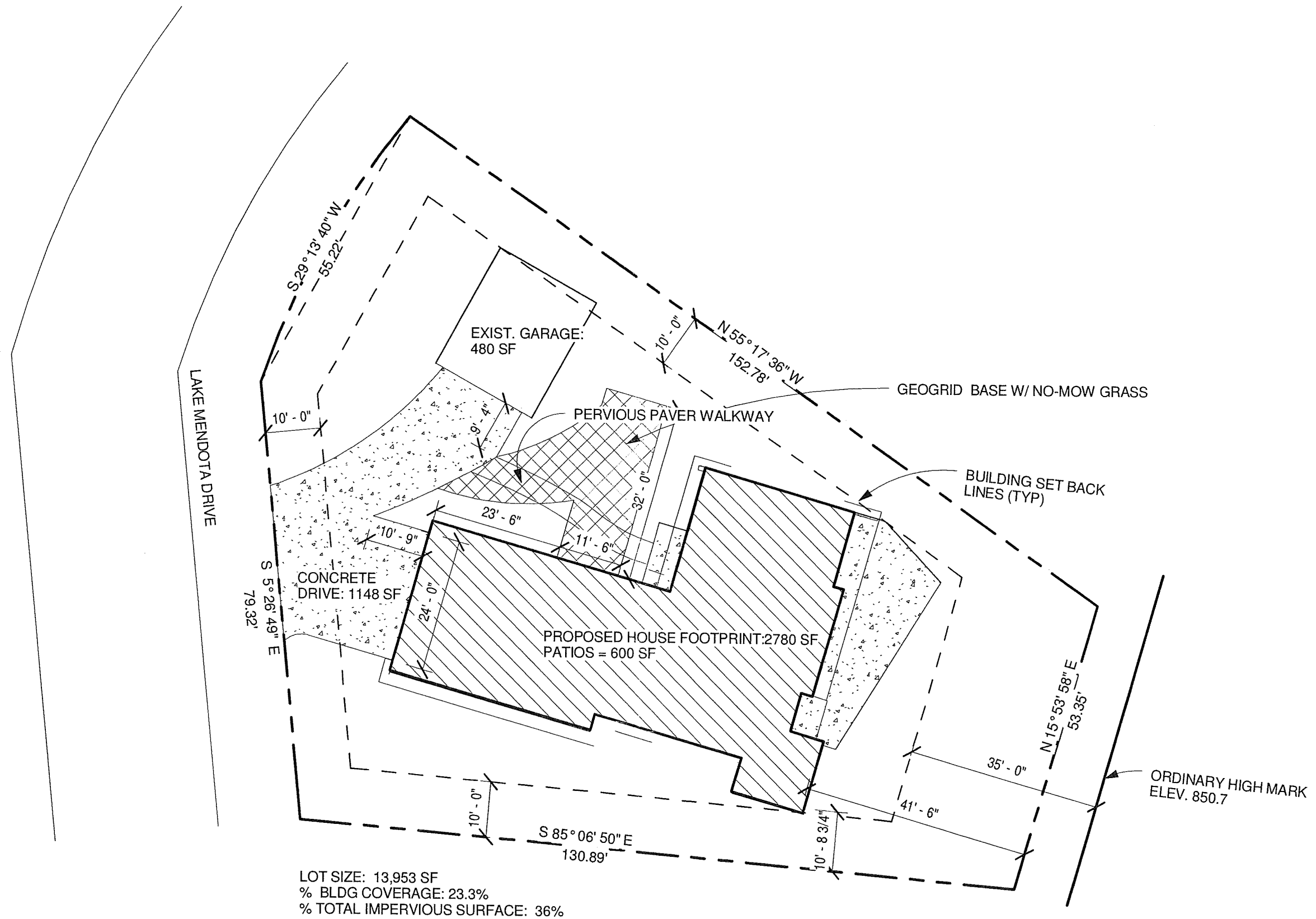
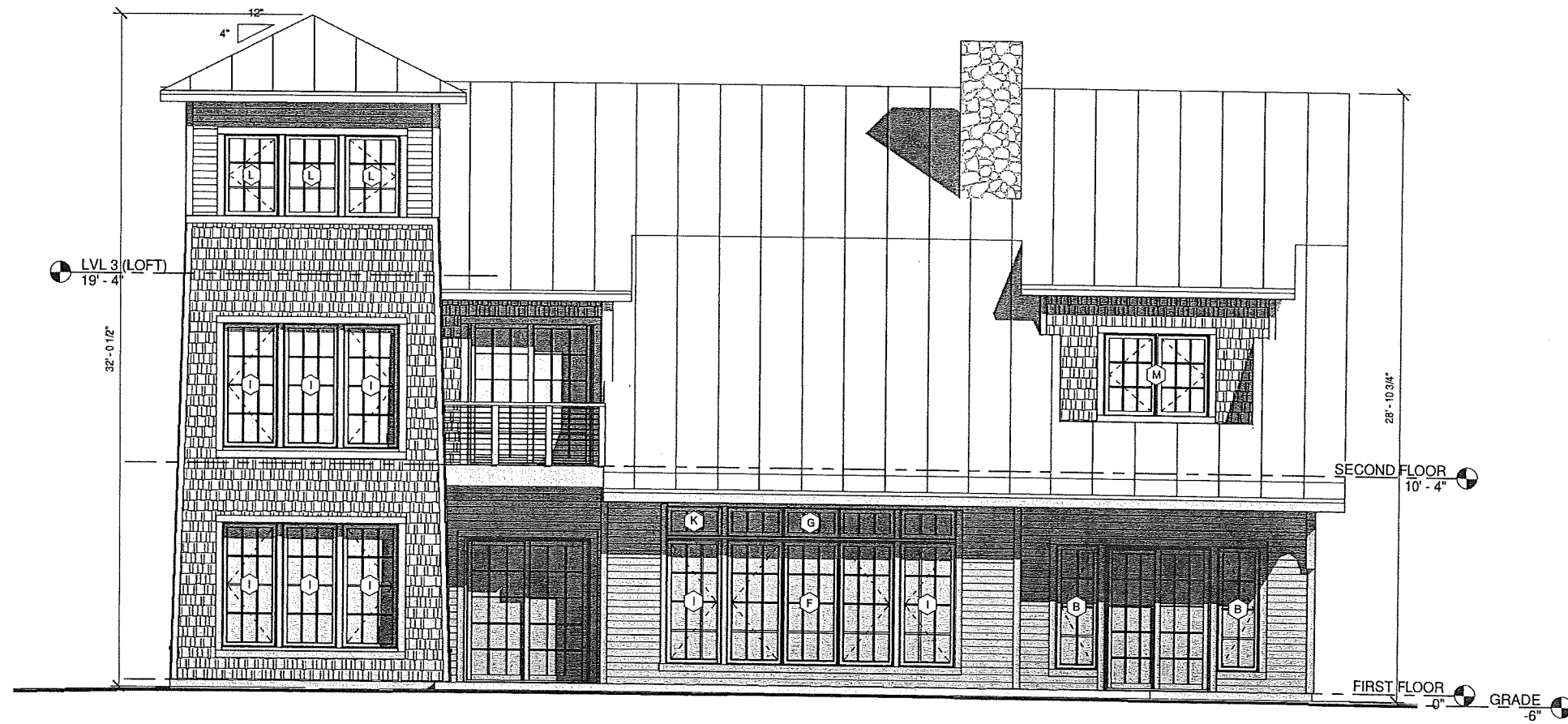
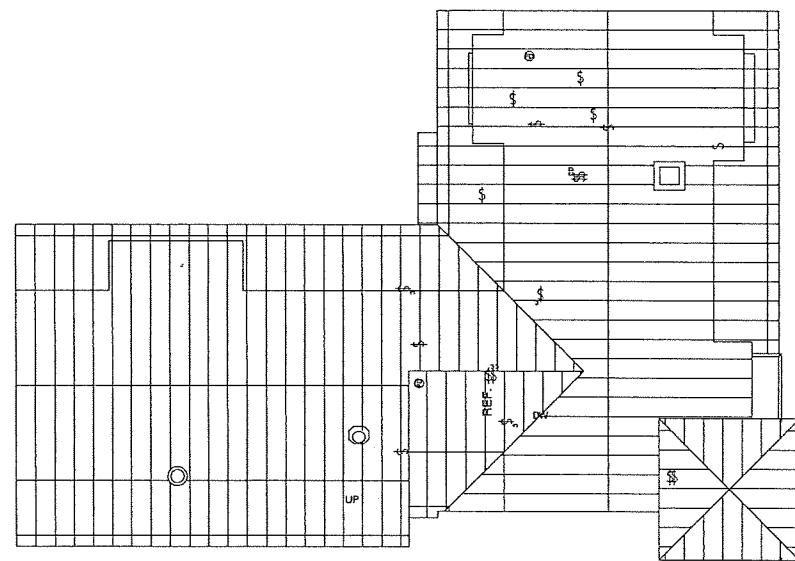
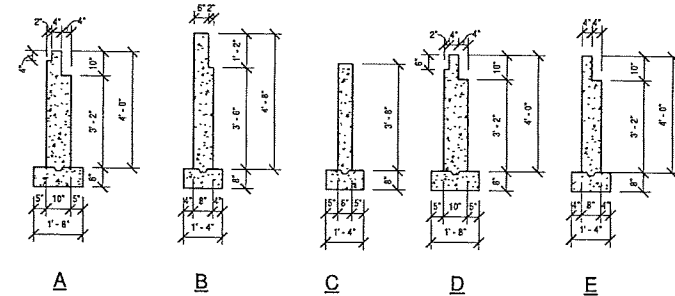




