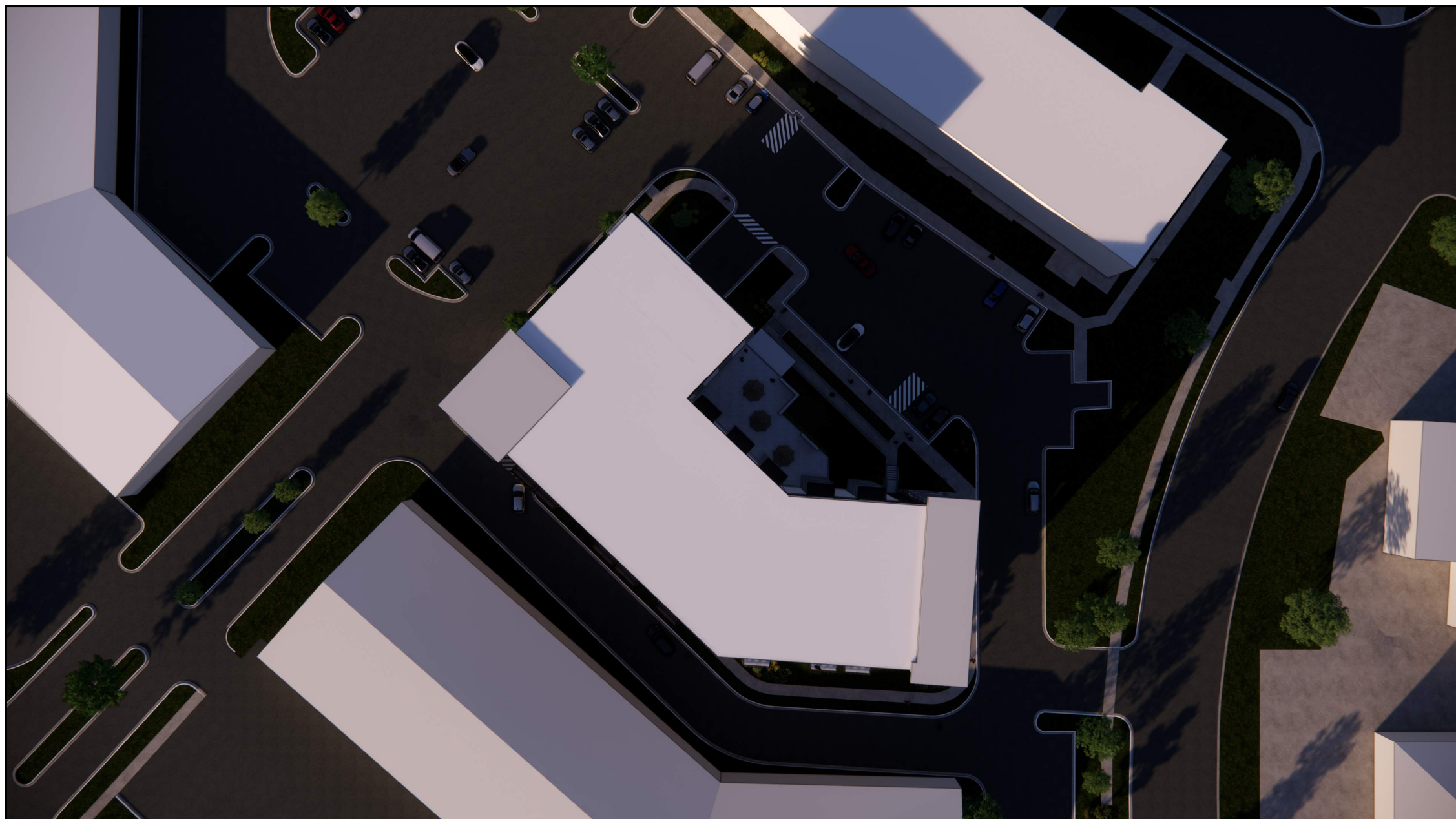
SHADOW ON SEPTEMBER 21ST @ 2PM



SHADOW ON DECEMBER 21ST @ 2PM



SHADOW ON SEPTEMBER 21ST @ 4PM



SHADOW ON DECEMBER 21ST @ 4PM



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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SHADOW STUDY

SHEET NUMBER

A301





6 NORTH ELEVATION  
1/8" = 1'-0"



16 EAST ELEVATION  
1/8" = 1'-0"



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SUBMITTAL

PROGRESS DOCUMENTS

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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS  
- COLOR

SHEET NUMBER

A500-A



COMPOSITE PANEL #2

COMPOSITE PANEL #1

MASONRY VENEER  
UTILITY BRICK

STORE FRONT

67'-10"

⑥ NORTH ELEVATION B&W  
1/8" = 1'-0"

COMPOSITE PANEL #2

COMPOSITE PANEL #1

75'-11"

STORE FRONT

MASONRY VENEER  
UTILITY BRICK

⑩ EAST ELEVATION B&W  
1/8" = 1'-0"



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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS  
- B&W

