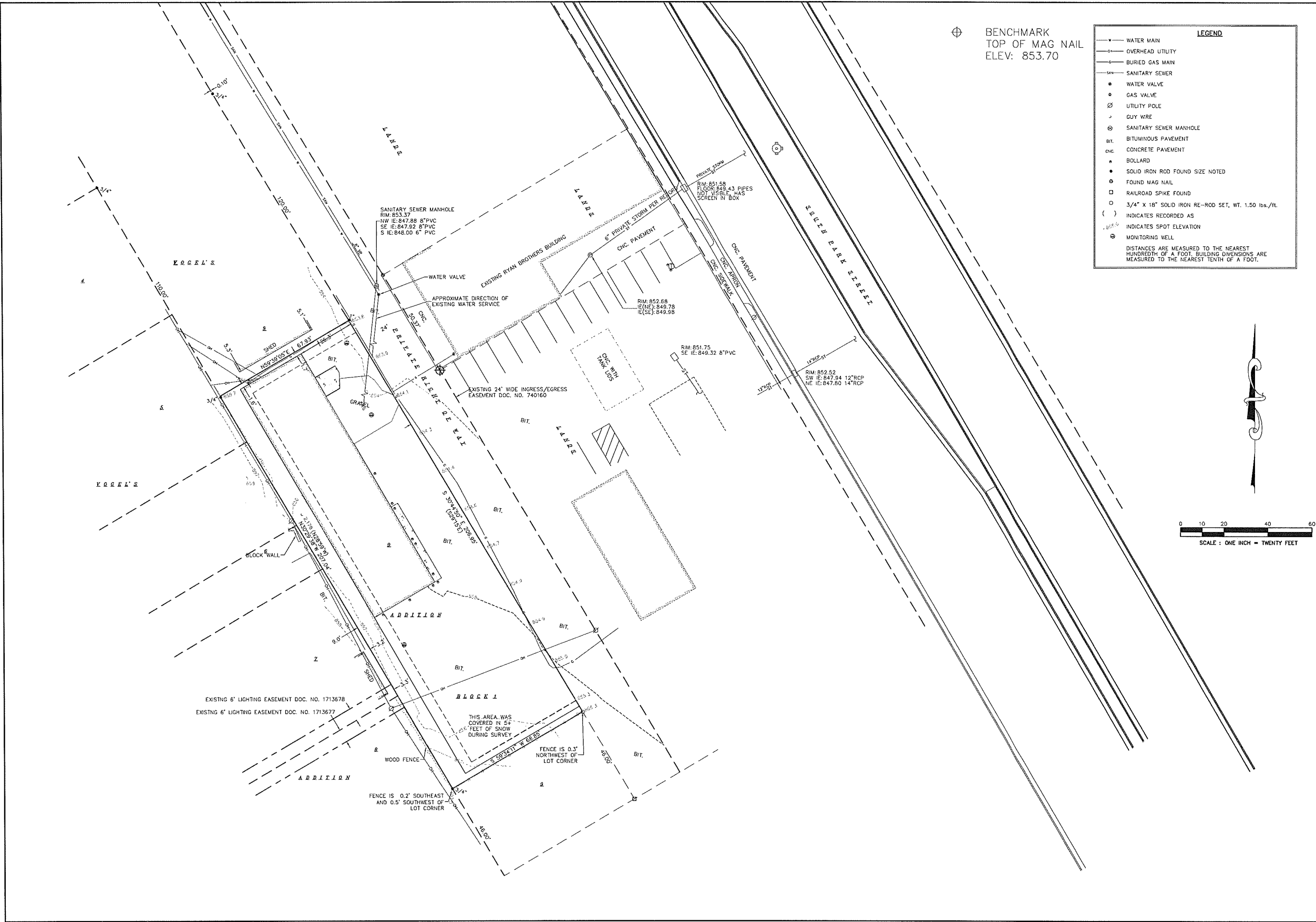


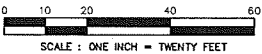


⊕ BENCHMARK
TOP OF MAG NAIL
ELEV: 853.70

LEGEND

- WATER MAIN
- OVERHEAD UTILITY
- BURIED GAS MAIN
- SANITARY SEWER
- WATER VALVE
- GAS VALVE
- ⊙ UTILITY POLE
- GUY WIRE
- ⊙ SANITARY SEWER MANHOLE
- BIT. BITUMINOUS PAVEMENT
- CNC. CONCRETE PAVEMENT
- BOLLARD
- SOLID IRON ROD FOUND SIZE NOTED
- FOUND MAG NAIL
- ⊙ RAILROAD SPIKE FOUND
- ⊙ 3/4" X 16" SOLID IRON RE-ROD SET, WT. 1.50 lbs./ft.
- () INDICATES RECORDED AS
- INDICATES SPOT ELEVATION
- ⊙ MONITORING WELL

DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT. BUILDING DIMENSIONS ARE MEASURED TO THE NEAREST TENTH OF A FOOT.



Burse
Surveying and Engineering, Inc.

1400 E. Washington Ave, Suite 150
Madison, WI 53703
Phone: 608-250-9283
Fax: 608-250-9286
e-mail: mburse@BSE-INC.net
www.bursesurveying.com

APPROVALS	PROJECT ENG.	NLS	REPRESENTATIVE	PDF	DATE	NLS	DATE	NLS

Ryan Brothers Ambulance Office Annex

915 Haywood Dr.
Madison, WI

Acker Builders & Realty

101 E. Main St., Suite 2
Waunakee, WI 53597

PROJECT #: BSE1618-13
PLOT DATE: 04-02-2013

REVISION DATES:

NO.	DATE	DESCRIPTION

ISSUE DATES:

NO.	DATE	DESCRIPTION

EXISTING CONDITIONS

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DRAWING NUMBER

C-100

\\Lectica\m\BSE1618\Engineering\BSE1618-Pkg.DWG

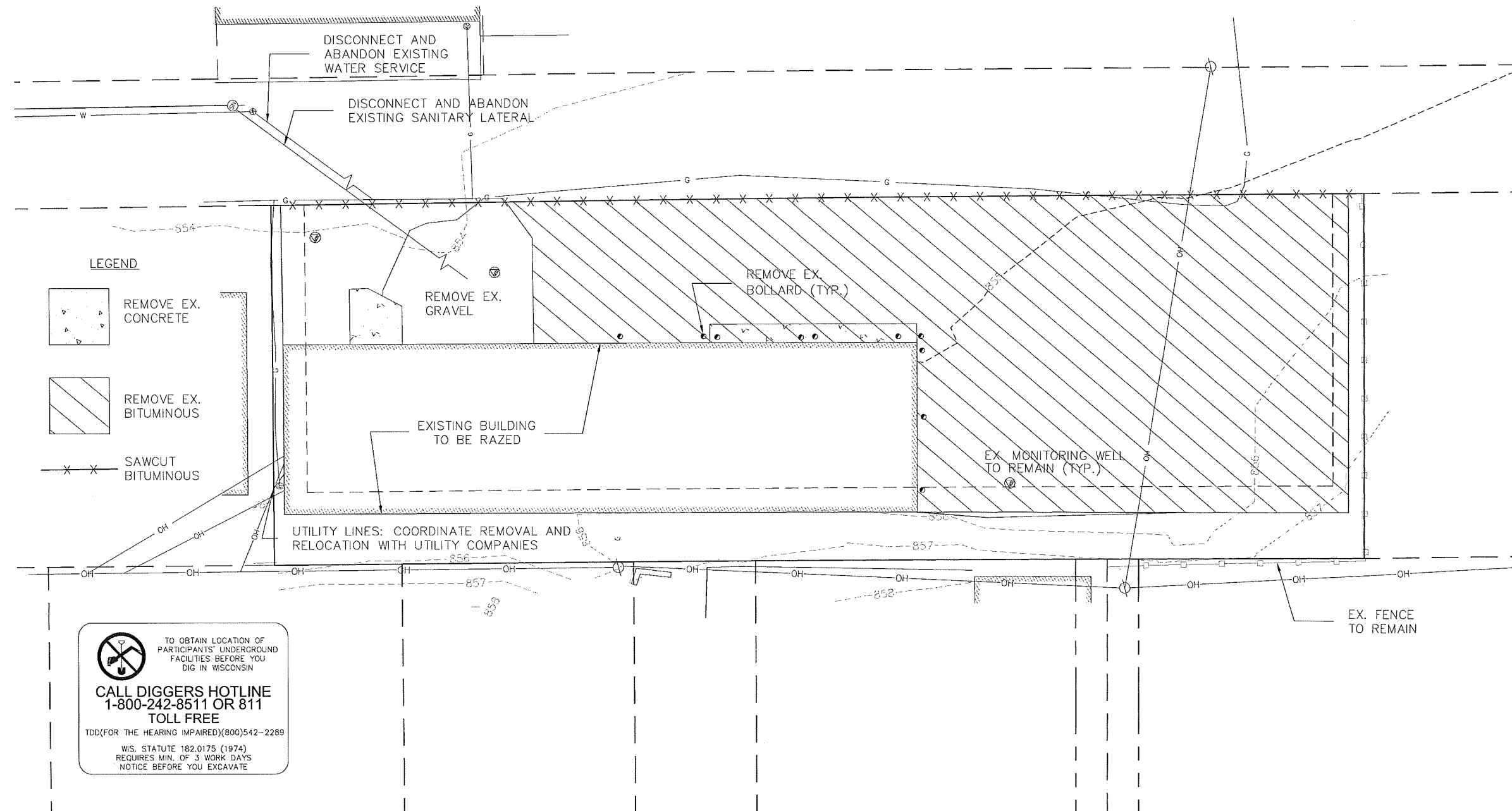
Printed: Apr 02, 2013 - 4:31pm Printed By: XPMUser

GENERAL NOTES:

1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATIONS AS SHOWN ON THE PLANS.
2. ANY PAVEMENT ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION.
3. PRIOR TO THE USE OF THESE DRAWINGS FOR CONSTRUCTION PURPOSES, THE USER SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF BUILDINGS WITH THE ARCHITECTURAL SITE PLAN. IF CONFLICTS EXIST THE USER OF THESE DRAWINGS SHALL CONTACT THE ENGINEER IMMEDIATELY.

