

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

FOR OFFICE USE ONLY:

Paid _____ Receipt # _____

Date received _____

Received by _____

Aldermanic District _____

Zoning District _____

Urban Design District _____

12/7/22

Submittal reviewed by _____

10:34 a.m. received

Legistar # _____

1. Project Information

Address: 6604 Odana Road

Title: Market Square Redevelopment

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested November 30, 2022

January 11, 2023

New development Alteration to an existing or previously-approved development
 Informational Initial approval Final approval

3. Project Type

Project in an Urban Design District
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
 Planned Development (PD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Multi-Use Site or Residential Building Complex

Signage

Comprehensive Design Review (CDR)
 Signage Variance (i.e. modification of signage height, area, and setback)
 Signage Exception

Other

Please specify

Planned Multi-Use Site

4. Applicant, Agent, and Property Owner Information

Applicant name

Randy Christianson

Street address

702 N. Hight Point Road, #200

Telephone

608-235-9020

Company Walter Wayne Development, LLC

City/State/Zip Madison, Wi 53717

Email rc@starkcommercial.com

Project contact person

Marc Ott

Street address

800 W. Broadway, suite 200

Telephone

608-442-3867

Company JLA Architects

City/State/Zip Monona, Wi 53713

Email mott@jla-ap.com

Property owner (if not applicant)

Market Square Associates, LLC

Street address

1741 Commercial Ave

City/State/Zip Madison Wi 53704

Telephone

608-255-3753

Email bbosben@apexrents.com

5. Required Submittal Materials

- Application Form**
- Letter of Intent**
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
 - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- Development Plans** (Refer to checklist on Page 4 for plan details)
- Filing fee**
- Electronic Submittal***
- Notification to the District Alder**
 - Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Jessica Vaughn on 6-7-2022 pre-application, 8-18-2022 DAT meeting.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Randy Christianson Relationship to property Development Team Contact
 Authorizing signature of property owner Bruce Bosher Date 10-10-2022

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (*per §35.24(6) MGO*)
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (*per §33.24(6)(b) MGO*)
- Comprehensive Design Review: \$500 (*per §31.041(3)(d)(1)(a) MGO*)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (*per §31.041(3)(d)(1)(c) MGO*)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (*per §31.041(3)(d)(2) MGO*)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- X** Planned Multi-Use Site or Residential Building Complex



January 4, 2023

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King Jr Boulevard
P.O. Box 2985
Madison, WI 53701-2985

Attention: Colin Punt

Re: Market Square Redevelopment

Dear Plan Commission Members:

Please accept this letter of intent and land use application for the redevelopment of former Market Square Theater site at 6604 Odana Road into a new mixed-use building. We are requesting a conditional use approval.

Project Team

Developer: Walter Wayne Development, LLC
702 N. High Point Road, #200
Madison, WI 53717
Randy Christianson (rc@starkcommercial.com)

Architect: JLA Architects
800 W Broadway Suite 200
Monona, WI 53713
Marc Ott (mott@jla-ap.com)

Civil & Landscape: Vierbicher Engineers
999 Fourier Drive
Madison, Wi 53717
John Kastner (jkas@vierbicher.com)

Existing Conditions

The project site is located behind the existing Market Square mall on the location of the former Market Square Theater. The request is to razed the now vacant theater building to make way for the new mixed-use building.

Existing exterior and interior photos of the theater have been submitted as separate exhibits. There have been efforts to lease the theater to another provider. With the changing landscape of how the public consumes movies there is no current need for the space to operate in that capacity. Additionally, efforts were made to lease the space of a new use. However, as the space was specifically built to be a theater the renovation cost are prohibitive do the sloped floors and lack of windows.

The relocation of the structure is also not a practical option due to it's size and location, along with the structure holding no architectural, neighborhood, or community significance.

The development team feels that in conjunction with the Odana Area Plan the changing commercial market, and the need for additional housing options in the area, the highest and best use for the property is for a mixed-use development.

Project Overview

The development is located in the Odana Area Plan which was adopted by the City of Madison on September 21, 2021. This proposed redevelopment will be the first in Market Square area to be implemented under the OAP and will set the stage for the future redevelopment of the area.

In the OAP and the City of Madison Generalized Future Land Use plan the project site is designated as Community Mixed Use (CMU). Under CMU the number of stories is allowed at 2-6 stories. The current site is zoned CC with a proposed rezone to CC-T. Under both zoning buildings are allowed 5 stories and 78 feet, with the option for an extra story with conditional approval. The proposed building is for 6 stories at 74 feet thus staying under the max height allowed with the extra story.

The redevelopment of the site is complicated by the network of cross-access easements that surround the subject property on three sides. Attempts to renegotiate and modify these cross-access easements with the current stakeholders has not been successful and thus they must remain in place. An exhibit of these cross-access easements is included in the drawing submission package.

Future Plans

The Market Square Shopping Center property is currently an active retail center occupied by about 40 commercial tenants. As the utilization of the retail spaces evolves over time, we may seek to redevelop some or all of the current building sites. Many current tenants have multi-year leases and extension options. The longest lease currently in place could unilaterally extend through September of 2030. We will contemplate future plans as tenancy insight unfolds.

Operations

The building will be managed by Apex Property Management Company.

Staff and Neighborhood Input

During the design process, the development team worked closely with Alder Furman, city staff, the Development Assistance Team (DAT) and the neighbors at a City staff-moderated neighborhood meeting.

Lot Coverage

Total Lot Area = 54,913 s.f. / 1.26 acres

Dwelling Units = 87

Lot Area/Dwelling Units = 631 s.f. per unit

Density = 69 DU per acre

Zoning

Rezone from Commercial Center District (CC) to Commercial Corridor-Transitional District (CC-T).

Construction Timeline

April 1, 2023, to April 1, 2024.

Sincerely,



Marc Ott

Joseph Lee & Associates, LLC

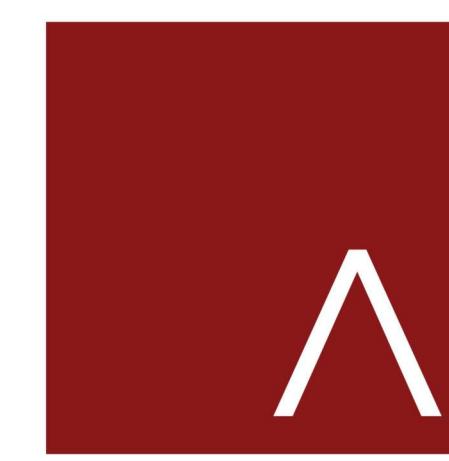
MARKET SQUARE BUILDING A1

MADISON, WISCONSIN

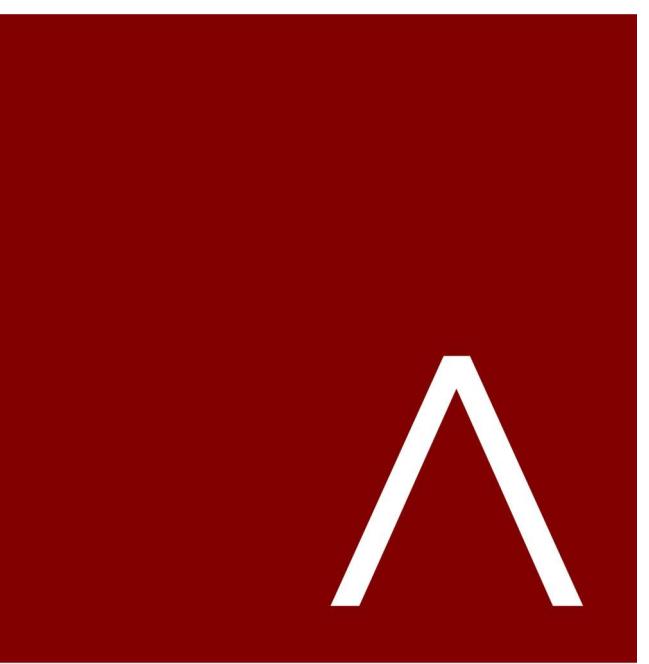


LAND USE APPLICATION SUBMITTAL

JANUARY 4th, 2023



JLA
ARCHITECTS



JLA
ARCHITECTS

MADISON | MILWAUKEE | DENVER
JLA-AP.COM

JLA PROJECT NUMBER: W22-0122

**MARKET SQUARE
BUILDING A1
LAND USE APPLICATION
SUBMITTAL**

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE		DECEMBER 7, 2022
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SITE CONTEXT

SHEET NUMBER

G100





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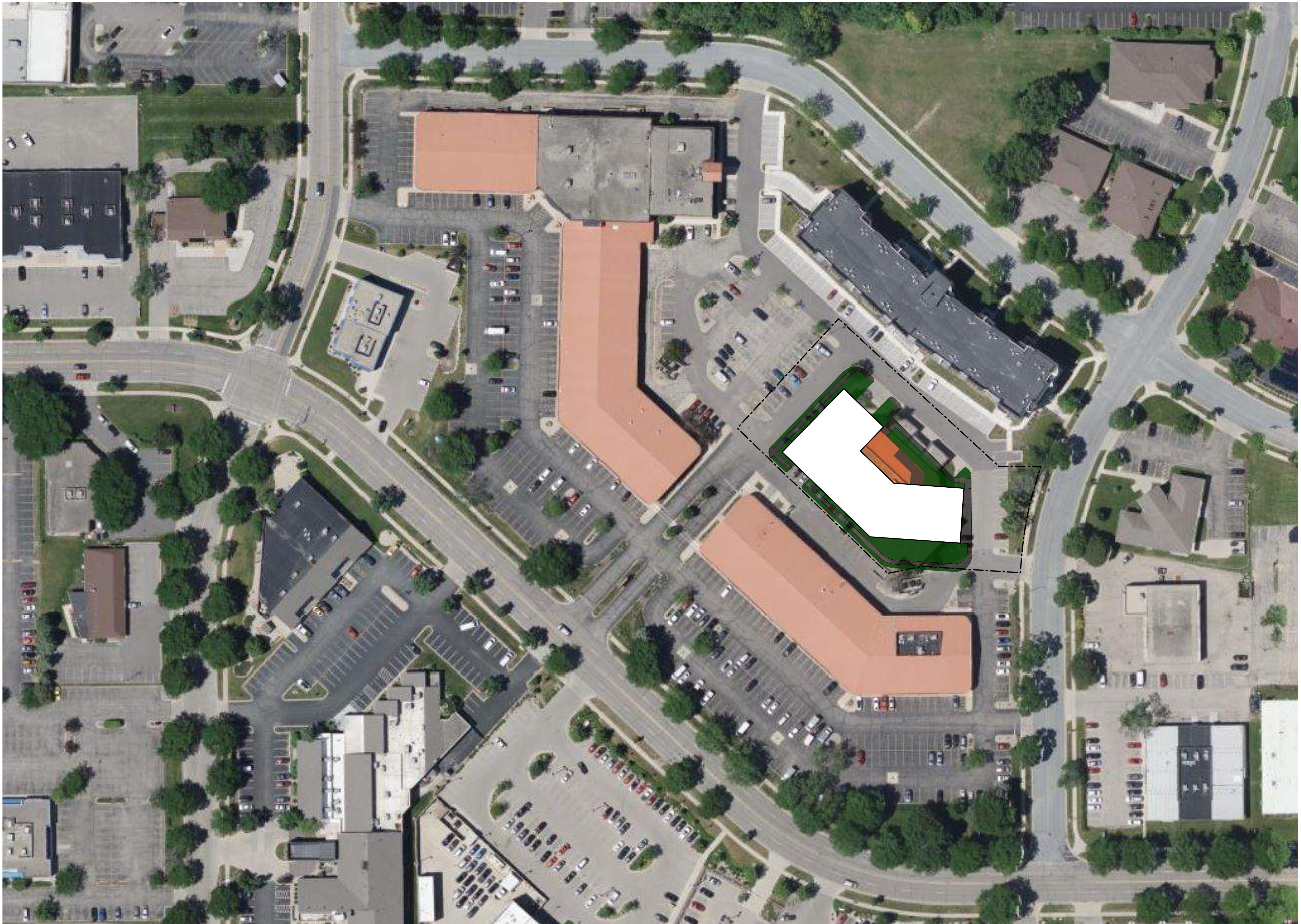
DATE OF ISSUANCE		DECEMBER 7, 2022
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SITE CONTEXT

SHEET NUMBER

G101





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JLA PROJECT NUMBER: W22-0122

MARKET SQUARE
BUILDING A1
LAND USE APPLICATION
SUBMITTAL



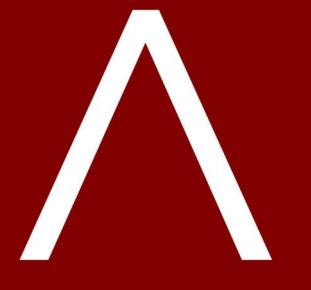
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DATE OF ISSUANCE		
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
SITE CONTEXT

SHEET NUMBER
G102



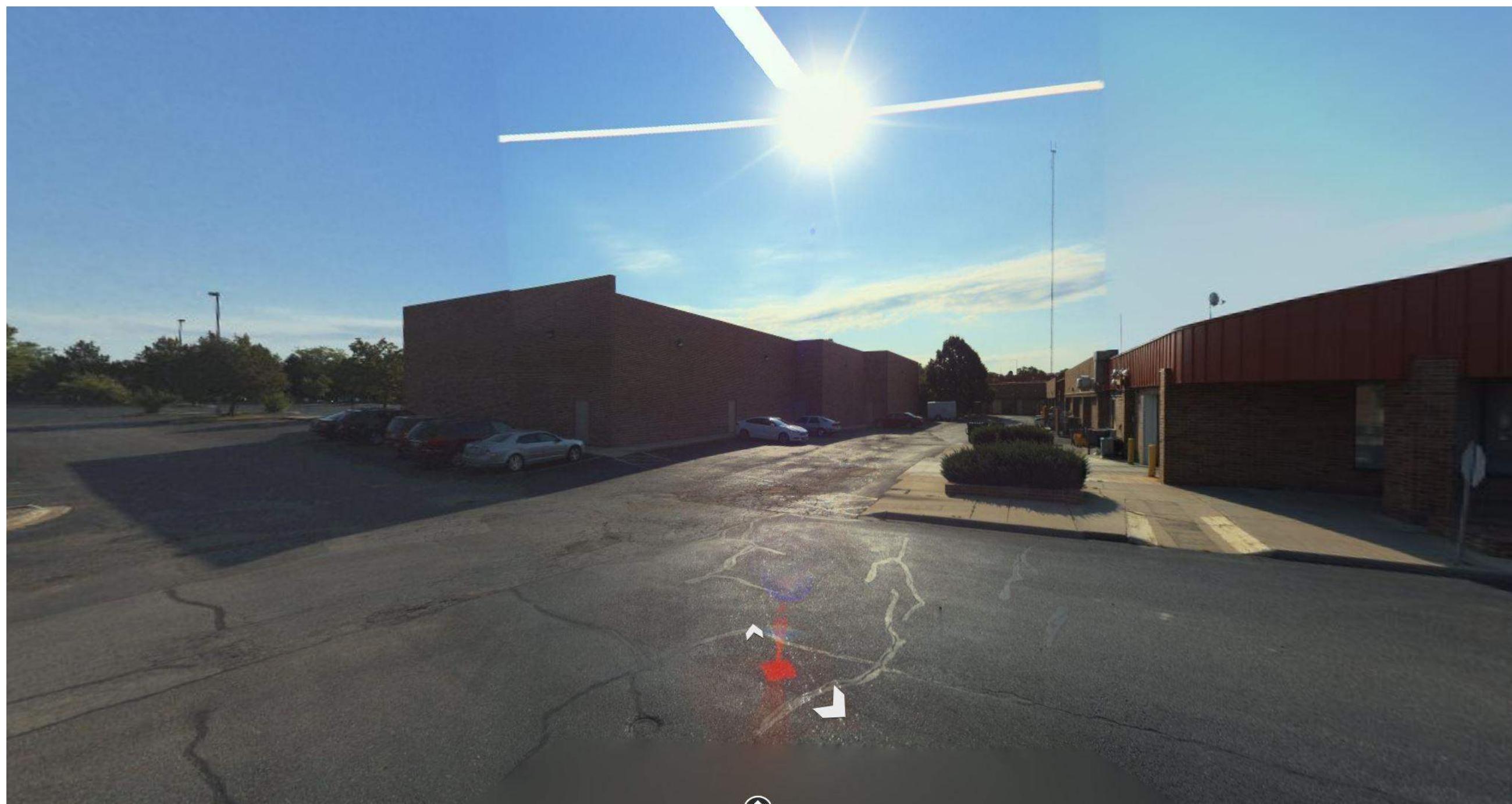
JLA
ARCHITECTS

MADISON | MILWAUKEE | DENVER
JLA-AP.COM

JLA PROJECT NUMBER: W22-0122



**MARKET SQUARE
BUILDING A1
LAND USE APPLICATION
SUBMITTAL**



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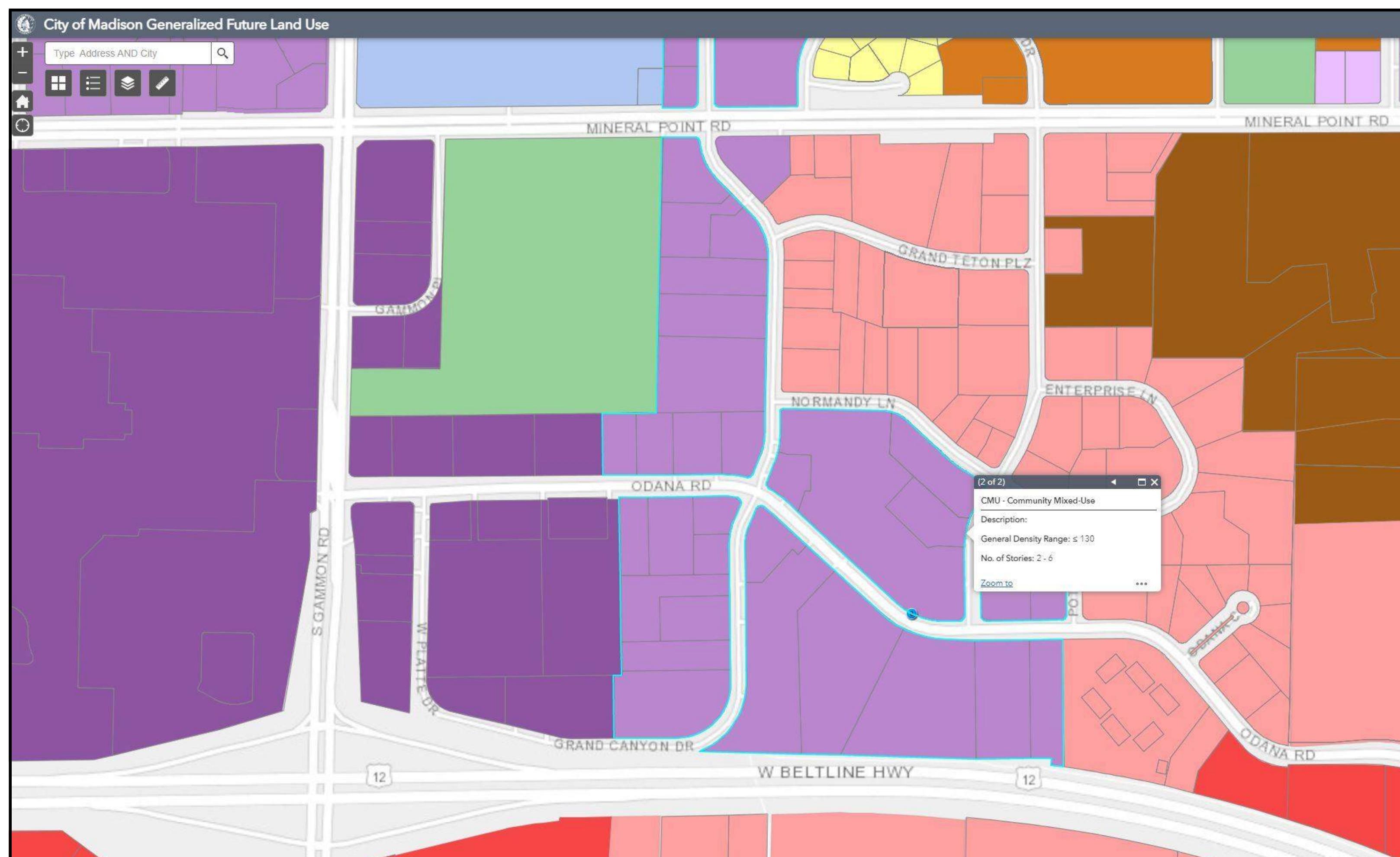
DATE OF ISSUANCE			DECEMBER 7, 2022		
REVISION SCHEDULE					
Mark	Description	Date	Mark	Description	Date

SHEET TITLE

SITE CONTEXT

SHEET NUMBER

G103



JLA PROJECT NUMBER: W22-0122

**MARKET SQUARE
BUILDING A1
LAND USE APPLICATION
SUBMITTAL**

Mixed-Use Future Land Use Categories

Mixed-Use and Commercial Building Form	Neighborhood Mixed-Use (NMU)	Community Mixed-Use (CMU)	Regional Mixed-Use (RMU)	Downtown Mixed-Use (DMU)	Downtown Core (DC)
Commercial Block Building					
Civic or Institutional Building					
Residential - Commercial Conversion					
Live-Work Building					
Single-Family Attached Building					
Small Multifamily Building					
Courtyard Multifamily Building					
Large Multifamily Building					
Parking / Liner Buildings					
Free-Standing Commercial Building					
Podium Building					
Flex Building					
Number of Stories	2-4	2-6	2-12	See Downtown Plan, page 37	
General Residential Density Range	≤70	≤130	--	--	--

