



City of Madison

Proposed Demolition and Conditional Use

Location
925-927 & 931-933 West Johnson Street

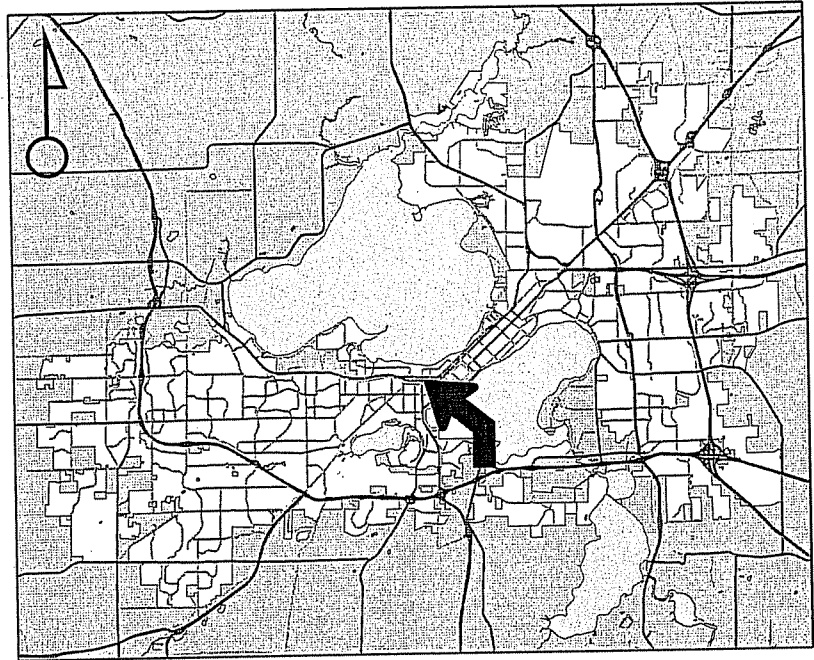
Project Name
UW Lot 61 Expansion

Applicant
Board of Regents of the UW System/
Gary Brown - UW-Madison

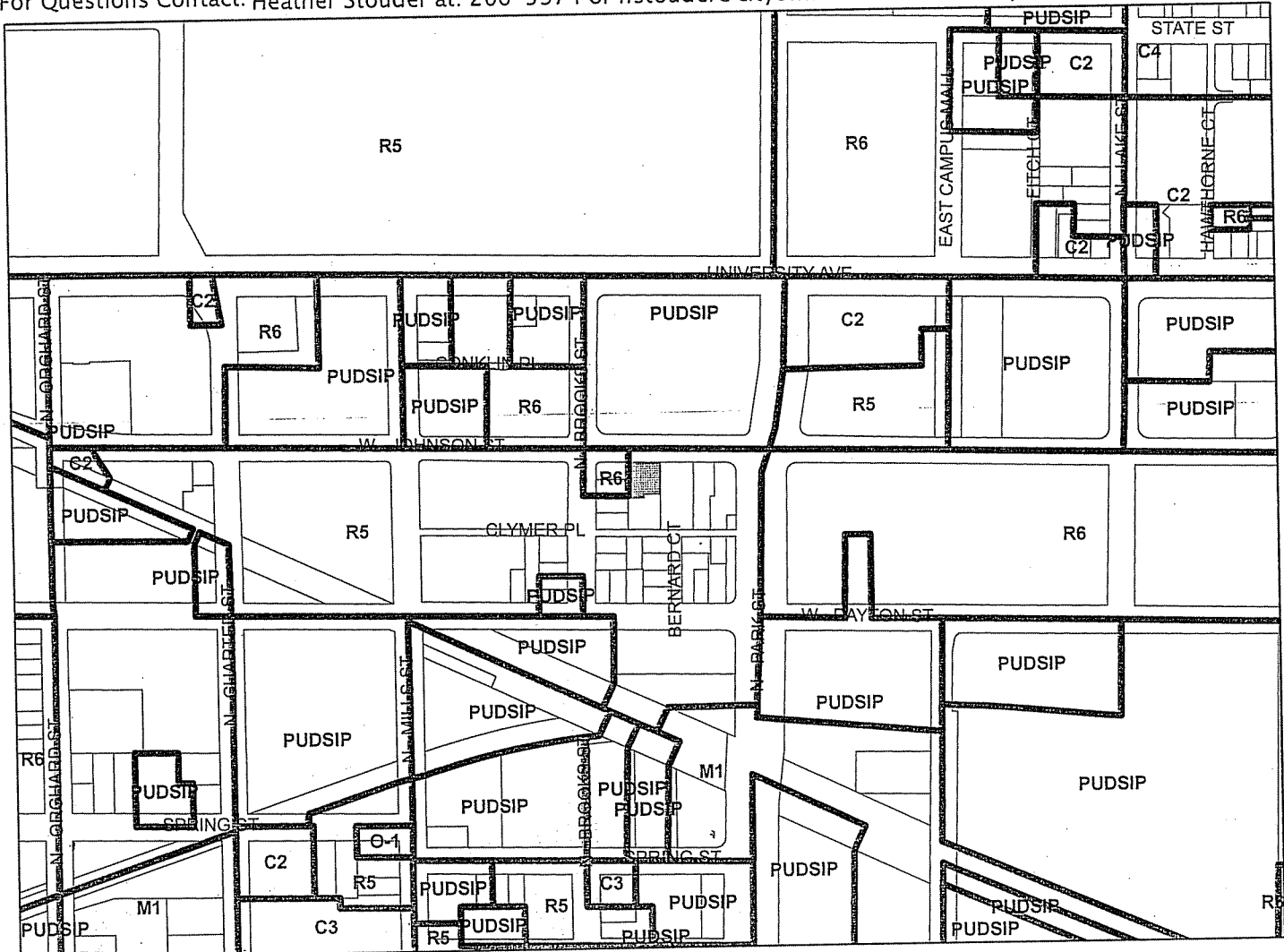
Existing Use
Two residential buildings

Proposed Use
Demolish two residential buildings to
construct temporary surface parking lot

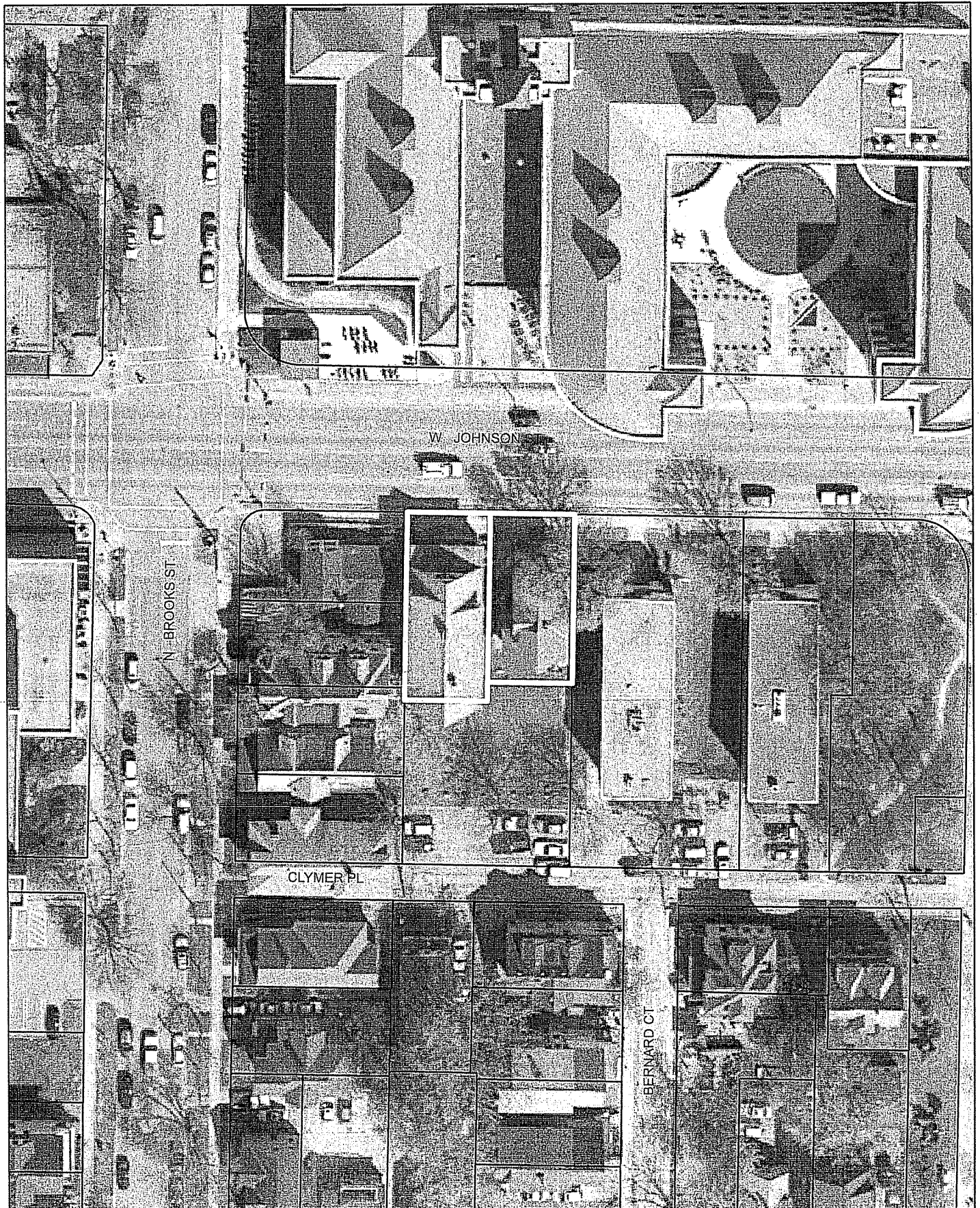
Public Hearing Date
Plan Commission
21 May 2012



For Questions Contact: Heather Stouder at: 266-5974 or hstouder@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'





LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed with the Subdivision Application.
- Before filing your application, please review the information regarding the **LOBBYING ORDINANCE** on the first page.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All Land Use Applications should be filed directly with the Zoning Administrator.

FOR OFFICE USE ONLY:	
Amt. Paid _____	Receipt No. _____
Date Received _____	
Received By: _____	
Parcel No.: _____	
Aldermanic District _____	
GQ _____	
Zoning District _____	
For Complete Submittal	
Application _____	Letter of Intent _____
IDUP _____	Legal Descript. _____
Plan Sets _____	Zoning Text _____
Alder Notification _____	Waiver _____
Ngbrhd. Assn Not. _____	Waiver _____
Date Sign Issued _____	

1. **Project Address:** 925-927 & 931-933 W. Johnson Street **Project Area in Acres:** 0.3059

Project Title (if any): UW-Madison Lot 61 Expansion and Two Building Demolition

2. **This is an application for:**

Zoning Map Amendment (check the appropriate box(es) in only one of the columns below)		
<input type="checkbox"/> Rezoning to a Non-PUD or PCD Zoning Dist.: Existing Zoning: _____ to _____ Proposed Zoning (ex: R1, R2T, C3): _____	Rezoning to or Amendment of a PUD or PCD District: <input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-GDP <input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-SIP <input type="checkbox"/> Amended Gen. Dev. <input type="checkbox"/> Amended Spec. Imp. Plan	
<input checked="" type="checkbox"/> Conditional Use	<input checked="" type="checkbox"/> Demolition Permit	<input type="checkbox"/> Other Requests (Specify): _____

3. **Applicant, Agent & Property Owner Information:**

Applicant's Name: Gary A. Brown Company: University of Wisconsin-Madison
 Street Address: 610 Walnut Street City/State: Madison, WI Zip: 53726
 Telephone: (608) 263-3023 Fax: (608) 265-3139 Email: gbrown@fpm.wisc.edu

Project Contact Person: Gary A. Brown Company: University of Wisconsin-Madison
 Street Address: 610 Walnut Street City/State: Madison, WI Zip: 53726
 Telephone: (608) 263-3023 Fax: (608) 265-3139 Email: gbrown@fpm.wisc.edu

Property Owner (if not applicant): Board of Regents of the UW System
 Street Address: 1220 Linden Drive City/State: Madison, WI Zip: 53706

4. **Project Information:**

Provide a brief description of the project and all proposed uses of the site: _____
Removal of vacant buildings, construction of a new, temporary surface parking lot.

