



City of Madison Planning Division

215 Martin Luther King Jr. Blvd. | Room LL.100 | P.O. Box 2985 | Madison, WI 53701-2985

## Madison Landmarks Commission APPLICATION

### 1. LOCATION

Project Address: 1315 Rutledge Street Aldermanic District: 6

### 2. PROJECT

Date Submitted: \_\_\_\_\_

Project Title / Description: Attic refinishing and front porch restoration

This is an application for: (check all that apply)

- ☐ Alteration / Addition to a Designated Madison Landmark
- ☐ Alteration / Addition to a building adjacent to a Designated Madison Landmark
- ☒ Alteration / Addition to a building in a Local Historic District (specify):
  - ☐ Mansion Hill ☒ Third Lake Ridge ☐ First Settlement
  - ☐ University Heights ☐ Marquette Bungalows
- ☐ New Construction in a Local Historic District (specify):
  - ☐ Mansion Hill ☐ Third Lake Ridge ☐ First Settlement
  - ☐ University Heights ☐ Marquette Bungalows
- ☐ Demolition
- ☐ Variance from the Landmarks Ordinance
- ☐ Referral from Common Council, Plan Commission, or other referral
- ☐ Other (specify): \_\_\_\_\_

### 3. APPLICANT

Applicant's Name: Grant Sovern Company: \_\_\_\_\_

Address: 1315 Rutledge Street City/State: Madison Zip: 53703

Telephone: 204-6117 E-mail: grant.sovern@gmail.com

Property Owner (if not applicant): \_\_\_\_\_

Address: \_\_\_\_\_ City/State: \_\_\_\_\_ Zip: \_\_\_\_\_

Property Owner's Signature: [Signature] Date: 1/23/12

#### GENERAL SUBMITTAL REQUIREMENTS

Twelve (12) collated paper copies and electronic (.pdf) files of the following: (Note the filing deadline is 4:30 PM on the filing day)

- Application
- Brief narrative description of the project
- Scaled plan set reduced to 11" x 17" or smaller pages. Please include:
  - Site plan showing all property lines and structures
  - Building elevations, plans and other drawings as needed to illustrate the project
  - Photos of existing house/building
  - Contextual information (such as photos) of surrounding properties
- Any other information that may be helpful in communicating the details of the project and how it complies with the Landmarks Ordinance, including the impacts on existing structures on the site or on nearby properties.

**Questions?** Please contact the  
Historic Preservation Planner:  
Amy Scanlon  
Phone: 608.266.6552  
Email: [ascanlon@cityofmadison.com](mailto:ascanlon@cityofmadison.com)

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.

1315 Rutledge Street  
Madison, WI 53703

01.26.13

**City of Madison Historic Landmarks Commission**  
*Letter of Intent*

The purpose of this letter is to establish our intent regarding a request from the City of Madison historic Landmarks Commission pertaining to proposed renovations to the single family home located at 1315 Rutledge Street in Madison's Third Lake Historic District.

A remodeling design including the finishing of the attic and restoration of the front porch has been produced by Michael DesBarres, an architectural designer at MdB-Design, LLC in Spring Green, Wisconsin. The work will be performed by a licensed contractor that has yet to be determined.

The lot is approximately 11,220 square feet and features a 2996 square foot home originally constructed in 1896. The house features elements of both Folk Victorian and Shingle Style architecture. It is brightly painted and has been well maintained. The home has gone through multiple past renovations, including being subdivided into several units and enclosing of a portion of the front porch at an unknown point. Most recently, the home was converted back to a single family residence, along with moderate interior remodeling on both the first and second levels.

The new proposal seeks to finish the existing attic space as a private retreat. This entails the addition of skylights in order to meet the building codes glazing requirements. An interior code-compliant spiral staircase will be added to provide a secondary means of egress. The design also proposes restoring the front porch of the home to an open/screened porch by removing the existing windows and producing removable screen panels that may be used during the summer months instead. For continuity, the design takes cues for both the structure and relevant details intended to match the existing open area portion of the porch, which is directly adjacent to the currently enclosed portion. The wood siding, paint, and architectural details have been specified to match the existing undisturbed portions.

