

# URBAN DESIGN COMMISSION APPLICATION

# UDC

City of Madison  
Planning Division  
126 S. Hamilton St.  
P.O. Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



Complete all sections of this application, including the desired meeting date and the action requested.

*If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.*

## FOR OFFICE USE ONLY:

Paid \_\_\_\_\_ Receipt # \_\_\_\_\_

Date received \_\_\_\_\_

Received by \_\_\_\_\_

Aldermanic District \_\_\_\_\_

Zoning District \_\_\_\_\_

Urban Design District \_\_\_\_\_

Submittal reviewed by \_\_\_\_\_

## 1. Project Information

Address: 650 Forward Drive, Madison WI

Title: Exact Sciences Production Lab - Phase 2

## 2. Application Type (check all that apply) and Requested Date

UDC meeting date requested December 6th, 2017

- ☒ New development ☐ Alteration to an existing or previously-approved development  
☒ Informational ☐ Initial approval ☐ Final approval

## 3. Project Type

- ☒ Project in an Urban Design District  
☐ Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)  
☐ Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)  
☐ Planned Development (PD)  
☐ General Development Plan (GDP)  
☐ Specific Implementation Plan (SIP)  
☐ Planned Multi-Use Site or Residential Building Complex
- Signage**  
☐ Comprehensive Design Review (CDR)  
☐ Signage Variance (i.e. modification of signage height, area, and setback)
- Other**  
☐ Please specify \_\_\_\_\_

## 4. Applicant, Agent, and Property Owner Information

**Applicant name** Jody Shaw **Company** Potter Lawson  
**Street address** 749 University Row Suite 300 **City/State/Zip** Madison, WI 53705  
**Telephone** 608 274-2741 **Email** jodys@potterlawson.com

**Project contact person** Joel Schriever **Company** Exact Sciences  
**Street address** 441 Charmany Drive **City/State/Zip** Madison, WI 53719  
**Telephone** 608 284-5700 **Email** jschriever@exactsciences.com

**Property owner (if not applicant)** CG Growth  
**Street address** 441 Charmany Drive **City/State/Zip** Madison, WI 53719  
**Telephone** 608 284-5700 **Email** scoward@exactsciences.com

5. Required Submittal Materials

- ☒ Application Form
- ☒ Letter of Intent
  - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
  - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- ☒ Development plans (Refer to checklist provided below for plan details)
- ☐ Filing fee
- ☒ Electronic Submittal\*

Each submittal must include fourteen (14) 11" x 17" collated paper copies. Landscape and Lighting plans (if required) must be full-sized. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

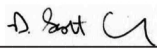
For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

*\*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to [udcapplications@cityofmadison.com](mailto:udcapplications@cityofmadison.com). The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Kevin Firchow on 10/31/2017.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Applicant name Jody Shaw Relationship to property Architect

Authorized signature of Property Owner  Date 11/15/2017

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- ☐ Urban Design Districts: \$350 (per §35.24(6) MGO).
- ☐ Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- ☐ Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- ☐ Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- ☐ All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

— Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)

— Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)

— Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)

— Planned Multi-Use Site or Residential Building Complex



November 15, 2017

City of Madison  
Urban Design Commission  
126 South Hamilton Street  
Madison, WI 53703

Re: 650 Forward Drive, Madison WI 53711  
Exact Sciences Production Lab - Phase 2

Dear Commission Members:

Please accept this Letter of Intent, Application and attachments as our submittal for an informational presentation on the Phase 2 of the Clinical Lab Facility, the Production Lab for Exact Sciences.

**Project Team**

Owner:

Exact Sciences  
441 Charmany Drive  
Madison, WI 53719  
(608) 284-5700

Owner's Representative:

General Capital Group  
Steve Sirkis  
6938 N Santa Monica Blvd.  
Fox Point, WI 53217  
(414) 228-3509  
[ssirkis@generalcapitalgroup.com](mailto:ssirkis@generalcapitalgroup.com)

Architect:

Jody Shaw  
Potter Lawson, Inc.  
749 University Avenue, Suite 300  
Madison, Wisconsin 53705  
(608) 274-2741  
[Jodys@Potterlawson.com](mailto:Jodys@Potterlawson.com)

Civil Engineer:

Joseph Doyle  
Vierbicher Associates Inc.  
999 Fourier Dr # 201,  
Madison, WI 53717  
(608) 826-0532  
[jdoyle@vierbicher.com](mailto:jdoyle@vierbicher.com)

Landscape Architect:

Suzanne Vincent  
Vierbicher Associates Inc.  
999 Fourier Dr # 201,  
Madison, WI 53717  
(608) 826-0532  
[svin@vierbicher.com](mailto:svin@vierbicher.com)

Contractor:

Bob Hougard  
J.H. Findorff & Son  
300 S. Bedford St.  
Madison, WI 53703  
(608) 257-5321  
[bhougard@findorff.com](mailto:bhougard@findorff.com)

### **The Existing Conditions**

The Production Lab is an addition to the Phase 1 Clinical Lab building. It is located on the Northeast corner of the Clinical Lab, completing the Clinical Lab geometry by infilling the area north of the Lab Support function, and east of the Clinical Lab. The Production Lab extends north of the Clinical Lab and creates an employee entrance on the north side of the Facility that is directly adjacent to the surface parking lot approved in a previous submittal.

### **Staff and Neighborhood Input**

The Development Team has met with the City Staff on October 31, 2017 to review the project and schedule. The Development Team is also meeting with the DAT on November 16, 2017 to discuss the site plan. The Development Team has also notified Alder Clear with an email on October 26, 2017 of our intention to begin the approval process for the Production Lab.

### **Project Overview**

Exact Sciences Corporation is a molecular diagnostics company focused on the early detection and prevention of the deadliest forms of cancer. The company has exclusive intellectual property protecting Cologuard, its non-invasive, molecular screening technology for the detection of colorectal cancer.

As described in previous submittals, the first phase of the Clinical Processing Center creates the Specimen Processing lab for the Cologuard test, and creates the shell space for potential future tests that are currently under research. This project, the Phase 2 Production Lab creates the lab space used to produce the materials and solutions required in the Clinical Lab to perform the Cologard test.

The site is listed as an "SE" zoning district and the proposed uses are allowed, so no zoning conditional uses or variances are being requested.

The Production Lab is a two story Facility that matches the height of the Phase 1 Facility and continues the material language using precast concrete, translucent and transparent glazing and metal panel.