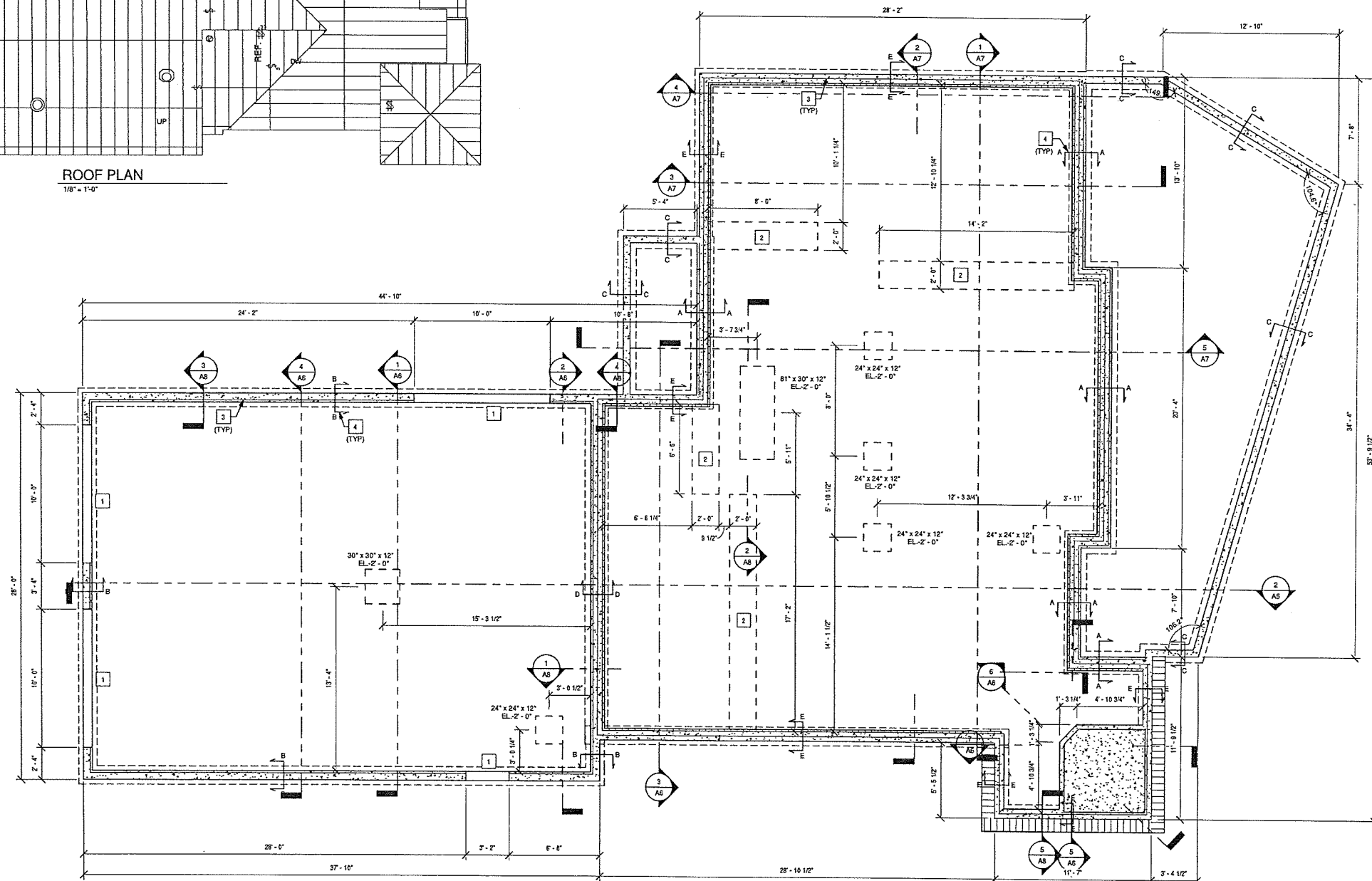




ROOF PLAN
1/8" = 1'-0"



FOUNDATION TYPES
3/8" = 1'-0"



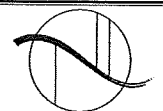
FOUNDATION PLAN
1/4" = 1'-0"

PLAN NOTES:

1. HOLD DOWN PORTION OF FOUNDATION AS REQUIRED FOR OVERHEAD DOOR.
2. 12" DEEP THICKENED SLAB.
3. PROVIDE LEDGE AT TOP OF FOUNDATION WALL FOR CONCRETE SLAB - SEE FOUNDATION TYPES.
4. INDICATES FOUNDATION TYPES - SEE SHEET A1.



REVISIONS		
NO.	DESCRIPTION	DATE



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CLIENT

KORB-WILLS RESIDENCE
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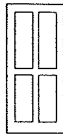
SHEET TITLE
FOUNDATION PLAN

PROJECT NUMBER Project Number	DATE JAN 2, 2013
SCALE As indicated	A1

1/2/2013 8:11:43 PM

INTERIOR DOOR SCHEDULE					
NO.	WIDTH	HEIGHT	MANUFACTURER	MODEL NO.	FINISH
101	5'-11 1/4"	7'-2"	Pella - Windows & Doors		
101A	2'-6"	6'-8"			
102	2'-6"	7'-0"			
103	2'-6"	7'-0"			
103A	2'-6"	6'-8"			
103a	5'-0"	6'-10 1/2"	Kolbe & Kolbe Millwork Co., Inc.	GAU5068	
105	6'-0"	6'-10 1/2"	Kolbe & Kolbe Millwork Co., Inc.	GAU5068	
106	1'-9"	6'-8"			
108	2'-6"	6'-8"			
109A	2'-6"	6'-8"			
110	2'-6"	6'-8"			
111	3'-0"	6'-8"			
111a	2'-6"	6'-8"			
113	3'-0"	6'-8"			
201	2'-6"	6'-8"			
202	2'-6"	6'-8"			
203	2'-6"	7'-0"			
204B	2'-6"	6'-8"			
205	2'-6"	7'-0"			
205a	6'-0"	6'-10 1/2"	Kolbe & Kolbe Millwork Co., Inc.	GAU5068	
205c	3'-6"	6'-8"			
206	2'-6"	7'-0"			
206A	2'-6"	6'-8"			
207	2'-6"	7'-0"			
208	2'-6"	7'-0"			
210	2'-6"	6'-8"			
211	2'-6"	6'-8"			

NOTE:
SEE SHEET A7 FOR EXTERIOR DOORS.



F
FLUSH

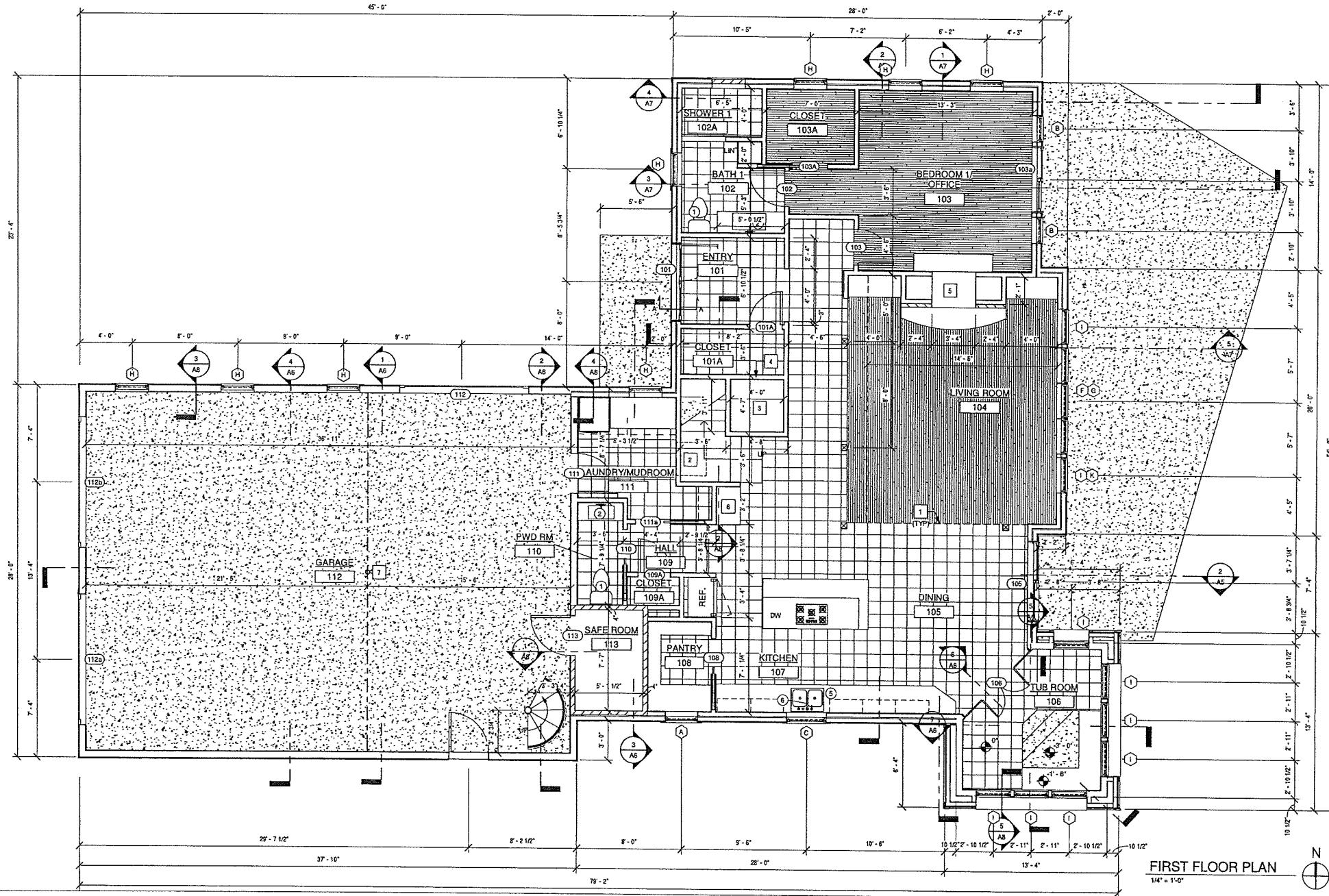
INTERIOR DOOR TYPES

1/4" = 1'-0"