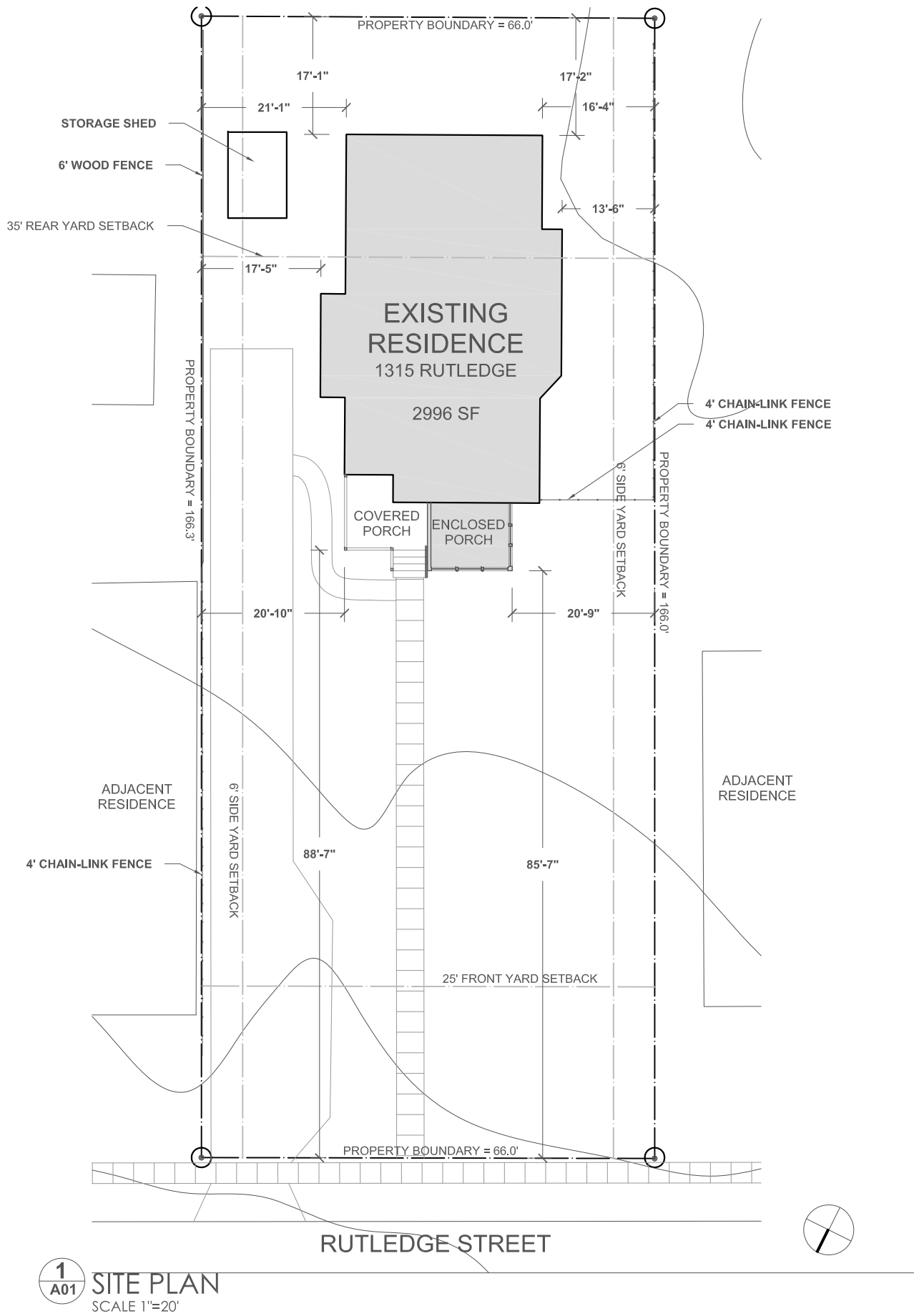
The project is being presented to the Historic Landmarks Commission because of the proposed changes to the exterior. The skylights, while visible due to the steep pitch of the roof, are required in order to make the attic inhabitable and offer a less significant alteration than the addition of larger windows in the gable ends. Restoring the porch to the original open configuration will alter the exterior, but in a manner fitting the guidelines of the *Historic Landmarks Third-Lake District* criteria. Specifically, the alteration of the street façade will restore the original proportional relationships, rhythm, and mass of the home. This will prove beneficial to both the owner in terms of their desires, in addition to restoring/maintaining the architectural character of the neighborhood. For the aforementioned reasons, we are requesting your approval of these alterations to the home.

Please refer to the drawings and photographs provided with the application for further review.