The Phase 2 Production Lab includes 71,500 GSF of production laboratory and office space. This includes:

|                            |           |
|----------------------------|-----------|
| Office/entry               | 21,000 SF |
| Production Lab and support | 46,500 SF |
| Mechanical Penthouse       | 4,000 SF  |

As described above, this facility is an addition to the Clinical Lab and shares the same address and the main public entry on Forward Drive as created with Phase 1. A new employee entry is being constructed as part of the Production Lab that provides entrance to the entire Clinical Lab facility. This project also includes a terraced patio that functions as an employee amenity which provides direct access to the outdoors for the Clinical and Production Lab employees. The terraced patio also serves as a venue for outdoor meetings, larger group discussions, outdoor lunch seating and becomes a link to the future amenity building being planned just north of the Clinical Lab. Located in the heart of the Campus, this outdoor space is planned to become a central part of the employee amenities.

There is no new parking associated with this addition, and loading is accounted for with the Phase 1 Clinical Lab.

## Working within the Urban Design District Number 2

**Grading:** The UDD2 requires positive drainage that allows for natural vegetation growth and appears natural. Due to the length of the building, and the necessity to have a continuous floor level, the building will be set into the grade of the site. The north side of the Production Lab is set into the grades approximately 10', matching the Clinical Lab. The new grades will be sloped to the existing grades where ever possible to reduce the potential for site retaining walls, and maintain a natural appearance.

**Landscape:** Shall be used to frame attractive views from roadways and to screen different uses from each other and to complement the architectural massing of the building. Species will be as prescribed by the Urban Design District Number 2. There are a number of existing walking paths through the southern portion of the site. The proposed Terrace patio will provide a link to those paths so that employees can use the pathways for "walking meetings" or lunch time exercise.

**Structures:** Buildings will be placed on the site to reinforce the natural contours of the site with the natural slope of the site towards the south. Buildings will be within scale of the existing neighborhood development, staying within one story height of the existing Rayovac building, and matching the height of the Phase 1 Clinical Lab. This is consistent with the low profile nature of the community.

**Lighting:** Building lighting will meet City of Madison ordinances and the Urban Design District Number 2 guidelines by providing glare free lighting in a minimal and attractive manner.

**Screening:** Parking and loading have been approved in previous projects. Mechanical units are being placed within the mass of the building, in a mechanical penthouse. Some of the lab functions will require exhaust stacks that will extend 10' above the roof any screening. These stacks will be groups as much as possible to provide an orderly image in keeping with the aesthetics of the building.

**Building Design:** Exterior building materials will use natural concrete and metal panels to create a façade that works within the context of the existing community, and set the tone for future additions to the campus. The building itself will be set into the slope of the site, reducing the overall mass of the building and keeping in context with the low profile character of the existing development

**Sustainability:** The project is seeking LEED Certification with a goal of a LEED v4 Certification.

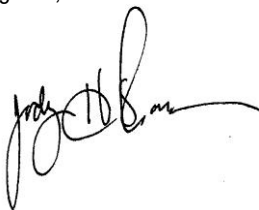
The building has extensive use of natural light throughout the warehouse area to reduce electric power needs. However, due to the nature of the laboratory building, the ventilation demands require the most Focus on Energy saving strategies. Variable flow fans throughout, energy recovery and variable flow exhaust stacks are some of the strategies being pursued. The facility will be built to high energy efficiency standards, including insulation, HVAC, and LED lighting. The Development Team will consult with Focus on Energy to ensure the project capitalizes on any other available technologies.

An extensive wet pond and infiltration pond was designed as part of the Phase 1 Clinical Lab and it accounts for all of the stormwater collection for this facility.

### Requested Approval

With your recommendations on our conceptual building and site design, we intend to return for approval in January 2018. We look forward to providing Exact Sciences with the Second Phase of their Clinical Laboratory Facility.

Regards,

A handwritten signature in black ink, appearing to read "Jody Shaw". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Jody Shaw, AIA LEED AP  
Potter Lawson, Inc.