SHEET NUMBER

A500-B





6 SOUTH ELEVATION  
1/8" = 1'-0"



16 NORTHEAST ELEVATION  
1/8" = 1'-0"



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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS  
- COLOR

SHEET NUMBER

A501-A





⑥ SOUTH ELEVATION B&W  
1/8" = 1'-0"



① NORTHEAST ELEVATION B&W  
1/8" = 1'-0"



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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS  
B&W

SHEET NUMBER

A501-B





6 NORTHWEST ELEVATION  
1/8" = 1'-0"



16 SOUTHEAST ELEVATION  
1/8" = 1'-0"



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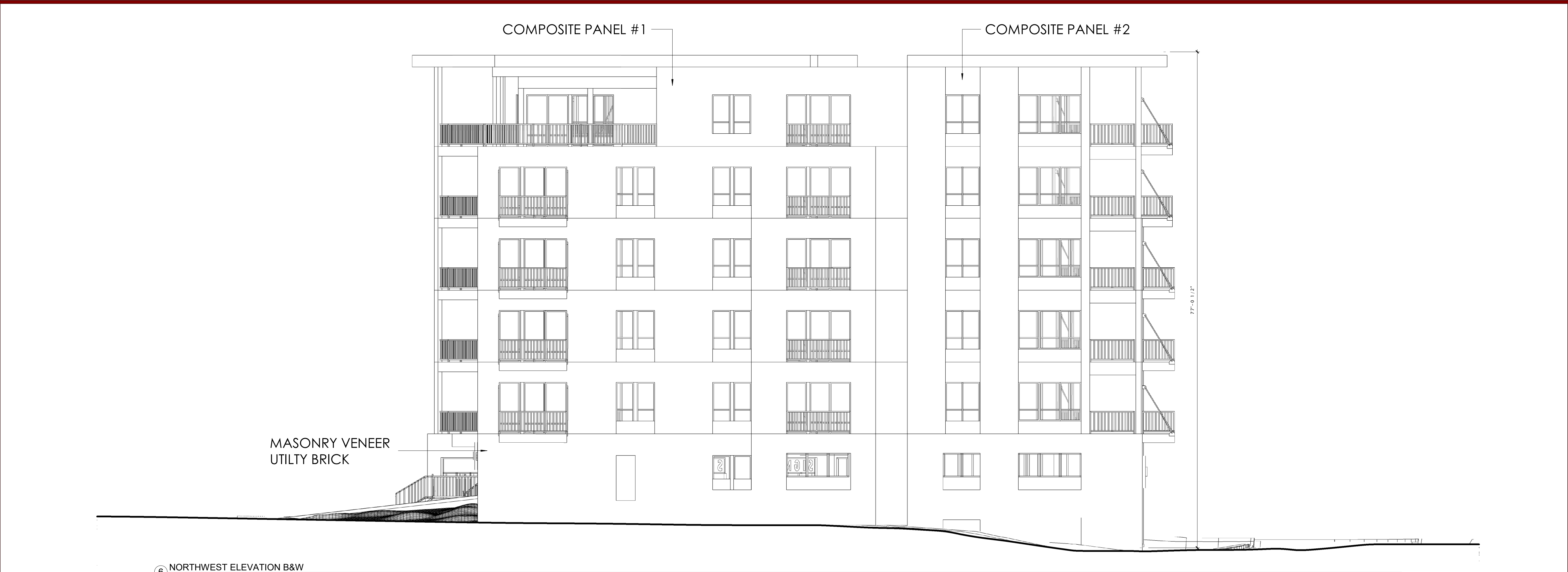
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REVISION SCHEDULE		
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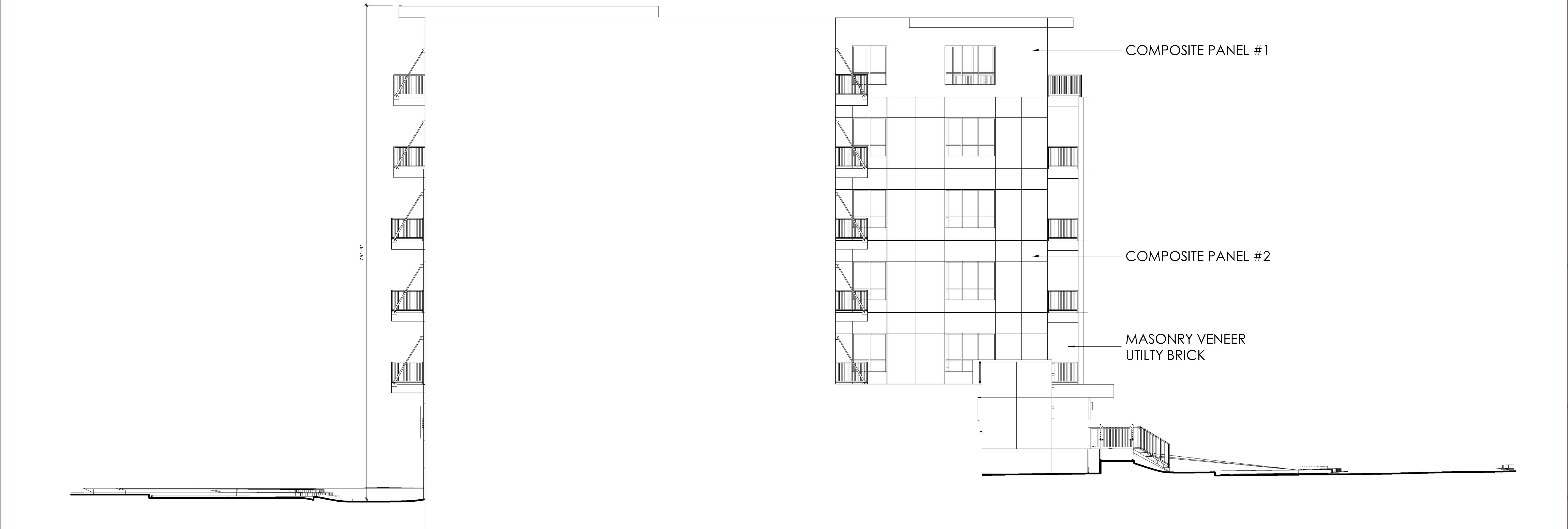
SHEET TITLE  
EXTERIOR ELEVATIONS  
- COLOR