Development Schedule: Commencement June 2012 Completion August 2012

5. Required Submittals:

- Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
 - **7 copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
 - **7 copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
 - **1 copy** of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper
- Letter of Intent (12 copies):** describing this application in detail including, but not limited to: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor. For any application for rezoning, the description must be submitted as an electronic word document via CD or e-mail. For applications proposing rezoning to more than one district, a separate description of each district shall be submitted.
- Filing Fee:** \$ N/A See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*
- Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

In Addition, The Following Items May Also Be Required With Your Application:

- For any applications proposing demolition or removal of existing buildings, the following items are required:
 - Prior to the filing of an application, the applicant or his/her agent is required to notify a list of interested persons registered with the City **30 or 60 days prior to filing** their application using the online notification tool found at: <https://www.cityofmadison.com/developmentCenter/demolitionNotification/>
 - A photo array (6-12 photos) of the **interior and exterior** of the building(s) to be demolished or removed. A written assessment of the condition of the building(s) to be demolished or removed is highly recommended.
 - Note: A Reuse and Recycling Plan approved by the City's Recycling Coordinator is required prior to issuance of wrecking permits and the start of construction.
- Zoning Text (12 copies):** must accompany Planned Community or Planned Unit Development (PCD/PUD) submittals.

6. Applicant Declarations:

- Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:
 - The site is located within the limits of 2005 Campus Master Plan Plan, which recommends: _____ for this property.
- Pre-application Notification:** Section 28.12 of the Zoning Code requires that the applicant notify the district alder and any nearby neighborhood & business associations in writing no later than **30 days** prior to filing this request:
 - List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:
 - Alder Scott Resnick - 1/26/12
 - NOTE: If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.
- Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.
 - Planning Staff: Tim Parks Date: 2/16/12 Zoning Staff: Matt Tucker Date: 2/16/12
- Check here if this project will be receiving a public subsidy.** If so, indicate type in your Letter of Intent.

The signer attests that this form is accurately completed and all required materials are submitted:

Printed Name Gary A. Brown Date 4/3/12
 Signature Gary A. Brown Relation to Property Owner Owner's Representative
 Authorizing Signature of Property Owner Gary A. Brown Date 4/3/12



WISCONSIN
UNIVERSITY OF WISCONSIN-MADISON

April 4, 2012

Mr. Matthew Tucker
City of Madison Zoning Administrator
215 Martin Luther King Jr. Blvd
Rm. LL-100, Municipal Bldg
Madison, WI 53710

**RE: DEMOLITION/CONDITION USE PERMIT APPLICATION – Letter of Intent
LOT 61 EXPANSION AND TWO BUILDING DEMOLITION
925 & 931 W. Johnson Street
University of Wisconsin-Madison**

Dear Mr. Tucker,

This is an application for demolition of two vacant structures located at 925-927 and 931-933 W. Johnson Street and a Condition Use Permit for construction of a new surface parking lot. This application is being submitted for Plan Commission action at their May 21, 2012 meeting. Demolition of the buildings is scheduled to begin in June 2012 and be completed by July 2012. Construction of the parking lot would be completed in August 2012. All land is owned by the Board of Regents of the University of Wisconsin System.

Application Materials

- Zoning Application
- Plans (7 full size copies, 7 reduced size 11" x 17" copies, 1 letter size copy)
- Letter of Intent (12 copies)
- Photos
- Legal Description

Project Participants

Owner: State of Wisconsin
 Agency: University of Wisconsin System
 Board of Regents
 Room 1860 Van Hise Hall
 1220 Linden Drive
 Madison, Wisconsin 53706

Owner's Contact: University of Wisconsin – Madison
 Facilities Planning and Management
 610 Walnut Street
 Madison, Wisconsin 53726
 Phone: 608-263-3023
 Fax: 608-265-3139
 Attn: Gary Brown
 E-Mail: gbrown@fpm.wisc.edu

Facilities Planning & Management

9th Floor WARF Building 610 Walnut Street Madison, Wisconsin 53726-2397
 (608) 263-3000 FAX (608) 265-3139 TTY (608) 265-5147

Engineer:

Edge Consulting Engineers, Inc.
624 Water Street
Prairie du Sac, WI 53578
Phone: 608-644-1449
Fax: 608-644-1549
Attn: Arlen Ostreng, P.E.
E-Mail: aostreng@edgeconsult.com

Project Description:

The University Of Wisconsin – Madison is proposing to remove two structures located at 925-927 and 931-933 W. Johnson Street and expand an existing temporary surface parking lot on the two lots. The structures are vacant and are at continual risk for break-in and vandalism. The buildings are in very poor condition. The unoccupied buildings pose a risk to public safety in their current condition.

The proposed expanded surface parking lot will replace an existing small 12-space lot along Clymer Place. The new lot will have 32 permit parking spaces (net increase of 20 spaces) with extensive landscape screening, lighting and stormwater management control. See attached plans. The use will be temporary until the University acquires the remaining parcels on the north half of the block for future university academic/research development, as outlined in the approved 2005 Campus Master Plan. Until the block is redeveloped, demolition of the structures eliminates the risk to public safety and allows the temporary parking lot to provide an immediate benefit to the University by creating needed additional parking spaces lost to development elsewhere in this part of the campus.

Pictures of the existing buildings (interior & exterior) are attached. The buildings are described as follows:

925-927 West Johnson Street (Parcel #0709-232-1505-2)

This two and one-half story wood frame, two-flat residence was acquired by the University in 1999. The University leased it for student housing up until 2009 when it became vacant. The house was built in 1909 as a single family residence and has a total living area of 2,070 square feet. The exterior of the building is wood shingles over a wood frame. Asphalt shingles cover the roof. The structure is in very poor condition with numerous holes in the walls, cracks in the walls and ceiling, water damage, evidence of mold and a crumbling foundation.

931 West Johnson Street (Parcel #0709-232-1506-0)

This three and one-half story wood frame rooming house was acquired by the University in 2000. The University had leased it for student housing up until 2007 when it became vacant. The building was built in 1909 as a rooming house and has a total living area of 8,056 square feet. The exterior of the building is brick and stucco over a wood frame. Asphalt shingles cover the roof. The structure is in very poor condition with numerous holes in the walls, cracks in the walls and ceiling, water damage, evidence of mold and a crumbling foundation.

Schedule:

Begin Demolition:	June 25, 2012
Complete Demolition:	July 20, 2012
Begin Parking Lot Construction:	August 1, 2012
Complete Parking Lot Construction:	August 31, 2012

The project was presented to the City of Madison Development Assistance Team on February 16, 2012. The on-line notification for building demolition was made January 26, 2012. The alder was notified on January 26, 2012.

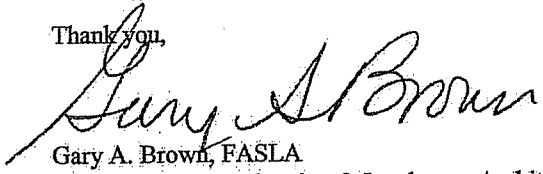
Legal Description of Site

Lot 2, Block 16 of the University Addition to Madison.

Lighting and signage for the new parking lot will be in conformance with Campus standards. All maintenance will be performed by UW Facilities Staff including snow removal.

Please contact me at 608-263-3023 if you have any questions or need further information.

Thank you,



Gary A. Brown, FASLA
Director, Campus Planning & Landscape Architecture
Facilities Planning & Management, University of Wisconsin-Madison

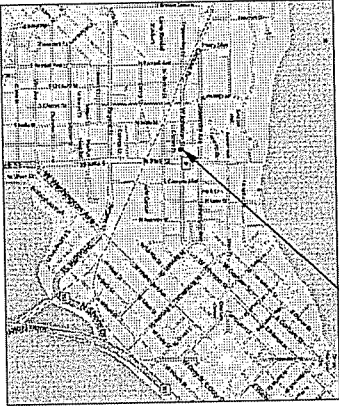
Xc: Matt Collins, UW-Madison FP&M Project Manager
Timothy Stratton, DOA/DSF Project Manager

Alder Scott Resnick, District 8



SITE LOCATION MAP

SCALE: NTS



SITE LOCATION



TWO BUILDING DEMOLITION UNIVERSITY OF WISCONSIN - MADISON MADISON, WISCONSIN

PRELIMINARY REVIEW DRAWINGS DSF # 11H1M

PROJECT DIRECTORY

A/E CONSULTANT:
EDGE CONSULTING ENGINEERS, INC.
624 WATER STREET
PRAIRIE DU SAC, WI 53578
CONTACT: ARLEN OSTRENG
PHONE: 608.644.1449
FAX: 608.644.1549

PROJECT INFO

SITE LOCATION:
925 & 931 WEST JOHNSON ST
MADISON, WI 53715-1023

PROJECT MANAGER:

DSF
101 E. WILLSON STREET
P.O. BOX 7866
MADISON, WI 53707
CONTACT: TIM STRATTON
PHONE: 608.261.4348

AGENCY CONTACT:

UW-MADISON
985 WARF BUILDING
610 WALNUT STREET
MADISON, WISCONSIN 53726
CONTACT: MATT COLLINS
PHONE: 608.263.3031

SHEET INDEX

NO.	PAGE TITLE
T100	TITLE SHEET
C100	EXISTING SITE PLAN
C101	DEMOLITION/REMOVAL PLAN
C200	SITE PLAN
C201	SITE GRADING/UTILITY PLAN
C202	EROSION CONTROL PLAN
C300	SITE DETAILS
C301	SITE DETAILS

ENGINEER SEAL:

I HEREBY CERTIFY THAT THIS PLAN SET WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND AFTER THE LAWS OF THE STATE OF WISCONSIN.

SIGNATURE: _____

DATE: _____

CALL DICERS HOTLINE
1-800-242-8511
TOLL FREE

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND DIG IN WISCONSIN
FAX A LOCATE 1-800-338-3800
WIS. STATUTE 182.0175 (1974)
FOR FURTHER INFORMATION 1-800-338-2289
REGISTER BEFORE YOU EXCAVATE.