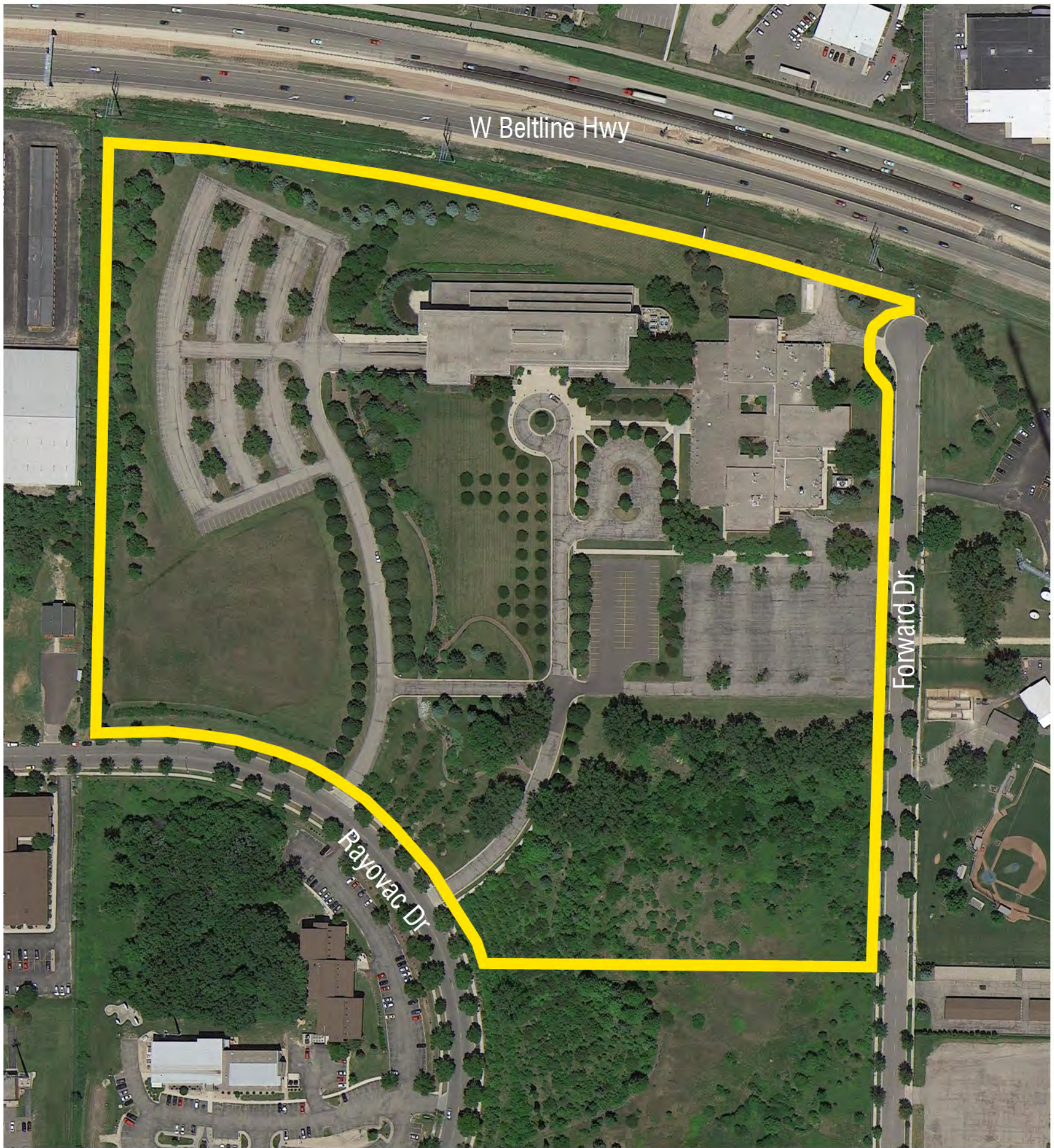


# Production Lab Facility at 650 Forward Drive Phase 2

Informational Submittal  
11.15.2017



Aerial View  
Manufacturing and Clinical Lab Facility - Madison  
2017.01.04  
November 15, 2017

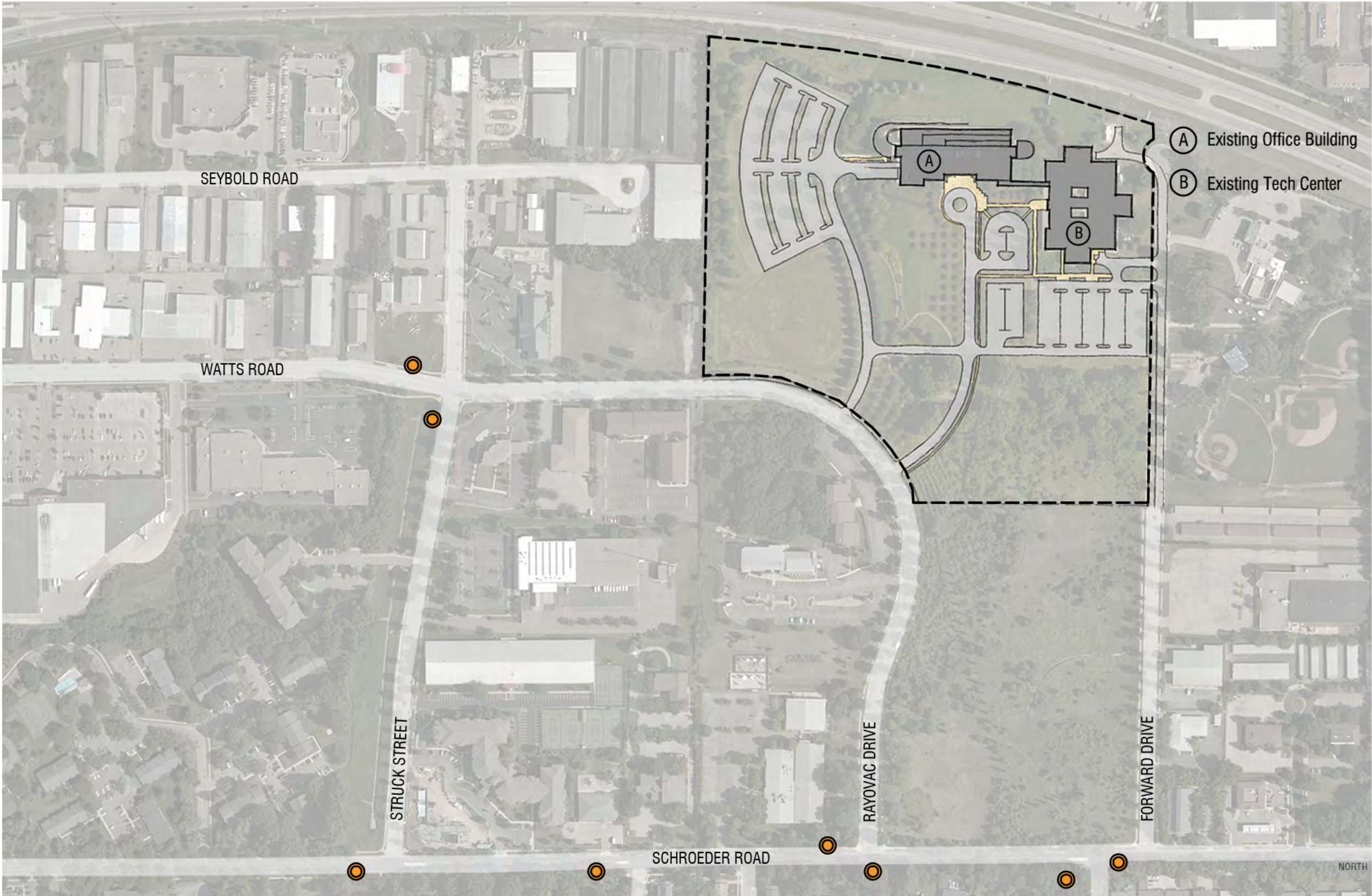


Aerial View  
Manufacturing and Clinical Lab Facility - Madison  
2017.01.04  
November 15, 2017