SHEET NUMBER  
A502-A





6 NORTHWEST ELEVATION B&W  
1/8" = 1'-0"



16 SOUTHEAST ELEVATION B&W  
1/8" = 1'-0"



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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS  
- B&W

SHEET NUMBER

A502-B





⑥ SOUTHWEST ELEVATION  
1/8" = 1'-0"



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Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS  
- COLOR

SHEET NUMBER

A503-A





6 SOUTHWEST ELEVATION B&W  
1/8" = 1'-0"



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SHEET TITLE

EXTERIOR ELEVATIONS  
- B&W

SHEET NUMBER

A503-B



28.129 BIRD-SAFE REQUIREMENTS:

(1) **Statement of Purpose:** The Bird-Safe Glass Requirements in this section are intended to reduce the heightened risk for bird collisions with glass on specified building designs and configurations.

(2) **Applicability:** Subsection (4) applies to all exterior construction and development activity, including the expansion of existing buildings and structures, as specified therein.

(3) **Measuring Glass Area:** Under this Ordinance, glass area shall be measured as one (1) continuous panel of glass or other transparent material, or a set of two (2) or more such panels divided by mullions of six (6) inches in width or narrower. Panels surrounded on all sides by solid walls or mullions wider than six (6) inches shall be considered individual windows. Spandrel or opaque reflectivity of 14% or less shall not be included in the calculation of glass area. See Revised Figure 1.

(4) **Bird-Safe Glass Treatment Requirements:** Glass areas on the following buildings or structures shall be treated to reduce the risk of bird collision by incorporating a pattern of visual markers that are either: a) dots or other isolated shapes that are 1/4" in diameter or larger and spaced at not more than a two-inch (2") by two-inch (2") pattern; or b) lines that are 1/8" in width or greater and spaced no more than 2" apart; low reflective opaque materials; building-integrated structures like non-glass double-skin facades, metal screens, fixed solar shading, exterior insect screens, and other features that cover the glass surface; or other similar mitigation treatments approved by the Zoning Administrator.

(a) **Buildings or structures over 10,000 square feet:** For any building or structure over 10,000 square feet in size (floor area of above-grade stories), bird-safe glass treatment is required as follows:

- For building facades where the first sixty (60) feet (See REVISED Figure 2) from grade are comprised of greater than or equal to fifty percent (50%) glass:
  - At least eighty-five percent (85%) of the glass must be treated; and
  - All glass within fifteen (15) feet of a building corner must be treated when see through or fly through conditions exist. See Figure 3.
- For building facades where the first sixty (60) feet from grade are comprised of less than fifty percent (50%) glass:
  - At least eighty-five percent (85%) of the glass on glass areas fifty (50) square feet or over must be treated; and
  - Of all glass areas over fifty (50) square feet, any glass within fifteen (15) feet of a building corner must be treated.
- All glass railings must be treated.
- All glass on enclosed building connections shall be treated up to sixty (60) feet above grade.

(b) **Sky-bridges:** For buildings and structures of any size, all glass on above-ground bridges must be treated.

(c) **At grade glass:** For buildings and structures of any size, all at grade glass features such as sound walls or glass screens must be treated.