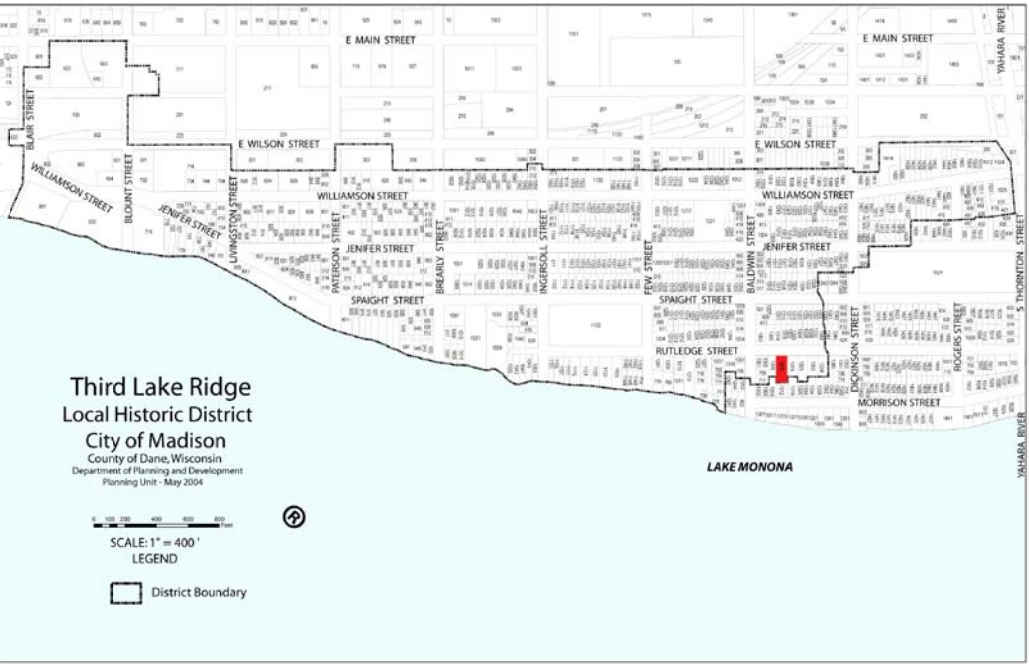
Thank-you for your time and consideration.

**Lara Sutherlin & Grant Sovern** – *Property Owners*

**Michael DesBarres** – *Architectural Designer*



### VICINITY MAP - MADISON, WISCONSIN



### INDEX OF SHEETS

- A01 COVER SHEET & EXISTING SITE PLAN
- A02 EXISTING FLOOR PLANS
- A03 DEMOLITION PLAN
- A04 PROPOSED FLOOR PLANS
- A05 FRONT PORCH PLAN & ELEVATIONS
- A06 CONTEXT PHOTOS

### SCOPE OF WORK

PROJECT FOR RENOVATIONS TO A 2996 SF EXISTING SINGLE FAMILY RESIDENCE LOCATED IN THE HISTORIC THIRD LAKE DISTRICT OF MADISON, WISCONSIN. THE PROJECT INCLUDES DEMOLITION OF EXISTING WALLS ON BOTH THE FIRST AND SECOND LEVELS IN ORDER TO REORGANIZE THE LAYOUT FOR AN OPEN STAIRWAY, 4 BEDROOMS (INCLUDING A NEW MASTER SUITE WITH FULL BATH) RECONSTRUCTION OF AN EXISTING BATHROOM, THE ADDITION OF SEVERAL NEW WALLS TO CREATE A NEW HALLWAY, AND THE FINISHING OF THE EXISTING ATTIC SPACE TO CREATE AN INHABITABLE AREA (POSSIBLY FUTURE APARTMENT).