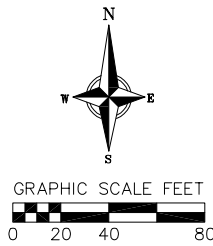
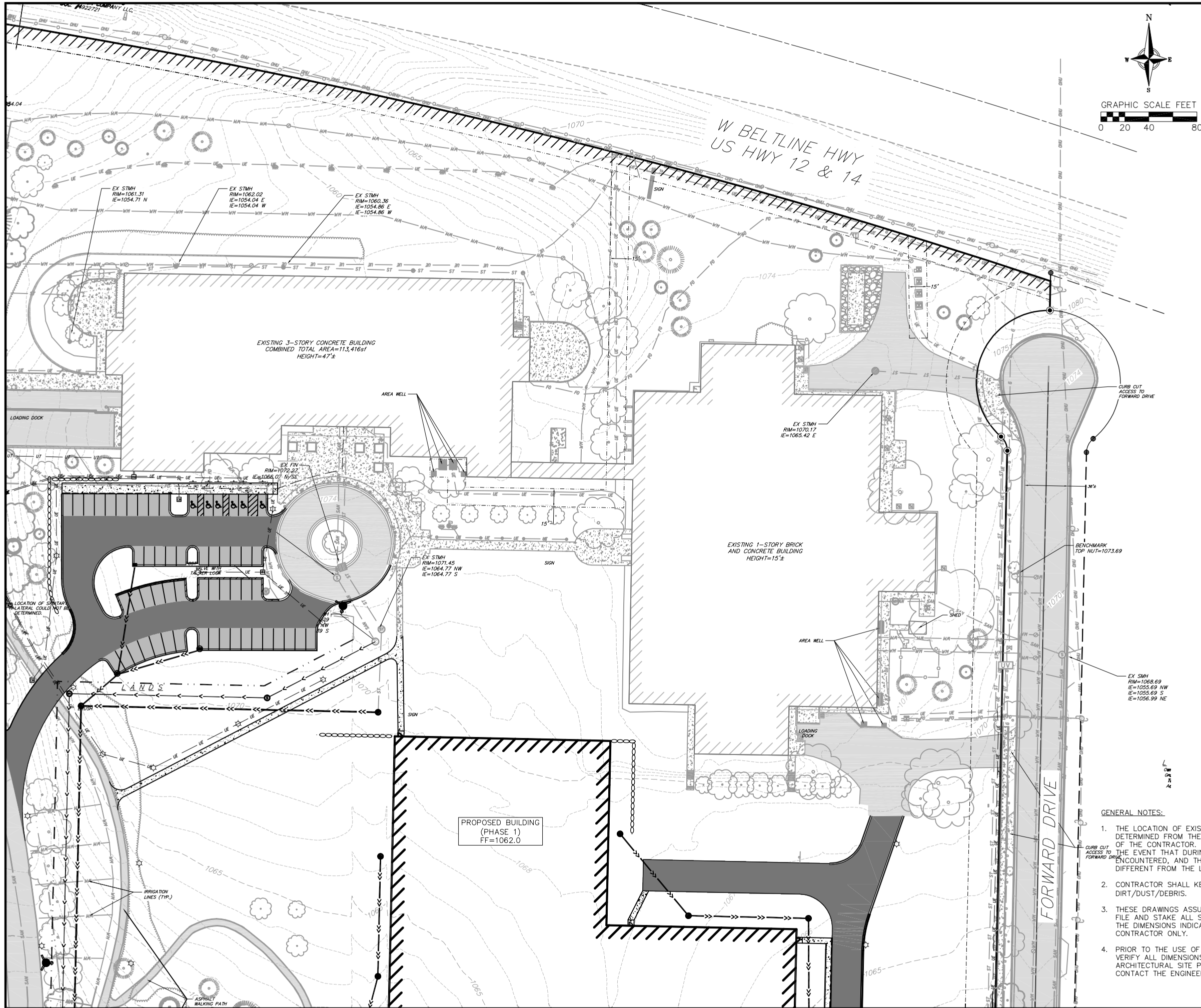






EXISTING INFORMATION

Manufacturing and Clinical Lab Facility - Madison  
2017.01.04  
November 15, 2017



TOPOGRAPHIC LINEWORK LEGEND

- |                                                                                     |                                     |
|-------------------------------------------------------------------------------------|-------------------------------------|
|    | EXISTING FIBER OPTIC LINE           |
|   | EXISTING UNDERGROUND TELEPHONE      |
|  | EXISTING CHAIN LINK FENCE           |
|  | EXISTING GAS LINE                   |
|  | EXISTING UNDERGROUND ELECTRIC LINE  |
|  | EXISTING OVERHEAD GENERAL UTILITIES |
|  | EXISTING SANITARY SEWER LINE        |
|  | EXISTING STORM SEWER LINE           |
|  | EXISTING EDGE OF TREES              |
|  | EXISTING WATER MAIN                 |
|  | EXISTING MAJOR CONTOUR              |
|  | EXISTING MINOR CONTOUR              |
|  | NO ACCESS TO HIGHWAY                |

TOPOGRAPHIC HATCHING LEGEND

-  CONCRETE PAVEMENT/SIDEWALK/PAD  
 ASPHALT PAVEMENT  
 WASHED STONE LANDSCAPING

SURVEY LEGEND

- PUBLIC LAND CORNER AS NOTED
- ◎ FOUND 1" Ø IRON PIPE
- FOUND 1 1/4" Ø IRON ROD
- FOUND 3/4" Ø IRON ROD
- ◎ SET 1 1/4" Ø IRON ROD
- ⊕ SET 3/4" Ø IRON ROD