(5) **This Ordinance shall become effective October 1, 2020.**

BIRD GLASS CALCULATIONS MARKET SQUARE

10/10/2022

50+ SQ FT AND REQUIRE A BIRD GLAZING SAFETY SYSTEM ON A MIN. OF 85% OF THE GLAZING

WINDOW DESIGNATION	WIDTH	HEIGHT	# OF PANES	AREA	WALL DESIGNATION													
					SOUTH ELEVATION		SOUTHWEST ELEVATION		NORTHWEST ELEVATION		NORTHEAST ELEVATION		SOUTHEAST ELEVATION		NORTH ELEVATION		EAST ELEVATION	
					GLZ AREA	# WINDOW	GLZ AREA	# WINDOW	GLZ AREA	# WINDOW	GLZ AREA	# WINDOW	GLZ AREA	# WINDOW	GLZ AREA	# WINDOW	GLZ AREA	# WINDOW
WINDOW A 6/0 X 6/0	5.7	5.7	4.0	32.5	32.5	1.0	194.9	6.0	292.4	9.0	292.4	9.0	130.0	4.0			130.0	4.0
WINDOW B 3/0 X 8/0	2.7	7.7	1.0	20.8	249.5	12.0	499.0	24.0	207.9	10.0	311.9	15.0			207.9	10.0	62.4	3.0
WINDOW C 2/9 X 6/0	2.4	5.7	2.0	13.7	355.7	26.0	109.4	8.0	54.7	4.0						8.0		
WINDOW D 6/0 X 7/6	5.7	7.2	4.0	41.0	82.1	2.0	82.1	2.0	41.0	1.0	41.0	1.0	41.0	1.0			205.2	5.0
WINDOW E 3/0 X 6/0	2.7	5.7	2.0	15.4					61.6	4.0							107.7	7.0
WINDOW F 7/8 X 6/0	7.3	5.7	4.0	41.6					83.2	2.0								
WINDOW G 7/0 X 6/0	6.7	5.7	4.0	38.2								4.0						
WINDOW H 10/6 X 6/0	10.2	5.7	6.0	58.1							232.6	4.0						
WINDOW I 9/8 X 6/0	9.3	5.7	6.0	53.0									212.0	4.0				
WINDOW J 9/8 X 7/6	9.3	7.2	6.0	67.0									67.0	1.0				
WINDOW K 5/0 X 6/0	4.7	5.7	2.0	26.8													53.6	2.0
WINDOW L 5/0 X 6/0	2.7	7.2	2.0	19.4													38.9	2.0
WINDOW M 2/9 X 7/6	2.4	7.2	2.0	17.3											69.1	4.0		
DOOR A 3/0 X 8/0	2.7	7.7	1.0	20.8														
					719.7	TOTAL GLZ	885.4	TOTAL GLZ	740.9	TOTAL GLZ	1,051.4	TOTAL GLZ	450.0	TOTAL GLZ	277.0	TOTAL GLZ	597.7	TOTAL GLZ
					6222.0	WALL AREA	8,480.0	WALL AREA	6,160.0	WALL AREA	7,126.0	WALL AREA	1,931.0	WALL AREA	4,744.0	WALL AREA	3,946.0	WALL AREA
					11.57%	% GLAZING	10.44%	% GLAZING	12.03%	% GLAZING	14.75%	% GLAZING	23.30%	% GLAZING	5.84%	% GLAZING	15.15%	% GLAZING

PATIO DESIGNATION	WIDTH	HEIGHT	# OF PANES	AREA	WALL DESIGNATION													
					SOUTH ELEVATION		SOUTHWEST ELEVATION		NORTHWEST ELEVATION		NORTHEAST ELEVATION		SOUTHEAST ELEVATION		NORTH ELEVATION		EAST ELEVATION	
					GLZ AREA	# PATIO	GLZ AREA	# PATIO	GLZ AREA	# PATIO	GLZ AREA	# PATIO	GLZ AREA	# PATIO	GLZ AREA	# PATIO	GLZ AREA	# PATIO
PATIO P 6/0 X 8/0	5.7	7.7	2.0	43.9	526.7	12.0	1053.4	24.0	438.9	10.0	658.4	15.0	0.0	0.0	438.9	10.0	131.7	3.0
					526.7	TOTAL GLZ	1053.4	TOTAL GLZ	438.9	TOTAL GLZ	658.4	TOTAL GLZ	0.0	TOTAL GLZ	438.9	TOTAL GLZ	131.7	TOTAL GLZ
					6222.0	WALL AREA	8480.0	WALL AREA	6160.0	WALL AREA	7126.0	WALL AREA	1931.0	WALL AREA	4744.0	WALL AREA	3946.0	WALL AREA
					8.46%	% GLAZING	12.42%	% GLAZING	7.13%	% GLAZING	9.24%	% GLAZING	0.00%	% GLAZING	9.25%	% GLAZING	3.34%	% GLAZING