FLOOR FINISH KEY	
	CARPET
	SEALED CONCRETE
	TILE
	WOOD

PLAN NOTES:

- 1 LINE INDICATES EDGE OF BALCONY ABOVE.
- 2 DRAWERS UNDER STAIRS.
- 3 FUTURE RESIDENTIAL ELEVATOR.
- 4 3'-3" x 4'-0" OPENING.
- 5 SEE THRU FIREPLACE.
- 6 WINE BAR - SEE INTERIOR ELEVATIONS.
- 7 4" STEEL POST.



FIRST FLOOR PLAN

1/4" = 1'-0"

REVISIONS		
NO.	DESCRIPTION	DATE



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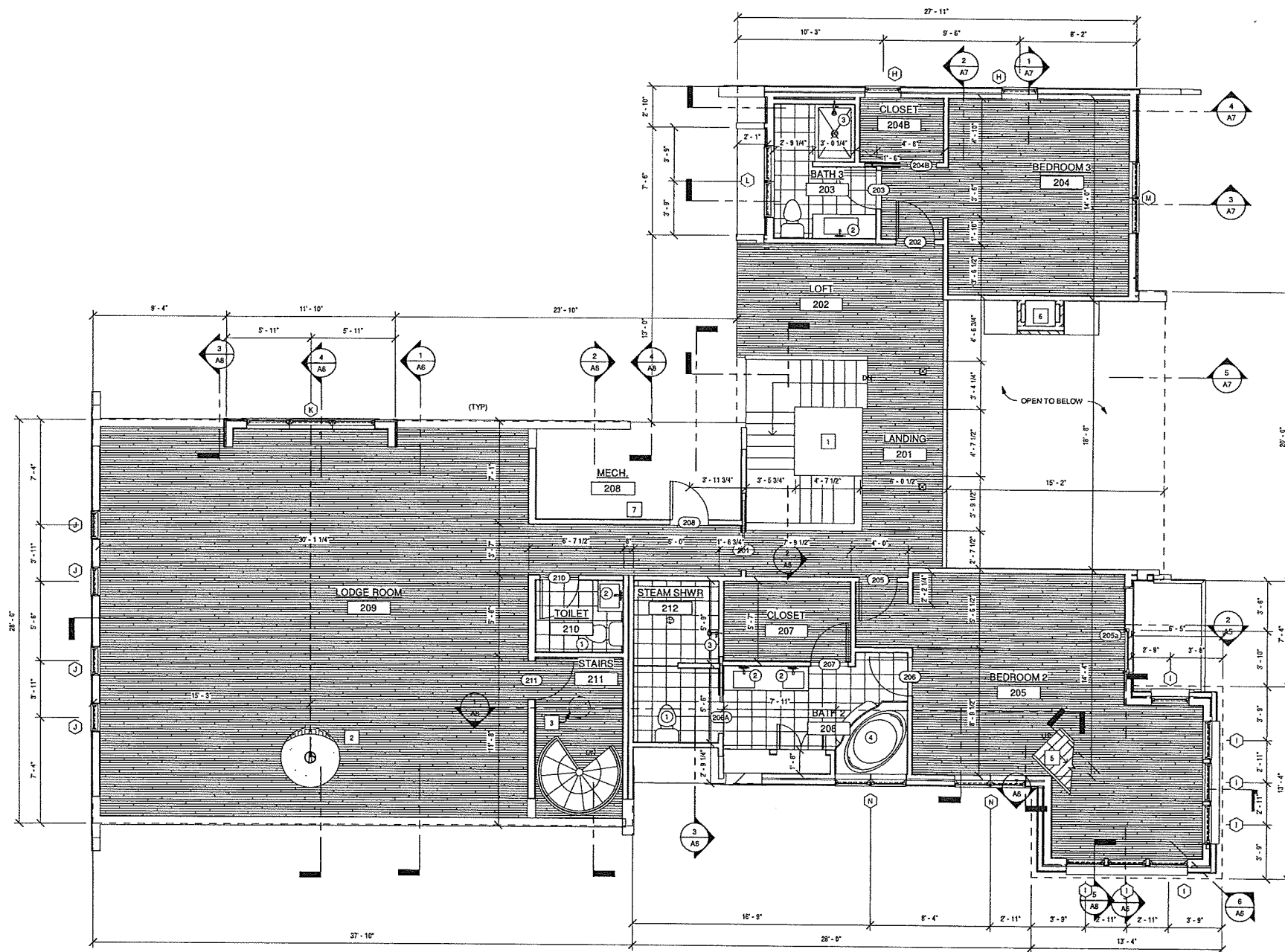
CLIENT
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SHEET TITLE
FIRST FLOOR PLAN

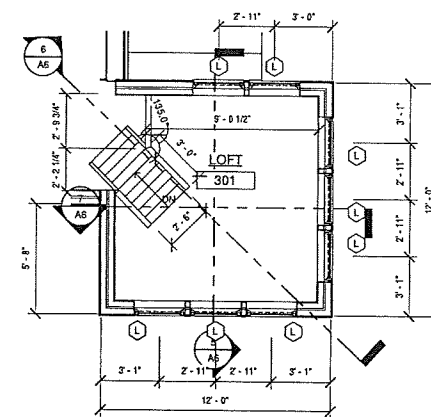
PROJECT NUMBER Project Number	DATE JAN 2, 2013
SCALE 1/4" = 1'-0"	A2

1/2/2013 8:11:45 PM

- PLAN NOTES:**
- 1 42" STORAGE CABINET.
 - 2 FREESTANDING FIREPLACE.
 - 3 18" SOLAR TUBE - SEE ROOF PLAN.
 - 4 LINE INDICATES FRAMING EDGE OF WALL BELOW.
 - 5 SHIPS LADDER TO LOFT.
 - 6 FIREPLACE CHASE AND FLUE.
 - 7 LOCATION OF STEAM ROOM EQUIPMENT.



SECOND FLOOR PLAN
1/4" = 1'-0"



LOFT FLOOR PLAN
1/4" = 1'-0"

