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## SITE DEVELOPMENT DATA

<b>DENSITIES:</b>	
Lot Area	36,260 SF. (.846 Acres)
Dwelling Units	50 Units
Lot Area / D.U.	737 SF./Acre
Density	17.2 net D.U./Acre
Usable Open Space	
Usable Open Space/D.U.	
<b>DWELLING UNIT MIX:</b>	
Efficiency	6
One Bedroom	33
One Bedroom + Den	2
Two Bedroom	1
Total	50
<b>VEHICLE PARKING</b>	
Underground	44 Stalls
Surface	5 Stalls
Total	49 Stalls
Ratio	1.08 Stalls/D.U.
<b>BIKE PARKING</b>	
Surface	10
Underground	42
Total	52

## Revisions

RUD-51P Submittal - March 20, 2013

## Project Title

Atwood Avenue

## Drawing Title

Overall Site Plan

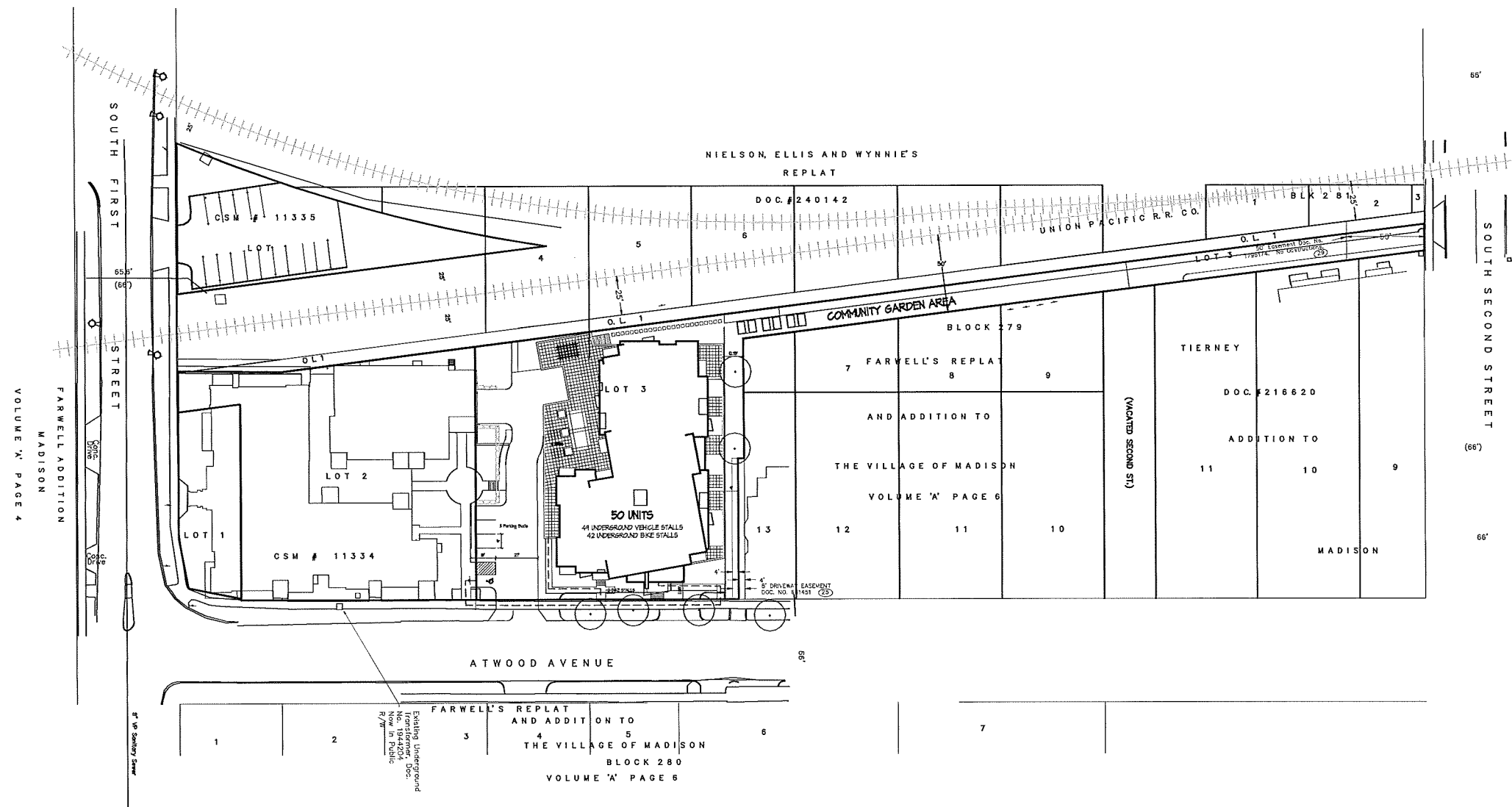
## Project No.