ZONING:: HIS-TL R4A

### ARCHITECTURAL DESIGNER

MdBDesign, LLC  
Michael DesBarres  
mjd2333@Gmail.com  
608.267.0423

### OWNER

Lara Sutherlin & Grant Sovern  
1315 Rutledge Street  
Madison, WI 53705

### CONTRACTOR

TDB

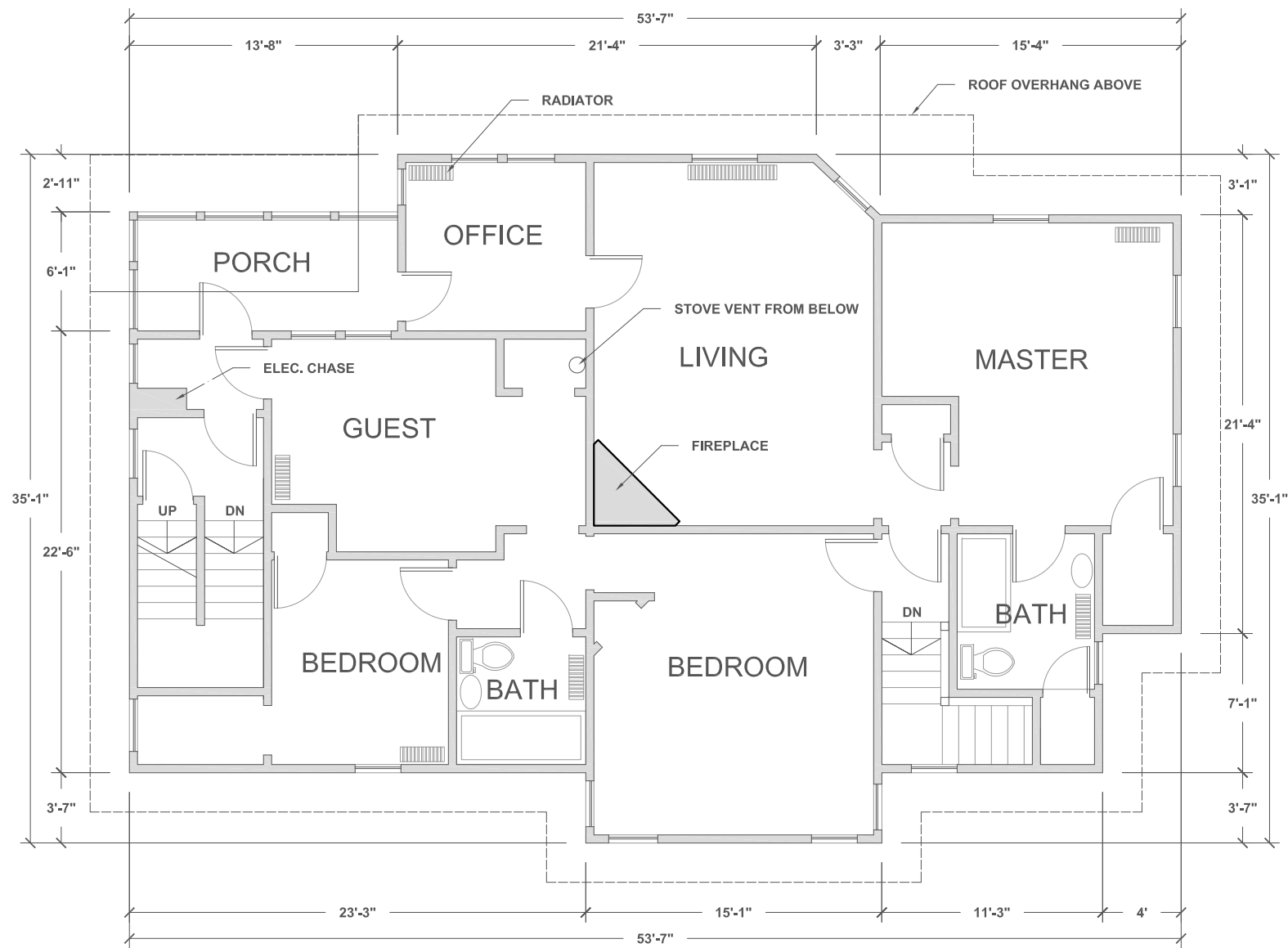
RESIDENCE REMODEL FOR LARA SUTHERLIN & GRANT SOVERN  
1315 RUTLEDGE STREET | MADISON, WISCONSIN

