



URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

This form may also be completed online at:

<http://www.cityofmadison.com/planning/documents/UDCApplication.pdf>

215 Martin Luther King Jr. Blvd; Room LL-100

PO Box 2985; Madison, Wisconsin 53701-2985

Phone: 608.266.4635 | Facsimile: 608.267.8739

Please complete all sections of the application, including the desired meeting date and the type of action requested.

Date Submitted: Prior to noon on February 8, 2017 4/26/17
UDC Meeting Date: March 22, 2017 5/10/17
Combined Schedule Plan Commission Date (if applicable): April 3, 2017

☐ Informational Presentation
☒ Initial Approval
☒ Final Approval

1. Project Address: 3758 East Washington Avenue, Madison
Project Title (if any): Klein's Floral and Greenhouses Redevelopment

2. This is an application for (Check all that apply to this UDC application):

☒ New Development ☐ Alteration to an Existing or Previously-Approved Development

A. Project Type:

☒ Project in an Urban Design District #5 (public hearing-\$300 fee)

☐ Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) (\$150 fee, Minor Exterior Alterations)

☐ Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment Campus District (EC) Planning & Community & Economic Development

☐ Planned Development (PD)

☐ General Development Plan (GDP)

☐ Specific Implementation Plan (SIP)

☐ Planned Multi-Use Site or Planned Residential Complex

AGENDA ITEM #
LEGISTAR # 44222
ALD. DIST. 17

B. Signage:

☐ Comprehensive Design Review* (public hearing-\$300 fee) ☐ Street Graphics Variance* (public hearing-\$300 fee)

☐ Signage Exception(s) in an Urban Design District (public hearing-\$300 fee)

C. Other:

☐ Please specify:

3. Applicant, Agent & Property Owner Information:

Applicant Name: Susan H. Klein, sole member of each LLC (see below) Company: JOT Properties, LLC and SUB Properties, LLC

Street Address: 709 Augusta Drive

Telephone: (608) 244-5661

Fax: ()

City/State: Waunakee, WI

Zip: 53597

Email: sue@kleinsfloral.com

Project Contact Person: Tim Anderson

Street Address: 2126 Yahara Place

Telephone: (608) 514-5402

Fax: ()

Company: Tim Anderson, Consulting, LLC

City/State: Madison, WI

Zip: 53704

Email: tander2126@gmail.com

Project Owner (if not applicant): JOT Properties, LLC and SUB Properties, LLC

Street Address: 709 Augusta Drive

Telephone: (608) 244-5661

Fax: ()

City/State: Waunakee, WI

Zip: 53597

Email: sue@kleinsfloral.com

4. Applicant Declarations:

A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Jessica Vaughn on 2/1/17.

(name of staff person)

(date of meeting)

B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of Applicant: Susan H. Klein

Relationship to Property: Sole member of JOT Properties, LLC and SUB Properties, LLC

Authorized Signature: Susan H. Klein

SUSAN H. KLEIN

Date: 2/8/17



April 26, 2017

City of Madison Planning Department
126 S. Hamilton St.
Madison, Wisconsin 53701-2985

ATTENTION: Jessica Vaughn, Julie Cleveland and Urban Design Commission

**Re: UDC Application for Final Approval of the Klein Project and Narrative
addressing the Requirements and Guidelines of Urban Design District #5**

**NOTICE: This Narrative is intended as a replacement for the Narrative submitted
on March 6, 2017**

PROJECT TITLE: Klein's Floral & Greenhouse Redevelopment

To Whom It May Concern:

The Project Team for Klein's Floral & Greenhouse Redevelopment (hereafter the "Klein Project") submitted its Land Use Application and UDC Application on February 8, 2017. Pursuant to a request by Planning Staff, we revised and supplemented our initial filing and added a Narrative discussing the relationship between the Klein Project and the Requirements and Guidelines of Urban Design District #5. The revised and supplemented plans and Narrative were filed before noon on March 6, 2017.

Explanation of Revised Filing:

Subsequent to our filing on March 6, 2017, we discovered that we needed to engage in many weeks of negotiation with Scott Faust (the Owner/landlord of the adjacent Walgreens property) and Walgreens to satisfy them with respect to their interpretation of the terms of a certain easement agreement executed on March 4, 1999. Among its many provisions, that easement agreement created reciprocal access rights to 3 access points on E. Washington Ave. and 1 access point on Stoughton Road. Mr. Faust insisted upon a 2-way driveway in front of the proposed new greenhouses (parallel and adjacent to E. Washington Ave.). Ms. Klein objected to this driveway but eventually proposed a single lane, 1-way access driveway (which had been in existence for more than 20 years) which Mr. Faust rejected. Finally, Ms. Klein relented and agreed to a 2-way driveway in order to avoid a long dispute and to keep the construction of her project on schedule for

completion in 2017. That necessitated the significant relocation of her proposed building, the placement of the 2-way access driveway and significant adjustments to her parking plans.

We have been working with Planning Staff throughout all of these efforts and have appreciated their input and patience. All of these changes are shown in the site plan, drawings, elevations and other attachments which are a part of this filing.

Accordingly, attached to this letter are 14 copies of our continued UDC Application for approval of Klein Project, revised as requested. **The balance of this letter constitutes the needed Narrative.**

RELATIONSHIP OF THE KLEIN PROJECT TO THE REQUIREMENTS AND GUIDELINES OF URBAN DESIGN DISTRICT #5

Klein's Floral & Greenhouse has been at its present location since 1913. Sue Klein, the present sole member of the two limited liability companies which own the property upon which this business operates, is the granddaughter of the founder of the business, Frederick Klein. She is the 3rd generation owner and two of her children are intending to become the 4th generation owners when Sue retires.

The present facility has been modified and upgraded from time to time but it is also showing its age. The house presently sitting on property (where Sue grew up) has been converted to administrative offices but it is in need of substantial repair. In fact, it is subject to pending City repair orders issued by the City Building Inspector which have been placed on hold until June 30, 2017 pending the completion of this project which includes demolition of the house and other buildings on the property. After much agonizing over the correct decision, Sue decided that the combination of the aged condition of the buildings and the desire of her sons to continue the business at the same location meant that she needed to redevelop the infrastructure of her business and create a state of the art facility.

The reason I prepared this brief history of Sue's business life and decision-making process is that we are mindful of the purposes of Urban Design District #5 and firmly and strongly believe that the development of this new facility fronting on East Washington Avenue with its new buildings and proposed landscaping is 100% consistent with and in compliance with the purposes for which District #5 was created. **Specifically, these new buildings, highlighted by the proposed landscaping, will positively "improve the appearance of a major transportation corridor" (i.e., E. Washington Ave.). These improvements will definitely "preserve and enhance the property values in the District" and help "avoid a substantial depreciation of property values in the District."** Accordingly, we believe that the Klein Project squarely addresses and fully satisfies the purpose of this District #5.

The following narrative supplements the graphic exhibits included with this application and summarizes how the Klein Project fits the district guidelines.



1. Public Rights-of-Way

The proposed Klein's building and site design complement the scale, character and use mix of adjoining properties, which are Home Savings to the east and Walgreens to the west, and improves the visual continuity and appearance of the East Washington Avenue corridor between Mendota Street and Stoughton Road (STH 51).

2. Off-Street Parking and Loading

The proposed Klein's parking lot and loading area have been carefully integrated into the site development. The customer parking area has been divided into two areas to meet Klein's parking needs. A 48 stall parking area is located on the west side of the building and a smaller 13 stall parking area is located in the front of the building facing East Washington Avenue along a 2-way drive that extends to the easterly access point to the Property. All of the stalls in the front parking area are designated for small car parking to reduce the amount of impervious surface. A 3' high wood fence with landscaping is proposed to screen the cars facing East Washington Avenue. The main loading area is located on the northwesterly side of the property northerly of the parking lot and will not be visible from the street or residences adjacent to the property. The relationship between the parking/loading areas and the building has been carefully planned. The parking area has been located and designed so customers can move easily and safely to the main business entrance. Trucks will use Stoughton Road (STH 51) to access the loading area to minimize conflicts with automobile and pedestrian circulation. We believe that this design and configuration is in compliance with the revised "New Approach to Parking Lot Landscaping adopted by the Common Council and with Chapter 28 of the MGO per the requirements and guidelines of Urban Design District #5.

3. Signs

The existing double sign panel will be relocated closer to the shared drive with Walgreens and will be landscaped. The existing lights at the top of the sign will remain on the sign. All other site signage is directional. As described and to be constructed, we believe that this signage will comply with the requirements and guidelines of Urban Design District #5.

4. Building Design

The proposed Klein's redevelopment includes a new 30,400 SF 'L' shaped building that combines two main architectural components. One main component is a 22,800 SF greenhouse structure oriented north-south on the site with a short gable end facing East Washington Avenue. The north-south orientation allows for an efficient product flow from existing growing greenhouses at the rear of the property to the seasonal and retail greenhouses located in the new facility. Another major architectural component is a 7,600 SF one-story flat roof retail building with a mezzanine that will house the business retail sales and administration functions. This structure, which is defined by zoning as a one story building with a mezzanine, has been designed with a scale, proportion, composition of architectural elements and mix of exterior materials and colors to be the focal point for the Klein's redevelopment and to present a compatible and harmonious relationship to adjoining buildings. The Klein's architectural design allows two different building types to express their individual identities and functions while

blending together to create an overall cohesive composition. The addition of concrete masonry block pilasters as a common design element and attractive foundation landscaping assists in visually connecting the two structures and creating a unified appearance for East Washington Avenue frontage.

The Kleins Floral & Greenhouses main entrance is located on the north side of the two story retail building. This location is critical to achieve the desired Klein's customer flow where customers can experience all facets of the Klein's product line starting with the exterior retail courtyard and moving through the facility's greenhouse and retail sales areas before reaching the checkout. Since the main entrance is not directly visible from East Washington Avenue, the site design has created an "invitational entrance" that directs pedestrians along a 'garden walk' with landscaping, lighting and pergola structures that leads to the main entrance. A strong vertical element has been added to the southwest corner of the retail building as the starting point for this invitational entrance. Planter boxes will be placed on top of the roof edge facing East Washington Avenue to enhance the visual character and interest of the building.

5. Lighting

The Klein's exterior lighting design includes a combination parking lot lighting, walkway lighting, building mounted lighting, accent lighting and security lighting that will enhance the beauty and safety of the Klein's property and present a complimentary relationship to adjoining properties. The lighting design proposes efficient and attractive fixtures that will provide the necessary illumination to insure the safe use of the property while minimizing impacts to adjoining properties. The lighting design assumes some contribution of light from the greenhouses in determining location, quantity and of types of light fixtures.

6. Landscaping

The planting design is intended to serve in these functions: frames views toward the entrances (both the building and driveways) and corner display window, screens parking lot views, complements the architecture in the rhythm of the greenhouse mass and the retail center and provides a showcase of plant types that display the Klein's plant materials which they grow and sell. Plant combinations and display gardens will provide consumers with multiple ideas to borrow for their own personal landscape projects. The talented Klein's horticultural staff will maintain the plantings in all seasons including the use of mulch materials with well edged plant beds and mowed lawn areas.

Shade and ornamental trees screen views and provide shading. Perennial grasses and flowers and annual flowers will be displayed with background shrubs. There will be seasonal displays along East Washington Avenue and at the entrances. The seasonal plant combinations will be displayed in borders and raised planters. Annual plant types will shift with the seasons and include: spring bulbs, summer annuals, fall plants and holiday greenery and decorations. Both perennial and annual vines will accent the pergolas.

With respect to the utilities to be serving this new facility, all utility services requiring wiring will be placed underground,

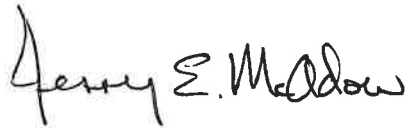
We are asking you to agree with us that we satisfy the stated purpose of Urban Design District #5 and meet all of the requirements and guidelines set forth in the Ordinance. For over 100 years, this business has projected a positive influence on its neighbors and neighborhood and these proposed improvements represent a commitment and dedication to not only continue but to also strengthen this influence for the next generation.

The preparation of this summary and narrative has been the joint work product of the Project Team.

Thank you for your review and consideration.

Sincerely,

BOARDMAN & CLARK LLP

A handwritten signature in black ink that reads "Jerry E. McAdow". The signature is written in a cursive, flowing style.

Jerry E. McAdow

JEM:pr

F:\DOCS\WD\58929\35\A2767853.DOCX(042617)

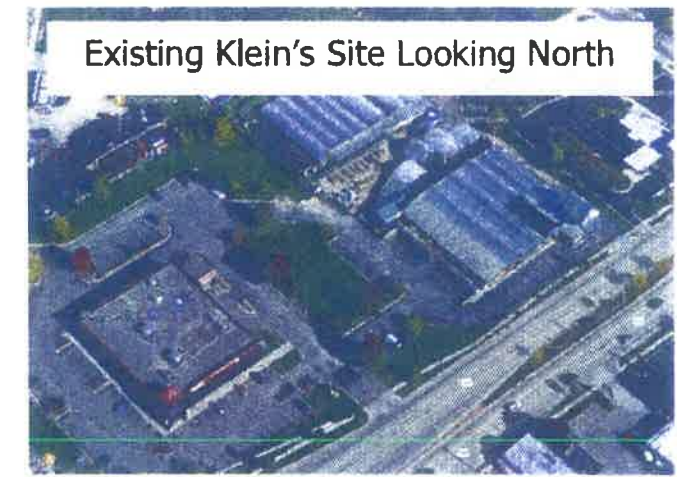
City of Madison Urban Design Commission Application April 26, 2017

Klein's Floral & Greenhouses Redevelopment 3758 East Washington Avenue, Madison, WI 53704

Planning Team:

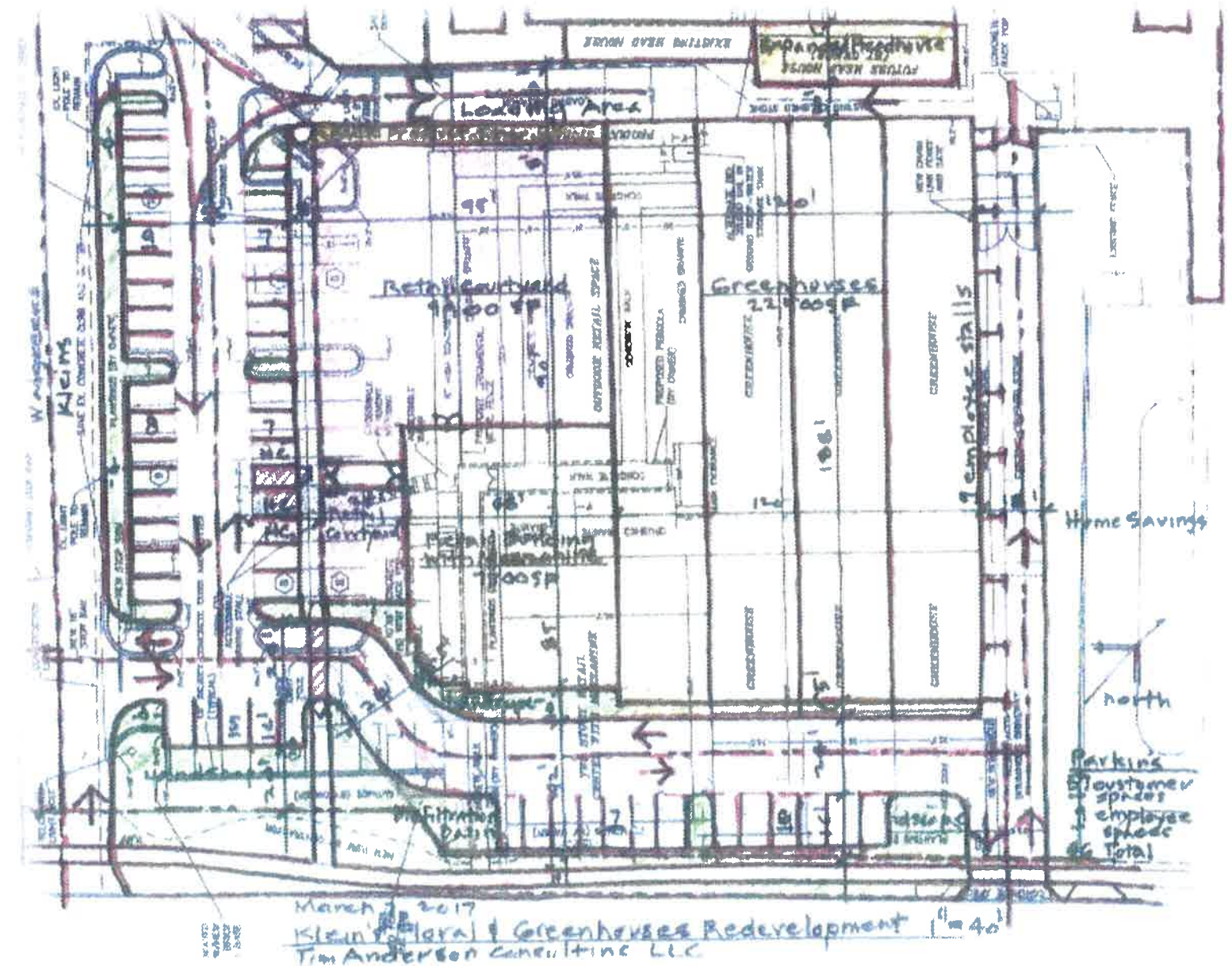
Land Use Planner: Tim Anderson Consulting
Engineer: Burse Surveying and Engineering
Landscape Architect: Ken Saiki

Architect: Linville Architects
Garden Center Consultant: Growing Places
Design Attorney: Boardman & Clark



List of Included Drawings:

- S-100 Site Context Plan
- C-100 Existing Conditions Plan
- C-200 Demolition Plan
- C-300 Site Plan
- C-400 Utility Plan
- C-500 Grading Plan
- L-100 Landscape Plan
- L-200 Planting Detail Plan
- L-300 Planting Detail Plan
- L-400 Plant List and Landscape Worksheet
- L-500 Lighting Photometrics
- A-100 Building Floor Plan
- A-200 Building Elevations
- ~~A-300 Building Elevations~~





Klein's Floral & Greenhouse Redevelopment

Site Context Photos - South side of East Washington
Avenue between Mendota Street and Stoughton Road



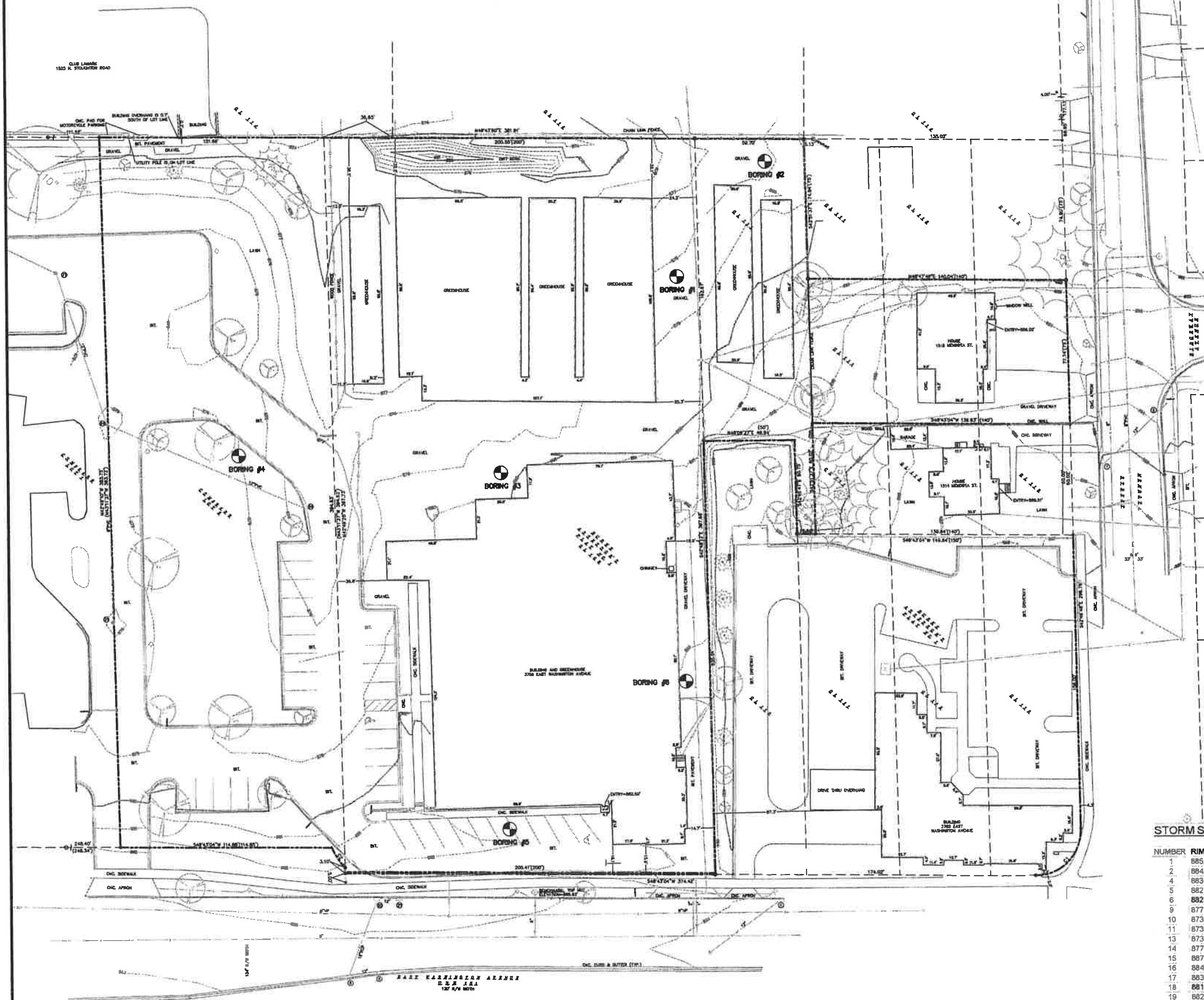


Klein's Floral & Greenhouse Redevelopment

Site Context Photos - North side of East Washington
Avenue between Mendota Street and Stoughton Road



PART OF LOT 2, CERTIFIED SURVEY MAP NUMBER 9499, AS RECORDED IN VOLUME 54 OF CERTIFIED SURVEY MAPS, ON PAGES 136-139, AS DOCUMENT NUMBER 3169025, DANE COUNTY REGISTRY AND PART OF OUTLOTS 109, 111, 112 AND 113, BURKE ASSESSOR'S PLAT NO. 1, AS RECORDED IN VOLUME 9 OF PLATS, ON PAGES 15-21, AS DOCUMENT NUMBER 593673, DANE COUNTY REGISTRY, LOCATED IN THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 08 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.



LEGEND

- 3/4" SOLID IRON ROD FOUND UNLESS NOTED
- ⊙ 1" IRON PIPE FOUND UNLESS NOTED
- RAILROAD SPIKE FOUND
- ✱ SET CUT X
- SET MAG NAIL
- 3/4" X 18" SOLID IRON RE-ROD SET, WT. 1.50 lbs./ft.
- SPOT ELEVATION
- OVERHEAD UTILITY WIRE
- BURIED GAS LINE
- WATER MAIN
- SANITARY SEWER
- STORM SEWER
- BURIED TELEPHONE
- BURIED ELECTRIC
- BURIED CABLE ACCESS TELEVISION LINE
- BURIED FIBER OPTIC
- W WATER VALVE
- G GAS VALVE
- G GAS METER
- AIR CONDITIONER
- ELECTRIC PEDESTAL
- UTILITY POLE
- LIGHT POLE
- ⊙ TELEPHONE PEDESTAL
- ⊙ FIRE HYDRANT
- SIGN
- GUY WIRE
- MAILBOX
- STORM SEWER INLET
- STORM SEWER MANHOLE
- ROUND CATCH BASIN
- SANITARY SEWER MANHOLE
- DECIDUOUS TREE
- CONIFEROUS TREE
- () INDICATES RECORDED AS
- DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT. BUILDINGS ARE MEASURED TO THE NEAREST TENTH OF A FOOT.
- BOLLARD
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR

NOTES

- 1) Except as specifically stated or shown on this map, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements, building setback lines, restrictive covenants, subdivision restrictions, zoning or other land use regulations; and any other facts that on accurate and current title search may disclose.
- 2) No attempt has been made as a part of this survey to obtain or show data concerning existence, size, depth, condition, capacity, or location of any utility or municipal/public service facility. For information regarding these utilities or facilities, please contact the appropriate agencies.
- 3) Dates of field work:
- 4) Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that on accurate and current title search may disclose.
- 5) All surface and subsurface improvements on and adjacent to the site are not necessarily shown hereon.
- 6) All trees, hedges and ground cover on the site may not necessarily be shown hereon.
- 7) Routing of public utilities is based upon drawings obtained from the City of Madison Engineering Department, markings provided by Digger's Hotline Ticket Numbers 20162901252, 20162901178, 20162904682, 20162904696, 20162904719, 20162904735 and visible above ground structures. Additional buried utilities/structures may be encountered. No excavations were made to locate utilities. Before excavations are performed contact Digger's Hotline.
- 8) Elevations are based upon NAVD83 datum. Surveyor transferred elevations to the site with RTK GPS surveying observing the WISCONSIN network.

0 30 60

DIGGERS HOTLINE

Dial 811 or (800) 242-8511
www.DiggersHotline.com

STORM SEWER AND SANITARY SEWER ELEVATION TABLE

NUMBER	RUM/TC	ELEVATION	ELEVATION	ELEVATION	DESCRIPTION
1	885.53	NE 881.83			STORM SEWER - CURB INLET
2	884.12	FLR 880.96			STORM SEWER - CURB INLET NO VISIBLE PIPES
4	883.70	SE 881.04	N 880.59		STORM SEWER - CURB INLET
5	882.75	SW 879.74			STORM SEWER - CURB INLET
6	882.80	N 879.04	S 879	NE 879.36	STORM SEWER - CURB INLET
9	877.00	N 867.31	SE 867.55		SANITARY SEWER - MANHOLE
10	873.17	N 862.77	S 863		SANITARY SEWER - MANHOLE
11	873.96	SW 869.22	NE 869.61		STORM SEWER - MANHOLE
13	873.28	SW 870.12			STORM SEWER - CATCH BASIN
14	877.72	NW 867.74	SE 867.72		SANITARY SEWER - MANHOLE
15	887.12	NW 875.73	E 875.82		SANITARY SEWER - MANHOLE
16	884.55	N 876.54	SW 876.39		SANITARY SEWER - MANHOLE
17	883.30	S 880.45	N 880.48		STORM SEWER - MANHOLE
18	881.81	SW 874.83	NW 874.96	NE 874.83	SANITARY SEWER - MANHOLE
19	882.42	SW 871.72	NW 871.8	NE 873.23	SANITARY SEWER - MANHOLE
20	882.00	SW 879.29	S 879.11	NE 879.4	STORM SEWER - CURB INLET
21	882.00	SW 879.53	NE 879.7		STORM SEWER - CURB INLET
22	873.97	W 869.06	E 868.94		STORM SEWER - CURB INLET
24	877.66	FLR 872.11			STORM SEWER - 2' DIAMETER CATCH BASIN
25	877.70	FLR 873.67			STORM SEWER - 2' DIAMETER CATCH BASIN
26	877.58	SW 874.17			STORM SEWER - CURB INLET

Burse
Surveying and Engineering, Inc.

2801 International Lane, Suite 101
Madison, WI 53704
Phone: 608-250-9263
Fax: 608-250-9266
e-mail: MBurse@BSE-INC.net
www.burse-surveying.com

APPROVALS
PROJECT ENG. M.L.B. PLT. M.L.B. CHECKED BY: M.L.B. APPROVED BY: M.L.B.

Klein's Floral and Greenhouses
3758 E. Washington Avenue
Madison, Wisconsin

Klein's Floral and Greenhouses, Inc.
3758 E. Washington Avenue
Madison, WI 53704

PROJECT #: BSE1823-15
PLOT DATE: 04/24/2017

REVISION DATES:

ISSUE DATES:
LUA Submittal 02/08/2017
LUA Submittal 04/28/2017

EXISTING CONDITIONS
PLAN

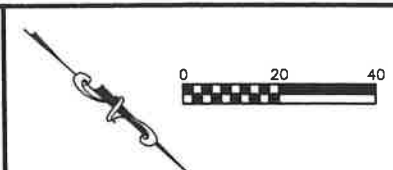
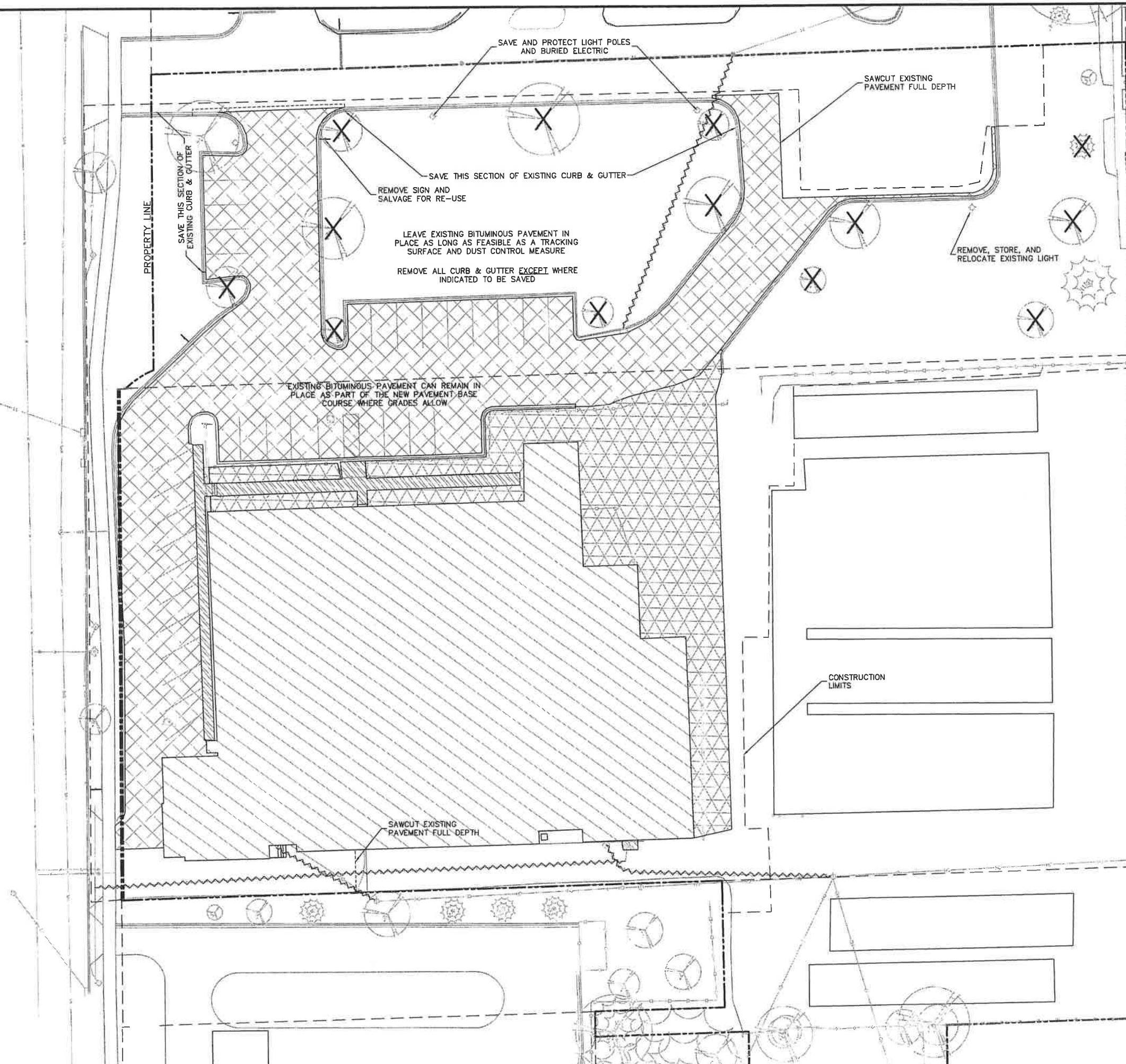
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DRAWING NUMBER

C-100

E WASHINGTON AVE.



- DEMOLITION NOTES:**
1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
 2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
 3. THE CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY FOR ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE DEVELOPER IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
 4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON-SITE LOCATIONS OF EXISTING UTILITIES. NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
 5. ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DEMOLITION AND REMOVAL OF ALL SERVICE LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
 6. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
 7. CONTRACTOR SHALL PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, COVERED WALKWAYS, ETC. CONTRACTOR SHALL SUBMIT THEIR STREET OCCUPANCY PLAN TO TRAFFIC ENGINEERING FOR APPROVAL.
 8. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
 9. THE CONTRACTOR MAY LIMIT SAWCUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR IN KIND.
 10. DAMAGE TO ALL EXISTING CONDITION TO REMAIN WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
 11. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.

LEGEND

	REMOVE BITUMINOUS PAVEMENT
	REMOVE CONCRETE
	RAZE BUILDING
	REMOVE GRAVEL
	REMOVE UTILITY LINE
	REMOVE TREE

DIGGERS HOTLINE
Dial 811 or (800) 242-8511
www.DiggersHotline.com

Burse
Surveying and Engineering, Inc.
2801 International Lane, Suite 101
Madison, WI 53704
Phone: 608-250-8263
Fax: 608-250-5266
e-mail: mburse@BSE-Eng.com
www.bursesurveyeng.com

APPROVALS	DATE	BY
DESIGNED BY		
CHECKED BY		
IN CHARGE		
PROJECT NO.		
DATE		

Klein's Floral and Greenhouses
3756 E. Washington Avenue
Madison, Wisconsin
Klein's Floral and Greenhouses, Inc
3756 E. Washington Avenue
Madison, WI 53704

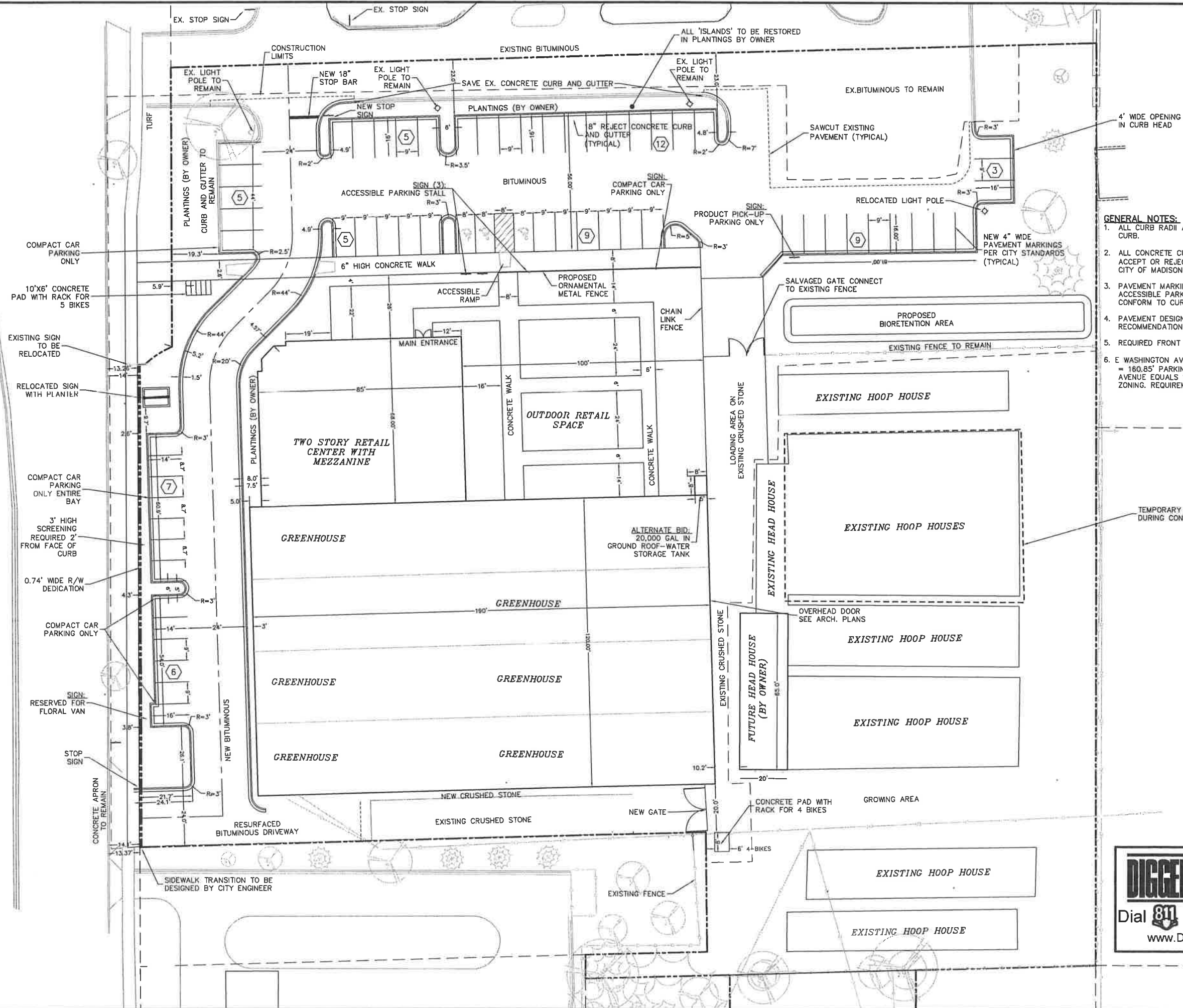
PROJECT #	BSE1823-15
PLOT DATE	04/24/2017
REVISION DATES:	
ISSUE DATES:	
LUA Submittal	02/08/2017
LUA Submittal	04/26/2017

DEMOLITION PLAN

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DRAWING NUMBER
C-200

E WASHINGTON AVE.



GENERAL NOTES:

1. ALL CURB RADII ARE MEASURED FROM THE FACE OF CURB.
2. ALL CONCRETE CURB ARE 18" IN WIDTH (EITHER ACCEPT OR REJECT) AND SHALL CONFORM TO THE CITY OF MADISON STANDARD SPECIFICATIONS
3. PAVEMENT MARKINGS AND SIGNAGE PERTAINING TO ACCESSIBLE PARKING STALLS AND ROUTES SHALL CONFORM TO CURRENT ADA REGULATIONS
4. PAVEMENT DESIGN SHALL BE PER THE RECOMMENDATION OF THE SOILS CONSULTANT.
5. REQUIRED FRONT YARD SETBACK IS 0 FEET.
6. E WASHINGTON AVENUE FRONTAGE IS 321.7'. 321.7/2 = 160.85' PARKING FRONTAGE ALONG E WASHINGTON AVENUE EQUALS 158.9 THEREBY MEETING THE CC-T ZONING REQUIREMENTS.