DEMOLITION NOTES:

1. COORDINATE EXISTING UTILITY REMOVAL WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
2. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
3. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.



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www.burseengineering.com

APPROVALS	MLB	PDF	MLB
PROJECT MAN.	REVIEWED BY	DESIGNED BY	CHECKED BY
DATE	DATE	DATE	DATE

Ryan Brothers Ambulance Office Annex
915 Haywood Dr.
Madison, WI
Acker Builders & Realty
101 E. Main St., Suite 2
Waunakee, WI 53597

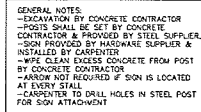
PROJECT #:	BSE1618-13
PLOT DATE:	04-02-2013
REVISION DATES:	
ISSUE DATES:	04-02-2013

DEMOLITION PLAN

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DRAWING NUMBER
C-101

EX. RYAN
BROTHERS
BUILDING
922 S.
PARK ST.



APPROVALS	PROJECT ENG:	MLB	PDF	PDF	CHECKED BY:	MLB	APPROVES:	MLB
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Madison, WI
er Builders & Realty
101 E. Main St., Suite 2
Waunakee, WI 53597

[illegible]

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DRAWING NUMBER

C-102

APPROVAL	SIGNATURE	DATE
PLANNING & DEVELOPMENT		
ZONING ADMINISTRATOR		
CITY ENGINEERING		
TRAFFIC ENGINEERING		
FIRE DEPARTMENT		
ALDER		

1. Erosion control devices and/or structures shall be installed prior to clearing and grubbing operations. These shall be properly maintained for maximum effectiveness until vegetation is re-established.
2. Erosion control is the responsibility of the contractor until acceptance of this project. Erosion control measures as shown shall be the minimum precautions that will be allowed. The contractor shall be responsible for recognizing and correcting all erosion control problems that are the result of construction activities. Additional erosion control measures, as requested in writing by the state or local inspectors, or the developer's engineer, shall be installed within 24 hours.
3. All erosion control measures and structures serving the site must be inspected at least weekly or within 24 hours of the time 0.5 inches of rain is produced. All maintenance will follow an inspection within 24 hours.
4. Construction Entrances – Provide a stone tracking pad at each point of access. Install according to WDNR Standard 1057. Refer to WDNR's stormwater web page of technical standards at: http://dnr.wis.gov/topic/stormwater/standards/const_standards.html. The Tracking Pad must be maintained in a condition that prevents the tracking of material onto the public street.
5. Storm Sewer Inlets – Provide WDOT Type D "Catchall" inlet protection or equivalent. Refer to WDOT Product Acceptability List at: <http://www.dot.wiscninja.gov/business/engserv/pal.htm>. Inlet protection shall be installed prior to the storm sewer system receiving site runoff. Other than for performing maintenance, these devices shall not be removed until stabilization is complete.
6. Erosion control devices shall adhere to the technical standards found at: <http://dnr.wis.gov/runoff/stormwater/techstds.htm> and comply with all City of Madison ordinances.
7. All debris tracked onto public streets shall be swept or scraped clean by the end of each workday.
8. All disturbed areas shall be seeded immediately after grading activities have been completed.
13. All disturbed areas, except paved areas, shall receive a minimum of four (4) inches of topsoil, fertilizer, seed, and mulch. Seed mixtures shall be selected appropriate to the intended function. A qualified Landscaping Contractor, Landscape Architect or Nursery can be consulted for recommendations. Seeding rates shall be based on pounds or ounces of Pure Live Seed per acre and shall be provided by the seed supplier. Fertilizer can be applied to help promote growth, but a soil test is recommended to determine the type and amount of fertilizer to be applied. All seeding and restoration shall be in conformance to WDNR Technical Standard 1059 found at http://dnr.wis.gov/topic/stormwater/standards/const_standards.html. Seeding and sodding may only be used from May 1st to September 15th of any year. Temporary seed shall be used after September 15. If temporary seeding is used, a permanent cover shall also be required as part of the final site stabilization.
14. For the first six (6) weeks after the initial stabilization of a disturbed area, watering shall be performed whenever more than seven (7) days of dry weather elapse.

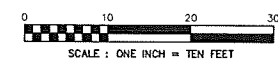
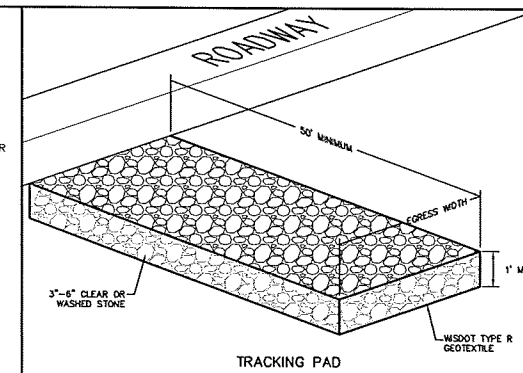
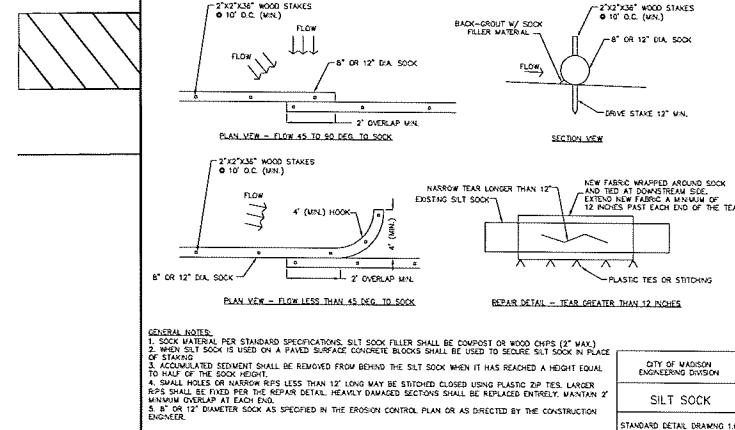
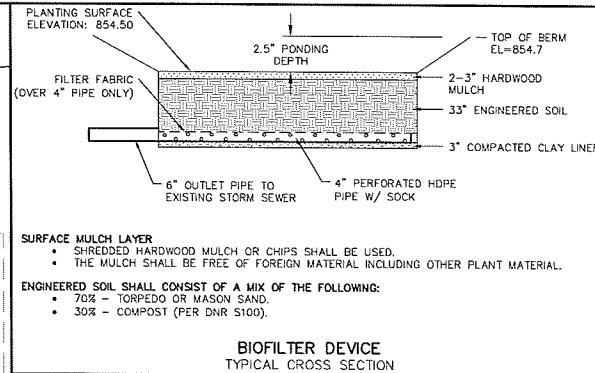
Emergency Contact
Wayne Acker
Acker Builders, Inc.
101 E Main St., #2
Waunakee, WI 53597
(608) 220-5008

June 30, 2013	Install silt fence and construction entrance. Begin demolition and land disturbance.
September 2, 2013	Building Complete. Base course installed. Apply seed and mulch to all disturbed areas and/or install landscaping.
November 2, 2013	Vegetation established.