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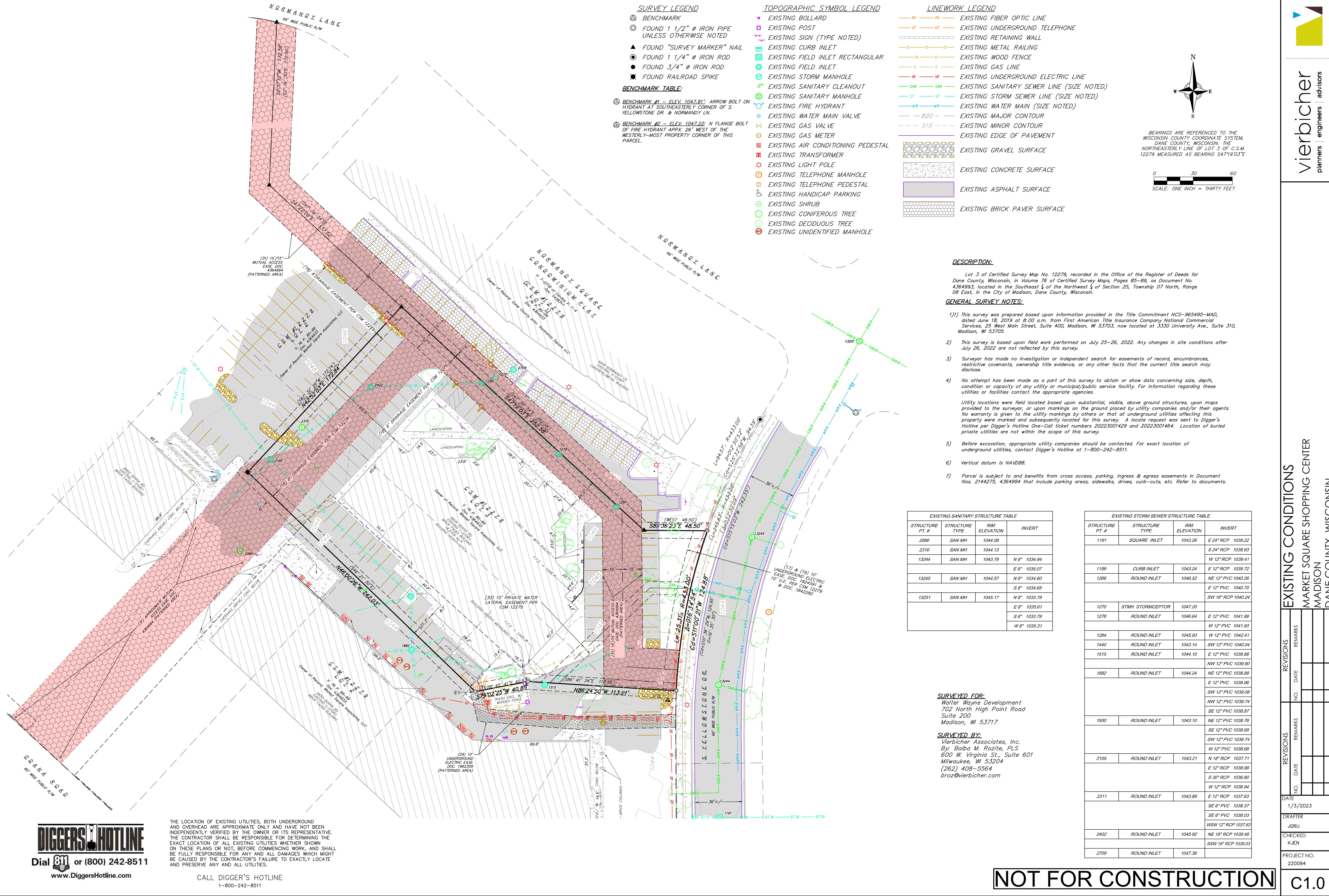
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REVISION SCHEDULE	
Mark	Description

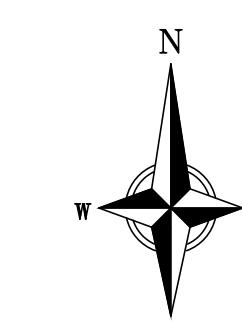
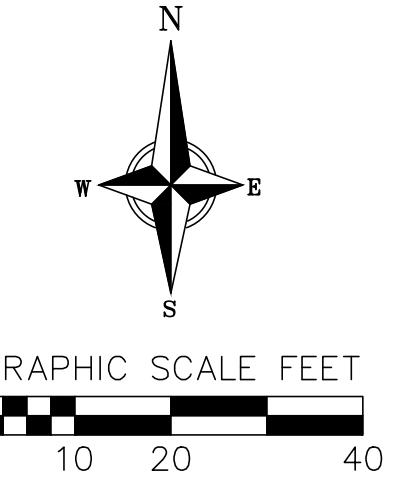
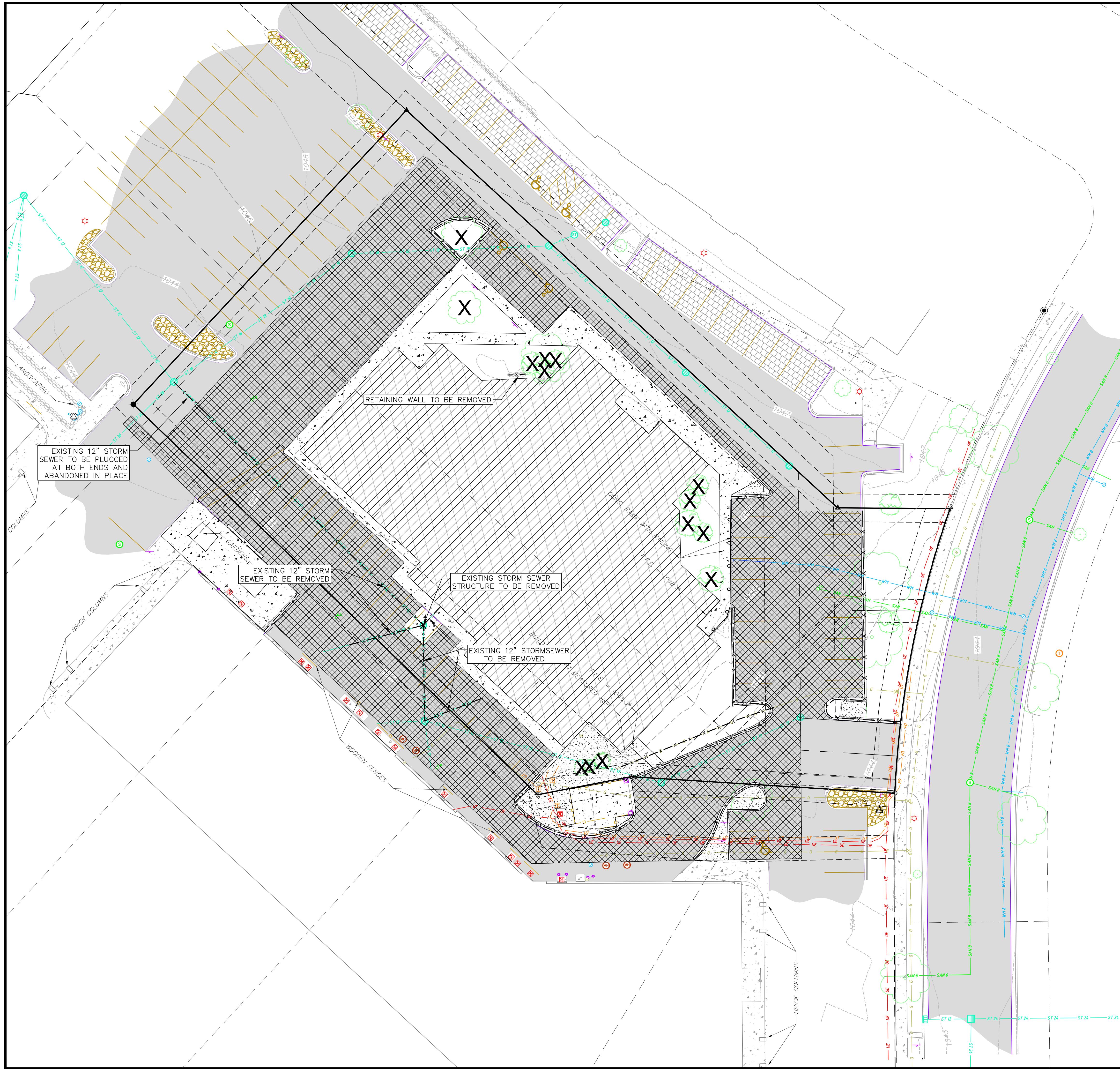
SHEET TITLE

ZONING SUMMARY

SHEET NUMBER

G103

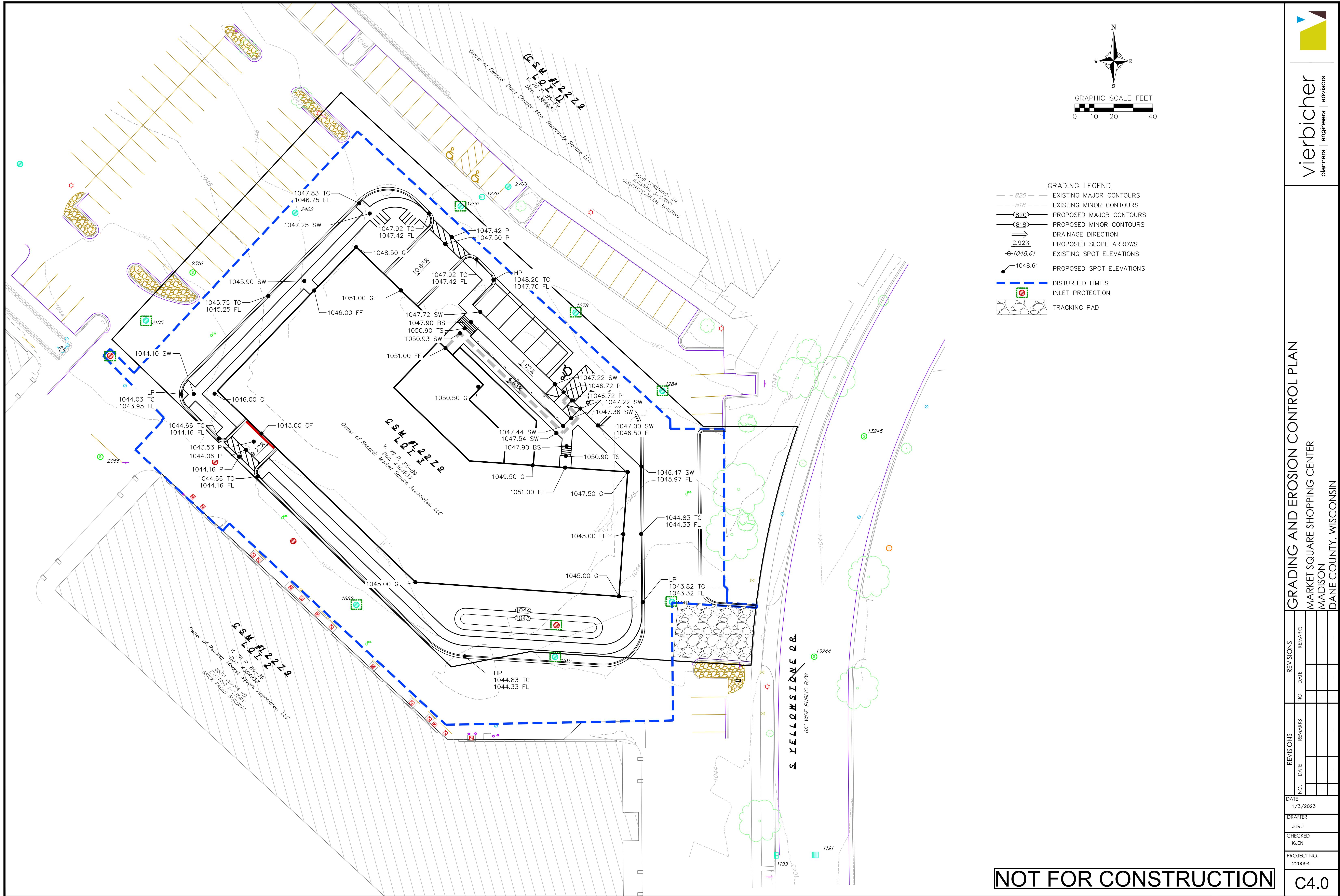


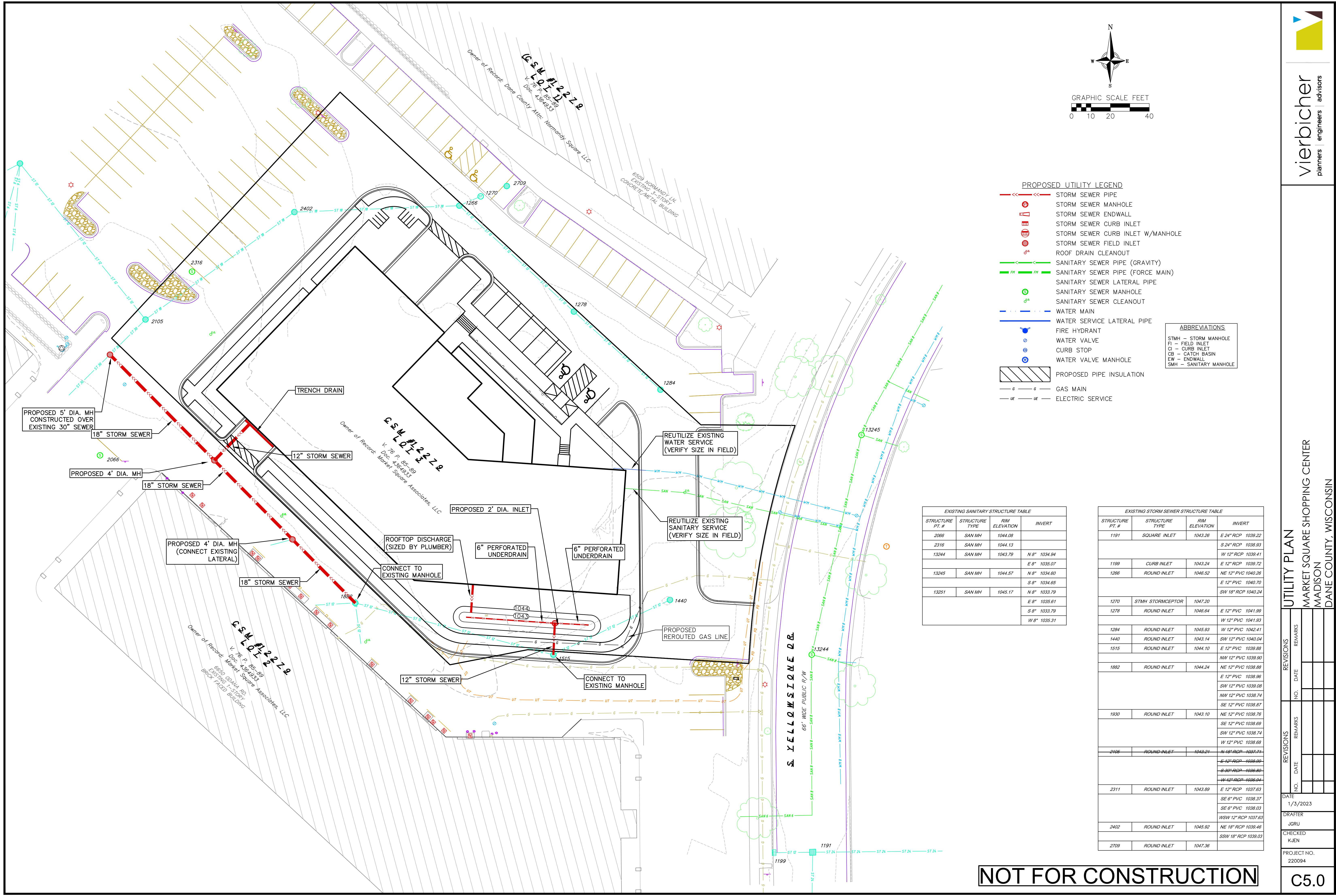




NOT FOR CONSTRUCTION

C3.0



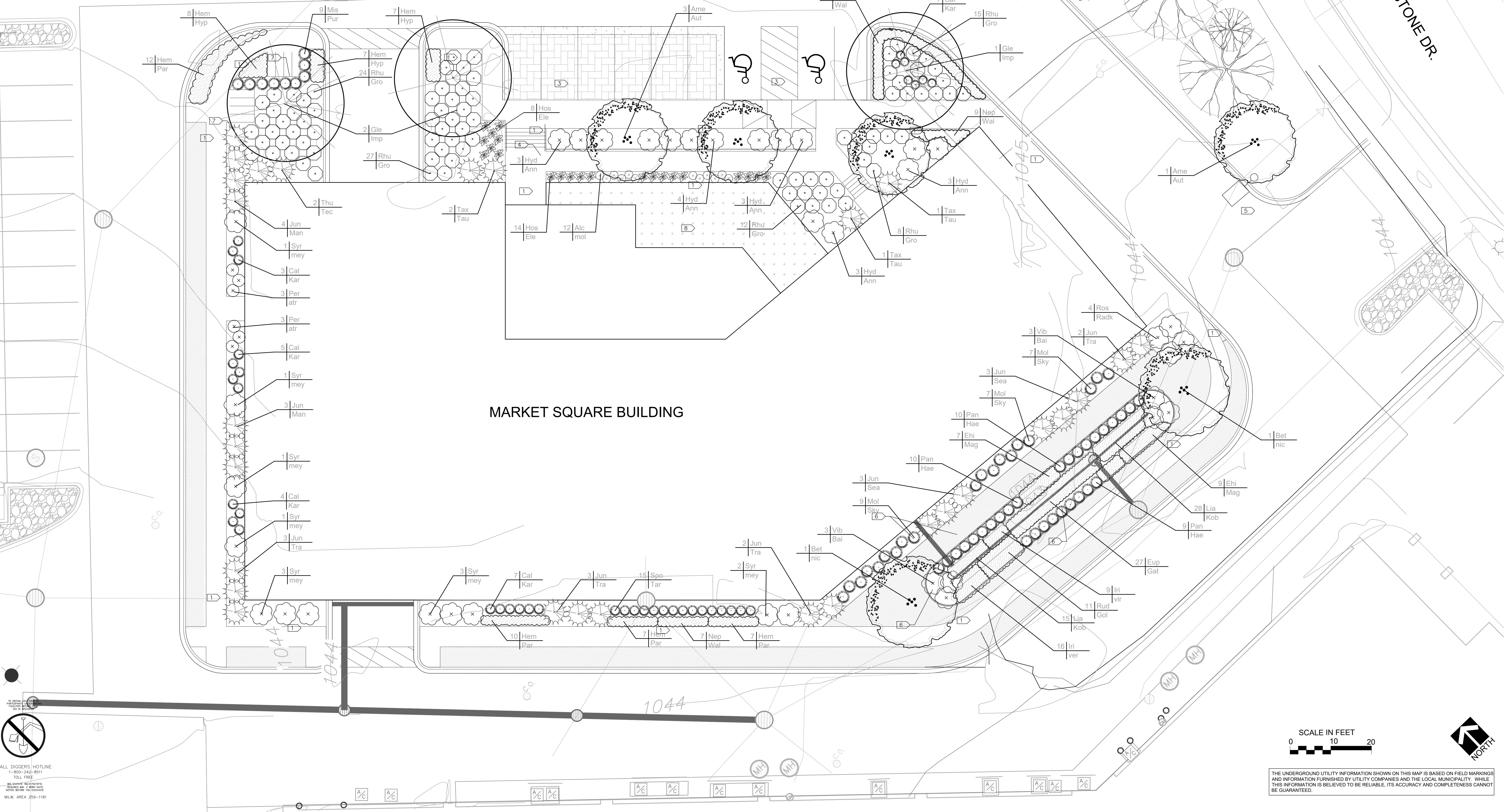


PLANT INSTALLATION SCHEDULE:

	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	ROOT NOTES
Deciduous Trees						
Ame / Aut	5	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6' ht	As shown	BB multi-stem
Bet / nig	2	Betula nigra	River Birch	7' ht	As shown	BB multi-stem
Gle / Imp	3	Gleditsia triacanthos 'Impcole'	PP 1605	2 1/2"	As shown	BB
Evergreen Trees/ Shrubs						
Jun / Man	7	Juniperus chinensis 'Maneyi'	Maney Juniper	5 gallon	As shown	Cont.
Jun / Tra	10	Juniperus chinensis 'Trautman'	Trautman Juniper	5' 6" ht	As shown	BB
Jun / Sea	6	Juniperus chinensis 'Sea Green'	Sea Green Juniper	5 gallon	As shown	Cont.
Tax / Hic	1	Taxus x media 'Hicksii'	Hicks Yew	7 gallon	As shown	Cont.
Tax / Tau	4	Taxus x media 'Tauntonii'	Taunton Yew	5 gallon	As shown	Cont.
Thu / Tec	2	Thuja occidentalis 'Techny'	Techny Arborvitae	6' 7" ht	As shown	BB
Deciduous Shrubs						
Hyd / Ann	16	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	3 gallon	As shown	Cont.
Rhu / Gro	86	Rhus aromatica 'Gro-low'	Gro-low Sumac	3 gallon	4' c.c.	Cont.
Ros / Radk	4	Rosa 'Radikopnik' ppf 18507	Double Pink Knock Out Rose	3 gallon	4' c.c.	Cont.
Syr / mey	12	Syringa meyeri 'Palibin'	Dwarf Korean Lilac	3 gallon	As shown	Cont.
Vib / Bai	6	Viburnum tinus 'Bailey Compact'	Bailey Compact Viburnum	3 gallon	As shown	Cont.
Perennials						
Alc / mol	12	Alchemilla mollis	Lady's Mantle	1 gallon	24" o.c.	Cont.
Ech / Mag	16	Echinacea purpurea 'Magnus'	Magnus Purple Coneflower	1 gallon	30" o.c.	Cont.
Eup / Gat	27	Eupatorium maculatum 'Gateway'	Gateway Joe-Pye Weed	1 gallon	28" o.c.	Cont.
Hem / Par	36	Hemerocallis x 'Pardon Me'	Pardon Me Daylily	1 gallon	24" o.c.	Cont.
Hem / Hyp	22	Hemerocallis 'Hyperion'	Hyperion Daylily	1 gallon	24" o.c.	Cont.
Hos / Ele	12	Hosta sieboldiana 'Elegans'	Elegans Hosta	1 gallon	30" o.c.	Cont.
Iri / ver	16	Iris versicolor	Northern Blue Flag Iris	1 gallon	21" o.c.	Cont.
Iri / vir	9	Iris virginica var. 'shrevei'	Southern Blue Flag Iris	1 gallon	21" o.c.	Cont.
Lia / Kob	43	Liatris spicata 'Kobold'	Kobold Spike Blazing Star	1 gallon	21" o.c.	Cont.
Nep / Wal	37	Nepeta faassenii 'Walker's Low'	Walker's Low Catmint	1 gallon	30" o.c.	Cont.
Per / atr	6	Perovskia atriplicifolia	Russian Sage	1 gallon	36" o.c.	Cont.
Rud / Gol	11	Rudbeckia fulgida 'Goldsturm'	Goldsturm Black-Eyed Susan	1 gallon	24" o.c.	Cont.
Oreamatic Grasses						
Cal / Kar	26	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 gallon	24" o.c.	Cont.
Mis / Pur	9	Miscanthus sinensis 'Purpureus'	Flame Grass	1 gallon	36" o.c.	Cont.
Mol / Sky	23	Molinia caerulea 'arundinacea' 'Skyracer'	Molinia Skyracer	1 gallon	30" o.c.	Cont.
Pan / Har	29	Panicum virgatum 'Shenandoah'	Red Switch Grass	1 gallon	30" o.c.	Cont.
Spo / Tar	15	Sporobolus heterolepis 'Tara'	Dwarf Prairie Dropseed Tara	1 gallon	30" o.c.	Cont.