NO.	DATE	BY	REVISION

Scale	SEE DRAWING
DD Number	11H1M
SD Year	PR
Issue Date	01/12/2012
Sheet Number	T100

TWO BUILDING DEMOLITION
UNIVERSITY OF WISCONSIN - MADISON
MADISON, WISCONSIN

Sheet Title:
TITLE SHEET

State of Wisconsin
Department of Administration
Division of State Facilities

Project Address:
925 AND 931 WEST JOHNSON ST
MADISON, WI 53715-1023

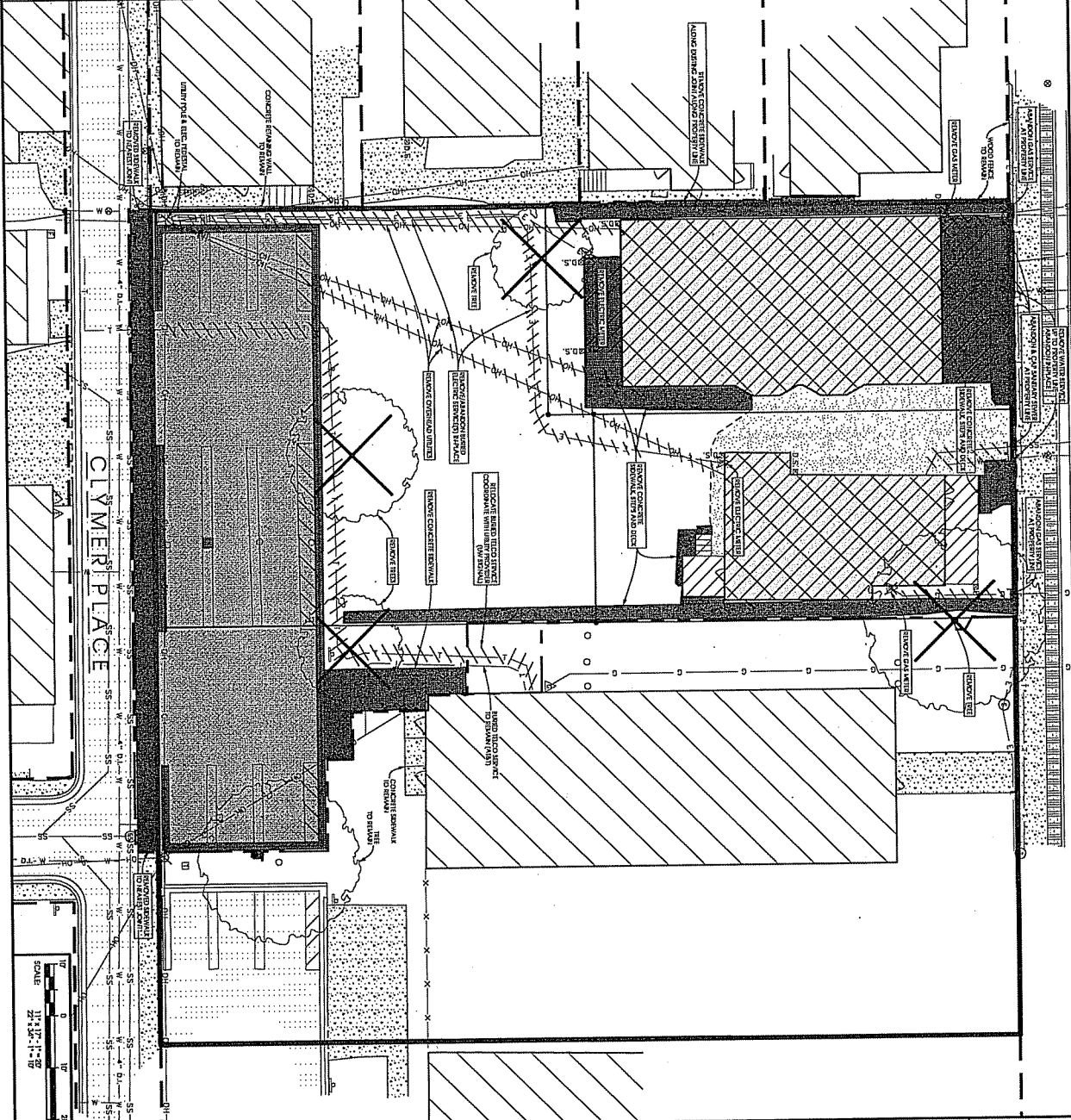
Edge
Consulting Engineers, Inc.
4470 Wood River Road
Madison, WI 53719
608.261.1549
www.edgeinc.com



DEMOLITION LEGEND

	CONCRETE REMOVAL
	REMOVING CONCRETE
	REMOVING ASPHALT
	REMOVING METAL
	REMOVING BRICK
	REMOVING STONE
	REMOVING ROOFING
	REMOVING GLASS
	REMOVING INSULATION
	REMOVING MECHANICAL
	REMOVING ELECTRICAL
	REMOVING PLUMBING
	REMOVING HVAC
	REMOVING INTERIORS
	REMOVING PARTS OF BUILDING
	REMOVING ROADS

- REMOVAL NOTES:**
1. ALL CONSTRUCTION MATERIALS SHALL BE REMOVED FROM THE PROJECT SITE AND Hauled to an approved landfill. The contractor shall be responsible for obtaining all necessary permits and approvals for the removal and disposal of all materials. The contractor shall be responsible for the removal and disposal of all materials. The contractor shall be responsible for the removal and disposal of all materials.
 2. ALL REMOVAL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. The contractor shall be responsible for the removal and disposal of all materials. The contractor shall be responsible for the removal and disposal of all materials.
 3. ALL REMOVAL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. The contractor shall be responsible for the removal and disposal of all materials. The contractor shall be responsible for the removal and disposal of all materials.
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Scale	SEE DRAWING
Sheet Number	1111A
Date	01/12/2012
Sheet Number	C101

TWO BUILDING DEMOLITION
UNIVERSITY OF WISCONSIN - MADISON
MADISON, WISCONSIN

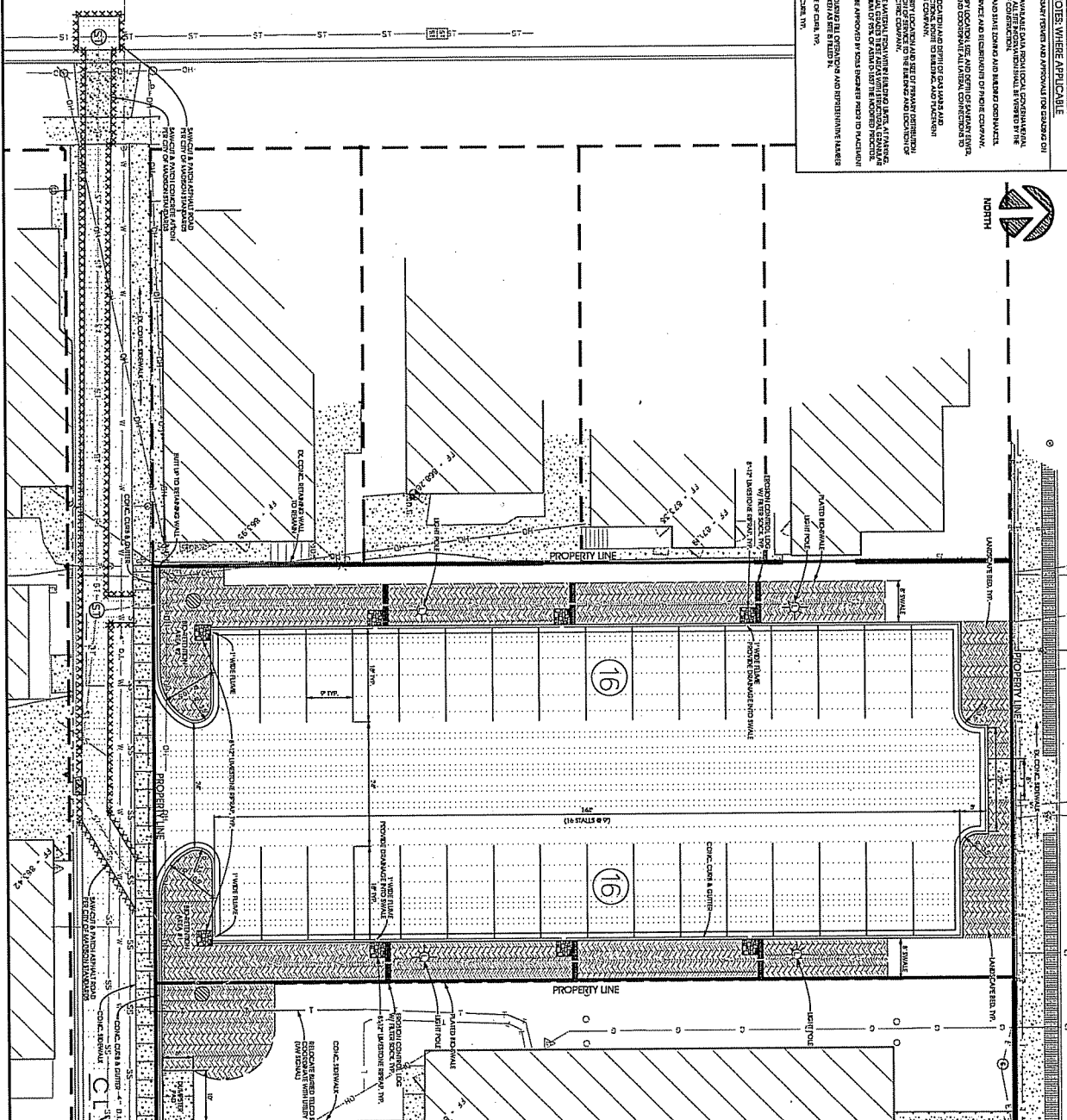
Sheet Title:
SITE DEMOLITION PLAN

State of Wisconsin
 Department of Administration
 Division of State Facilities

Project Address:
 925 AND 931 WEST JOHNSON ST
 MADISON, WI 53715-1023

Edge
 Consulting Engineers, Inc.
 4500 Westpark Drive
 Madison, WI 53713
 608.261.1234
 www.edgeinc.com

N. BROOKS STREET

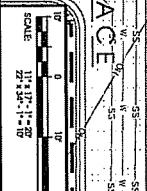


- GENERAL SITE NOTES, WHERE APPLICABLE:**
1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON BUILDING CODE AND ALL APPLICABLE ORDINANCES AND REGULATIONS. ALL PERMITS SHALL BE OBTAINED FROM THE CITY OF MADISON BEFORE CONSTRUCTION BEGINS.
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ZONING SUMMARY:

Zone Classification:	R-4 (Residential Medium Density)
Minimum Lot Area:	5,000 sq. ft.
Minimum Front Setback:	10 ft.
Minimum Side Setback:	5 ft.
Minimum Rear Setback:	5 ft.
Minimum Height:	12 ft.
Maximum Height:	35 ft.
Maximum Floor Area Ratio (FAR):	0.3
Maximum Density:	20 units per acre
Maximum Parking Ratio:	1.5 spaces per unit
Maximum Off-Street Parking:	20 spaces
Maximum Off-Street Parking Ratio:	1.5 spaces per unit
Maximum Off-Street Parking Setback:	10 ft.
Maximum Off-Street Parking Width:	10 ft.
Maximum Off-Street Parking Depth:	10 ft.
Maximum Off-Street Parking Height:	8 ft.
Maximum Off-Street Parking Slope:	2%
Maximum Off-Street Parking Surface:	Asphalt or concrete
Maximum Off-Street Parking Drainage:	Stormwater management
Maximum Off-Street Parking Lighting:	Low-glare lighting
Maximum Off-Street Parking Security:	Secure storage
Maximum Off-Street Parking Maintenance:	Regular maintenance
Maximum Off-Street Parking Safety:	Safe access
Maximum Off-Street Parking Accessibility:	ADA compliant
Maximum Off-Street Parking Signage:	Clear signage
Maximum Off-Street Parking Landscaping:	Landscaping
Maximum Off-Street Parking Fencing:	Fencing
Maximum Off-Street Parking Gates:	Gates
Maximum Off-Street Parking Driveways:	Driveways
Maximum Off-Street Parking Stairs:	Stairs
Maximum Off-Street Parking Ramps:	Ramps
Maximum Off-Street Parking Elevation:	Elevation
Maximum Off-Street Parking Slope:	Slope
Maximum Off-Street Parking Curvature:	Curvature
Maximum Off-Street Parking Sight Triangles:	Sight triangles
Maximum Off-Street Parking Visibility:	Visibility
Maximum Off-Street Parking Clearance:	Clearance
Maximum Off-Street Parking Obstructions:	Obstructions
Maximum Off-Street Parking Interference:	Interference
Maximum Off-Street Parking Conflicts:	Conflicts
Maximum Off-Street Parking Hazards:	Hazards
Maximum Off-Street Parking Risks:	Risks
Maximum Off-Street Parking Mitigation:	Mitigation
Maximum Off-Street Parking Prevention:	Prevention
Maximum Off-Street Parking Control:	Control
Maximum Off-Street Parking Enforcement:	Enforcement
Maximum Off-Street Parking Compliance:	Compliance
Maximum Off-Street Parking Adherence:	Adherence
Maximum Off-Street Parking Observance:	Observance
Maximum Off-Street Parking Recognition:	Recognition
Maximum Off-Street Parking Acknowledgment:	Acknowledgment
Maximum Off-Street Parking Acceptance:	Acceptance
Maximum Off-Street Parking Approval:	Approval
Maximum Off-Street Parking Authorization:	Authorization
Maximum Off-Street Parking Permission:	Permission
Maximum Off-Street Parking Consent:	Consent
Maximum Off-Street Parking Assent:	Assent
Maximum Off-Street Parking Acquiescence:	Acquiescence
Maximum Off-Street Parking Compliance:	Compliance
Maximum Off-Street Parking Adherence:	Adherence
Maximum Off-Street Parking Observance:	Observance
Maximum Off-Street Parking Recognition:	Recognition
Maximum Off-Street Parking Acknowledgment:	Acknowledgment
Maximum Off-Street Parking Acceptance:	Acceptance
Maximum Off-Street Parking Approval:	Approval
Maximum Off-Street Parking Authorization:	Authorization
Maximum Off-Street Parking Permission:	Permission
Maximum Off-Street Parking Consent:	Consent
Maximum Off-Street Parking Assent:	Assent
Maximum Off-Street Parking Acquiescence:	Acquiescence



Sheet Number:	C200
Date:	01/12/2012
Scale:	SEE DRAWING
Project Name:	11111
Client:	PR
Author:	
Checker:	
Approver:	
Revision:	
Notes:	

TWO BUILDING DEMOLITION
UNIVERSITY OF WISCONSIN - MADISON
MADISON, WISCONSIN

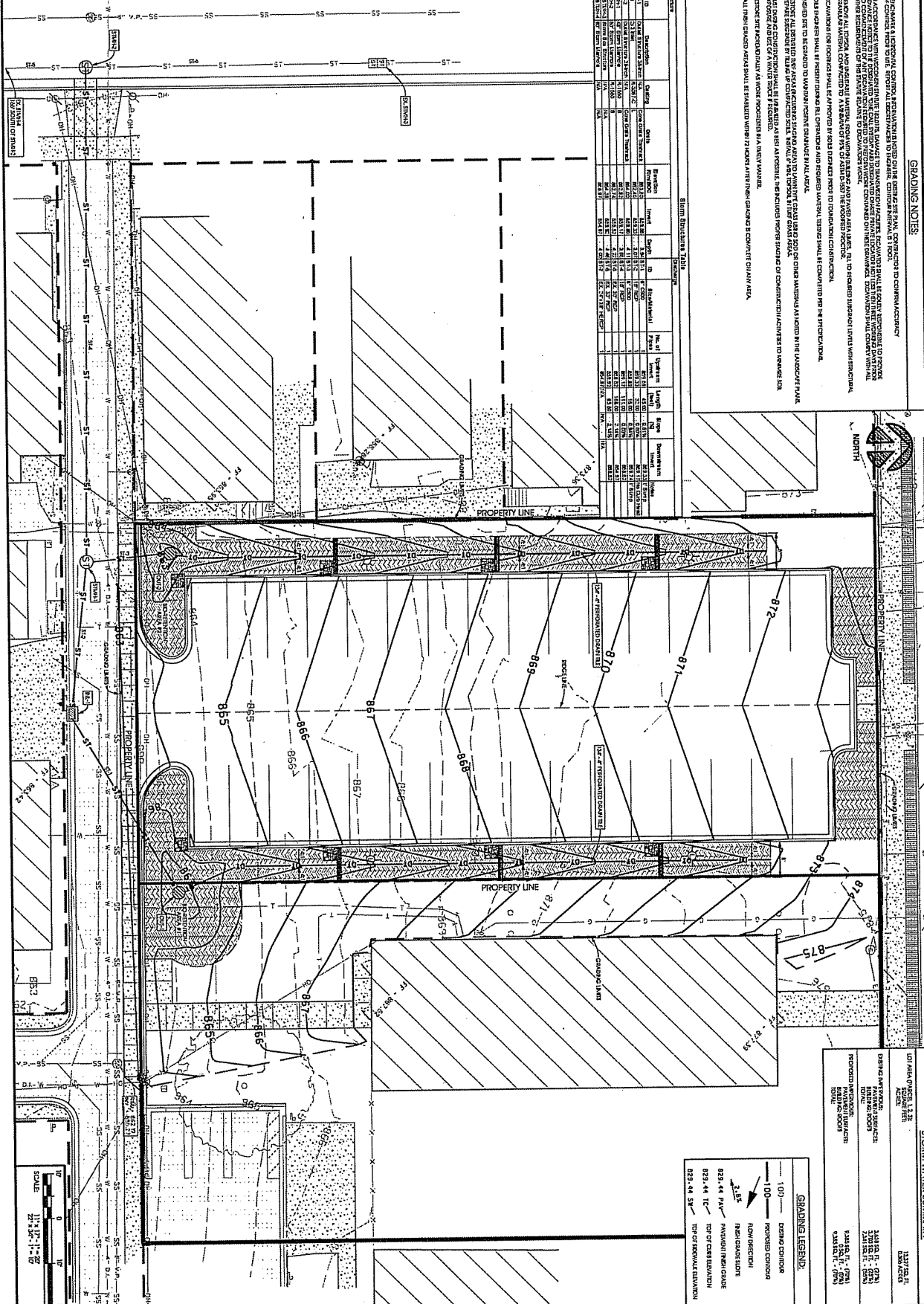
Sheet Title:
SITE PLAN



State of Wisconsin
 Department of Administration
 Division of State Facilities

Project Address:
 925 AND 931 WEST JOHNSON ST
 MADISON, WI 53715-1023





GRADING NOTES

1. FOR GRADING, REFER TO THE GRADING PLAN AND THE GRADING NOTES TO DETERMINE THE GRADING TO BE CONSIDERED.
2. ALL GRADING SHALL BE TO THE FINISHED GRADE UNLESS OTHERWISE NOTED.
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Sheet: 01/12/2012

ID	Description	Quantity	Unit	Material	Notes
001	DEMOLITION	1	EA	CONCRETE	
002	DEMOLITION	1	EA	BRICK	
003	DEMOLITION	1	EA	WOOD	
004	DEMOLITION	1	EA	GLASS	
005	DEMOLITION	1	EA	METAL	
006	DEMOLITION	1	EA	ASBESTOS	
007	DEMOLITION	1	EA	LEAD	
008	DEMOLITION	1	EA	PCB	
009	DEMOLITION	1	EA	HAZARDOUS	
010	DEMOLITION	1	EA	UNIDENTIFIED	

SITING WATER SUMMARY

Item	Description	Quantity	Unit
1	DEMOLITION	1	EA
2	DEMOLITION	1	EA
3	DEMOLITION	1	EA
4	DEMOLITION	1	EA
5	DEMOLITION	1	EA
6	DEMOLITION	1	EA
7	DEMOLITION	1	EA
8	DEMOLITION	1	EA
9	DEMOLITION	1	EA
10	DEMOLITION	1	EA

GRADING LEGEND

1.00'	EXISTING GRADE
2.00'	PROPOSED GRADE
3.00'	PROPOSED GRADE
4.00'	PROPOSED GRADE
5.00'	PROPOSED GRADE
6.00'	PROPOSED GRADE
7.00'	PROPOSED GRADE
8.00'	PROPOSED GRADE
9.00'	PROPOSED GRADE
10.00'	PROPOSED GRADE



State of Wisconsin
Department of Administration
Division of State Facilities

Project Address:
925 AND 931 WEST JOHNSON ST
MADISON, WI 53715-1023

TWO BUILDING DEMOLITION
UNIVERSITY OF WISCONSIN - MADISON
MADISON, WISCONSIN

Sheet Title:
SITE GRADING/UTILITY PLAN

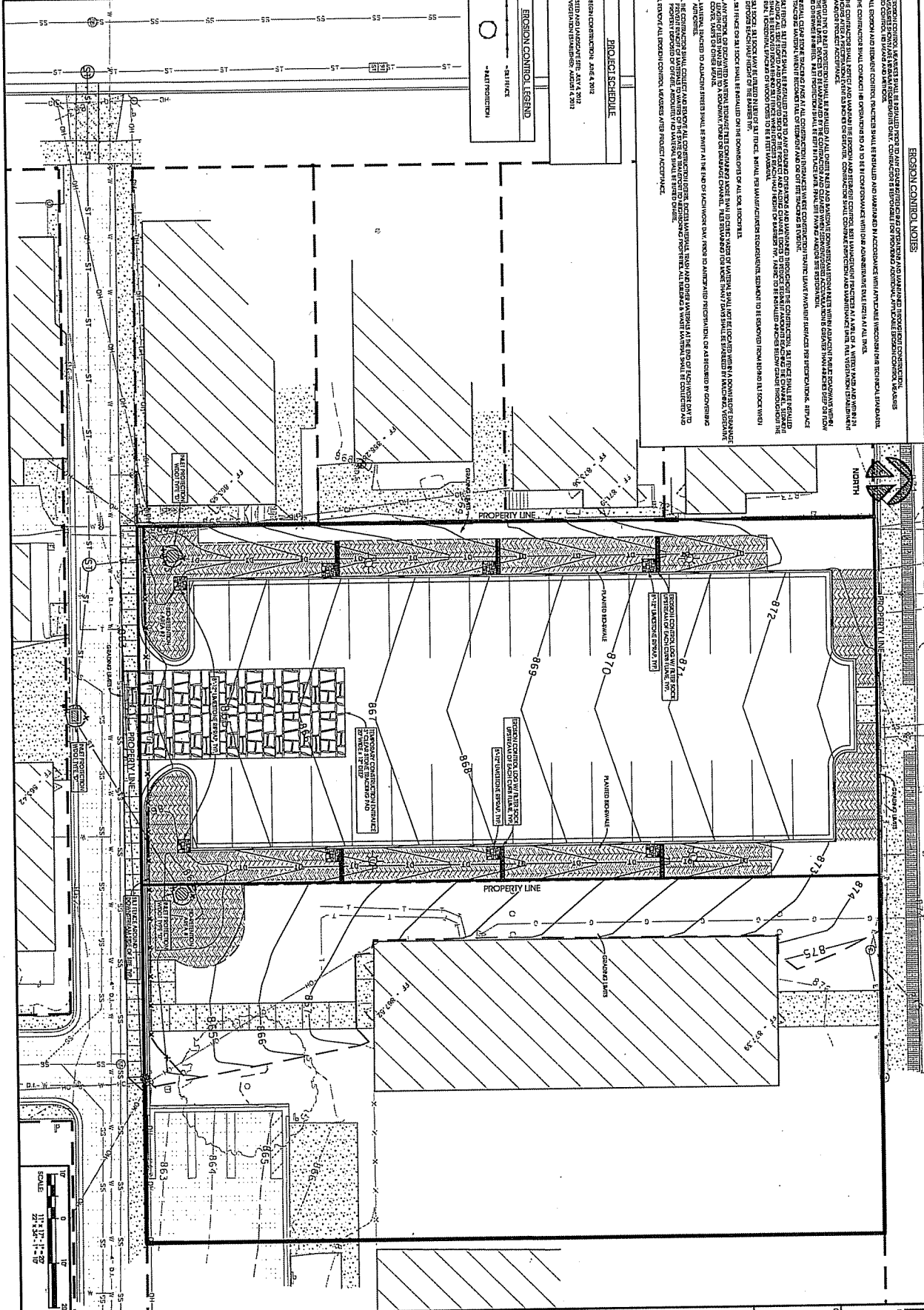
Revision	Date	Description
1	01/12/2012	PR