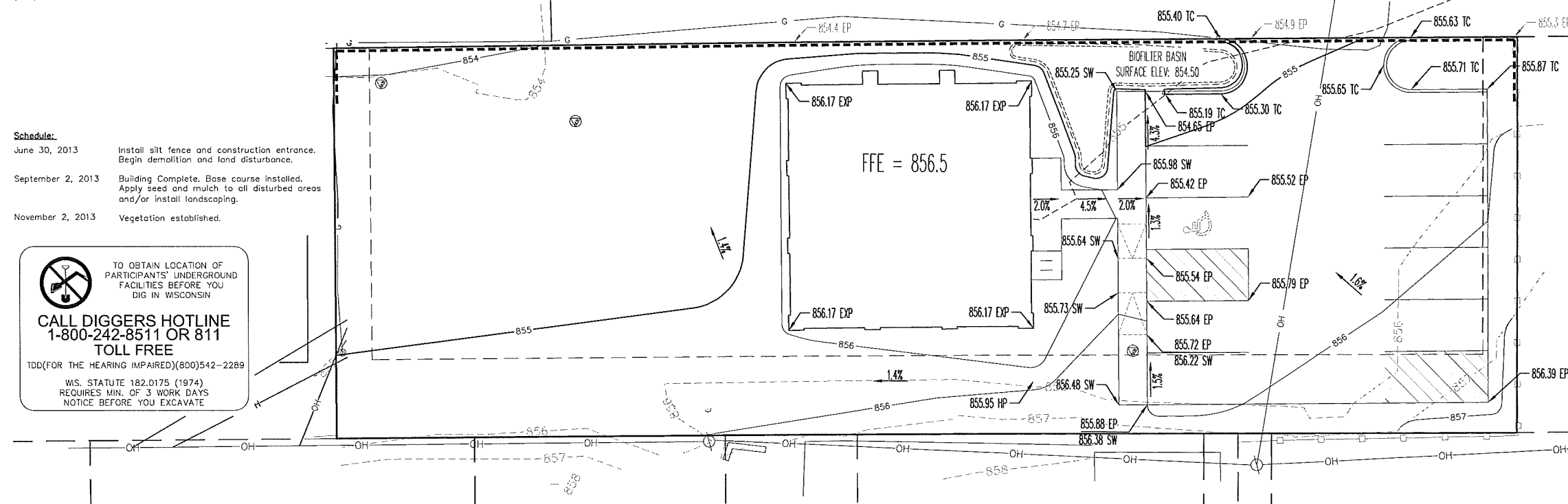


RYAN
BROTHERS
AMBULANCE
922 S. PARK

SITE BENCHMARK
TOP OF MAG NAIL
ELEV = 853.70



LEGEND	
---E1---	EXISTING MINOR CONTOUR
---855---	EXISTING MAJOR CONTOUR
—854—	PROPOSED MINOR CONTOUR
—855—	PROPOSED MAJOR CONTOUR
■ ■ ■ ■ ■	SILT SOCK
FFE	FINISHED FLOOR ELEVATION
855.30	PROPOSED FINISH GRADE
854.0	EXISTING GRADE



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Ryan Brothers Ambulance Office Annex

Acker Builders & Realty
101 E. Main St., Suite 200
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(608) 261-1111

PROJECT #:	BSE1618-13
PLOT DATE:	04-02-2013

REVISION DATES:

ISSUE DATES:
04-02-2013

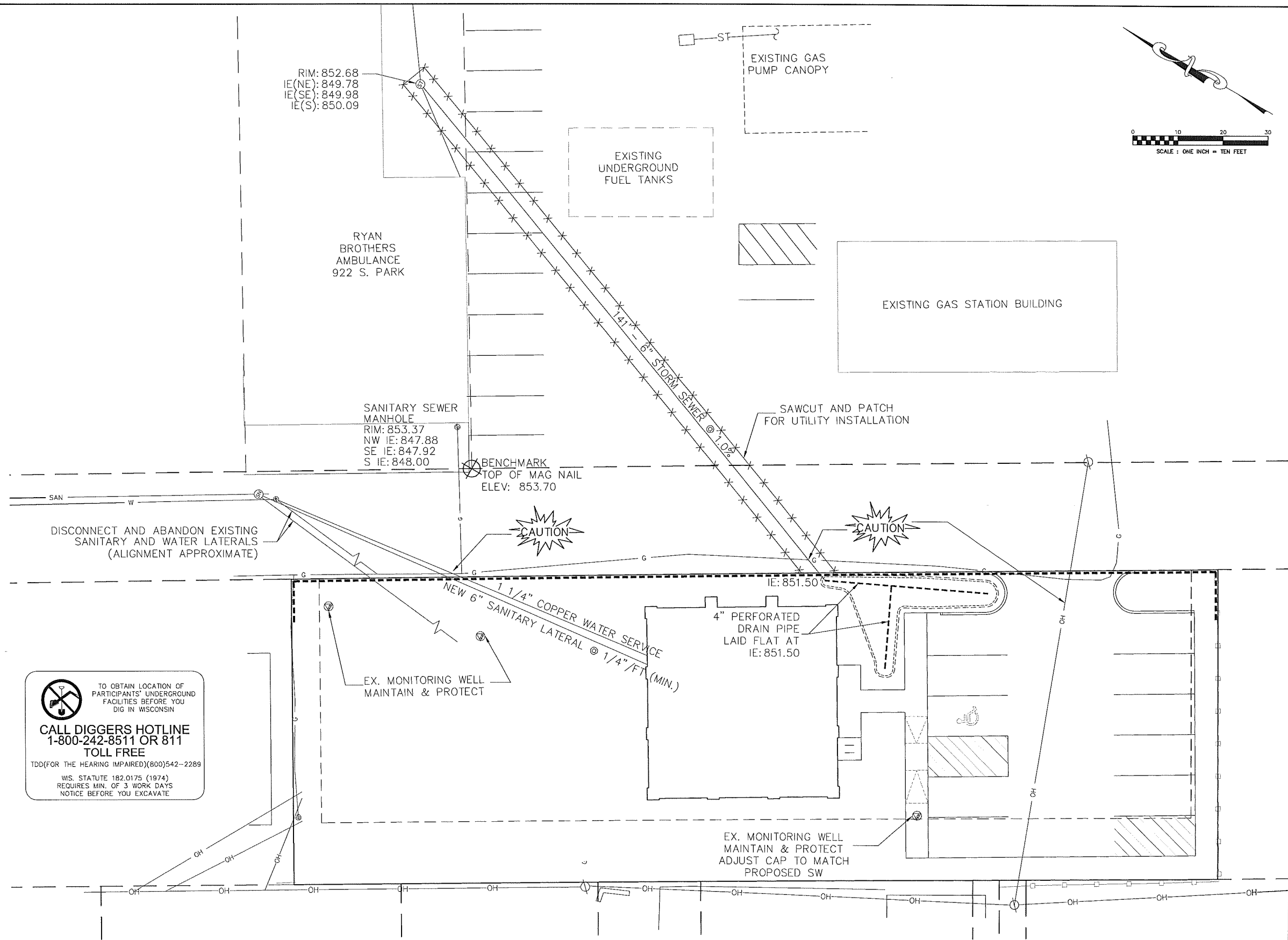
GRADING & EROSION CONTROL PLAN

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DRAWING NUMBER

C-103




 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511 OR 811
TOLL FREE
 TDD(FOR THE HEARING IMPAIRED)(800)542-2289
 WS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

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APPROVALS	MLB
PROJECT CHART	MLB
DESIGNED BY	MLB
DRAWN BY	MLB
CHECKED BY	MLB
INCHES BY	MLB
APPROVED	MLB

Ryan Brothers Ambulance Office Annex
 915 Haywood Dr.
 Madison, WI
Acker Builders & Realty
 101 E. Main St., Suite 2
 Waunakee, WI 53597

PROJECT #:	BSE1618-13
PLOT DATE:	04-02-2013
REVISION DATES:	
ISSUE DATES:	04-02-2013

UTILITY PLAN

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 DRAWING NUMBER
C-104

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BACK BAY SUBDIVISION

BLOCK 2

HAYWOOD DRIVE

WEST BAY

SOUTH PARK STREET

EXISTING BRICK
FACED BUILDING

RYAN BROTHER'S AMBULANCE
922 SOUTH PARK ST.

PRIVATE RIGHT-OF-WAY

EXISTING STEEL
SIDED SHED
68'0" x 54'12" W 67.93'
(N60°45'E 68.18')

PROPOSED
OFFICE ANNEX
43' x 43'
3,269 s.f.

VOGEL'S ADDITION
BLOCK 1

SUBJECT PROPERTY
915 HAYWOOD DR.
LOT 9



SITE PLAN "D"
SCALE: 1" = 30'

revisions:

date: 05-08-13

file: 12393-Building Plans 312d.mxd
design: ACKER BUILDERS
drawn: SMR

project #

12393

sheet /

6
OF 6

PROJECT:

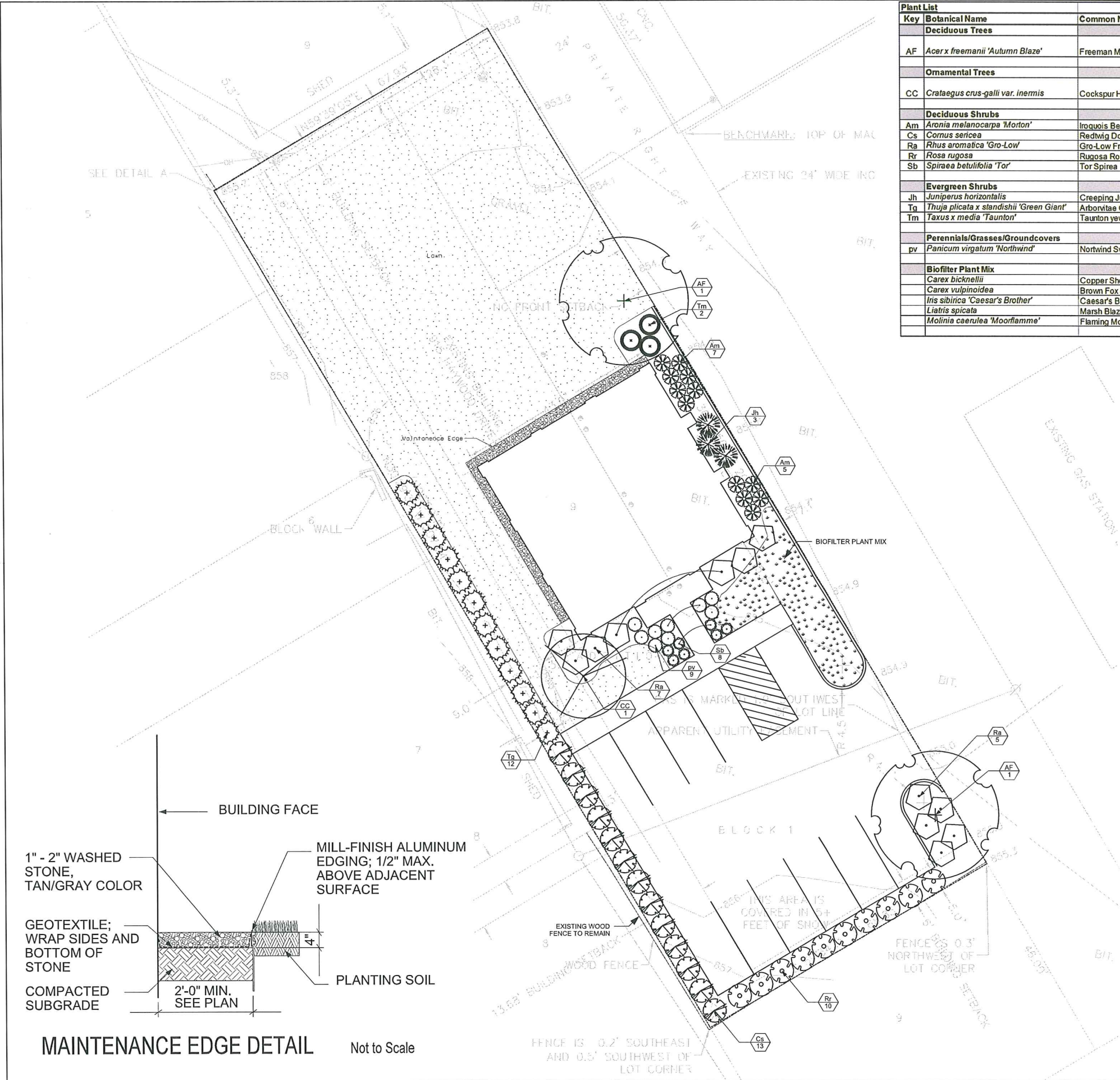
**Ryan Brothers Ambulance
Office Annex**
922 South Park St., Madison, WI