2201 International Lane, Suite 101
Madison, WI 53704
Phone: 608-250-9263
Fax: 608-250-5266
e-mail: MBurse@BSE-INC.net
www.bursesurveyeng.com

APPROVAL	DATE	BY
PROJECT		
DESIGN		
CHECK		
INCHARGE		
REVIEW		
DATE		

Klein's Floral and Greenhouses
3758 E. Washington Avenue
Madison, Wisconsin

Klein's Floral and Greenhouses, Inc
3758 E. Washington Avenue
Madison, WI 53704

PROJECT #: BSE1623-15
PLOT DATE: 04/24/2017

REVISION DATES:

ISSUE DATES:
LUA Submittal 02/08/2017
LUA Submittal 04/26/2017

CIVIL SITE PLAN



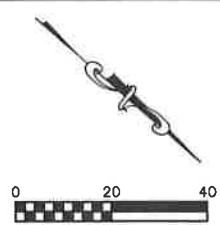
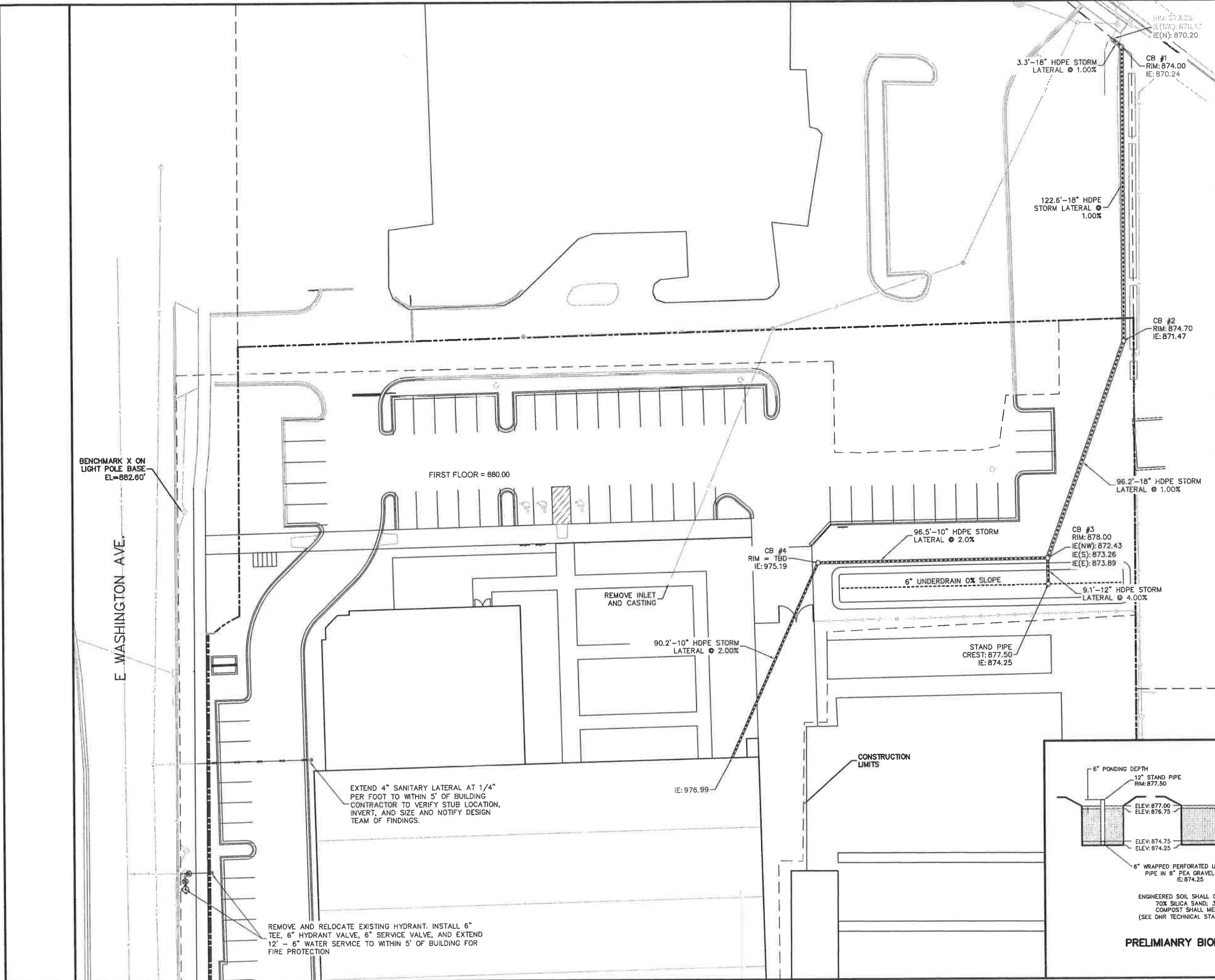
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C-300



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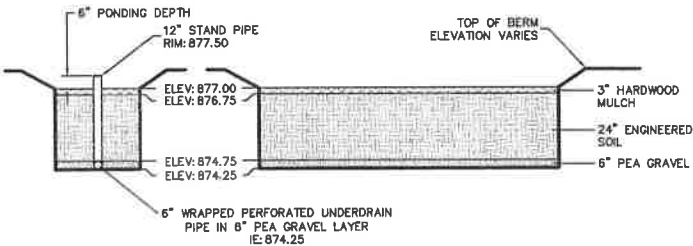


NOTES:

1. ALL PRIVATE UTILITIES (GAS, ELECTRIC, AND TELECOMMUNICATIONS) SERVING EXISTING BUILDINGS SCHEDULED FOR DEMOLITION TO BE ABANDONED OR REMOVED BY CORRESPONDING UTILITY COMPANY.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES. UTILITIES WERE LOCATED BY OBSERVED EVIDENCE, MARKINGS PROVIDED BY DIGGER'S HOTLINE, AND RECORD DRAWINGS FROM THE CITY OF MADISON.
3. CONTRACTOR SHALL VERIFY THE SIZE, TYPE, SLOPE, AND INVERTS OF ALL EXISTING STORM AND SANITARY LATERALS CALLED OUT TO BE CONNECTED TO. CONTRACTOR SHALL SUBMIT THE INFORMATION ON THE PIPES TO THE CITY INSPECTOR AND PROJECT CIVIL ENGINEER.
4. ANY SIDEWALK, CURB, OR OTHER PUBLIC PROPERTY DAMAGED AS PART OF THE CONSTRUCTION OF THE UTILITIES AND BUILDING SHALL BE REPLACED IN-KIND PER THE CITY OF MADISON'S STANDARD SPECIFICATION.



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ENGINEERED SOIL SHALL CONSIST OF THE FOLLOWING:
70% SILICA SAND; 30% COMPOST W/ PH 5.5-6.5
COMPOST SHALL MEET WQNR SPECIFICATION S100.
(SEE DNR TECHNICAL STANDARD 1004)

PRELIMINARY BIORETENTION DETAIL

Burse
Surveying and Engineering, Inc.
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APPROVALS	DATE	BY
DESIGNED	MLB	
REVIEWED	MLB	
CHECKED	MLB	
IN CHARGE	MLB	

Klein's Floral and Greenhouses
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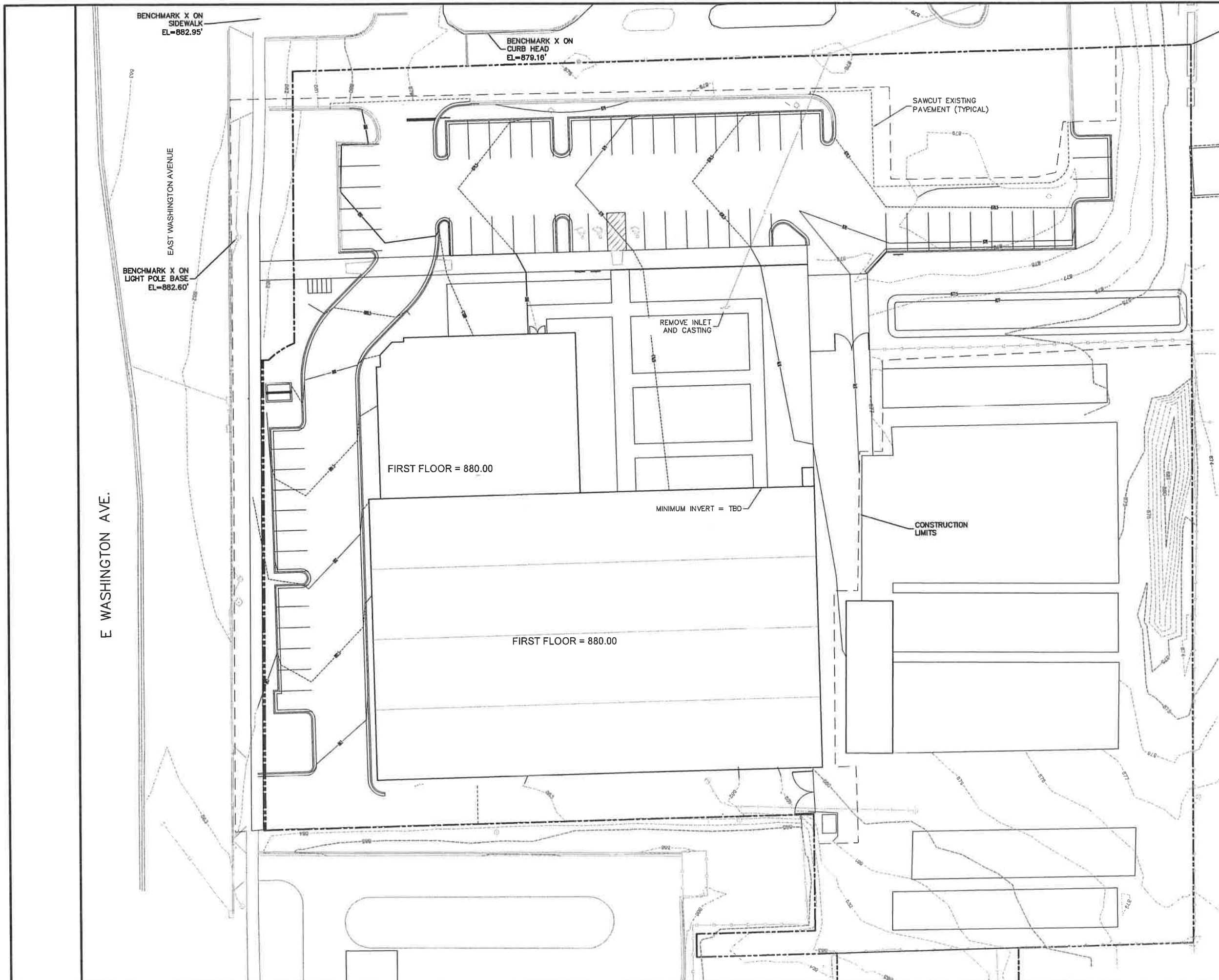
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UTILITY PLAN

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DRAWING NUMBER

C-400



BENCHMARK X ON
MAG NAIL
EL=874.58'

SCALE: 1" = 20'

0 20 40

LEGEND

- 874 --- EXISTING MINOR CONTOUR
- 875 --- EXISTING MAJOR CONTOUR
- 874 --- PROPOSED MINOR CONTOUR
- 875 --- PROPOSED MAJOR CONTOUR
- PROPOSED STORM SEWER
- 875.00 EP --- PROPOSED EDGE OF PAVEMENT ELEVATION
- 875.00 SW --- PROPOSED SIDEWALK ELEVATION
- 875.00 TC --- PROPOSED TOP OF CURB ELEVATION

ALL GRADES ARE FINISH ELEVATION

- NOTES:**
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 5. SEE UTILITY PLAN FOR BIORETENTION BASIN DETAIL

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APPROVALS	MLB	PDF	MLB	MLB	MLB
REVIEWED	REVIEWED	REVIEWED	REVIEWED	REVIEWED	REVIEWED

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GRADING PLAN

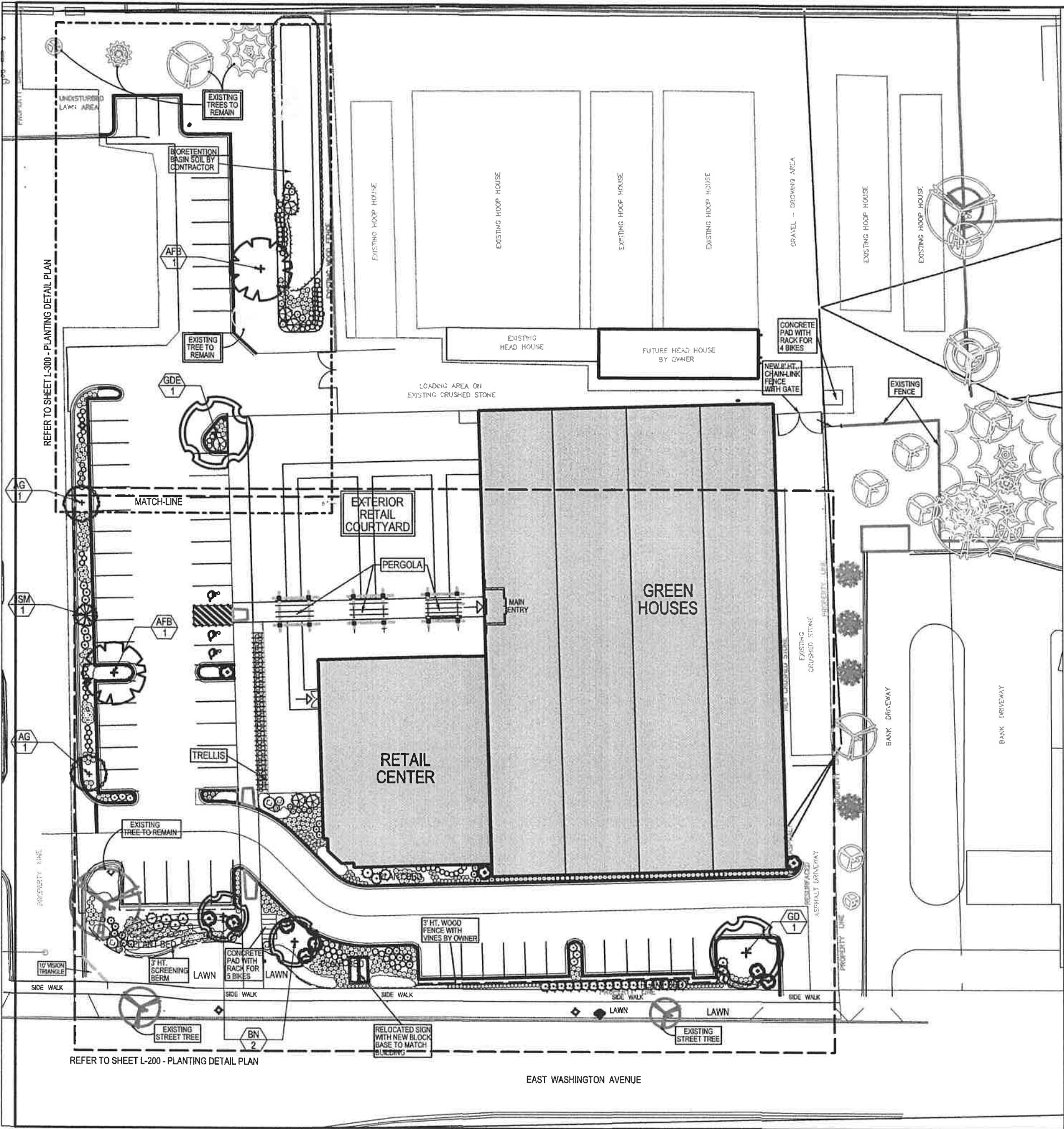
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DRAWING NUMBER
C-500

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LEGEND

- PLANTERS BY OWNER
- EXISTING TREES TO REMAIN

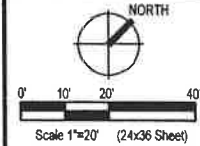
NOTES

- 1 - REFER TO ADDITIONAL SHEETS - L-200 PLANTING DETAIL PLAN & L-300 PLANT LIST & LANDSCAPE WORKSHEET FOR MORE INFORMATION.
- 2 - ALL PLANT MATERIALS (TREES, SHRUBS, PERENNIALS, VINES & ANNUALS) PROVIDED BY & INSTALLED BY OWNER.
- 3 - ALL LAWNS, GROUNDCOVERS AND EDGINGS PROVIDED BY & INSTALLED BY OWNER.
- 4 - ALL PLANTING BEDS TO BE MULCHED WITH TWICE SHREDDED BARK MULCH - PROVIDED BY & INSTALLED BY OWNER.
- 5 - ALL MOVEABLE PLANTERS PROVIDED BY & INSTALLED BY OWNER.
- 6 - ALL DISTURBED LAWN AREAS WILL BE SEEDED/INSTALLED BY OWNER.
- 7 - REFER TO BURSE DRAWING C-500 FOR GRADING PLAN INFORMATION.

KEN SAIKI DESIGN
LANDSCAPE
ARCHITECTS
303 S. PATERSON
SUITE ONE
MADISON, WI 53703
Phone: 608 251-3600

Consultants

KLEIN'S FLORAL & GREENHOUSES
3758 E. Washington Ave.
Madison, WI



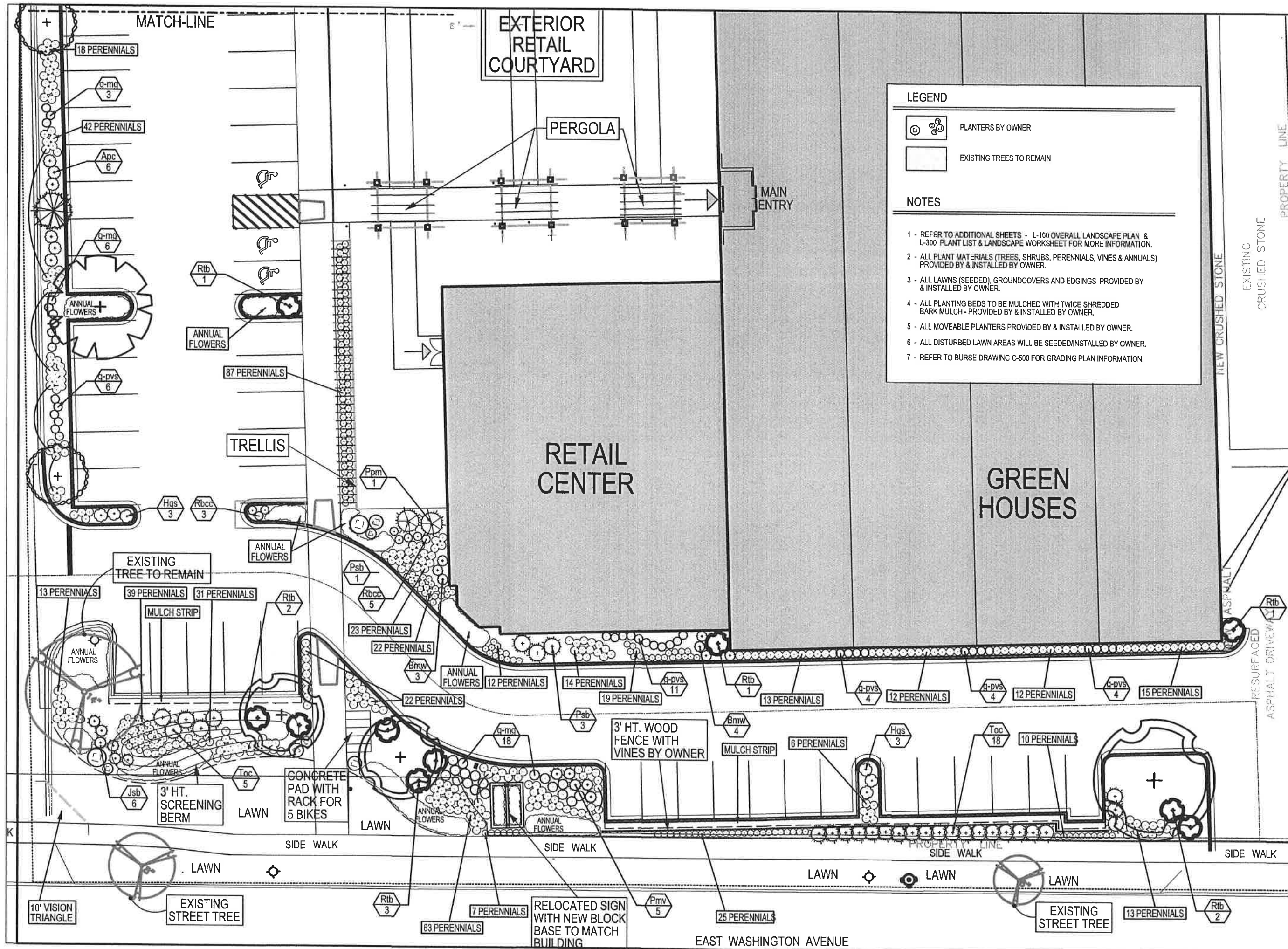
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LUA / UDC SUBMITTAL	02-08-17
DRAFT - FOR REVIEW	04-21-17
LUA/UDC SUBMITTAL	04-25-17

KSD Project No.	2016-052
Drawn By	PAS
Checked By	PAS
Date	04-25-17
Sheet Title	

OVERALL
LANDSCAPE
PLAN

Sheet No.

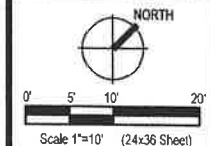
L-100



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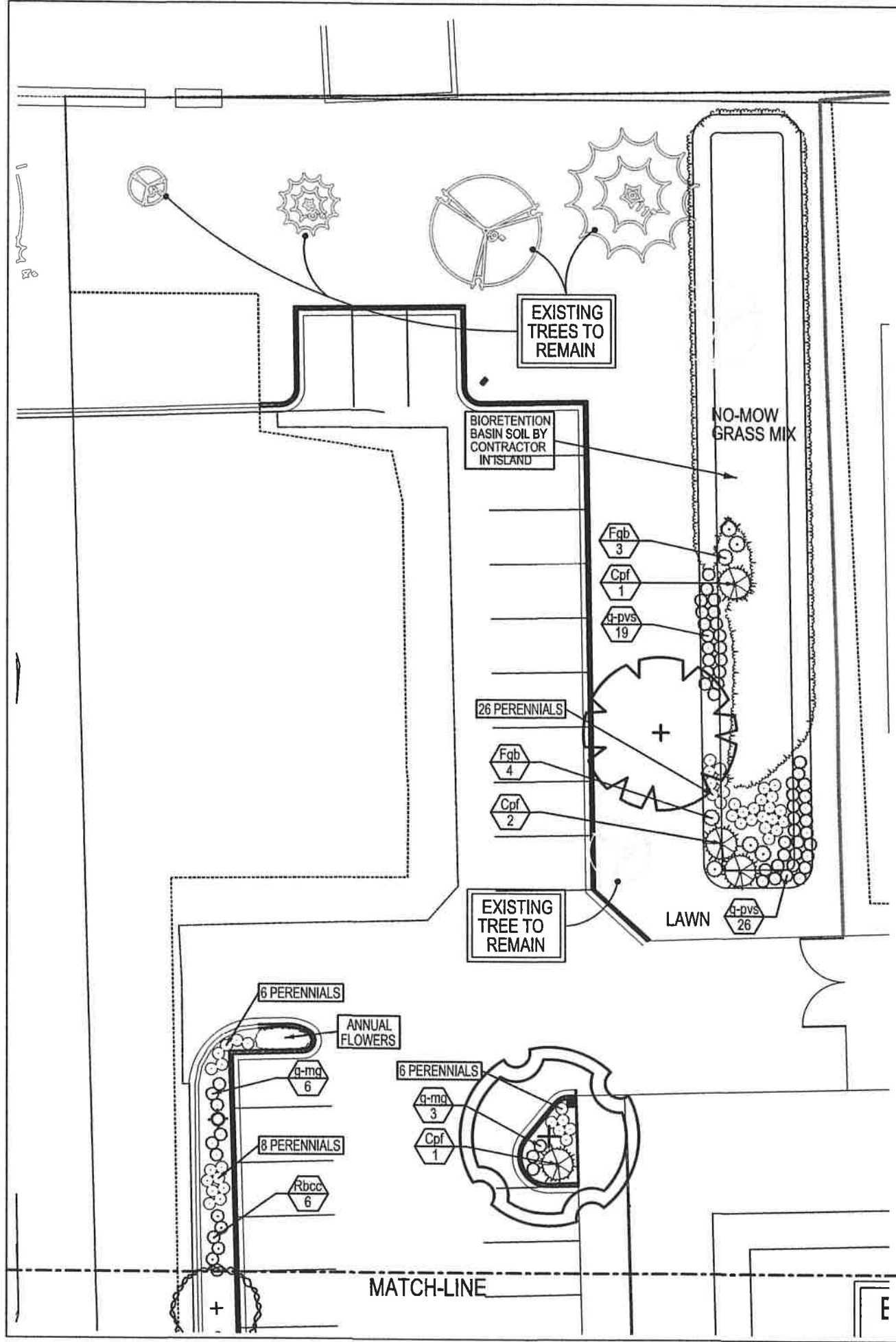
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Sheet Title
**PLANTING
DETAIL PLAN**

Sheet No.

L-200



LEGEND

- PLANTERS BY OWNER
- EXISTING TREES TO REMAIN

NOTES

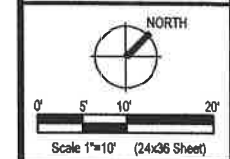
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- 7 - REFER TO BURSE DRAWING C-500 FOR GRADING PLAN INFORMATION.

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Consultants

KLEIN'S FLORAL & GREENHOUSES

3758 E. Washington Ave.
Madison, WI



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Sheet Title
**PLANTING
DETAIL PLAN**

Sheet No.
L-300

PLANT LIST & PLANT PALETTE

PLANT LIST & PLANT PALETTE								
Key Label	Botanical Name	Common Name	Quantity	Size	Root	Comments	Nursery / Availability	Mature Size
Deciduous Shade Trees								
AFB	<i>Acer x freemanii</i> 'Bariston'	First Editions Malador Maple	2	2 1/2" Cal	B&B		Bailey Nursery	40-45' Ht. x 20-40' Spr.
BN	<i>Betula nigra</i>	River Birch	2	8-10' Ht.	B&B	Clump form, 3 stems min. /1" Cal. Min.	Bailey Nursery	40-50' Ht. x 30-40' Spr.
GD	<i>Gymnocladus dioica</i>	Kentucky Coffeetree	1	2 1/2" Cal	B&B		Bailey Nursery	50-60' Ht. x 40-50' Spr.
GDE	<i>Gymnocladus dioica</i> 'Espresso'	Espresso Kentucky Coffeetree	1	2 1/2" Cal.	B&B	[Seedless variety]	Johnson's Nursery	50' Ht. x 35' Spr.
Ornamental Trees								
AG	<i>Acer ginseng</i>	Paperbark Maple	2	1 1/2" Cal.	B&B/Cont.		Bailey Nursery	20-30' Ht. x 10-15' Spr.
APR	<i>Acer palmatum</i> 'Red Emperor'	Red Emperor Japanese Maple	**	1 1/2" Cal.	B&B/Cont.	(eruse 'Bloodgood' Japanese Maple)	Bailey Nursery	15-18' Ht. x 12-15' Spr.
AP	<i>Acer pseudosieboldianum</i>	Korean Maple	**	1 1/2" Cal.	B&B/Cont.	(Tolerates partial shade)	Bailey Nursery	15' Ht. x 10' Spr.
AGA	<i>Amelanchier grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	**	8-10' Ht.	B&B/Cont.	Low branched	Bailey Nursery	20-25' Ht. x 15' Spr.
CC	<i>Cercis canadensis</i>	MN Strain Redbud	**	1 1/2" Cal.	B&B/Cont.		Bailey Nursery	20-30' Ht. x 10-15' Spr.
CV	<i>Cornus</i> x 'KN30-8' PP16,309	Venus Dogwood	**	8-10' Ht.	B&B/Cont.	Low branched	Bailey Nursery	15-18' Ht. x 18-22' Spr.
Evergreen Trees								
JSM	<i>Juniperus scopulorum</i> 'Medora'	Medora Juniper	1	7' Ht. Heavy	B&B	Full to bottom, Add Holiday Lights	Bailey Nursery	12' Ht. x 8-10' Spr.
PMT	<i>Pinus leucodermis</i> 'Mint Tuffie'	Mint Tuffie Bosnian Pine	**	7' Ht. Heavy	B&B	Low branched, full to bottom	Bacon, Isak, Monrovia	12' Ht. x 8-10' Spr.
PS	<i>Pinus strobus</i>	Eastern White Pine	**	4' Ht.	B&B/Cont.	Low branched, full to bottom	Bailey Nursery	50-80' Ht. x 20-40' Spr.
Deciduous Shrubs								
Apc	<i>Acer palmatum</i> 'Cynthia's Crown Jewel'	Cynthia's Crown Jewel Japanese Maple	6	3' Ht.	B&B/Cont.	Space 3'-0" O.C., 3 Gal. min.	Bailey Nursery	4' Ht. x 3' Spr.
Ch	<i>Coloneaster</i> x 'Hessi'	Hess Coloneaster	**	18" Ht./Spr.	ContL	Space 5'-0" O.C., 3 Gal. min.	Johnson's	1-2' Ht. x 5-8' Spr.
Eaf	<i>Euonymus alatus</i> 'Fire Ball'	Fire Ball Burning Bush	**	4' Ht.	B&B/Cont.	Space 8 1/2" O.C., 5 Gal. min.	Johnson's, Beaver Creek	5-7' Ht. x 5-7' Spr.
Eaf	<i>Euonymus alatus</i> 'Rudy Haag'	Rudy Haag Burning Bush	**	2' Ht.	Cont.	Space 4' O.C., 3 Gal. min.	Johnson's, Beaver Creek	3-5' Ht. x 3-5' Spr.
Fgb	<i>Fothergilla gardenii</i> 'Beaver Creek'	Beaver Creek Dwarf Fothergilla	7	30" Ht.	Cont.	Space 2'-6" - 3'-0" O.C., 3 Gal. min.	Johnson's, Beaver Creek	2-3' Ht. x 3-4' Spr.
Hqs	<i>Hydrangea quercifolia</i> 'Sikes Dwarf'	Sikes Dwarf Hydrangea	6	2' Ht.	ContL	Space 3'-0" O.C., 3 Gal. min.	Bailey Nursery	3-4' Ht. x 3-4' Spr.
Ivj	<i>Ilex verticillata</i> 'Jim Dandy'	Jim Dandy Winterberry Holly	**	24" Ht.	Cont.	Space 4' O.C., 3 Gal. min.	Bailey Nursery	3-6' Ht. x 3-6' Spr.
Ivr	<i>Ilex verticillata</i> 'Red Sprite'	Red Sprite Winterberry Holly	**	18" Ht.	Cont.	Space 3' O.C., 3 Gal. min.	Bailey Nursery	3-4' Ht. x 3-4' Spr.
Pos	<i>Physocarpus opulifolius</i> 'Seward' PP14,821	Summer Wine Ninebark - Tree Form	**	2' Ht.	Cont.	Space 4' O.C., 3 Gal. min.	Bailey Nursery	5-6' Ht. x 4-5' Spr.
Rtb	<i>Rhus typhina</i> 'Baileiger' PP16,155	First Editions Tiger Eyes Cudleaf Staghorn Sumac	10	4' Ht.	B&B/Cont.	Space 5'-8" O.C., 5 Gal. min.	Bailey Nursery	6' Ht. x 6' Spr.
Rbcc	<i>Rosa</i> 'BAloue'	Easy Elegance Coral Cove Rose	14	18" Ht.	ContL	Space 2' O.C., 2 Gal. min.	Bailey Nursery	2 (3) Ht. x 2' Spr.
Rmcd	<i>Rosa</i> 'MEdinora' PP19,148	Coral Onft Rose	**	12" Ht.	Cont.	Space 1'-6" O.C., 3 Gal. min.	Bailey Nursery	1 1/2' Ht. x 1 1/2' Spr.
Smp	<i>Syringa meyeri</i> 'Paibin'	Meyer Korean Lilac	**	30" Ht.	ContL	Space 4'-0" O.C., 3 Gal. min.	Johnson's, Beaver Creek	4-5' Ht. x 4-6' Spr.
Evergreen Shrubs								
Bmw	<i>Buxus microphylla</i> 'Wintergreen'	Wintergreen Littleleaf Boxwood	7	18" Ht.	Cont.	Space 2'-6" O.C., 3 Gal. min.	Bailey Nursery	2-3' Ht. x 3' Spr.
Cpf	<i>Chamaecyparis pisifera</i> 'Filifera'	Green Threadleaf Falsecypress	4	30" Ht.	B&B/Cont.	Space 5 1/2" O.C., 5 Gal. min.	Johnson's, Isak	8-8' Ht. x 6-8' Spr.
Cpg	<i>Chamaecyparis pisifera</i> 'Golden Mops'	Golden Mops Threadleaf Falsecypress	**	30" Ht.	B&B/Cont.	Space 6' O.C., 5 Gal. min.	Bailey Nursery	5' Ht. x 7' Spr.
Jsh	<i>Juniperus sahina</i> 'Blue Forest'	Blue Forest Juniper	6	9" Ht.	ContL	Space 3' O.C., 3 Gal.	Bailey Nursery	12" Ht. x 3' Spr.
Ppm	<i>Picea pungens</i> 'Montgomery'	Montgomery Blue Spruce	1	3' Ht.	B&B/Cont.	5 Gal. min.	Bacon, Isak, Johnson's	4-6' Ht. x 5-7' Spr.
Pmp	<i>Pinus mugo</i> 'pumilo'	Mugo Pine	**	18" Ht./Spr.	B&B/Cont.	Space 5' O.C., 3 Gal. min.	Bailey Nursery	3-5' Ht. x 3-6' Spr.
Pms	<i>Pinus mugo</i> 'Shenwood Compact'	Sherwood Compact Mugo Pine	**	18" Ht./Spr.	B&B/Cont.	Space 4' O.C., 3 Gal. min.	Bachman's, Beaver Creek	3' Ht. x 4' Spr.
Pmv	<i>Pinus mugo</i> 'Valley Cushion'	Valley Cushion Mugo Pine	5	18" Ht./Spr.	Cont.	Space 2'-6" O.C., 3 Gal. min.	Bacon, Isak, Monrovia	2-3' Ht. x 2-3' Spr.
Psb	<i>Pinus strobus</i> 'Blue Shag'	Blue Shag White Pine	4	18" Ht./Spr.	Cont.	Space 4' O.C., 3 Gal. min.	Bailey Nursery	3-4' Ht. x 4-5' Spr.
Psm	<i>Pinus strobus</i> 'Minuta' - Bush form	Minuta Dwarf White Pine	**	18" Ht./Spr.	Cont.	Space 3' O.C., 3 Gal. min. Bush form	Bacon, Isak, Monrovia	2' Ht. x 3' Spr.
Psn	<i>Pinus strobus</i> 'Niagara Falls'	Niagara Falls	**	24" Spr.	Cont.	Space 4' O.C., 3 Gal. min.	Bacon, Isak, Monrovia	3' Ht. x 4' Spr.
Toc	<i>Thuja occidentalis</i> 'Conigabe' PP19,009	Fire Chief Arborvitae	23	18" Ht./Spr.	Cont.	Space 3'-4" O.C., 2 Gal. min.	Bailey Nursery	3-4' Ht. x 3-4' Spr.
Perennials & Groundcovers								
* PERENNIALS & GRASSES TO BE SELECTED BY KLEIN'S DESIGNER STAFF FROM THIS LISTING OR OTHER NEW BAILEY NURSERY VARIETY - TOTAL PERENNIALS SHOWN ON PLAN = 563								
at	<i>Allium hastatum</i> 'Summer Beauty'	Summer Beauty Ornamental Onion	*	#1 Pot	CG	Space 24" O.C.	Bailey Nursery	18-24" Ht. x 20-24" Spr.
abi	<i>Amsonia</i> 'Blue Ice'	Blue Ice Bluestar	*	#1 Pot	CG	Space 15-18" O.C.	Bailey Nursery	12-15" Ht. x 20" Spr.
ahm	<i>Anemone hybrida</i> 'Misty Lace' PP15,798	Misty Lace Hybrid Goatsbeard	*	#1 Pot	CG	Space 18" O.C.	Bailey Nursery	18-24" Ht. x 18-24" Spr.
at	<i>Asclepias tuberosa</i>	Butterfly Flower	*	#1 Pot	CG	Space 18" O.C.	Bailey Nursery	18-24" Ht. x 18-24" Spr.
acvp	<i>Asclepias chinensis</i> 'Vision in Pink' PP11,860	Vision in Pink Asstibe	*	#1 Pot	CG	Space 18" O.C.	Bailey Nursery	32" Ht. x 18-30" Spr.
ast	<i>Asstibe x simplicifolia</i> 'Sprite'	Sprite Asstibe	*	#1 Pot	CG	Space 12" O.C.	Bailey Nursery	15" Ht. x 9-12" Spr.
bsf	<i>Baptisia</i> 'Solar Flare' PP20,408	Solar Flare Prairieblues False Indigo	*	#1 Pot	CG	Space 3 1/2" O.C.	Bailey Nursery	3' Ht. x 4-4 1/2' Spr.
bvt	<i>Baptisia x varicolor</i> 'Twilite' PP19,011	Twilite Prairieblues False Indigo	*	#1 Pot	CG	Space 3 1/2" O.C.	Bailey Nursery	3-5' Ht. x 4-5' Spr.
cnn	<i>Calamintha nepeta</i> ssp. Nepeta	Lesser Calamintha	*	#1 Pot	CG	Space 18" O.C., Sterile variety ONLY!	Bailey Nursery	12-15" Ht. x 12-18" Spr.
cp	<i>Cerastium plumbaginoides</i>	Dwarf Plumbago, Leadwort	*	#1 Pot	CG	Space 15" O.C.	Bailey Nursery	8-10" Ht. x 12" + Spr.
dfl	<i>Dianthus</i> 'Fire & Ice' PPAF	Fire & Ice Pinks	*	#1 Pot	CG	Space 12" O.C.	Bailey Nursery	10" Ht. x 14" Spr.
epp	<i>Echinacea purpurea</i> 'PowWow Wild Berry'	PowWow Wild Berry Coneflower	*	#1 Pot	CG	Space 15" O.C.	Bailey Nursery	18-24" Ht. x 12-16" Spr.
gcb	<i>Geranium x cantabrigiense</i> 'Blokovo'	Blokovo Geranium / Cranesbill	*	#1 Pot	CG	Space 20" O.C.	Bailey Nursery	10-12" Ht. x 15-24" Spr.
hrs	<i>Hemerocallis</i> 'Ruby Stella' PPAF	Ruby Stella Daylily	*	#1 Pot	CG	Space 20" O.C.	Bailey Nursery	25-27" Ht. x 18-24" Spr.
hgp	<i>Heuchera</i> 'Georgia Peach' PP19,375	Georgia Peach Coral Belts	*	#1 Pot	CG	Space 22-24" O.C.	Bailey Nursery	14" Ht. x 24" Spr.
hg	<i>Hosta</i> 'Guacamole'	Guacamole Hosta	*	#1 Pot	CG	Space 30" O.C.	Bailey Nursery	22-24" Ht. x 32-38" Spr.
isc	<i>Iris sibirica</i> 'Caesar's Brother'	Caesar's Brother Siberian Iris	*	#1 Pot	CG	Space 15" O.C., / For Bioretention Basin	Bailey Nursery	24-36" Ht. x 15-24" Spr.
isd	<i>Leucanthemum superbum</i> 'Daisy Duke' PP21,914	Daisy Duke Shasta Daisy	*	#1 Pot	CG	Space 18" O.C.	Bailey Nursery	20-24" Ht. x 18-24" Spr.
lsf	<i>Liatris spicata</i> 'Florian Weiss'	Florian White Spike Gayfeather / Blazingstar	*	#1 Pot	CG	Space 15" O.C.	Bailey Nursery	18-24" Ht. x 12-18" Spr.
lsk	<i>Liatris spicata</i> 'Robold'	Robold Spike Gayfeather	*	#1 Pot	CG	Space 15" O.C.	Bailey Nursery	18-24" Ht. x 12-18" Spr.
lab	<i>Lilium asiaticum</i> 'Black Bird'	Black Bird Asiatic Lily	*	#1 Pot	CG	Space 12-15" O.C.	Bailey Nursery	18-18" Ht. x 12-15" Spr.
nrb	<i>Nepeta racemosa</i> 'Blue Wonder'	Blue Wonder Catmint	*	#1 Pot	CG	Space 18" O.C.	Bailey Nursery	12-18" Ht. x 12-18" Spr.
psb	<i>Paeonia</i> 'Sarah Bernhardt'	Sarah Bernhardt Peony	*	#1 Pot	CG	Space 30" O.C.	Bailey Nursery	3' Ht. x 2 1/2 - 3' Spr.
pd	<i>Pentstemon digitalis</i> 'Husker Red'	Husker Red Foxglove / Beardtongue	*	#1 Pot	CG	Space 18" O.C.	Bailey Nursery	30-36" Ht. x 18-24" Spr.
anc	<i>Salvia nemerosa</i> 'Caradonna' or 'Blue Queen'	Caradonna or Blue Queen Sage / Salvia	*	#1 Pot	CG	Space 18" O.C.	Bailey Nursery	18-30" Ht. x 18" Spr.
snm	<i>Salvia nemerosa</i> 'Marcus'	Marcus Dwarf Meadow Sage / Salvia	*	#1 Pot	CG	Space 12" O.C.	Bailey Nursery	12" Ht. x 8-15" Spr.
sm	<i>Sedum</i> 'Matrona'	Matrona Sedum	*	#1 Pot	CG	Space 18" O.C.	Bailey Nursery	18-24" Ht. x 18-24" Spr.
ssi	<i>Sedum spectabile</i> 'Iceberg' (or 'Standust')	Iceberg Sedum (or Standust Sedum)	*	#1 Pot	CG	Space 18" O.C.	W. & E. Radtke	18-24" Ht. x 18" Spr.
srf	<i>Solidago rugosa</i> 'Fireworks'	Fireworks Goldenrod	*	#1 Pot	CG	Space 22-24" O.C.	W. & E. Radtke	30-48" Ht. x 18-24" Spr.
ebh	<i>Stachys byzantina</i> 'Helene von Stein'	Big Ears Lamb's Ears	*	#1 Pot	CG	Space 24" O.C.	Bailey Nursery	8-10" Ht. x 24" Spr.
vlm	<i>Veronica longifolia</i> 'Mantetta' PPAF	Mantetta Veronica	*	#1 Pot	CG	Space 18" O.C.	Bailey Nursery	2-3' Ht. x 18-24" Spr.
Grasses, Sedges & Rushes								
g-bb	<i>Bouteloua gracilis</i> 'Blonde Ambition' PP22,048	Blonde Ambition Blue Grama Grass	*	#1 Pot	CG	Space 24" O.C.	Bailey Nursery	24-36" Ht. x 24-36" Spr.
g-cv	<i>Carex vulpinoidea</i>	Fox Sedge	*	#1 Pot	CG	Space 24" O.C. For Bioretention Basin	W. & E. Radtke	12-36" Ht. x 6-24" Spr.
g-dc	<i>Deschampsia caespitosa</i>	Tufted Hair Grass	*	#1 Pot	CG	Space 24" O.C. For partial-shade areas	Bailey Nursery	3' Ht. x 2-3' Spr.
g-hm	<i>Hakonechloa macro</i> 'All Gold'	All Gold Japanese Hakone Grass	*	#1 Pot	CG	Space 24" O.C. For shaded areas	Bailey Nursery	9-14" Ht. x 18-24" Spr.
rjb	<i>Juncus tenuis</i> 'Blue Dart'	Blue Dart Rush	*	#1 Pot	CG	Space 24" O.C. For Bioretention Basin	Bailey Nursery	12-18" Ht. x 9-12" Spr.
g-mg	<i>Miscanthus sinensis</i> 'Gracillimus'	Maiden Grass	38	#1 Pot	CG	Space 30" O.C.	Bailey Nursery	5-6' Ht. x 3-4' Spr.
g-pvs	<i>Panicum virgatum</i> 'Shenandoah'	Shenandoah Switch Grass	74	#1 Pot	CG	Space 24" O.C.	Bailey Nursery	3-4' Ht. x 18-24" Spr.
g-sa	<i>Sesleria autumnalis</i>	Autumn Moor Grass	*	#1 Pot	CG	Space 20" O.C.	Bailey Nursery	16-30" Ht. x 18-20" Spr.
g-sh	<i>Sesleria heuffeliana</i>	Blue-green Moor Grass	*	#1 Pot	CG	Space 20" O.C. For shaded areas	W. & E. Radtke	12-24" Ht. x 12-18" Spr.
g-sp	<i>Sporobolus heterolepis</i>	Prairie Dropseed	*	#1 Pot	CG	Space 24" O.C.	Bailey Nursery	2-3' Ht. x 2-3' Spr.
g-shl	<i>Sporobolus heterolepis</i> 'Tara'	Tara Prairie Dropseed	*	#1 Pot	CG	Space 20" O.C.	W. & E. Radtke	18-24" Ht. x 24-36" Spr.
Vines @ Pergola								
v-cb	<i>Clematis</i> 'Evipo073'	Boulevard The Countess of Wessex Clematis	*	18" Ht. min. staked	CG	Space per plan, 2 Gal. min.	Bailey Nursery	4-6' Ht.
v-cs	<i>Clematis</i> 'Evipo026'	Shimmer Clematis	*	18" Ht. min. staked	CG	Space per plan, 2 Gal. min.	Bailey Nursery	8-10' Ht.
Annual Vines will also be installed at Pergola. *Number of vines to be determined by Owner. Provide cables @ pergola columns / train vines toward supports.								
Annual Flowers -								
Annuals	New Selections & Arrangements will be chosen by Klein's each year.	Varies	Varies	CG	Space 12" O.C.	Bailey Nursery & Others	Varies	
Planters -								
Planters	New Plant Selections & Arrangements will be chosen by Klein's each year.	Varies	Varies	CG	Varies	Bailey Nursery & Others	Varies	
** NOTE - LIST SHOWS OPTIONAL PLANTS THAT KLEIN'S CAN SUBSTITUTE WITH BASED ON AVAILABILITY. NEWER VARIETIES MAY BE SUBSTITUTED FOR THOSE LISTED.								