AREA OF DISTURBANCE - 53,061 SF
BUILDING FOOTPRINT - 18,421 SF

DEVELOPMENT AREA - 34,640 SF



LANDSCAPE ARCHITECTURE

MARKET

SQUARE

LANDSCAPE

PLAN

NOT FOR
CONSTRUCTION
These progress documents are
for city review purposes only.

© COPYRIGHT 2022
New Eden Landscape Architecture, LLC

REVISIONS:

PROJECT NO.: 22015-VIE-MQ
SCALE: 1"=10'-0"

DATE: 01/04/2023

DRWN BY: EDS CHKD BY: RS

Sheet: L-1



NORTH

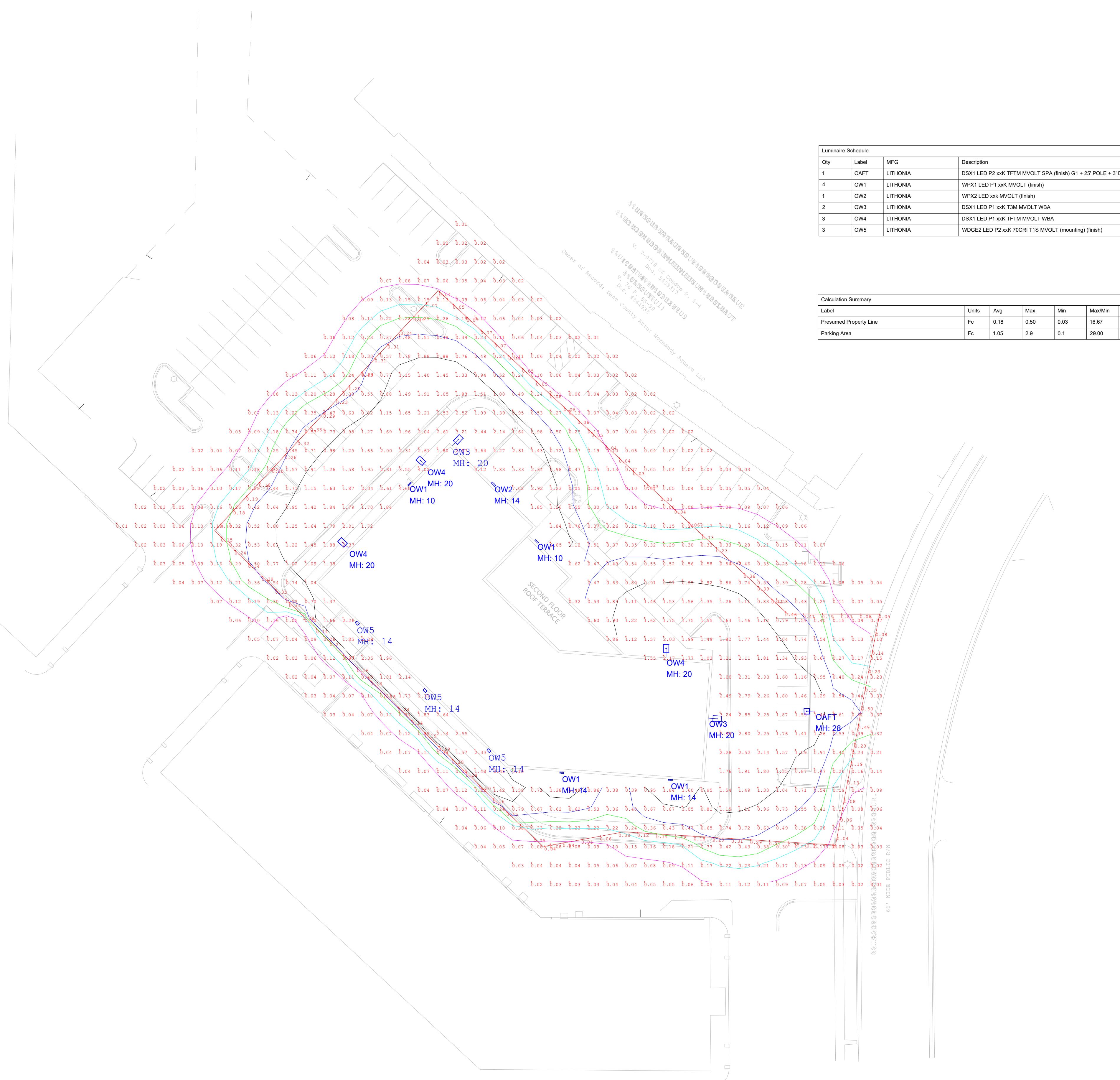
THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS
AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE
THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT
BE GUARANTEED.



#	DATE	COMMENTS

DRAWN BY : JT	DATE : 10-7-2022	SCALE : 1" = 30'

MARKET SQUARE	MADISON, WI	SITE LIGHTING LAYOUT

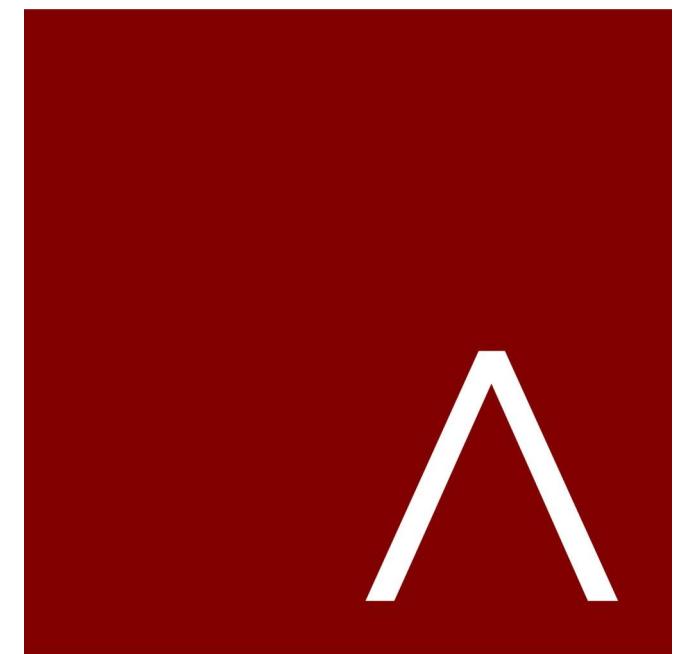


- STUDIO UNIT
- 1 BD UNIT
- 2 BD UNIT
- AMENITIES
- BLDG. SUPP / STOR.
- CIRCULATION
- PARKING



PARKING DATA					
LEVEL	AUTOMOBILE PARKING			TOTAL	BIKE PARKING
	STANDARD	COMPACT	ADA		
1	23	5	3	31	32
L.L.	40	17	0	57	64
TOTAL	59	22	3	88	96

ELECTRIC VEHICLE PARKING DATA	
EV INSTALLED REQUIRED - 2%	EV INSTALLED PROVIDED - 2% (2 STALLS)
EV READY REQUIRED - 10%	EV READY PROVIDED - 10% (9 STALLS)



JLA
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MADISON | MILWAUKEE | DENVER
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SUBMITTAL**

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SHEET TITLE

LOWER LEVEL PLAN

SHEET NUMBER

A100

- STUDIO UNIT
- 1 BD UNIT
- 2 BD UNIT
- AMENITIES
- BLDG. SUPP / STOR.
- CIRCULATION
- PARKING



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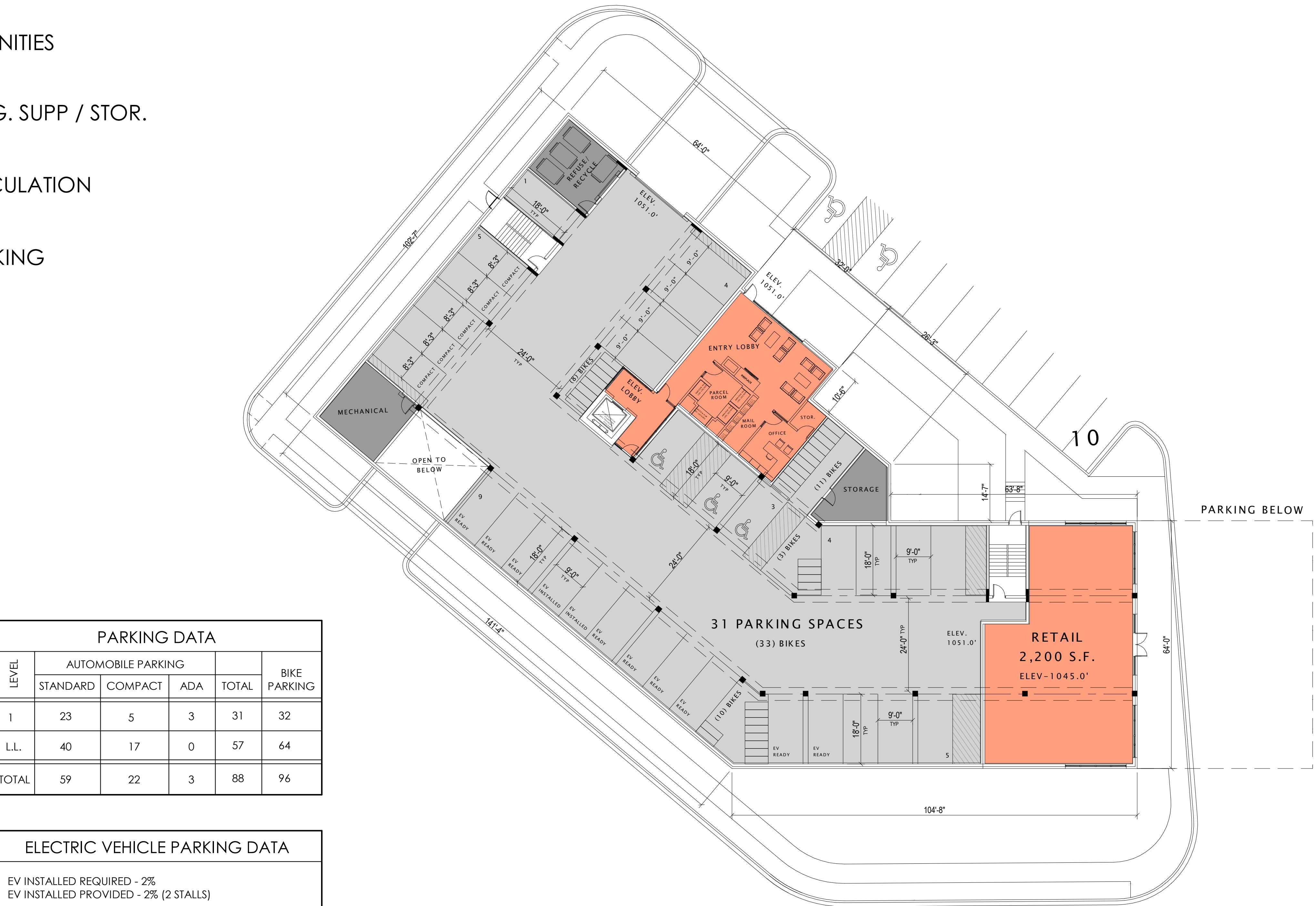
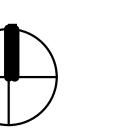
SHEET TITLE

FIRST FLOOR PLAN

SHEET NUMBER

A101

① FIRST FLOOR PLAN
1/16" = 1'-0"



- STUDIO UNIT
- 1 BD UNIT
- 2 BD UNIT
- AMENITIES
- BLDG. SUPP / STOR.
- CIRCULATION
- PARKING



**MARKET SQUARE
BUILDING A1**
LAND USE APPLICATION
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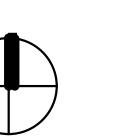
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SECOND FLOOR PLAN

A102



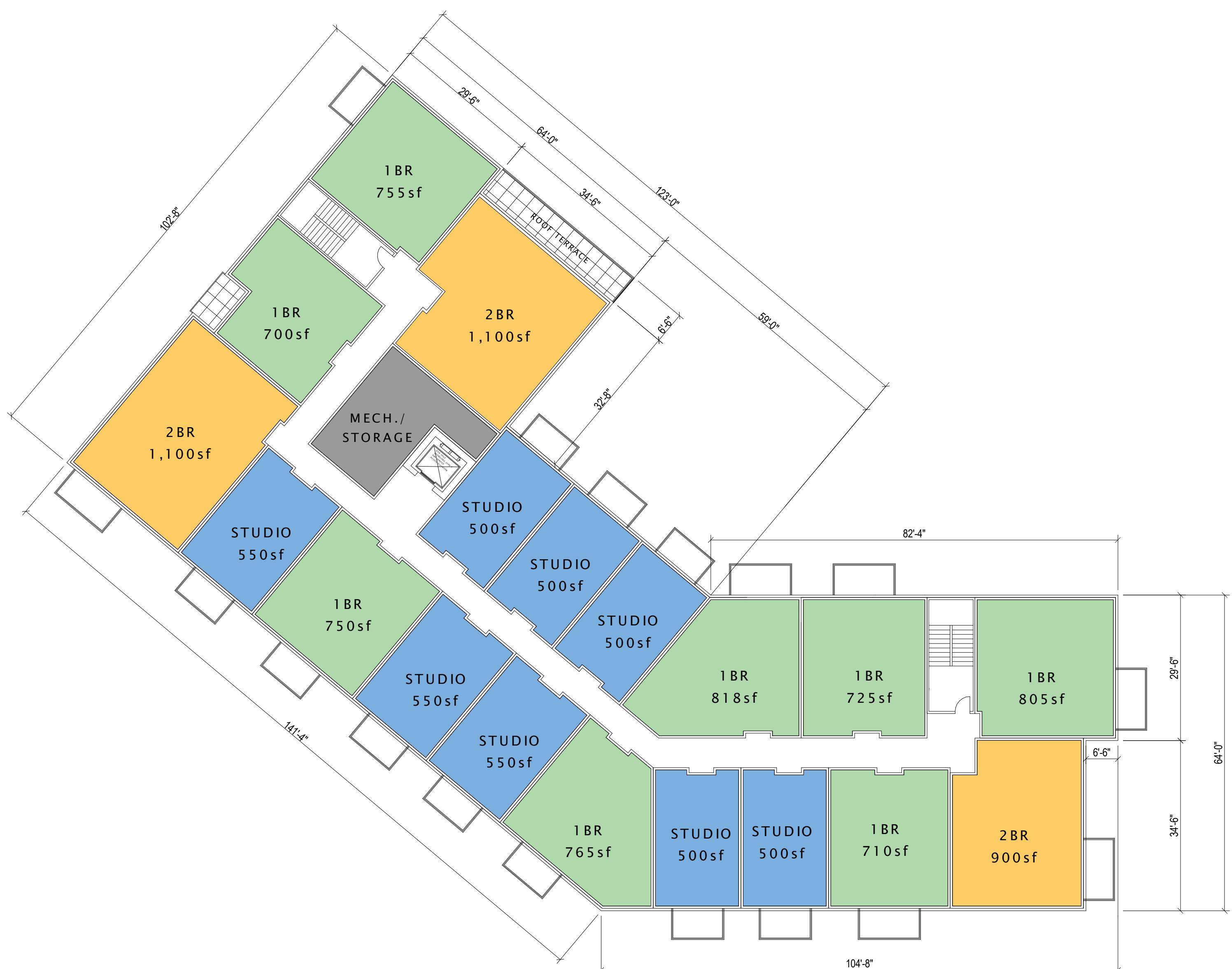


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SHEET TITLE
THIRD FLOOR PLAN

SHEET NUMBER
A103

① THIRD FLOOR PLAN
1/16" = 1'0"



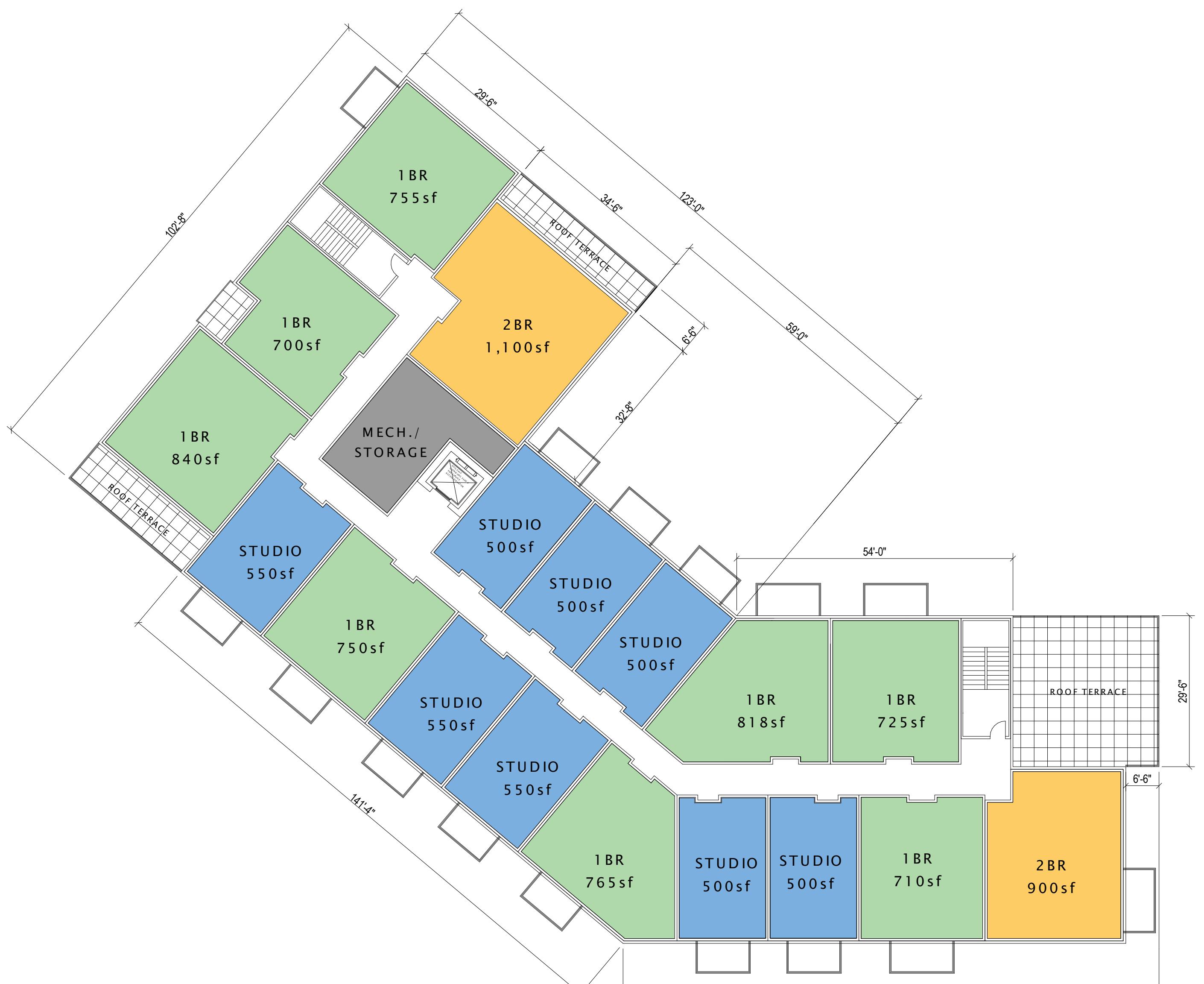


JLA
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JLA-AP.COM

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DATE OF ISSUANCE	JANUARY 4th, 2023	
REVISION SCHEDULE		
Mark	Description	Date