COVER SHEET

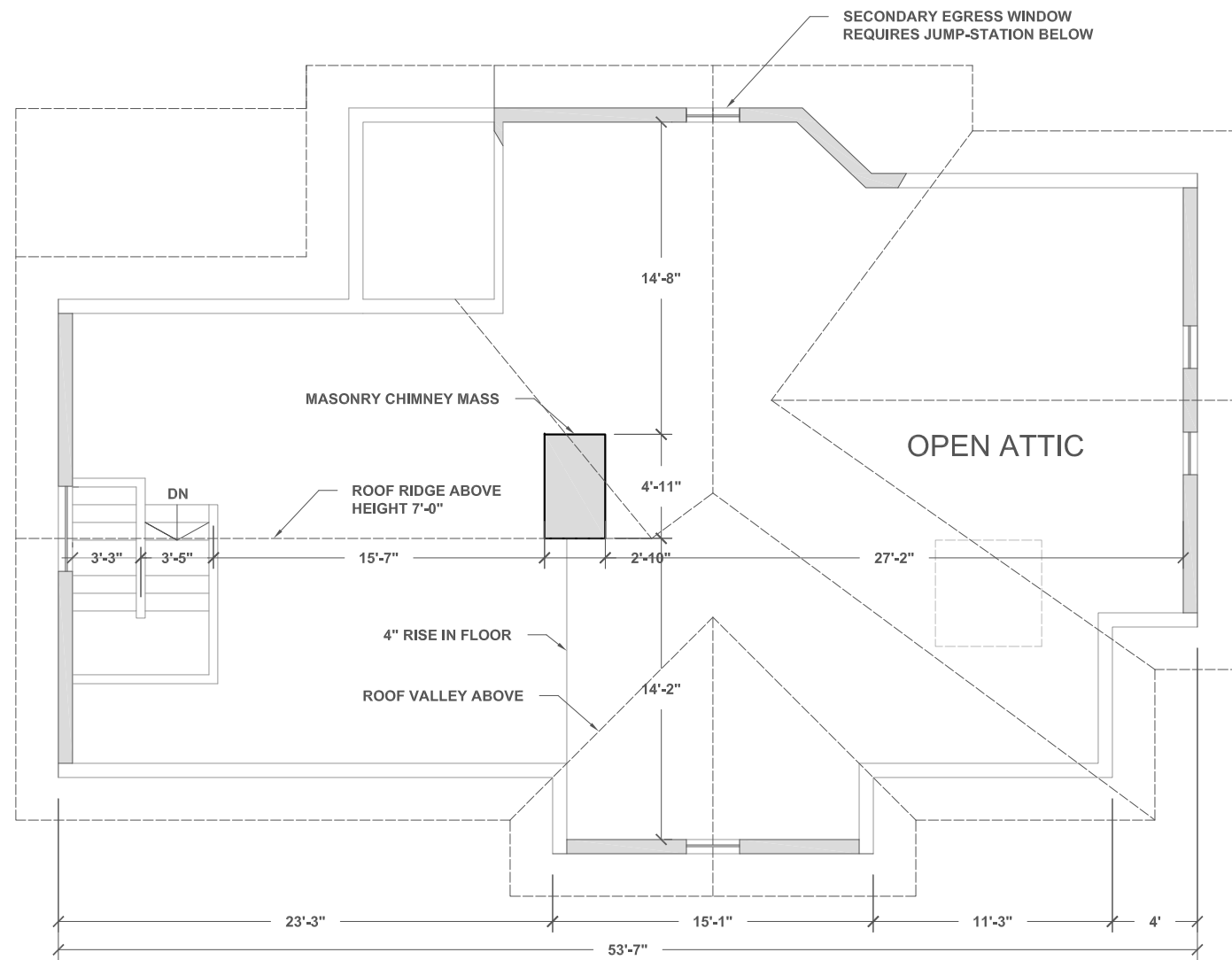
MdBDesign, LLC  
MADISON - SPRING GREEN  
608.467.0423 | mjd2333@gmail.com