REVISIONS		
NO.	DESCRIPTION	DATE

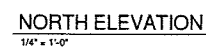


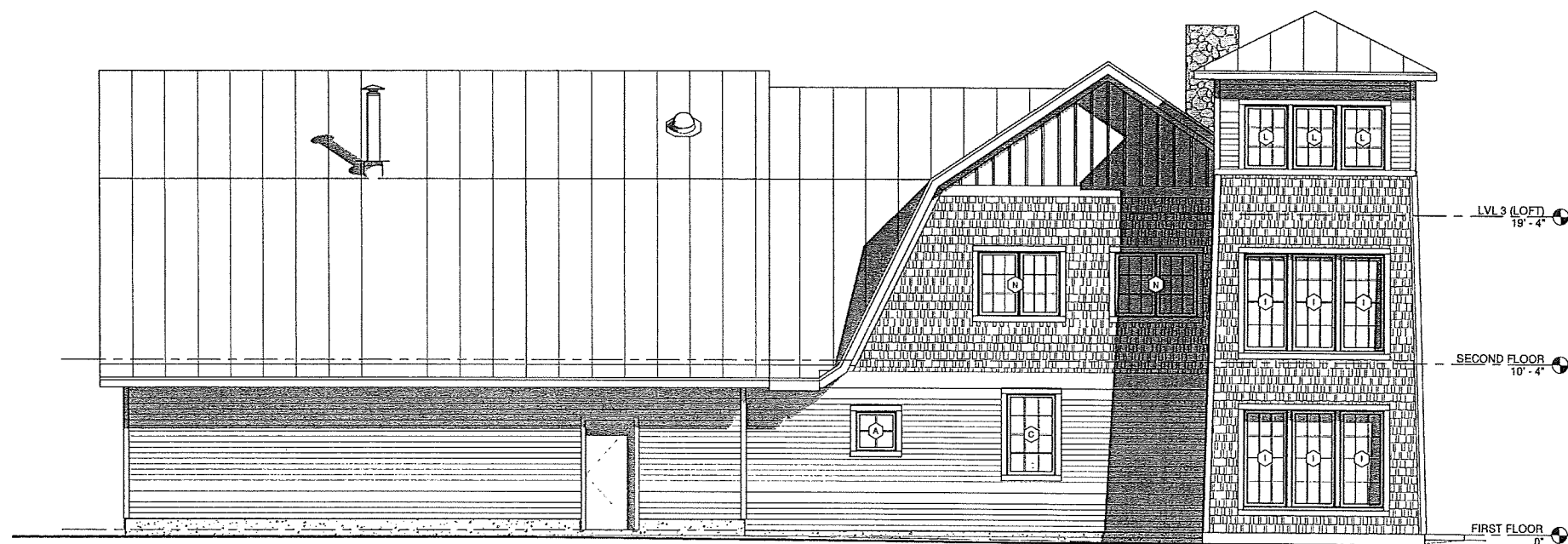
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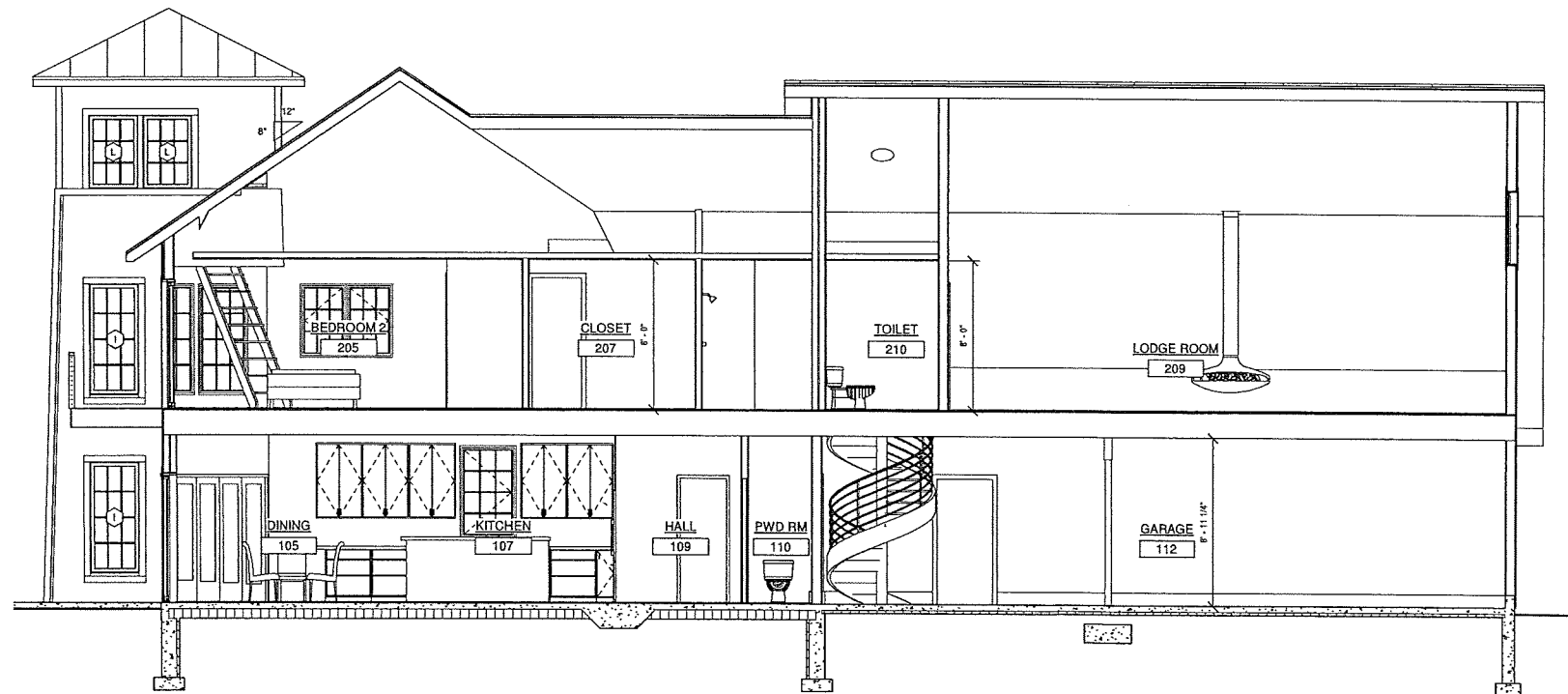
SHEET TITLE
SECOND FLOOR PLANS

PROJECT NUMBER Project Number	DATE JAN 2, 2013
SCALE 1/4" = 1'-0"	A3

[illegible][illegible]

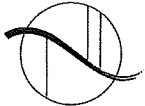


SOUTH ELEVATION
1/4" = 1'-0"

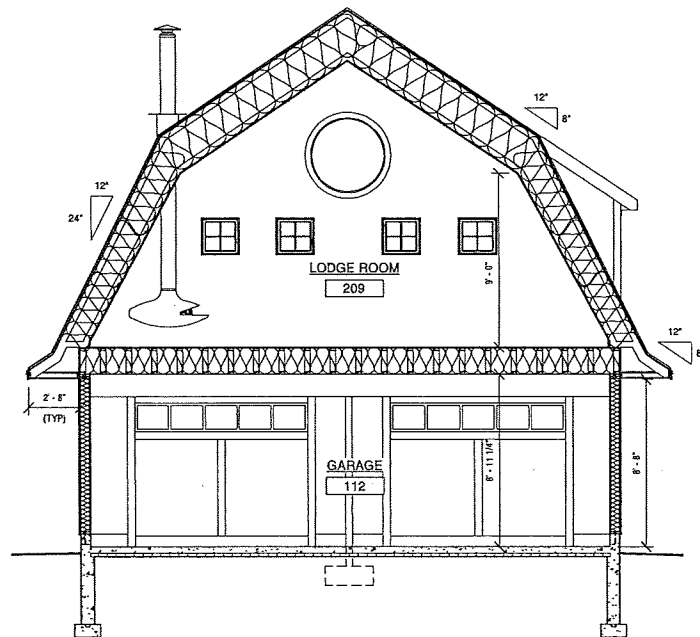


E-W AXIS - LOOKING NORTH
1/4" = 1'-0"

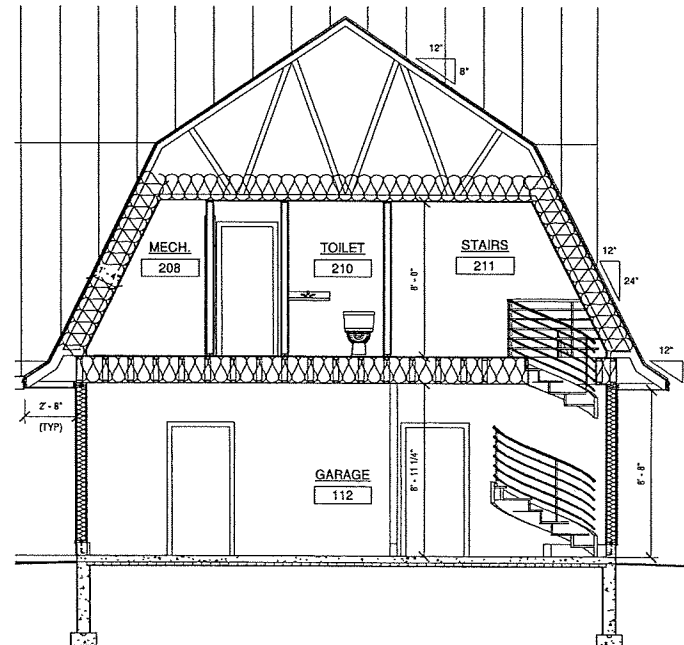
REVISIONS		
NO.	DESCRIPTION	DATE

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CLIENT KORB-WILLS RESIDENCE 5328 LAKE MENDOTA DRIVE, MADISON WI		
SHEET TITLE ELEVATIONS		
PROJECT NUMBER Project Number	DATE JAN 2, 2013	A5
SCALE 1/4" = 1'-0"		

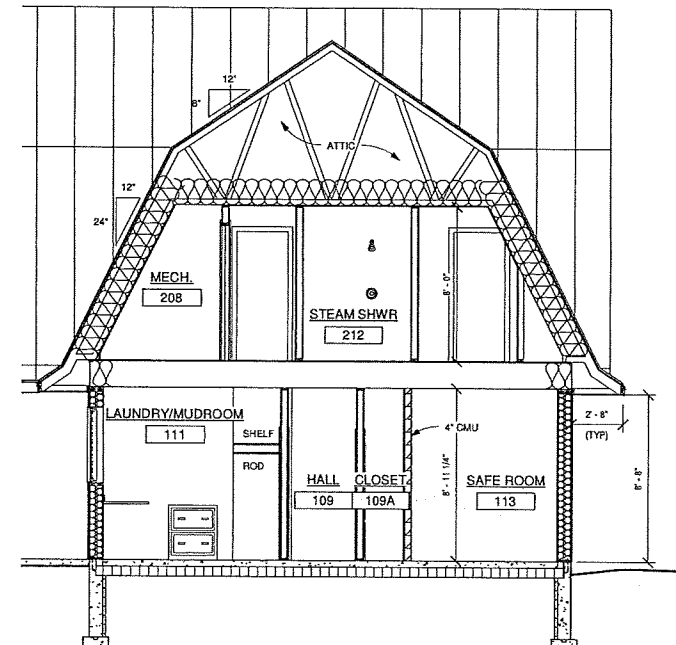
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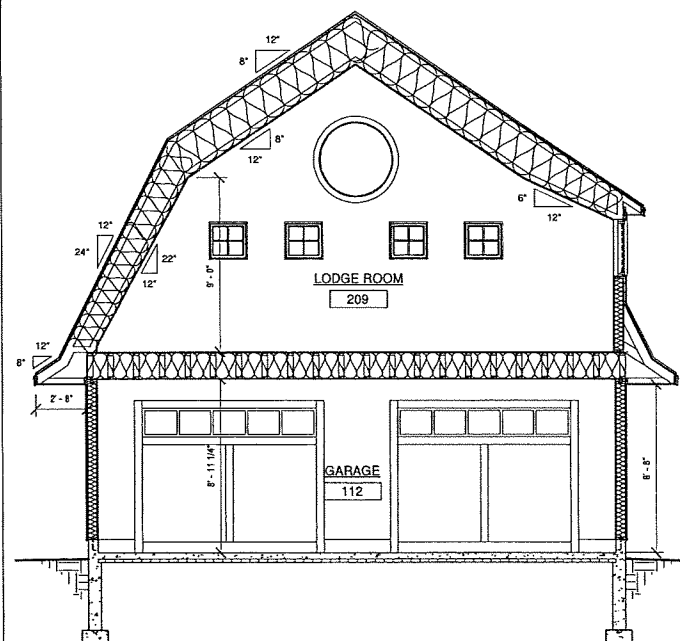
1 GARAGE - LOOKING WEST
A6 1/4" = 1'-0"