TOPOGRAPHIC SYMBOL LEGEND

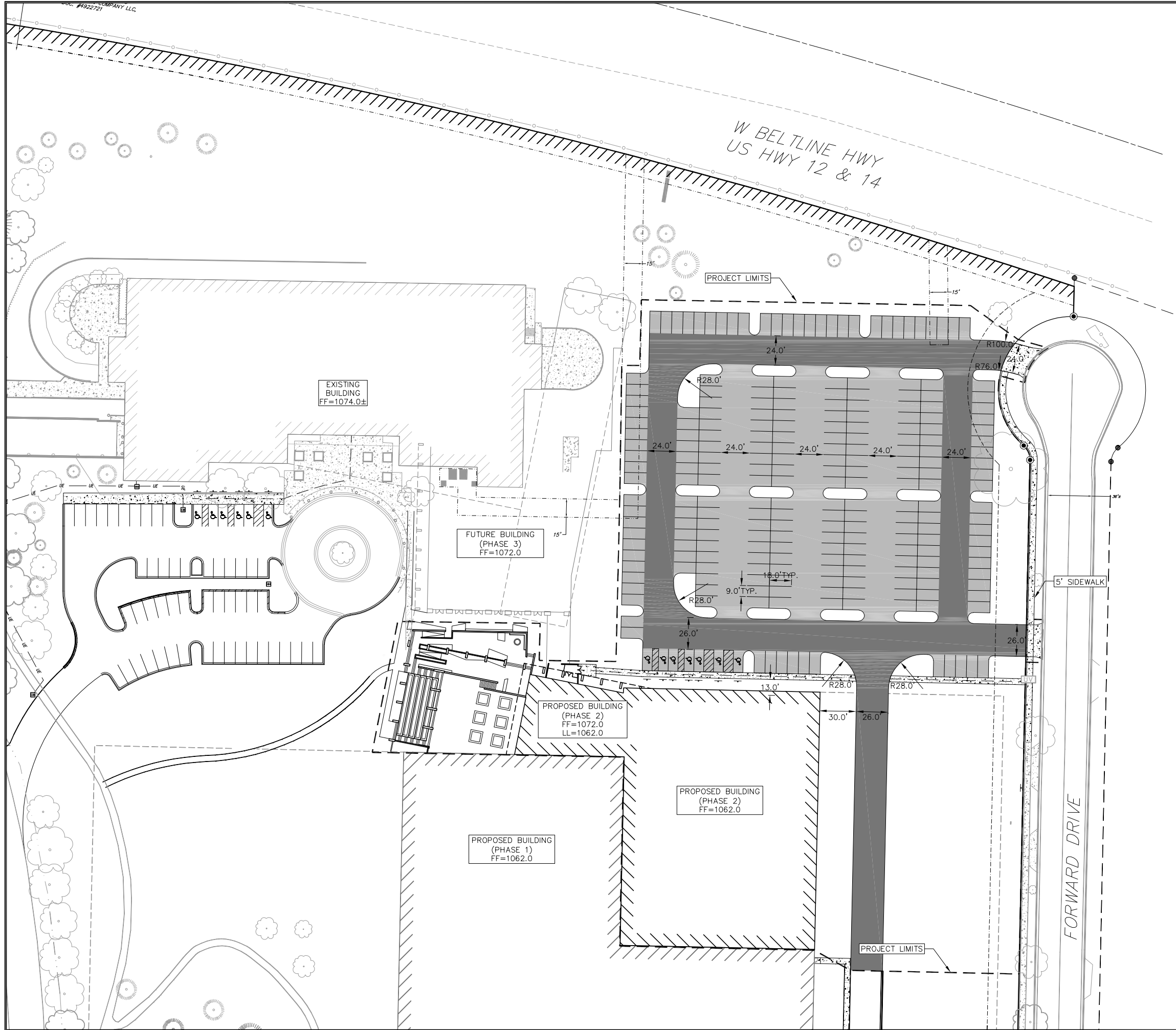
- EXISTING BOLLARD
- 🚩 EXISTING FLAG POLE
- 📋 EXISTING POST
- 🚧 EXISTING SIGN (TYPE NOTED)
- 🚶 EXISTING CURB INLET
- 🚶 EXISTING ENDWALL
- 📏 EXISTING FIELD INLET RECTANGULAR
- EXISTING FIELD INLET
- 🚰 EXISTING STORM MANHOLE
- 🚰 EXISTING SANITARY MANHOLE
- 🚰 EXISTING SEPTIC VENT
- 🚰 EXISTING FIRE HYDRANT
- EXISTING WATER MAIN VALVE
- EXISTING CURB STOP
- 🚰 EXISTING POST INDICATOR VALVE
- 🚰 EXISTING GAS VALVE
- 📏 EXISTING GAS METER
- 📏 EXISTING AIR CONDITIONING PEDESTAL
- ↑ EXISTING DOWN GUY
- 📏 EXISTING ELECTRIC RECTANGULAR MANHOLE
- 📏 EXISTING ELECTRIC PEDESTAL
- 📏 EXISTING TRANSFORMER
- 📏 EXISTING ELECTRIC METER
- ★ EXISTING LIGHT POLE
- 💡 EXISTING GENERIC LIGHT
- 🚰 EXISTING UTILITY POLE
- 📏 EXISTING TV PEDESTAL
- 📏 EXISTING TELEPHONE MANHOLE
- 📏 EXISTING TELEPHONE PEDESTAL
- 📏 EXISTING UNIDENTIFIED MANHOLE
- 🚶 EXISTING UNIDENTIFIED UTILITY VAULT
- ♿ EXISTING HANDICAP PARKING
- 🚶 EXISTING BORING
- 🌱 EXISTING PLANTER

GENERAL NOTES:

1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
2. CONTRACTOR SHALL KEEP ALL STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
3. THESE DRAWINGS ASSUME THAT THE CONTRACTOR WILL UTILIZE AN ELECTRONIC DRAWING FILE AND STAKE ALL SITE IMPROVEMENTS USING COORDINATES TIED INTO CONTROL POINTS. THE DIMENSIONS INDICATED ON THE DRAWINGS ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY.
4. PRIOR TO THE USE OF THESE DRAWINGS FOR CONSTRUCTION PURPOSES, THE USER SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF BUILDINGS WITH THE FOUNDATION DRAWINGS AND ARCHITECTURAL SITE PLAN. IF CONFLICTS EXIST THE USER OF THESE DRAWINGS SHALL CONTACT THE ENGINEER IMMEDIATELY.

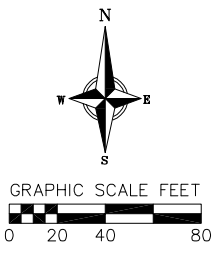
|                   |            |           |      |           |      |
|-------------------|------------|-----------|------|-----------|------|
| SCALE<br>AS SHOWN |            | REVISIONS |      | REVISIONS |      |
| DATE              | 11/14/2017 | NO.       | DATE | NO.       | DATE |
| DRAFTER           | CBOC       |           |      |           |      |
| CHECKED           | JZAM       |           |      |           |      |
| PROJECT NO.       | 170172     |           |      |           |      |
| SHEET             | 2 OF 7     |           |      |           |      |
| DWG. NO.          |            |           |      |           |      |

14 Nov 2017 - 4:59p M:\CG Growth\170172\_Exact Science, Madison\CADD\170172\_Phase 2 Plans.dwg by: jzam ©2017 Vierbicher Associates, Inc.