1229

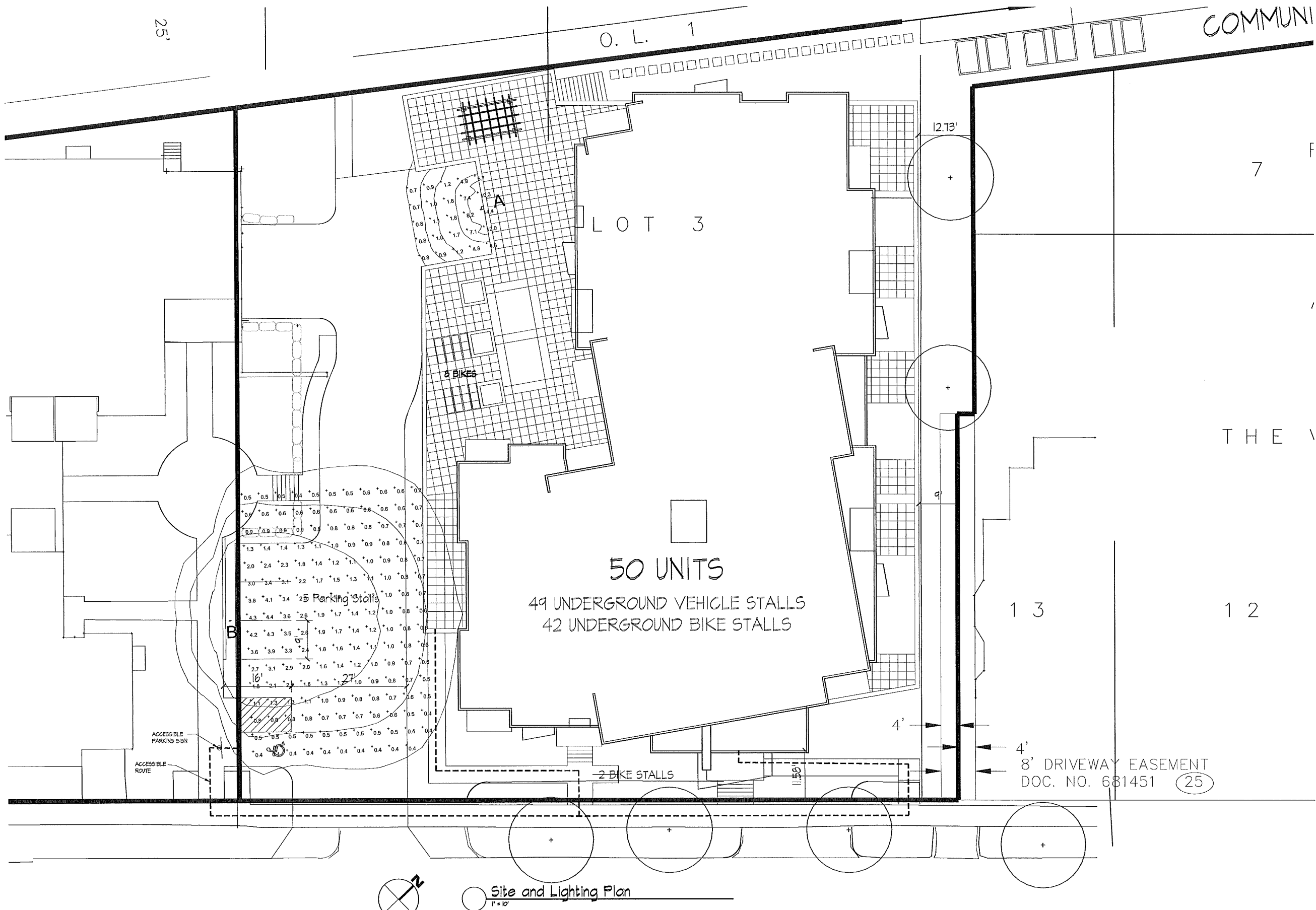
## Drawing No.