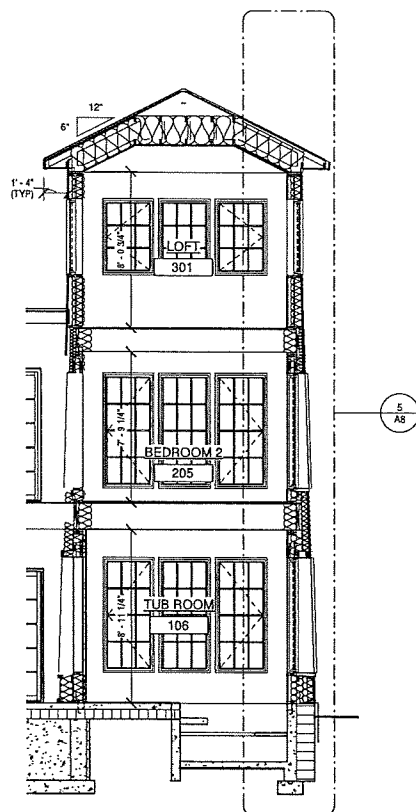
2 GARAGE - EAST THROUGH STAIRS
A6 1/4" = 1'-0"



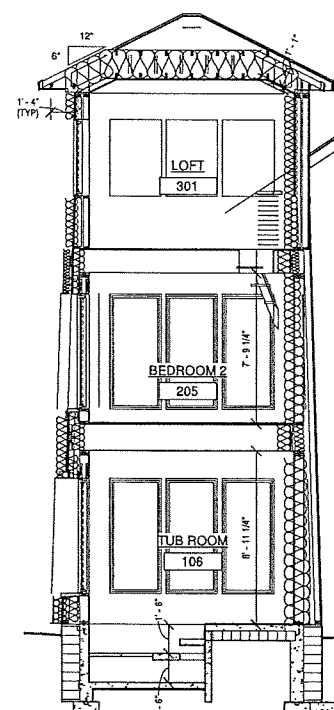
3 SAFE/MECH - LOOKING EAST
A6 1/4" = 1'-0"



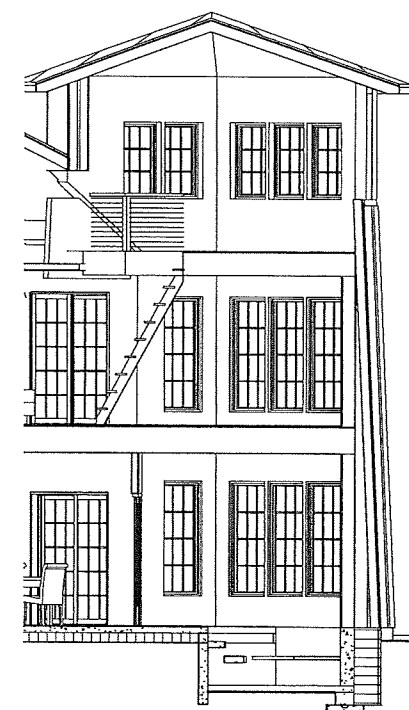
4 GARAGE - LOOKING WEST2
A6 1/4" = 1'-0"



5 TOWER - LOOKING EAST
A6 1/4" = 1'-0"



7 TOWER - LOOKING NORTH
A6 1/4" = 1'-0"



6 TOWER - LOOKING NE THROUGH LADDER
A6 1/4" = 1'-0"

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SHEET TITLE
BUILDING SECTIONS

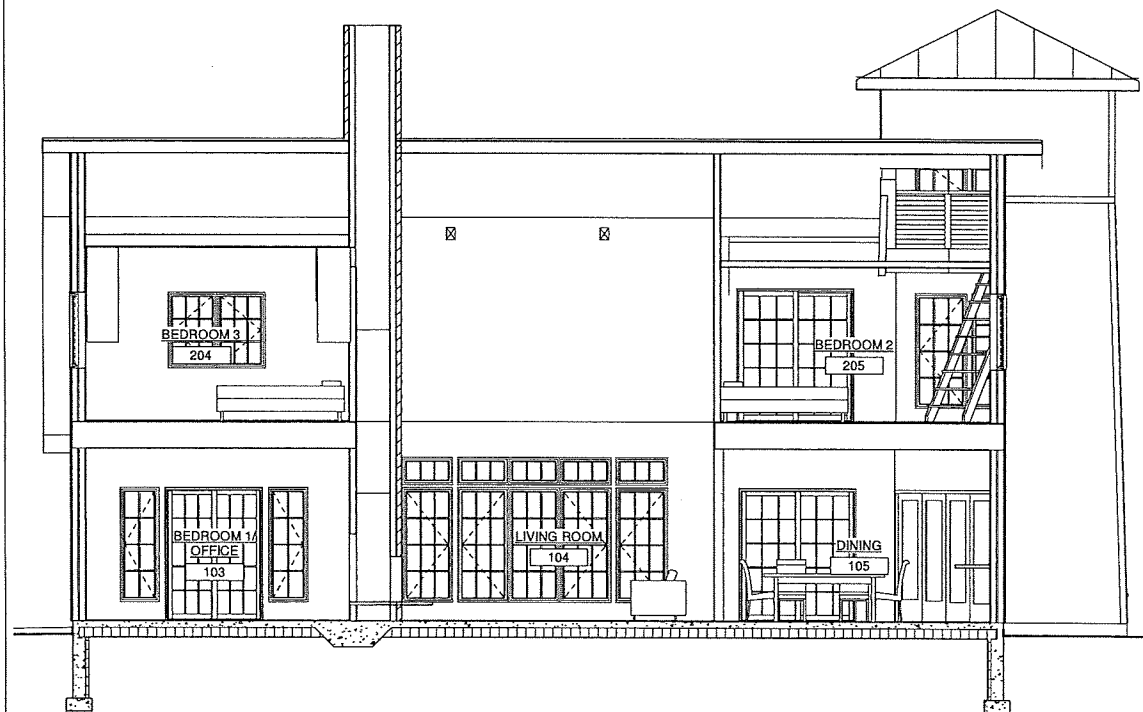
PROJECT NUMBER
Project Number

DATE
JAN 2, 2013

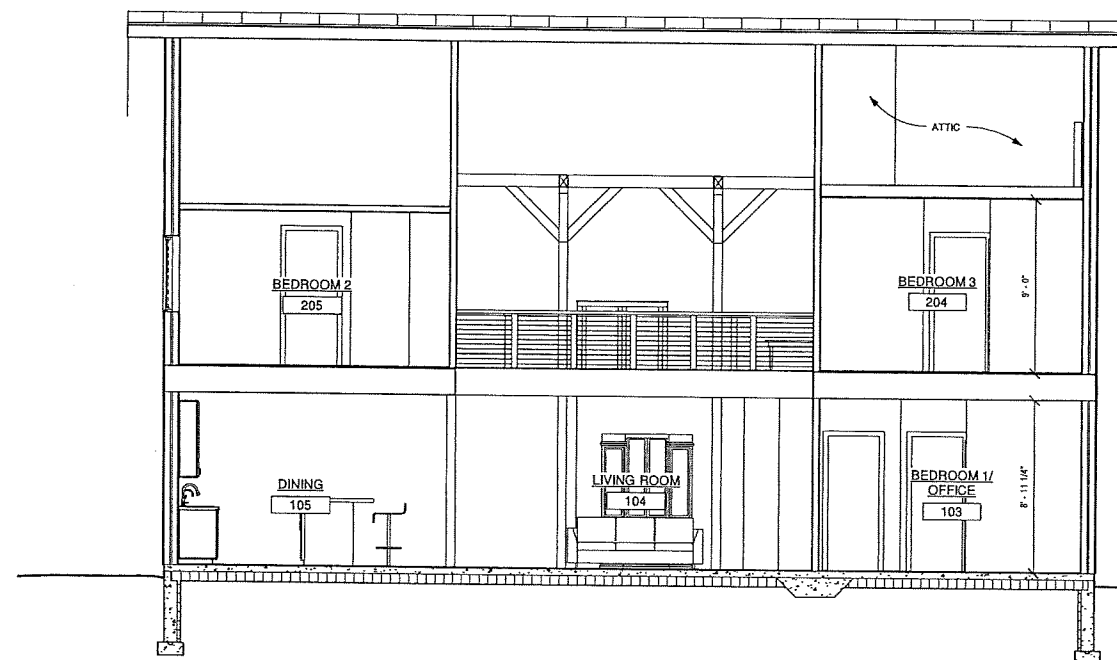
SCALE
1/4" = 1'-0"