DESIGN/BUILD BY:

ACKER BUILDERS & REALTY
CONTACT: Jenny Acker
101 E. Main St. Suite 2, Wauwatosa, WI 53597
P: 608-850-6650 F: 608-850-6653

DRAFTING BY:

Building SolutionZ, Inc.
CONTACT: Sean Reimer
P.O. Box 364 Wauwatosa, WI 53597
Phone: (608) 555-4900 Fax: (608) 295-3730
http://www.BUILDINGSOLUTIONZ.com/



Plant List						
Key	Botanical Name	Common Name	Quantity	Size	Spec	Comments
Deciduous Trees						
AF	<i>Acer x freemanii</i> 'Autumn Blaze'	Freeman Maple	2	2.5" cal.	B&B	Single, straight leader; match specimens; branching shall start at 5'-0" min.
Ornamental Trees						
CC	<i>Crataegus crus-galli</i> var. <i>inermis</i>	Cockspur Hawthorn	1	2.5" cal.	B&B	Single, straight leader; match specimens; branching shall start at 5'-0" min.
Deciduous Shrubs						
Am	<i>Aronia melanocarpa</i> 'Morton'	Iroquois Beauty Chokeberry	12	18" ht.	Cont.	Space 3'-0" o.c.
Cs	<i>Cornus sericea</i>	Redwig Dogwood	13	24" ht.	Cont.	Space 4.5' o.c.
Ra	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Fragrant Sumac	12	24" sp.	Cont.	Space 3'-0" o.c.
Rr	<i>Rosa rugosa</i>	Rugosa Rose	10	18" ht.	Cont.	Space 5'-0" o.c.
Sb	<i>Spiraea betulifolia</i> 'Tor'	Tor Spirea	7	12" sp.	Cont.	Space 3'-0" o.c.
Evergreen Shrubs						
Jh	<i>Juniperus horizontalis</i>	Creeping Juniper	3	18" sp.	Cont.	
Tg	<i>Thuja plicata</i> x <i>standishii</i> 'Green Giant'	Arbortae Green Giant	13	36" ht.	Cont.	Space 3'-0" o.c.
Tm	<i>Taxus x media</i> 'Taunton'	Taunton yew	3	18" ht.	Cont.	
Perennials/Grasses/Groundcovers						
pv	<i>Panicum virgatum</i> 'Northwind'	Northwind Switchgrass	9	3 gal.	Cont.	
Biofilter Plant Mix						
	<i>Carex bicknellii</i>	Copper Shouldered Oval Sedge	89	4"	Plug	
	<i>Carex vulpinoidea</i>	Brown Fox Sedge	89	4"	Plug	
	<i>Iris sibirica</i> 'Caesar's Brother'	Caesar's Brother Siberian Iris	89	4"	Plug	
	<i>Liatris spicata</i>	Marsh Blazing Star	89	4"	Plug	
	<i>Molinia caerulea</i> 'Moorflamme'	Flaming Moor Grass	89	4"	Plug	Randomly mix species & space 1'-0" o.c.

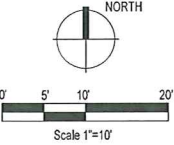
City of Madison, WI Landscape Worksheet			
3-Apr-13			
Traditional Shopping Street District			

Developed Lots		SF	Landscape Units Req.	Landscape Points Req.
Total Developed Area		14,156	47	236
Element	Point Value	Quantity	Total Points	
Overstory Deciduous Tree	35	2	70	
Ornamental Tree	15	1	15	
Evergreen Tree	15		0	
Shrub, deciduous	2	54	108	
Shrub, evergreen	3	18	54	
Ornamental Grass	2	9	18	
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4	5	20	
			285	

Development Frontage		LF	Overstory Tree Req (or x2 for Orn./Evergreen Tree Sub.)	Shrubs Req.
Total LF of Street Frontage Between Bldg./Parking & street		104	3	17
Element	Point Value	Quantity		
Overstory Deciduous Tree	35	2		
Ornamental Tree	15			
Evergreen Tree	15			
Shrub, deciduous	2		20	
Shrub, evergreen	3		3	

Interior Parking Lots		SF	Overstory Tree Req (or x2 for Orn. Tree Sub.)	
Total Parking Lot Area		3,225		
Req. Parking Lot Islands (5%)		161	1	
Element	Point Value	Quantity		
Overstory Deciduous Tree	35	1		
Ornamental Tree	15	1		

NOTE:
1. All plant beds and mulch rings shall have shredded hardwood bark mulch unless otherwise noted.
2. All plant beds shall have shovel-cut edging unless otherwise noted.
3. All disturbed areas shall be repaired with indicated seed or sod.

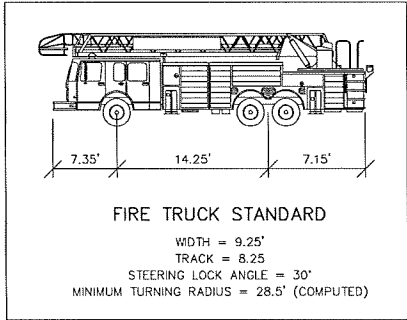
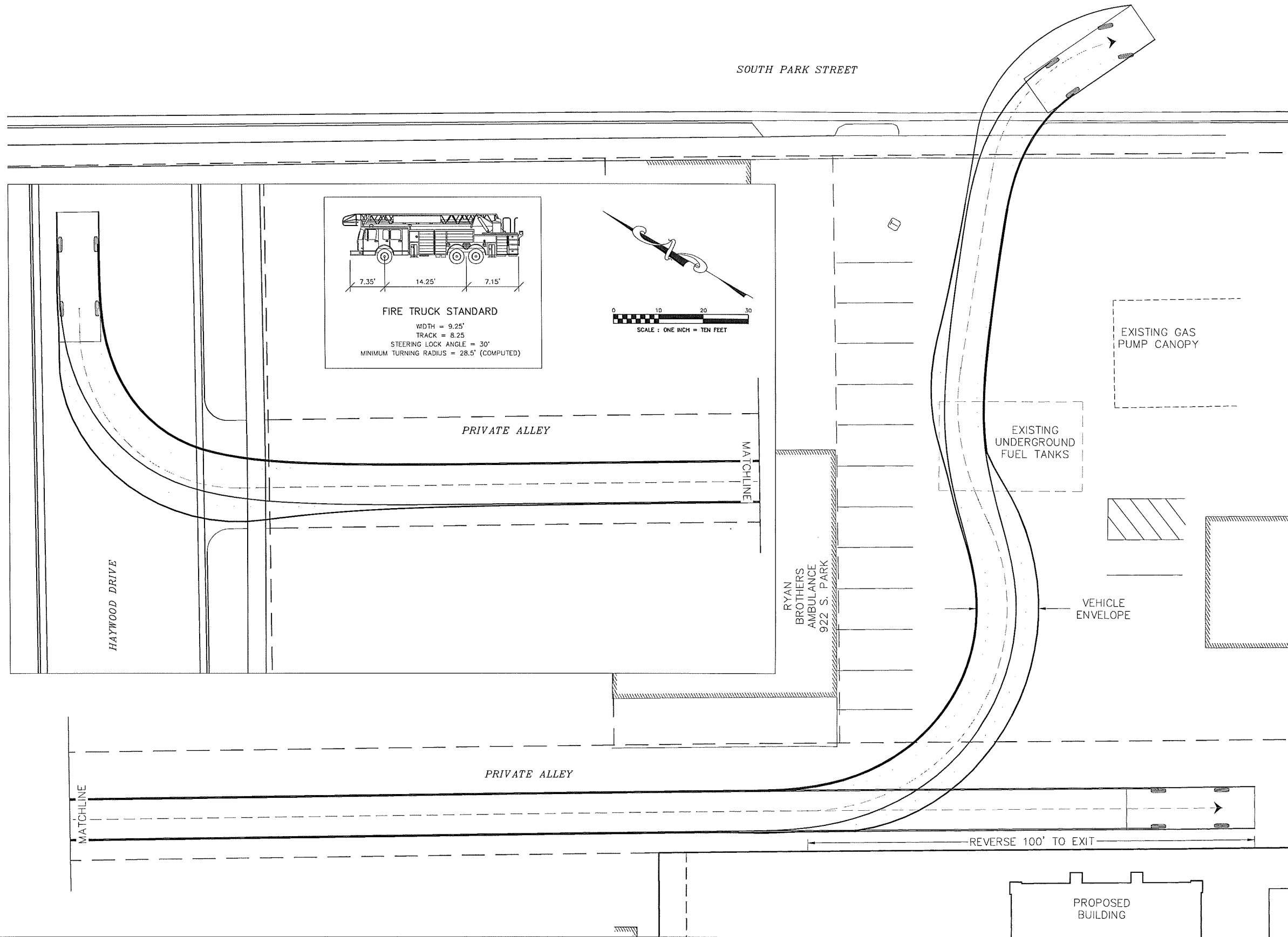