SF DESIGNATION	WIDTH	HEIGHT	# OF PANES	AREA	WALL DESIGNATION													
					SOUTH ELEVATION		SOUTHWEST ELEVATION		NORTHWEST ELEVATION		NORTHEAST ELEVATION		SOUTHEAST ELEVATION		NORTH ELEVATION		EAST ELEVATION	
					GLZ AREA	# SF	GLZ AREA	# SF	GLZ AREA	# SF	GLZ AREA	# SF	GLZ AREA	# SF	GLZ AREA	# SF	GLZ AREA	# SF
STOREFRONT 1 9/6 X 3/8	9.2	3.3	3.0	30.4	91.1	3.0	242.9	8.0	30.4	1.0					30.4	1.0		
STOREFRONT 2 12/6 X 8/4	12.3	8.0	4.0	98.4	98.4	1.0									98.4	1.0		
STOREFRONT 3 6/0 X 3/8	5.7	3.3	2.0	18.8					56.4	3.0								
STOREFRONT 4 6/0 X 8/4	5.7	8.0	2.0	45.6	45.6	1.0												
STOREFRONT 5 12/0 X 8/0	11.7	7.7	3.0	90.1							90.1	1.0						
STOREFRONT 6 8/0 X 8/0	7.7	7.7	3.0	59.3							118.6	2.0						
STOREFRONT 7 10/0 X 8/4	9.7	8.0	3.0	77.6													155.2	2.0
STOREFRONT 8 10/0 X 8/4	14.7	8.0	4.0	117.6													235.2	2.0
					235.1	TOTAL GLZ	242.9	TOTAL GLZ	86.8	TOTAL GLZ	208.7	TOTAL GLZ	0.0	TOTAL GLZ	128.8	TOTAL GLZ	390.4	TOTAL GLZ
					6222.0	WALL AREA	8480.0	WALL AREA	6160.0	WALL AREA	7126.0	WALL AREA	1931.0	WALL AREA	4744.0	WALL AREA	3946.0	WALL AREA
					3.78%	% GLAZING	2.86%	% GLAZING	1.41%	% GLAZING	2.93%	% GLAZING	0.00%	% GLAZING	2.71%	% GLAZING	9.89%	% GLAZING

TOTALS						
SOUTH ELEVATION	SOUTHWEST ELEVATION	NORTHWEST ELEVATION	NORTHEAST ELEVATION	SOUTHEAST ELEVATION	NORTH ELEVATION	EAST ELEVATION
1,481.5	2,181.7	1,266.5	1,918.4	450.0	844.7	1,119.8
6,222.0	8,480.0	6,160.0	7,126.0	1,931.0	4,744.0	3,946.0
23.81%	25.73%	20.56%	26.92%	23.30%	17.81%	28.38%



JLA  
ARCHITECTS  
MADISON | MILWAUKEE | DENVER  
JLA-AP.COM

JLA PROJECT NUMBER: W22-0122

MARKET SQUARE  
BUILDING A1  
LAND USE APPLICATION  
SUBMITTAL

PROGRESS DOCUMENTS

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DATE OF ISSUANCE JANUARY 4th, 2023