LANDSCAPE WORKSHEET

City of Madison, WI Landscape Worksheet

8-Feb-17

KLEIN FLORAL & GREENHOUSES - Zoning - CC-T - Mixed Use & Commercial Districts

Developed Lots	SF	5 Landscape Points For Every 300 SF of Developed Area	LANDSCAPE POINTS REQUIRED
Total NEW Developed Area	45,296	45,533 x 5 / 300	
Landscape Points Required			755

Development Frontage	LF	**Overstory Trees Required	Shrubs Required
Total LF of Street Frontage Between Bldg./Parking & street	311	10	52

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	3	1	140
Ex. Significant Specimen Tree	0		0	0
Ornamental Tree	15			0
Shrub, deciduous	3	10		30
Shrub, evergreen	4	37		148
Ornamental Grass/Perennial	2	247		494

Development Frontage Total 812
**We request waiver of tree & shrub requirement due to limited space & type of facility. Klein's Floral & Greenhouses will be installing seasonal displays along East Washington Avenue frontage which exhibit plants that they grow and sell. Perennial grasses & flowers and annual flowers will encompass the majority of the plantings including back-ground shrubs. The seasonal plant combinations will be displayed in planting bed borders and raised decorative planters. Annual plants may shift with the seasons and include - spring bulbs, summer annuals, fall plants and holiday greenery and decorations.

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	3		105
Ornamental Tree	15	2		30
Evergreen Tree	15	1		15
Shrub, deciduous	3	33		99
Shrub, evergreen	4	16		64
Ornamental Grass/Perennial	2	410		820
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4			0
Foundation Plantings Total				1133

TOTAL LANDSCAPE POINTS PROVIDED 1945
TOTAL LANDSCAPE POINTS REQUIRED 765

NOTE: Required Point Total is achieved with plants shown on the plan. The Annual / Seasonal plantings are not included in this point total.

NOTES

1 - REFER TO ADDITIONAL SHEETS - L-100 OVERALL LANDSCAPE PLAN & L-200 PLANTING DETAIL PLAN FOR MORE INFORMATION.

KEN SAIKI DESIGN

LANDSCAPE ARCHITECTS

303 S. PATERSON SUITE ONE
MADISON, WI 53703
Phone: 608 251-3600

Consultants

KLEIN'S FLORAL & GREENHOUSES

3758 E. Washington Ave.

Madison, WI

Issuance/Revision	Date
FOR PRELIM REVIEW	09-23-16
LUA / UDC SUBMITTAL	02-08-17
DRAFT - FOR REVIEW	04-21-17
LUA / UDC SUBMITTAL	04-25-17
KSD Project No.	2016-052
Drawn By	KAB PAS
Checked By	PAS
Date	04-25-17

DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL/cUL Listed for wet locations.

SPECIFICATION FEATURES

Construction

Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

Optics

Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI. Optional 3000K, 5000K and 6000K CCT.

Electrical

LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 600mA, 800mA and 1200mA drive currents (nominal).

Mounting

STANDARD ARM MOUNT: Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the

arm mounting requirement table. Round pole adapter included. For wall mounting, specify wall mount bracket option. **QUICK MOUNT ARM:** Adapter is bolted directly to the pole. Quick mount arm slide into place on the adapter and is secured via two screws, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

Finish

Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

Warranty

Five-year warranty.



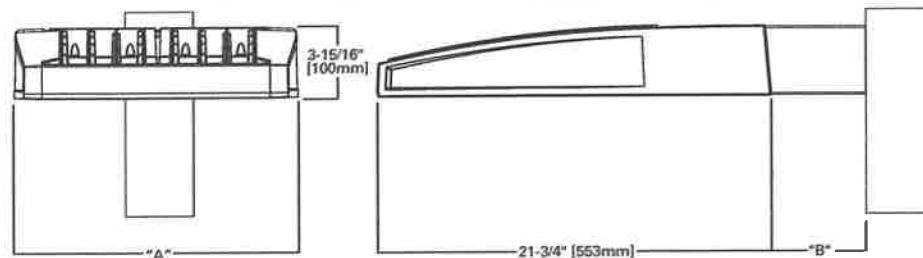
GLEON GALLEON LED

1-10 Light Squares

Solid State LED

AREA/SITE LUMINAIRE

DIMENSIONS



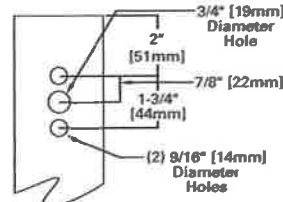
DIMENSION DATA

Number of Light Squares	"A" Width	"B" Standard Arm Length	"B'" Optional Arm Length 1	Weight with Arm (lbs.)	EPA with Arm 2 (Sq. Ft.)
1-4	15-1/2" (394mm)	7" (178mm)	10" (254mm)	33 (15.0 kgs.)	0.96
5-6	21-5/8" (548mm)	7" (178mm)	10" (254mm)	44 (20.0 kgs.)	1.00
7-8	27-5/8" (702mm)	7" (178mm)	13" (330mm)	54 (24.5 kgs.)	1.07
9-10	33-3/4" (857mm)	7" (178mm)	16" (406mm)	63 (28.6 kgs.)	1.12

NOTE: 1. Optional arm length to be used when mounting two fixtures at 90° on a single pole. 2. EPA calculated with optional arm length.

DRILLING PATTERN

TYPE "N"



CERTIFICATION DATA

UL/cUL Wet Location Listed
ISO 9001
LM79 / LM80 Compliant
3G Vibration Rated
IP66 Rated
DesignLights Consortium™ Qualified*

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120V-277V 50/60Hz
347V & 480V 60Hz
-40°C Min. Temperature
40°C Max. Temperature
50°C Max. Temperature (HA Option)

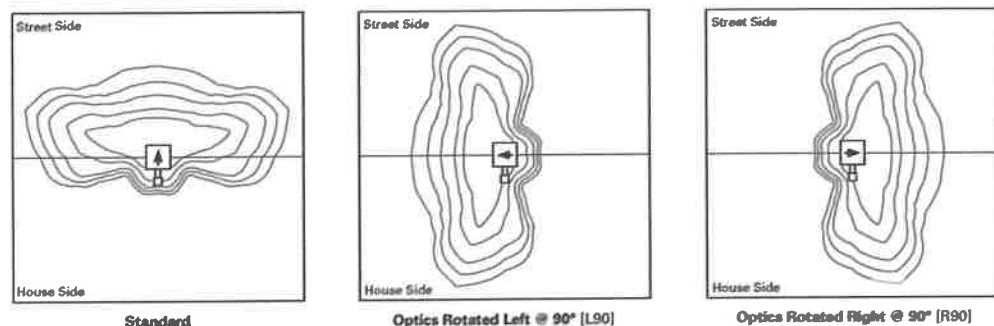


EATON
Powering Business Worldwide

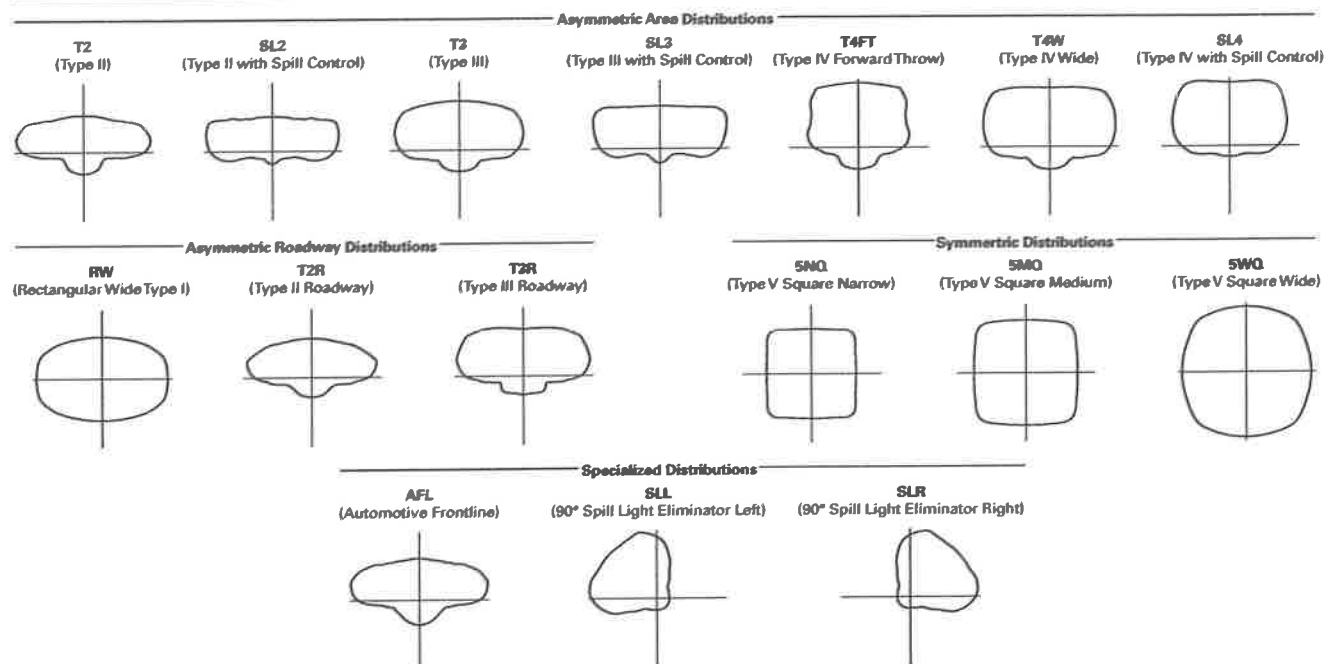
*www.designlights.org

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OPTIC ORIENTATION

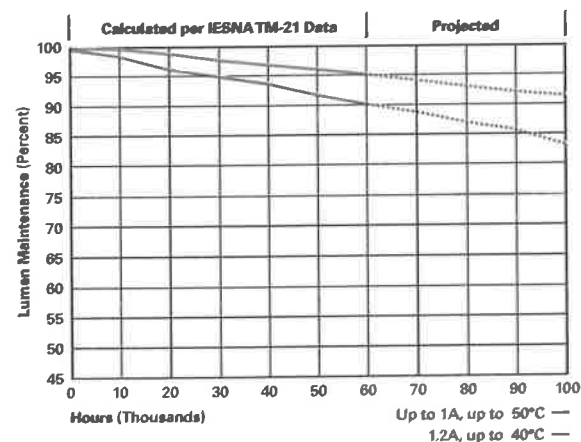


OPTICAL DISTRIBUTIONS



LUMEN MAINTENANCE

Drive Current	Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Projected L70 (Hours)
Up to 1A	Up to 50°C	> 95%	416,000
1.2A	Up to 40°C	> 90%	205,000



LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

ORDERING INFORMATION

Sample Number: GLEON-AF-04-LED-E1-T3-GM-QM

Product Family ^{1,2}	Light Engine	Number of Light Squares ³	Lamp Type	Voltage	Distribution	Color	Mounting
GLEON=Galleon	AF=1A Drive Current	01=1 02=2 03=3 04=4 05=5 06=6 07=7 ⁴ 08=8 ⁴ 09=9 ⁴ 10=10 ⁴	LED=Solid State Light Emitting Diodes	E1=120-277V 247=347V ⁶ 480=480V ^{4,7}	T2=Type II T2R=Type II Roadway T3=Type III T3R=Type III Roadway T4FT=Type IV Forward Throw T4W=Type IV Wide 5NQ=Type V Narrow 5MQ=Type V Square Medium 5WQ=Type V Square Wide SL2=Type II w/Spill Control SL3=Type III w/Spill Control SL4=Type IV w/Spill Control SL=90° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right RW=Rectangular Wide Type I AFL=Automotive Frontline	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White	[Blank]=Arm for Round or Square Pole EA=Extended Arm ⁸ MA=Mast Arm Adapter ⁸ WM=Wall Mount QM=Quick Mount Arm (Standard Length) ⁹ QMEA=Quick Mount Arm (Extended Length) ¹¹
Options (Add as Suffix)					Accessories (Order Separately)		
7030=70 CRI 3000K ¹² 8030=80 CRI 3000K ¹² 7050=70 CRI 5000K ¹² 7080=70 CRI 8000K ¹² 600=Drive Current Factory Set to Nominal 600mA ¹⁴ 800=Drive Current Factory Set to Nominal 800mA ¹⁴ 1200=Drive Current Factory Set to Nominal 1200mA ^{14, 15} F=Single Fuse (120, 277 or 347V. Must Specify Voltage) FF=Double Fuse (208, 240 or 480V. Must Specify Voltage) 2L=Two Circuits ^{16, 17} DIM=External 0-10V Dimming Leads P=Button Type Photocontrol (120, 208, 240 or 277V. Must Specify Voltage) PER7=NEMA 7-PIN Twistlock Photocontrol Receptacle R=NEMA Twistlock Photocontrol Receptacle AHD145=After Hours Dim, 5 Hours ¹⁸ AHD245=After Hours Dim, 6 Hours ¹⁸ AHD255=After Hours Dim, 7 Hours ¹⁸ AHD355=After Hours Dim, 8 Hours ¹⁸ HA=50°C High Ambient ¹⁹ MS/DIM-L08=Motion Sensor for Dimming Operation, Maximum 8' Mounting Height ^{20, 21} MS/DIM-L20=Motion Sensor for Dimming Operation, 9' - 20' Mounting Height ^{20, 22} MS/DIM-L40=Motion Sensor for Dimming Operation, 21' - 40' Mounting Height ^{20, 23} MS/DIM-L40W=Motion Sensor for Dimming Operation, 21' - 40' Mounting Height (Wide Range) ^{20, 24} MS/X-L08=Bi-Level Motion Sensor, Maximum 8' Mounting Height ^{20, 21, 25} MS/X-L20=Bi-Level Motion Sensor, 9' - 20' Mounting Height ^{20, 22, 25} MS/X-L40=Bi-Level Motion Sensor, 21' - 40' Mounting Height ^{20, 23, 25} MS/X-L40W=Bi-Level Motion Sensor, 21' - 40' Mounting Height (Wide Range) ^{20, 24, 25} MS-L08=Motion Sensor for ON/OFF Operation, Maximum 8' Mounting Height ^{20, 21} MS-L20=Motion Sensor for ON/OFF Operation, 9' - 20' Mounting Height ^{20, 22} MS-L40=Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height ^{20, 23} MS-L40W=Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height (Wide Range) ^{20, 24} LWR-LW=LumaWatt Wireless Sensor, Wide Lens for 8' - 16' Mounting Height ²⁶ LWR-LN=LumaWatt Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height ²⁶ L90=Optics Rotated 90° Left R90=Optics Rotated 90° Right MT=Factory Installed Mesh Top TH=Tool-less Door Hardware LCF=Light Square Trim Plate Painted to Match Housing ²⁷ HSS=Factory Installed House Side Shield ²⁸ CE=CE Marking ²⁹					OA/RA1016=NEMA Photocontrol Multi-Tap - 105-285V OA/RA1027=NEMA Photocontrol - 480V OA/RA1201=NEMA Photocontrol - 347V OA/RA1013=Photocontrol Shorting Cap OA/RA1014=120V Photocontrol MA1252=10kV Surge Module Replacement MA1036-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon MA1037-XX=2@180° Tenon Adapter for 2-3/8" O.D. Tenon MA1197-XX=3@120° Tenon Adapter for 2-3/8" O.D. Tenon MA1188-XX=4@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1189-XX=2@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1190-XX=3@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1191-XX=2@120° Tenon Adapter for 2-3/8" O.D. Tenon MA1038-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon MA1039-XX=2@180° Tenon Adapter for 3-1/2" O.D. Tenon MA1192-XX=3@120° Tenon Adapter for 3-1/2" O.D. Tenon MA1193-XX=4@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1194-XX=2@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1195-XX=3@90° Tenon Adapter for 3-1/2" O.D. Tenon FSR-100=Wireless Configuration Tool for Occupancy Sensor ³⁰ GLEON-MT1=Field Installed Mesh Top for 1-4 Light Squares GLEON-MT2=Field Installed Mesh Top for 5-8 Light Squares GLEON-MT3=Field Installed Mesh Top for 7-8 Light Squares GLEON-MT4=Field Installed Mesh Top for 9-10 Light Squares GLEON-QM=Quick Mount Arm Kit GLEON-QMEA=Quick Mount Extended Arm Kit LS/HSS=Field Installed House Side Shield ²⁸		

NOTES:

- Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper WP513001EN for additional support information.
- DesignLights Consortium™ Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details.
- Standard 4000K CCT and minimum 70 CRI.
- Not compatible with extended quick mount arm (QMEA).
- Not compatible with standard quick mount arm (QM) or extended quick mount arm (QMEA).
- Requires the use of an internal step down transformer when combined with sensor options. Not available with sensor at 1200mA. Not available in combination with the HA high ambient and sensor options at 1A.
- Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
- May be required when two or more luminaires are oriented on a 90° or 120° drilling pattern. Refer to arm mounting requirement table.
- Factory installed.
- Maximum 8 light squares.
- Maximum 6 light squares.
- Extended lead times apply. Use dedicated IES files for 3000K, 5000K and 6000K when performing layouts. These files are published on the Galleon luminaire product page on the website.
- Extended lead times apply. Use dedicated IES files for 3000K, 5000K and 6000K when performing layouts. These files are published on the Galleon luminaire product page on the website.
- 1 Amp standard. Use dedicated IES files for 600mA, 800mA and 1200mA when performing layouts. These files are published on the Galleon luminaire product page on the website.
- Not available with HA option.
- 2L is not available with MS, MS/X or MS/DIM at 347V or 480V. 2L in AF-02 through AF-04 requires a larger housing, normally used for AF-05 or AF-06. Extended arm option may be required when mounting two or more fixtures per pole at 90° or 120°. Refer to arm mounting requirement table.
- Not available with LumaWatt wireless sensors.
- Requires the use of P photocontrol or the PER7 or R photocontrol receptacle with photocontrol accessory. See After Hours Dim supplemental guide for additional information.
- 50°C lumen maintenance data applies to 600mA, 800mA and 1A drive currents.
- The FSR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
- Approximately 22' detection diameter at 8' mounting height.
- Approximately 40' detection diameter at 20' mounting height.
- Approximately 60' detection diameter at 40' mounting height.
- Approximately 100' detection diameter at 40' mounting height.
- Replace X with number of Light Squares operating in low output mode.
- LumaWatt wireless sensors are factory installed only requiring network components RF-EM-1, RF-GW-1 and RF-ROUT-1 in appropriate quantities. See www.eaton.com/lighting for LumaWatt application information.
- Not available with housings with house side shield (HSS).
- Only for use with SL2, SL3, SL4 and AFL distributions. The Light Square trim plate is painted black when the HSS option is selected.
- CE is not available with the LWR, MS, MS/X, MS/DIM, P, R or PER7 options. Available in 120-277V only.
- One required for each Light Square.



Photometric Report (Type C)

Filename: GLEON-AF-03-LED-E1-5WQ-7030.ies
 [TEST] P192631 TEST IS SCALED FROM IESNA LM-79-08 TEST DATA (P24143)
 [TESTLAB] Innovations Center P2
 [ISSUEDATE] 7/21/2016
 [MANUFAC] EATON - MCGRAW-EDISON (FORMER COOPER LIGHTING)
 [LUMCAT] GLEON-AF-03-LED-E1-5WQ-7030
 [LUMINAIRE] GALLEON AREA AND ROADWAY LUMINAIRE (3) 70 CRI, 3000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE V WIDE OPTICS

Maximum Candela = 6785.2 at 45 H 72.5 V

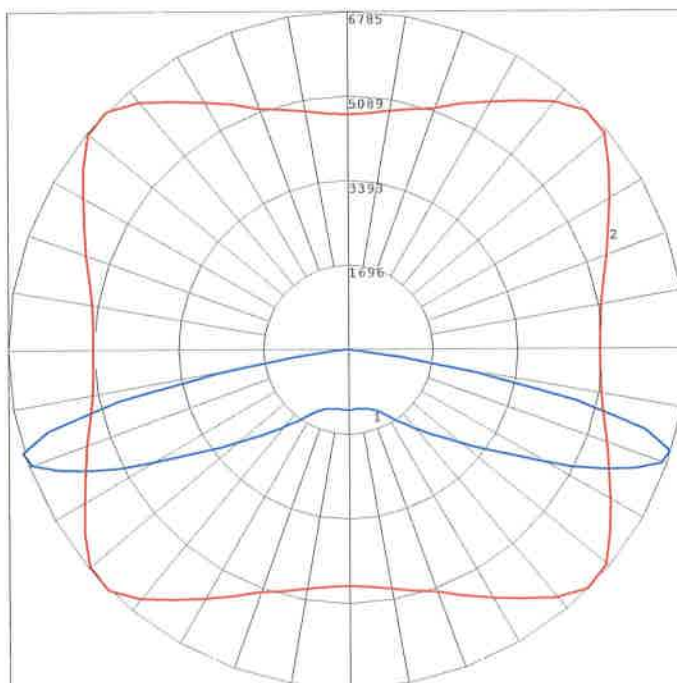
Classification:

Road Classification: Type VS, Short, N.A. (deprecated)
 Upward Wast Light Ratio: 0.00
 Luminaire Efficacy Rating (LER): 102
 Indoor Classification: Direct
 BUG Rating : B4-U0-G2

Polar Candela Curves:

Vertical Plane Through:
 1) 45 - 225 Horizontal

Horizontal Cone Through:
 2) 72.5 Vertical





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Photometric Report (Type C)

Filename: GLEON-AF-03-LED-E1-5WQ-7030.ies
[TEST] P192631 TEST IS SCALED FROM IESNA LM-79-08 TEST
DATA (P24143)
[TESTLAB] Innovations Center P2
[ISSUEDATE] 7/21/2016
[MANUFAC] EATON - MCGRAW-EDISON (FORMER COOPER
LIGHTING)
[LUMCAT] GLEON-AF-03-LED-E1-5WQ-7030
[LUMINAIRE] GALLEON AREA AND ROADWAY LUMINAIRE (3) 70
CRI, 3000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND
TYPE V WIDE OPTICS

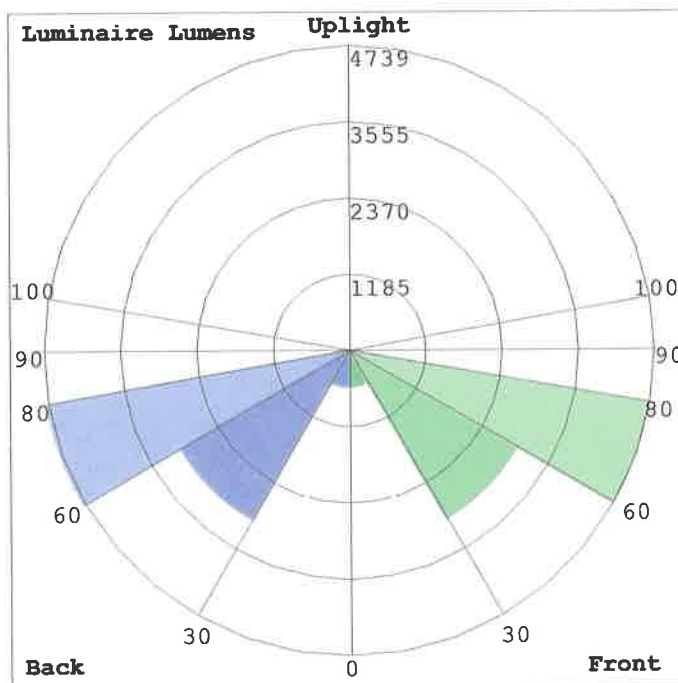
Maximum Candela = 6785.2 at 45 H 72.5 V

Classification:

Road Classification: Type VS, Short, N.A. (deprecated)
Upward Waste Light Ratio: 0.00
Luminaire Efficacy Rating (LER): 102
Indoor Classification: Direct
BUG Rating : B4-U0-G2

LCS Summary:

LCS Zone	Lumens	%Lamp	%Lum
FL (0-30)	549.2	N.A.	3.2
FM (30-60)	3004.4	N.A.	17.7
FH (60-80)	4739.5	N.A.	28.0
FVH (80-90)	178.9	N.A.	1.1
BL (0-30)	549.2	N.A.	3.2
BM (30-60)	3004.4	N.A.	17.7
BH (60-80)	4739.5	N.A.	28.0
BVH (80-90)	178.9	N.A.	1.1
UL (90-100)	0.0	N.A.	0.0
UH (100-180)	0.0	N.A.	0.0
Total	16944.0	N.A.	100.0
BUG Rating	B4-U0-G2		





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P2

Photometric Report (Type C)

Filename: GLEON-AF-02-LED-E1-SL2-7030-HSS.ies
[TEST] P192790 TEST IS SCALED FROM IESNA LM-79-08 TEST
DATA (P24287)
[TESTLAB] Innovations Center P2
[ISSUEDATE] 7/21/2016
[MANUFAC] EATON - MCGRAW-EDISON (FORMER COOPER
LIGHTING)
[LUMCAT] GLEON-AF-02-LED-E1-SL2-7030-HSS
[LUMINAIRE] GALLEON AREA AND ROADWAY LUMINAIRE (2) 70
CRI, 3000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND
TYPE II SPILL LIGHT ELIMINATOR OPTICS WITH HOUSE SIDE SHIELD

Maximum Candela = 12295.8 at 67 H 67 V

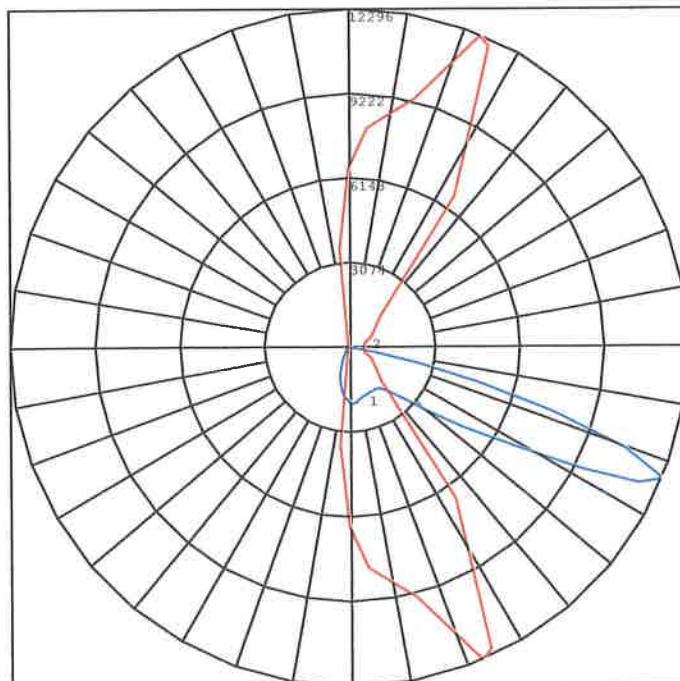
Classification:

Road Classification: Type II, Short, N.A. (deprecated)
Upward Wast Light Ratio: 0.00
Luminaire Efficacy Rating (LER): 79
Indoor Classification: Direct
BUG Rating : B1-U0-G2

Polar Candela Curves:

Vertical Plane Through:
1) 67 - 247 Horizontal

Horizontal Cone Through:
2) 67 Vertical





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Photometric Report (Type C)

Filename: GLEON-AF-02-LED-E1-SL2-7030-HSS.ies
[TEST] P192790 TEST IS SCALED FROM IESNA LM-79-08 TEST
DATA (P24287)
[TESTLAB] Innovations Center P2
[ISSUEDATE] 7/21/2016
[MANUFAC] EATON - MCGRAW-EDISON (FORMER COOPER
LIGHTING)
[LUMCAT] GLEON-AF-02-LED-E1-SL2-7030-HSS
[LUMINAIRE] GALLEON AREA AND ROADWAY LUMINAIRE (2) 70
CRI, 3000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND
TYPE II SPILL LIGHT ELIMINATOR OPTICS WITH HOUSE SIDE SHIELD

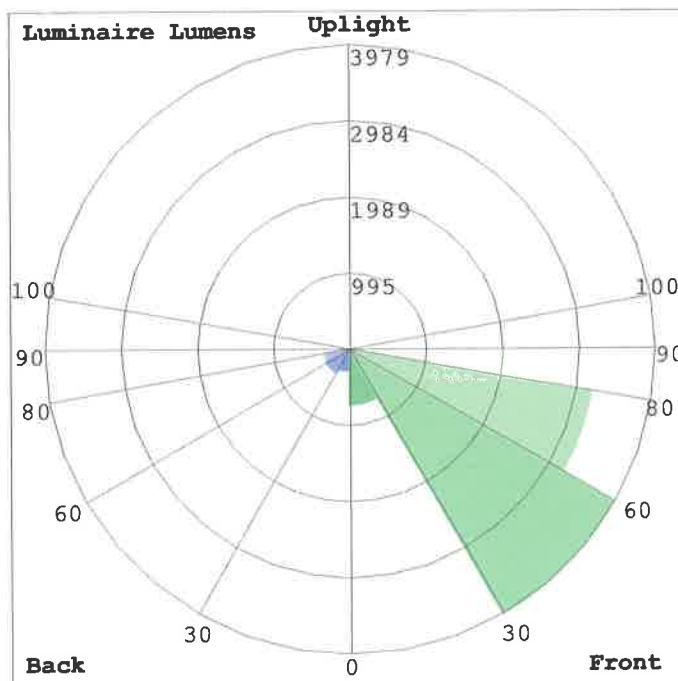
Maximum Candela = 12295.8 at 67 H 67 V

Classification:

Road Classification: Type II, Short, N.A. (deprecated)
Upward Waste Light Ratio: 0.00
Luminaire Efficacy Rating (LER): 79
Indoor Classification: Direct
BUG Rating : B1-U0-G2

LCS Summary:

LCS Zone	Lumens	%Lamp	%Lum
FL (0-30)	720.4	N.A.	8.1
FM (30-60)	3978.8	N.A.	44.6
FH (60-80)	3201.1	N.A.	35.9
FVH (80-90)	101.6	N.A.	1.1
BL (0-30)	276.6	N.A.	3.1
BM (30-60)	333.2	N.A.	3.7
BH (60-80)	312.5	N.A.	3.5
BVH (80-90)	4.8	N.A.	0.1
UL (90-100)	0.0	N.A.	0.0
UH (100-180)	0.0	N.A.	0.0
Total	8929.0	N.A.	100.0
BUG Rating	B1-U0-G2		





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Photometric Report (Type C)

Filename: GLEON-AF-02-LED-E1-T4FT-7030.ies
 [TEST] P193270 TEST IS SCALED FROM IESNA LM-79-08 TEST
 DATA (P24295)
 [TESTLAB] Innovations Center P2
 [ISSUEDATE] 7/21/2016
 [MANUFAC] EATON - MCGRAW-EDISON (FORMER COOPER
 LIGHTING)
 [LUMCAT] GLEON-AF-02-LED-E1-T4FT-7030
 [LUMINAIRE] GALLEON AREA AND ROADWAY LUMINAIRE (2) 70
 CRI, 3000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND
 TYPE IV FORWARD THROW OPTICS

Maximum Candela = 9924.7 at 35 H 73 V

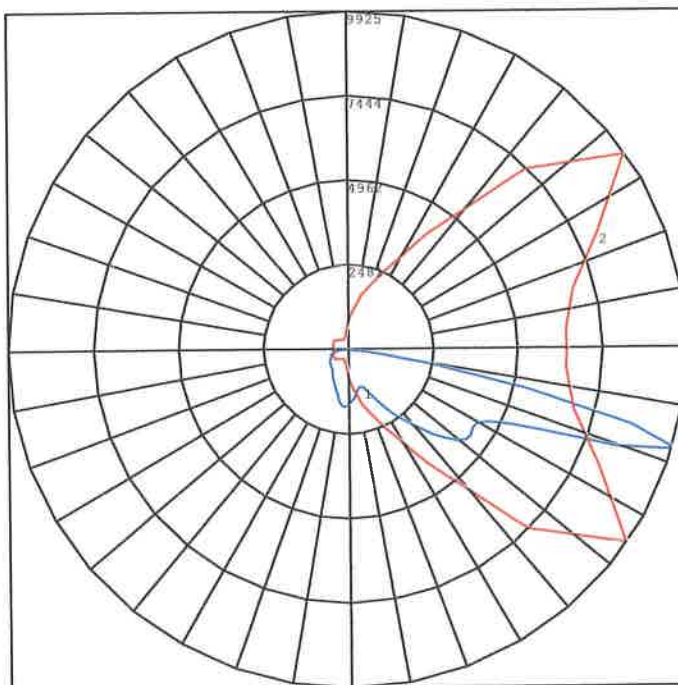
Classification:

Road Classification: Type IV, Short, N.A. (deprecated)
 Upward Wast Light Ratio: 0.00
 Luminaire Efficacy Rating (LER): 96
 Indoor Classification: Direct
 BUG Rating : B2-U0-G2

Polar Candela Curves:

Vertical Plane Through:
 1) 35 - 215 Horizontal

Horizontal Cone Through:
 2) 73 Vertical





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Photometric Report (Type C)

Filename: GLEON-AF-02-LED-E1-T4FT-7030.ies
[TEST] P193270 TEST IS SCALED FROM IESNA LM-79-08 TEST
DATA (P24295)
[TESTLAB] Innovations Center P2
[ISSUE DATE] 7/21/2016
[MANUFAC] EATON - MCGRAW-EDISON (FORMER COOPER
LIGHTING)
[LUMCAT] GLEON-AF-02-LED-E1-T4FT-7030
[LUMINAIRE] GALLEON AREA AND ROADWAY LUMINAIRE (2) 70
CRI, 3000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND
TYPE IV FORWARD THROW OPTICS

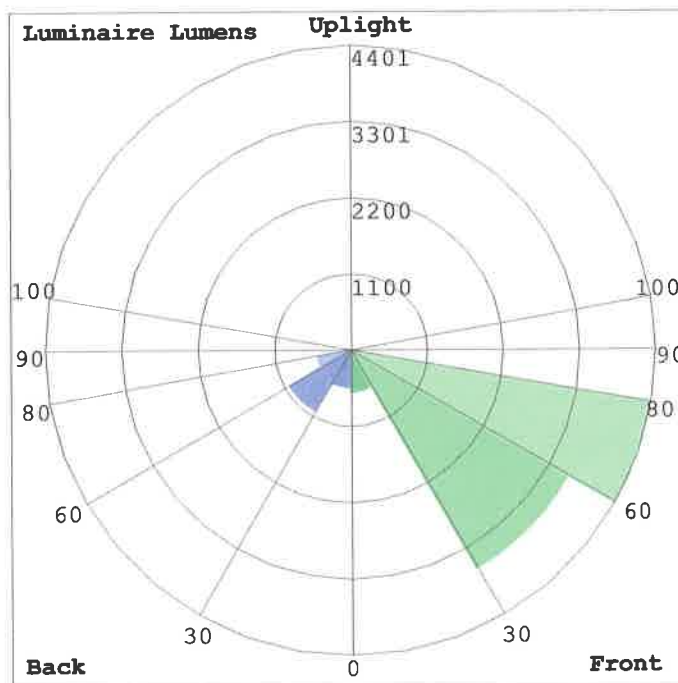
Maximum Candela = 9924.7 at 35 H 73 V

Classification:

Road Classification: Type IV, Short, N.A. (deprecated)
Upward Waste Light Ratio: 0.00
Luminaire Efficacy Rating (LER): 96
Indoor Classification: Direct
BUG Rating : B2-U0-G2

LCS Summary:

LCS Zone	Lumens	%Lamp	%Lum
FL (0-30)	592.5	N.A.	5.5
FM (30-60)	3628.8	N.A.	33.5
FH (60-80)	4400.9	N.A.	40.6
FVH (80-90)	154.3	N.A.	1.4
BL (0-30)	523.4	N.A.	4.8
BM (30-60)	992.6	N.A.	9.2
BH (60-80)	468.0	N.A.	4.3
BVH (80-90)	84.4	N.A.	0.8
UL (90-100)	0.0	N.A.	0.0
UH (100-180)	0.0	N.A.	0.0
Total	10844.9	N.A.	100.0
BUG Rating	B2-U0-G2		



DESCRIPTION

The Galleon™ wall LED luminaire's appearance is complementary with the Galleon area and site luminaire bringing a modern architectural style to lighting applications. Flexible mounting options accommodate wall surfaces in both an upward and downward configuration. The Galleon family of LED products deliver exceptional performance with patented, high-efficiency AccuLED Optics™, providing uniform and energy conscious lighting for parking lots, building and security lighting applications.