KSD Project No. 2013-013
Date 04-03-2013



RYAN BROTHERS AMBULANCE
OFFICE ANNEX
922 S. Park St., Madison, WI





SCALE : ONE INCH = TEN FEET

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APPROVALS	PROJECT	DATE	BY
MLB	MB	04-02-2013	MB
REVISION	DATE	BY	BY
PDF	MB	04-02-2013	MB
CHECKED	DATE	BY	BY
APPROVED	DATE	BY	BY

Ryan Brothers Ambulance Office Annex
915 Haywood Dr.
Madison, WI
Acker Builders & Realty
101 E. Main St., Suite 2
Wausau, WI 53997

PROJECT #:	BSE1618-13
PLOT DATE:	04-02-2013
REVISION DATES:	
ISSUE DATES:	04-02-2013

FIRE TRUCK ACCESS PLAN
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DRAWING NUMBER
C-105

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FRONT ELEVATION
SCALE: 1/4" = 1'-0"

CURRENT REVISION DATE:
05/08/13

SHEET INDEX:

- 1-6 ELEVATIONS & NOTES
- 2-6 ELEVATIONS & SECTION
- 3-6 FIRST FLOOR PLAN
- 4-6 SECOND FLOOR PLAN
- 5-6 FOUNDATION PLAN
- 6-6 SITE PLAN

CONTRACTOR NOTES:
- DRAWINGS REPRESENT A GENERAL SCOPE OF WORK ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING WORK IN FULL COMPLIANCE WITH ALL APPLICABLE BUILDING CODES.
- VERIFY SITE CONDITIONS AND BUILDING EXPOSURES/DROPS.
- VERIFY WINDOW SIZES AND EGRESS REQUIREMENTS W/ WINDOW MANUFACTURER.
- VERIFY STRUCTURAL MEMBER SIZES AND BEARING LOCATIONS.

DIMENSIONING NOTES:
- EXTERIOR WALLS ARE 5-1/2" THICK (ROUGH FRAME - NO SHEATHING)
- INTERIOR WALLS ARE 3-1/2" THICK UNLESS OTHERWISE NOTED
- EXTERIOR DIMENSIONS ARE TAKEN FROM FACE OF STUD OR MASONRY
- INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF STUD
- VERIFY ALL DIMENSION STRINGS



FLOOR AREAS:
1,736 SQ. FT. FIRST FLOOR
1,533 SQ. FT. LOWER LEVEL

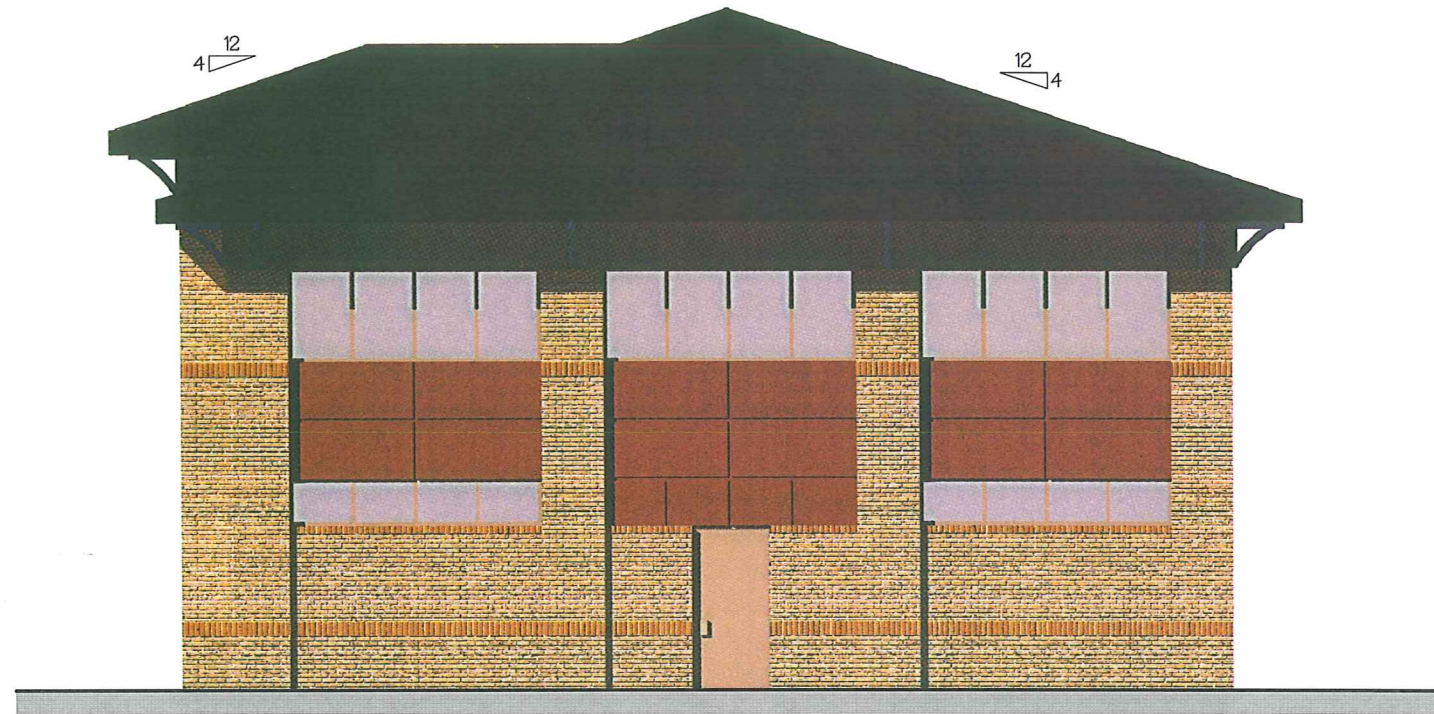


LEFT ELEVATION
SCALE: 1/4" = 1'-0"