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

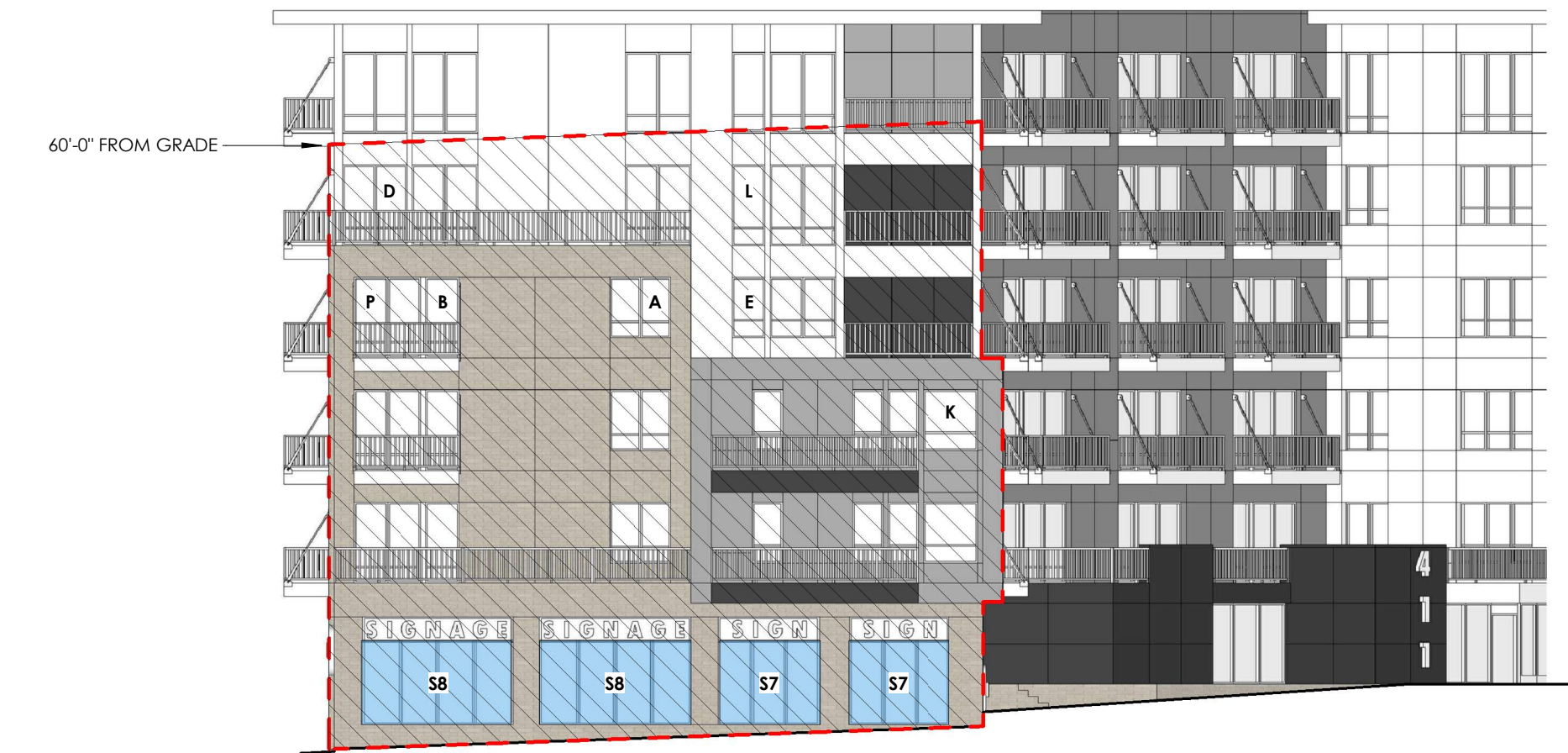
BIRD GLASS MATRIX

SHEET NUMBER

A600



1/4/2023 9:33:56 AM



② EAST ELEVATION BIRD GLASS  
1/16" = 1'-0"



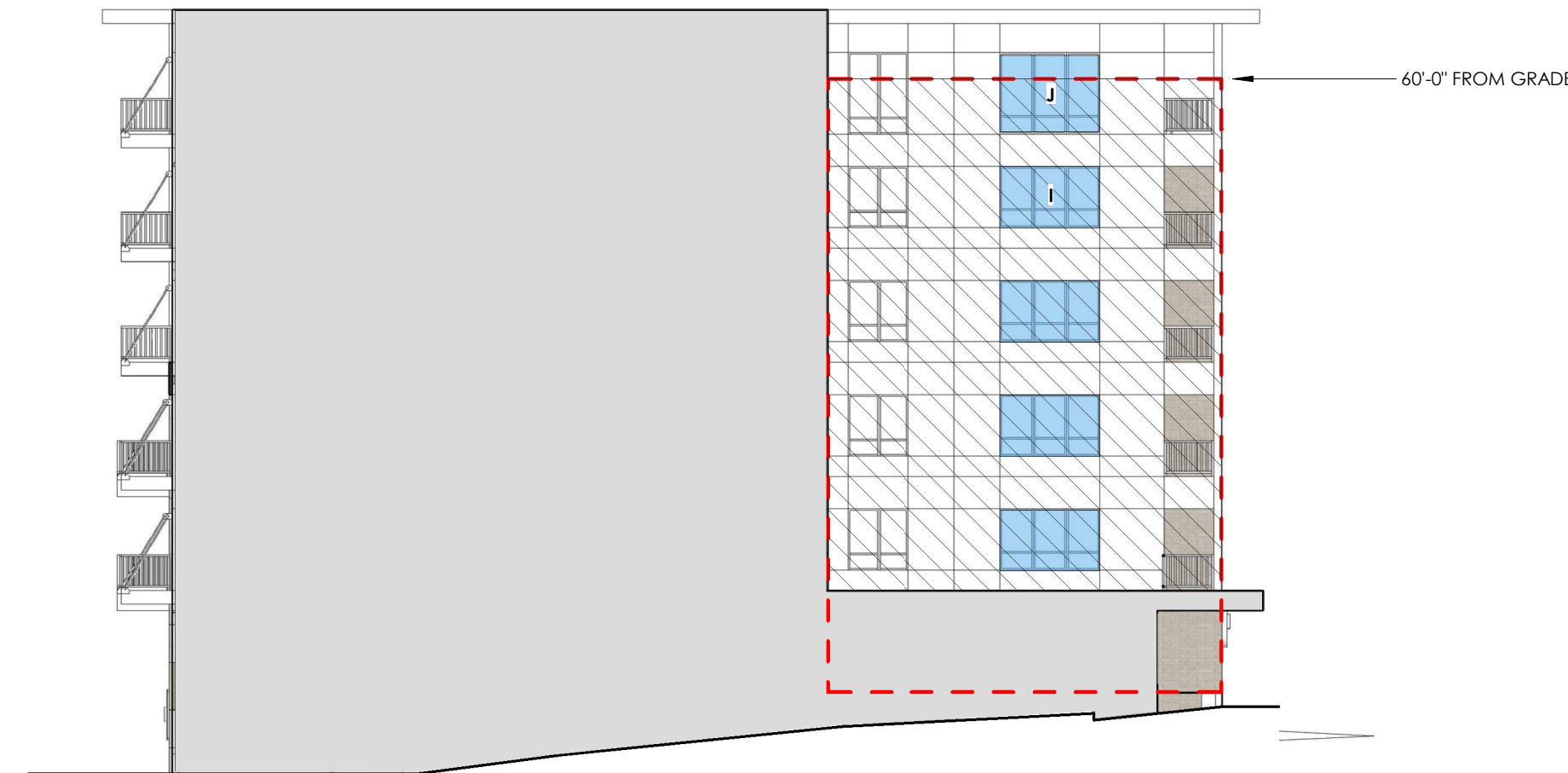
⑦ NORTH ELEVATION BIRD GLASS  
1/16" = 1'-0"