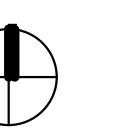
SHEET TITLE

FOURTH FLOOR PLAN

SHEET NUMBER

A104

① FOURTH FLOOR PLAN
1/16" = 1'-0"



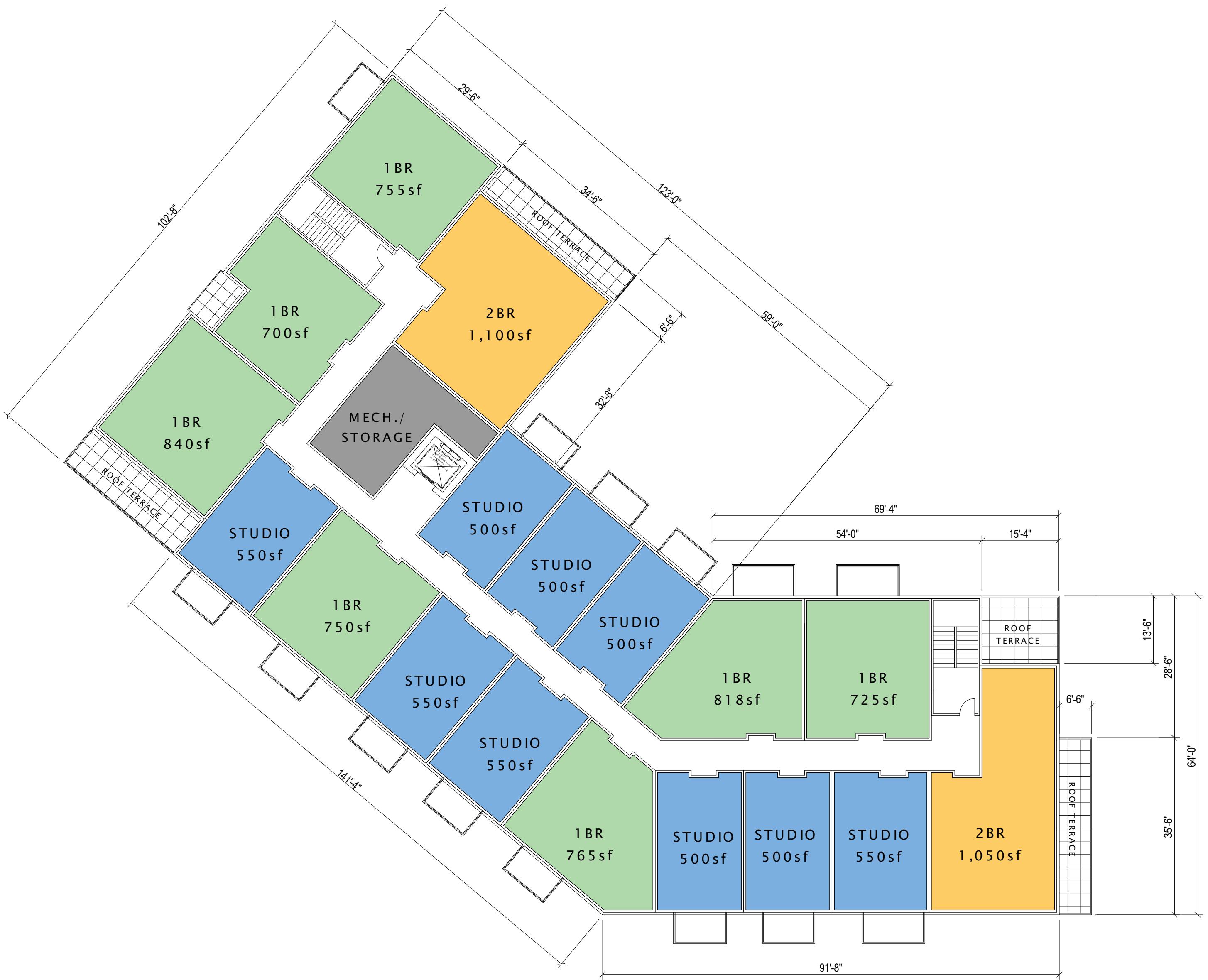


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JLA PROJECT NUMBER: W22-0122

**MARKET SQUARE
BUILDING A1**
LAND USE APPLICATION
SUBMITTAL



PROGRESS DOCUMENTS

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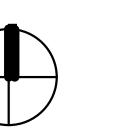
DATE OF ISSUANCE	JANUARY 4th, 2023	
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

FIFTH FLOOR PLAN

SHEET NUMBER

A105



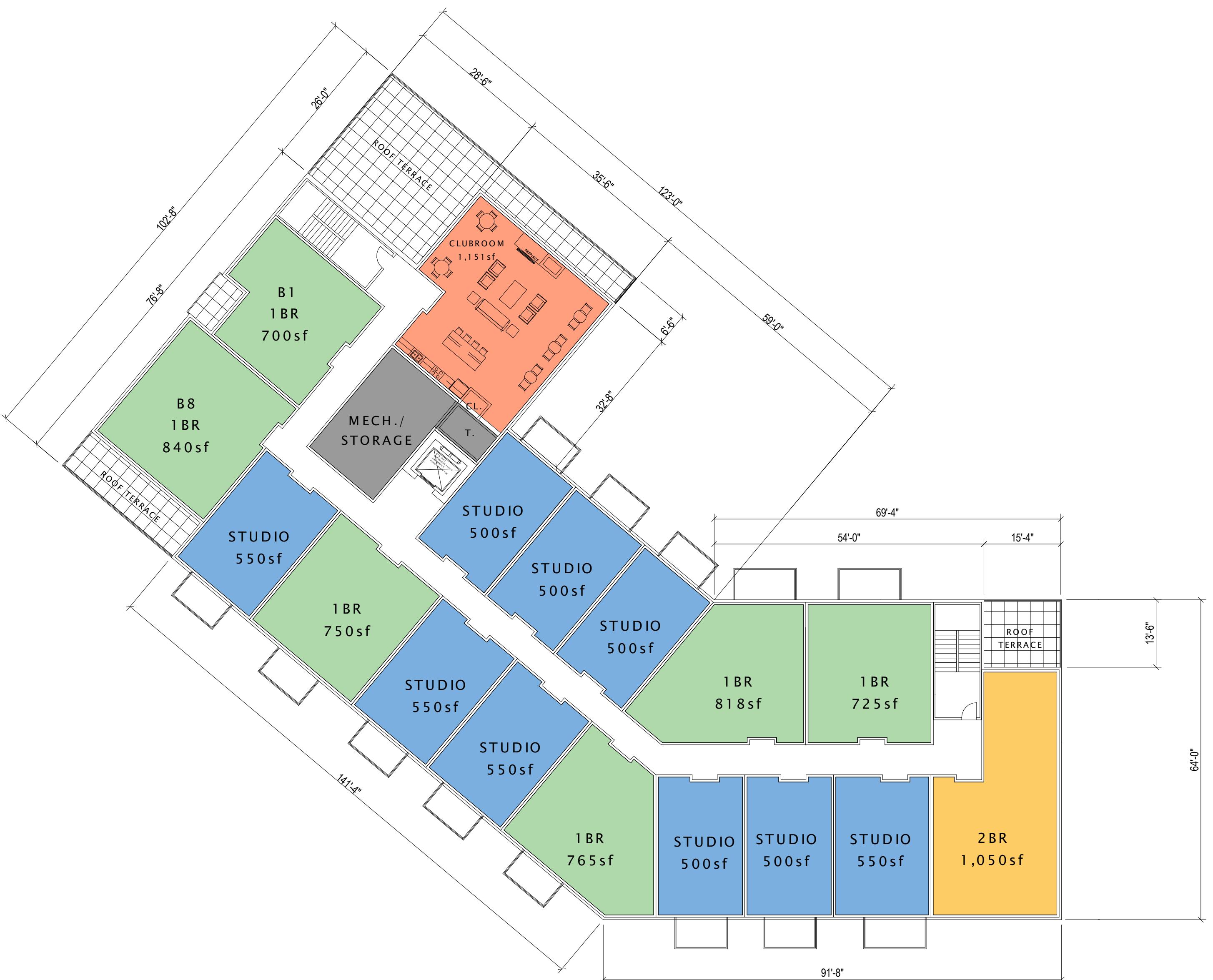


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JLA PROJECT NUMBER: W22-0122

**MARKET SQUARE
BUILDING A1
LAND USE APPLICATION
SUBMITTAL**



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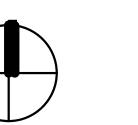
DATE OF ISSUANCE	JANUARY 4th, 2023
REVISION SCHEDULE	
Mark	Description

SHEET TITLE

SIXTH FLOOR PLAN

SHEET NUMBER

A106



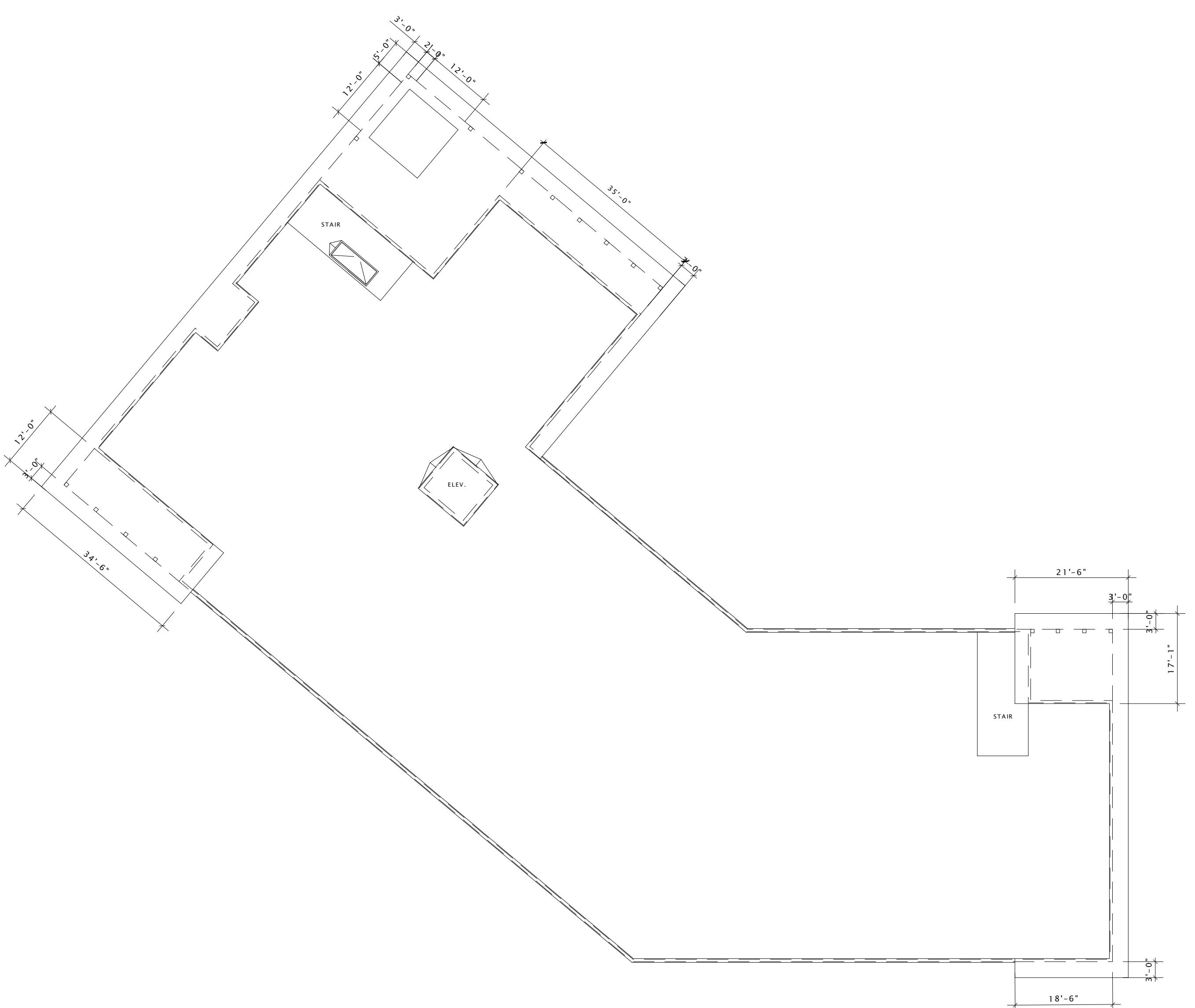


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JLA PROJECT NUMBER: W22-0122

**MARKET SQUARE
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PROGRESS DOCUMENTS

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DATE OF ISSUANCE	JANUARY 4th, 2023	
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
ROOF PLAN

SHEET NUMBER
A110

① ROOF PLAN
1/16" = 1'-0"



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SUBMITTAL



PROGRESS DOCUMENTS

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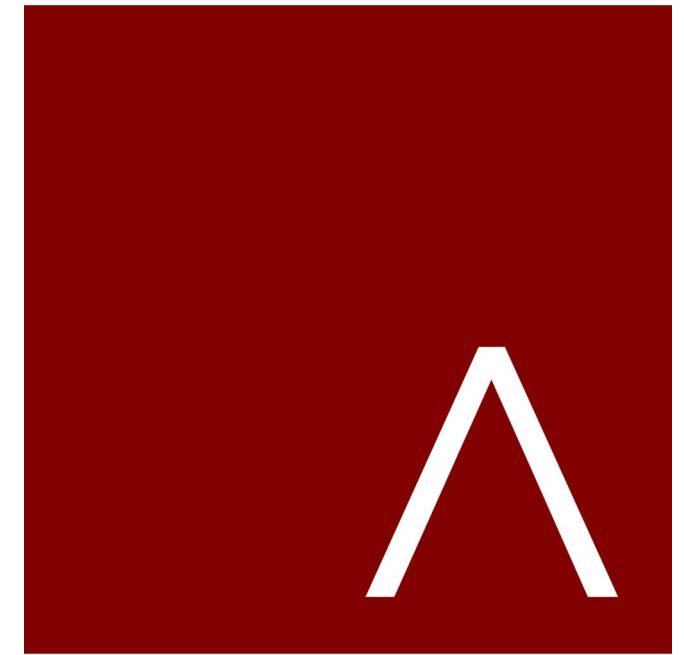
DATE OF ISSUANCE			JANUARY 4th, 2023		
REVISION SCHEDULE					
Mark	Description	Date			

SHEET TITLE

AERIAL PERSPECTIVE

SHEET NUMBER

A200



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PROGRESS DOCUMENTS

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DATE OF ISSUANCE			JANUARY 4th, 2023		
REVISION SCHEDULE					
Mark	Description	Date	Mark	Description	Date

SHEET TITLE

AERIAL PERSPECTIVE

SHEET NUMBER

A201



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PROGRESS DOCUMENTS

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DATE OF ISSUANCE			JANUARY 4th, 2023		
REVISION SCHEDULE					
Mark	Description	Date			

SHEET TITLE
EXTERIOR
PERSPECTIVES

SHEET NUMBER
A210



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JLA PROJECT NUMBER: W22-0122

**MARKET SQUARE
BUILDING A1
LAND USE APPLICATION
SUBMITTAL**

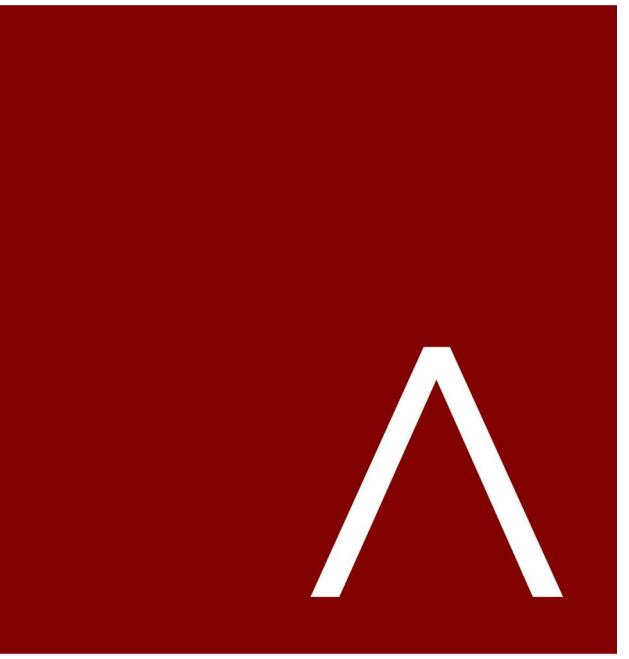
PROGRESS DOCUMENTS

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DATE OF ISSUANCE	JANUARY 4th, 2023	
REVISION SCHEDULE		
Mark	Description	Date

**EXTERIOR
PERSPECTIVES**

SHEET NUMBER
A211



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JLA PROJECT NUMBER: W22-0122

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BUILDING A1
LAND USE APPLICATION
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PROGRESS DOCUMENTS

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DATE OF ISSUANCE			JANUARY 4th, 2023		
REVISION SCHEDULE					
Mark	Description	Date			

**EXTERIOR
PERSPECTIVES**

SHEET NUMBER
A212



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JLA PROJECT NUMBER: W22-0122

**MARKET SQUARE
BUILDING A1
LAND USE APPLICATION
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PROGRESS DOCUMENTS

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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

**EXTERIOR
PERSPECTIVES**

SHEET NUMBER

A213



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JLA PROJECT NUMBER: W22-0122

**MARKET SQUARE
BUILDING A1
LAND USE APPLICATION
SUBMITTAL**

PROGRESS DOCUMENTS

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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

**EXTERIOR
PERSPECTIVES**

SHEET NUMBER

A214



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MARKET SQUARE
BUILDING A1
LAND USE APPLICATION
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PROGRESS DOCUMENTS

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DATE OF ISSUANCE	JANUARY 4th, 2023	
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR
PERSPECTIVES

SHEET NUMBER

A215



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BUILDING A1
LAND USE APPLICATION
SUBMITTAL**

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Mark	Description	Date

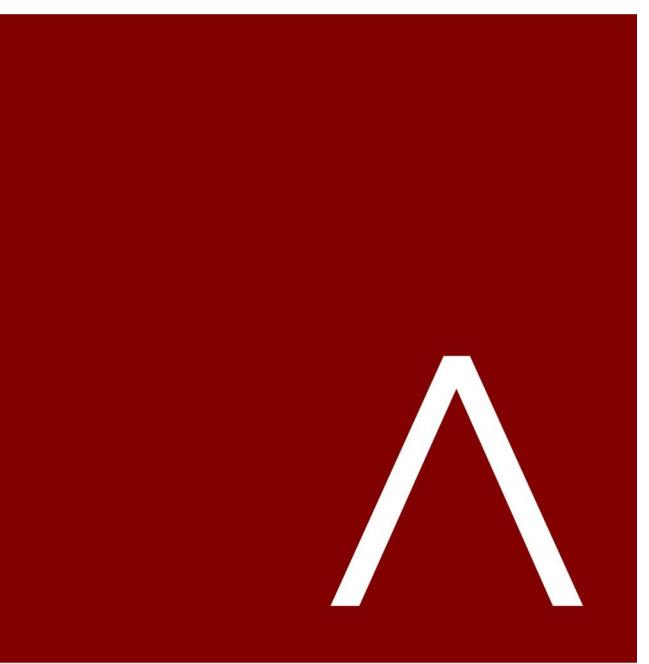
SHEET TITLE

EXTERIOR PERSPECTIVE

SHEET NUMBER

A216





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MARKET SQUARE
BUILDING A1
LAND USE APPLICATION
SUBMITTAL



PROGRESS DOCUMENTS

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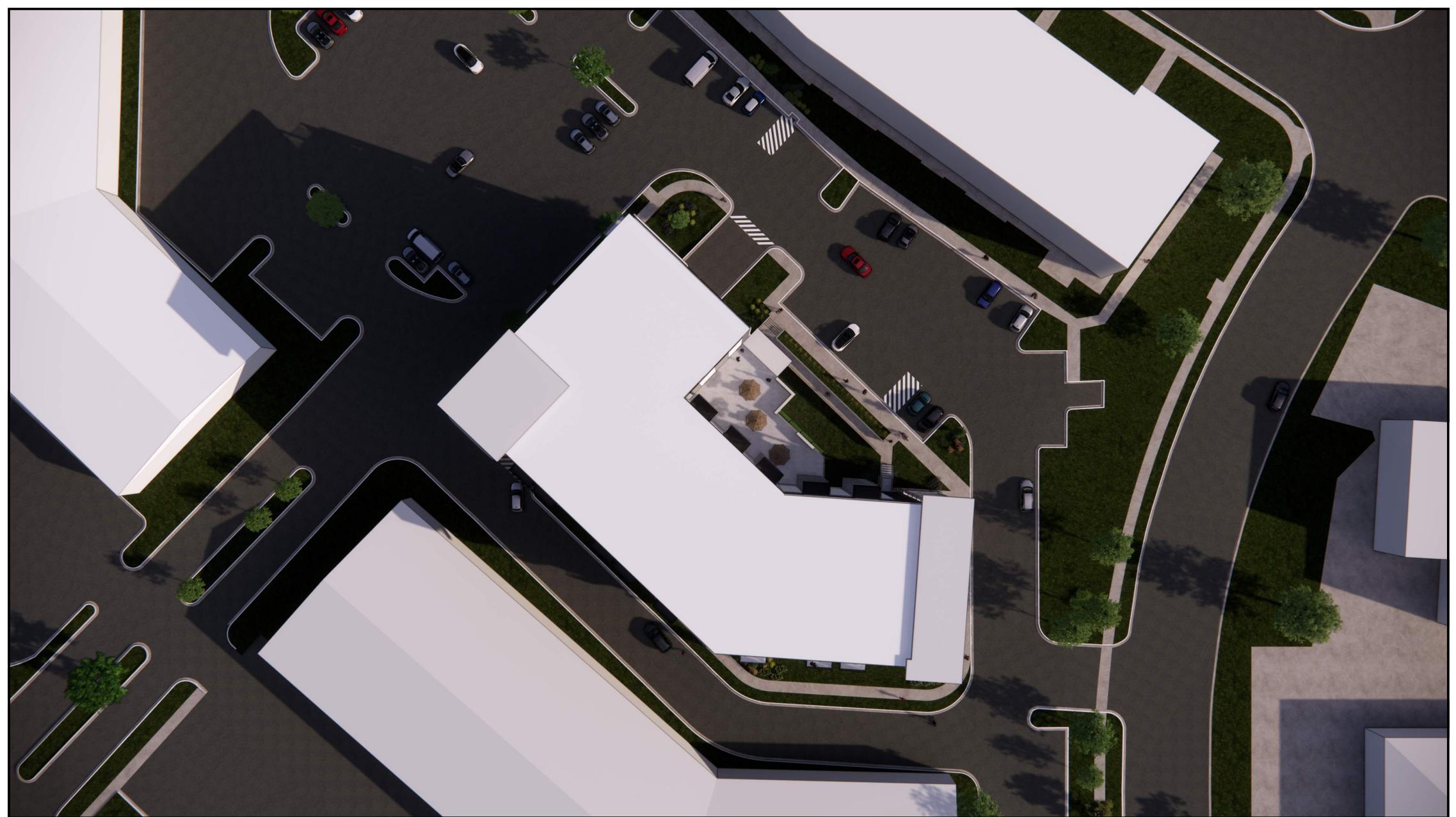
DATE OF ISSUANCE	JANUARY 4th, 2023	
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