S H E E T  
A 0 1

NOT FOR  
CONSTRUCTION

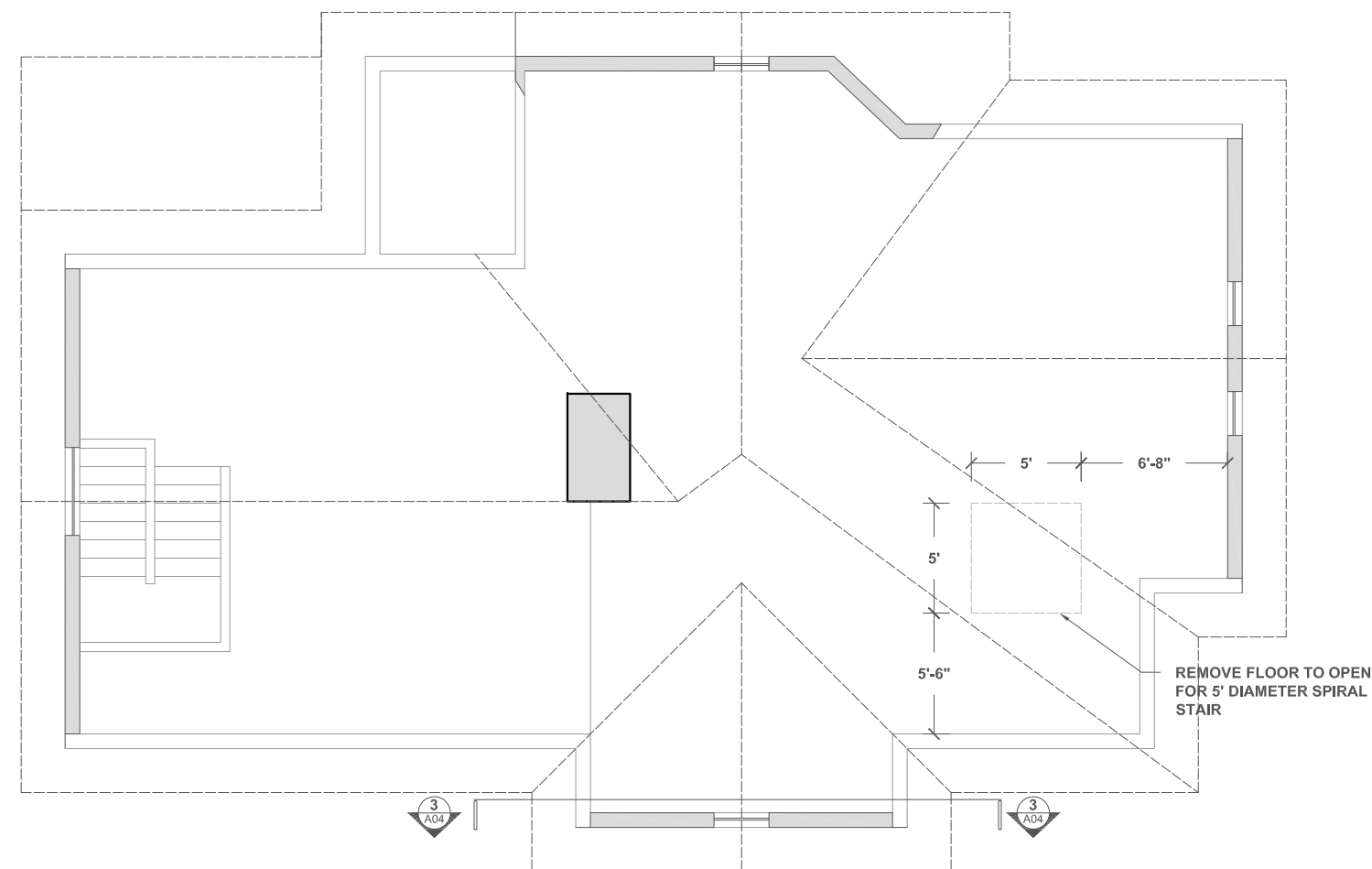
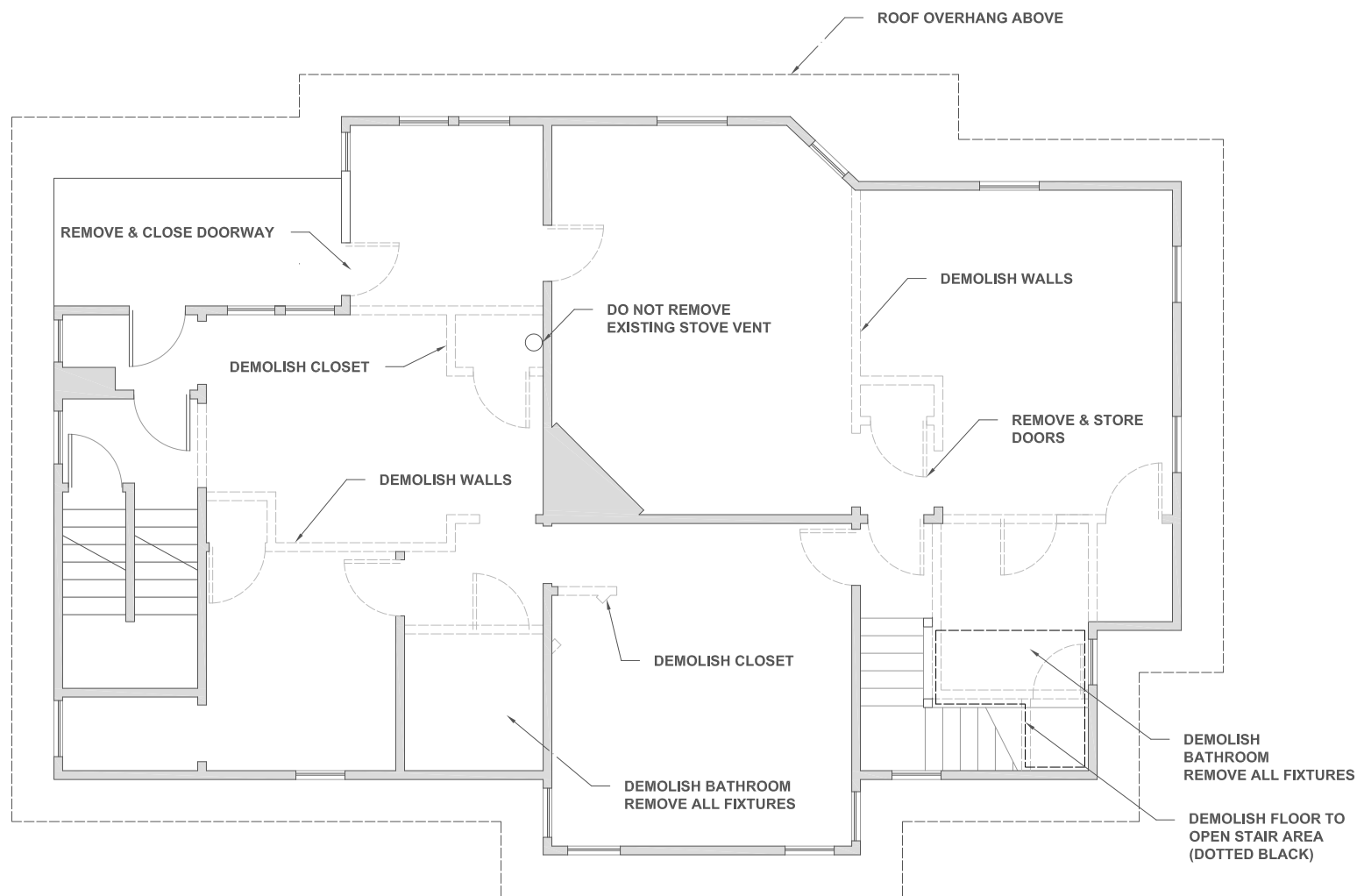