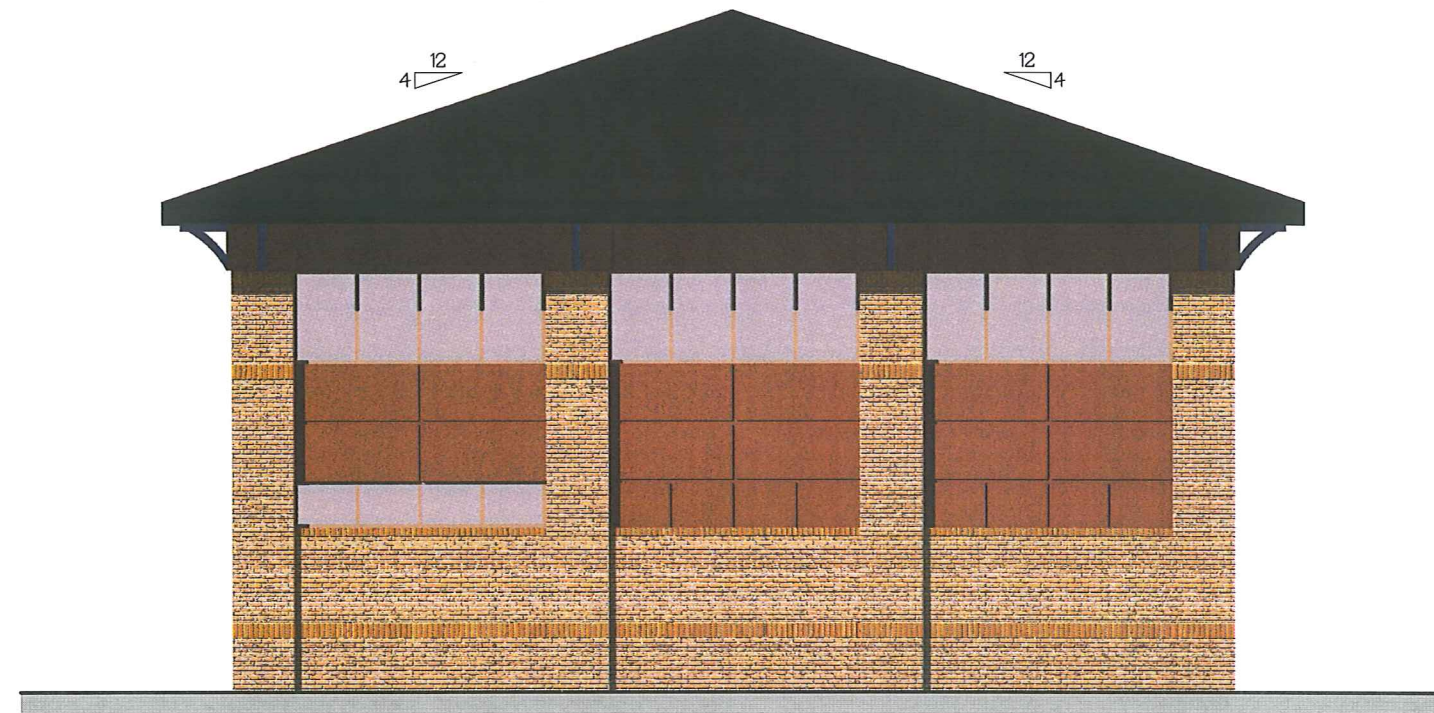
EXTERIOR MATERIAL & COLOR CHART

ITEM	MATERIAL	MANUFACTURER	COLOR
WALL: MAIN	BRICK	BRICKCRAFT	SANDALWOOD
WALL: SOLDIER	BRICK	GENERAL SHALE	OLD CHARLESTON
WALL: ACCENT	EIFS	DRYVIT	SW7522 MEADOWLARK
WALL: CORBEL	EIFS	DRYVIT	SW7607 SANTORINI BLUE
WINDOW	STOREFRONT		CASHMERE
DOOR	STOREFRONT		CASHMERE
FASCIA	ALUMINUM	ALCOA	MUSKET BROWN
SOFFIT	ALUMINUM	ALCOA	MUSKET BROWN
SHINGLES	LAMINATED	OWENS CORNING DURATIONS	TEAK

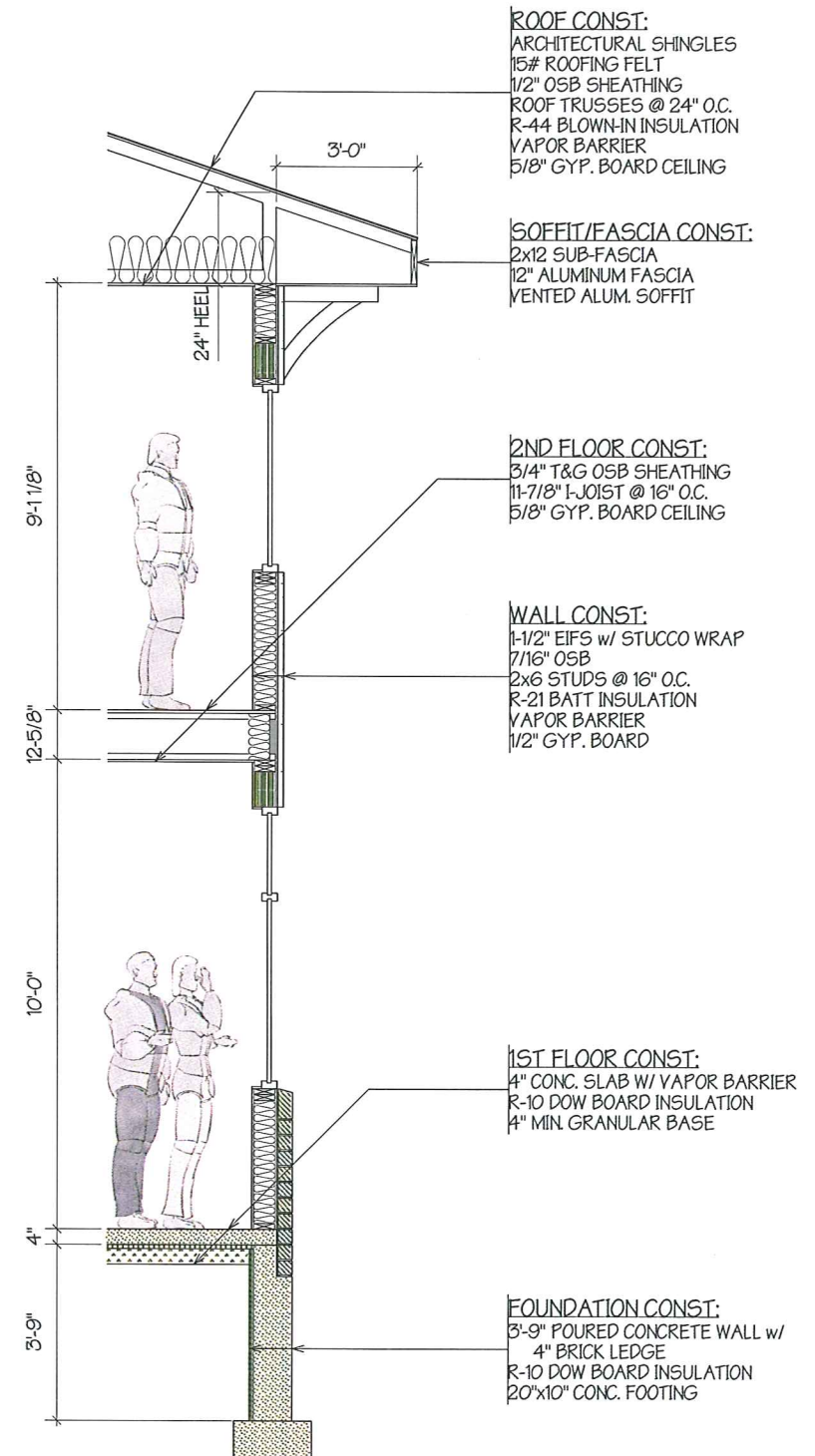
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RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



DRAFTING BY:
Building SolutionZ, Inc.
CONTACT: Sean Reimer
P.O. Box 364 Waunakee, WI 53597
Phone: (608)550-9407 Fax: (608)289-3730
http://www.BUILDINGSOLUTIONZ.COM/

DESIGN/BUILD BY:
ACKER BUILDERS & REALTY
CONTACT: Jenny Acker
101 E. Main St. Suite 200 Waunakee, WI 53597
P: 608-550-6650 F: 608-550-6653

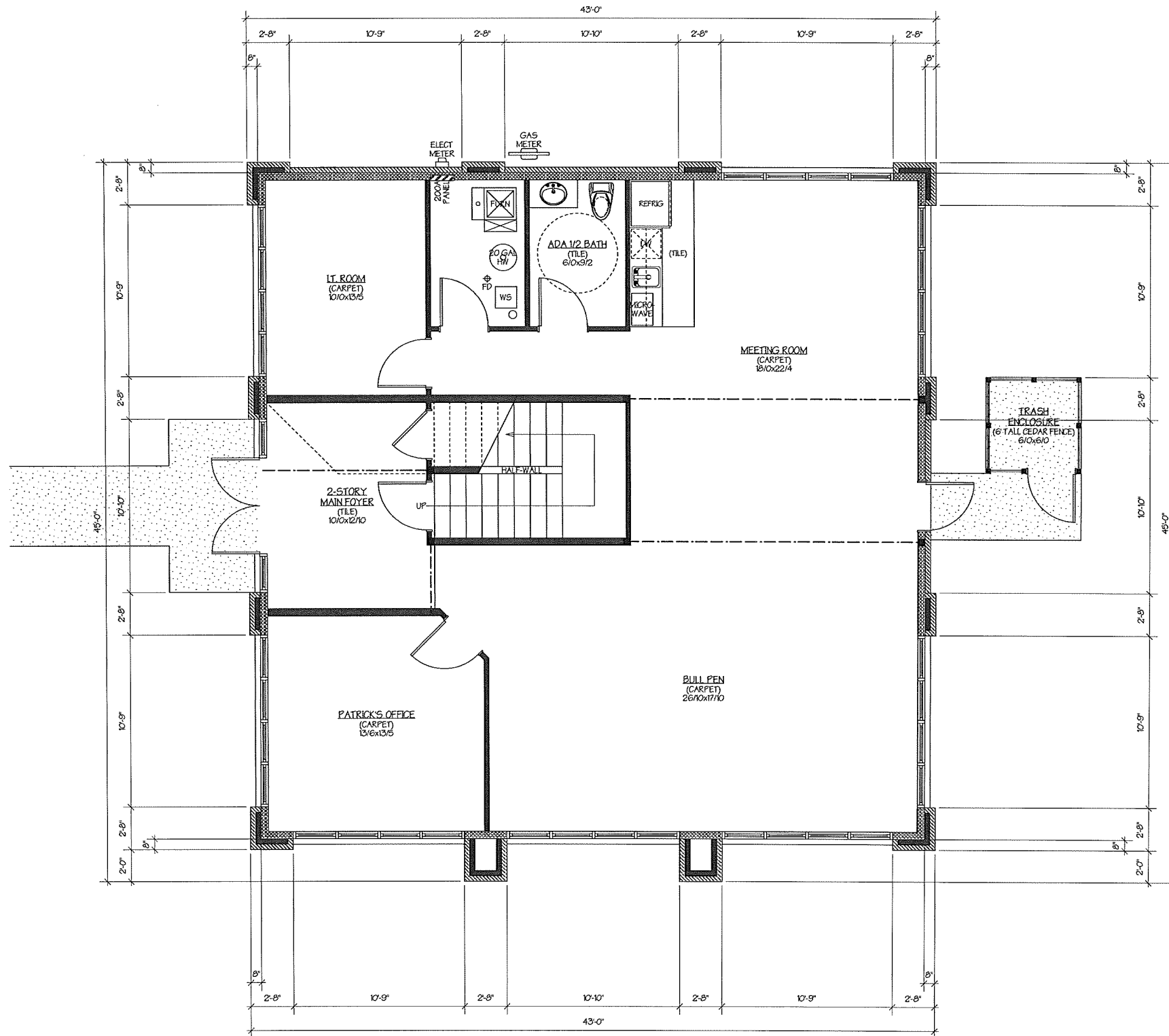
PROJECT:
**Ryan Brothers Ambulance
Office Annex**
922 South Park St., Madison, WI

revisions:
date: 05-08-13
file: 12393-Building Plans 312d.mcd
design: ACKER BUILDERS
drawn: SMR

project #
12393
sheet #
2
OF 6

*NOTE: DRAWINGS ARE 50% REDUCED FOR 11X17 PRINTS.