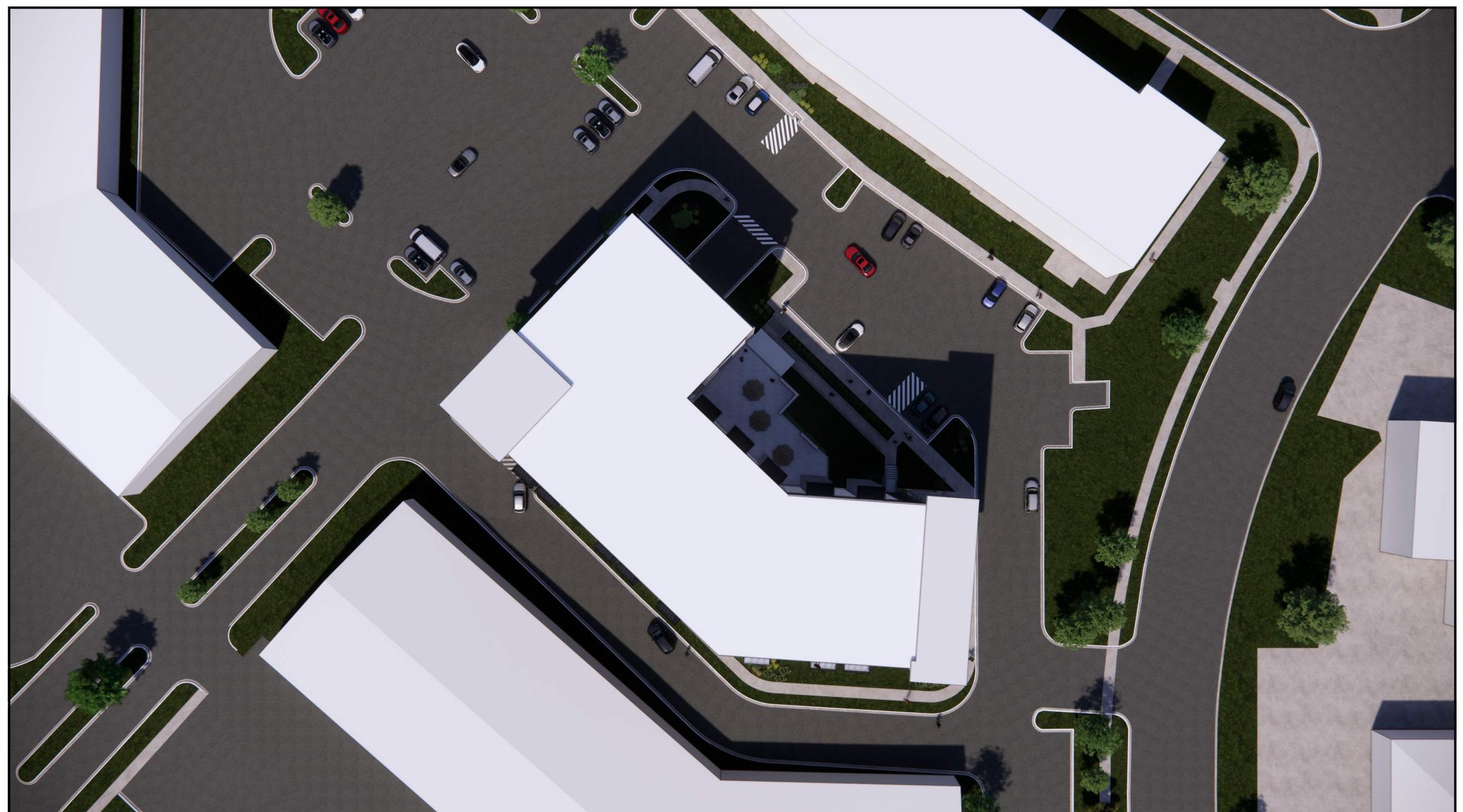
MATERIALS BOARD

SHEET NUMBER

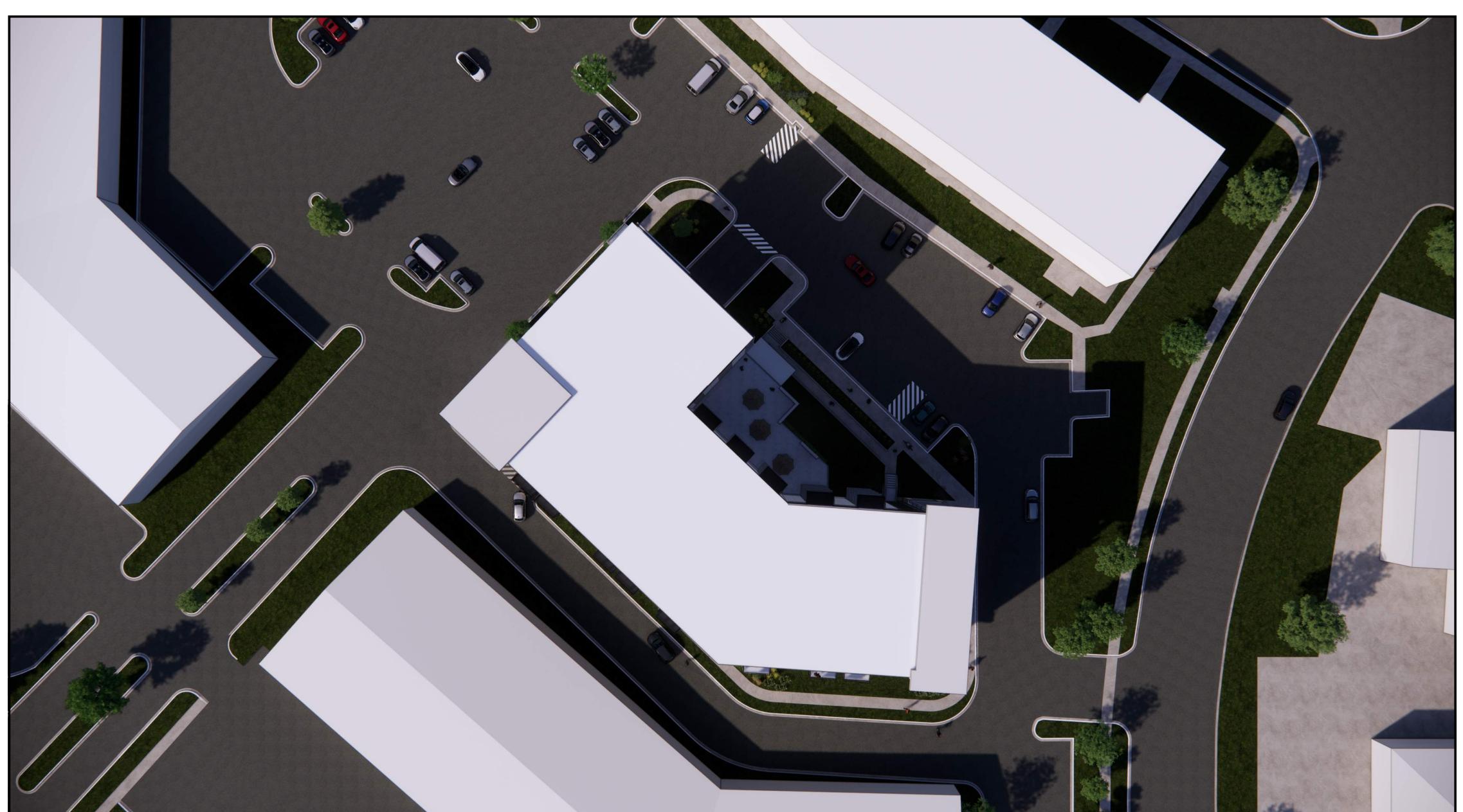
A219



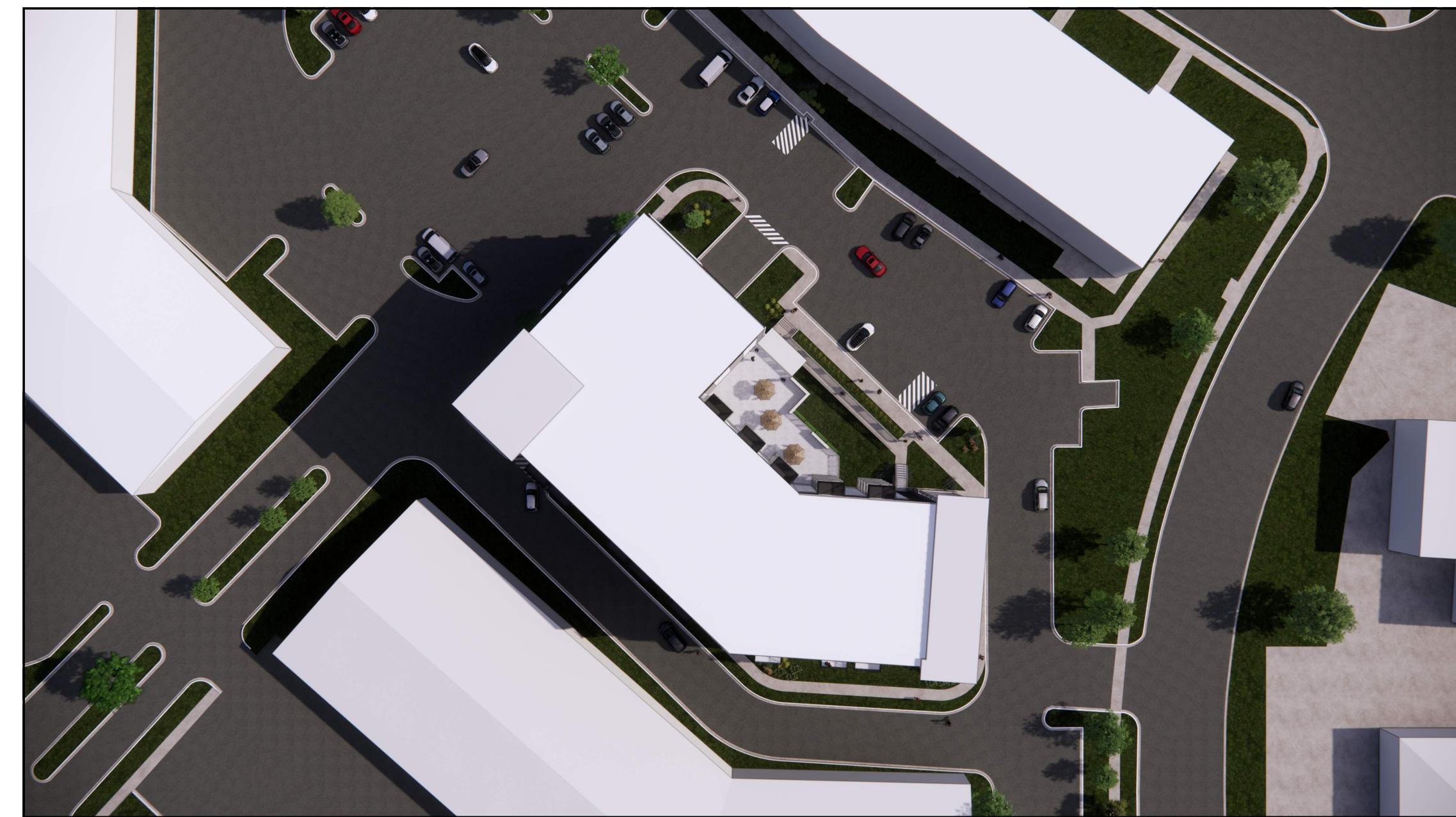
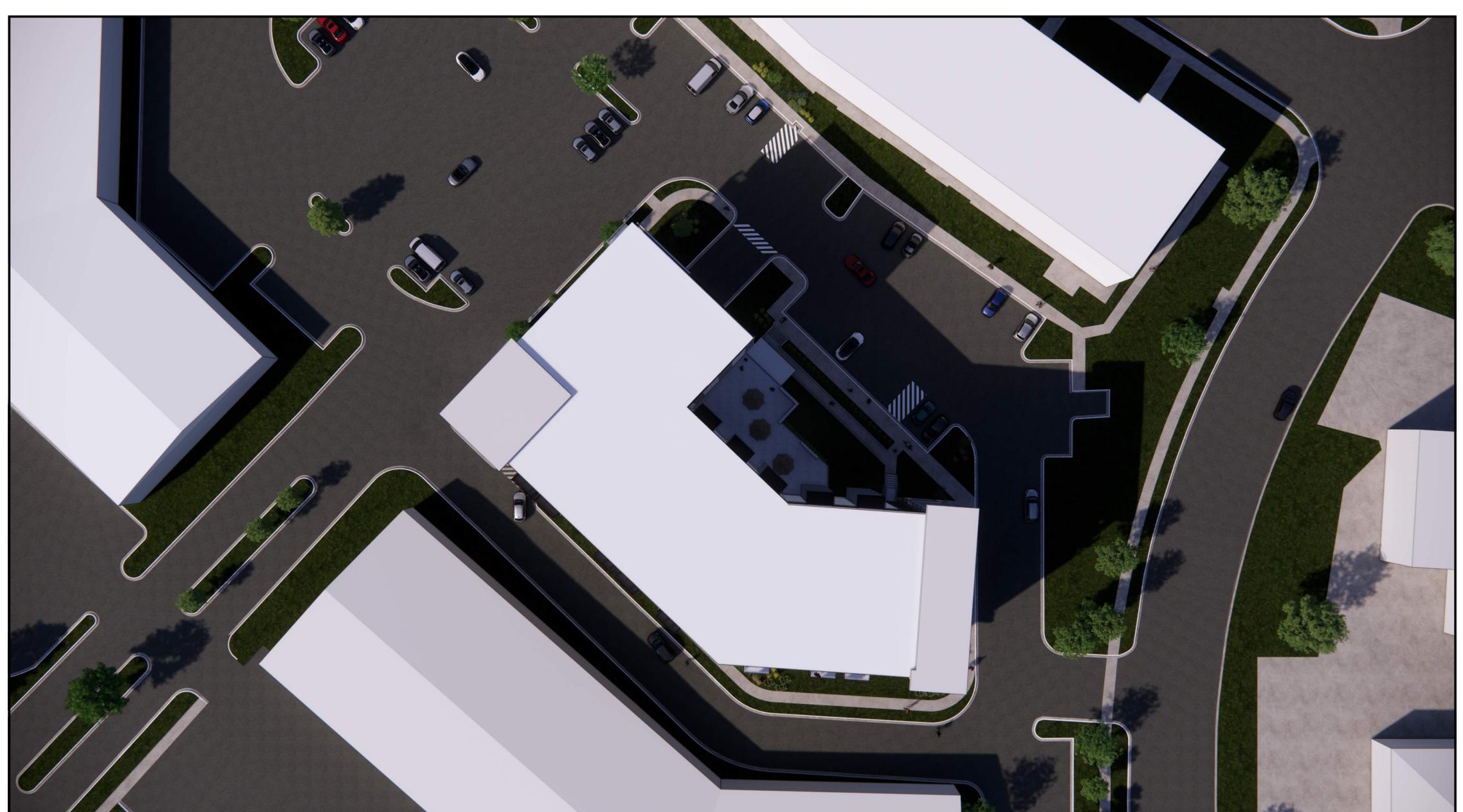
SHADOW ON MARCH 21ST @ 9 AM



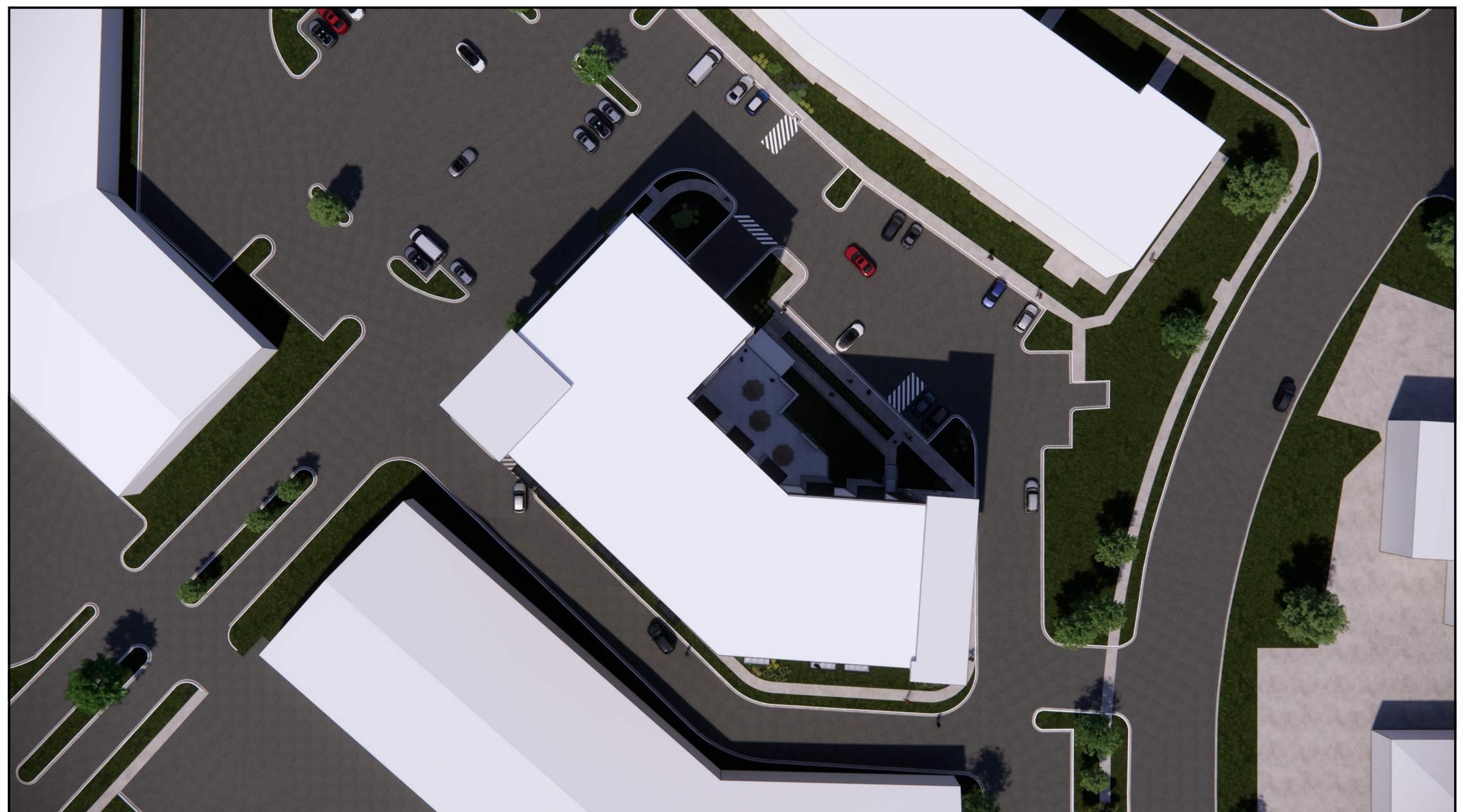
SHADOW ON MARCH 21ST @ 2PM



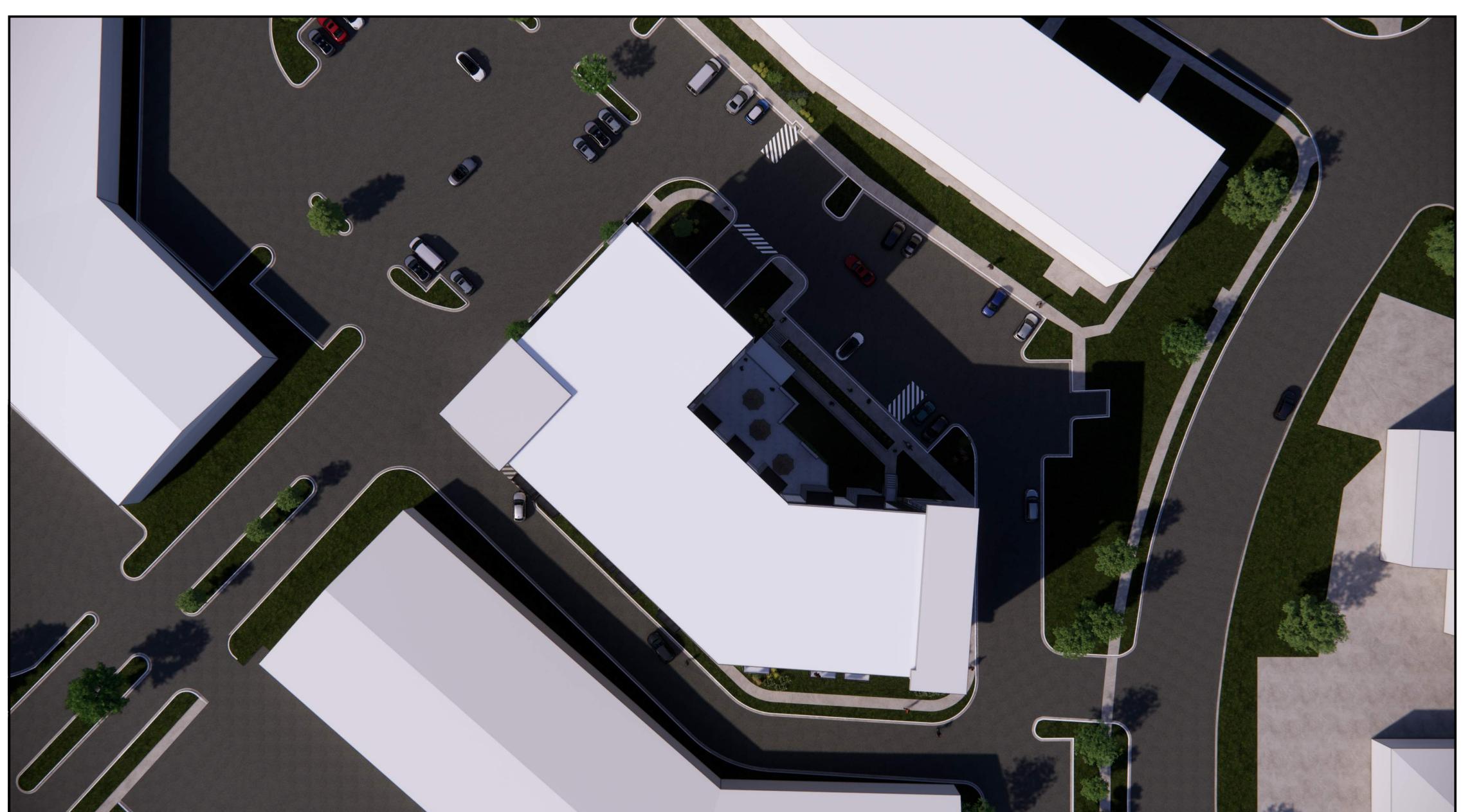
SHADOW ON MARCH 21ST @ 4PM



SHADOW ON JUNE 21ST @ 9AM



SHADOW ON JUNE 21ST @ 2PM



SHADOW ON JUNE 21ST @ 4PM



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JLA PROJECT NUMBER: W22-0122