Catalog #		Type
Project		W2 and W2
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Construction

Driver enclosure thermally isolated from optics for optimal thermal performance. Heavy wall aluminum housing die-cast with integral external heat sinks to provide superior structural rigidity and an IP66 rated housing. Overall construction passes a 1.5G vibration test to ensure mechanical integrity. UPLIGHTING: Specify with the UPL option for inverted mount upright housing with additional protections to maintain IP rating.

Optics

Choice of thirteen patented, high-efficiency AccuLED Optics. The optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 3000K, 5000K and 6000K CCT. Greater than 90%

lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 1200mA, 800mA, and 600mA drive currents.

Electrical

LED drivers are mounted for ease of maintenance. 120-277V 50/60Hz, 347V or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Drivers are provided standard with 0-10V dimming. An optional Eaton proprietary surge protection module is available and designed to withstand 10kV of transient line surge. The Galleon Wall LED luminaire is suitable for operation in -30°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Emergency egress options for -20°C ambient environments and occupancy sensor available.

Mounting

Gasketed and zinc plated rigid steel mounting attachment fits directly to 4" j-box or wall with the Galleon Wall "Hook-N-Lock" mechanism for quick installation. Secured with two captive corrosion resistant black oxide coated allen head set screws which are concealed but accessible from bottom of fixture.

Finish

Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

Warranty

Five-year warranty.

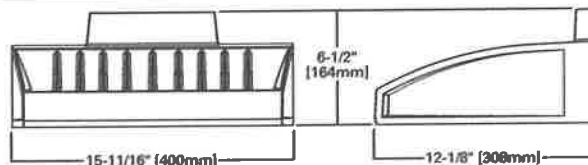


GWC GALLEON WALL LUMINAIRE

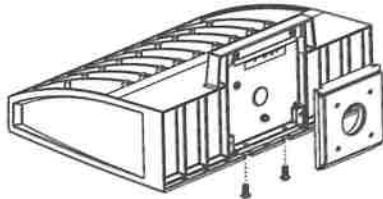
1-2 Light Squares
Solid State LED

WALL MOUNT LUMINAIRE

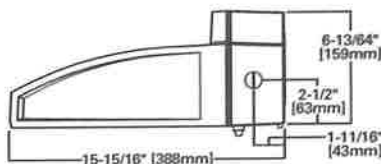
DIMENSIONS



HOOK-N-LOCK MOUNTING



BATTERY BACKUP AND THRU-BRANCH BACK BOX



CERTIFICATION DATA

UL/cUL Listed
LM79 / LM80 Compliant
IP66 Housing
ISO 9001
DesignLights Consortium™ Qualified*

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120-277V/50 & 60Hz, 347V/60Hz,
480V/60Hz
-30°C Minimum Temperature
40°C Ambient Temperature Rating

SHIPPING DATA

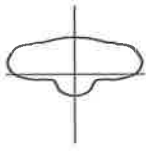
Approximate Net Weight:
27 lbs. (12.2 kgs.)



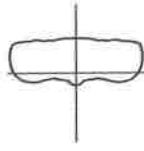
OPTICAL DISTRIBUTIONS

Asymmetric Area Distributions

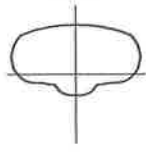
T2
(Type II)



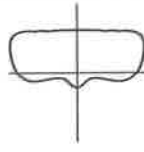
SL2
(Type II with Spill Control)



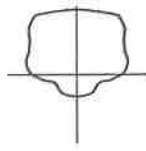
T3
(Type III)



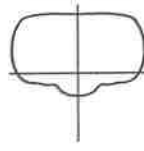
SL3
(Type III with Spill Control)



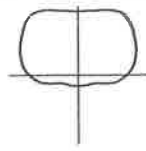
T4FT
(Type IV Forward Throw)



T4W
(Type IV Wide)

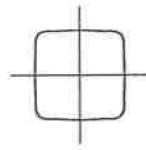


SL4
(Type IV with Spill Control)

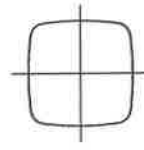


Symmetric Distributions

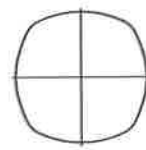
5N0
(Type V Square Narrow)



5M0
(Type V Square Medium)

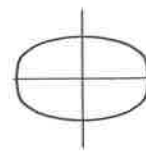


5W0
(Type V Square Wide)

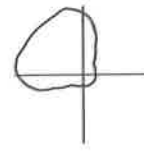


Specialized Distributions

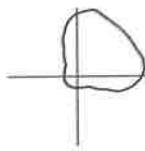
RW
(Rectangular Wide Type I) (90° Spill Light Eliminator Left)



SLR
(90° Spill Light Eliminator Right)

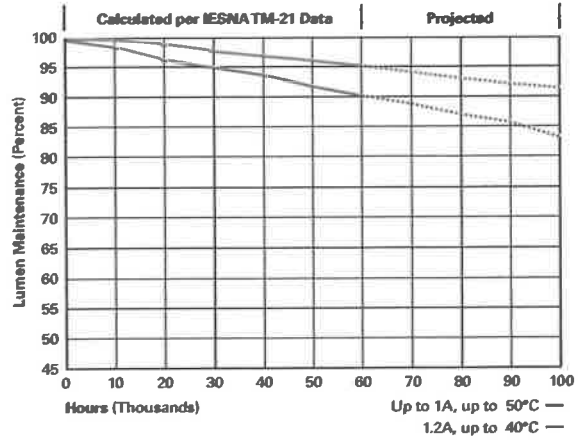


SLR
(90° Spill Light Eliminator Right)



LUMEN MAINTENANCE

Drive Current	Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Projected L70 (Hours)
Up to 1A	Up to 50°C	> 95%	> 416,000
1.2A	Up to 40°C	> 90%	> 205,000



LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

ORDERING INFORMATION

Sample Number: GWC-AF-02-LED-E1-T3-GM

Product Family ¹	Light Engine	Number of Light Squares ²	Lamp Type	Voltage	Distribution	Color	Mounting Options
GWC=Galleon Wall	AF=1A Drive Current	01=1 02=2 ³	LED=Solid State Light Emitting Diodes	E1=120-277V 347=347V ⁴ 480=480V ^{4,5}	T2=Type II T3=Type III T4FT=Type IV Forward Throw T4W=Type IV Wide SL2=Type II w/Spill Control SL3=Type III w/Spill Control SL4=Type IV w/Spill Control SLL=90° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right RW=Rectangular Wide Type I 5NQ=Type V Square Narrow 5MQ=Type V Square Medium 5WQ=Type V Square Wide	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White CC=Custom Color ⁶	[BLANK]=Surface Mount
Options (Add as Suffix)					Accessories (Order Separately)		
7030=70 CRI / 3000K ⁷ 8030=80 CRI / 3000K ⁷ 7050=70 CRI / 5000K ⁷ 7060=70 CRI / 6000K ⁷ 600=Drive Current Factory Set to 600mA 800=Drive Current Factory Set to 800mA 1200=Drive Current Factory Set to 1200mA ⁸ F=Single Fused (120, 277 or 347V. Must Specify Voltage) FF=Double Fused (208, 240 or 480V. Must Specify Voltage) 10K=10kV Surge Module DIM=0-10V Dimming Leads ^{9,10} DALI=DALI Driver ¹¹ HA=50°C High Ambient ¹² UPL=Uplight Housing ¹³ BBB=Battery Pack with Back Box ^{14,15,16} CWB=Cold Weather Battery Pack with Back Box ^{14,15,16} P=Button Type Photocontrol (120, 208, 240 or 277V. Must Specify Voltage) R=NEMA Twistlock Photocontrol Receptacle PER7=NEMA 7-PIN Twistlock Photocontrol Receptacle ¹⁷ AHD14S=After Hours Dim, 5 Hours ¹⁸ AHD24S=After Hours Dim, 6 Hours ¹⁸ AHD25S=After Hours Dim, 7 Hours ¹⁸ AHD35S=After Hours Dim, 8 Hours ¹⁸ MS-LXX=Motion Sensor for On/Off Operation ^{19,20,21} MS/DIM-LXX=Motion Sensor for Dimming Operation ^{19,20,21} LWR-LW=LumaWatt Wireless Sensor, Wide Lens for 8' - 16' Mounting Height ^{22,23} LWR-LN=LumaWatt Wireless Sensor, Narrow Lens for 16' - 20' Mounting Height ^{22,23} L90=Optics Rotated 90° Left R90=Optics Rotated 90° Right MT=Factory Installed Mesh Top LCF=Light Square Trim Plate Painted to Match Housing ²⁴ HSS=Factory Installed House Side Shield ²⁵ CE=CE Marking and Small Terminal Block ²⁶					OA/RA1013=Photocontrol Shorting Cap OA/RA1016=NEMA Photocontrol - Multi-Tap 105-285V OA/RA1201=NEMA Photocontrol - 347V OA/RA1027=NEMA Photocontrol - 480V MA1252=10kV Circuit Module Replacement MA1059XX=Thru-branch Back Box (Must Specify Color) FSIR-100=Wireless Configuration Tool for Occupancy Sensor ²⁷ LS/HSS=Field Installed House Side Shield ^{28,29}		

NOTES:

- DesignLight Consortium™ Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details.
- Standard 4000K CCT and minimum 70 CRI.
- Two light squares with BBB or CWB options limited to 25°C, 120-277V only.
- Requires the use of a step down transformer. Not available in combination with sensor options at 1200mA.
- Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
- Custom colors are available. Setup charges apply. Paint chip samples required. Extended Lead times apply.
- Extended lead times apply. Use dedicated IES files when performing layouts.
- Not available with HA option.
- Cannot be used with other control options.
- Low voltage control lead brought out 18" outside fixture.
- Only available with BBB or CWB in single light square. HA option available for single light square only. Limited to 1A and below.
- Not available with 1200, UPL, BBB and CWB options. Available for single light square only.
- Not available with SL2, SL3, SL4, HA, BBB, CWB, R, or PER7 options.
- Operates a single light square only. Cold weather option operates -20°C to +40°C, standard 0°C to +40°C. Backbox is non-IP rated.
- Compatible with standard 3-PIN photocontrols, 5-PIN or 7-PIN ANSI controls.
- Requires the use of P photocontrol or the PER7 or R photocontrol receptacle with photocontrol accessory. See After Hours Dim supplemental guide for additional information.
- The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
- Replace LXX with mounting height in feet for proper lens selection (e.g., L8=8' mounting height). L8, L20, L40, and L40W are available options.
- Includes integral photosensor.
- LumaWatt wireless sensors are factory installed requiring network components in appropriate quantities. See www.eaton.com/lighting for LumaWatt application information.
- Bronze sensor is shipped with Bronze fixtures. White sensor shipped on all other housing color options.
- Not available with HSS option.
- Only for use with SL2, SL3 and SL4 distributions. The light square trim plate is painted black when the HSS option is selected.
- CE is not available with the 1200, DALI, LWR, MS, MS/DIM, P, R or PER7 options. Available in 120-277V only.
- One required for each light square.



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W1

Photometric Report (Type C)

Filename: GWC-AF-01-LED-E1-SL4-7030-600 (1).ies
[TEST] P199987 TEST IS SCALED FROM IESNA LM-79-08 TEST
DATA (P24294)
[TESTLAB] Innovations Center P2
[ISSUEDATE] 8/30/2016
[MANUFAC] EATON - MCGRAW-EDISON (FORMER COOPER
LIGHTING)
[LUMCAT] GWC-AF-01-LED-E1-SL4-7030-600
[LUMINAIRE] GALLEON WALL LUMINAIRE (1) 70 CRI, 3000K,
615mA LIGHTSQUARE WITH 16 LEDS EACH AND TYPE IV SPILL
LIGHT ELIMINATOR OPTICS

Maximum Candela = 2959.2 at 39 H 70 V

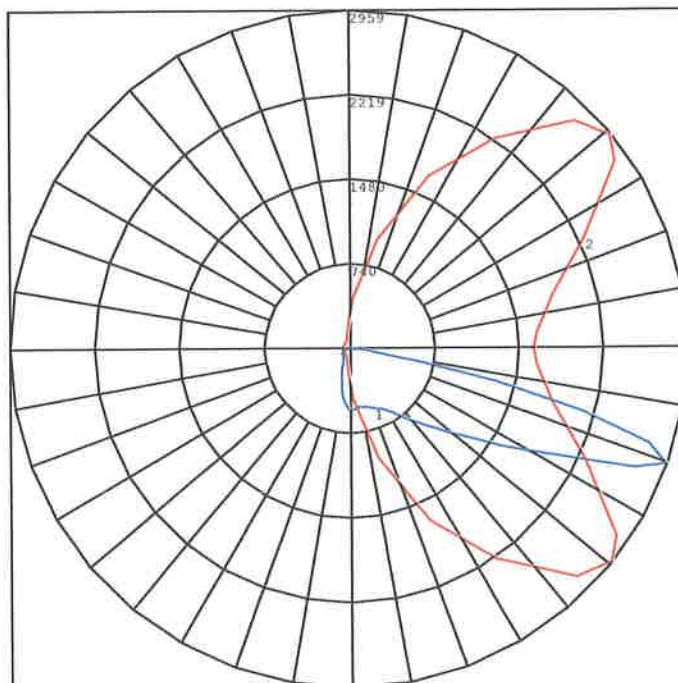
Classification:

Road Classification: Type IV, Short, N.A. (deprecated)
Upward Wast Light Ratio: 0.00
Luminaire Efficacy Rating (LER): 104
Indoor Classification: Direct
BUG Rating : B0-U0-G1

Polar Candela Curves:

Vertical Plane Through:
1) 39 - 219 Horizontal

Horizontal Cone Through:
2) 70 Vertical





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Photometric Report (Type C)

Filename: GWC-AF-01-LED-E1-SL4-7030-600 (1).ies
[TEST] P199987 TEST IS SCALED FROM IESNA LM-79-08 TEST
DATA (P24294)
[TESTLAB] Innovations Center P2
[ISSUEDATE] 8/30/2016
[MANUFAC] EATON - MCGRAW-EDISON (FORMER COOPER
LIGHTING)
[LUMCAT] GWC-AF-01-LED-E1-SL4-7030-600
[LUMINAIRE] GALLEON WALL LUMINAIRE (1) 70 CRI, 3000K,
615mA LIGHTSQUARE WITH 16 LEDS EACH AND TYPE IV SPILL
LIGHT ELIMINATOR OPTICS

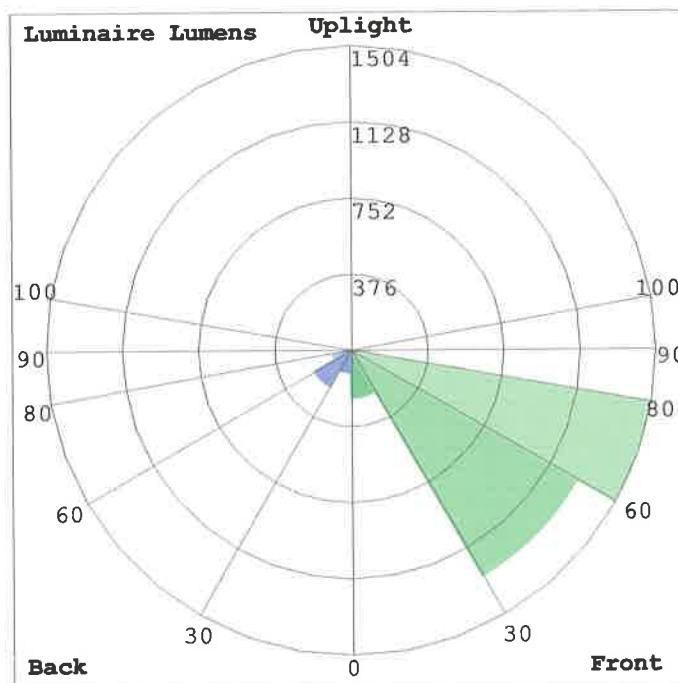
Maximum Candela = 2959.2 at 39 H 70 V

Classification:

Road Classification: Type IV, Short, N.A. (deprecated)
Upward Waste Light Ratio: 0.00
Luminaire Efficacy Rating (LER): 104
Indoor Classification: Direct
BUG Rating : B0-U0-G1

LCS Summary:

LCS Zone	Lumens	%Lamp	%Lum
FL (0-30)	233.0	N.A.	6.6
FM (30-60)	1287.2	N.A.	36.5
FH (60-80)	1503.7	N.A.	42.7
FVH (80-90)	98.4	N.A.	2.8
BL (0-30)	106.3	N.A.	3.0
BM (30-60)	200.5	N.A.	5.7
BH (60-80)	84.1	N.A.	2.4
BVH (80-90)	9.7	N.A.	0.3
UL (90-100)	0.0	N.A.	0.0
UH (100-180)	0.0	N.A.	0.0
Total	3522.9	N.A.	100.0
BUG Rating	B0-U0-G1		





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W2

Photometric Report (Type C)

Filename: GWC-AF-01-LED-E1-SL2-7030-600.ies
[TEST] P199955 TEST IS SCALED FROM IESNA LM-79-08 TEST
DATA (P24286)
[TESTLAB] Innovations Center P2
[ISSUEDATE] 8/30/2016
[MANUFAC] EATON - MCGRAW-EDISON (FORMER COOPER
LIGHTING)
[LUMCAT] GWC-AF-01-LED-E1-SL2-7030-600
[LUMINAIRE] GALLEON WALL LUMINAIRE (1) 70 CRI, 3000K,
615mA LIGHTSQUARE WITH 16 LEDS EACH AND TYPE II SPILL
LIGHT ELIMINATOR OPTICS

Maximum Candela = 4600.7 at 67 H 67.5 V

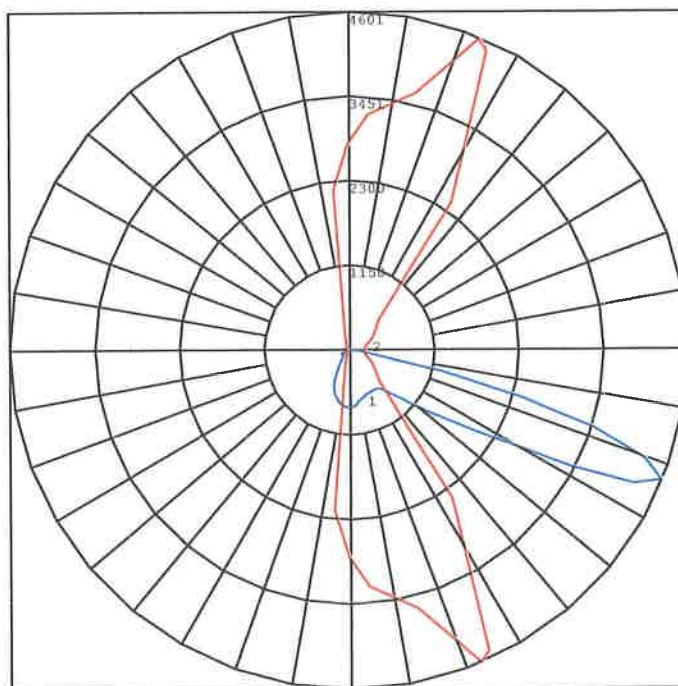
Classification:

Road Classification: Type II, Short, N.A. (deprecated)
Upward Wast Light Ratio: 0.00
Luminaire Efficacy Rating (LER): 107
Indoor Classification: Direct
BUG Rating : B1-U0-G1

Polar Candela Curves:

Vertical Plane Through:
1) 67 - 247 Horizontal

Horizontal Cone Through:
2) 67.5 Vertical





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Photometric Report (Type C)

Filename: GWC-AF-01-LED-E1-SL2-7030-600.ies
[TEST] P199955 TEST IS SCALED FROM IESNA LM-79-08 TEST
DATA (P24286)
[TESTLAB] Innovations Center P2
[ISSUEDATE] 8/30/2016
[MANUFAC] EATON - MCGRAW-EDISON (FORMER COOPER
LIGHTING)
[LUMCAT] GWC-AF-01-LED-E1-SL2-7030-600
[LUMINAIRE] GALLEON WALL LUMINAIRE (1) 70 CRI, 3000K,
615mA LIGHTSQUARE WITH 16 LEDS EACH AND TYPE II SPILL
LIGHT ELIMINATOR OPTICS

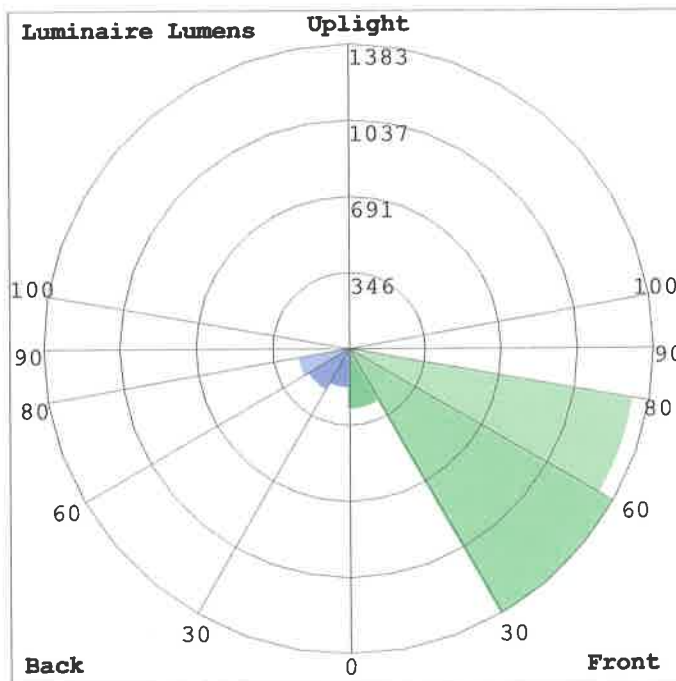
Maximum Candela = 4600.7 at 67 H 67.5 V

Classification:

Road Classification: Type II, Short, N.A. (deprecated)
Upward Waste Light Ratio: 0.00
Luminaire Efficacy Rating (LER): 107
Indoor Classification: Direct
BUG Rating : B1-U0-G1

LCS Summary:

LCS Zone	Lumens	%Lamp	%Lum
FL (0-30)	264.3	N.A.	7.3
FM (30-60)	1382.8	N.A.	38.1
FH (60-80)	1308.2	N.A.	36.0
FVH (80-90)	74.2	N.A.	2.0
BL (0-30)	166.8	N.A.	4.6
BM (30-60)	202.2	N.A.	5.6
BH (60-80)	222.5	N.A.	6.1
BVH (80-90)	10.2	N.A.	0.3
UL (90-100)	0.0	N.A.	0.0
UH (100-180)	0.0	N.A.	0.0
Total	3631.2	N.A.	100.0
BUG Rating	B1-U0-G1		





WALL MOUNT SL-16-D-MR16



TYPE

W3

SPECIFICATIONS

CONSTRUCTION: 316 stainless steel or brass cylinder and canopy
LENS: Clear tempered flat glass
CANOPY GASKET: Black newsponge closed cell .190" thickness
LAMP SUPPLIED: 20w MR16 FL(BAB) 5000 hours average rating (20w total max)
LAMP OPTIONS: We recommend 20w MR16 ULTRA10,000 hours average rating;
 20 watt MR16 TITAN 18,000 hours average rating; 4w ARROW LED 50,000 average rating
SOCKET: High temperature ceramic GU5.3 bi-pin with 250°C silicone lead wires
WIRING: Black and 2 White 250°C silicone lead wires
CONNECTION: FA-05 Quick Connector (not supplied) from fixture to main cable
 (12/2, 10/2 or 8/2 only)
MOUNTING: Canopy Included with 2 stainless steel or brass #2 Phillips, flat head, wood screws
FINISH: Stainless Steel - Machined stainless steel only
 Brass - Unfinished brass. Optional finishes available



UP/DOWN LIGHT MODEL AVAILABLE
SEE SL-16-MR16



SL-16-D-
MR16-SS



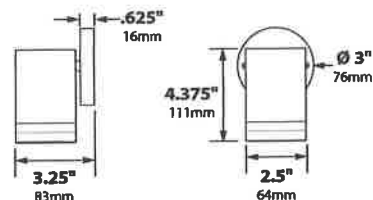
SL-16-D-MR16
LED-BAR

ORDERING INFORMATION

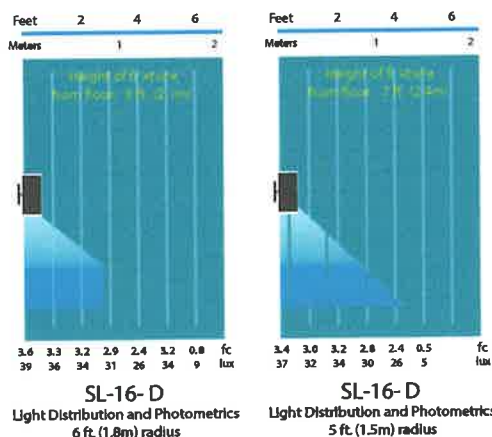
CATALOG NO.	DESCRIPTION	LAMP	SHIP WEIGHT
SL-16-DMR16-SS	316 Stainless Steel Down Light	20w MR16 FL(BAB)	2.0 lbs.
SL-16-DMR16-BRS	Brass Down Light	20w MR16 FL(BAB)	2.0 lbs.

COLOR/BEAM/GLARE CONTROL ACCESSORIES

FA-08-21	Round 1/8" Black Hex Cell Louver
FA-11-BLUE	Blue Tempered Flat Glass Lens
FA-11-GREEN	Green Tempered Flat Glass Lens
FA-11-AMBER	Amber Tempered Flat Glass Lens
FA-11-RED	Red Tempered Flat Glass Lens
FA-98-36C16	Linear Spread Tempered Glass Lens
FA-104-SB	Wide Spread Sand Blasted Glass Lens



LIGHT DISTRIBUTION AND PHOTOMETRICS



JOB INFORMATION

Type: _____ Date: _____

Job Name: _____

Cat. No: _____

Lamp(s): _____

Specifier: _____

Contractor: _____

Notes: _____

FOCUS INDUSTRIES INC.
25301 COMMERCE DRIVE
LAKE FOREST, CA 92630

www.focusindustries.com
sales@focusindustries.com
(949) 830-1350 • FAX (949) 830-3390

Black Texture (Standard)	Antique Verde	Bronze Texture	Camel	White Texture	Hunter Texture	Rust	Weathered Iron	Weathered Brown	Stucco	Rubbed Verde	Chrome Powder	Acid Rust	Acid Verde	Black Acid Treatment
-BLT	-ATV	-BRT	-CAM	-WTX	-HTX	-RST	-WIR	-WBR	-STU	-RBV	-CPR	-BAR/CAR	-BAV/CAV	-BAT

SL-16-DMR16CutSheet62216

BRASS & COPPER ONLY

MR16 Series

TrueWhite® LED Lamp

Product Description

The Cree® MR16 Series TrueWhite® LED Lamp is a true 50W halogen MR16 equivalent that delivers up to 584 lumens of superior 90 CRI light with high R9 color quality while achieving up to 67 lumens per watt. This MR16 boasts a slim design to allow universal form and fit into most global MR16 fixtures and is available in a variety of beam angles with a color temperature of 3000K. The Cree MR16 Series TrueWhite® LED Lamp's impressive combination of greater than 80% energy savings and significant maintenance savings make it a perfect solution for track and accent lighting.

Performance Summary

Utilizes Cree TrueWhite® Technology

Initial Delivered Lumens: 540 lumens (15D), 580 lumens (25D), 584 lumens (40D)

Input Power: 8.7 watts (50W equivalent)

CRI: >90

CCT: 3000K

Beam Angle: 15°, 25° and 40°

CBCP: 4,648 (15D), 2,473 (25D), 1,296 (40D)

Limited Warranty: 3 years

Lifetime: Designed to last 25,000 hours

Dimming: Dimmable to 5% with select dimmers

Must order in multiples of master carton (MC) quantities; MC = 4

¹ See <http://lighting.cree.com/warranty> for warranty terms

W3

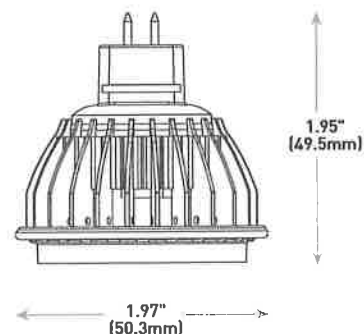
15°



25°



40°



Ordering Information

Example: MR16-50W-30K-25D

MR16	50W	30K		
Product	Watt Equivalent	CCT	Beam Angle	Base Type
MR16	50W 50 Watt	30K 3000K	15D 15° Spot 25D 25° Flood 40D 40° Wide Flood	Blank GU5.3 Base



Rev. Date: V6 05/25/2016



US: lighting.cree.com/lighting

T (800) 236-6800 F (262) 504-5415

Canada: www.cree.com/canada

T (800) 473-1234 F (800) 890-7507



Photometric Report (Type C)

Filename: W3_IES File- PL03820-001 MR16-50W-30K-40D.IES

[TEST] PL03820-001
 [TESTLAB] Cree-CESTL
 [ISSUEDATE] 6/14/2014
 [MANUFAC] Cree Inc
 [LUMCAT] MR16-50W-30K-40D
 [LUMINAIRE] MR16 lamp with 40 degree lens, aluminum
 heat sink, and black plastic bi-pin base
 [LAMP] MT-G2

Maximum Candela = 1295.64 at 0 H 0 V

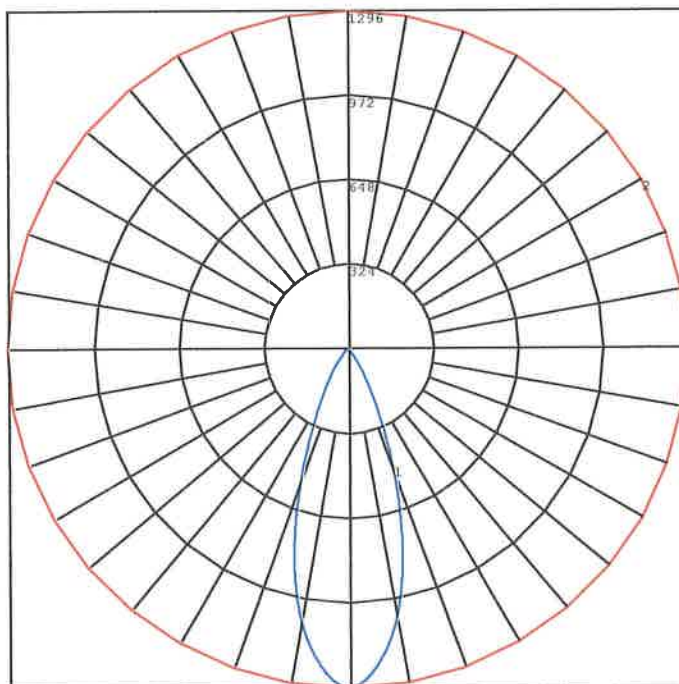
Classification:

Road Classification: Type V, Very Short, N.A. (deprecated)
 Upward Wast Light Ratio: 0.03
 Luminaire Efficacy Rating (LER): 68
 Indoor Classification: Direct
 BUG Rating : B1-U2-G0

Polar Candela Curves:

Vertical Plane Through:
 1) 0 - 180 Horizontal

Horizontal Cone Through:
 2) 0 Vertical



Photometric Report (Type C)

Filename: W3 IES File- PL03820-001 MR16-50W-30K-40D.IES

[TEST] PL03820-001

[TESTLAB] Cree-CESTL

[ISSUEDATE] 6/14/2014

[MANUFAC] Cree Inc

[LUMCAT] MR16-50W-30K-40D

[LUMINAIRE] MR16 lamp with 40 degree lens, aluminum heat sink, and black plastic bi-pin base

[LAMP] MT-G2

Maximum Candela = 1295.64 at 0 H 0 V

Classification:

Road Classification: Type V, Very Short, N.A. (deprecated)

Upward Waste Light Ratio: 0.03

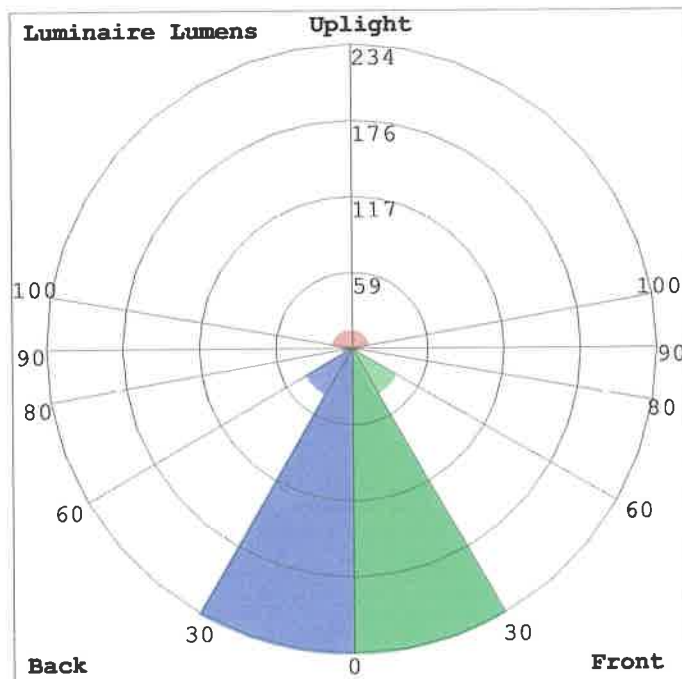
Luminaire Efficacy Rating (LER): 68

Indoor Classification: Direct

BUG Rating : B1-U2-G0

LCS Summary:

LCS Zone	Lumens	%Lamp	%Lum
FL (0-30)	234.3	N.A.	40.4
FM (30-60)	39.5	N.A.	6.8
FH (60-80)	5.9	N.A.	1.0
FVH (80-90)	1.7	N.A.	0.3
BL (0-30)	234.3	N.A.	40.4
BM (30-60)	39.5	N.A.	6.8
BH (60-80)	5.9	N.A.	1.0
BVH (80-90)	1.7	N.A.	0.3
UL (90-100)	3.5	N.A.	0.6
UH (100-180)	13.8	N.A.	2.4
Total	580.1	N.A.	100.0
BUG Rating	B1-U2-G0		





Approximation of
Existing Pole

Photometric Report (Type C)