Scale: 1/4" = 1'-0"

Sheet Number: C201



Edge Construction
424 West Main Street
P.O. Box 1000
Madison, WI 53701
www.edgeconstruction.com



EROSION CONTROL NOTES

1. EROSION CONTROL MEASURES SHALL BE INSTALLED WITHIN 14 DAYS OF THE START OF CONSTRUCTION AND MAINTAINED THROUGHOUT CONSTRUCTION TO CONTROL SOIL EROSION AND SEDIMENTATION. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION TO CONTROL SOIL EROSION AND SEDIMENTATION. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION TO CONTROL SOIL EROSION AND SEDIMENTATION.
2. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE EROSION CONTROL PLAN AND THE EROSION CONTROL SCHEDULE.
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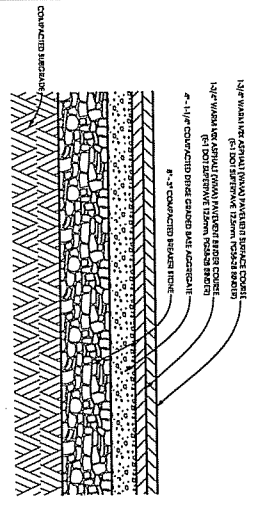
PROJECT SCHEDULE

EROSION CONTROL PLAN FOR 4.000
 TWO BUILDING DEMOLITION
 UNIVERSITY OF WISCONSIN - MADISON
 MADISON, WISCONSIN

EROSION CONTROL LEGEND

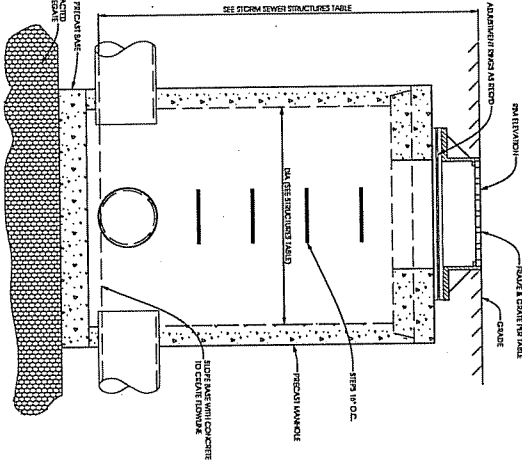
— SILT FENCE
 — SEDIMENT BASIN

<p>Edge Consulting Engineers, Inc. 424 West Street P.O. Box 1000, WI 53703 Madison, WI 53703 www.edgeinc.com</p>		<p>State of Wisconsin Department of Administration Division of State Facilities</p> <p>Project Address: 925 AND 931 WEST JOHNSON ST MADISON, WI 53715-1023</p>	
<p>TWO BUILDING DEMOLITION UNIVERSITY OF WISCONSIN - MADISON MADISON, WISCONSIN</p>			
<p>Sheet Title: EROSION CONTROL PLAN</p>			
<p>Scale: SEE DRAWING 1" = 100'</p>		<p>Date: 01/12/2012</p>	
<p>Sheet Number: C202</p>		<p>Project Number: 1111M</p>	

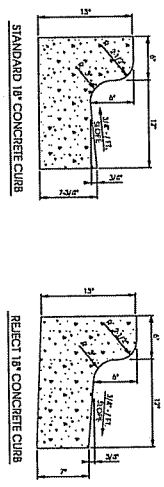


NOTES:
 1. ALL ASPHALT PAVEMENT TO REMAIN AS APHALT.
 2. PROPOSED NEW ASPHALT PAVEMENT SHALL BE 1 1/2\"/>

A **ASPHALT PAVEMENT SECTION**
 C300 SCALE 11' x 17' - NIS

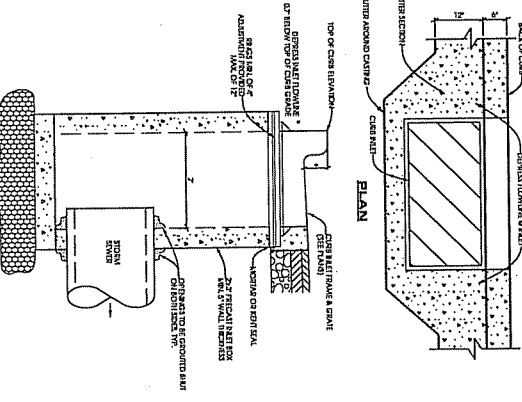


D **TYP. STORM SEWER MANHOLE**
 C300 SCALE 11' x 17' - NIS

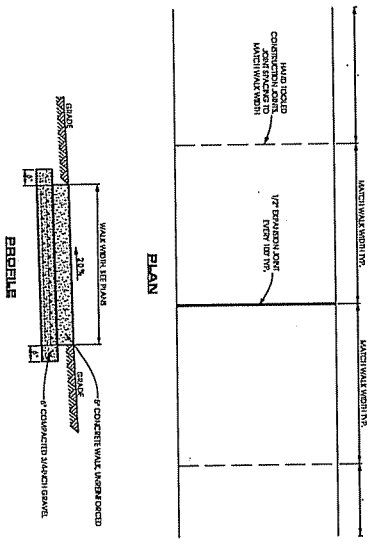


NOTES:
 1. LATERAL CONNECTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 10 FEET UNLESS OTHERWISE SPECIFIED. THE JOINT SHALL BE A MIN. OF 1/2\"/>

B **TYP. 18\"/>
 C300 SCALE 11' x 17' - NIS**

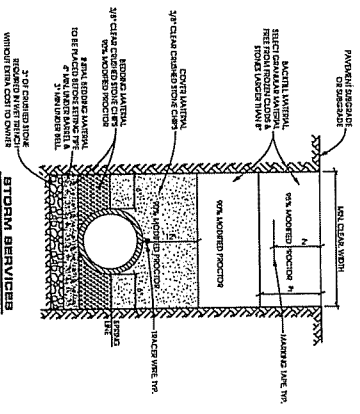


E **8' x 3' PRECAST STORM INLET DETAIL**
 C300 SCALE 11' x 17' - NIS
 22 X 34 - NIS



NOTES:
 1. CURB AND SIDEWALK TO BE 100% CONCRETE.

C **TYP. CONCRETE SIDEWALK DETAIL**
 C300 SCALE 11' x 17' - NIS



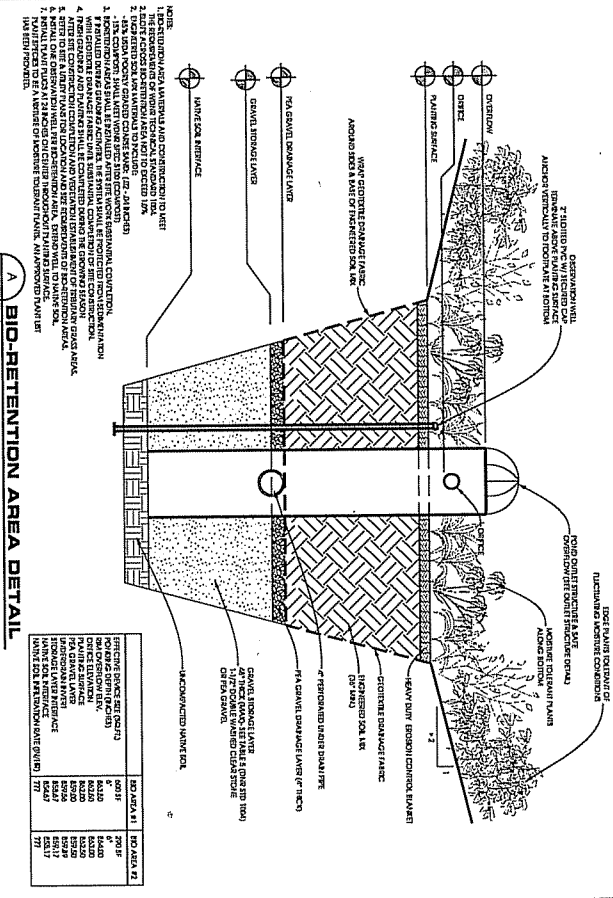
F **PIPE BEDDING DETAILS**
 C300 SCALE 11' x 17' - NIS

TWO BUILDING DEMOLITION UNIVERSITY OF WISCONSIN - MADISON MADISON, WISCONSIN	
Sheet Title:	SITE DETAILS
Revision:	NO. DATE BY
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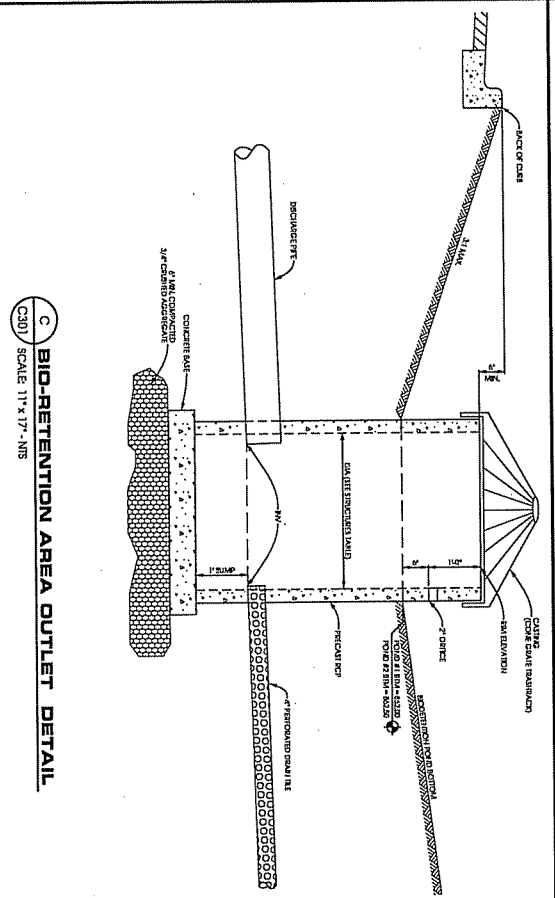
State of Wisconsin
 Department of Administration
 Division of State Facilities