MARKET SQUARE
BUILDING A1
LAND USE APPLICATION
SUBMITTAL

PROGRESS DOCUMENTS

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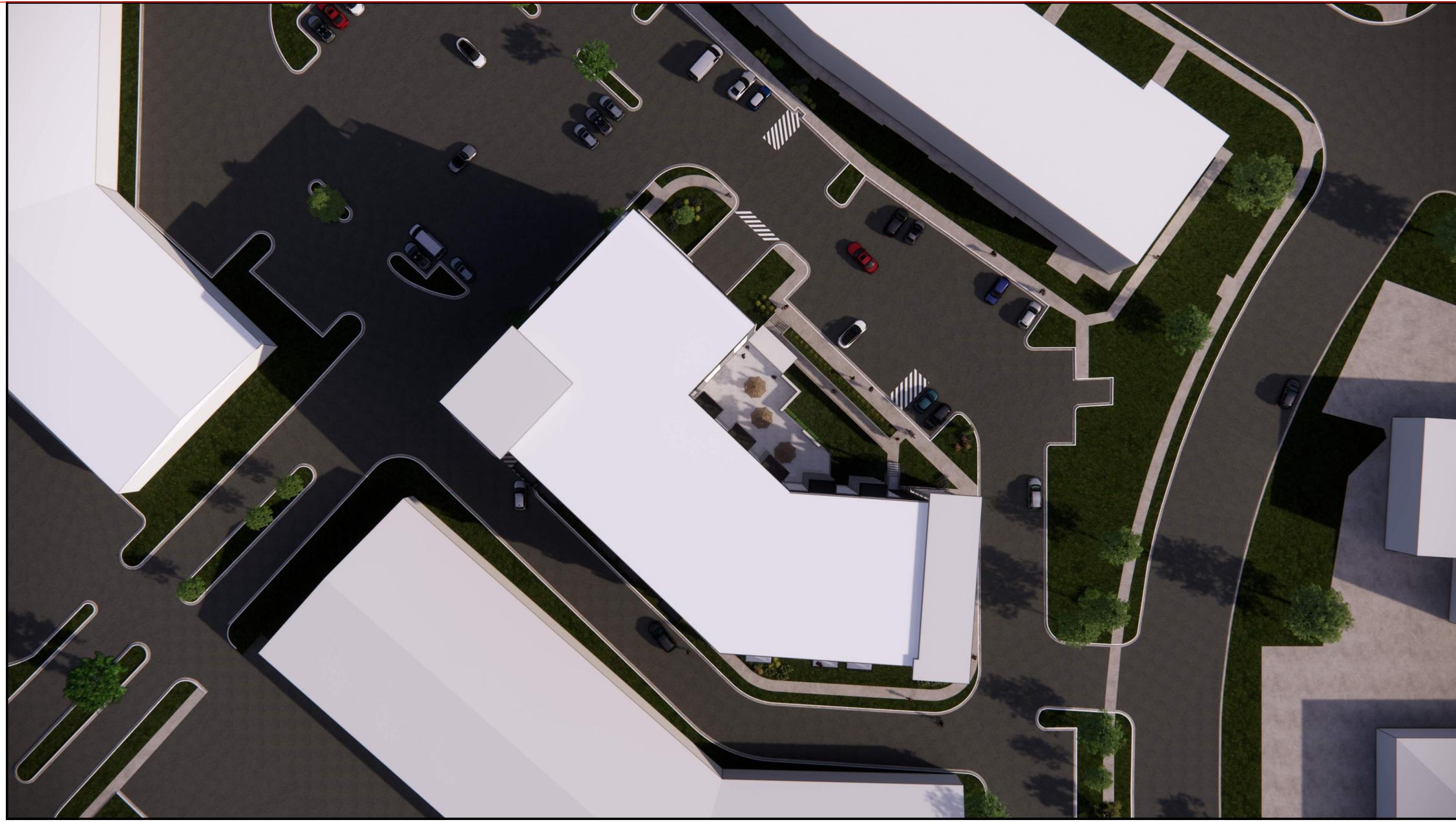
DATE OF ISSUANCE	JANUARY 4th, 2023	
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SHADOW STUDY

SHEET NUMBER

A300



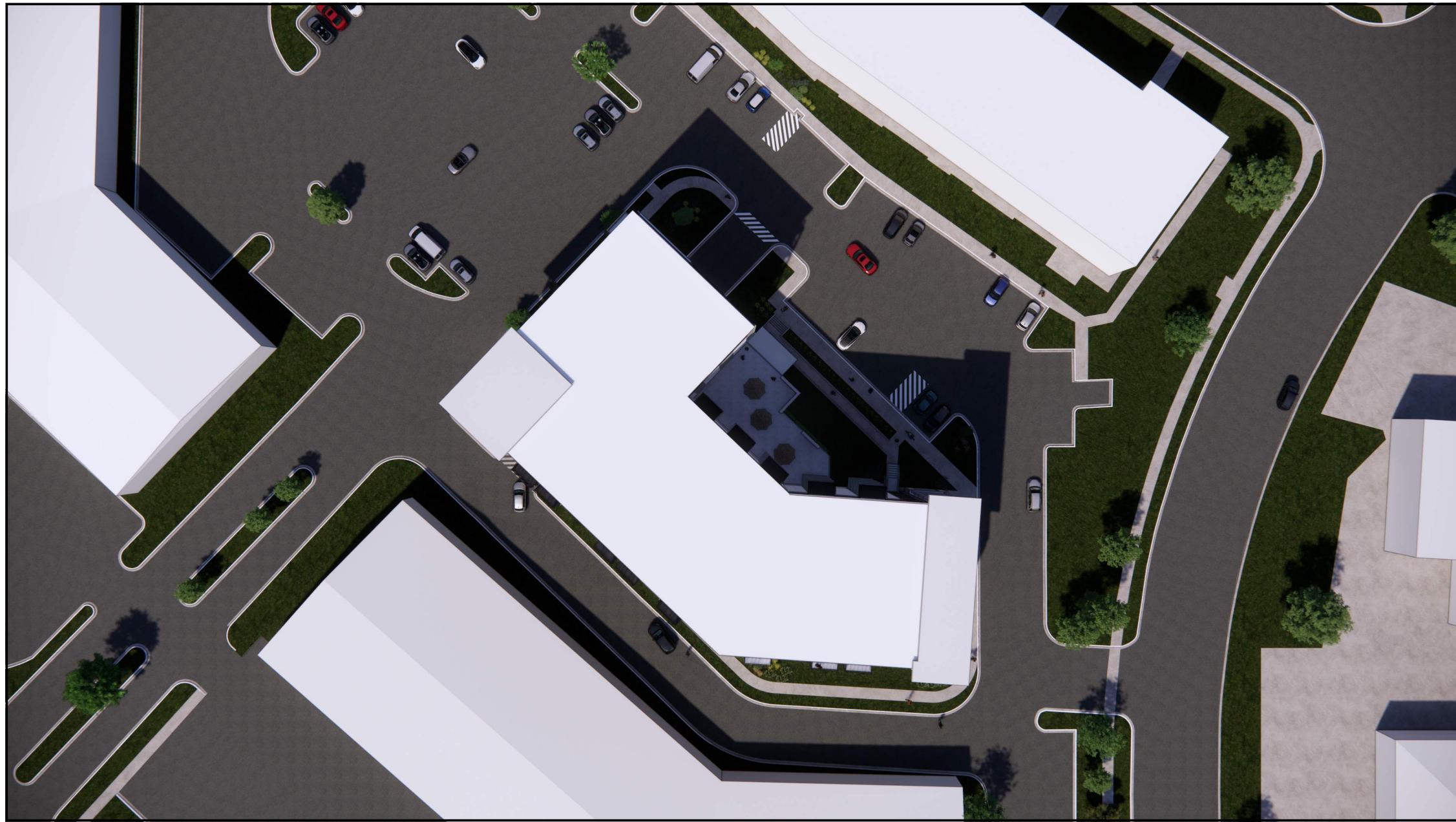
SHADOW ON SEPTEMBER 21ST @ 9AM



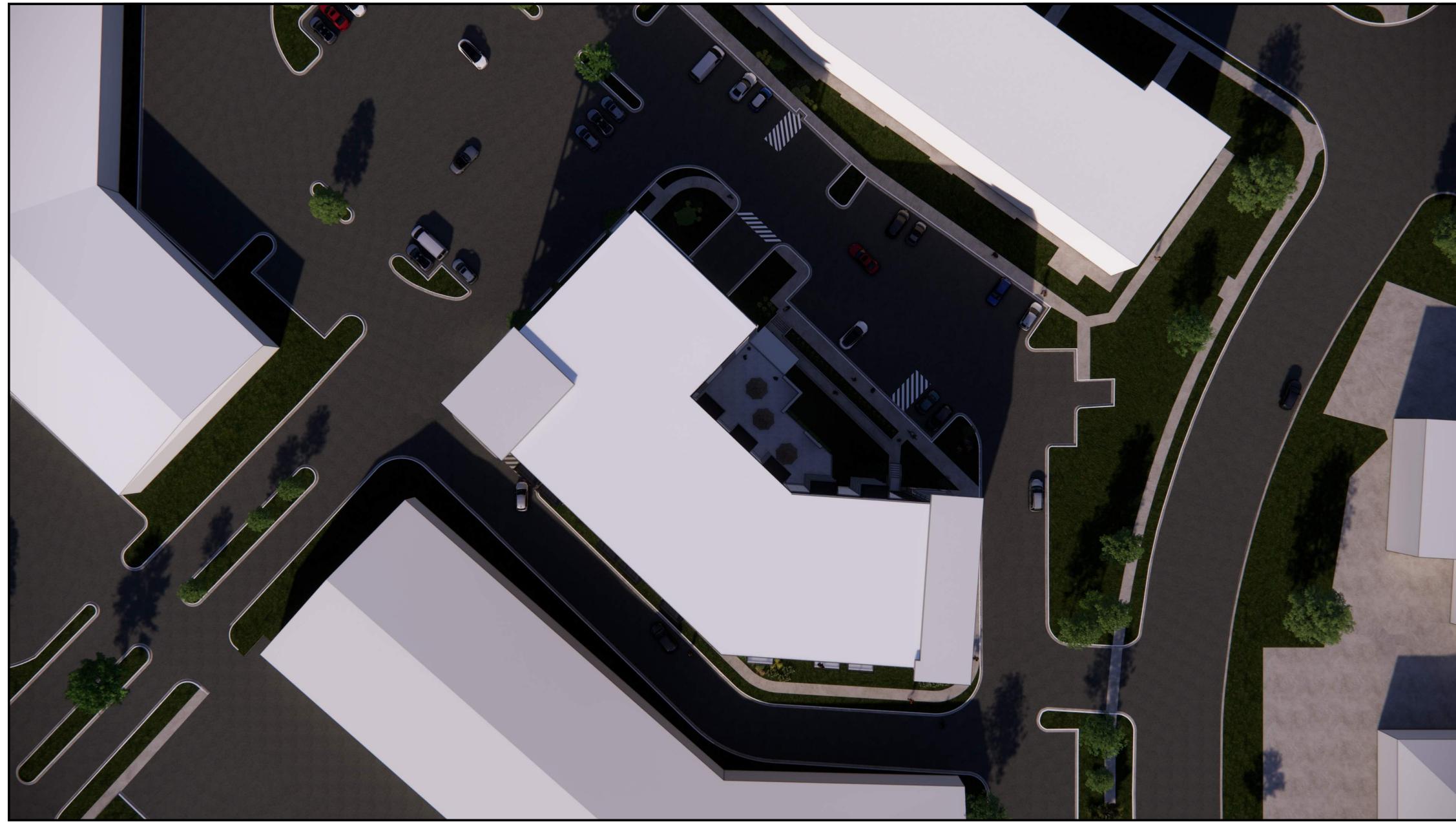
SHADOW ON DECEMBER 21ST @ 9AM



JLA PROJECT NUMBER: W22-0122

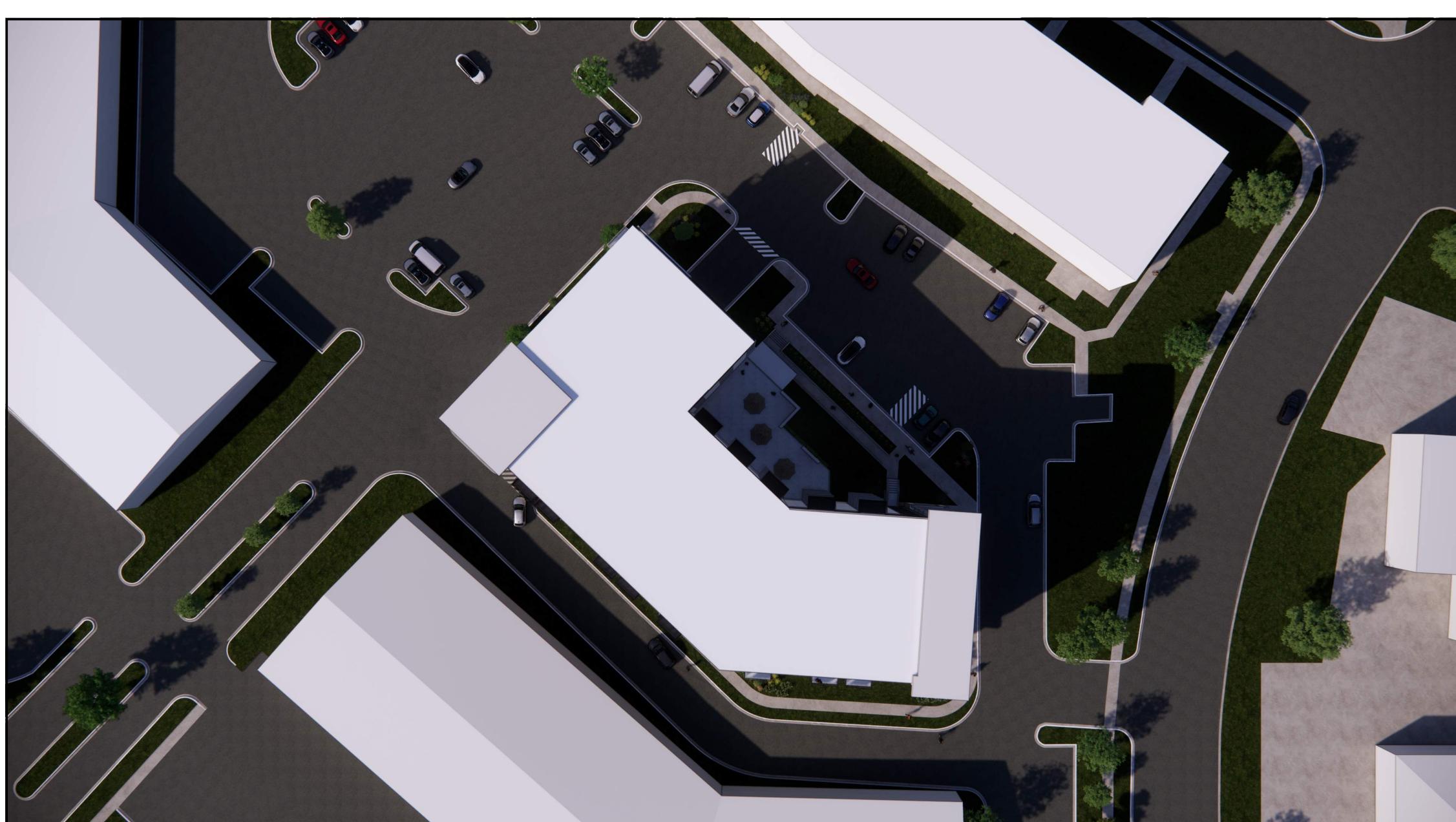


SHADOW ON SEPTEMBER 21ST @ 2PM

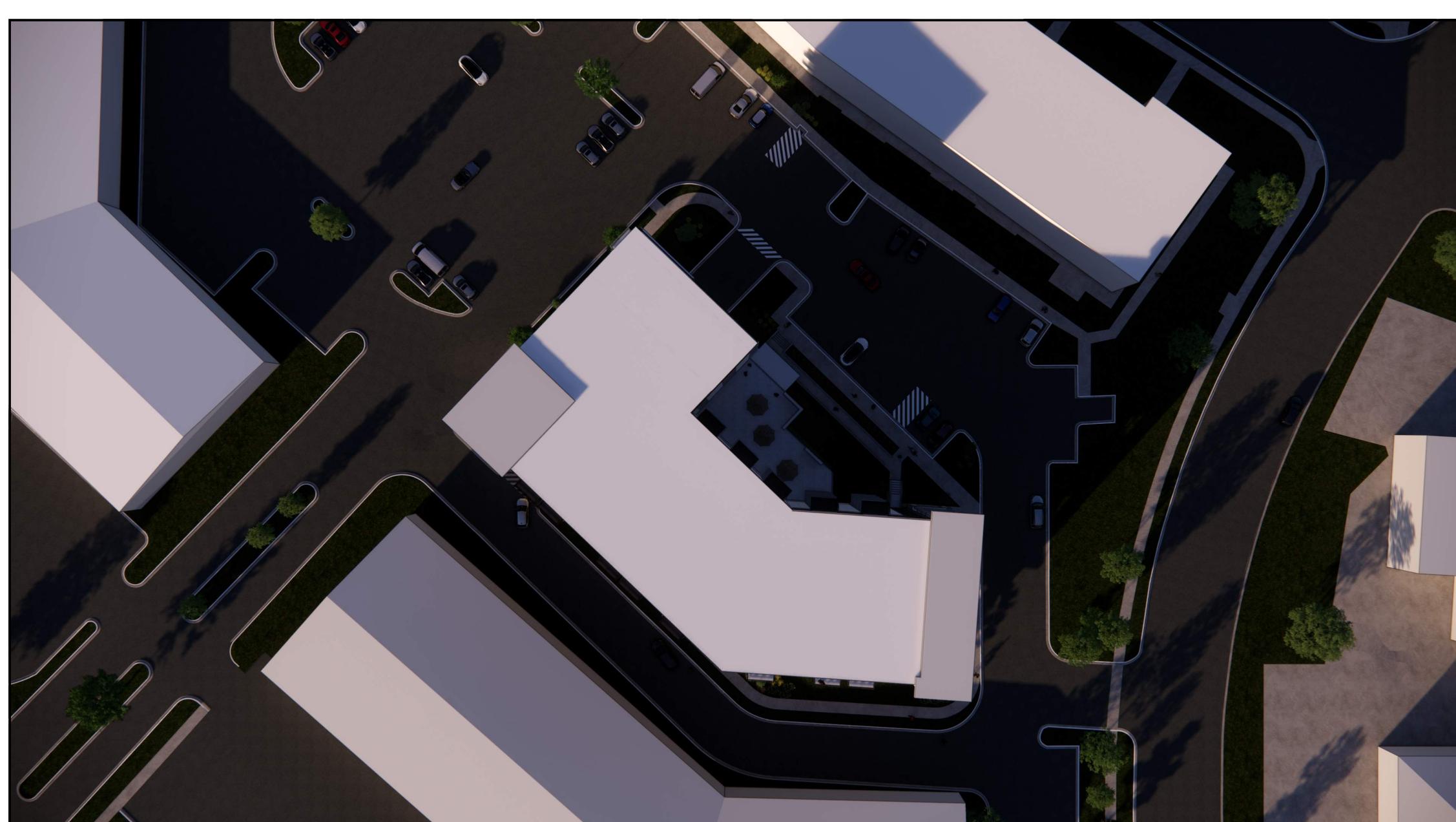


SHADOW ON DECEMBER 21ST @ 2PM

MARKET SQUARE BUILDING A1 LAND USE APPLICATION SUBMITTAL



SHADOW ON SEPTEMBER 21ST @ 4PM



SHADOW ON DECEMBER 21ST @ 4PM

PROGRESS DOCUMENTS

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DATE OF ISSUANCE	JANUARY 4th, 2023	
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SHADOW STUDY