C-1.1

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Overall Site Plan  
1" = 40'



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Consultant  
Notes

Revisions  
RUD-SIP Submittal - March 20, 2013

Project Title  
Atwood Avenue

1924 Atwood Avenue  
Drawing Title  
Site and Lighting Plan

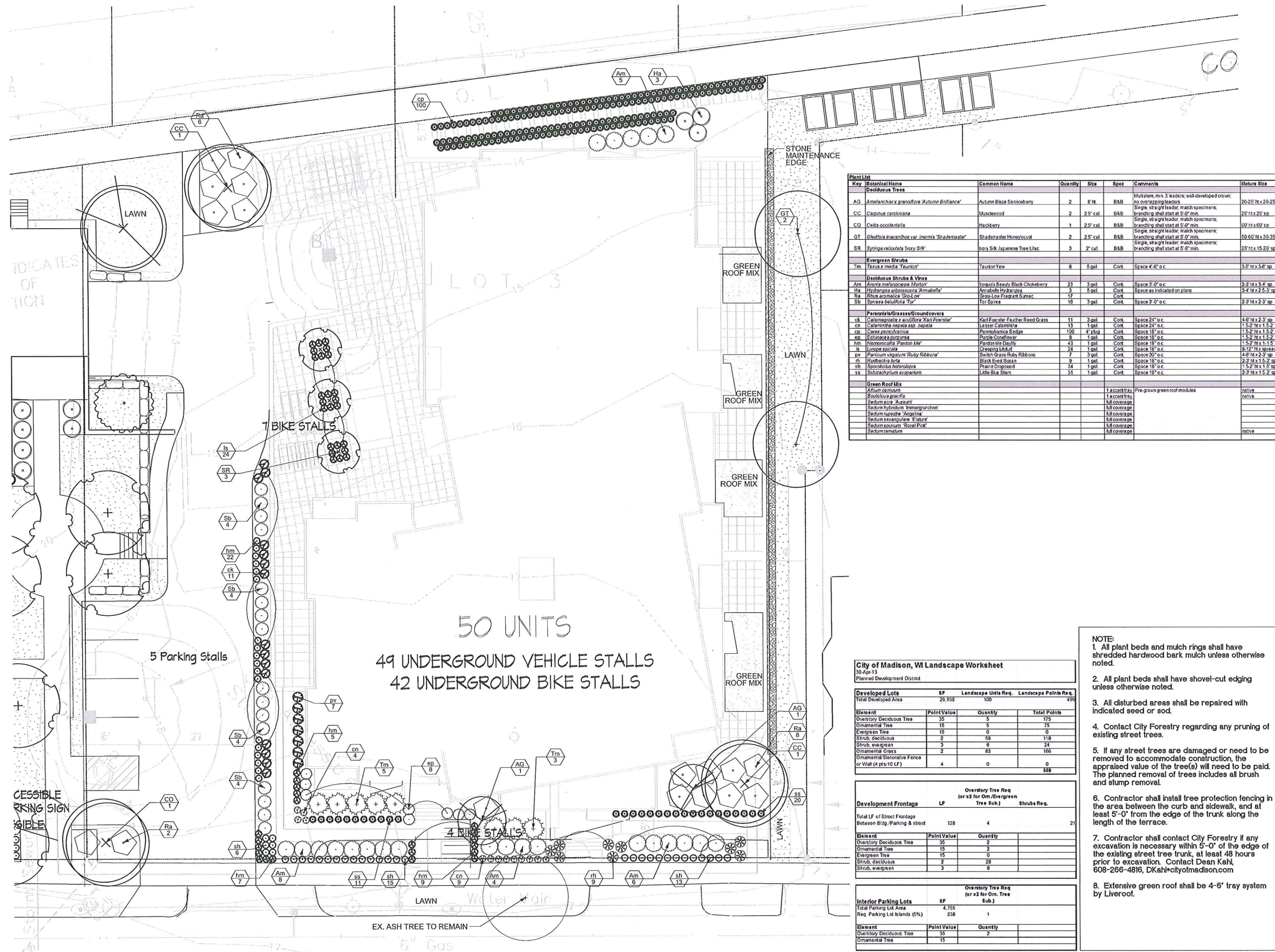
Project No. Drawing No.