Project Address:
 925 AND 931 WEST JOHNSON ST
 MADISON, WI 53715-1023

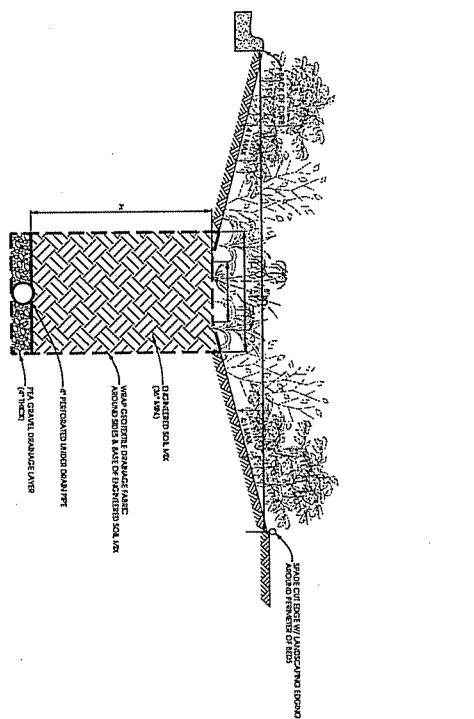
Edge
 Consulting Engineers, Inc.
 424 West Street
 P.O. Box 1000
 Madison, WI 53701
 608.261.1511
 www.edgeinc.com



A BIO-RETENTION AREA DETAIL
SCALE: NOT TO SCALE

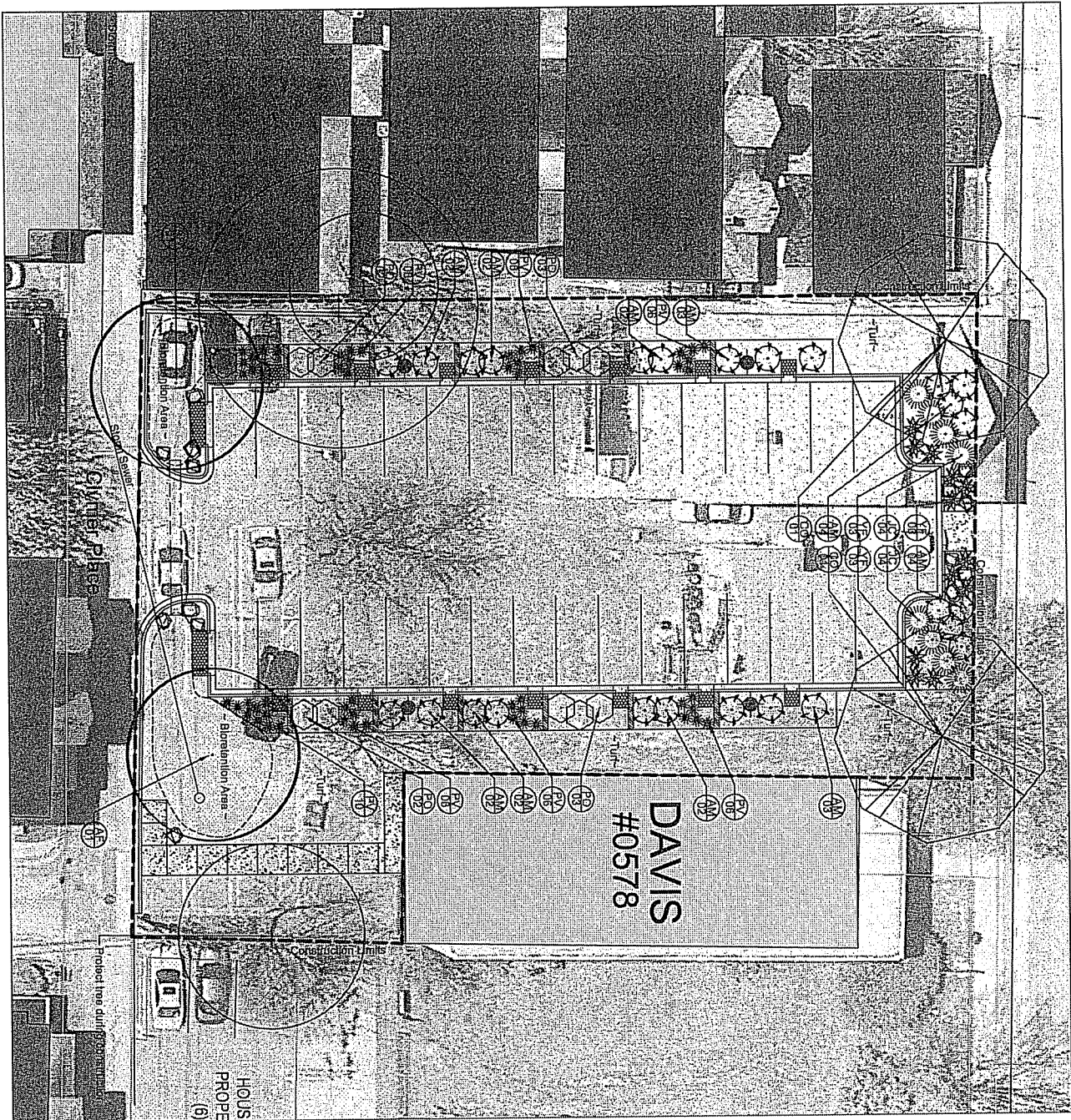


B BIO-RETENTION AREA DETAIL
SCALE: NOT TO SCALE



C PLANTED BIO-SWALE DETAIL
SCALE: NOT TO SCALE

<p>Edge Engineering & Architecture 1000 W. Wisconsin Ave., Suite 100 Madison, WI 53706 www.edgeinc.com</p>		<p>State of Wisconsin Department of Administration Division of State Facilities</p>																									
<p>Project Address: 925 AND 931 WEST JOHNSON ST MADISON, WI 53715-1023</p>		<p>Client: UNIVERSITY OF WISCONSIN - MADISON</p>																									
<p>Sheet Title: SITE DETAILS</p>		<p>Scale: SCALE: NOT TO SCALE</p>																									
<p>Revision:</p> <table border="1"> <thead> <tr> <th>No.</th> <th>Date</th> <th>By</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		No.	Date	By	Description																					<p>Geographic Code: SEE DRAWING</p> <p>DD: 11/11/11</p> <p>Scale: PR</p> <p>Date: 01/12/2012</p> <p>Sheet Number: C301</p>	
No.	Date	By	Description																								




PLANT SCHEDULE


SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	ROOT QUANTITY	NOTES
AM	<i>Acro x freemantl 'Samm'</i>	Sierra Elm Maple	2.5' Cal.	B&B	
JC	<i>Colts occidentalis</i>	Common Hackberry	2.5' Cal.	B&B	
PO	<i>Juniperus chinensis 'Minifl'</i>	Minifl Juniper	5 Gal.	Cont.	
YF	<i>Pyracantha spinulosa 'Seward'</i>	Seward Thorny Hawthorn	5 Gal.	Cont.	
Pv	<i>Panicum virginicum 'Northwind'</i>	Northwind Switchgrass	1 Gal.	Cont.	
				55	

- NOTES**
1. All landscape beds will have 3" shredded bark mulch.
 2. All plants shall be inspected by landscape architect or member of LW Grounds before installation.
 3. Use details provided by LW Campus Planning for plant installation.
 4. All plants shall be installed within 14 days of final approval.
 5. All planting beds will have a plastic cut edge unless otherwise noted.

DRAFT



WISCONSIN
UNIVERSITY



North

Project: Lot 61 Expansion

Drawing Title: Landscape Plan Building No.: N/A File: LACADP/LANNING/SP/Proj/61Expansion/Plan/09/23/2009	Designed By: JLB Drawn By: JLB O.S.M.: Revision: JLB Date: 01/07/2009 Date: 09/23/2009
Date: 11/19/2008 Scale: 1" = 20'-0"	Sheet: L-3 3 OF 3

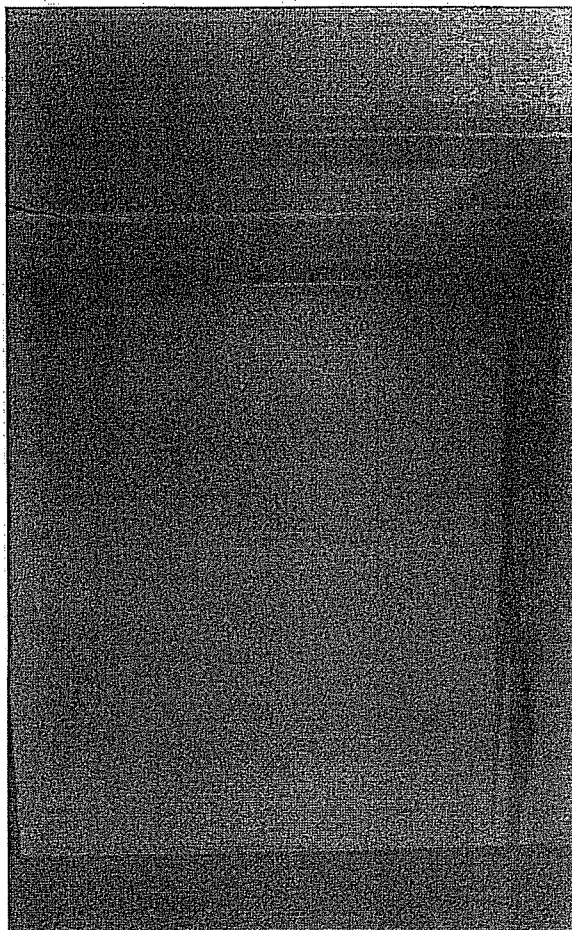
FACILITIES PLANNING AND MANAGEMENT
 Campus Planning & Landscape Architecture
 100 Walnut Street
 Madison, Wisconsin 53726

925-927 West Johnson St.