Filename: Existing_GMX25PXX5SF.ies
[TEST] ITL53280_250MP
[ISSUEDATE] 01/26/03
[MANUFAC] EATON - STREETWORKS (FORMER COOPER LIGHTING)
[LUMCAT] GMX25PXX5SF
[LUMINAIRE] 250W MH TYPE V AREA
[LAMP] 250 WATT PULSE-START CLEAR ED-28 HORIZONTAL
BURN

Maximum Candela = 6415.4 at 45 H 70 V

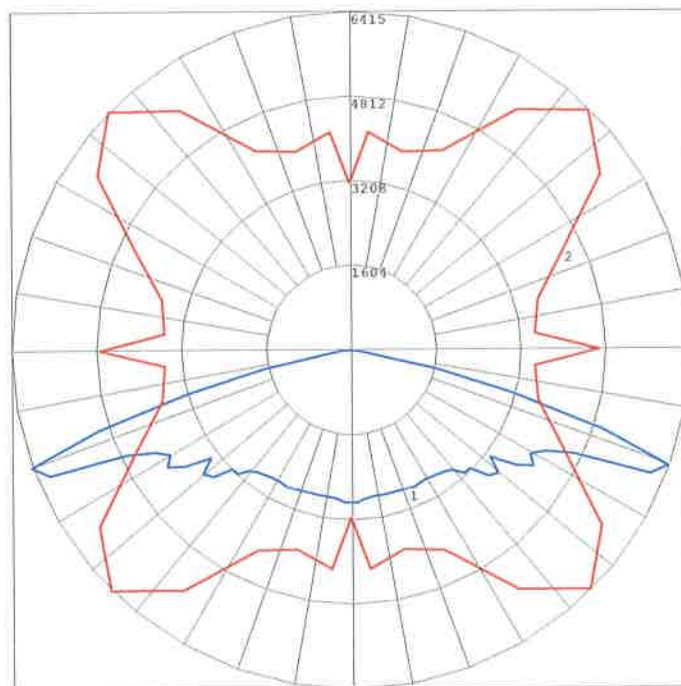
Classification:

Road Classification: Type VS, Short, Full Cutoff (deprecated)
Upward Wast Light Ratio: 0.00
Luminaire Efficacy Rating (LER): 60
Indoor Classification: Direct
BUG Rating : B4-U0-G2

Polar Candela Curves:

Vertical Plane Through:
1) 45 - 225 Horizontal

Horizontal Cone Through:
2) 70 Vertical





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Approximation of
Existing Pole

Photometric Report (Type C)

Filename: Existing_GMX25PXX5SF.ies
[TEST] ITL53280 250MP
[ISSUEDATE] 01/26/03
[MANUFAC] EATON - STREETWORKS (FORMER COOPER LIGHTING)
[LUMCAT] GMX25PXX5SF
[LUMINAIRE] 250W MH TYPE V AREA
[LAMP] 250 WATT PULSE-START CLEAR ED-28 HORIZONTAL
BURN

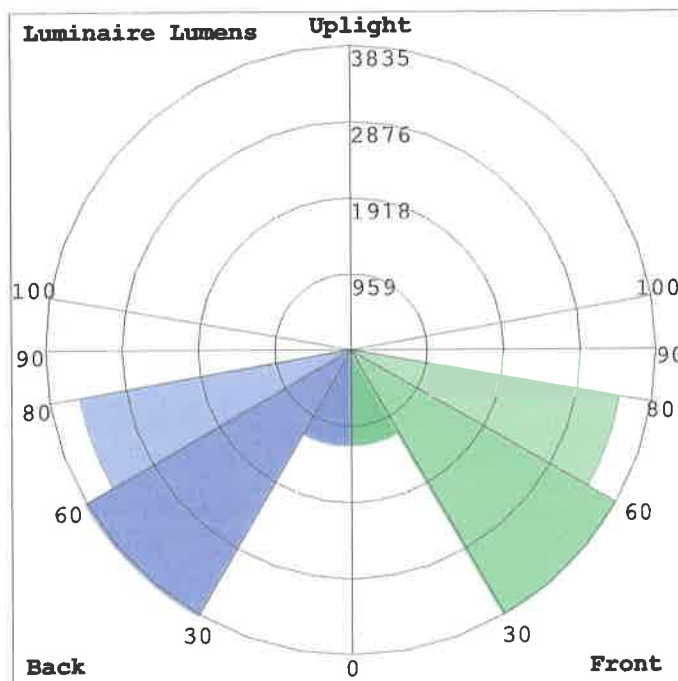
Maximum Candela = 6415.4 at 45 H 70 V

Classification:

Road Classification: Type VS, Short, Full Cutoff (deprecated)
Upward Waste Light Ratio: 0.00
Luminaire Efficacy Rating (LER): 60
Indoor Classification: Direct
BUG Rating : B4-U0-G2

LCS Summary:

LCS Zone	Lumens	%Lamp	%Lum
FL (0-30)	1187.7	5.4	7.0
FM (30-60)	3835.1	17.4	22.5
FH (60-80)	3428.8	15.6	20.2
FVH (80-90)	55.7	0.3	0.3
BL (0-30)	1187.7	5.4	7.0
BM (30-60)	3835.1	17.4	22.5
BH (60-80)	3428.8	15.6	20.2
BVH (80-90)	55.7	0.3	0.3
UL (90-100)	0.0	0.0	0.0
UH (100-180)	0.0	0.0	0.0
Total	17014.6	77.4	100.0
BUG Rating	B4-U0-G2		



KLEIN'S FLORAL & GREENHOUSES REDEVELOPMENT

Luminaire Schedule						
Symbol	Qty	Tag	Label	Lum. Watts	Lum. Lumens	LLF
□	3	EX	Existing GMR25PM25SF	283	17015	0.800
□	1	P1	GLEON-AP-03-LED-E1-SWQ-7	166	16944	0.900
□	1	P2	GLEON-AP-02-LED-E1-SL2-7030-H	113	8929	0.900
□	1	P3	GLEON-AP-02-LED-E1-T4PT-7030	113	10845	0.900
□	5	W1	GWC-AP-01-LED-E1-SL2-7030-600	34	3523	0.900
□	5	W2	GWC-AP-01-LED-E1-SL2-703	34	3631	0.900
○	12	W3	W3 125 File- PL03820-001 MR16	9.59	580	0.920

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min Max/Min
Back Service Drive	Illuminance	Fc	1.37	3.2	0.4	3.43 8.00
Beyond Property Line	Illuminance	Fc	0.15	1.1	0.0	N.A. N.A.
East Service Drive	Illuminance	Fc	1.72	6.5	0.3	5.75 21.67
Klein's Parking	Illuminance	Fc	1.59	4.0	0.3	5.30 13.33
Outdoor Sales Area	Illuminance	Fc	0.99	13.5	0.1	9.90 135.00
Walgreens Drive area	Illuminance	Fc	0.34	1.6	0.0	N.A. N.A.

WALGREEN'S

HOME
SAVINGS

EAST WASHINGTON AVENUE

5
L-400
Lighting Photometrics Plan



KLEIN GARDEN. G. N. GARDEN.

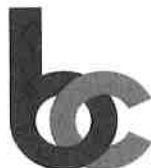
LINVILLE ARCHITECTS, LLC
408 E WALTON ST. MADISON, WI 53703 608-251-0666

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ENTERN DATE

△
△ APRIL 22, 2017
△



April 26, 2017

City of Madison Planning Department
215 Martin Luther King Jr., Blvd, Room LL-100
P.O. Box 2985
Madison, Wisconsin 53701-2985

RE: LETTER OF INTENT for Land Use Application (LUA) for Rezoning, Conditional Use Permit and Demolition Permit for JOT Properties, LLC and SUB Properties, LLC d/b/a Klein's Floral & Greenhouses (hereafter "Klein Floral") located at 3758 East Washington Ave., Madison WI

NOTICE: This LETTER OF INTENT is in complete substitution of the Letter of Intent filed with the initial submission on February 8, 2017.

PROJECT TITLE: Klein's Floral & Greenhouses Redevelopment

To Whom It May Concern:

We begin this Letter of Intent (LOI) with a brief history of Klein's Floral & Greenhouses. The present owners of the Property (see "legal description" attached to this LOI as Exhibit A) subject to this LUA are JOT Properties, LLC and SUB Properties, LLC both of which entities are owned and controlled by Susan H. Klein who is the sole member of each LLC. JOT, Properties, LLC is also the operator of Klein Floral. Ms. Klein is the 3rd generation of Kleins owning and operating Klein Floral. Her grandfather, Frederick Klein, started the business in 1913 at this same location and it has remained in the family ever since. Sue has 4 children, 2 of whom are planning to follow in her footsteps and will continue operation of the business into a fourth generation.

It is the anticipation of this 4th generation of family operation that is the motivation for this massive modernization and upgrade of this greenhouse and floral facility to a "state of the art" status. A complicating factor in her decision to undertake this project has been the long-term (but vague and uncertain) plan of the Wisconsin Department of Transportation (DOT) to rebuild the intersection of Hwy 51 and East Washington Avenue (Hwy 151). Sue has participated in several meetings with WDOT and the City of Madison to discuss this intersection project and has viewed several different planning scenarios. At the same time that it appears that the intersection project (if or when it occurs) will impact her greenhouse and floral business with respect to visibility and access, there has been no way to determine what the actual impact will be because of the significant uncertainty of what DOT will ultimately decide to do. In addition, the timing for the reconstruction of the intersection is likewise very uncertain. It has been suggested that

reconstruction of the intersection will not come earlier than 2025 and could easily be later than that. In the meantime, as a business person, Sue has no real choice but to go forward with the modernization of her business because a failure on her part to do so, would lead to the eventual demise of her family business. She is not willing to allow that to happen when she has two sons who are anxious to continue in the family footsteps.

This history leads us directly to the LUA and this LOI in support of the LUA.

The presently existing structures on the site are old and inefficient. The house on the premises was the original homestead of Sue's grandfather, Sue's father, and is the house in which Sue grew up. It is obviously a place of untold precious memories for Sue but it is also very old and is in significant need of repair or demolition. With regret, Sue has chosen demolition because of the overriding needs of the business in order to keep the business viable.

In this context, we submit the following specific information regarding this proposed project:

1] **Project Team:**

- a. Land Use Planner / Project Coordinator: Tim Anderson Consulting, LLC
Contact Person: Tim Anderson
2126 Yahara Place
Madison WI 53704
- b. Architect: Linville Architects, LLC
Contact Person: Ed Linville
408 E. Wilson St.
Madison WI 53703
- c. Engineer and Surveyor: Burse Surveying & Engineering, Inc.
Contact Person: Michelle Burse
2801 International Lane, Suite 101
Madison WI 53704
- d. Landscape Architect: Ken Saiki Design
Contact Person: Pat Saiki
303 S. Patterson St., Suite 1
Madison WI 53703
- e. Garden Center Consultant: Growing Places Marketing
Contact Person: Judy Sharpton
32 Navigator Lane
Savannah, Georgia 31410
Phone No: 770-815-1052

f. Construction Contractor: Supreme Structures, Inc.
Contact Person: Eric Heise
2906 Marketplace Drive, Suite A
Madison WI 53719

g. Attorney: Jerry E. McAdow
Boardman & Clark, LLP
1 So. Pinckney St., 4th Floor
P.O. Box 927
Madison WI 53701-0927
Ph: 608-286-7203

2] **Existing Conditions:**

Klein Floral & Greenhouses is currently a fully functioning, year-around greenhouse and retail business with an emphasis on growing a wide variety of plants and flowers for sale. The business intends to stay open during the new construction operating out of temporary quarters which will consist of converting a portion of the existing growing greenhouses (hoop houses) at the rear of the Klein's site to accommodate retail sales and administrative offices. Building Inspection has reviewed and accepted this plan pending additional details that will be provided as part of a temporary permit request. The existing house is part of the retail center and contains administrative offices. That house is currently subject to repair and maintenance orders issued by the City Building Inspector but those orders are in a state of suspension subject to the demolition and construction which is the subject of this LUA. The north side of the site that includes the growing greenhouses (hoop houses) will remain undisturbed and will not be included in the proposed construction. This portion of the property will be reconstructed at a later date to be determined.

3] **Project Schedule:**

With the re-filing of this LUA on April 26, 2017, we are aiming at our appearance before the UDC on May 10, 2017, the Plan Commission on May 22, 2017 and the Common Council on June 6, 2017. We will be asking the UDC for "Initial/Final" approval at our meeting on May 10 so that we can stay on the rest of our proposed schedule. Subject to getting all of the required City recommendations and approvals, we would apply for the Demolition permit in early July, 2017. Modification of the existing greenhouse to allow for the continuation of the business during construction would occur in Mid-July, 2017 with actual demolition and construction commencing in late July, 2017. It is anticipated that construction would be completed in late November or early December, 2017 with

an Open House for the new facility being held in early 2018. It is the intention of Sue Klein to have the new facility actually in full operation in early December in order to not miss participation in the December holiday season.

4] **Proposed Uses:**

Greenhouse (growing plants and flowers)	
plus storage and equipment:	22,800 sq. ft.
Retail sales:.....	5,700 sq. ft.
Administrative:.....	1,900 sq. ft.
Parking:.....	33,672 sq. ft.
Landscaping:.....	26,236 sq. ft.

Square footage as presented above is approximate, but accurate to +/- 5%.

5] **Hours of Operation:**

Weekdays: 8:00 a.m. to 6:00 p.m.
Saturday: 9:00 a.m. to 5:00 p.m.
Sunday: 10:00 a.m. to 4:00 p.m.
Springtime hours:
 Weekdays: 8:00 a.m. to 8:00 p.m.
 Saturday: 8:00 a.m. to 6:00 p.m.
 Sunday: 9:00 a.m. to 5:00 p.m.

Holidays hours are variable and all hours of operation are subject to reasonable adjustment according to needs and circumstances.

6] **Building Square footage:**

Greenhouses:	20,700 sq. ft.
Storage:	2,100 sq. ft.
Retail:	5,700 sq. ft.
Administrative:	1,900 sq. ft.

Square footage as presented above is approximate, but accurate to +/- 5%.

7] **Number of Dwelling Units:**

None.

8] **Number of Auto and Bike Parking Stalls:**

Auto parking stalls (customer):	61
Auto parking stalls (employees):	9
Bike parking stalls: \	9 (5/customers; 4/employees)

9] **Lot Coverage and & Useable Open Space Calculations:**

Lot Coverage:	110,245 sq. ft.
Useable Open Space	26,236 sq. ft.

Square footage as presented above is approximate, but accurate to +/- 5%. The Lot Coverage is the estimated square footage as of the time of completion of the proposed new construction combined with the retained existing lot coverage.

10] **Value of Land (excluding presently existing buildings):**

2016 assessed valuation (land only):

JOT Properties, LLC (Parcel No. 251-0810-332-0317-6): \$517,500

SUB Properties, LLC (Parcel No. 251-0810-332-0320-9) \$304,000

Total: \$821,500

(No recent appraisal.)

11] **Estimated Project Cost:**

\$2,750,000

12] **Number of Construction and Full-time Equivalent Jobs Created:**

Construction jobs created:.....	?*
Full-time equivalent jobs:.....	5**

* To be determined.

** It is not anticipated that the Klein employee force will substantially increase as a result of the new construction because it will be the continuation of an ongoing business. At the same time, however, the facility will be larger and the Owner anticipates needing to expand her work force by the above estimate. Also, depending upon the season or holiday, part-time employees

are hired from time to time and with growth of the business and with the new facility, it is expected that the part-time work force will also increase.

13] **Public Subsidy Requested:**

None

14] **Rezoning Request**

A small portion of the subject property has not been appropriately zoned (**See Ex. B attached to this LOI**). The area designated in Ex. B has been used by the Greenhouse operation for many, many years, at the same time that it is zoned for residential use. This has been largely overlooked by everyone as a kind of "grandfathered" use which was not being objected to by nor harming anyone. We are seeking the rezoning of the entire Property described in attached **Exhibit A** (referred to as Lot 1 in proposed CSM) to zoning classification CC-T (Commercial Corridor Transitional District) in order to resolve this concern for all future purposes.

15] **Conditional Use Permits**

To facilitate the continued operation of this floral facility and the new construction, we request the granting of the following conditional uses:

- a. To permit outdoor storage in an area having an approximate size of 8 x 70' which will be covered by a metal roof. The product to be stored in this area is bagged soils and mulches, open to the view of customers so they will be aware of its availability for their purchase. It is proposed to be located as far away as possible from any residential area. Specifically, the outdoor storage area will be located near the center of the Property and away from the residences which are located on the Easterly side of the Property. It will be in a fenced in area and securely locked up at the end of each business day.
- b. To permit the construction of a building having an area in excess of 25,000 sq. ft. (see Project Plans)

16] **Curbside Landscaping**

Based upon the revised location of the new building, which is now set further back from Ms. Klein's property line in order to allow the placement and construction of the 2-way driveway, together with limited parking, Ms. Klein has had to significantly curtail the amount of landscaping which she wanted to place



in front of the new building. Where possible, she continues to wish to provide seasonal landscaping as described below but on a reduced scale.

She specifically wishes to avoid any requirement for planting trees along this street because they would shade and detract from the seasonal landscaping. Her landscaping plans include the planting of attractive spring annuals which mature into summer "annuals". In the fall, she would change out the summer annuals and plant fall mums, grasses, kale and other fall plants. In the winter, there would be evergreens. Some plants will be in containers which can be moved from time to time. With these plans in mind, she is requesting that any requirement for the planting of curbside trees would be waived.

17] **Fire Access**

The proposed building will be fully "sprinkled" for fire suppression. In addition, based upon conversations we have had with the Madison Fire Department, it is our understanding that we will have adequate emergency vehicle and hydrant access for the proposed new structures subject to the Fire Department confirming sufficient pressure in the existing hydrants.

18] **Joint Access Easement**

SUB Properties, LLC and Washington East LLC (Scott Faust) entered into a "Grant of Reciprocal Easements" on March 4, 1999 under the terms of which a joint and mutual access easement (and other easement access rights) was agreed to by the parties. A copy of that easement agreement is attached to this LOI as **Exhibit C** (consisting of 16 pages). We have engaged in long-term negotiations with Mr. Faust and Walgreens (tenant of Mr. Faust) seeking to arrive at an agreed interpretation of the terms of the easement agreement. As a result of these negotiations, Sue Klein has made numerous concessions in order to avoid a conflict with Mr. Faust and Walgreens. Specifically and most importantly, Sue Klein has agreed with Mr. Faust and Walgreens to construct a 2-way driveway in front of her proposed new building which will connect Access Point D (the most easterly access point on her property) with Mr. Faust's property (as leased by Walgreens). This reluctant concession by Ms. Klein led directly to the plan revisions which has necessitated this resubmission, including building relocation, parking relocation and a major reduction in the amount of landscaping which she initially wanted to plant in front of the new greenhouses.

In addition, in response to the objections of Walgreens, Ms. Klein has also revised her truck turn-around plans so that no change whatsoever is being made to the radius of the Walgreens truck turn-around track.

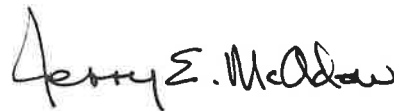


With these revisions and these agreements, we believe that we have satisfied the positions taken by Mr. Faust and Walgreens and that as revised, both Mr. Faust and Walgreens will withdraw their prior objections to Ms. Klein's site plan. We are seeking a written statement from them to that effect and when received, we will deliver it to City Traffic Engineering and the City Planning Department.

Please call the undersigned if there are any questions regarding this LOI or if anyone feels that additional information is needed or would be useful in order to proceed. Thank you for your consideration.

Sincerely,

BOARDMAN & CLARK LLP

A handwritten signature in black ink that reads "Jerry E. McAdow". The signature is written in a cursive, slightly slanted style.

Jerry E. McAdow

JEM:pr

Klein's Floral and Greenhouses, Inc. Proposed Lot 1
Metes and Bounds Description For Rezone

Part of Lot 2, Certified Survey Map Number 9499, as recorded in Volume 54 of Certified Survey Maps, on pages 136-139, as Document Number 3169025, Dane County Registry and part of Outlots 109, 111, 112 and 113, Burke Assessor's Plat No. 1, as recorded in Volume 9 of plats, on pages 15-21, as Document Number 593673, Dane County Registry, located in the Northwest Quarter of the Northwest Quarter of Section 33, Township 08 North, Range 10 East, City of Madison, Dane County, Wisconsin, more fully described as follows:

Beginning at the west corner of said Lot 2;
thence North 48 degrees 43 minutes 50 seconds East along the northwest line of said Lot 2, 381.92 feet;
thence South 42 degrees 51 minutes 37 seconds East, 212.91 feet;
thence South 48 degrees 43 minutes 04 seconds West, 10.00 feet;
thence North 42 degrees 45 minutes 47 seconds West, 50.75 feet;
thence South 48 degrees 08 minutes 27 seconds West, 49.94 feet;
thence South 42 degrees 48 minutes 12 seconds East, 235.00 feet to the northwest right of way line of East Washington Avenue;
thence South 48 degrees 43 minutes 04 seconds West along said northwest right of way line, 200.15 feet;
thence North 42 degrees 49 minutes 28 seconds West along said northwest right of way line, 3.10 feet to a point of curvature;
thence 13.08 feet along the arc of a curve to the right and along said northwest right of way line, through a central angle of 21 degrees 07 minutes 01 second, a radius of 35.50 feet, a chord bearing North 74 degrees 22 minutes 31 seconds West and a chord length of 13.01 feet;
thence South 48 degrees 43 minutes 04 seconds West along said northwest right of way line, 114.88 feet to the south corner of aforementioned Lot 2;
thence North 42 degrees 49 minutes 10 seconds West along the southwest line of said Lot 2, 383.75 feet to the Point of Beginning.

This description contains 138, 779 square feet or 3.1859 acres,

Bearings are based upon the Wisconsin County Coordinate System (Dane Zone)

Prepared By:
Burse Surveying and Engineering, Inc.
2801 International Lane, Suite 101
Madison WI, 53704

F:\DOCS\WD\58929\35\A2690194.DOCX

EXHIBIT A

REZONING MAP

PART OF OUTLOT 111, BURKE ASSESSOR'S PLAT NO.1, AS RECORDED IN VOLUME 9 OF PLATS, ON PAGES 15-21, AS DOCUMENT NUMBER 593673, DANE COUNTY REGISTRY, LOCATED IN THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 08 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

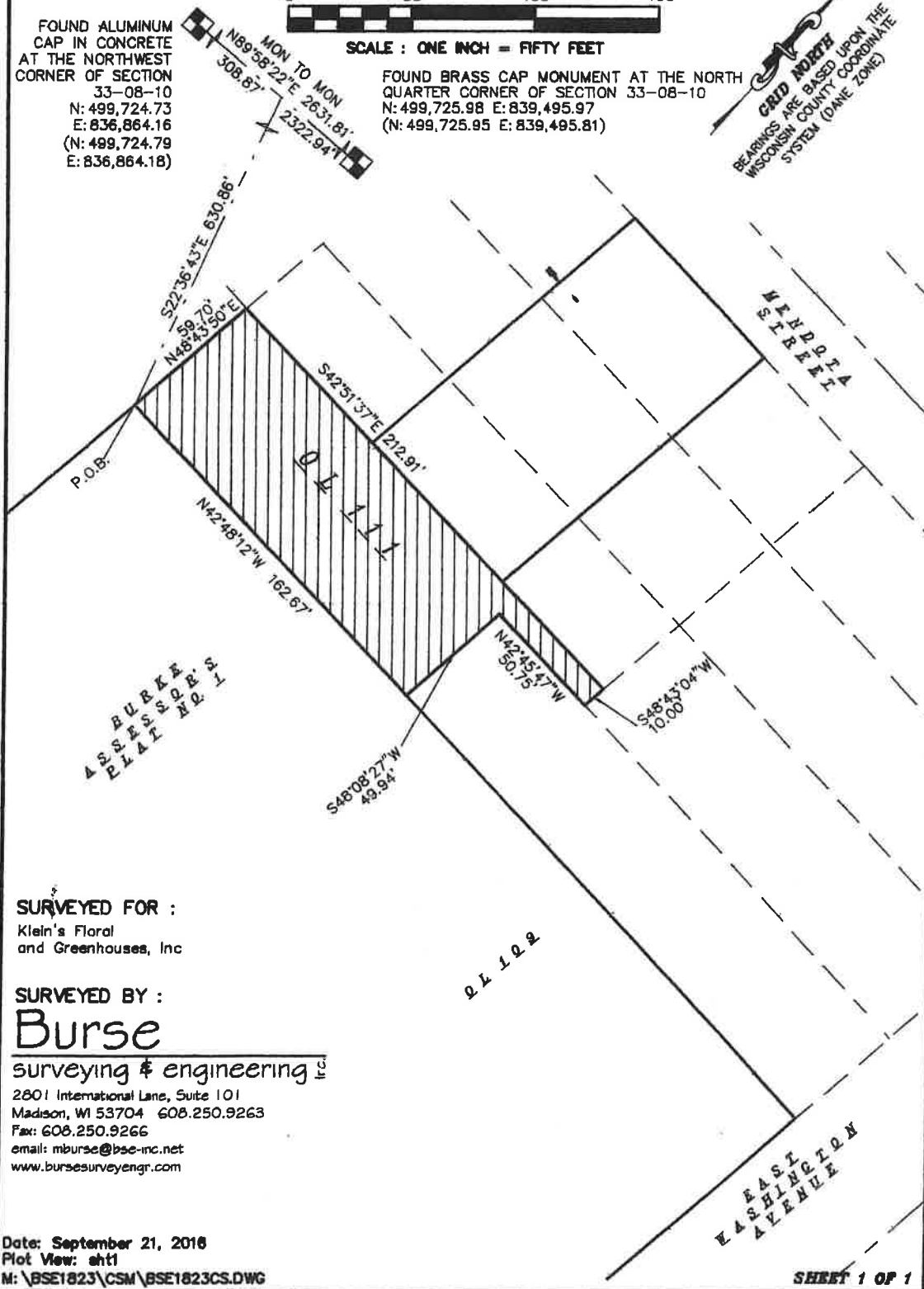


SCALE : ONE INCH = FIFTY FEET

FOUND ALUMINUM
CAP IN CONCRETE
AT THE NORTHWEST
CORNER OF SECTION
33-08-10
N: 499,724.73
E: 836,864.16
(N: 499,724.79
E: 836,864.18)

FOUND BRASS CAP MONUMENT AT THE NORTH
QUARTER CORNER OF SECTION 33-08-10
N: 499,725.98 E: 839,495.97
(N: 499,725.95 E: 839,495.81)

GRID NORTH
BEARINGS ARE BASED UPON THE
WISCONSIN COUNTY COORDINATE
SYSTEM (DANE ZONE)



SURVEYED FOR :
Klein's Floral
and Greenhouses, Inc

SURVEYED BY :
Burse

surveying & engineering ^{LLC}

2801 International Lane, Suite 101
Madison, WI 53704 608.250.9263
Fax: 608.250.9266
email: mburse@bse-inc.net
www.bursesurveyengr.com

Date: September 21, 2016

Plot View: sht1

N: \BSE1823\CSM\BSE1823CS.DWG

SHEET 1 OF 1

**Klein's Floral and Greenhouses, Inc. Proposed Lot 1
Metes and Bounds Description For Rezone**

Part of Outlot 111, Burke Assessor's Plat No. 1, as recorded in Volume 9 of plats, on pages 15-21, as Document Number 593673, Dane County Registry, located in the Northwest Quarter of the Northwest Quarter of Section 33, Township 08 North, Range 10 East, City of Madison, Dane County, Wisconsin, more fully described as follows:

Commencing at the northwest corner of said Section 33;
thence North 89 degrees 58 minutes 22 seconds East, 551.15 feet;
thence South 00 degrees 01 minutes 38 seconds, 582.48 feet to the northwest corner of said Outlot 111 and the Point of Beginning;
thence North 48 degrees 43 minutes 50 seconds East along the northwest line of said Outlot 111, 59.70 feet;
thence South 42 degrees 51 minutes 37 seconds East, 212.91 feet;
thence South 48 degrees 43 minutes 04 seconds West, 10.00 feet;
thence North 42 degrees 45 minutes 47 seconds West, 50.75 feet;
thence South 48 degrees 08 minutes 27 seconds West, 49.94 feet to the west line of said Outlot 111;
thence North 42 degrees 48 minutes 12 seconds West along the said west line, 162.67 feet to the Point of Beginning.

This description contains 10,207 square feet or 0.2343 acres.

Bearings are based upon the Wisconsin County Coordinate System (Dane Zone)

Prepared By:
Burse Surveying and Engineering, Inc.
2801 International Lane, Suite 101
Madison WI, 53704

BSE1823\CSM\Descriptions\Rezone.doc

DANE COUNTY
REGISTER OF DEEDS

31061 JLC

04-26-1999 2:55 PM

Trans. Fee

Rec. Fee 40.00
Pages 16

RESTRICTIVE COVENANT,
GRANT OF RECIPROCAL EASEMENTS
AND TERMINATION OF PRIOR
EASEMENTS

000581

Name & Return Address:

Bruce Newaser
122 West Washington Avenue, 10th floor
Madison, WI 53703

Parcel Identification Nos.: 60-0810-332-0318-4
60-0810-332-0319-2
60-0810-332-0317-6

This Agreement for Restrictive Covenant, to Grant Reciprocal Easements and to Terminate Prior Easements made this 4 day of March, 1999, by and between the SUB Properties, LLC (hereafter referred to as the "SUB"), the Klein Trust dated 12/8/92 (hereafter referred to as the "Klein Trust") and Washington East LLC (hereafter referred to as "Washington"),

RECITALS

WHEREAS, on the effective date of this restrictive covenant and reciprocal grant of easement rights, SUB owns parcel 1 as identified on EXHIBIT A attached hereto and incorporated herein by reference; and

WHEREAS, Washington owns parcel 2 as identified on EXHIBIT A; and

WHEREAS, the Klein Trust owns parcel 3 as identified on EXHIBIT A; and

EXHIBIT C

16
1.0

WHEREAS, it is intended that the driveway access points designated as A, B, C and D on **EXHIBIT A** are the four exclusive points at which vehicles can accomplish ingress and egress to and from the three numbered parcels at the time of completion of construction of a retail building for Walgreen Co. on parcel 2; and

WHEREAS, the legal descriptions and tax parcel numbers of Parcels of 1, 2 and 3 are set forth in attached **Exhibit B** and the legal descriptions of the center points of Access Points A, B, C and D are set forth in attached **Exhibit C**;

WHEREAS, the parties hereto wish to mutually grant rights and interests to each other to the end that their respective invitees, permittees and assignees will be perpetually authorized and entitled to have access to all four access points subject to the terms and conditions of this Agreement, and

WHEREAS, Parcels 1, 2 and 3 are subject to certain existing easements (the Prior Easements) described on attached **Exhibit D**.

NOW, THEREFORE, for and in consideration of the above-stated recitals and the mutual covenants and agreements hereinafter set forth, the Parties hereto covenant, grant and agree as follows:

1. **Grant of Reciprocal Easements.** Subject to the conditions, limitations and/or reservations set forth in this Agreement, SUB and the Klein Trust hereby grant to Washington, its invitees, permittees and assignees and Washington hereby grants to SUB and the Klein Trust and their invitees, permittees and assignees the following non-exclusive, perpetual, reciprocal easement:

An easement for vehicular and pedestrian ingress, egress and access on and over the paved driveways and roadways designated on **EXHIBIT A** by the dashed line which interconnects all four access points designated as A, B, C and D. This grant of easement shall and hereby does reciprocally permit the passage of motor vehicles and pedestrians between all such access points and to and from the parking areas on each of the three parcels. The curb cuts at the four access points shall be approximately thirty (30) feet in width. The paved driveways and roadways shall be generally thirty (30) feet in width, except that each owner, subject to approval by the City of Madison, shall have the right for reasonable cause to decrease that width provided the driveway or roadway as reduced in width continues to provide reasonable two-way travel by motor vehicles (included trucks which normally service the needs of the owners).

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There shall be no cross parking among the parcels, except that this shall not apply to cross parking between Parcels 1 and 2 after conveyance of Parcel 1 to Washington.

Parcel 1 is included as a part of the Walgreens Leased Premises pursuant to the Walgreens Lease (as described in paragraph 8).

2. **Modification to Grant of Easement.**

(a) Access point C shall not be relocated without the prior written consent of the owners of both Parcels 2 and Parcels 3.

(b) With respect to Access Point D as located on Exhibit A, as between the parties hereto, the Klein Trust reserves the right to develop an additional or alternative roadway access along its easterly property line to its northerly property line and then moving in a westerly direction to provide connection to the northerly portion of Parcel 2 (but not to interfere with truck loading areas) and to also provide access to and across Parcel 2 and to Access Points A, B and C. Simultaneously, motor vehicles shall be entitled to move from Parcel 2 on and over such newly created roadway easement to Parcel 3 so that Washington and/or its assigns shall have continuing and additional access to Access Point D.

(c) Except as provided in paragraph 2(a), the owner of each of Parcels 1, 2 and 3 shall have the right from time to time to relocate the access points and driveways located within the owner's parcel (including specifically the right to modify access between Parcels 1 and 2 to accommodate the creation of a joint parking lot at such time as Parcel 1 is conveyed to Washington), and to demolish and construct buildings within each owner's parcel, but only upon fulfillment of the conditions in paragraph 2(d).

(d) The conditions to the exercise of the rights described in paragraph 2(c) are:

(i) The parcel undergoing relocation or improvement (the Affected Parcel) shall meet all parking requirements required by the City of Madison without reliance on parking on any other parcel.

(ii) Access Point B shall not be relocated prior to April 1, 2009 or such earlier date as the parties may mutually agree.

(iii) Reasonable access across the Affected Parcel to the other two parcels shall be preserved.

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(iv) The building setback from East Washington Avenue as required by applicable City of Madison ordinances, shall be followed.

(v) If the Affected Parcel is parcel 2, and if Walgreen Co. is a tenant of that parcel, any relocation or construction on said Parcel 2 shall require the consent of Walgreen Co., which shall not be unreasonably withheld or delayed.

(vi) Any relocation of any access point or driveway within the Affected Parcel shall be done expeditiously and in a manner to minimize interference with the access rights of the owners of the other parcels. The owner of the Affected Parcel shall at all times during construction maintain reasonable access over some portion of the Affected Parcel for the benefit other parcels.

(vii) Each party hereto agrees to give the other party written notice of any intended significant modification and thereby provide the non-modifying party an opportunity to comment upon the modification in or at any required City hearing on the subject. Subject to the approval of the modification by the City of Madison and compliance with the terms of this Agreement, the parties hereto agree to execute a modification of this Easement Agreement in recordable form in order to ratify and preserve reciprocal easement rights for each party on, over and across any relocated reciprocal easement, including but not limited to the conceptual easement over the new roadway as approximately located on attached Exhibit E.

3. **Indemnification.** Each party hereto having rights with respect to an easement granted to the other party hereunder shall indemnify and hold harmless the party whose parcel is subject to the easement from and against all claims, liabilities and expenses (including reasonable attorneys' fees) relating to accidents, injuries, loss or damage of or to any person or property arising from or in any manner relating to the use by the indemnifying party or its invitees, permittees or assignees of any easement granted hereunder, except as may result from the gross negligence or intentional misconduct of the party whose parcel is subject to the easement.
4. **No Public Rights or Implied Easements.** Nothing contained in this Easement Agreement shall create or be construed as creating any rights in the general public or as dedicating for public use any portion of the driveway and roadway easements described above.

5. **Maintenance.** Each party shall maintain the easement roadway and driveway access points located within its particular parcel in a safe and clean condition at its sole cost and expense. This obligation shall include but not be limited to snow removal, repair of potholes and cracks and cleaning as needed. In the event a party (the defaulting party) hereto fails to maintain the roadway or access point in a safe condition as defined by reasonable standards of maintenance, any other party shall have the right to give the defaulting party notice of default. If the defaulting party does not commence and diligently pursue completion of the needed maintenance within 30 days after the giving of the notice, any other party may undertake the needed repair and bill the defaulting party for the costs of the repair and the reasonable costs of collection, including attorneys' fees. No prior notice need be given to the defaulting party in case of an emergency but any other party shall give the defaulting party such oral or written notice as is possible under the circumstances of the emergency. If the defaulting party does not pay such costs within 10 days after demand, the defaulting party shall be liable for interest on those costs from the date of demand until paid at the rate of 12 percent per year.

Notwithstanding any other provision in this paragraph to the contrary, the parties hereto agree that the joint driveway at Access Point C and easement area serving this Access Point and the 24-hour pharmacy drive-up service of Walgreens shall be snowplowed and maintained for winter driving conditions solely by Washington (or its tenant) at its sole cost and expense.

6. **Remedies and Enforcement in the Event of Default.** In the event of any default by any of the Parties to this Agreement in the performance of their obligations hereunder, any non-defaulting party shall be entitled to full and adequate relief by injunction and/or all such other available legal and equitable remedies on the consequences of any such default, including the remedy of specific performance. It is agreed by the Parties that no default under this Agreement shall entitle any party to cancel, rescind or otherwise terminate this Easement Agreement.

As long as Walgreens is a tenant of Washington with respect to Parcel 2, it shall be deemed to be a third party beneficiary of this Agreement and shall have the right but not the obligation to enforce this Agreement and/or to cure defaults under this Agreement committed by the owner of Parcel 2. Any other tenant of Parcels 1, 2 or 3 may be provided with the rights of a third party beneficiary of this Agreement by the Tenant's Landlord, but only on a lease by lease basis and such tenants shall have the right but not

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the obligation to enforce this Agreement and/or to cure defaults under this Agreement committed by their respective landlords.

Any owner of a parcel who as landlord gives such rights to a tenant shall promptly give written notice of such fact and the name and address of the tenant to the other owners. No tenant other than Walgreen Co. shall have the right to approve or disapprove amendments to this agreement unless all owners so agree in writing.

7. **Term of Easement.** This Easement Agreement shall remain in full force and effect in perpetuity, subject to the modification of location of easements as set forth in paragraph 2 of this Agreement.
8. **Restrictive Covenant.** SUB covenants and agrees that at no time between the date of this Agreement and ~~prior to the conveyance of Parcel 1 to~~ Washington shall Parcel 1 be used as or for a prescription pharmacy, drug store, the sale of health or beauty aids, the providing of photo finishing services or the sale of photo film or greeting cards.

until Parcel 1 is included as a part of the Walgreens Leased Premises pursuant to the Walgreen Lease (or if Walgreen shall become the owner thereof)

SKL

9. **Miscellaneous.**

- 9.1 **Attorneys' Fees.** In the event any party institutes any legal action or proceeding for the enforcement of any right or obligation under the terms of this Agreement, the prevailing party shall be entitled to recover its costs and reasonable attorneys' fees incurred in the preparation and prosecution of such action or proceeding.
- 9.2 **No Waiver.** No waiver of any default of any obligation by any party to this Agreement shall be implied from any omission to enforce the terms of this Agreement by the other party with respect to such default.
- 9.3 **No Agency.** Nothing in this Agreement shall be deemed or construed by either party or by any third person to create the relationship of principal and agent or of limited or general partners or of joint venturers or of any other association between the parties hereto.
- 9.4 **Covenants to Run With the Land.** It is intended and agreed that the reciprocal easement, rights and obligations set forth in this Agreement shall run with the land and create equitable servitudes in favor of the real estate benefited thereby and shall bind every person

Walgreens' Lease of Parcel 2 includes rights in favor of Walgreens for Parcel 1 (at a future date at Walgreens' option) to be incorporated as a part of Walgreens' Leased Premises under the Walgreens Lease. Said rights are recorded as a part of the Memorandum of the Walgreens Lease and notice of said rights is hereby given.