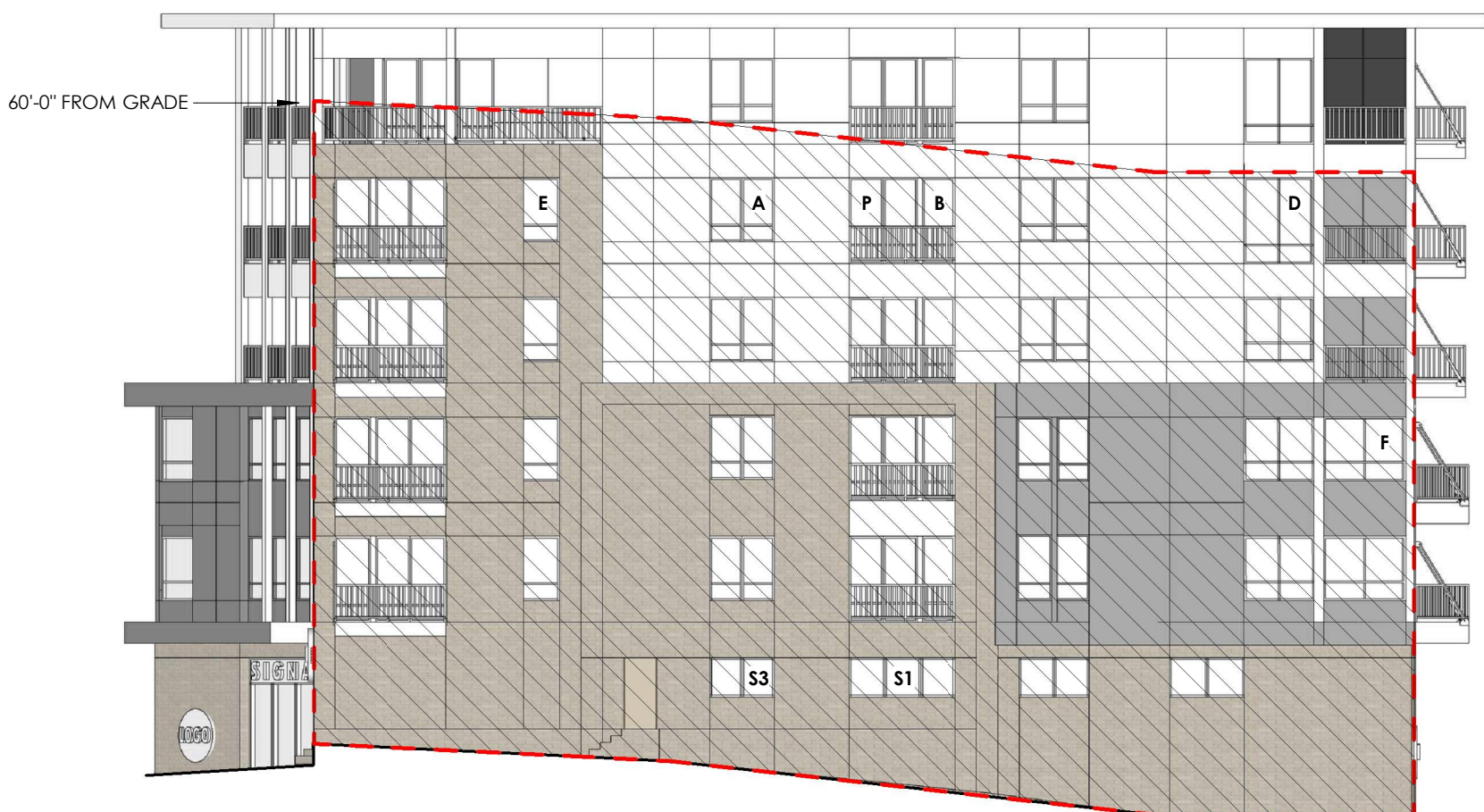
⑫ NORTHEAST ELEVATION BIRD GLASS  
1/16" = 1'-0"