A6

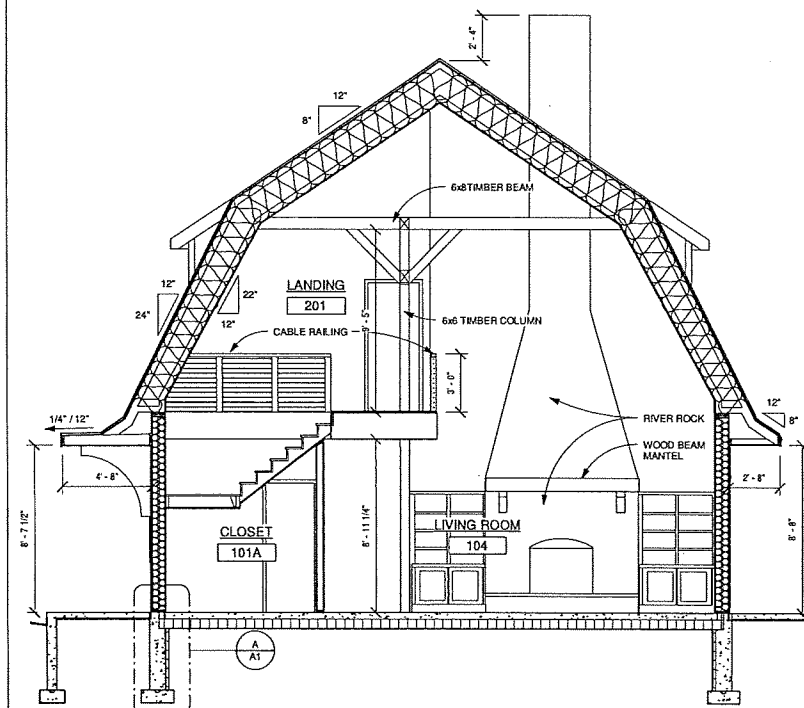
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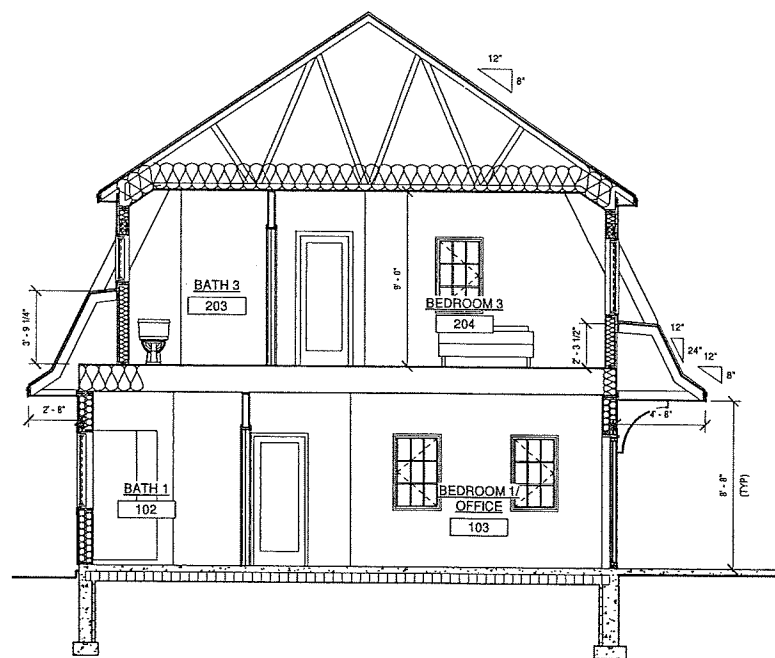
1 N-S AXIS - LOOKING EAST
A7 1/4" = 1'-0"



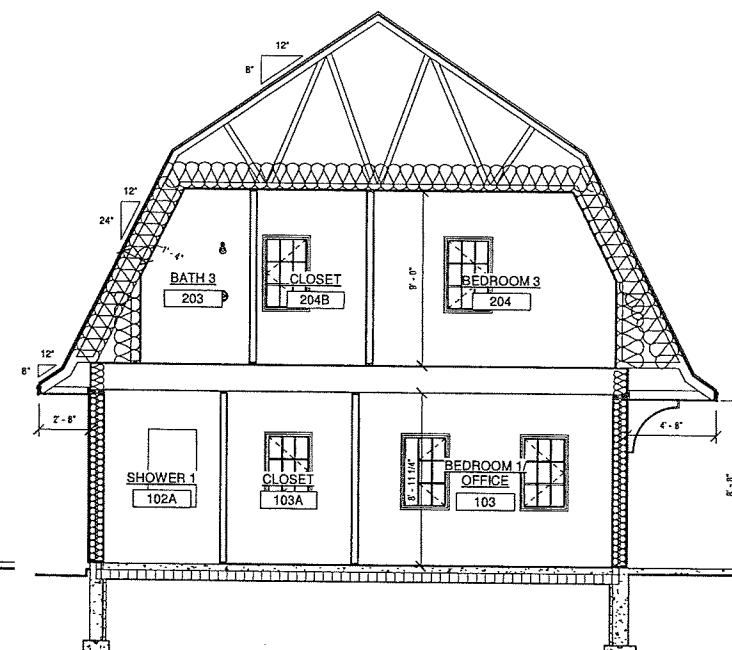
2 N-S AXIS - LOOKING WEST
A7 1/4" = 1'-0"



3 LIVING - LOOKING NORTH
A7 1/4" = 1'-0"

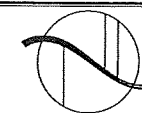


4 BEDROOM 103 - NORTH @ DORMER
A7 1/4" = 1'-0"



5 BEDROOM 105 - LOOKING NORTH
A7 1/4" = 1'-0"

REVISIONS		
NO.	DESCRIPTION	DATE



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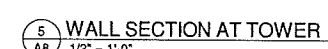
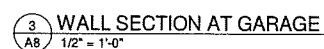
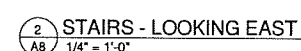
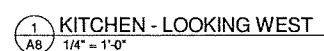
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SHEET TITLE
BUILDING SECTIONS

PROJECT NUMBER Project Number	DATE JAN 2, 2013
SCALE 1/4" = 1'-0"	A7

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<u>PROJECT NUMBER</u> Project Number	<u>DATE</u> JAN 2, 2013
<u>SCALE</u> As indicated	A8

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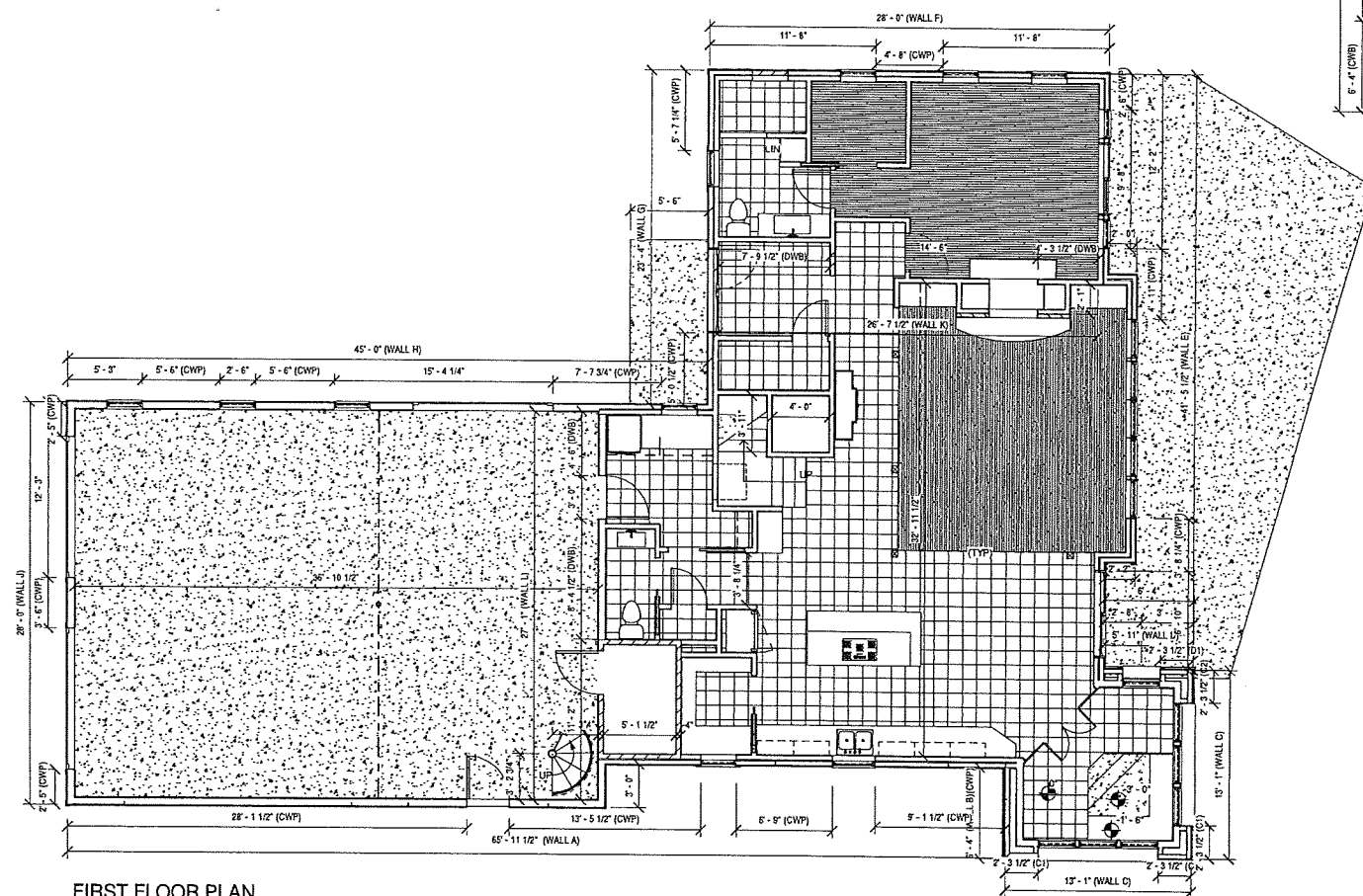
FIRST FLOOR BRACING:	A	B	C	D	E	F	G	H	J	K	L
WALL LABEL											
WALL LENGTH (INCHES)	792	76	157	59	48	336	280	540	338	320	324
WALL HEIGHT (INCHES)	108	108		108	108	108	108	108	108	108	154
PANEL TOTAL LENGTH (INCHES)	644	76	55	27	158	216	178	308	308	458	488
% PANEL TO TOTAL	86%	100%	35%	48%	32%	64%	64%	50%	30%	45%	100%
MN REQ'D PANEL %	16%	25%	25%	25%	16%	16%	16%	16%	16%	16%	16%
TYPE OF BRACED WALL	CWP	CWP	SPE/SH	SPE/SH	CWP	CWP	CWP	CWP	CWP	DWB	DWF