SKL

or entity having any fee, leasehold or other interest therein and shall inure to the benefit of and be binding upon the Parties hereto and their respective successors, assigns, heirs, and personal representatives.

- 9.5 **Severability and Enforceability.** Each provision of this Grant of Reciprocal Easement is hereby agreed to be independent of and severable from the remainder of the agreement. If any provision contained herein shall be held to be invalid or unenforceable or not to run with the land, such holdings shall not affect the validity or enforceability of the remainder of this Agreement.
- 9.6 **Entire Agreement.** This Agreement contains the complete understanding and agreement of the parties hereto with respect to all matters referred to herein and all prior representations, negotiations and understandings are superseded hereby.
- 9.7 **Governing Law.** The laws of the state of Wisconsin shall govern the interpretation, validity and enforcement of this Agreement.
- 9.8 **Amendment.** Any amendment to this agreement shall be in writing and signed by the owners of each of parcels 1, 2 and 3 and, as long as Walgreen Co. is a tenant of parcel 2, by Walgreen Co.
- 9.9 **Consents.** No consent required or contemplated by this Agreement shall be unreasonably withheld or delayed.
- 9.10 **The Prior Easements** are terminated in their entirety, except any utility easements described in the Prior Easements shall continue in effect.
- 9.11 **In the event** any of parcels 1, 2 or 3 are encumbered by mortgages or other liens, the owners of any such parcel covenant and agree to obtain the written consent of any such mortgagees or lienholders to the easements established by this Agreement.

IN WITNESS WHEREOF, the Parties hereto have executed this Agreement as of the date first above written.

KLEIN TRUST dated 12/8/92

By: Susan Klein-Larson, Trustee
Susan Klein Larson, Trustee

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SUB PROPERTIES, LLC

By: Susan Klein-Larson, Member
Susan Klein Larson, Member

WASHINGTON EAST LLC

By: Nevac Group Ltd., Manager

By: Bruce D. Neviasser
Bruce D. Neviasser, Secretary

Walgreen Co., as evidenced by its signature below, joins in this Agreement for the purpose of acknowledging and approving the form and substance of this Agreement and in consideration of the rights which it acquires hereunder, to agree to comply with all of the terms and provisions of this Agreement which impose obligations upon it.

WALGREEN CO.

By: [Signature]
Vice President

STATE OF WISCONSIN)
)ss.
COUNTY OF DANE)

Personally came before me this 5th day of March, 1999 the above named Susan Klein Larson, Trustee of the Klein Trust dated 12/8/92, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Jerry E. McAdams
Jerry E. McAdams
Notary Public, State of Wisconsin
My commission: is permanent

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STATE OF WISCONSIN)
)ss.
COUNTY OF DANE)

Personally came before me this 5th day of March, 1999 the above named Susan Klein Larson, Member of SUB Properties, LLC, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Jerry E. McAdow
Jerry E. McAdow
Notary Public, State of Wisconsin
My commission: is permanent

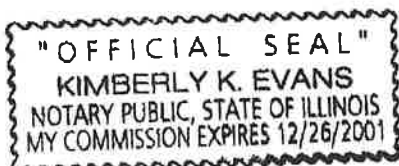
STATE OF WISCONSIN)
)ss.
COUNTY OF DANE)

Personally came before me this 4th day of March, 1999 the above named Bruce D. Neviasser, Secretary of Nevac Group, Ltd. to me known to be the person who executed the foregoing instrument and acknowledged the same.

Jerry E. McAdow
Jerry E. McAdow
Notary Public, State of Wisconsin
My commission: is permanent

STATE OF ILLINOIS)
)ss.
COUNTY OF LAKE)

Personally came before me this 16th day of ~~March~~ ^{April}, 1999 the above named Allan M. Resnick, Vice President of Walgreen Co., to me known to be the person who executed the foregoing instrument and acknowledged the same.



K. K. Evans
Notary Public, State of Illinois
My commission:

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NOTE: PLEASED BE ADVISED THAT THE DOCUMENT (GRANTOR(S)) HEREBY DIRECT VIEWERS TO IGNORE THE PRINTED TEXT MATERIAL ON THIS MAP. THE SPATIAL RELATIONSHIPS OF THE ILLUSTRATIONS ON THE MAP ARE BEING PRESENTED FOR YOUR INFORMATION.

Signed by grantor(s) or grantor(s) agent

Name of grantor(s) or grantor(s) agent printed: (use black ink)

Patrick C. Anderson

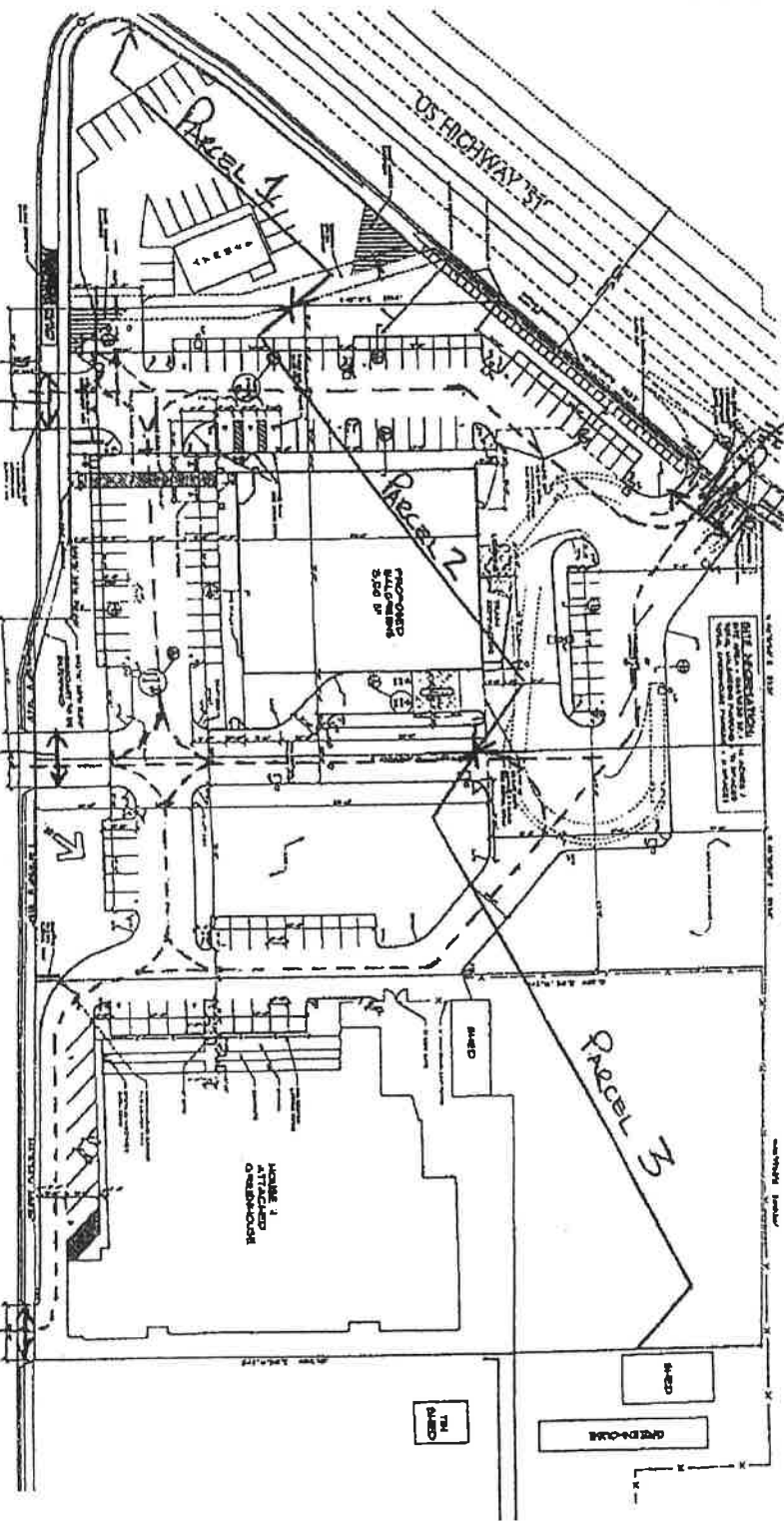
Date (use black ink)

4/24/19

Exhibit A

THE ABOVE ITEMS MAY BE CUT AND TAPED OR PASTED TO THE MAP BEING PRESENTED FOR RECORDING AS AN ATTACHMENT TO THE DOCUMENT. This procedure may be used unless corp counsel or WRDA rules otherwise. Please check on acceptance of this procedure periodically. Jane Licht, Dane County Register of Deeds 808-266-4141

Access Point A.



Access Point B

Access Point C

Access Point D

SITE PLAN 28

<p>THE ALBION GROUP</p> <p>ALBION GROUP, INC.</p> <p>1000 N. KANAWHA BLVD.</p> <p>PORTLAND, ME 04106</p> <p>TEL: 207-866-1111</p> <p>FAX: 207-866-1112</p> <p>WWW.ALBIONGROUP.COM</p>

<p>PROJECT</p> <p><i>Walgreens</i></p> <p>370 E WASHINGTON AVE</p> <p>MADISON, WISCONSIN</p>	<p>PROJECT TYPE</p> <p>RETAIL</p>						
<p>REVISIONS</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>04/24/19</td> <td>ISSUED FOR RECORDING</td> </tr> </table>		NO.	DATE	DESCRIPTION	1	04/24/19	ISSUED FOR RECORDING
NO.	DATE	DESCRIPTION					
1	04/24/19	ISSUED FOR RECORDING					
<p>CERTIFICATION & SEAL</p> <p>I, the undersigned, being a duly qualified and licensed Professional Engineer, do hereby certify that the foregoing is a true and correct copy of the original as submitted to me for record.</p> <p>_____ Professional Engineer</p>							
<p>DRAWING TITLE</p> <p>SITE PLAN</p>							
<p>MISC INFO</p> <p>DATE: 04/24/19</p> <p>PROJECT NO: 19000000000000000000</p> <p>DRAWING NO: 19000000000000000000</p> <p>BY: [Signature]</p> <p>IN: [Signature]</p>	<p>SHEET</p> <p>C1.1</p>						

EXHIBIT B**Parcel 1:**

Lot 1, Certified Survey Map No. 150-A, recorded in Volume 1 of Certified Survey Maps, page 150, as Document No. 1107113, in the City of Madison, Dane County, Wisconsin. EXCEPT those parts described as follows:

1. That part conveyed by Quit Claim Deed, recorded in Volume 782 of Deeds, page 338, as Document No. 1107912; and
2. That part awarded by Award of Damages, recorded in Volume 188 of Records, page 410, as Document No. 1268861.

(Being a part of Outlot 109, Burke Assessor's Plat No. 1, in the City of Madison.)

Parcel No.: 60-0810-332-0319-2

Parcel 3:

The NE 200 ft of Outlot 109, Assessor's Plat No. 1, Town of Burke, except SE 5 feet thereof for street as awarded by Award of Damages, recorded in Volume 188 of Records, page 407, as Document No. 1268860.

Parcel No.: 60-0810-332-0317-6

Parcel 2:

Parcel 2 consists of a Retail Parcel and a Surplus Parcel described as follows:

Retail Parcel

Part of Lot 2 of Certified Survey Map Number 150-A, recorded in Volume 1 of Certified Survey Maps of Dane County on Pages 150 and 150-A, Document Number 1107113, Dane County Registry, and located in the NW 1/4 of the NW 1/4 of Section 33, T8N, R10E, City of Madison, Dane County, Wisconsin, more fully described as follows:

Commencing at the most easterly corner of said Lot 2;

Thence S 48°15'30"W, 121.66 feet along the northwesterly line of U.S. Highway 151, also known as East Washington Avenue, to the point of beginning of this description (previously recorded as bearing N 48°22'E);

Thence continuing S 48°15'30"W, 44.34 feet along said northwesterly line, (previously recorded as bearing N 48°22'E);

Thence S 62°58'48"W, 35.40 feet;

Thence N 43°16'30"W, 10.00 feet along said northwesterly line (previously recorded as bearing S 43°15'E);

Thence S 48°15'30"W, 170.00 feet continuing along said northwesterly line (previously recorded as bearing N 48°22'E);

Thence N 43°16'26"W, 235.60 feet along the southwesterly line of said Lot 2 (previously recorded as bearing S 43°15'E);

Thence N 02°28'00"W, 191.27 feet along the East line of U.S. Highway 51, also known as North Stoughton Road (previously recorded as 191.6 feet);

Thence N 48°15'30"E, 123.29 feet along the northwest line of said Lot 2, (previously recorded as bearing S 48°21'W);

Thence S 43°16'30"E, 402.72 feet to the point of beginning of this description.

This parcel contains 87,335 square feet, (or 2.005 acres) of land, more or less and is subject to easements of record.

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Surplus Parcel

Part of Lot 2 of Certified Survey Map Number 150-A, recorded in Volume 1 of Certified Survey Maps of Dane County on Pages 150 and 150-A, Document Number 1107113, Dane County Registry, and located in the NW 1/4 of the NW 1/4 of Section 33, T8N, R10E, City of Madison, Dane County, Wisconsin, more fully described as follows:

Beginning at the most easterly corner of said Lot 2;

Thence S 48° 15' 30" W, 121.66 feet along the northwesterly line of U.S. Highway 151, also known as East Washington Avenue, (previously recorded as bearing N 48° 22' E);

Thence N 43° 16' 30" W, 402.72 feet;

Thence N 48° 15' 30" E, 121.66 feet along the northwest line of said Lot 2, (previously recorded as bearing S 48° 21' W);

Thence S 43° 16' 30" E, 402.72 feet along the northeast line of said Lot 2 to the point of beginning of this description (previously recorded as 402.6 feet and as N 43° 15' W, 403.4 feet).

This parcel contains 48,977 square feet, (or 1.124 acres) on land, more or less and is subject to easements of record

Parcel No.: 60-0810-332-0318-4

EXHIBIT C**Access Point A:**

A point 9.0 feet east of the easterly line of USH 51 (North Stoughton Road) said line being the westerly line of Lot 2 of Certified Survey Map No. 150-A, recorded in Volume 1 of Certified Survey Maps of Dane County on Pages 150 and 150-A, Document No. 1107113, Dane county registry, and located in the NW1/4 of the NW1/4 of Section 33, T8N, R10E, City of Madison, Dane County, Wisconsin, more fully described as follows:

Commencing at the northwest corner of said Lot 2, said point also being the northerly point of said Lot 2 on the easterly line of USH 51; thence S2°28'00"E, 107.70 feet along said easterly line; thence N87°32'00"E, 9.00 feet to the point of beginning of the centerline of a driveway.

Access Point B:

A point on the Northwesterly line of East Washington Avenue, also known as U.S. Highway 151, said line also being the Southeast line of Lot 2 of Certified Survey Map Number 150-A, recorded in Volume 1 of Certified Survey Maps of Dane County on Pages 150 and 150-A, Document Number 1107113, Dane County Registry, and located in the NW 1/4 of the NW 1/4 of Section 33, T8N, R10E, City of Madison, Dane County, Wisconsin, more fully described as follows:

Commencing at the most Southerly corner of said Lot 2;

Thence N 48°15'30" E, 51.00 feet along the Southeast line of said Lot 2 to the point of beginning of the centerline of a driveway.

Access Point C:

A point on the Northwesterly line of East Washington Avenue, also known as U.S. Highway 151, said line also being the Southeast line of Lot 2 of Certified Survey Map Number 150-A, recorded in Volume 1 of Certified Survey Maps of Dane County on Pages 150 and 150-A, Document Number 1107113, Dane County Registry, and located in the NW 1/4 of the NW 1/4 of Section 33, T8N, R10E, City of Madison, Dane County, Wisconsin, more fully described as follows:

Commencing at the most Easterly corner of said Lot 2;

Thence S 48°15'30" W, 121.66 feet along the Southeast line of said Lot 2 to the point of beginning of the centerline of a driveway.

Access Point D:

20' southwesterly of the most easterly corner of Parcel 3 as discussed in Exhibit B of this Agreement.

- l. Easement and conditions contained in instrument recorded on November 24, 1987, in Volume 10849 of Records, page 34, as Document No. 2055798.
- m. Terms, conditions, restrictions, and provisions relating to the use and maintenance of the easement described as PARCEL 2 of the subject premises contained in instrument recorded on July 24, 1964, in Volume 412 of Records, page 442, as Document No. 1107889 and in instrument recorded on July 24, 1964, in Volume 412 of Records, page 447, as Document No. 1107891.
- n. Easement and conditions recorded on July 24, 1964 in Volume 412 of Misc. Page 445, as Document No. 1107890.
- o. Terms, conditions, restrictions, and provisions relating to the use and maintenance of the easement described at m of the subject premises contained in instrument recorded on February 12, 1988, in Volume 11093 of Records, page 51, as Document No. 2066582.
- p. Easement and conditions contained in instrument recorded on February 12, 1988, in Volume 11093 of Records, page 48, as Document No. 2066581.
- g. Terms, conditions, restrictions, and provisions contained in Easement Agreement and Amendment to Easement Agreement, dated September 25, 1986, as disclosed in Notice of Right of First Refusal, recorded on May 8, 1989 in Volume 12803 of Records, page 7, as Document No. 2139579.

EXHIBIT D

NOTE: PLEASED BE ADVISED THAT THE DOCUMENT GRANTOR(S) HEREBY DIRECT VIEWERS TO IGNORE THE PRINTED TEXT MATERIAL ON THIS MAP. ~~THE~~ THE SPATIAL RELATIONSHIPS OF THE ILLUSTRATIONS ON THE MAP ARE BEING PRESENTED FOR YOUR INFORMATION.

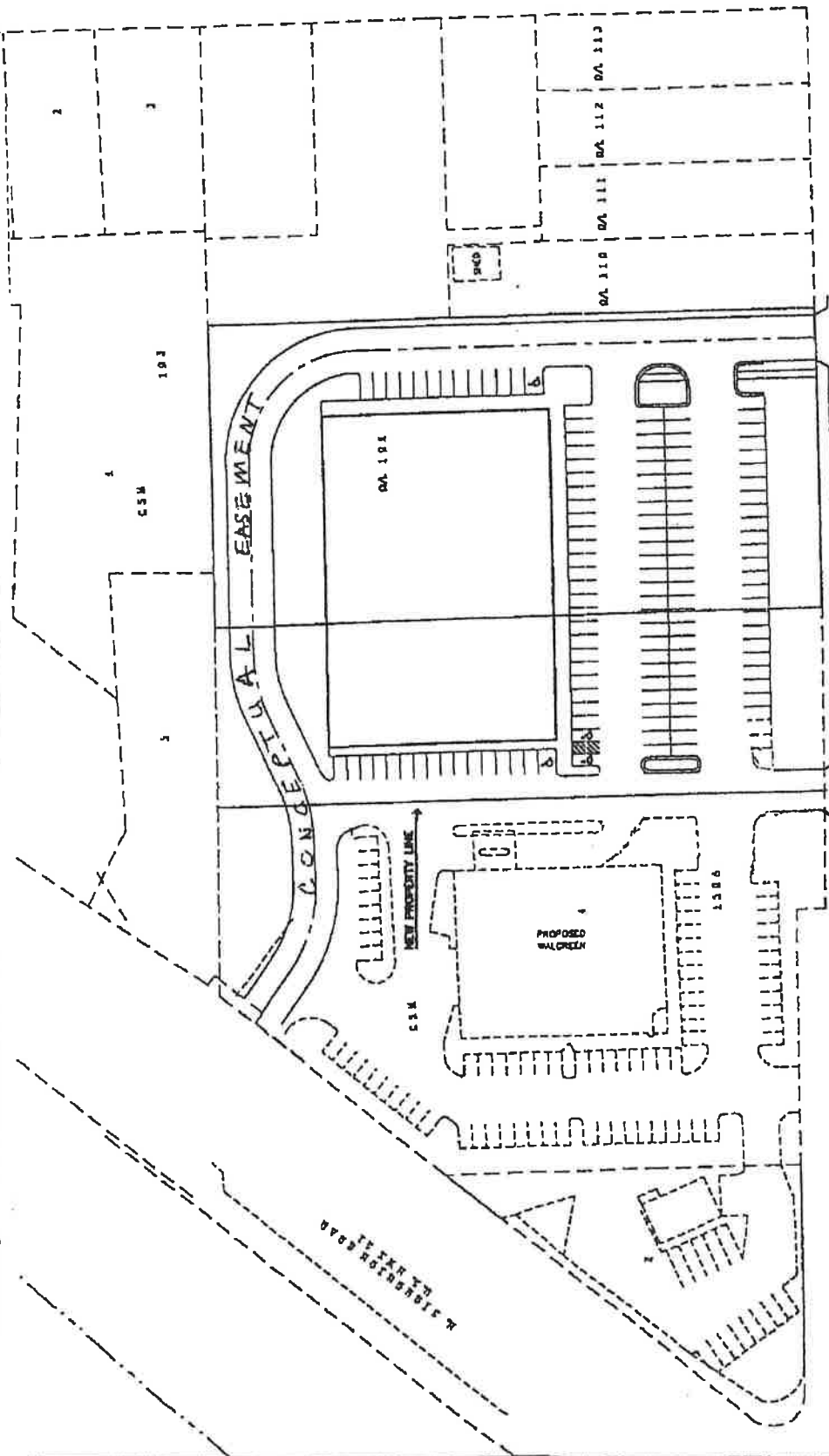
Signed by grantor(s) or grantor(s) agent:

Date (use black ink)

Name of grantor(s) or grantor(s) agent printed: (use black ink)

Patrick C. Anderson *4/26/99*

9/1



LAST REVISION: 4/26/99

EXHIBIT E

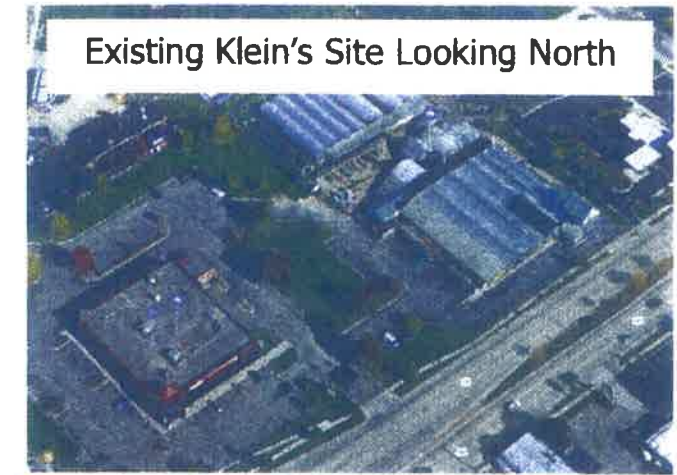
City of Madison Land Use Application April 26, 2017

Klein's Floral & Greenhouses Redevelopment
3758 East Washington Avenue, Madison, WI 53704

Planning Team:

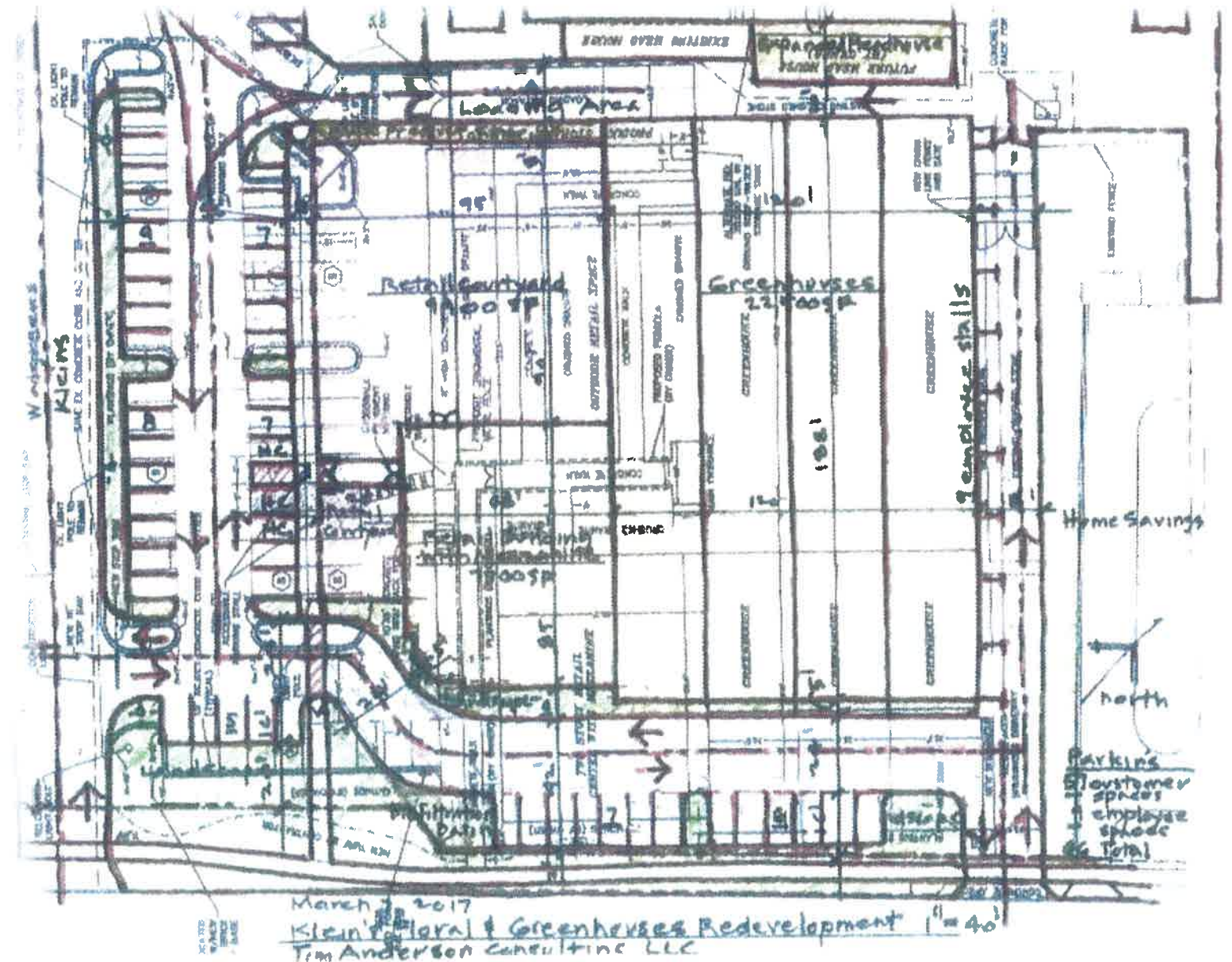
Land Use Planner: Tim Anderson Consulting
Engineer: Burse Surveying and Engineering
Landscape Architect: Ken Saiki

Architect: Linville Architects
Garden Center Consultant: Growing Places
Design Attorney: Boardman & Clark



List of Included Drawings:

- S-100 Site Context Plan
- C-100 Existing Conditions Plan
- C-200 Demolition Plan
- C-300 Site Plan
- C-400 Utility Plan
- C-500 Grading Plan
- C-600 Erosion Control Plan
- C-700 Truck Movement Plan
- C-800 Fire Access Plan
- L-100 Landscape Plan
- L-200 Planting Detail Plan
- L-300 Planting Detail Plan
- L-400 Plant List and Landscape Worksheet
- ~~L-500 Lighting Photometries~~
- A-100 Building Floor Plan
- A-200 Building Elevations
- ~~A-300 Building Elevations~~



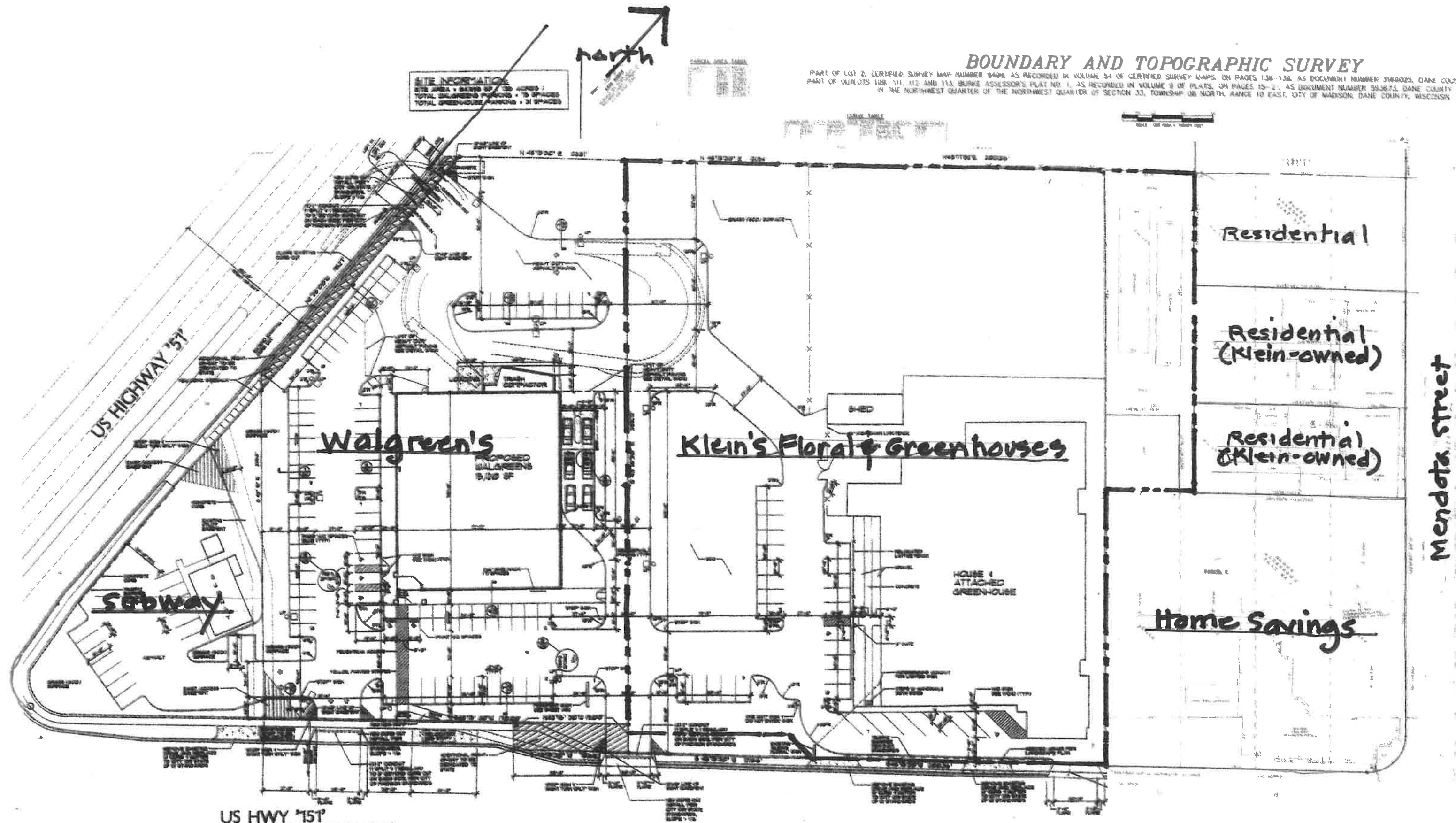
SITE INFORMATION
SITE AREA - BASED ON 1/4" = 100' SCALE
TOTAL BALANCED PARKING - 75 SPACES
TOTAL GREENHOUSE PARKING - 31 SPACES



PARTIAL AREA TABLE

AREA	AREA
1	2
3	4
5	6
7	8
9	10
11	12
13	14
15	16
17	18
19	20
21	22
23	24
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27	28
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31	32
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97	98
99	100

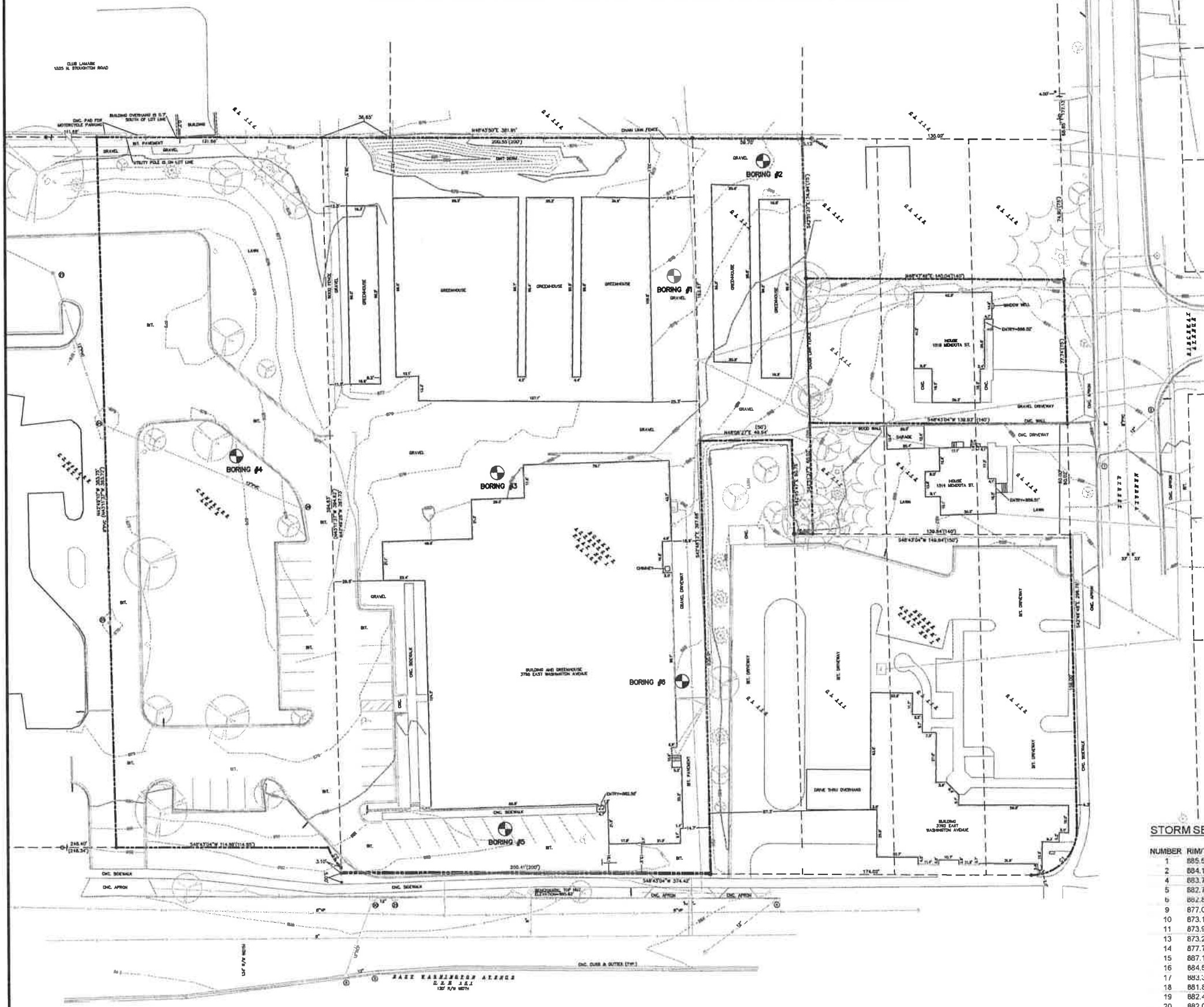
BOUNDARY AND TOPOGRAPHIC SURVEY
PART OF LOT 2, CERTIFIED SURVEY MAP NUMBER 9488, AS RECORDED IN VOLUME 34 OF CERTIFIED SURVEY MAPS, ON PAGES 136-138, AS DOCUMENT NUMBER 3169023, DANE COUNTY
PART OF LOTS 108, 111, 112 AND 113, BURKE ASSESSOR'S PLAT NO. 1, AS RECORDED IN VOLUME 9 OF PLATS, ON PAGES 15-21, AS DOCUMENT NUMBER 313673, DANE COUNTY REC
IN THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 08 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN



US HWY '151'
(E WASHINGTON AVE)

Klein's Redevelopment - Site Context Plan S-100

PART OF LOT 2, CERTIFIED SURVEY MAP NUMBER 9499, AS RECORDED IN VOLUME 54 OF CERTIFIED SURVEY MAPS, ON PAGES 136-139, AS DOCUMENT NUMBER 3169025, DANE COUNTY REGISTRY AND PART OF OUTLOTS 109, 111, 112 AND 113, BURKE ASSESSOR'S PLAT NO. 1, AS RECORDED IN VOLUME 9 OF PLATS, ON PAGES 15-21, AS DOCUMENT NUMBER 593673, DANE COUNTY REGISTRY, LOCATED IN THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 08 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.



LEGEND

- 3/4" SOLID IRON ROD FOUND UNLESS NOTED
- 1" IRON PIPE FOUND UNLESS NOTED
- RAILROAD SPIKE FOUND
- SET CUT X
- SET MAG NAIL
- 3/4" X 18" SOLID IRON RE-ROD SET, WT. 1.50 LBS./FT.
- SPOT ELEVATION
- OVERHEAD UTILITY WIRE
- BURIED GAS LINE
- WATER MAIN
- SANITARY SEWER
- STORM SEWER
- BURIED TELEPHONE
- BURIED ELECTRIC
- BURIED CABLE ACCESS TELEVISION LINE
- BURIED FIBER OPTIC
- WATER VALVE
- GAS VALVE
- GAS METER
- AIR CONDITIONER
- ELECTRIC PEDESTAL
- UTILITY POLE
- LIGHT POLE
- TELEPHONE PEDESTAL
- FIRE HYDRANT
- SIGN
- GUY WIRE
- MAILBOX
- STORM SEWER INLET
- STORM SEWER MANHOLE
- ROUND CATCH BASIN
- SANITARY SEWER MANHOLE
- DECIDUOUS TREE
- CONIFEROUS TREE
- () INDICATES RECORDED AS
- DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT. BUILDINGS ARE MEASURED TO THE NEAREST TENTH OF A FOOT.
- BOLLARD
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR

- NOTES:**
- 1) Except as specifically stated or shown on this map, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land use regulations; and any other facts that on accurate and current title search may disclose.
 - 2) No attempt has been made as a part of this survey to obtain or show data concerning existence, size, depth, condition, capacity, or location of any utility or municipal/public service facility. For information regarding these utilities or facilities, please contact the appropriate agencies.
 - 3) Dates of field work:
 - 4) Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that on accurate and current title search may disclose.
 - 5) All surface and subsurface improvements on and adjacent to the site are not necessarily shown hereon.
 - 6) All trees, hedges and ground cover on the site may not necessarily be shown hereon.
 - 7) Routing of public utilities is based upon drawings obtained from the City of Madison Engineering Department, markings provided by Digger's Hotline Ticket Numbers 20162901252, 20162901178, 20162904682, 20162904696, 20162904719, 20162904735 and visible above ground structures. Additional buried utilities/structures may be encountered. No excavations were made to locate utilities. Before excavations are performed contact Digger's Hotline.
 - 8) Elevations are based upon NAVD83 datum. Surveyor transferred elevations to the site with RTK GPS surveying observing the WISCONSIN network.