**1**  
A02 EXISTING SECOND LEVEL FLOOR PLAN  
SCALE  $\frac{1}{8}" = 1'$



**2**  
A02 EXISTING ATTIC LEVEL FLOOR PLAN  
SCALE  $\frac{1}{8}" = 1'$





**1**  
A03  
SECOND LEVEL DEMOLITION PLAN  
SCALE  $\frac{1}{8}" = 1'$

**2**  
A03  
ATTIC LEVEL DEMOLITION PLAN  
SCALE  $\frac{1}{8}" = 1'$

RESIDENCE REMODEL FOR LARA SUTHERLIN & GRANT SOVERN  
1315 RUTLEDGE STREET | MADISON, WISCONSIN  
**DEMOLITION PLAN**

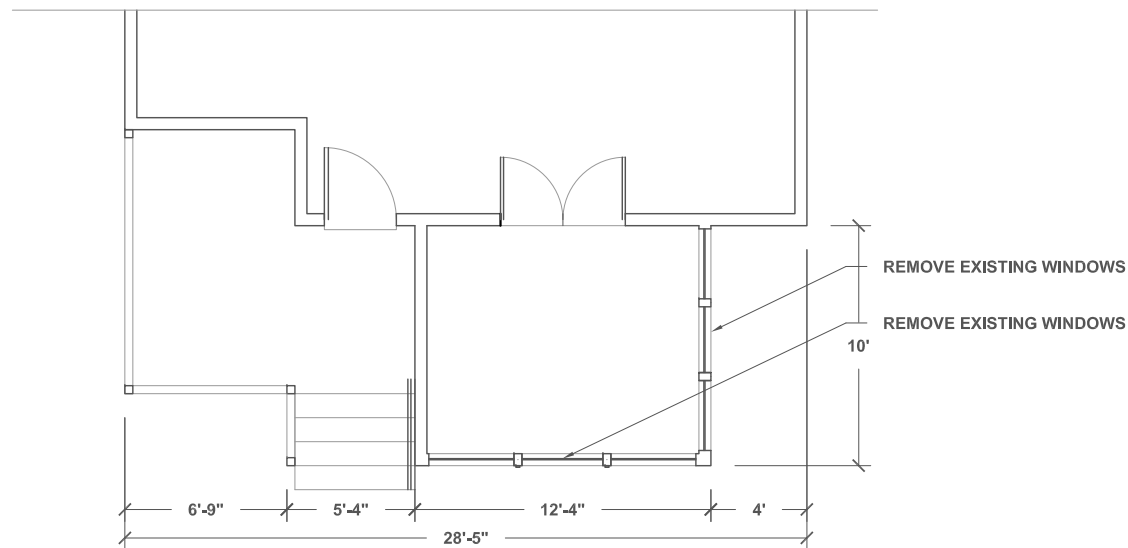
**MdBDesign, LLC**  
MADISON - SPRING GREEN  
608.467.0423 | mjd2333@gmail.com