**SITE PLAN LEGEND**

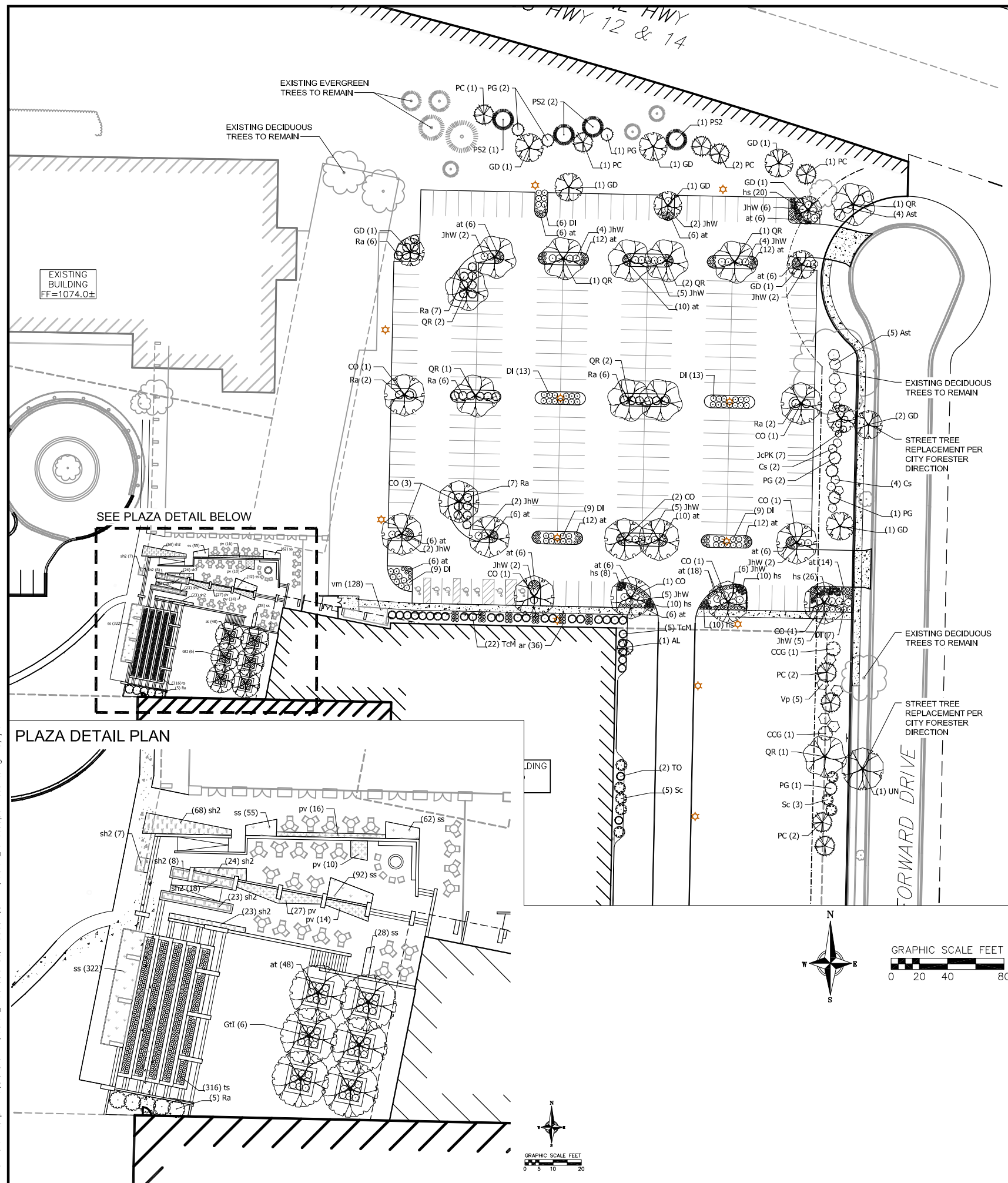
- PROPERTY BOUNDARY
- CURB AND GUTTER (REVERSE CURB HATCHED)
- RETAINING WALL
- PROJECT LIMITS
- ACCESSIBLE ROUTE
- PROPOSED CONCRETE
- PROPOSED LIGHT-DUTY ASPHALT
- PROPOSED HEAVY-DUTY ASPHALT
- PROPOSED LIGHT POLE
- PROPOSED BOLLARD
- PROPOSED ADA DETECTABLE WARNING FIELD
- PROPOSED HANDICAP PARKING



**vierbicher**  
planners | engineers | advisors  
Phone: (800) 261-3898

| REVISIONS             |      | REVISIONS |     | REVISIONS |         |
|-----------------------|------|-----------|-----|-----------|---------|
| NO.                   | DATE | REMARKS   | NO. | DATE      | REMARKS |
|                       |      |           |     |           |         |
|                       |      |           |     |           |         |
|                       |      |           |     |           |         |
|                       |      |           |     |           |         |
| SCALE<br>AS SHOWN     |      |           |     |           |         |
| DATE<br>11/14/2017    |      |           |     |           |         |
| DRAFTER<br>CBOC       |      |           |     |           |         |
| CHECKED<br>JZAM       |      |           |     |           |         |
| PROJECT NO.<br>170172 |      |           |     |           |         |
| SHEET<br>4 OF 7       |      |           |     |           |         |
| DWG. NO.              |      |           |     |           |         |