[illegible]

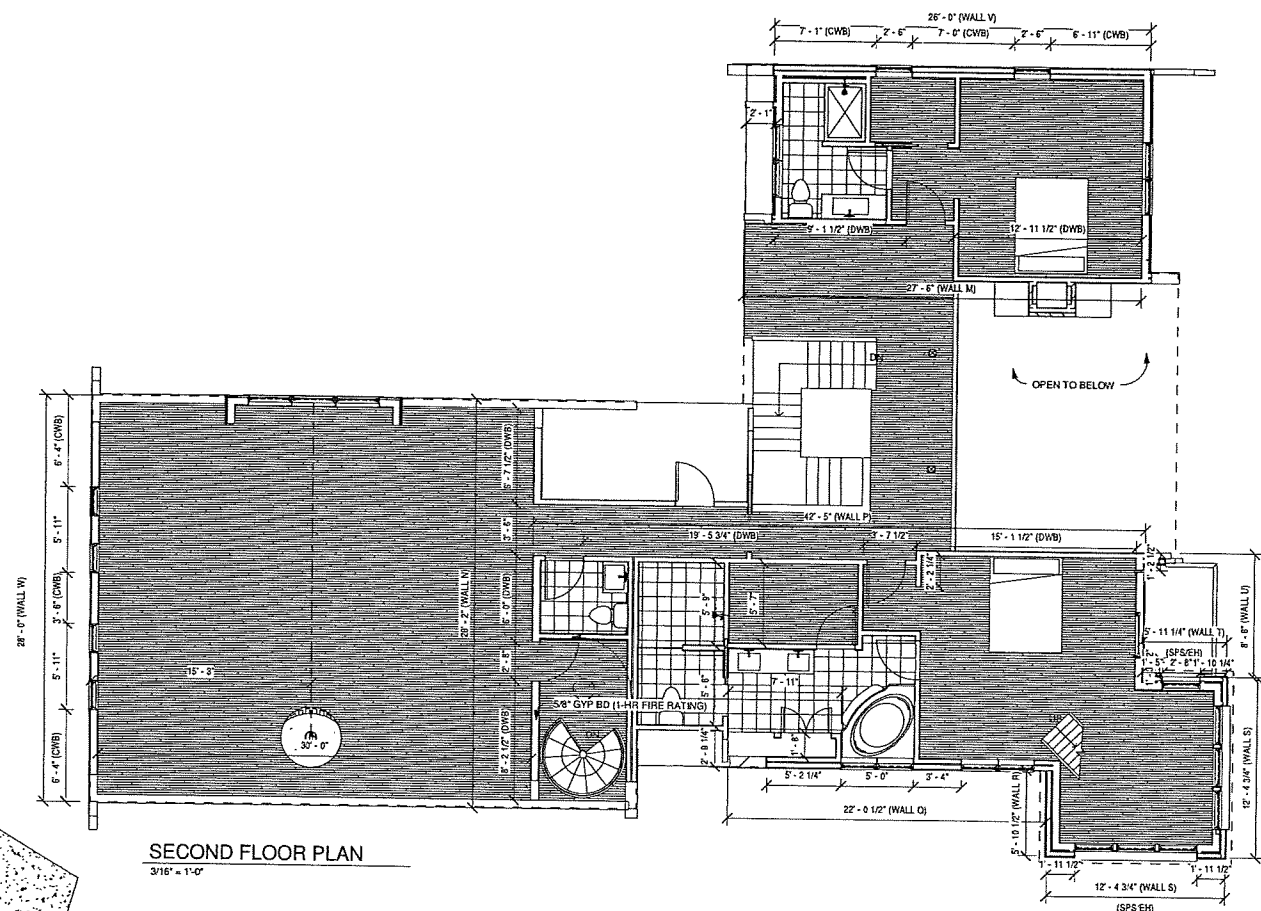
CWP - CONTINUOUS WOOD PANEL BRACING: 7/16" MIN OSB OR PLYWOOD; FASTEN @ 6" OC @ EDGES; 12" O.C. IN CENTER

DWB - DRYWALL WIND BRACING: 1/2" GYPSUM BOARD, APPLIED TO BOTH SIDES OF WALL. FASTEN AT 6" O.C. @ EDGES & 12" O.C. IN CENTER

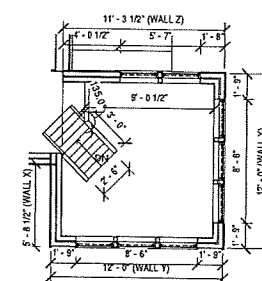
SPS/EH - STRUCTURAL PANEL SHEATHING WITH EXTENDED HEADER



FIRST FLOOR PLAN
3/16" = 1'-0"



SECOND FLOOR PLAN
3/16" = 1'-0"



LOFT FLOOR PLAN
3/16" = 1'-0"

REVISIONS		
NO.	DESCRIPTION	DATE



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SHEET TITLE

BRACED WALL PLANS

<u>PROJECT NUMBER</u>	<u>DATE</u>
Project Number	JAN 2, 2013
<u>SCALE</u>	B1
3/16" = 1'-0"	

DIVISION 1: GENERAL REQUIREMENTS

ALL CONSTRUCTION SHALL BE COMPLIANT WITH CURRENT CODES. BID DOCUMENTS SHALL BE INSPECTED THOROUGHLY BY BIDDERS, AND ANY DEVIATION FROM CODES SHALL BE IDENTIFIED BY THEM PRIOR TO SUBMITTING BID.

BID SHALL BE SUBMITTED ELECTRONICALLY TO ARCHITECT, WITH COPY TO OWNERS.

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jill@porcupineproducts.com
kndickma@gmail.com

SCHEDULING: WITHIN 30 DAYS OF CONTRACT AWARD, GENERAL CONTRACTOR SHALL PROVIDE A WRITTEN SCHEDULE OF COMPLETION FOR PROJECT

ANY CHANGES TO PLANS, SCOPE, MATERIALS, SHALL BE ACCOMPANIED BY PRICING CHANGE AND APPROVED BY ARCHITECT AND OWNER PRIOR TO IMPLEMENTATION.

GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY BATHROOM FACILITIES ON-SITE.

NO CIGARETTE SMOKING WILL BE ALLOWED WITHIN 20 FEET OF HOUSE FOOTPRINT. ALL CIGARETTE BUTTS SHALL BE DISPOSED OF IN FIREPROOF RECEPTACLE PROVIDED BY GENERAL CONTRACTOR

SITE SHALL BE KEPT FREE OF DEBRIS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SEPARATION AND RECYCLING OF ALL RECYCLABLE MATERIALS, AS DESCRIBED BELOW:

PAPER & CARDBOARD: RECYCLED
WOOD CUT-OFFS: USED AS BLOCKING WHERE POSSIBLE;
OTHER STORED ON-SITE AND GROUND AS MULCH
AT END OF PROJECT

METALS: RECYCLED
DRYWALL: STORED DRY; RECYCLED OFF-SITE
METALS: RECYCLED OFF-SITE
PLASTICS: RECYCLED OFF-SITE

NOTE: NO CONSTRUCTION SITE DUMPSTER SHALL BE REQUIRED.