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FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
1,736 SQ. FT.

revisions:

date: 05-08-13

file: 12393-Building Plans 312d.mcd

design: ACKER BUILDERS

dawn: SMR

project #

12393

sheet #

3
OF 6

PROJECT:

**Ryan Brothers Ambulance
Office Annex**
922 South Park St., Madison, WI

DESIGN/BUILD BY:

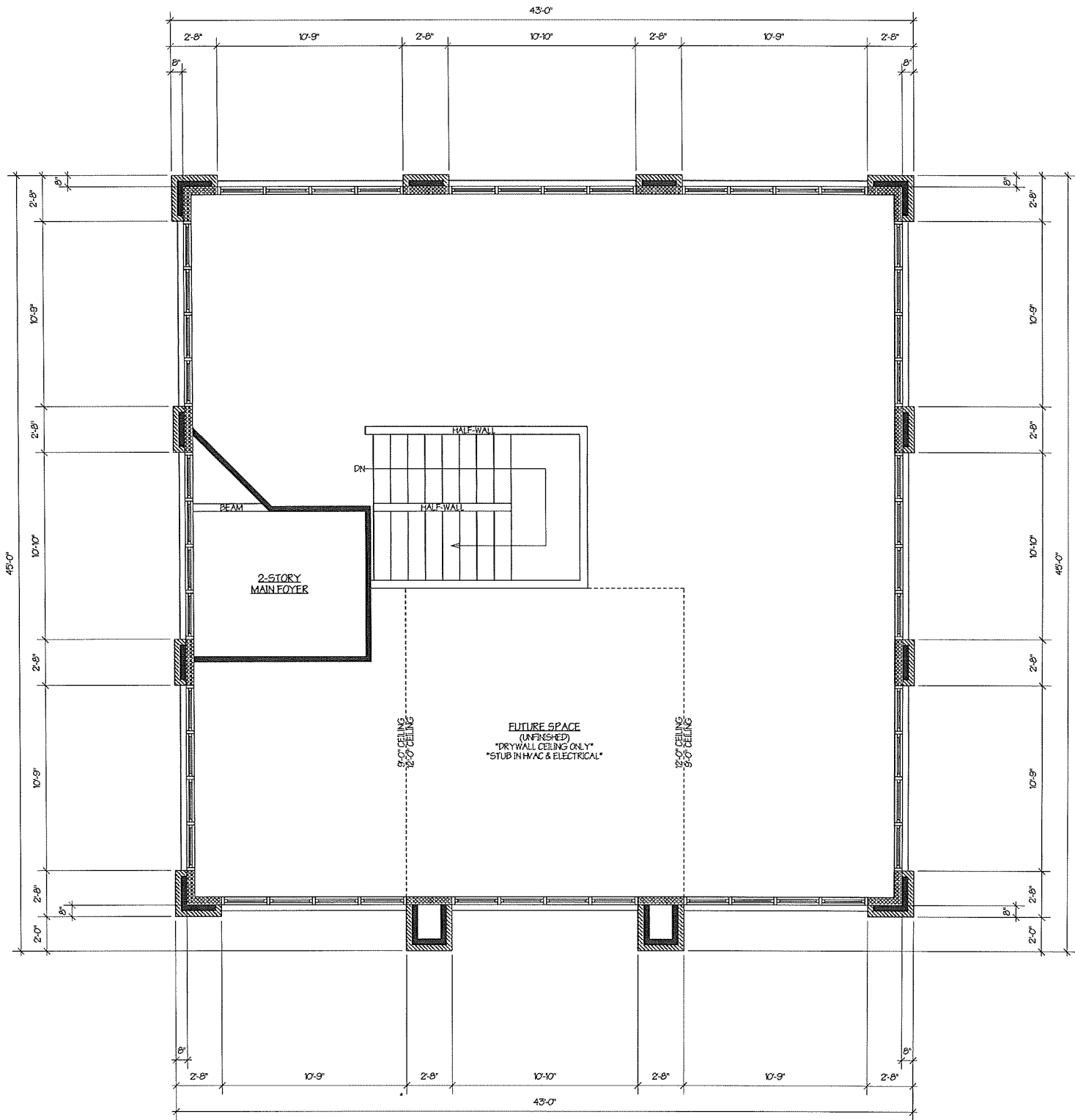
ACKER BUILDERS & REALTY
CONTACT: Jenny Acker
101 E. Main St., Suite 2, Wauwatosa, WI 53597
P: 608-850-6650 F: 608-850-6653

DRAFTING BY:

Building SolutionZ, Inc.
CONTACT: Sean Reimer
P.O. Box 364, Wauwatosa, WI 53597
Phone: (608)850-9407 Fax: (608)298-3730
http://www.BUILDINGSOLUTIONZ.com/

*NOTE: DRAWINGS ARE 50% REDUCED FOR 11X17 PRINTS.

PRELIMINARY ONLY
NOT FOR CONSTRUCTION



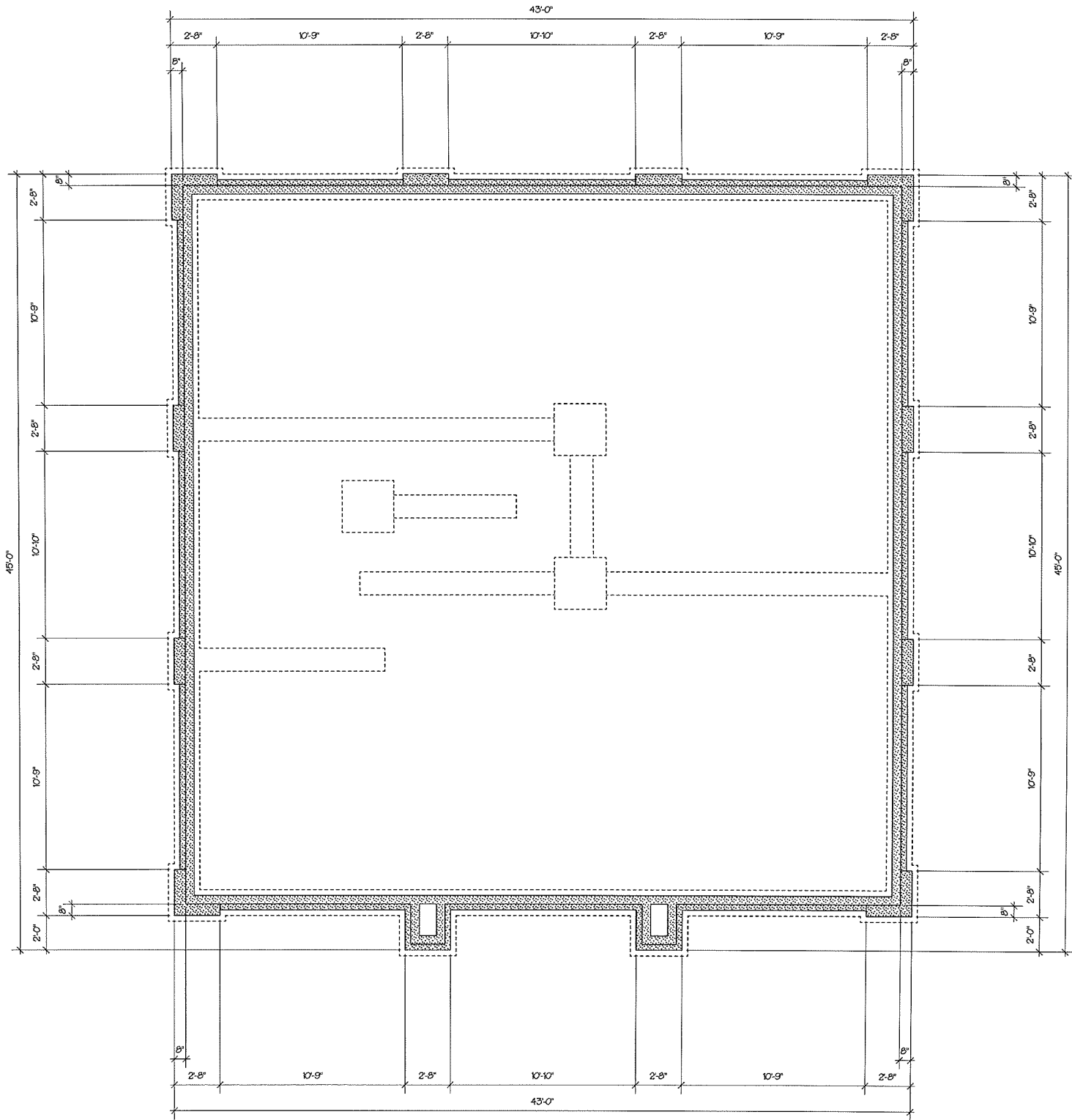
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
1,533 SQ. FT.