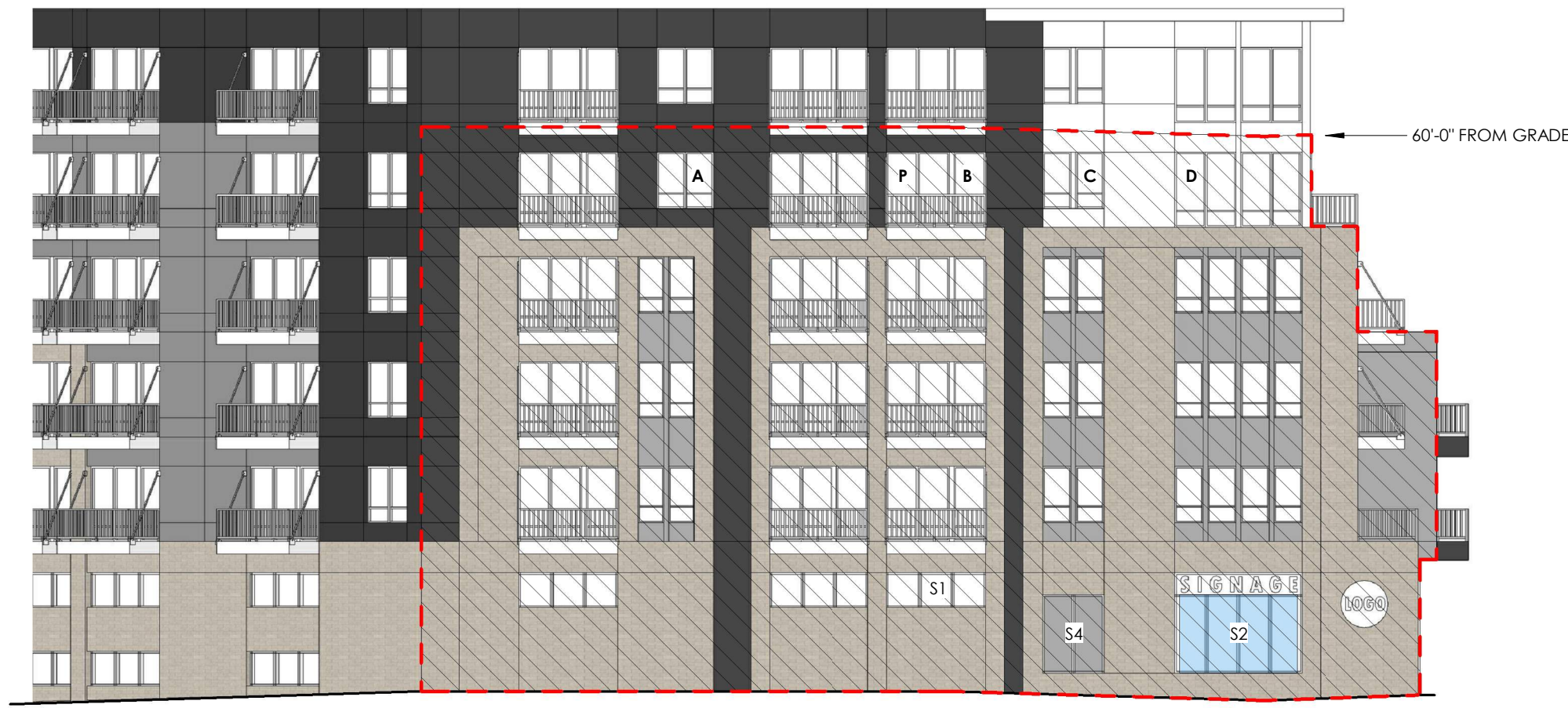
⑰ SOUTHWEST ELEVATION BIRD GLASS  
1/16" = 1'-0"



⑨ SOUTHEAST ELEVATION BIRD GLASS  
1/16" = 1'-0"



⑭ NORTHWEST ELEVATION BIRD GLASS  
1/16" = 1'-0"



⑲ SOUTH ELEVATION BIRD GLASS  
1/16" = 1'-0"

#### GLAZING KEYNOTES

- A: WINDOW 4/0 X 6/0  
B: WINDOW 3/0 X 8/0  
C: WINDOW 2/9 X 6/0  
D: WINDOW 6/0 X 7/6  
E: WINDOW 3/0 X 4/0  
F: WINDOW 7/8 X 6/0  
G: WINDOW 7/0 X 4/0  
H: WINDOW 10/6 X 6/0  
I: WINDOW 9/8 X 6/0  
J: WINDOW 9/8 X 7/6  
K: WINDOW 5/0 X 4/0  
L: WINDOW 3/0 X 7/6  
M: WINDOW 2/9 X 7/6

D1: DOOR 3/0 X 8/0

P: PATIO DOOR 6/0 X 8/0

- S1: STOREFRONT 9/6 X 3/8  
S2: STOREFRONT 12/6 X 8/4  
S3: STOREFRONT 6/0 X 3/8  
S4: STOREFRONT 6/0 X 8/4  
S5: STOREFRONT 12/0 X 8/0  
S6: STOREFRONT 8/0 X 8/0  
S7: STOREFRONT 10/0 X 8/4  
S8: STOREFRONT 15/0 X 8/4



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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

**BIRD GLASS EXTERIOR  
ELEVATIONS**

SHEET NUMBER

**A801**