DIGGERS! HOTLINE
Dial 811 or (800) 242-8511
www.DiggersHotline.com

STORM SEWER AND SANITARY SEWER ELEVATION TABLE

NUMBER	RIM/TC	ELEVATION	ELEVATION	ELEVATION	DESCRIPTION
1	885.53	NE	881.83		STORM SEWER - CURB INLET
2	884.12	FLR	880.95		STORM SEWER - CURB INLET NO VISIBLE PIPES
4	883.70	SE	881.04		STORM SEWER - CURB INLET
5	882.75	SW	879.74		STORM SEWER - CURB INLET
9	882.50	N	879.04		STORM SEWER - CURB INLET
9	877.00	N	867.31	SE	SANITARY SEWER - MANHOLE
10	873.17	N	862.77	S	SANITARY SEWER - MANHOLE
11	873.96	SW	869.22	NE	STORM SEWER - MANHOLE
13	873.28	SW	870.12		STORM SEWER - CATCH BASIN
14	877.72	NW	867.74	SE	SANITARY SEWER - MANHOLE
15	887.12	NW	875.73	E	SANITARY SEWER - MANHOLE
16	884.55	N	876.64	SW	SANITARY SEWER - MANHOLE
17	883.30	S	880.45	N	STORM SEWER - MANHOLE
18	881.81	SW	874.83	NW	SANITARY SEWER - MANHOLE
19	882.42	SW	871.72	NW	SANITARY SEWER - MANHOLE
20	882.00	SW	879.29	S	STORM SEWER - CURB INLET
21	882.00	SW	879.53	NE	STORM SEWER - CURB INLET
22	873.97	W	869.06	E	STORM SEWER - CURB INLET
24	877.66	FLR	872.11		STORM SEWER - 2' DIAMETER CATCH BASIN
25	877.70	FLR	873.67		STORM SEWER - 2' DIAMETER CATCH BASIN
26	877.58	SW	874.17		STORM SEWER - CURB INLET

Burse
Surveying and Engineering, Inc.
2601 International Lane, Suite 101
Madison, WI 53704
Phone: 608-250-9263
Fax: 608-250-9266
e-mail: MBurse@BSE-INC.net
www.bursesurveying.com

APPROVALS	DATE	BY
MLB		
PDF		
MLB		
MLB		

Klein's Floral and Greenhouses
3758 E. Washington Avenue
Madison, Wisconsin
Klein's Floral and Greenhouses, Inc
3758 E. Washington Avenue
Madison, WI 53704

PROJECT #:	BSE1823-15
PLOT DATE:	04/24/2017
REVISION DATES:	
ISSUE DATES:	
LUA Submittal	02/08/2017
LUA Submittal	04/26/2017

EXISTING CONDITIONS PLAN

Burse
Surveying and Engineering, Inc.
This document contains confidential or proprietary information of Burse Surveying and Engineering, Inc. Further the document contains information that is to be reproduced, stored, used or disclosed, either in whole or in part, without the specific authorization of Burse Surveying and Engineering, Inc.

DRAWING NUMBER
C-100

E WASHINGTON AVE.

PROPERTY LINE

SAVE THIS SECTION OF
EXISTING CURB & GUTTER

SAVE THIS SECTION OF EXISTING CURB & GUTTER
REMOVE SIGN AND
SALVAGE FOR RE-USE

LEAVE EXISTING BITUMINOUS PAVEMENT IN
PLACE AS LONG AS FEASIBLE AS A TRACKING
SURFACE AND DUST CONTROL MEASURE
REMOVE ALL CURB & GUTTER EXCEPT WHERE
INDICATED TO BE SAVED

EXISTING BITUMINOUS PAVEMENT CAN REMAIN IN
PLACE AS PART OF THE NEW PAVEMENT BASE
COURSE WHERE GRADES ALLOW

SAWCUT EXISTING
PAVEMENT FULL DEPTH

SAVE AND PROTECT LIGHT POLES
AND BURIED ELECTRIC

SAWCUT EXISTING
PAVEMENT FULL DEPTH

REMOVE, STORE, AND
RELOCATE EXISTING LIGHT

CONSTRUCTION
LIMITS

DEMOLITION NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY FORCING ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE DEVELOPER IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES. NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
5. ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
6. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
7. CONTRACTOR SHALL PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, COVERED WALKWAYS, ETC. CONTRACTOR SHALL SUBMIT THEIR STREET OCCUPANCY PLAN TO TRAFFIC ENGINEERING FOR APPROVAL.
8. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
9. THE CONTRACTOR MAY LIMIT SAWCUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR IN KIND.
10. DAMAGE TO ALL EXISTING CONDITION TO REMAIN WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
11. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES

LEGEND

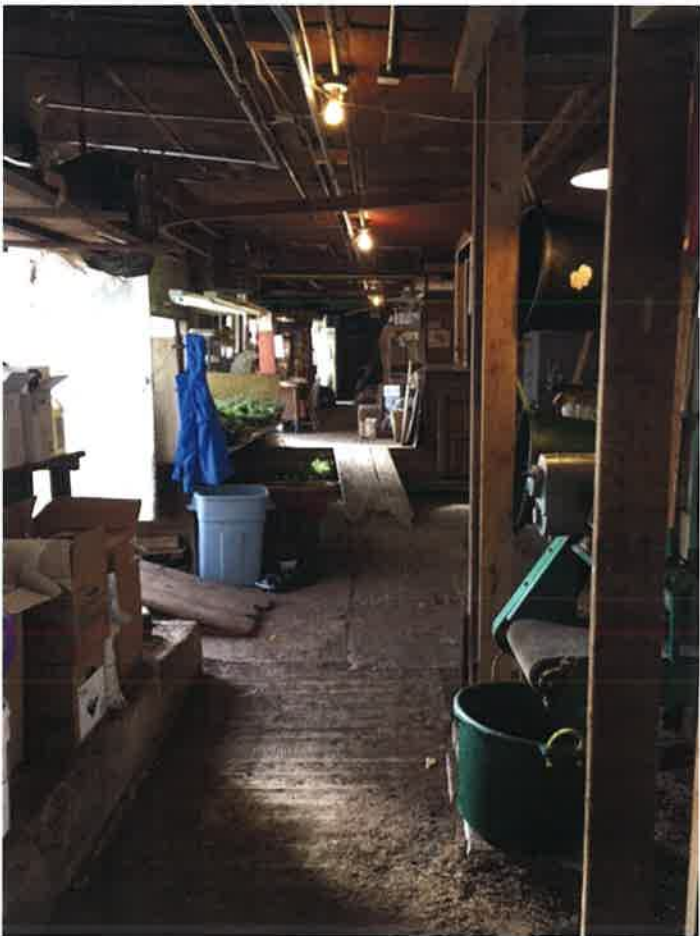
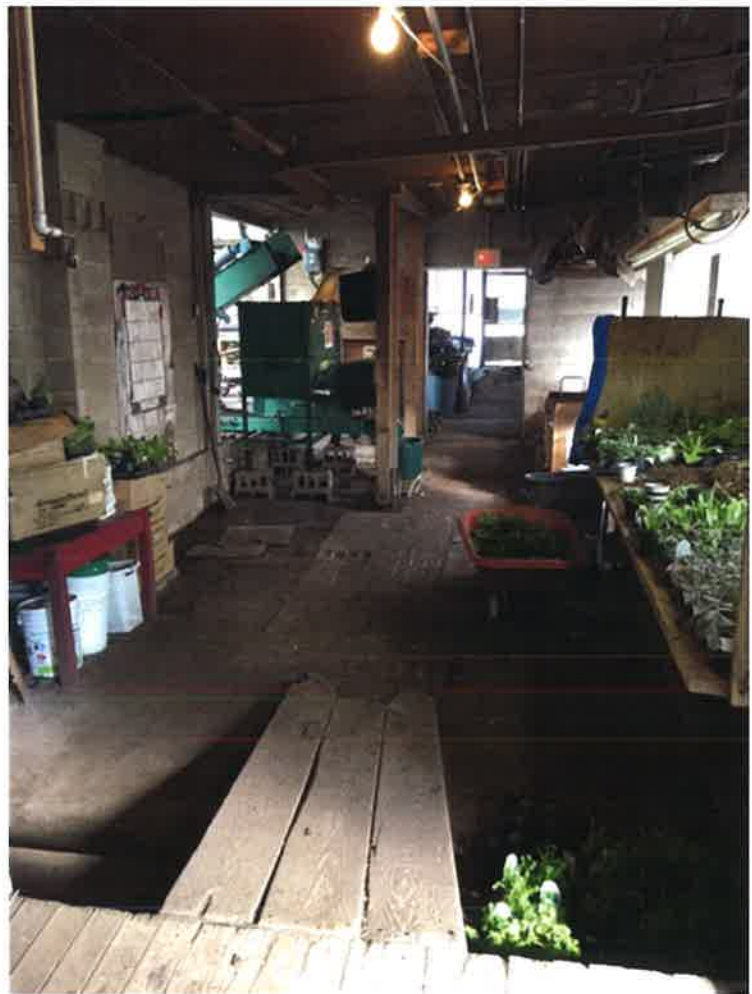
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|--|----------------------------|
| | REMOVE BITUMINOUS PAVEMENT |
| | REMOVE CONCRETE |
| | RAZE BUILDING |
| | REMOVE GRAVEL |
| | REMOVE UTILITY LINE |
| | REMOVE TREE |

DIGGERS HOTLINE

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www.DiggersHotline.com

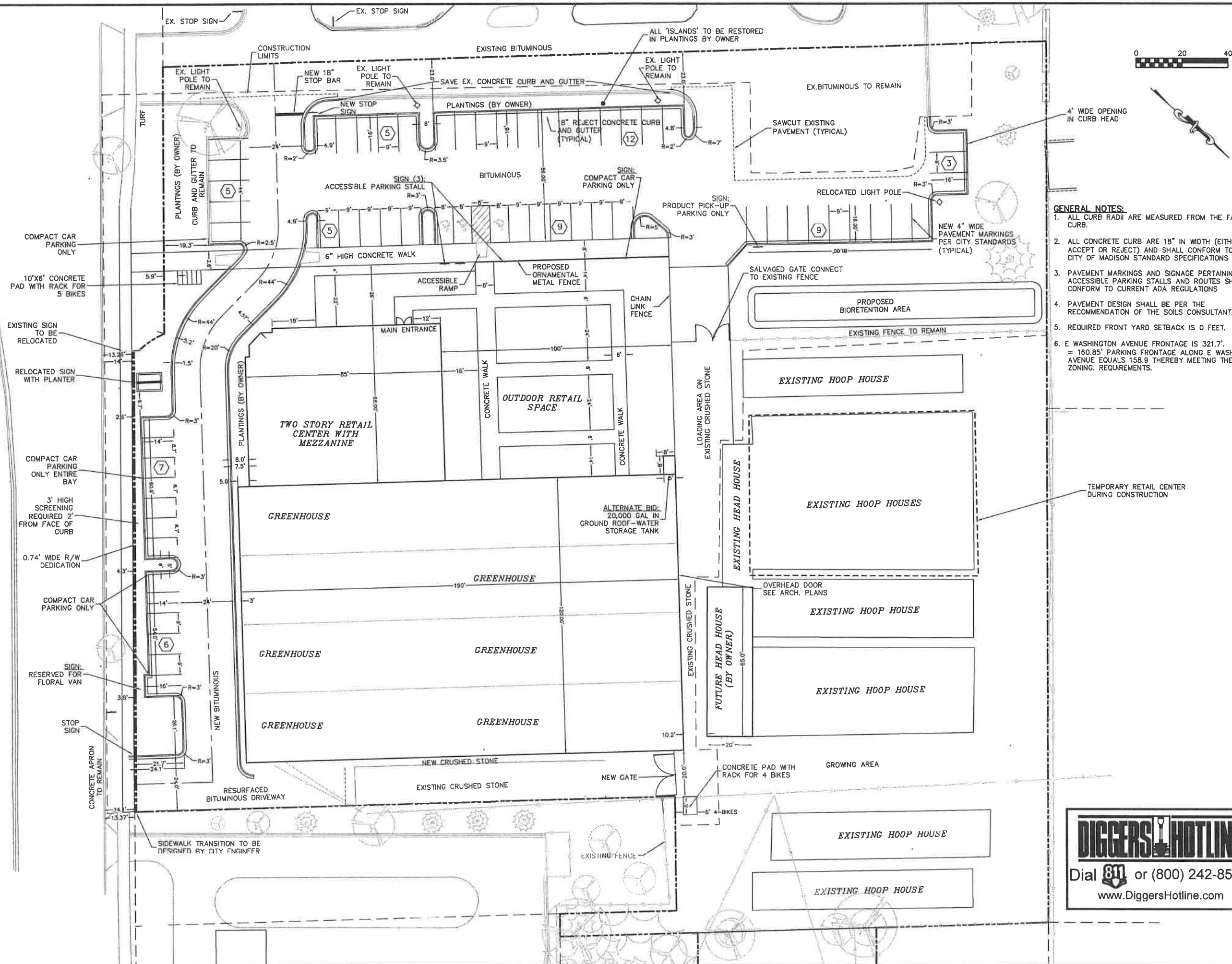
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Madison, WI 53704
Phone: 608-250-9263
Fax: 608-250-9266
e-mail: mburse@BSEINC.net
www.bursesurveying.com

APPROVALS
PROJECT: BSE1823-15
DATE: 04/24/2017
REVISION: 01
DATE: 04/26/2017
REVISION: 02
DATE: 04/26/2017
REVISION: 03
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E WASHINGTON AVE.



- GENERAL NOTES:**
1. ALL CURB RADII ARE MEASURED FROM THE FACE OF CURB.
 2. ALL CONCRETE CURB ARE 18" IN WIDTH (EITHER ACCEPT OR REJECT) AND SHALL CONFORM TO THE CITY OF MADISON STANDARD SPECIFICATIONS.
 3. PAVEMENT MARKINGS AND SIGNAGE PERTAINING TO ACCESSIBLE PARKING STALLS AND ROUTES SHALL CONFORM TO CURRENT ADA REGULATIONS.
 4. PAVEMENT DESIGN SHALL BE PER THE RECOMMENDATION OF THE SOILS CONSULTANT.
 5. REQUIRED FRONT YARD SETBACK IS 0 FEET.
 6. E WASHINGTON AVENUE FRONTAGE IS 321.7'. 321.7/2 = 160.85' PARKING FRONTAGE ALONG E WASHINGTON AVENUE EQUALS 158.9' THEREBY MEETING THE CC-T ZONING REQUIREMENTS.

DIGGERS HOTLINE
Dial 811 or (800) 242-8511
www.DiggersHotline.com

Burse
Surveying and Engineering, Inc.
2801 International Lane, Suite 101
Madison, WI 53704
Phone: 608-250-9263
Fax: 608-250-9266
e-mail: MBurse@BSE-INC.net
www.bursesurveying.com

APPROVAL	PROJECT	DATE	BY
MLB	MLB	PDF	PDF
MLB	MLB	PDF	PDF
MLB	MLB	PDF	PDF

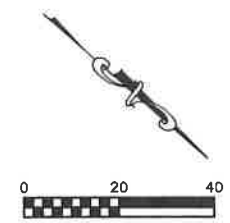
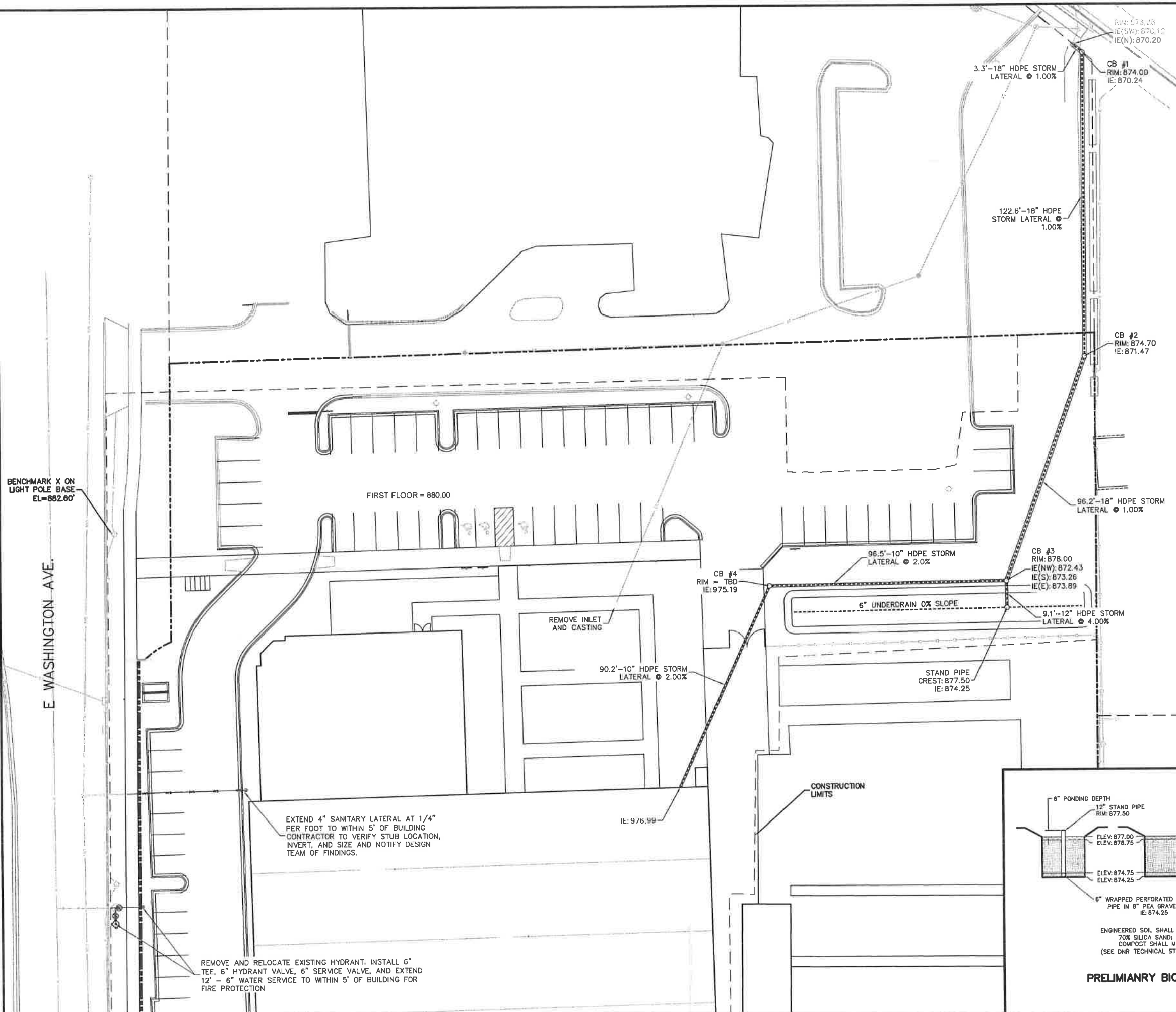
Klein's Floral and Greenhouses
3758 E. Washington Avenue
Madison, Wisconsin
Klein's Floral and Greenhouses, Inc
3758 E. Washington Avenue
Madison, WI 53704

PROJECT #:	BSE1823-15
PLOT DATE:	04/24/2017
REVISION DATES:	
ISSUE DATES:	
LUA Submittal	02/08/2017
LUA Submittal	04/26/2017

CIVIL SITE PLAN

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DRAWING NUMBER
C-300

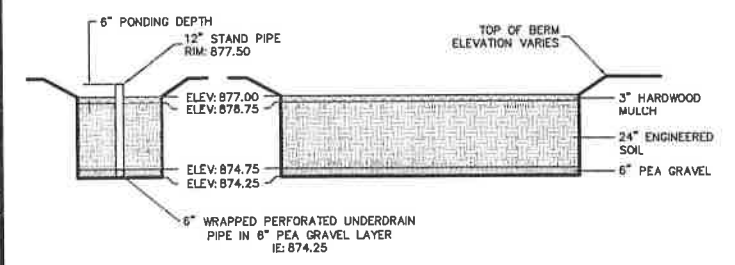


NOTES:

1. ALL PRIVATE UTILITIES (GAS, ELECTRIC, AND TELECOMMUNICATIONS) SERVING EXISTING BUILDINGS SCHEDULED FOR DEMOLITION TO BE ABANDONED OR REMOVED BY CORRESPONDING UTILITY COMPANY.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES. UTILITIES WERE LOCATED BY OBSERVED EVIDENCE, MARKINGS PROVIDED BY DIGGER'S HOTLINE, AND RECORD DRAWINGS FROM THE CITY OF MADISON.
3. CONTRACTOR SHALL VERIFY THE SIZE, TYPE, SLOPE, AND INVERTS OF ALL EXISTING STORM AND SANITARY LATERALS CALLED OUT TO BE CONNECTED TO. CONTRACTOR SHALL SUBMIT THE INFORMATION ON THE PIPES TO THE CITY INSPECTOR AND PROJECT CIVIL ENGINEER.
4. ANY SIDEWALK, CURB, OR OTHER PUBLIC PROPERTY DAMAGED AS PART OF THE CONSTRUCTION OF THE UTILITIES AND BUILDING SHALL BE REPLACED IN-KIND PER THE CITY OF MADISON'S STANDARD SPECIFICATION.



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ENGINEERED SOIL SHALL CONSIST OF THE FOLLOWING:
70% SILICA SAND; 30% COMPOST W/ PH 5.5-6.5
COMPOST SHALL MEET WQNR SPECIFICATION S100.
(SEE DNR TECHNICAL STANDARD 1004)

PRELIMINARY BIORETENTION DETAIL

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APPROVALS	PROJECT NO.	DATE	SCALE	DATE	SCALE
	BSE1623-15	04/26/2017			

Klein's Floral and Greenhouses
3758 E. Washington Avenue
Madison, Wisconsin

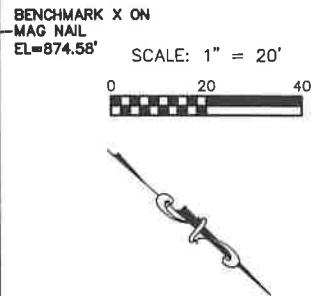
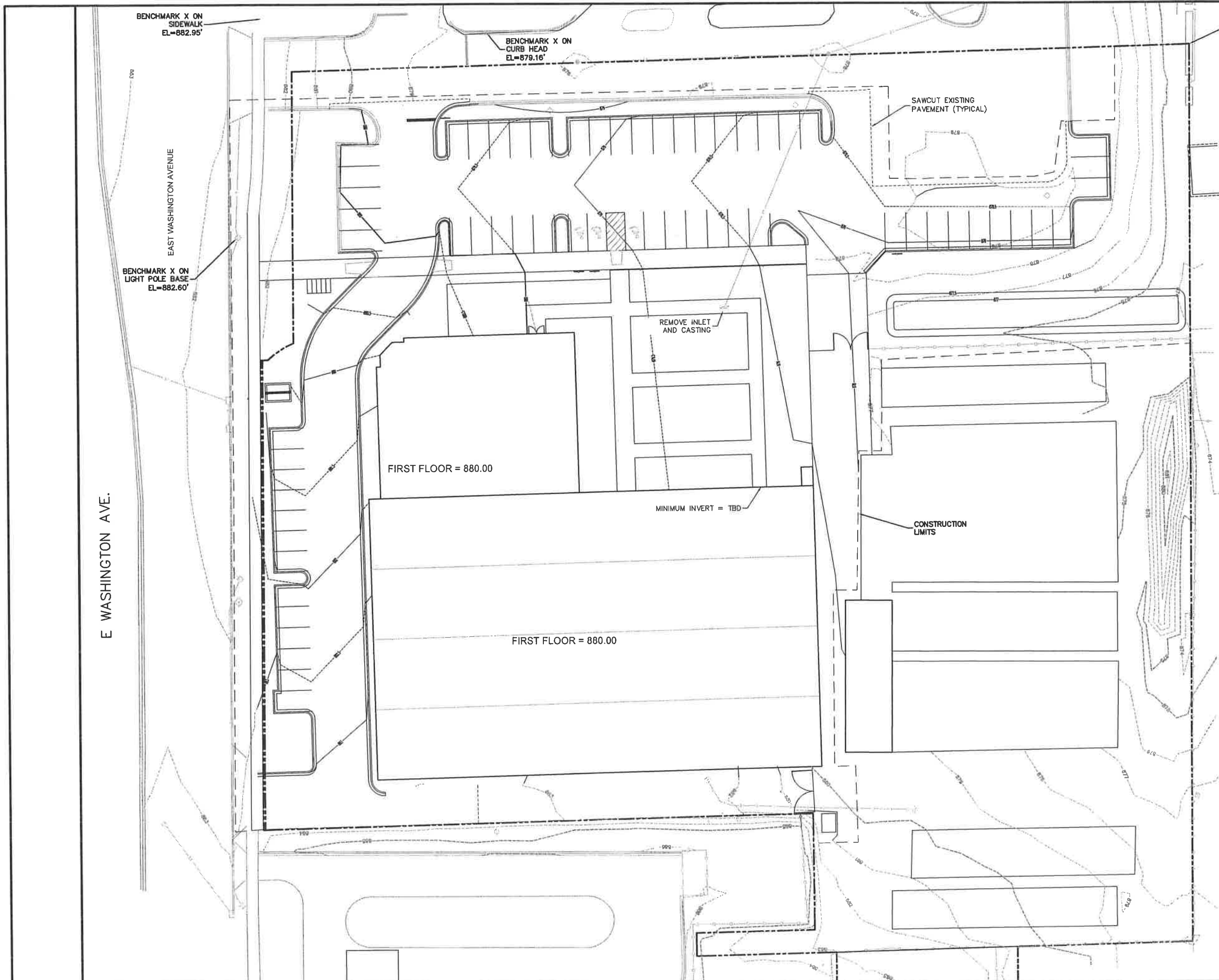
Klein's Floral and Greenhouses, Inc
3758 E. Washington Avenue
Madison, WI 53704

PROJECT #:	BSE1623-15
PLOT DATE:	04/26/2017
REVISION DATES:	
ISSUE DATES:	
LUA Submittal	02/08/2017
LUA Submittal	04/26/2017

UTILITY PLAN

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DRAWING NUMBER
C-400



- LEGEND**
- 874 --- EXISTING MINOR CONTOUR
 - 875 --- EXISTING MAJOR CONTOUR
 - 874 — PROPOSED MINOR CONTOUR
 - 875 — PROPOSED MAJOR CONTOUR
 - PROPOSED STORM SEWER
 - 875.00 EP PROPOSED EDGE OF PAVEMENT ELEVATION
 - 875.00 SW PROPOSED SIDEWALK ELEVATION
 - 875.00 TC PROPOSED TOP OF CURB ELEVATION
 - ALL GRADES ARE FINISH ELEVATION

- NOTES:**
1. ALL PRIVATE UTILITIES (GAS, ELECTRIC, AND TELECOMMUNICATIONS) SERVING EXISTING BUILDINGS SCHEDULED FOR DEMOLITION TO BE ABANDONED OR REMOVED BY CORRESPONDING UTILITY COMPANY.
 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES. UTILITIES WERE LOCATED BY OBSERVED EVIDENCE, MARKINGS PROVIDED BY DIGGER'S HOTLINE, AND RECORD DRAWINGS FROM THE CITY OF MADISON.
 3. CONTRACTOR SHALL VERIFY THE SIZE, TYPE, SLOPE, AND INVERTS OF ALL EXISTING STORM AND SANITARY LATERALS CALLED OUT TO BE CONNECTED TO. CONTRACTOR SHALL SUBMIT THE INFORMATION ON THE PIPES TO THE CITY INSPECTOR AND PROJECT CIVIL ENGINEER.
 4. ANY SIDEWALK, CURB, OR OTHER PUBLIC PROPERTY DAMAGED AS PART OF THE CONSTRUCTION OF THE UTILITIES AND BUILDING SHALL BE REPLACED IN-KIND PER THE CITY OF MADISON'S STANDARD SPECIFICATION.
 5. SEE UTILITY PLAN FOR BIORETENTION BASIN DETAIL

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APPROVAL	MLB	PDP	MLB
PROJECT	MLB	MLB	MLB
DESIGN	MLB	MLB	MLB
CHECK	MLB	MLB	MLB
APPROVE	MLB	MLB	MLB

Klein's Floral and Greenhouses
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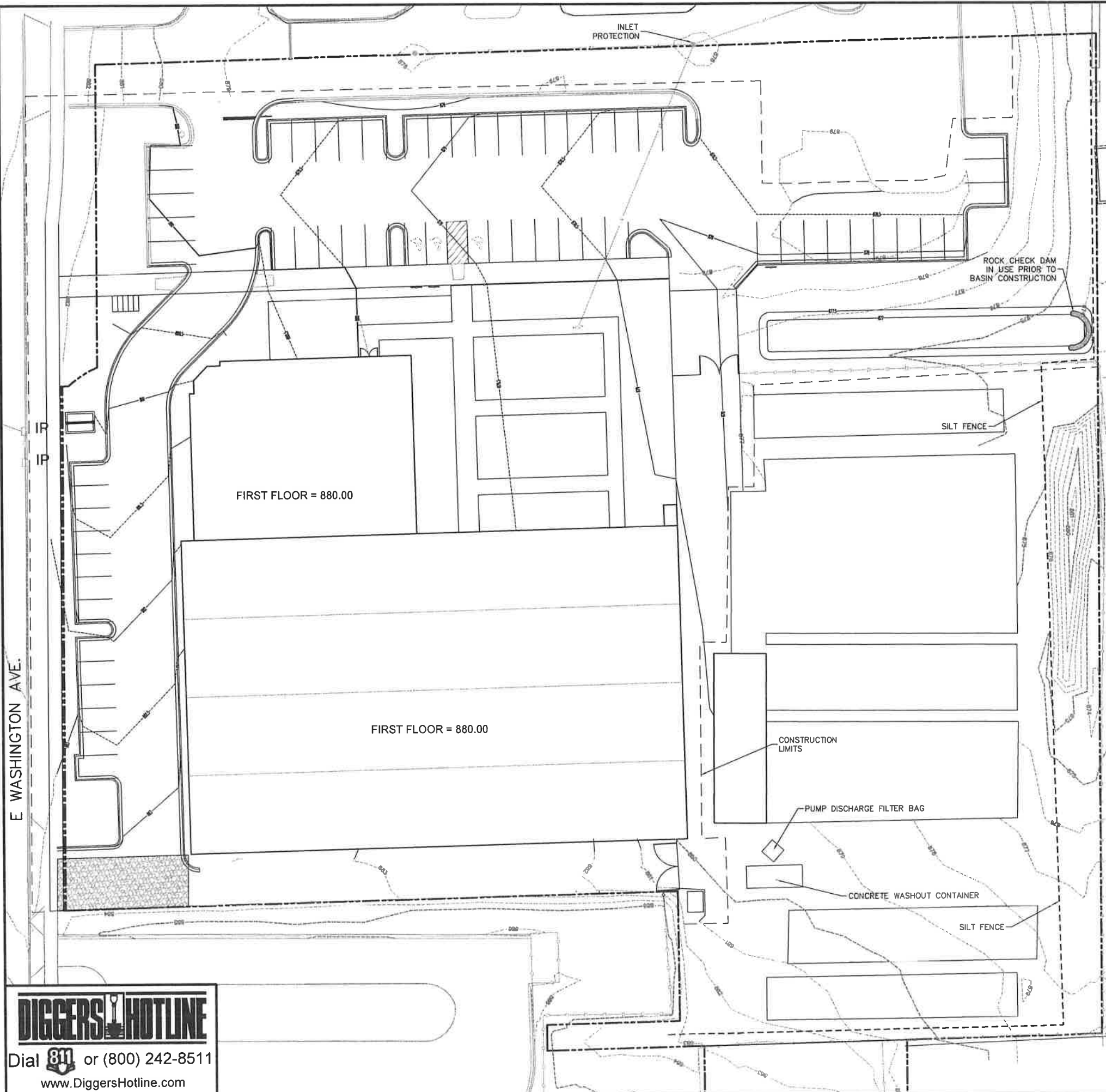
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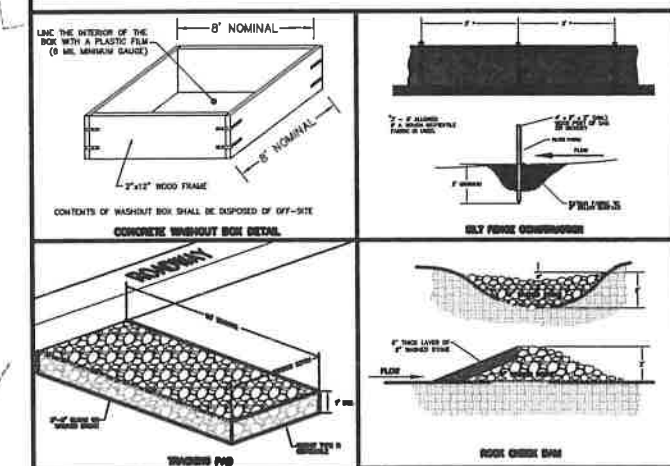
DRAWING NUMBER
C-500

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- EROSION CONTROL NOTES**
1. Post WDNR certificate of permit coverage on site and maintain until construction activities have ceased, the site is stabilized, and a notice of termination is filed with WDNR.
 2. Keep a copy of the current erosion control plan on site throughout the duration of the project.
 3. Submit plan revisions or amendments to the WDNR at least 5 days prior to field implementation.
 4. The General Contractor is responsible for routine site inspections at least once every 7 days and within 24 hours after a rainfall event of 0.5 inches or greater. Keep inspection reports on-site and make them available upon request.
 5. Inspect and maintain all installed erosion control practices until the contributing drainage area has been stabilized.
 6. Refer to the WDNR Technical Standards for storm water construction at http://dnr.wi.gov/topic/stormwater/standards/const_standards.html
 7. Install perimeter controls and rock construction entrance(s) prior to any land-disturbing activities, including clearing and grubbing. Use WDNR Technical Standard Stone Tracking Pad and The Washing #1057 for rock construction entrance(s).
 8. Install inlet protection prior to land-disturbing activities in the tributary area and/or immediately upon inlet installation. Comply with WDNR Technical Standard Storm Drain Inlet Protection for Construction Sites #1060.
 9. Notify the project engineer if dewatering is scheduled to occur in areas of soil and/or groundwater contamination, or if dewatering will occur from a high capacity well (70 gpm or more). Dewater only after the appropriate WDNR dewatering discharge permit has been obtained.
 10. Provide anti-scour protection and maintain non-erosive flow during dewatering. Limit pumping rates to either (a) the sediment basin/trap design discharge rate, or (b) the basin design release rate with the correctly fitted hose and geotextile filter bag. Perform dewatering of accumulated surface runoff in accordance with WDNR Technical Standard De-watering #1061.
 11. Remove sediment from behind silt fences and sediment barriers before sediment reaches a depth that is equal to one-half of the fence and/or barrier height. Install and maintain silt fencing per WDNR Technical Standard Silt Fence #1056.
 12. Repair breaks and gaps in silt fences and barriers immediately.
 13. Immediately stabilize stockpiles and surround stockpiles with silt fence or other perimeter control if stockpiles will remain inactive for 7 days or longer.
 14. Stabilize areas of final grading within 7 days.
 15. Sweep/clean up all sediment that moves off-site due to construction activity or storm events before the end of the same workday or as directed by the City of Madison. Separate swept materials (soils and trash) and dispose of appropriately.
 16. The General Contractor is responsible for controlling dust per WDNR technical standard dust control on construction sites #1068.
 17. Properly dispose of all waste and unused building materials (including garbage, debris, cleaning wastes, or other construction materials) and do not allow these materials to be carried by runoff into the receiving channel.
 18. Make provisions for watering during the first 8 weeks following seeding or planting of disturbed areas whenever more than 7 consecutive days of dry weather occur.
 19. Install additional erosion and sediment control measures as needed (such as temporary sediment basins, ditch checks, erosion control matting, silt fencing, filter socks, swales, etc.), or as directed by the City of Madison.
 20. The General Contractor is responsible for complying with all applicable WDNR remediation and waste management requirements for handling and disposing of contaminated materials, site-specific information for areas with known or suspected soil and/or groundwater contamination can be found on WDNR's Bureau of Remediation and Redevelopment Tracking system (brtts) public database at: <http://dnr.wi.gov/botw/>



LEGEND

- 674 - EXISTING MINOR CONTOUR
- 675 - EXISTING MAJOR CONTOUR
- 674 - PROPOSED MINOR CONTOUR
- 675 - PROPOSED MAJOR CONTOUR
- STORM SEWER
- TRACKING PAD
- SILT FENCE
- IP - INSTALL INLET PROTECTION

Schedule:

June 13, 2017	Install silt fence and construction entrance.
June 14, 2017	Begin disturbance of site ground cover.
September 15, 2017	Apply seed and mulch to all disturbed areas.
October 1, 2014	Base course installed.
October 15, 2017	Vegetation established.

DIGGERS HOTLINE
Dial 811 or (800) 242-8511
www.DiggersHotline.com

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Surveying and Engineering, Inc.
2501 International Lane, Suite 101
Madison, WI 53704
Phone: 608-250-9200
Fax: 608-250-9206
Email: kburse@BSE-INC.net
www.burse-surveying.com

Klein's Floral and Greenhouses
3758 E. Washington Avenue
Madison, Wisconsin
Klein's Floral and Greenhouses, Inc
3758 E. Washington Avenue
Madison, WI 53704

PROJECT #: BSE1823-15
PLOT DATE: 02/06/2017
REVISION DATES:
ISSUE DATES:
LUA Submittal 02/08/2017
LUA Submittal 04/28/2017

EROSION CONTROL PLAN

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DRAWING NUMBER
C-600

E WASHINGTON AVE.

WALGREEN'S

EXISTING BITUMINOUS DRIVE

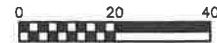
EXISTING BITUMINOUS PARKING

NEW KLEIN'S PARKING LOT

NEW RETAIL BUILDING

EXISTING HOOP HOUSE

STOUGHTON
ROAD/USH 51



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www.bursesurveying.com

APPROVALS	PROJECT NO.	DATE	BY	DATE	BY
	15	04/24/2017	MB	02/08/2017	MB
	15	04/26/2017	MB	04/26/2017	MB

Klein's Floral and Greenhouses
3758 E. Washington Avenue
Madison, Wisconsin
Klein's Floral and Greenhouses, Inc
3758 E. Washington Avenue
Madison, WI 53704

PROJECT #:	BSE1823-15
PLOT DATE:	04/24/2017
REVISION DATES:	
ISSUE DATES:	
LUA Submittal	02/08/2017
LUA Submittal	04/26/2017

DELIVERY TRUCK
MOVEMENT

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DRAWING NUMBER
C-700

E WASHINGTON AVE.