SHEET NUMBER

A301

COMPOSITE PANEL #2

COMPOSITE PANEL #1

MASONRY VENEER
UTILITY BRICK

STORE FRONT

67'-10"

⑥ NORTH ELEVATION
1/8" = 1'-0"

MARKET SQUARE
BUILDING A1
LAND USE APPLICATION
SUBMITTAL

COMPOSITE PANEL #2

COMPOSITE PANEL #1

75'-11"

PROGRESS DOCUMENTS

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DATE OF ISSUANCE	JANUARY 4th, 2023	
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Mark	Description	Date

EXTERIOR ELEVATIONS
- COLOR

SHEET NUMBER

A500-A

16

EAST ELEVATION
1/8" = 1'-0"

MASONRY VENEER
UTILITY BRICK



⑥ NORTH ELEVATION B&W
1/8" = 1'-0"

MARKET SQUARE
BUILDING A1
LAND USE APPLICATION
SUBMITTAL



JLA PROJECT NUMBER: W22-0122



⑯ EAST ELEVATION B&W
1/8" = 1'-0"

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Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS
- B&W

SHEET NUMBER

A500-B



⑥ SOUTH ELEVATION
1/8" = 1'-0"



⑯ NORTHEAST ELEVATION
1/8" = 1'-0"



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LAND USE APPLICATION
SUBMITTAL

PROGRESS DOCUMENTS

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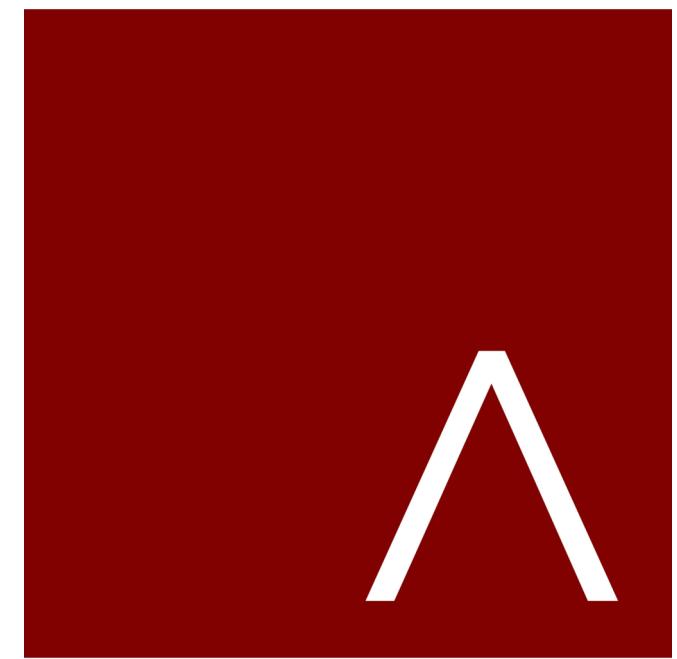
DATE OF ISSUANCE		JANUARY 4th, 2023	
REVISION SCHEDULE			
Mark	Description	Date	

SHEET TITLE

EXTERIOR ELEVATIONS
- COLOR

SHEET NUMBER

A501-A



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SUBMITTAL

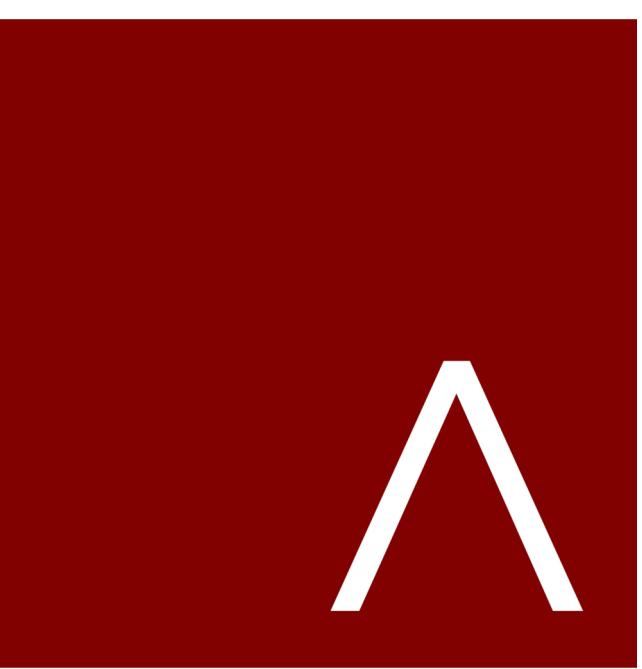
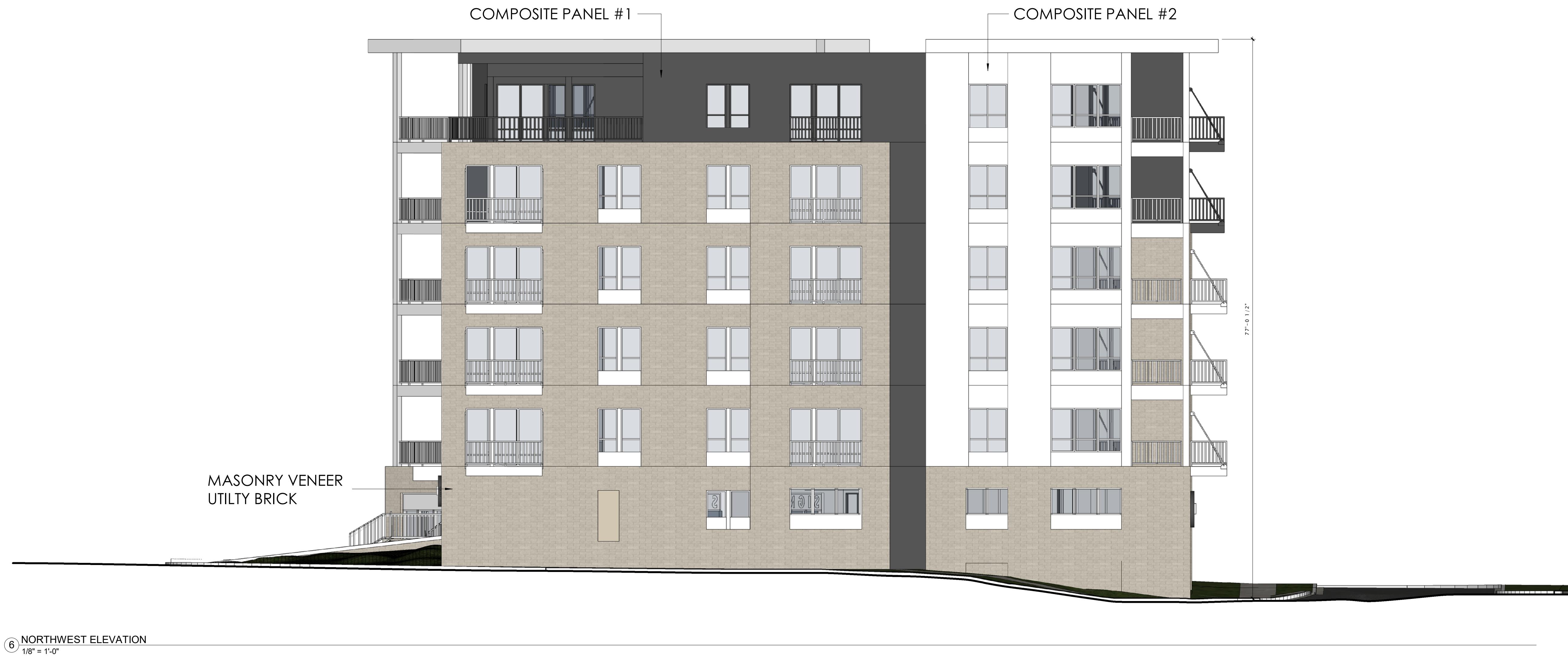


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REVISION SCHEDULE			
Mark	Description	Date	

**EXTERIOR ELEVATIONS
B&W**

SHEET NUMBER
A501-B



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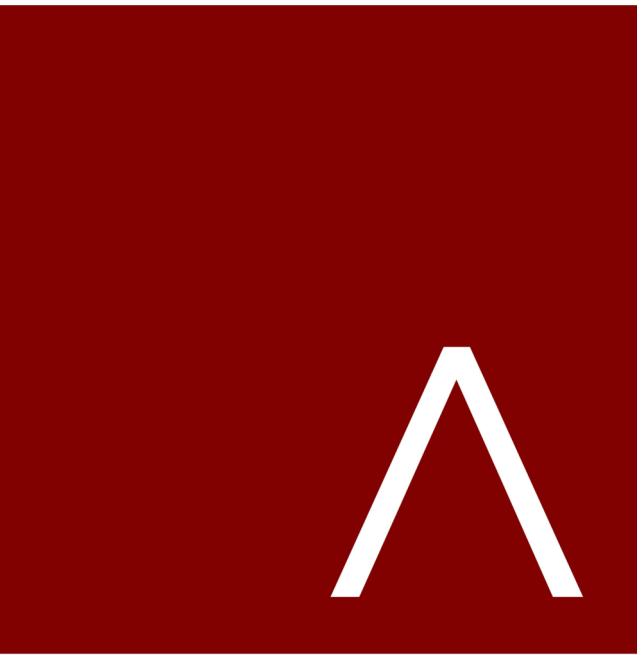
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DATE OF ISSUANCE	JANUARY 4th, 2023	
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Mark	Description	Date

SHEET TITLE

A502-A

SHEET NUMBER

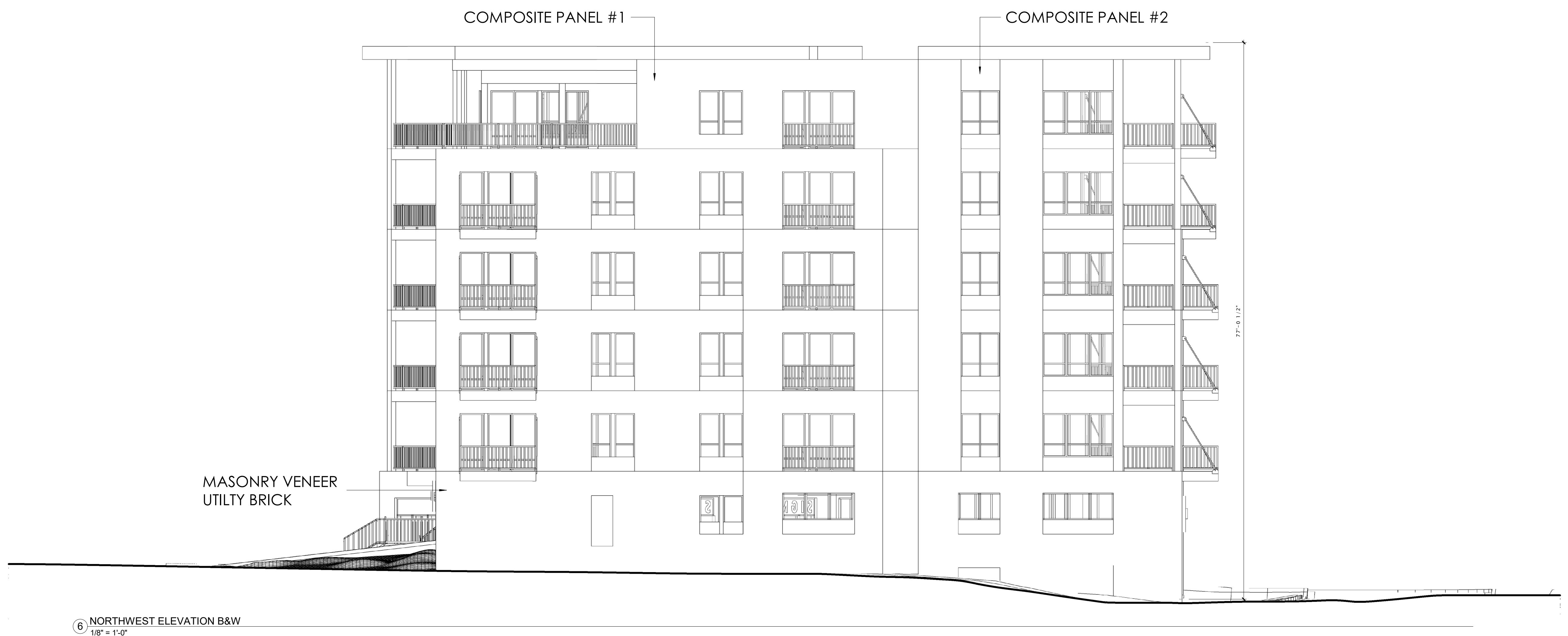


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MARKET SQUARE
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LAND USE APPLICATION
SUBMITTAL



PROGRESS DOCUMENTS

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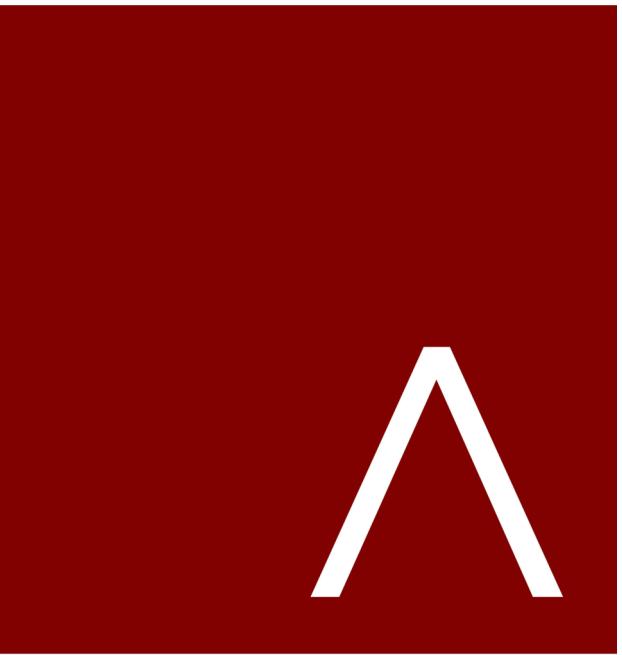
DATE OF ISSUANCE	JANUARY 4th, 2023	
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS
- B&W

SHEET NUMBER

A502-B



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SHEET TITLE

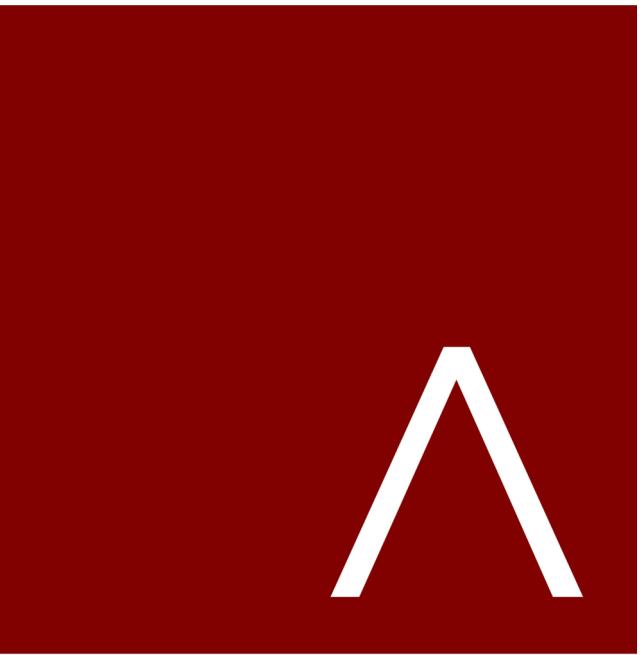
**EXTERIOR ELEVATIONS
- COLOR**

SHEET NUMBER

A503-A



⑥ SOUTHWEST ELEVATION B&W
1/8" = 1'-0"



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SHEET TITLE

EXTERIOR ELEVATIONS
- B&W

SHEET NUMBER

A503-B

MARKET SQUARE
BUILDING A1
LAND USE APPLICATION
SUBMITTAL

BIRD GLASS CALCULATIONS MARKET SQUARE
10/10/2022

50+ SQ FT AND REQUIRE A BIRD GLAZING SAFETY SYSTEM ON A MIN. OF 85% OF THE GLAZING

WINDOW DESIGNATION	WIDTH	HEIGHT	# OF PANES	AREA	WALL DESIGNATION													
					SOUTH ELEVATION		SOUTHWEST ELEVATION		NORTHWEST ELEVATION		NORTHEAST ELEVATION		SOUTHEAST ELEVATION		NORTH ELEVATION		EAST ELEVATION	
GLZ AREA	# WINDOW	GLZ AREA	# WINDOW	GLZ AREA	# WINDOW	GLZ AREA	# WINDOW	GLZ AREA	# WINDOW	GLZ AREA	# WINDOW	GLZ AREA	# WINDOW	GLZ AREA	# WINDOW	GLZ AREA	# WINDOW	
WINDOW A 6/0 X 6/0	5.7	5.7	4.0	32.5	32.5	1.0	194.9	6.0	292.4	9.0	292.4	9.0	130.0	4.0	130.0	4.0		
WINDOW B 3/0 X 8/0	2.7	7.7	1.0	20.8	249.5	12.0	499.0	24.0	207.9	10.0	311.9	15.0			207.9	10.0	62.4	3.0
WINDOW C 2/9 X 6/0	2.4	5.7	2.0	13.7	355.7	26.0	109.4	8.0	54.7	4.0							8.0	
WINDOW D 6/0 X 7/6	5.7	7.2	4.0	41.0	82.1	2.0	82.1	2.0	41.0	1.0	41.0	1.0	41.0	1.0	41.0	1.0	205.2	5.0
WINDOW E 3/0 X 6/0	2.7	5.7	2.0	15.4					61.6	4.0							107.7	7.0
WINDOW F 7/8 X 6/0	7.3	5.7	4.0	41.6					83.2	2.0								
WINDOW G 7/0 X 6/0	6.7	5.7	4.0	38.2							152.8	4.0						
WINDOW H 10/6 X 6/0	10.2	5.7	6.0	58.1							232.6	4.0						
WINDOW I 9/8 X 6/0	9.3	5.7	6.0	53.0									212.0	4.0				
WINDOW J 9/8 X 7/6	9.3	7.2	6.0	67.0									67.0	1.0				
WINDOW K 5/0 X 6/0	4.7	5.7	2.0	26.8													53.6	2.0
WINDOW L 5/0 X 6/0	2.7	7.2	2.0	19.4													38.9	2.0
WINDOW M 2/9 X 7/6	2.4	7.2	2.0	17.3													69.1	4.0
DOOR A 3/0 X 8/0	2.7	7.7	1.0	20.8							20.8	1.0						
					719.7	TOTAL GLZ	885.4	TOTAL GLZ	740.9	TOTAL GLZ	1,051.4	TOTAL GLZ	450.0	TOTAL GLZ	277.0	TOTAL GLZ	597.7	TOTAL GLZ
					6222	WALL AREA	8,480.0	WALL AREA	6,160.0	WALL AREA	7,126.0	WALL AREA	1,931.0	WALL AREA	4,744.0	WALL AREA	3,946.0	WALL AREA
					11.57%	% GLAZING	10.44%	% GLAZING	12.03%	% GLAZING	14.75%	% GLAZING	23.30%	% GLAZING	5.84%	% GLAZING	15.15%	% GLAZING

PATIO DESIGNATION	WIDTH	HEIGHT	# OF PANES	AREA	WALL DESIGNATION													
					SOUTH ELEVATION		SOUTHWEST ELEVATION		NORTHWEST ELEVATION		NORTHEAST ELEVATION		SOUTHEAST ELEVATION		NORTH ELEVATION		EAST ELEVATION	
GLZ AREA	# PATIO	GLZ AREA	# PATIO	GLZ AREA	# PATIO	GLZ AREA	# PATIO	GLZ AREA	# PATIO	GLZ AREA	# PATIO	GLZ AREA	# PATIO	GLZ AREA	# PATIO	GLZ AREA	# PATIO	
PATIO P 6/0 X 8/0	5.7	7.7	2.0	43.9	526.7	12.0	24.0	438.9	10.0	658.4	15.0	0.0	0.0	438.9	10.0	131.7	3.0	
					526.7	TOTAL GLZ	1053.4	TOTAL GLZ	438.9	TOTAL GLZ	658.4	TOTAL GLZ	0.0	TOTAL GLZ	438.9	TOTAL GLZ	131.7	TOTAL GLZ
					6222.0	WALL AREA	8480.0	WALL AREA	6160.0	WALL AREA	7126.0	WALL AREA	1931.0	WALL AREA	4744.0	WALL AREA	3946.0	WALL AREA
					8.46%	% GLAZING	12.42%	% GLAZING	7.13%	% GLAZING	9.24%	% GLAZING	0.00%	% GLAZING	9.25%	% GLAZING	3.34%	% GLAZING