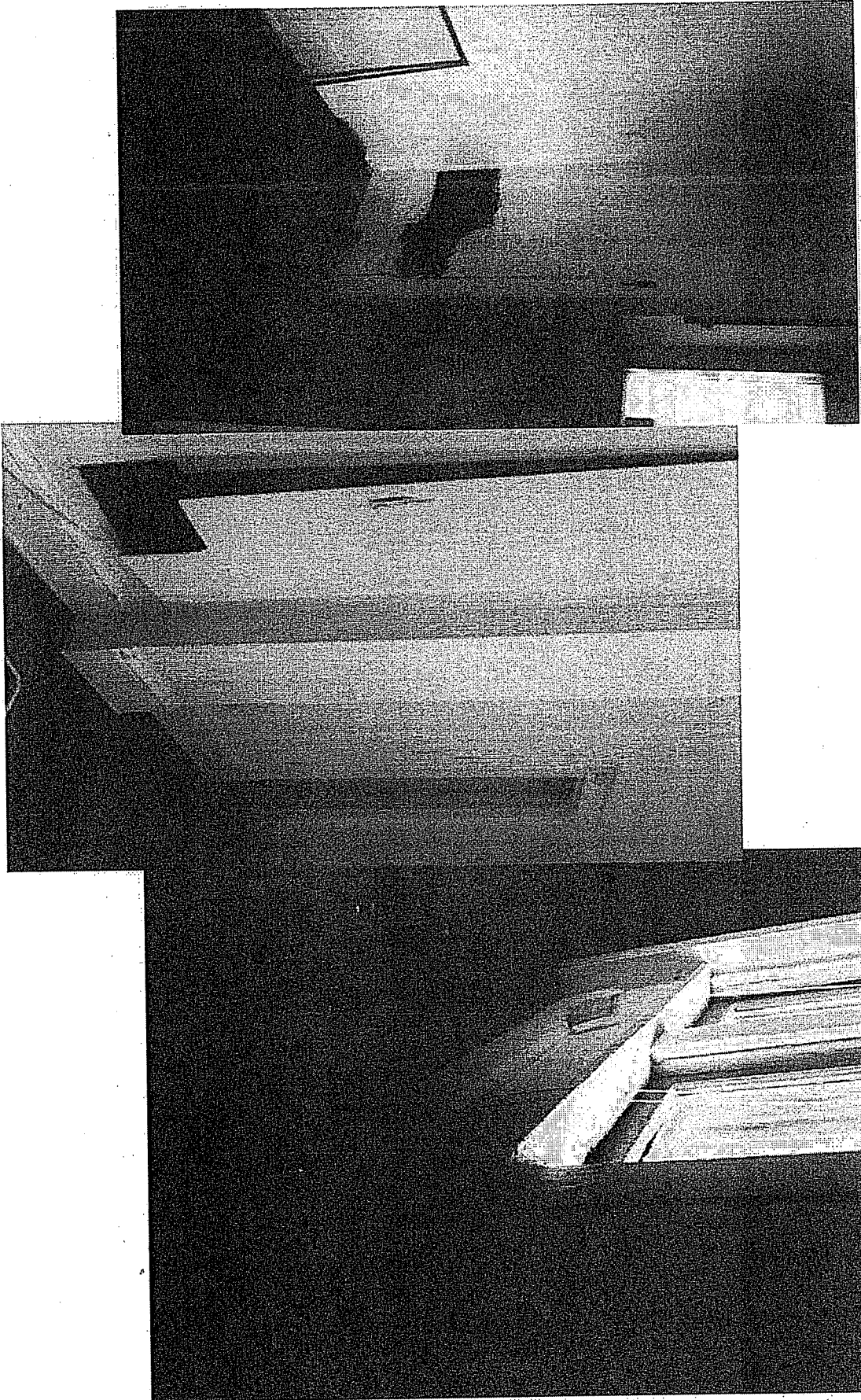


* Two-flat built in 1909; acquired by UW in 1999; vacant since 2009

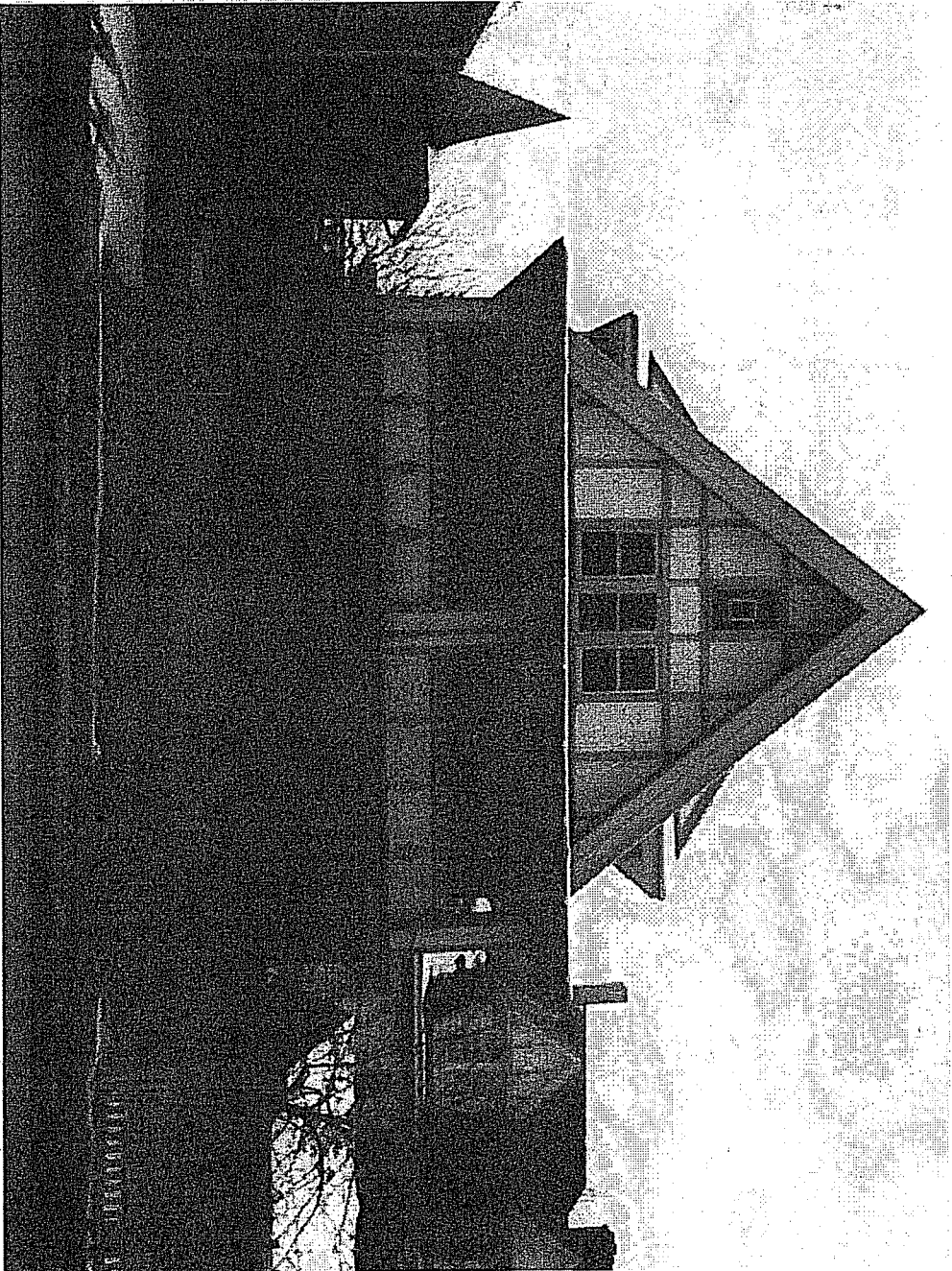
925-927 West Johnson St.



925-927 West Johnson St.

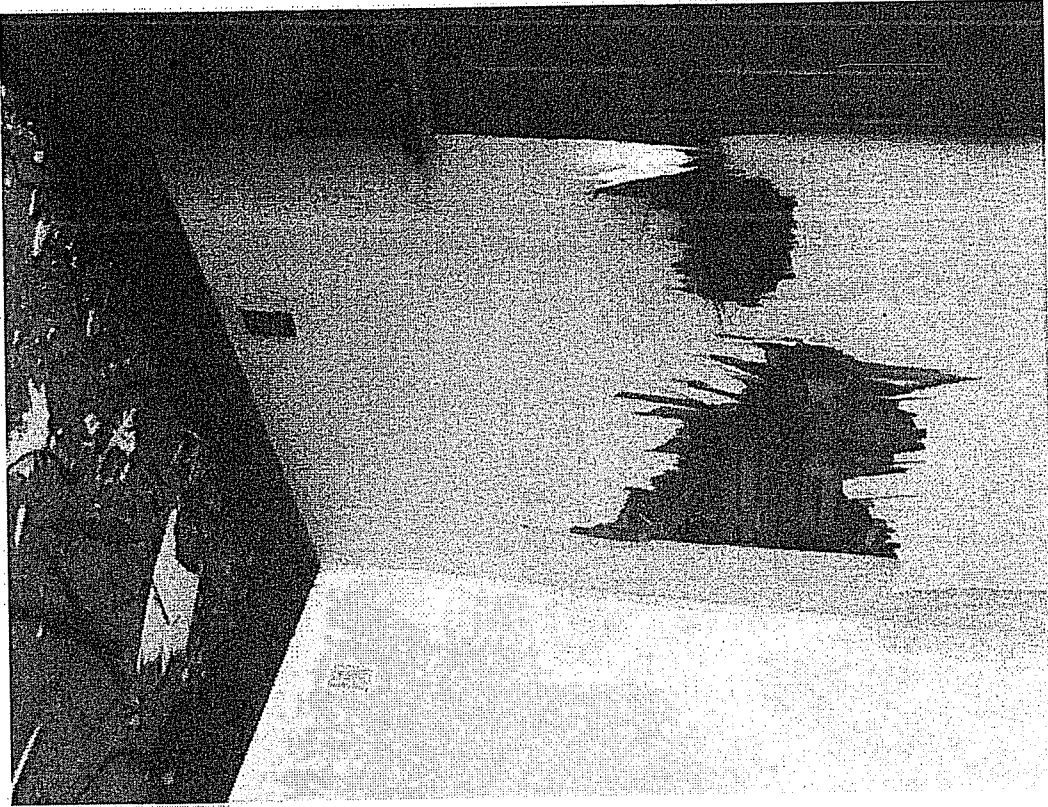


931-933 West Johnson St.