FIRE LANE

HYDRANT

FIRE LANE

HYDRANT

USH 51

0 40 80



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www.burse-surveying.com

APPROVALS	DATE	BY
PROJECT	MB	MB
DESIGN	MB	MB
CHECK	MB	MB
INCHARGE	MB	MB

Klein's Floral and Greenhouses
3758 E. Washington Avenue
Madison, Wisconsin
Klein's Floral and Greenhouses, Inc
3758 E. Washington Avenue
Madison, WI 53704

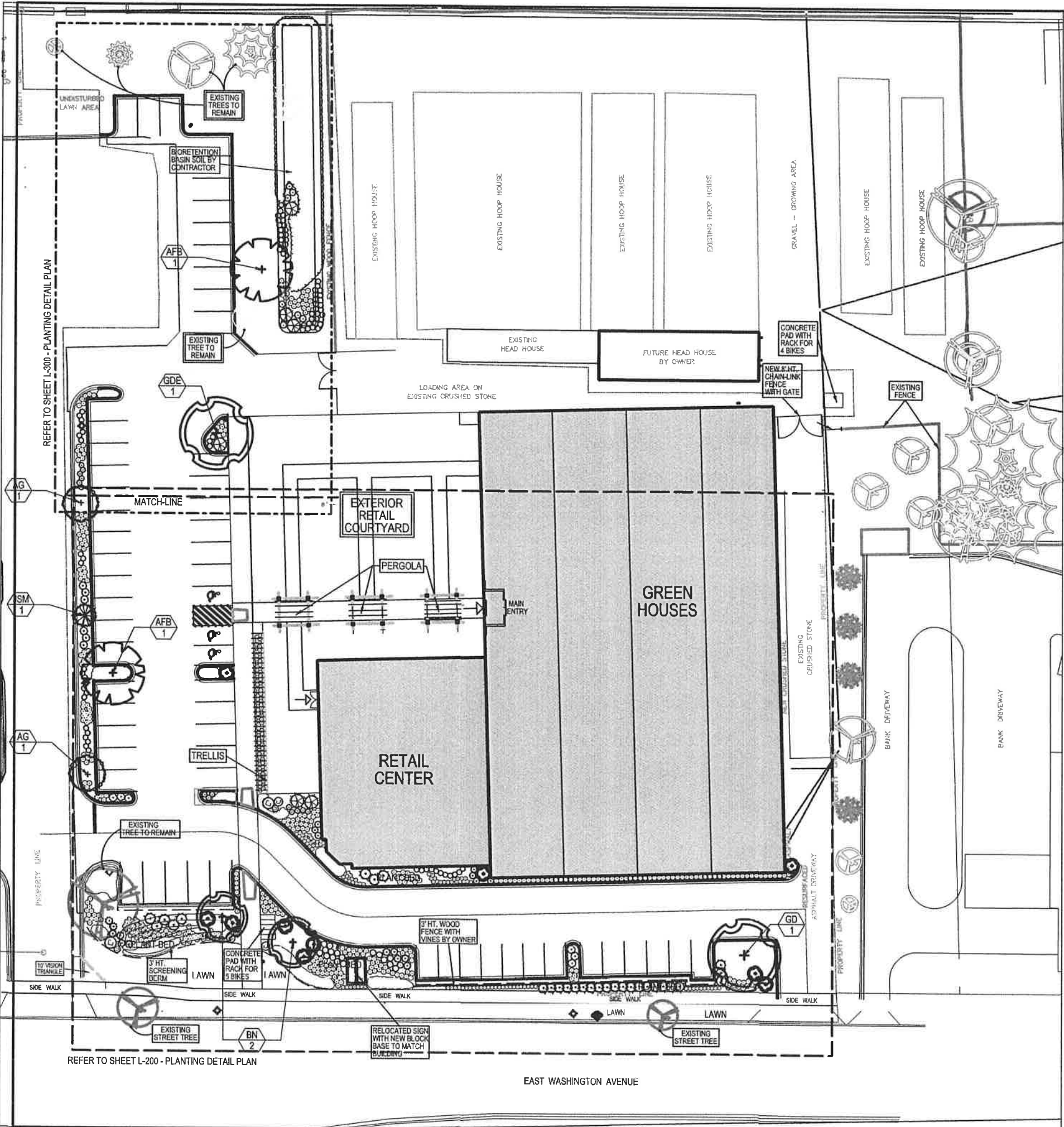
PROJECT #:	BSE1823-15
PLOT DATE:	04/24/2017
REVISION DATES:	

ISSUE DATES:	
LUA Submittal	02/08/2017
LUA Submittal	04/26/2017

FIRE ACCESS

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DRAWING NUMBER
C-800



LEGEND

- PLANTERS BY OWNER
- EXISTING TREES TO REMAIN

NOTES

- 1 - REFER TO ADDITIONAL SHEETS - L-200 PLANTING DETAIL PLAN & L-300 PLANT LIST & LANDSCAPE WORKSHEET FOR MORE INFORMATION.
- 2 - ALL PLANT MATERIALS (TREES, SHRUBS, PERENNIALS, VINES & ANNUALS) PROVIDED BY & INSTALLED BY OWNER.
- 3 - ALL LAWNS, GROUNDCOVERS AND EDGINGS PROVIDED BY & INSTALLED BY OWNER.
- 4 - ALL PLANTING BEDS TO BE MULCHED WITH TWICE SHREDDED BARK MULCH - PROVIDED BY & INSTALLED BY OWNER.
- 5 - ALL MOVEABLE PLANTERS PROVIDED BY & INSTALLED BY OWNER.
- 6 - ALL DISTURBED LAWN AREAS WILL BE SEEDED/INSTALLED BY OWNER.
- 7 - REFER TO BURSE DRAWING C-500 FOR GRADING PLAN INFORMATION.

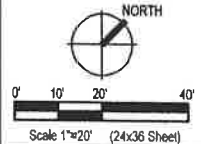
KEN SAIKI DESIGN
LANDSCAPE
ARCHITECTS

303 S. PATERSON
SUITE ONE
MADISON, WI 53703
Phone: 608 251-3600

Consultants

KLEIN'S FLORAL & GREENHOUSES

3758 E. Washington Ave.
Madison, WI



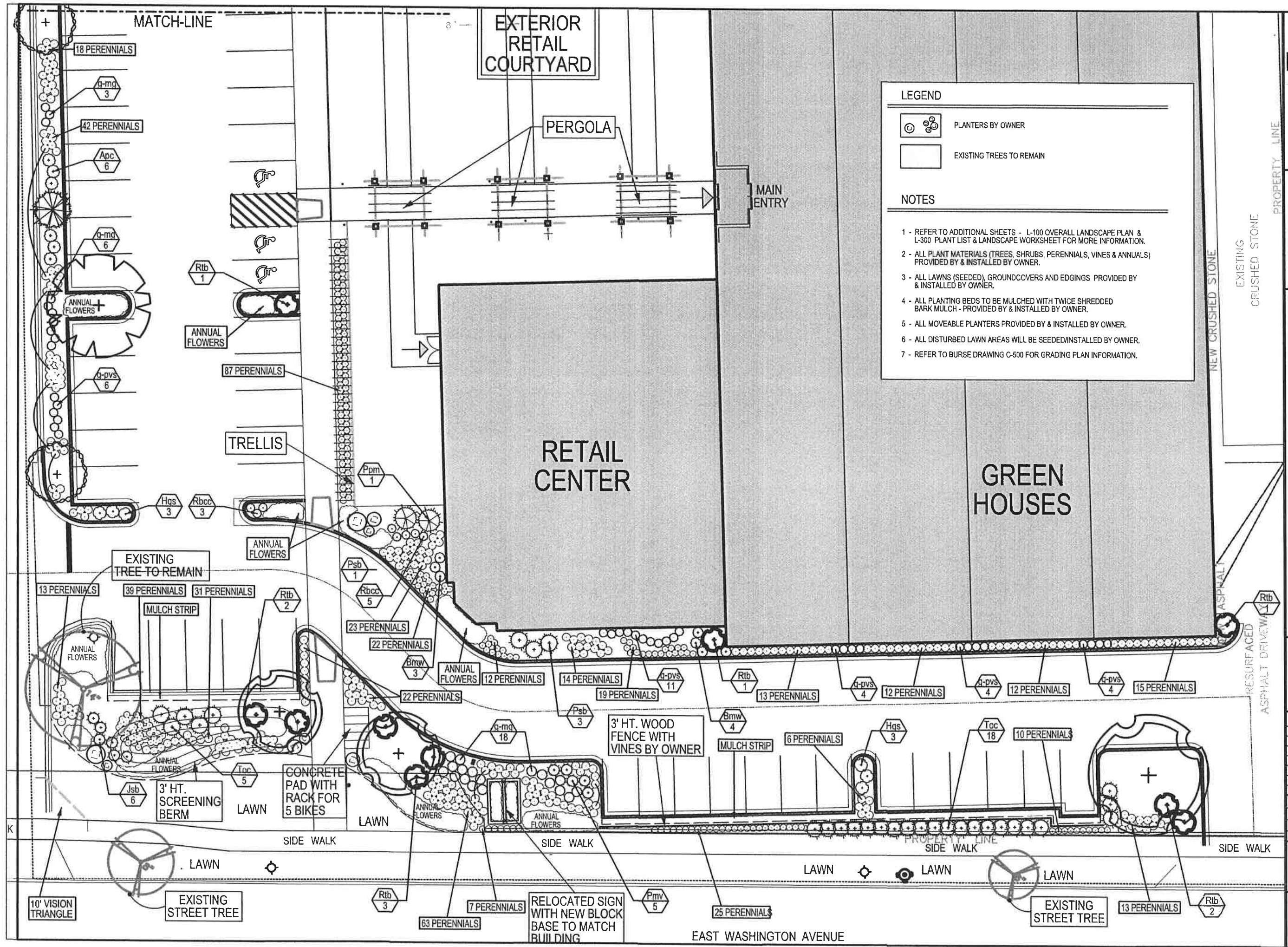
Issuance/Revision	Date
FOR PRELIM REVIEW	09-23-16
LUA / UDC SUBMITTAL	02-08-17
DRAFT - FOR REVIEW	04-21-17
LUA/UDC SUBMITTAL	04-25-17

KSD Project No.	2016-052
Drawn By	PAS
Checked By	PAS
Date	04-25-17

Sheet Title
OVERALL
LANDSCAPE
PLAN

Sheet No.

L-100



LEGEND

⊙ ⊗ PLANTERS BY OWNER

□ EXISTING TREES TO REMAIN

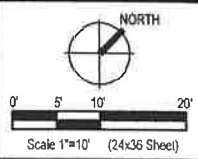
NOTES

- 1 - REFER TO ADDITIONAL SHEETS - L-100 OVERALL LANDSCAPE PLAN & L-300 PLANT LIST & LANDSCAPE WORKSHEET FOR MORE INFORMATION.
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- 7 - REFER TO BURSE DRAWING C-500 FOR GRADING PLAN INFORMATION.

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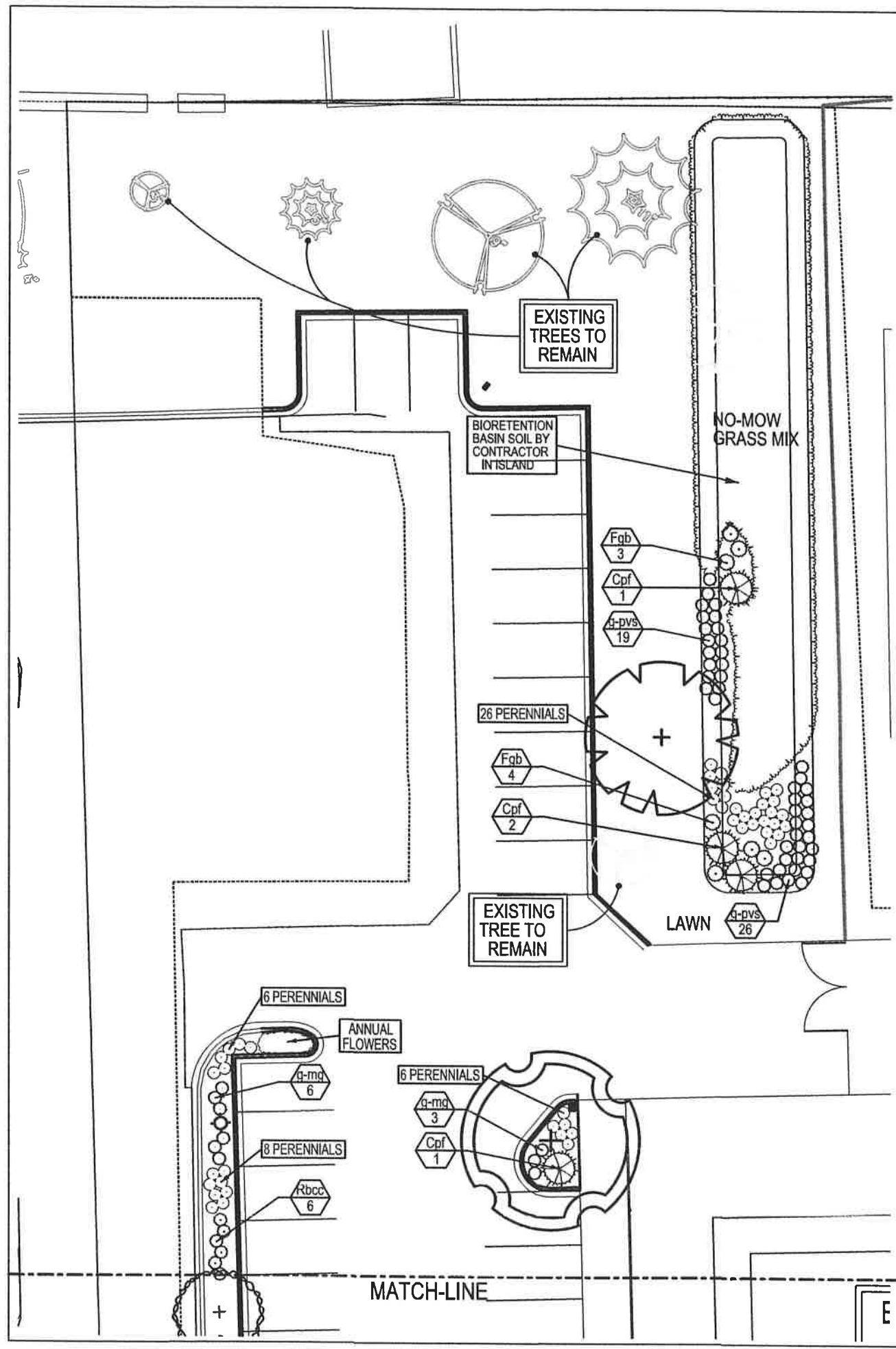


Issuance/Revision	Date
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DRAFT - FOR REVIEW	04-21-17
LUA/UDC SUBMITTAL	04-25-17

KSD Project No.	2016-052
Drawn By	PAS
Checked By	PAS
Date	04-25-17

Sheet Title
**PLANTING
DETAIL PLAN**

Sheet No.
L-200



LEGEND

- PLANTERS BY OWNER
- EXISTING TREES TO REMAIN

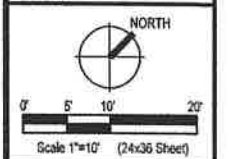
NOTES

- 1 - REFER TO ADDITIONAL SHEETS - L-100 OVERALL LANDSCAPE PLAN & L-300 PLANT LIST & LANDSCAPE WORKSHEET FOR MORE INFORMATION.
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KSD Project No.	2016-052
Drawn By	PAS
Checked By	PAS
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Sheet Title
**PLANTING
DETAIL PLAN**

Sheet No.
L-300

PLANT LIST & PLANT PALETTE

PLANT LIST & PLANT PALETTE							
Key Label	Botanical Name	Common Name	Quantity	Size	Root	Comments	Nursery / Availability
Deciduous Shade Trees							
AFB	Acer x freemanii 'Baileston'	First Editions Malador Maple	2	2 1/2" Cal	B&B		Bailey Nursery
BN	Betula nigra	River Birch	2	8-10" Ht.	B&B	Clump form, 3 stems min. 1" Cal. Min.	Bailey Nursery
GD	Gymnocladus dioica	Kentucky Coffeetree	1	2 1/2" Cal	B&B		Bailey Nursery
GDE	Gymnocladus dioica 'Espresso'	Espresso Kentucky Coffeetree	1	2 1/2" Cal	B&B	(Seedless variety)	Johnson's Nursery
Ornamental Trees							
AG	Acer ginnseum	Paperbark Maple	2	1 1/2" Cal.	B&B/Cont.		Bailey Nursery
APR	Acer palmatum 'Red Emperor'	Red Emperor Japanese Maple	**	1 1/2" Cal	B&B/Cont.	(or use 'Bloodgood' Japanese Maple)	Bailey Nursery
AP	Acer pseudosieboldianum	Korean Maple	**	1 1/2" Cal	B&B/Cont.	(Tolerates partial shade)	Bailey Nursery
AGA	Amelanchier grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	**	8-10" Ht.	B&B/Cont.	Low branched	Bailey Nursery
CC	Cercis canadensis	MN Strain Redbud	**	1 1/2" Cal	B&B/Cont.		Bailey Nursery
CV	Cornus x 'KN30-8' PP16,309	Venus Dogwood	**	8-10" Ht.	B&B/Cont.	Low branched	Bailey Nursery
Evergreen Trees							
JSM	Juniperus scopulorum 'Medora'	Medora Juniper	1	7' Ht. Heavy	B&B	Full to bottom, Add Holiday Lights	Bailey Nursery
PMT	Pinus leucodermis 'Mint Truffle'	Mint Truffle Bosnian Pine	**	7' Ht. Heavy	B&B	Low branched, full to bottom	Bailey Nursery
PS	Pinus strobus	Eastern White Pine	**	4' Ht.	B&B/Cont.	Low branched, full to bottom	Bailey Nursery
Deciduous Shrubs							
Apc	Acer palmatum 'Cynthia's Crown Jewel'	Cynthia's Crown Jewel Japanese Maple	6	3' Ht.	B&B/Cont.	Space 3'-4" O.C., 3 Gal. min.	Bailey Nursery
Ch	Cotoneaster x 'Hessli'	Hess's Cotoneaster	**	18" HL/Spr.	Cont.	Space 5'-6" O.C., 3 Gal. min.	Johnson's
Eaf	Euonymus alatus 'Fim Bui'	Fire Ball Burning Bush	**	4' Ht.	B&B/Cont.	Space 6' 1/2" O.C., 5 Gal. min.	Johnson's, Beaver Creek
Ear	Euonymus alatus 'Rudy Haag'	Rudy Haag Burning Bush	**	2' Ht.	Cont.	Space 4' O.C., 3 Gal. min.	Johnson's, Beaver Creek
Fgb	Fothergilla gardenii 'Beaver Creek'	Beaver Creek Dwarf Fothergilla	7	30" Ht.	Cont.	Space 2'-6" - 3'-0" O.C., 3 Gal. min.	Johnson's, Beaver Creek
Hqs	Hydrangea quercifolia 'Sikes Dwarf'	Sikes Dwarf Hydrangea	6	2' Ht.	Cont.	Space 3'-6" O.C., 3 Gal. min.	Bailey Nursery
Ivj	Ilex verticillata 'Jim Dandy'	Jim Dandy Winterberry Holly	**	24" Ht.	Cont.	Space 4' O.C., 3 Gal. min.	Bailey Nursery
Ivr	Ilex verticillata 'Red Sprite'	Red Sprite Winterberry Holly	**	18" Ht.	Cont.	Space 3' O.C., 3 Gal. min.	Bailey Nursery
Pos	Physocarpus opulifolius 'Seward' PP14,821	Summer Wine Ninebark - Tree Form	**	2' Ht.	Cont.	Space 4' O.C., 3 Gal. min.	Bailey Nursery
Rtb	Rhus typhina 'Baileiger' PP16,185	First Editions Tiger Eyes Culeaf Slaghem Sumac	10	4' Ht.	B&B/Cont.	Space 5' - 6' O.C., 5 Gal. min.	Bailey Nursery
Rbcd	Rosa 'BAlove'	Easy Elegance Coral Cove Rose	14	18" Ht.	Cont.	Space 2' O.C., 2 Gal. min.	Bailey Nursery
Rmcd	Rosa 'MEldorado' PP19,148	Coral Oak Rose	**	12" Ht.	Cont.	Space 1'-6" O.C., 3 Gal. min.	Bailey Nursery
Smp	Syringa meyeri 'Palibin'	Meyer Korean Lilac	**	30" Ht.	Cont.	Space 4'-0" O.C., 3 Gal. min.	Johnson's, Beaver Creek
Evergreen Shrubs							
Bmw	Buxus microphylla 'Wintergreen'	Wintergreen Littleleaf Boxwood	7	18" Ht.	Cont.	Space 2'-6" O.C., 3 Gal. min.	Bailey Nursery
Cpl	Chamaecyparis pisifera 'Filifera'	Green Threadleaf Falsecypress	4	30" Ht.	B&B/Cont.	Space 5' 1/2" O.C., 5 Gal. min.	Johnson's, Iseli
Cpg	Chamaecyparis pisifera 'Golden Mops'	Golden Mops Threadleaf Falsecypress	**	30" Ht.	B&B/Cont.	Space 6' O.C., 5 Gal. min.	Bailey Nursery
Jsb	Juniperus sabina 'Blue Forest'	Blue Forest Juniper	6	9" Ht.	Cont.	Space 3' O.C., 3 Gal.	Bailey Nursery
Ppm	Picea pungens 'Montgomery'	Montgomery Blue Spruce	1	3' Ht.	B&B/Cont.	5 Gal. min.	Bailey Nursery
Pmp	Pinus mugo pumilo	Mugo Pine	**	18" HL/Spr.	B&B/Cont.	Space 5' O.C., 3 Gal. min.	Bailey Nursery
Pms	Pinus mugo 'Sherwood Compact'	Sherwood Compact Mugo Pine	**	18" HL/Spr.	B&B/Cont.	Space 4' O.C., 3 Gal. min.	Bailey Nursery
Pmv	Pinus mugo 'Valley Cushion'	Valley Cushion Mugo Pine	5	18" HL/Spr.	Cont.	Space 2'-6" O.C., 3 Gal. min.	Bailey Nursery
Psb	Pinus strobus 'Blue Shag'	Blue Shag White Pine	4	18" HL/Spr.	Cont.	Space 4' O.C., 3 Gal. min.	Bailey Nursery
Psm	Pinus strobus 'Minuta' - Bush form	Minuta Dwarf White Pine	**	18" HL/Spr.	Cont.	Space 3' O.C., 3 Gal. min. Bush form	Bailey Nursery
Psn	Pinus strobus 'Niagara Falls'	Niagara Falls	**	24" Spr.	Cont.	Space 4' O.C., 3 Gal. min.	Bailey Nursery
Toc	Thuja occidentalis 'Congo' PP19,009	Fire Chief Arborvitae	23	18" HL/Spr.	Cont.	Space 3'-4" O.C., 2 Gal. min.	Bailey Nursery
Perennials & Groundcovers							
* PERENNIALS & GRASSES TO BE SELECTED BY KLEIN'S DESIGNER STAFF FROM THIS LISTING OR OTHER NEW BAILEY NURSERY VARIETY - TOTAL PERENNIALS SHOWN ON PLAN = 563							
at	Allium luscitancum 'Summer Beauty'	Summer Beauty Ornamental Onion	*	#1 Pot	CG	Space 24" O.C.	Bailey Nursery
abi	Amsonia 'Blue Ice'	Blue Ice Bluestar	*	#1 Pot	CG	Space 15-18" O.C.	Bailey Nursery
ahm	Arunco hybrida 'Misty Lace' PP15,798	Misty Lace Hybrid Goatsbeard	*	#1 Pot	CG	Space 18" O.C.	Bailey Nursery
at	Asclepias tuberosa	Butterfly Flower	*	#1 Pot	CG	Space 18" O.C.	Bailey Nursery
acvp	Astilbe chinensis 'Vision in Pink' PP11,860	Vision in Pink Astilbe	*	#1 Pot	CG	Space 18" O.C.	Bailey Nursery
ass	Astilbe x simplicifolia 'Sprite'	Sprite Astilbe	*	#1 Pot	CG	Space 12" O.C.	Bailey Nursery
bst	Baptisia 'Solar Flare' PP20,408	Solar Flare Baptisia False Indigo	*	#1 Pot	CG	Space 3' 1/2" O.C.	Bailey Nursery
bvt	Baptisia x varicolar 'Twilight' PP19,011	Twilight Baptisia False Indigo	*	#1 Pot	CG	Space 3' 1/2" O.C.	Bailey Nursery
cnn	Calamintha nepeta ssp. Nepeta	Lesser Calamintha	*	#1 Pot	CG	Space 18" O.C., Sterile variety ONLY	Bailey Nursery
cp	Ceratostigma plumbaginoides	Dwarf Plumbago	*	#1 Pot	CG	Space 15" O.C.	Bailey Nursery
df	Dianthus 'Fire & Ice' PPAF	Fire & Ice Pinks	*	#1 Pot	CG	Space 12" O.C.	Bailey Nursery
epd	Echinacea purpurea 'PowWow Wild Berry'	PowWow Wild Berry Coneflower	*	#1 Pot	CG	Space 15" O.C.	Bailey Nursery
gcb	Gernium x cantabrigiense 'Brokovo'	Brokovo Gernium / Cranesbill	*	#1 Pot	CG	Space 20" O.C.	Bailey Nursery
hrs	Hemerocallis 'Ruby Stella' PPAF	Ruby Stella Daylily	*	#1 Pot	CG	Space 20" O.C.	Bailey Nursery
hgp	Heuchera 'Georgia Peach' PP19,375	Georgia Peach Coral Bells	*	#1 Pot	CG	Space 22-24" O.C.	Bailey Nursery
hy	Hosta 'Guacamole'	Guacamole Hosta	*	#1 Pot	CG	Space 30" O.C.	Bailey Nursery
isc	Iris siberica 'Caesar's Brother'	Caesar's Brother Siberian Iris	*	#1 Pot	CG	Space 15" O.C. / For Bioretention Basin	Bailey Nursery
isd	Leucantherum superbum 'Daisy Duke' PP21,914	Daisy Duke Shasta Daisy	*	#1 Pot	CG	Space 18" O.C.	Bailey Nursery
lbf	Liabris spicata 'Floristan Weiss'	Floristan White Spike Gayfeather / Blazingstar	*	#1 Pot	CG	Space 15" O.C.	Bailey Nursery
lsk	Liabris spicata 'Kobold'	Kobold Spike Gayfeather	*	#1 Pot	CG	Space 15" O.C.	Bailey Nursery
lab	Lilium asiaticum 'Black Bird'	Black Bird Asiatic Lily	*	#1 Pot	CG	Space 12-18" O.C.	Hoffe
nrb	Nepeta racemosa 'Blue Wonder'	Blue Wonder Catmint	*	#1 Pot	CG	Space 18" O.C.	Bailey Nursery
psb	Paeonia 'Sarah Bernhardt'	Sarah Bernhardt Peony	*	#1 Pot	CG	Space 30" O.C.	Bailey Nursery
pd	Penstemon digitalis 'Husker Red'	Husker Red Foxglove / Beardtongue	*	#1 Pot	CG	Space 18" O.C.	Bailey Nursery
snc	Salvia nemerosa 'Caradonna' or 'Blue Queen'	Caradonna or Blue Queen Sage / Salvia	*	#1 Pot	CG	Space 18" O.C.	Bailey Nursery
snm	Salvia nemerosa 'Marcus'	Marcus Dwarf Meadow Sage / Salvia	*	#1 Pot	CG	Space 12" O.C.	Bailey Nursery
sm	Sedum 'Matrona'	Matrona Sedum	*	#1 Pot	CG	Space 18" O.C.	Bailey Nursery
ssi	Sedum spectabile 'Iceberg' (or 'Stardust')	Iceberg Sedum (or Stardust Sedum)	*	#1 Pot	CG	Space 18" O.C.	W. & E. Radtke
srf	Solidago rugosa 'Fireworks'	Fireworks Goldenrod	*	#1 Pot	CG	Space 22-24" O.C.	W. & E. Radtke
sbh	Stachys byzantina 'Helen von Stein'	Big Ears Lamb's Ears	*	#1 Pot	CG	Space 24" O.C.	Bailey Nursery
vlm	Veronica longifolia 'Marietta' PPAF	Marietta Veronica	*	#1 Pot	CG	Space 18" O.C.	Bailey Nursery
Grasses, Sedges & Rushes							
g-bb	Bouteloua gracilis 'Blonde Ambition' PP22,038	Blonde Ambition Blue Grama Grass	*	#1 Pot	CG	Space 24" O.C.	Bailey Nursery
g-cv	Carex vulpinoidea	Fox Sedge	*	#1 Pot	CG	Space 24" O.C. For Bioretention Basin	W. & E. Radtke
g-de	Deschampsia cespitosa	Tufted Hair Grass	*	#1 Pot	CG	Space 24" O.C. For partial-shade areas	Bailey Nursery
g-hm	Hakonechloa macra 'All Gold'	All Gold Japanese Hakone Grass	*	#1 Pot	CG	Space 24" O.C. For shaded areas	Bailey Nursery
g-jb	Juncus tenuissimus 'Blue Dart'	Blue Dart Rush	*	#1 Pot	CG	Space 24" O.C. For Bioretention Basin	Bailey Nursery
g-mg	Muscantus sinensis 'Gracillimus'	Maiden Grass	38	#1 Pot	CG	Space 30" O.C.	Bailey Nursery
g-pvs	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	74	#1 Pot	CG	Space 24" O.C.	Bailey Nursery
g-sa	Sesleria autumnalis	Autumn Mow Grass	*	#1 Pot	CG	Space 20" O.C.	Bailey Nursery
g-sh	Sesleria heuffleriana	Blue-green Moor Grass	*	#1 Pot	CG	Space 20" O.C. For shaded areas	W. & E. Radtke
g-sp	Sporobolus heterolepis	Prairie Dropseed	*	#1 Pot	CG	Space 24" O.C.	Bailey Nursery
g-sht	Sporobolus heterolepis 'Tara'	Tara Prairie Dropseed	*	#1 Pot	CG	Space 20" O.C.	W. & E. Radtke
Vines @ Pergola							
v-cb	Clematis 'Evipo073'	Boulevard The Countess of Wessex Clematis	*	18" Ht. min. staked	CG	Space per plan, 2 Gal. min.	Bailey Nursery
v-cs	Clematis 'Evipo028'	Shimmer Clematis	*	18" Ht. min. staked	CG	Space per plan, 2 Gal. min.	Bailey Nursery
Annual Flowers -							
New Selections & Arrangements will be chosen by Klein's each year.			Varies	Varies	CG	Space 12" O.C.	Bailey Nursery & Others
Planters -							
New Plant Selections & Arrangements will be chosen by Klein's each year.			Varies	Varies	CG	Varies	Bailey Nursery & Others
** NOTE - LIST SHOWS OPTIONAL PLANTS THAT KLEIN'S CAN SUBSTITUTE WITH BASED ON AVAILABILITY. NEWER VARIETIES MAY BE SUBSTITUTED FOR THOSE LISTED.							

LANDSCAPE WORKSHEET

City of Madison, WI Landscape Worksheet
8-Feb-17
KLEIN FLORAL & GREENHOUSES - Zoning - CC-T - Mixed Use & Commercial Districts

Developed Lots

SF

45,296

5 Landscape Points For Every 300 SF of Developed Area

45,533 x 5 / 300

LANDSCAPE POINTS REQUIRED

755

Development Frontage

LF

311

Overstory Trees Required

10

Shrubs Required

52

Element

Point Value

Quantity Proposed

Quantity Existing

Points Achieved

Overstory Deciduous Tree

35

3

1

140

Ex. Significant Specimen Tree

0

0

0

0

Ornamental Tree

15

0

0

0

Shrub, deciduous

3

10

30

30

Shrub, evergreen

4

37

148

494

Ornamental Grass/Perennial

2

247

0

494

Development Frontage Total

812

**We request waiver of tree & shrub requirement due to limited space & type of facility. Klein's Floral & Greenhouses will be installing seasonal displays along East Washington Avenue frontage which exhibit plants that they grow and sell. Perennial grasses & flowers and annual flowers will encompass the majority of the plantings including back-ground shrubs. The seasonal plant combinations will be displayed in planting bed borders and raised decorative planters. Annual plants may shift with the seasons and include - spring bulbs, summer annuals, fall plants and holiday greenery and decorations.

General Site, Foundation, Screening

Element

Point Value

Quantity Proposed

Quantity Existing

Points Achieved

Overstory Deciduous Tree

35

3

0

105

Ornamental Tree

15

2

0

30

Evergreen Tree

15

1

0

15

Shrub, deciduous

3

33

99

99

Shrub, evergreen

4

16

64

64

Ornamental Grass/Perennial

2

410

820

820

Ornamental/Decorative Fence or Wall (4 pts/10 LF)

4

0

0

0

Foundation Plantings Total

1133

TOTAL LANDSCAPE POINTS PROVIDED

1945

TOTAL LANDSCAPE POINTS REQUIRED

765

NOTE: Required Point Total is achieved with plants shown on the plan. The Annual / Seasonal plantings are not included in this point total.

NOTES

1 - REFER TO ADDITIONAL SHEETS - L-100 OVERALL LANDSCAPE PLAN & L-200 PLANTING DETAIL PLAN FOR MORE INFORMATION.

KEN SAIKI DESIGN

LANDSCAPE ARCHITECTS

303 S. PATERSON SUITE ONE
MADISON, WI 53703
Phone: 608 251-3600

Consultants

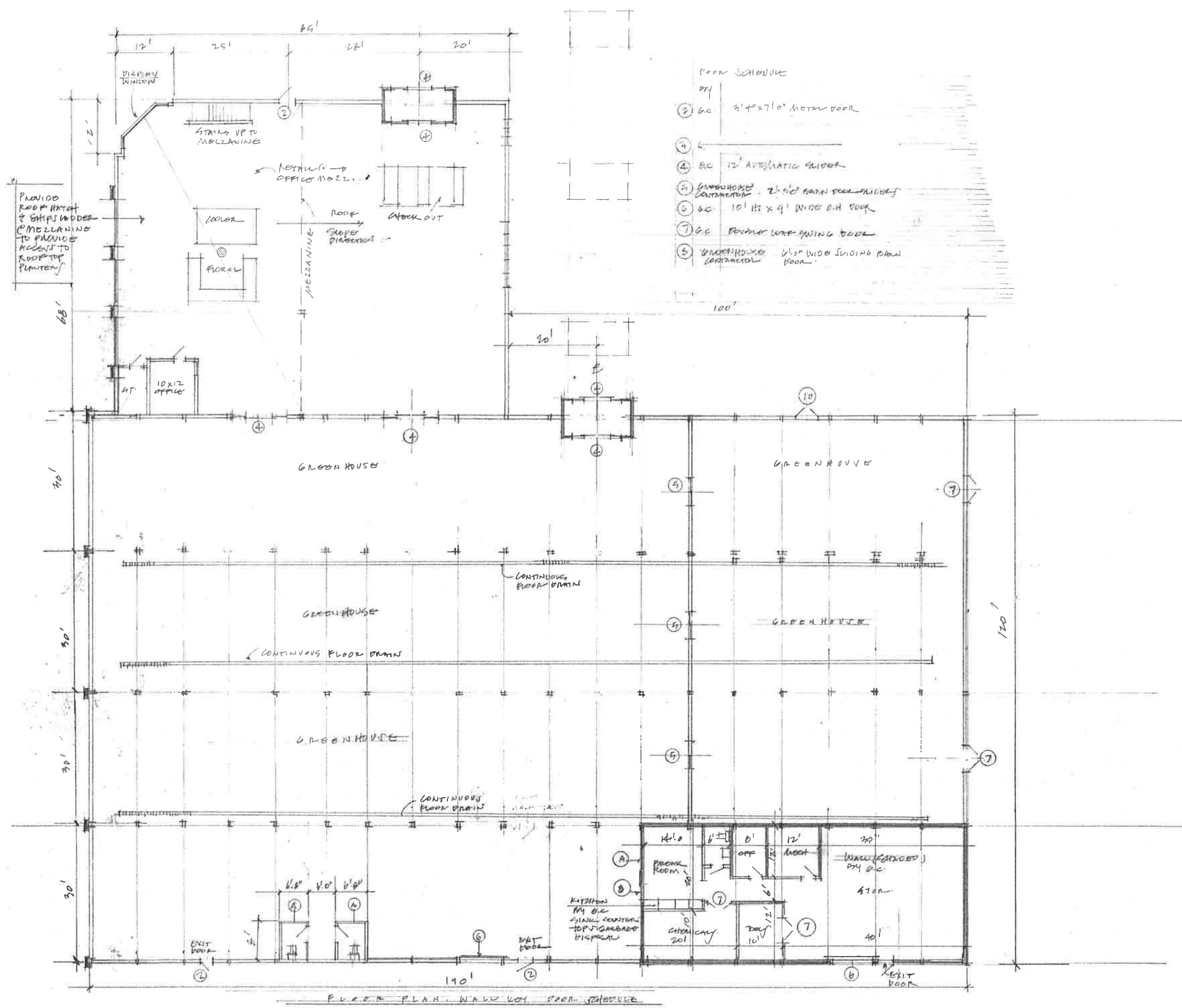
KLEIN'S FLORAL & GREENHOUSES
3758 E. Washington Ave.
Madison, WI

Issuance/Revision	Date
FOR PRELIM REVIEW	09-23-16
LUA / UDC SUBMITTAL	02-08-17
DRAFT - FOR REVIEW	04-21-17
LUA / UDC SUBMITTAL	04-25-17

KSD Project No.	2016-052
Drawn By	KAB PAS
Checked By	PAS
Date	04-25-17
Sheet Title	

PLANT LIST & LANDSCAPE WORKSHEET

Sheet No.



- DOOR SCHEDULE
- 2 G.C. 5'4" x 7'10" METAL DOOR
 - 4 G.C. 12' AUTOMATIC SLIDING
 - 5 G.C. 12' AUTOMATIC SLIDING
 - 6 G.C. 10' H x 9' WIDE O.H. DOOR
 - 7 G.C. DOUBLE WING DOOR
 - 8 G.C. 10' WIDE SLIDING PANEL DOOR

FLOOR PLAN, WARD VOT DOOR SCHEDULE



PROJECT NUMBER
DRAWN BY
CHECKED BY
DATE
REVISION

KIRBY GREENHOUSE
3 FLOOR

LINVILLE ARCHITECTS, LLC
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REVISION DATED
APRIL 22, 2017



KLEIN GARDEN -
S. KLEIN
MAXSON. WILSON

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