S H E E T  
**A03**

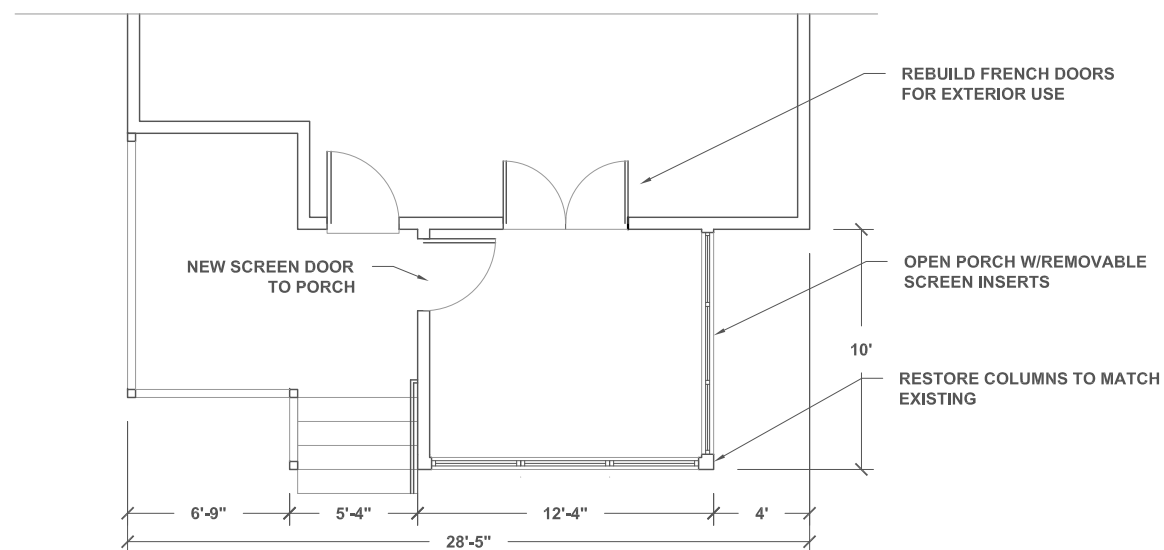
**NOT FOR  
CONSTRUCTION**







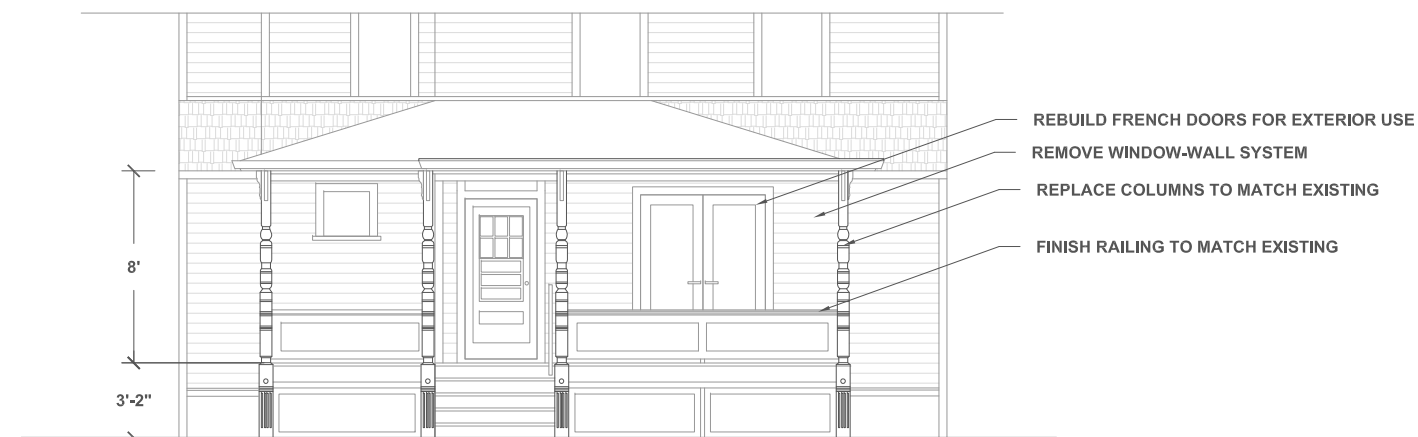
**1**  
A05 EXISTING FRONT PORCH PLAN  
SCALE  $\frac{1}{8}" = 1'$



**2**  
A05 PROPOSED FRONT PORCH PLAN  
SCALE  $\frac{1}{8}" = 1'$



**3**  
A05 EXISTING FRONT PORCH ELEVATION  
SCALE  $\frac{1}{8}" = 1'$



**4**  
A05 PROPOSED FRONT PORCH ELEVATION  
SCALE  $\frac{1}{8}" = 1'$



**5**  
A05 PROPOSED ELEVATION W/SCREENS  
SCALE  $\frac{1}{8}" = 1'$





**ABOVE** - IMAGE FROM RUTLEDGE STREET (EASTERN EDGE OF PROPERTY). SHOWING THE HOUSE SET BACK CONSIDERABLY ON THE LOT AND DEMONSTRATING THAT THE PROPOSED SKYLIGHTS WILL NOT BE VISIBLE FROM THE STREET.

**ABOVE RIGHT** - IMAGE FROM RUTLEDGE STREET (WESTERN EDGE OF PROPERTY). SHOWING THE EXISTING MASS OF THE ENCLOSED PORCH AS COMPARED TO THE ADJACENT OPEN AREA.

**RIGHT** - IMAGE FROM FRONT YARD SHOWING THE CURRENTLY ENCLOSED PORTION OF THE PORCH. THIS AREA WOULD BE OPENED TO MATCH THE ADJACENT AREA GIVEN THIS PROPOSAL.