STAGING AND PARKING: ALL VEHICLES AND CONSTRUCTION MATERIALS SHALL STAY WITHIN DESIGNATED STAGING AND PARKING AREAS. CARPOOLING IS ENCOURAGED WHERE POSSIBLE TO REDUCE NUMBERS OF VEHICLES ON-SITE. ALL CONSTRUCTION MATERIALS SHALL BE STORED ABOVE GROUND, KEPT CLEAN, AND PROTECTED FROM DAMAGE.

TEMPORARY EROSION CONTROLS: SILT FENCING SHALL BE INSTALLED AS INDICATED ON SITE PLAN.

PROJECT ACCESS: ARCHITECT AND OWNERS SHALL BE PROVIDED WITH ACCESS CODE FOR DOOR LOCKS DURING AND AFTER CONSTRUCTION.

DIVISION 2: EXISTING CONDITIONS

GENERAL CONTRACTOR SHALL INCLUDE COST OF STAKING HOME PRIOR TO FOUNDATION WORK, TO ASSURE PROPER SETBACK COMPLIANCE FROM PROPERTY LINES AND ORDINARY HIGH WATER MARK.

TREES CLEARED FOR DRIVE AND HOUSE, UNDER SEPARATE CONTRACT BY OWNER. EXCAVATOR WILL BE RESPONSIBLE FOR REMOVAL STUMPS.

FINAL GRADE SHALL BE COORDINATED W/ LANDSCAPER. LANDSCAPER SHALL INSTALL GEO-GRID SOIL STABILIZER

DIVISION 3: CONCRETE WORK

FOUNDATIONS CONSTRUCTED PER ATTACHED DRAWINGS. FLATWORK SHALL BE COORDINATED WITH ROOM FINISH SCHEDULES TO ASSURE LEVEL SURFACE THROUGHOUT

DIVISION 4: STONE MASONRY

STONEWORK SELECTION AND LAYOUT SHALL BE APPROVED BY ARCHITECT AND OWNER PRIOR TO INSTALLATION.

DIVISION 5: METALS

DIVISION 6: WOOD

PER ATTACHED DRAWINGS.
ROUGH FRAMING: SHALL BE CONDUCTED WITH MINIMAL WASTE. ALL WOOD MATERIALS FROM RAIN FOREST MUST SHOW PROOF OF FSC (FOREST STEWARDSHIP COUNCIL) CERTIFICATION

DIVISION 7: THERMAL AND MOISTURE PROTECTION

ALL WINDOWS AND DOORS SHALL BE PROPERLY FLASHED TO AVOID MOISTURE DAMAGE. INSTALL CONTINUOUS ICE & WATER SHIELD AROUND ALL WINDOW & DOOR OPENINGS.
ALL WALL AND ROOF PENETRATIONS MUST BE PROPERLY FLASHED AND SEALED/CAULKED.
ALL ROOFING MATERIALS AND HOUSEWRAP MUST BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.

DIVISION 8: WINDOWS AND DOORS

DIVISION 9: FINISHES

PLASTER: 1-COAT LIGHT SKIP-TROWEL FINISH; CONSISTENT FINISH THROUGHOUT; PROVIDE SAMPLE FOR OWNER APPROVAL PRIOR TO APPLICATION.

INTERIOR PAINTS AND STAINS SHALL BE LOW-VOC SHERWIN WILLIAMS. ASSUME SAME PAINT COLOR ON WALLS AND CEILINGS, EACH ROOM. ASSUME FIVE PAINT COLORS, FOR BID PURPOSES.

TILE: WEDI BACKER BOARD AND CONTINUOUS WATERPROOF MEMBRANE SHALL BE INSTALLED ON SHOWER WALLS AND CEILING. ALL TILE SHALL BE INSTALLED PER CERAMIC TILE INSTITUTE OF AMERICA SPECIFICATIONS.

WOOD FLOORING: SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS. CONCRETE FLOOR MOISTURE CONTENT MUST BE MEASURED AND RECORDED PRIOR TO INSTALLATION OF WOOD FLOORS.

TYPICAL CLOSET SHELVING: SHALL BE 3/4" PLYWOOD, STAINED AND SEALED, WITH HARDWOOD NOSING. SUPPORT WITH 1x LEDGER AT BACK AND ENDS.

DIVISION 10: SPECIALTIES

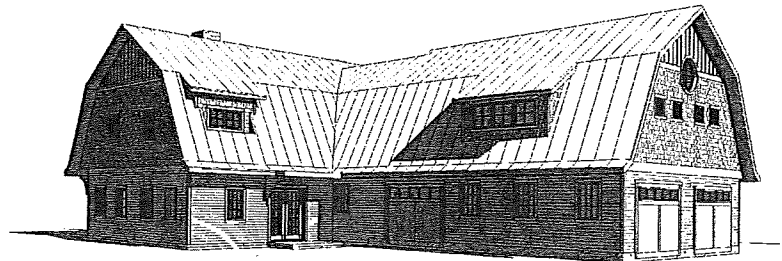
FIREPLACES: MANUFACTURER AND MODEL ARE NOTED ON PLANS. PROVIDE MAKEUP AIR AND EXHAUST VENTILATION PER MANUFACTURER SPECIFICATIONS.

CABINETRY: PER SHEETS

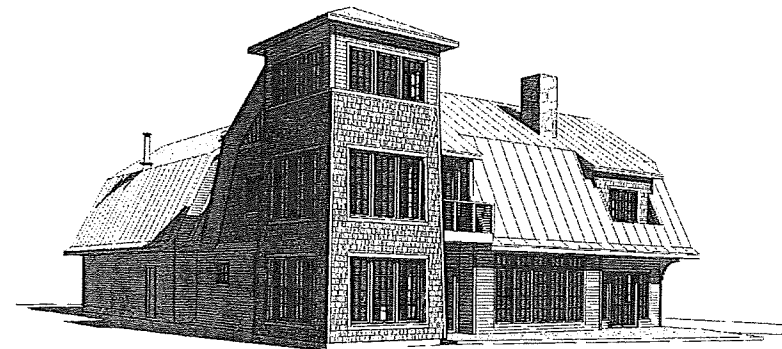
MIRRORS: 1/4" THICK, SIZED PER SHEETS; BY BUILDER

DIVISION 12: FURNISHINGS

ALL WINDOWS COVERINGS PROVIDED UNDER SEPARATE CONTRACT. CASEWORK PER ATTACHED SHEETS



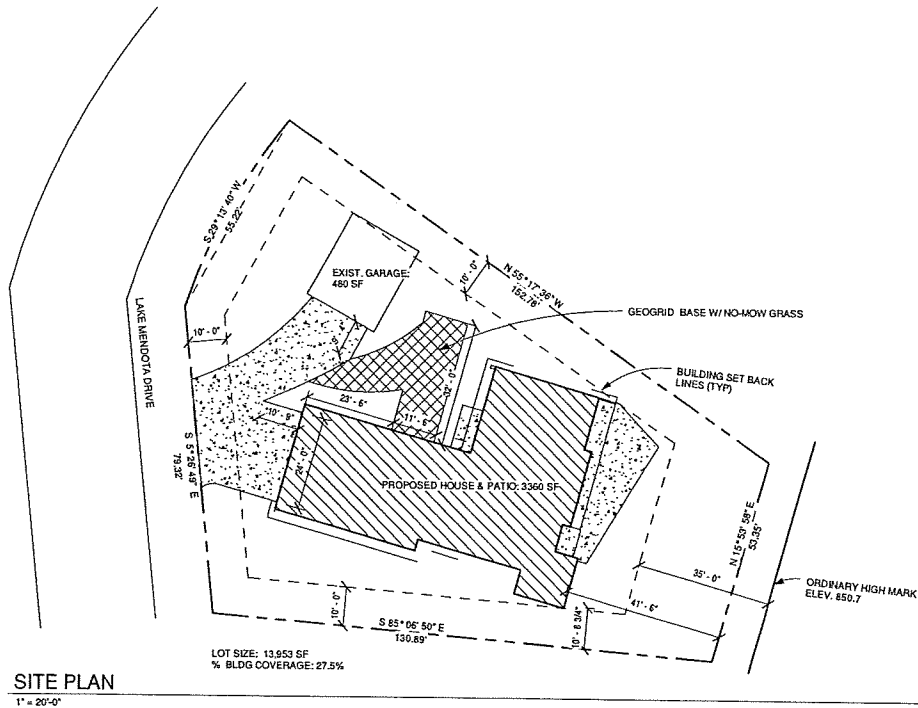
NORTHWEST



SOUTHEAST

PROJECT DESCRIPTION:

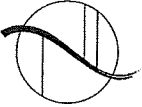
SINGLE-FAMILY SUPERINSULATED RESIDENCE WITH SOLAR ELECTRIC ENERGY. SUBSTRATE: SAND, NO GROUNDWATER, TESTED TO 10' DEPTH



BUILDING AREA DATA	
LEVEL	AREA
DECKS/PATIOS	
FIRST FLOOR	585 SF
SECOND FLOOR	38 SF
	623 SF
FINISHED AREA	
FIRST FLOOR	1708 SF
SECOND FLOOR	2343 SF
	4050 SF
GARAGE	
FIRST FLOOR	1062 SF
	1062 SF
Grand total	5736 SF

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ARCHITECTURAL	
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REVISIONS		
NO.	DESCRIPTION	DATE


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SHEET TITLE
SITE PLAN & SPECIFICATIONS

PROJECT NUMBER Project Number	DATE JAN 2, 2013
SCALE 1" = 20'-0"	C1

1/2/2013 8:13:00 PM