date: 05-08-13	revisions:	PROJECT:
file: 12393-Building Plans 312d.mcd		PROJECT: Ryan Brothers Ambulance Office Annex
design: ACKER BUILDERS		922 South Park St., Madison, WI
draw: SMR		
project # 12393		
sheet # 4 OF 6		

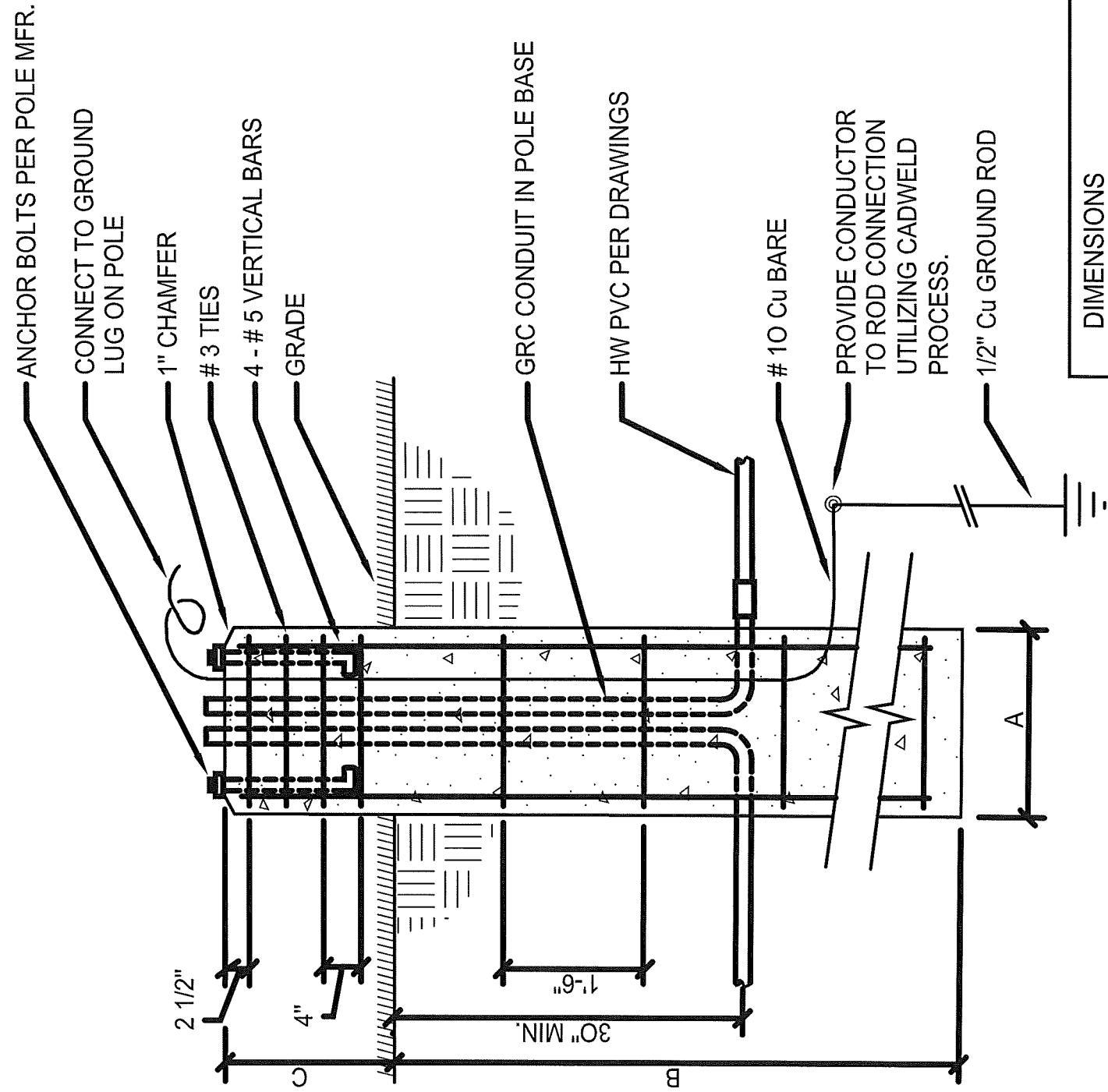
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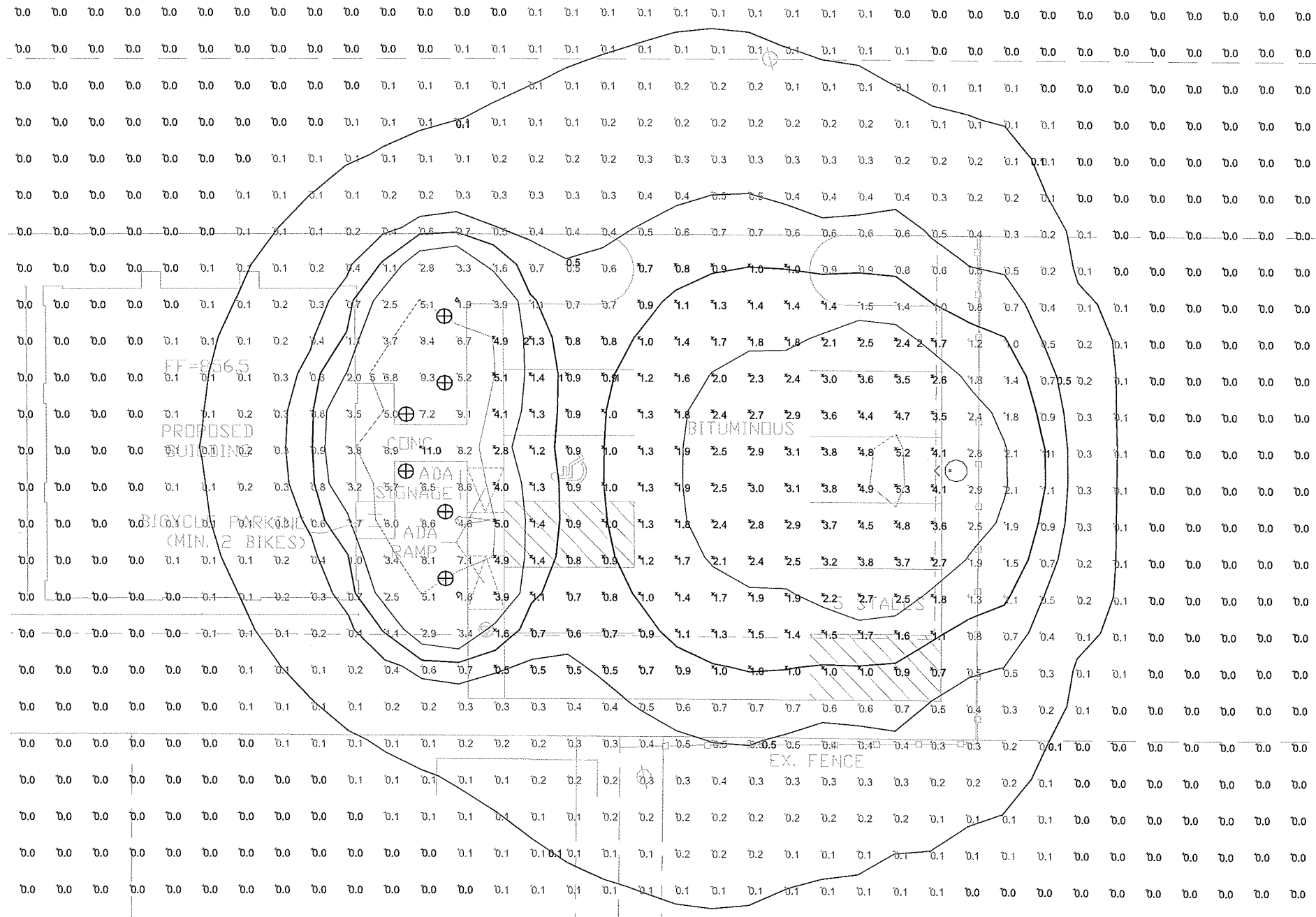
PRELIMINARY ONLY
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FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



DIMENSIONS
A= Per Mfgs Base size
B= 5'
C= 24"



LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
	A	6	HC405	CLEAR ROUND BOLLARD	50 WATT MH	HC407.ies	4000	0.74	85
	D	1	MAC615	12" AREA CUTOFF / FORWARD THROW	150 WATT PSMH	MAC615.ies	15000	0.74	185

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
OVERALL SITE	+	0.5 fc	11.0 fc	0.0 fc	N / A	N / A
PARKING & SIDEWALK	✕	2.1 fc	5.3 fc	0.5 fc	10.6:1	4.2:1

1 SITE PLAN - LIGHTING
ES.1 SCALE: 1/4"=1'-0"



Flanders Electric Inc.
P.O. Box 160
Cottage Grove, WI

State/City
Lighting
Review

Ryan Brothers Ambulance
Office Annex
922 Park Street - Madison, WI

Date 04-30-2013	
Date	Revision
Drawing Name SITE LIGHTING PLAN	
Sheet No. ES.1	
PROJECT NUMBER 213040	