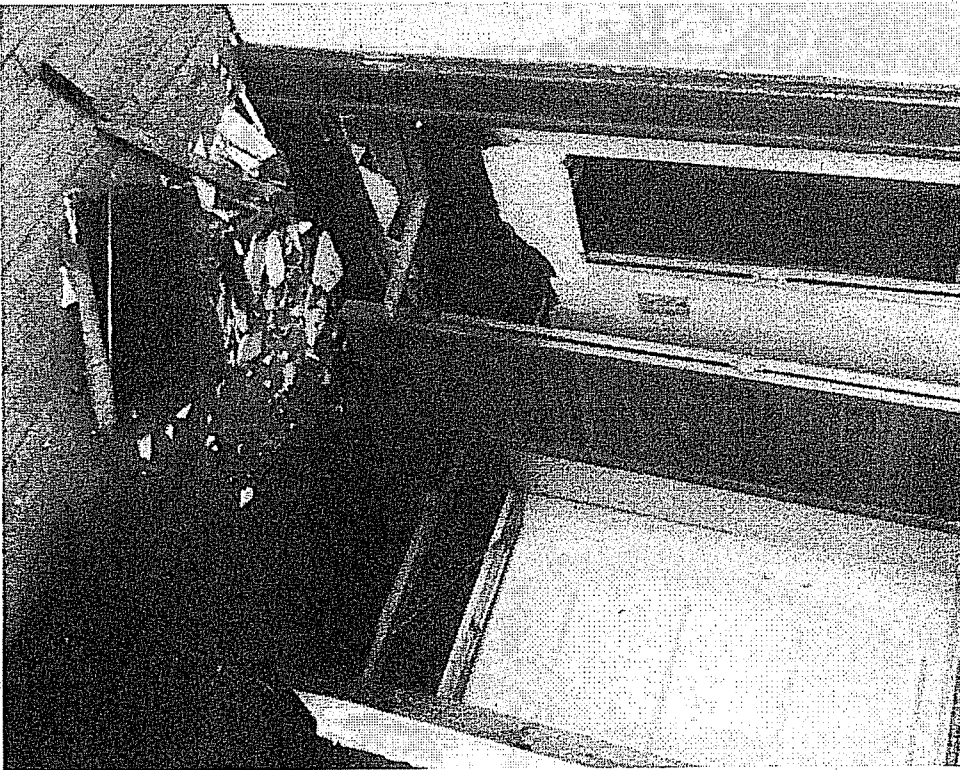


* Room House built in 1909; acquired by UW in 2000; vacant since 2007

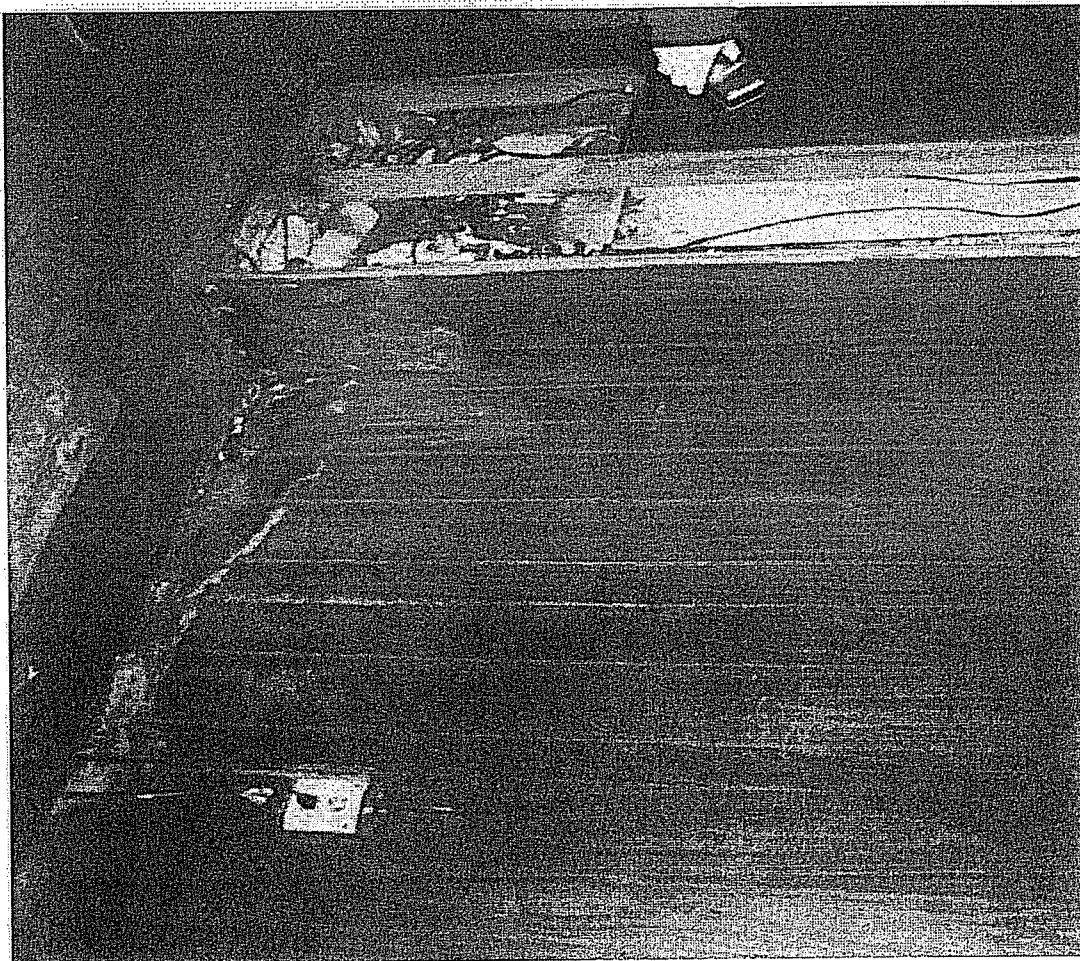
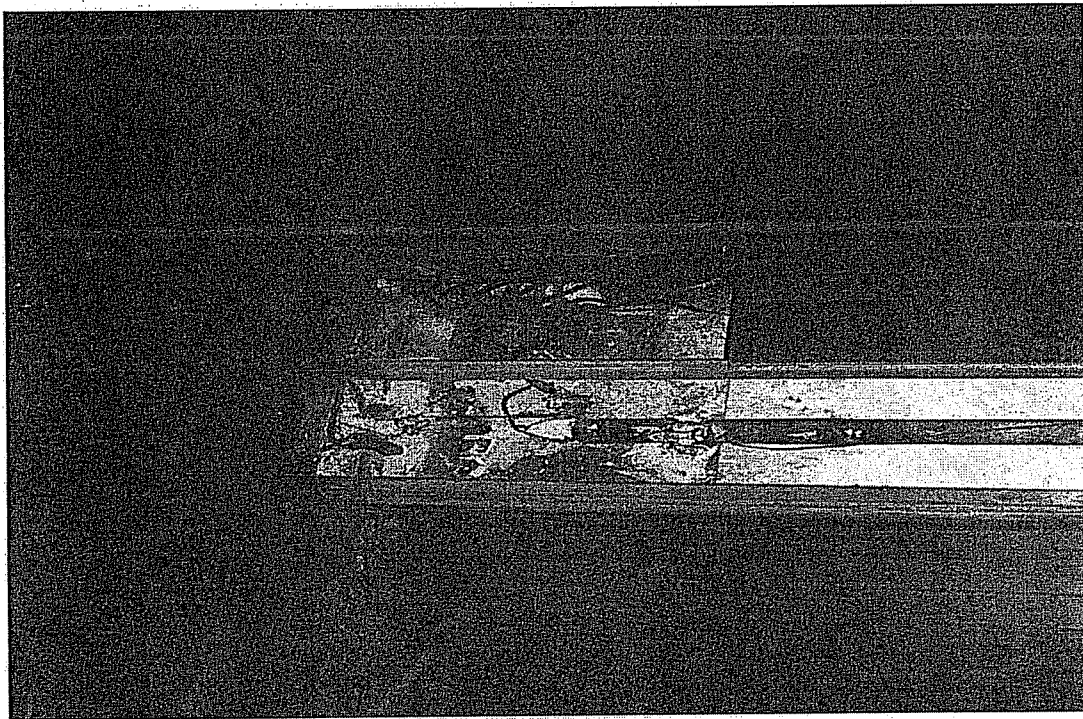
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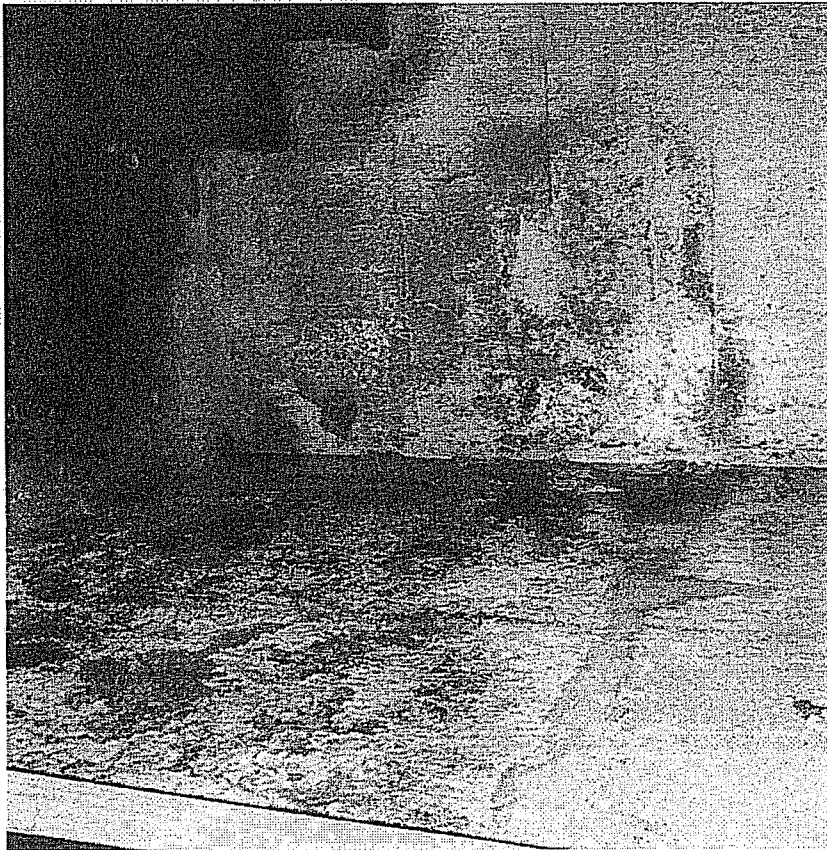
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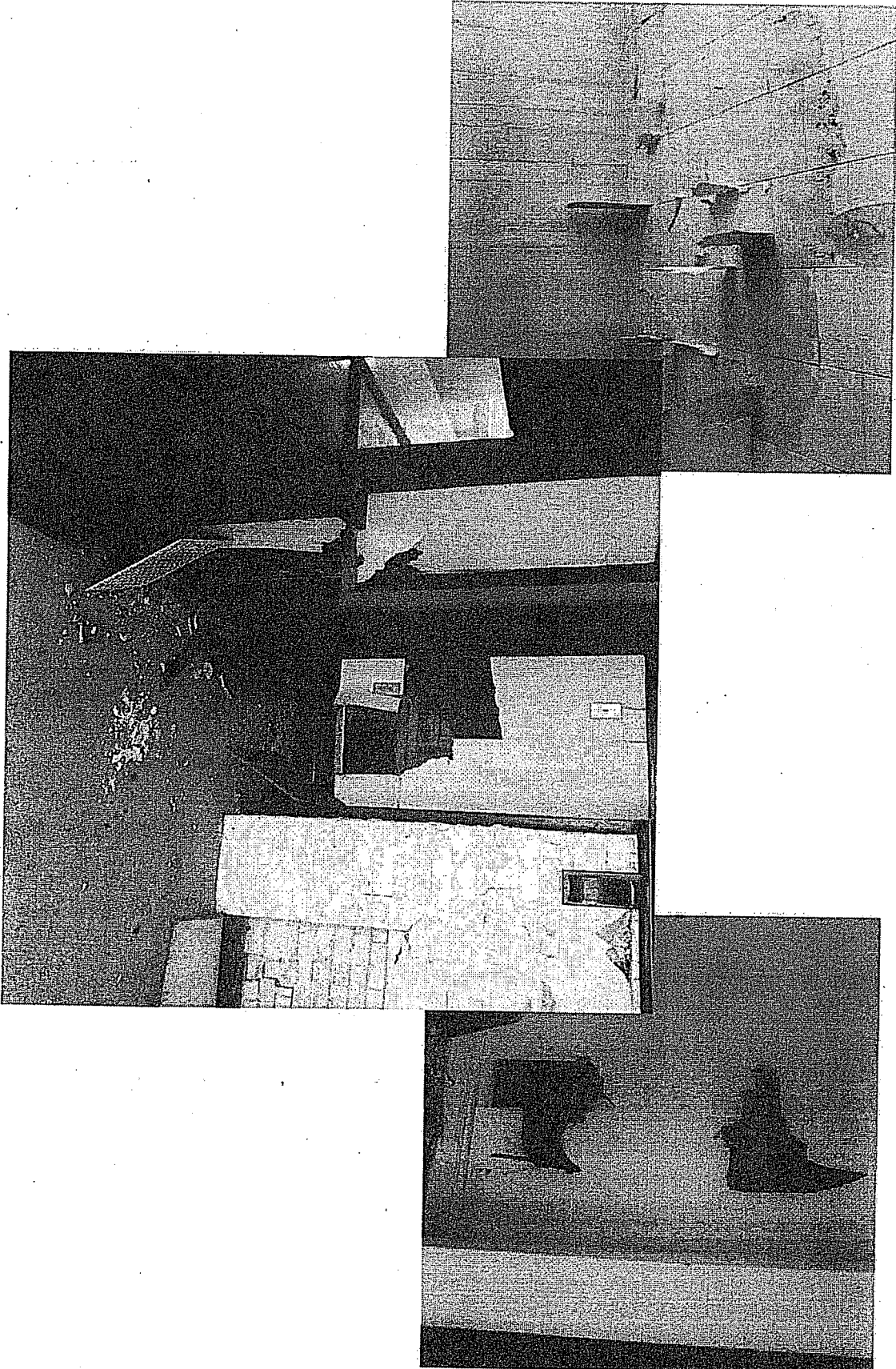
931-933 West Johnson St.



931-933 West Johnson St.



931-933 West Johnson St.



931-933 West Johnson St.