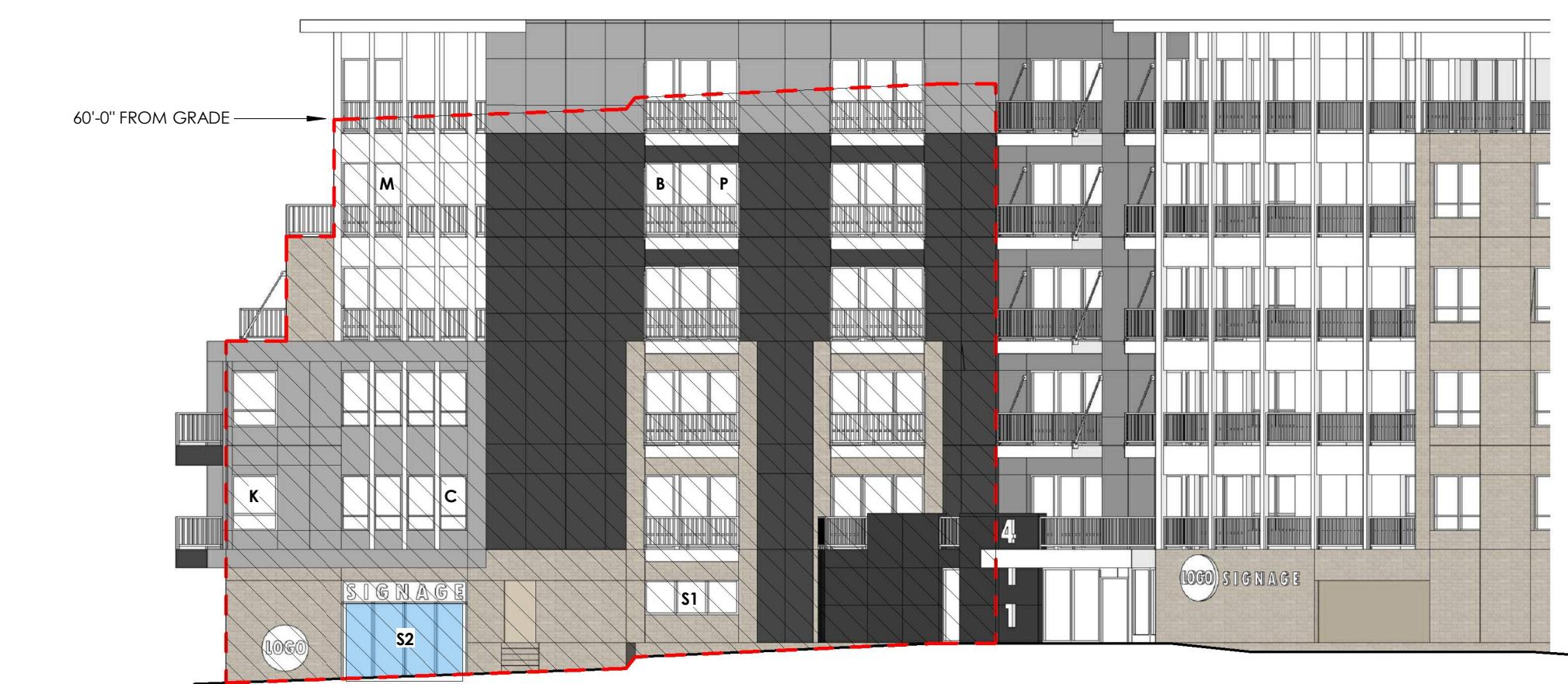
SF DESIGNATION	WIDTH	HEIGHT	# OF PANES	AREA	WALL DESIGNATION													
					SOUTH ELEVATION		SOUTHWEST ELEVATION		NORTHWEST ELEVATION		NORTHEAST ELEVATION		SOUTHEAST ELEVATION		NORTH ELEVATION		EAST ELEVATION	
GLZ AREA	# SF	GLZ AREA	# SF	GLZ AREA	# SF	GLZ AREA	# SF	GLZ AREA	# SF	GLZ AREA	# SF	GLZ AREA	# SF	GLZ AREA	# SF	GLZ AREA	# SF	
STOREFRONT 1 9/6 X 3/8	9.2	3.3	3.0	30.4	91.1	3.0	242.9	8.0	30.4	1.0					30.4	1.0		
STOREFRONT 2 12/6 X 8/4	12.3	8.0	4.0	98.4	98.4	1.0									98.4	1.0		
STOREFRONT 3 6/0 X 3/8	5.7	3.3	2.0	18.8					56.4	3.0								
STOREFRONT 4 6/0 X 8/4	5.7	8.0	2.0	45.6	45.6	1.0												
STOREFRONT 5 12/0 X 8/0	11.7	7.7	3.0	90.1							90.1	1.0						
STOREFRONT 6 8/0 X 8/0	7.7	7.7	3.0	59.3							118.6	2.0						
STOREFRONT 7 10/0 X 8/4	9.7	8.0	3.0	77.6													155.2	2.0
STOREFRONT 8 10/0 X 8/4	14.7	8.0	4.0	117.6													235.2	2.0
					235.1	TOTAL GLZ	242.9	TOTAL GLZ	86.8	TOTAL GLZ	208.7	TOTAL GLZ	0.0	TOTAL GLZ	128.8	TOTAL GLZ	390.4	TOTAL GLZ
					6222.0	WALL AREA	8480.0	W										



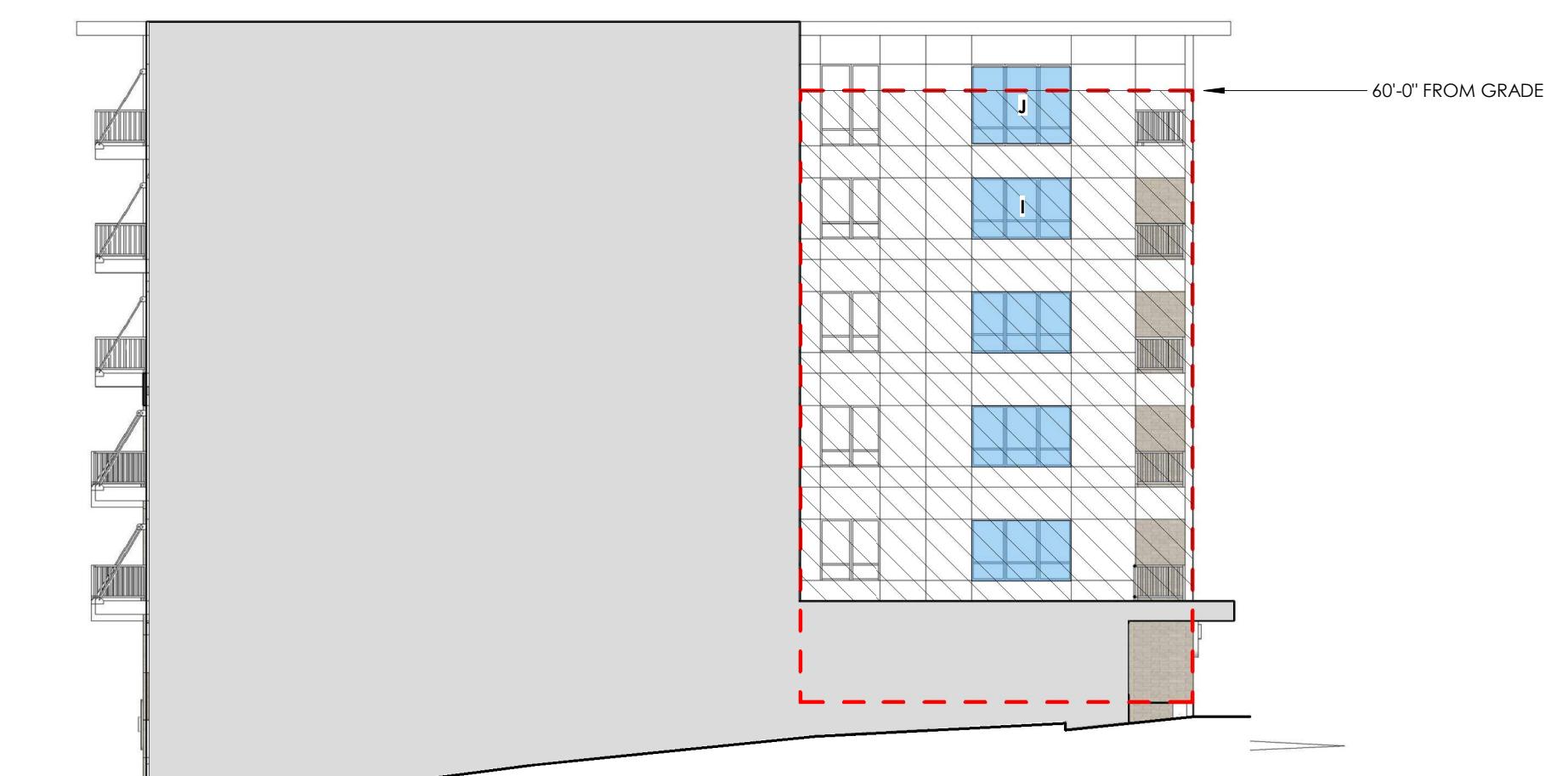
GLAZING KEYNOTES

A: WINDOW 6/0 X 6/0
 B: WINDOW 3/0 X 8/0
 C: WINDOW 4/0 X 6/0
 D: WINDOW 4/0 X 16
 E: WINDOW 3/0 X 6/0
 F: WINDOW 7/8 X 6/0
 G: WINDOW 7/0 X 6/0
 H: WINDOW 6/0 X 6/0
 I: WINDOW 9/8 X 16
 J: WINDOW 9/8 X 7/6
 K: WINDOW 5/0 X 6/0
 L: WINDOW 3/0 X 7/6
 M: WINDOW 2/9 X 7/6
 D1: DOOR 3/0 X 8/0
 P: PATIO DOOR 6/0 X 8/0
 S1: STOREFRONT 9/6 X 3/8
 S2: STOREFRONT 9/6 X 6/4
 S3: STOREFRONT 4/0 X 3/8
 S4: STOREFRONT 6/0 X 8/4
 S5: STOREFRONT 12/0 X 8/0
 S6: STOREFRONT 8/0 X 8/0
 S7: STOREFRONT 10/0 X 8/4
 S8: STOREFRONT 15/0 X 8/4

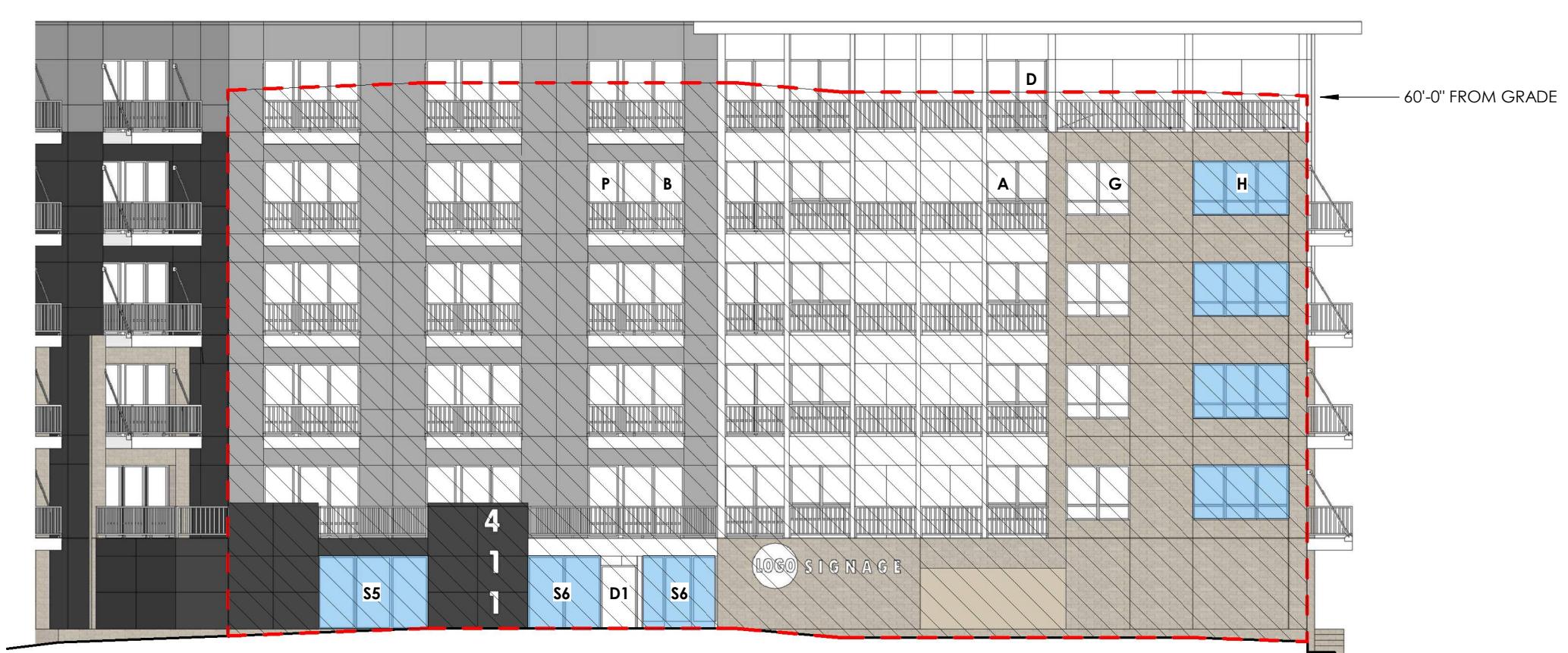
(2) EAST ELEVATION BIRD GLASS
1/16" = 1'-0"



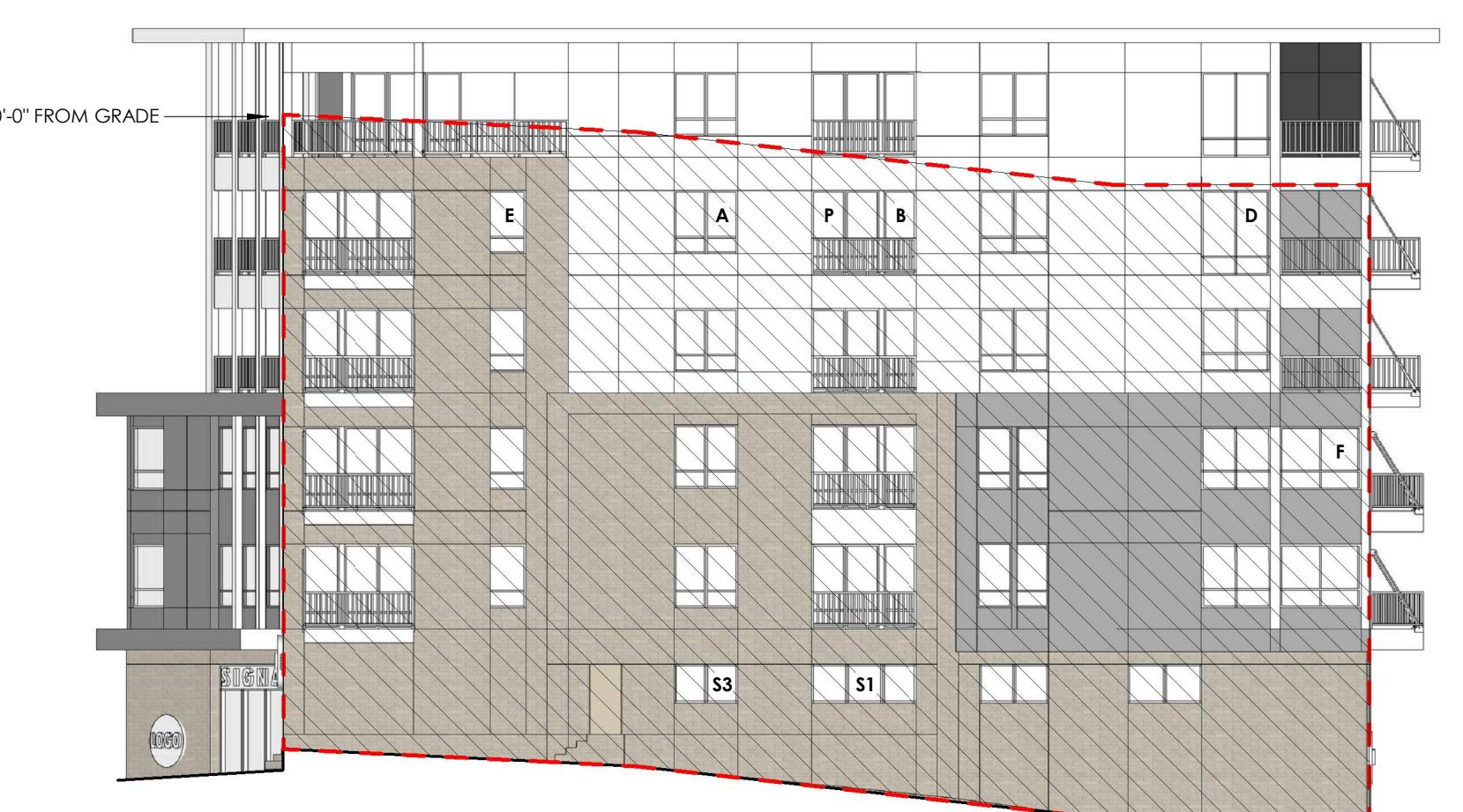
(7) NORTH ELEVATION BIRD GLASS
1/16" = 1'-0"



(9) SOUTHEAST ELEVATION BIRD GLASS
1/16" = 1'-0"



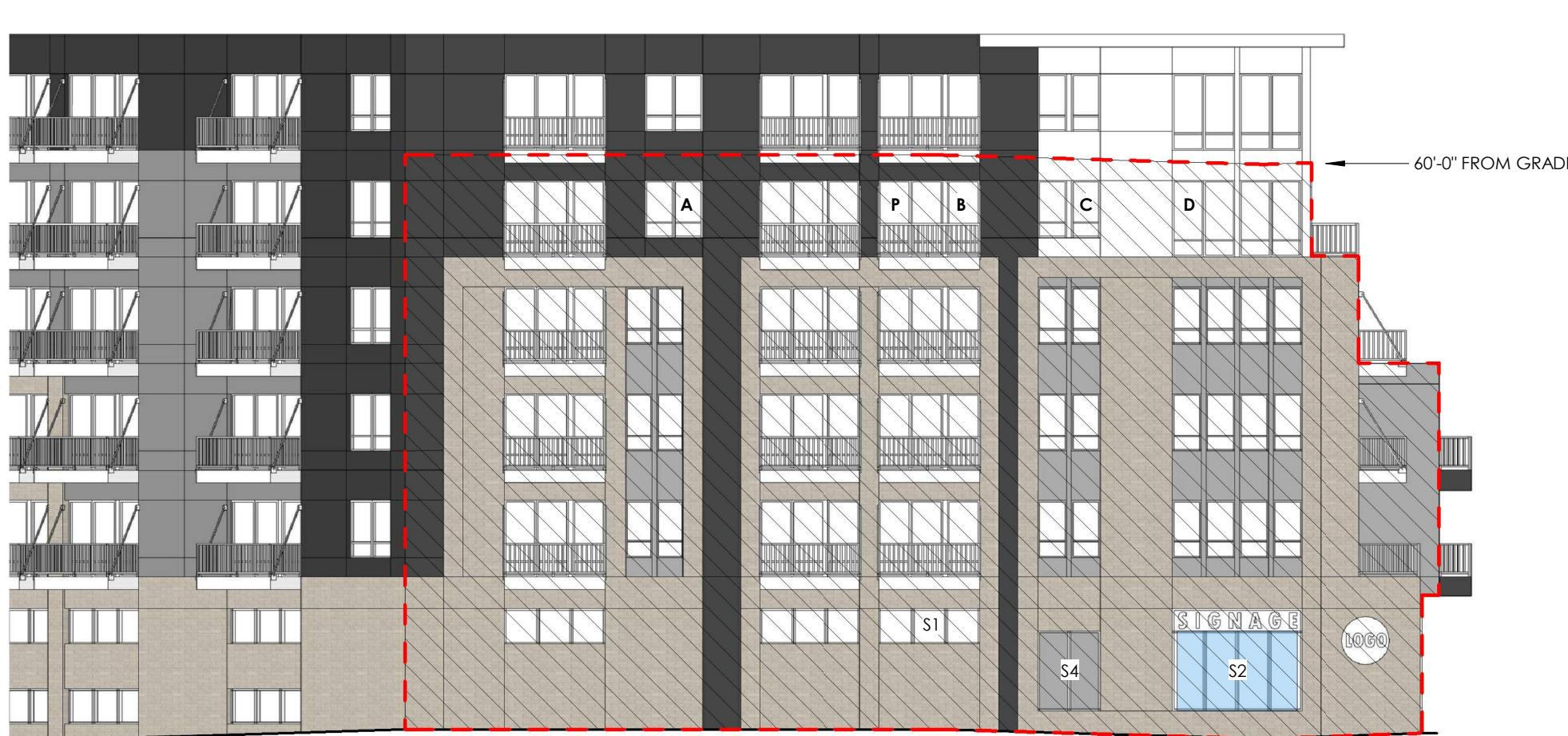
(12) NORTHEAST ELEVATION BIRD GLASS
1/16" = 1'-0"



(14) NORTHWEST ELEVATION BIRD GLASS
1/16" = 1'-0"



(17) SOUTHWEST ELEVATION BIRD GLASS
1/16" = 1'-0"



(19) SOUTH ELEVATION BIRD GLASS
1/16" = 1'-0"

MARKET SQUARE BUILDING A1 LAND USE APPLICATION SUBMITTAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE JANUARY 4th, 2023

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

BIRD GLASS EXTERIOR ELEVATIONS

SHEET NUMBER

A801