**Site Plan**  
Exact Sciences  
Parking Lot at Forward Drive  
Madison, Dane County, Wisconsin



## PLANT SCHEDULE

| DECIDUOUS TREES    |  | BOTANICAL NAME / COMMON NAME                                                      | CONT   | CAL     | SIZE              | QTY      |     |
|--------------------|--|-----------------------------------------------------------------------------------|--------|---------|-------------------|----------|-----|
| CO                 |  | Celtis occidentalis / Common Hackberry                                            | B & B  | 2.5"Cal |                   | 12       |     |
| GI                 |  | Gleditsia triacanthos `Imperial` / Imperial Honeylocust                           | B & B  | 2"Cal   |                   | 6        |     |
| GD                 |  | Gymnocladus dioica `Espresso` / Kentucky Coffeetree                               | B & B  | 2.5"Cal |                   | 11       |     |
| QR                 |  | Quercus rubra / Red Oak                                                           | B & B  | 2.5"Cal |                   | 11       |     |
| UN                 |  | Ulmus x `New Horizon` / New Horizon Elm                                           | B & B  | 2"Cal   |                   | 1        |     |
|                    |  |                                                                                   |        |         |                   |          |     |
| EVERGREEN TREES    |  | BOTANICAL NAME / COMMON NAME                                                      | CONT   | CAL     | SIZE              | QTY      |     |
| PG                 |  | Picea glauca / White Spruce                                                       | B & B  |         | 6' ht.            | 7        |     |
| PC                 |  | Picea pungens / Colorado Spruce                                                   | B & B  |         | 6' ht.            | 9        |     |
| PS2                |  | Pinus strobus / White Pine                                                        | B & B  |         | 7' ht.            | 4        |     |
| TO                 |  | Thuja occidentalis `Wintergreen` / Wintergreen Arborvitae                         | B & B  |         | 7' ht.            | 2        |     |
|                    |  |                                                                                   |        |         |                   |          |     |
| FLOWERING TREES    |  | BOTANICAL NAME / COMMON NAME                                                      | CONT   | CAL     | SIZE              | QTY      |     |
| AL                 |  | Amelanchier laevis / Allegheny Serviceberry                                       | B & B  |         | 6' ht, multi stem | 1        |     |
| CCG                |  | Crataegus crus-galli `Inermis` / Thornless Hawthorn                               | B & B  | 2"Cal   |                   | 2        |     |
|                    |  |                                                                                   |        |         |                   |          |     |
| SHRUBS             |  | BOTANICAL NAME / COMMON NAME                                                      | SIZE   | FIELD2  | FIELD3            | QTY      |     |
| As                 |  | Amelanchier stolonifera / Running Serviceberry                                    | 3 gal  | Cont    |                   | 9        |     |
| Cs                 |  | Cornus sericea / Red Twig Dogwood                                                 | 5 gal  |         |                   | 6        |     |
| JcPK               |  | Juniperus chinensis `Pfitzerana Kallays Compacta` / Kally Pfitzer Compact Juniper | 3 gal  | Cont    |                   | 7        |     |
| Sc                 |  | Sambucus canadensis / Elderberry                                                  | 5 gal  |         |                   | 8        |     |
| Vp                 |  | Viburnum prunifolium / Blackhaw Viburnum                                          | 5 gal  | Cont    |                   | 5        |     |
|                    |  |                                                                                   |        |         |                   |          |     |
| ANNUALS/PERENNIALS |  | BOTANICAL NAME / COMMON NAME                                                      | SIZE   | FIELD2  | FIELD3            | QTY      |     |
| ar                 |  | Actaea racemosa `Brunette` / Brunette Snakeroot                                   | 1 gal  | Cont    |                   | 36       |     |
| at                 |  | Amslonia tabernaemontana `Blue Ice` / Blue Ice Star Flower                        | 1 gal  | Cont    |                   | 220      |     |
| hs                 |  | Hemerocallis x `Stella de Oro` / Stella de Oro Daylily                            | 4" pot | Cont    |                   | 84       |     |
| ts                 |  | Thymus species / Creeping Thyme                                                   | flat   | 2" pot  |                   | 316      |     |
|                    |  |                                                                                   |        |         |                   |          |     |
| DECIDUOUS SHRUBS   |  | BOTANICAL NAME / COMMON NAME                                                      | SIZE   | FIELD2  | FIELD3            | QTY      |     |
| DI                 |  | Diervilla lonicera / Dwarf Bush Honeysuckle                                       | 3 gal  | Cont    |                   | 66       |     |
| Ra                 |  | Rhus aromatica `Gro-Low` / Gro-Low Fragrant Sumac                                 | 3 gal  | Cont    |                   | 41       |     |
|                    |  |                                                                                   |        |         |                   |          |     |
| EVERGREEN SHRUBS   |  | BOTANICAL NAME / COMMON NAME                                                      | SIZE   | FIELD2  | FIELD3            | QTY      |     |
| JHW                |  | Juniperus horizontalis `Wisconsin` / Creeping Juniper                             | 3 gal  | Cont    |                   | 54       |     |
| TcM                |  | Taxus cuspidata `Monloo` / Emerald Spreader Japanese Yew                          | 5 gal  | Cont    |                   | 27       |     |
|                    |  |                                                                                   |        |         |                   |          |     |
| GROUND COVERS      |  | BOTANICAL NAME / COMMON NAME                                                      | CONT   | FIELD2  | FIELD3            | SPACING  | QTY |
| pv                 |  | Panicum virgatum `Shenandoah` / Switch Grass                                      | flat   | 2" pot  |                   | 24" o.c. | 67  |
| ss                 |  | Schizachyrium scoparium / Little Bluestem Grass                                   | flat   | 2" pot  |                   | 12" o.c. | 559 |
| sh2                |  | Sporobolus heterolepis / Prairie Dropseed                                         | flat   | 2" pot  |                   | 18" o.c. | 171 |
| vm                 |  | Vinca minor / Common Periwinkle                                                   | flat   | 2" pot  |                   | 18" o.c. | 128 |

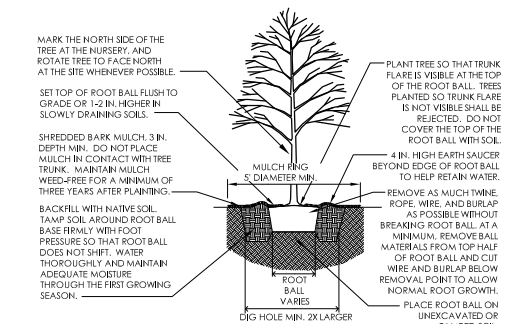
**GENERAL NOTES:**

1. All plantings shall conform to quality requirements as per ANSI Z60.1.
2. All plant material shall be true to the species, variety and size specified, nursery grown in accordance with good horticultural practices, and under climatic conditions similar to those of the project site.
3. Contact Landscape Architect, in writing, to request and plant material substitutions due to availability issues.
4. All disturbed areas, unless otherwise noted, to be seeded with Madison Parks Mix by Olds Seed Company or equivalent, per manufacturer's specified application rates. All seeded areas are to be watered daily to maintain adequate soil moisture for proper germination. After vigorous growth is established, apply  $\frac{1}{2}$ " water twice weekly until final acceptance.
5. All plants shall be guaranteed to be in healthy and flourishing condition during the growing season following installation (shrubs and perennials) or the second growing season following installation (trees). All plant material shall be guaranteed for one year (shrubs and perennials) or two years (trees) from the time of installation.
6. Contractor shall provide a suitable amended topsoil blend for all planting areas where soil conditions are unsuitable for plant growth. Topsoil shall conform to quality requirements as per Section 625.2(1) of the Standard Specifications for Highway Construction. Provide a minimum of 12" of topsoil in all planting areas and 6" of topsoil in areas to be seeded/sodded.
7. Landscape beds to be mulched with undyed shredded hardwood bark mulch to 3" depth min.

### 1 B&B TREE PLANTING DETAIL

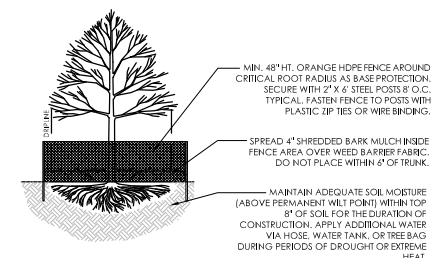
NOTES:

- DO NOT HEAVILY PRUNE TREE AT PLANTING. PRUNE ONLY CROSSING LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- WRAP TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.



## 2 TREE PROTECTION DETAIL

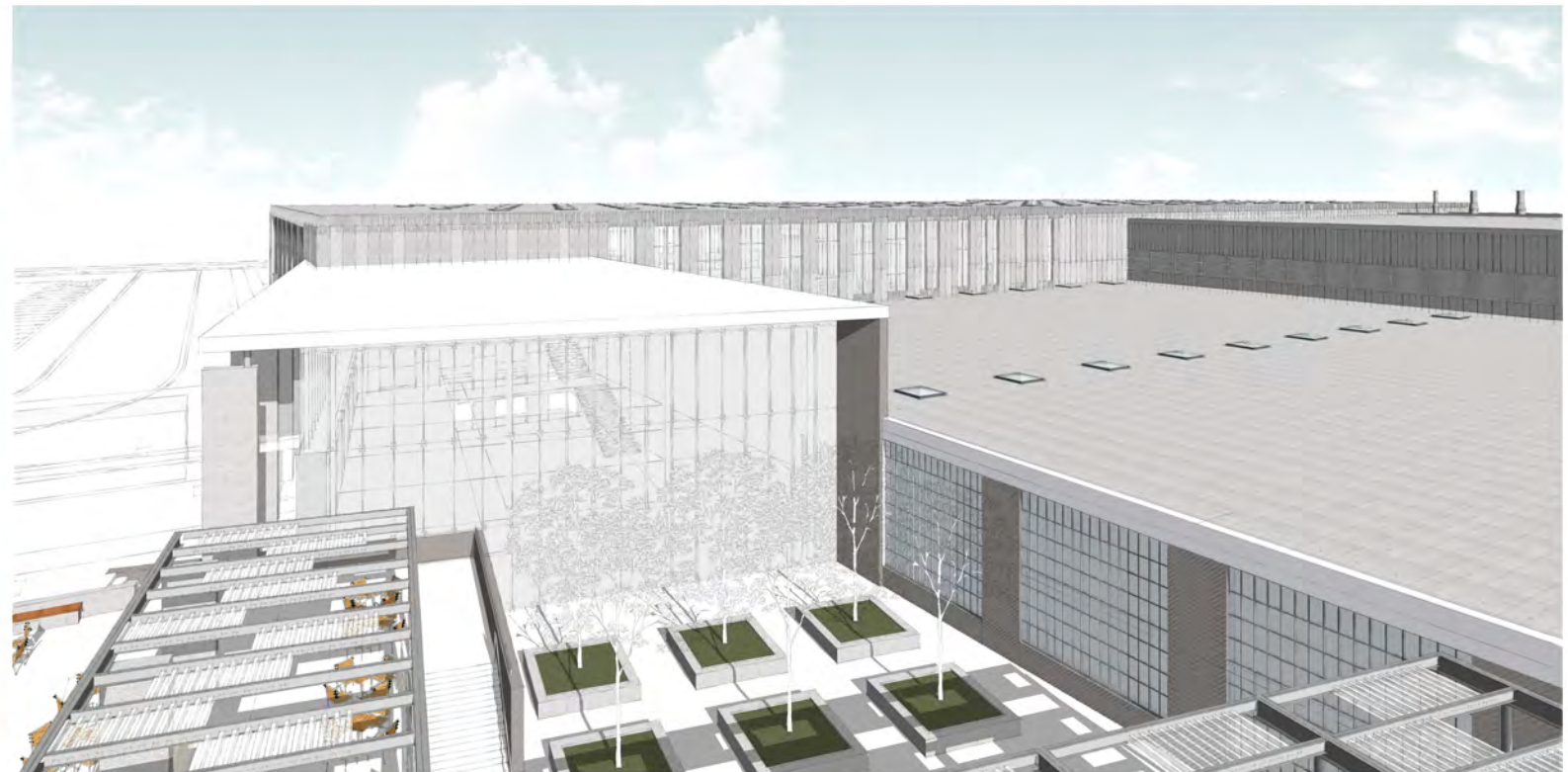
- NOTES:
- CRITICAL ROOT RADIUS (IN FEET) =  $1' \times \text{DBH}$   
EXAMPLE:  $6' \text{ DBH TREE} = 6' \text{ RADIUS}$
  - ONLY HANDWORK ALLOWED WITHIN CRITICAL ROOT RADIUS. NO TRAFFIC OR STORAGE OF MATERIALS ALLOWED. NO EQUIPMENT SHALL BE OPERATED WITHIN THE CRITICAL ROOT RADIUS INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
  - NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST





North West Aerial  
Manufacturing and Clinical Lab Facility - Madison  
2017.01.04  
November 15, 2017

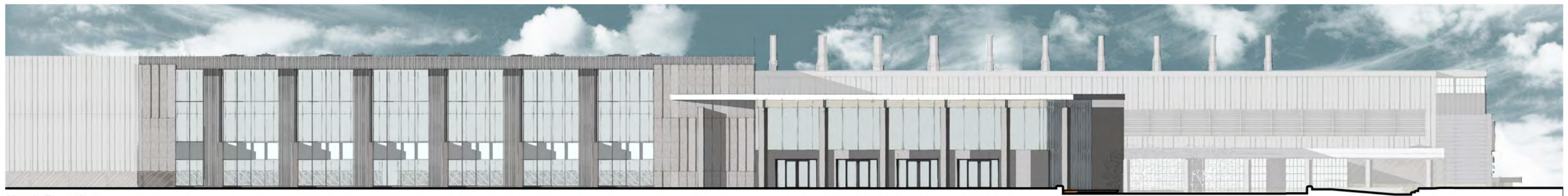








West Elevation



North Elevation



East Elevation

## Elevations

Manufacturing and Clinical Lab Facility - Madison

2017.01.04

November 15, 2017