1229 C-1.2

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LIGHTING SCHEDULE							
Symbol	Label	Qty	Manufacturer	Catalog Number	Description	Lamp	Mounting
	A	1	RUUD LIGHTING	E8405	RECTANGULAR SECURITY / DEEP SHIELDED	50 WATT MH	8'-0" UP ON SIDE OF BUILDING
	B	1	RUUD LIGHTING	MAC4105BL	12" AREA CUTOFF / W/BACK LT. SHIELD	100 WATT MH	18'-0" POLE ON 2'-0" TALL CONC. BASE





Plant List	Botanical Name	Common Name	Quantity	Size	Spec	Comments	Mature Size
<b>Deciduous Trees</b>							
AG	<i>Amelanchier x grandiflora 'Autumn Brilliance'</i>	Autumn Blaze Serviceberry	2	8' H	B&B	Multistem, min. 3 leaders; well-developed crown; no overhanging leaders	20-25' H x 20-25' sp
CC	<i>Carpinus caroliniana</i>	Myrtlewood	2	25' cal	B&B	Single, straight leader; match specimens; branching shall start at 5'-0" min.	25' H x 25' sp
CO	<i>Cornus occidentalis</i>	Hackberry	1	25' cal	B&B	Single, straight leader; match specimens; branching shall start at 5'-0" min.	00' H x 60' sp
GT	<i>Quercus imbricaria var. 'inermis' 'Shademaster'</i>	Shademaster Honeylocust	2	25' cal	B&B	Single, straight leader; match specimens; branching shall start at 5'-0" min.	50-60' H x 30-35' sp
SR	<i>Syringa reticulata 'Terry Silk'</i>	Terry Silk Japanese Tree Lilac	3	2" cal	B&B	Single, straight leader; match specimens; branching shall start at 5'-0" min.	25' H x 15-20' sp
<b>Evergreen Shrubs</b>							
Tm	<i>Taxus x media 'Turlington'</i>	Turlington Yew	8	5 gal	Cort	Space 4'-6" o.c.	3-5' H x 3-6' sp
<b>Deciduous Shrubs &amp; Vines</b>							
Am	<i>Amorpha melanocarpa 'Marion'</i>	Marion's Beauty Black Chokeberry	23	3 gal	Cort	Space 3'-0" o.c.	2-3' H x 3'-4' sp
Ha	<i>Hydrangea arborescens 'Annabelle'</i>	Annabelle Hydrangea	3	5 gal	Cort	Space as indicated on plans	3'-4' H x 2'-5' sp
Ra	<i>Rhus aromatica 'Gro-Low'</i>	Gro-Low Fragrant Sumac	17	1 gal	Cort	Space 3'-0" o.c.	2'-3' H x 2'-3' sp
Sb	<i>Spiraea betulifolia 'Tor'</i>	Tor Spiraea	16	3 gal	Cort	Space 3'-0" o.c.	2'-3' H x 2'-3' sp
<b>Perennials/Grasses/Groundcovers</b>							
ck	<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	Karl Foerster Feather Reed Grass	11	3 gal	Cort	Space 24" o.c.	4'-6" H x 2'-3' sp
cn	<i>Calamintha Nepeta ssp. 'Radicata'</i>	Leister Clamminth	13	1 gal	Cort	Space 24" o.c.	1'-5" H x 1'-5" sp
cp	<i>Carex pensylvanica</i>	Pennsylvania Sedge	100	4" plug	Cort	Space 18" o.c.	1'-5" H x 1'-5" sp
ep	<i>Echinacea purpurea</i>	Purple Coneflower	6	1 gal	Cort	Space 18" o.c.	1'-5" H x 1'-5" sp
hm	<i>Hemerocallis 'Pardon Me'</i>	Pardon Me Daylily	43	1 gal	Cort	Space 18" o.c.	1'-5" H x 1'-5" sp
ls	<i>Limonium spicata</i>	Creeping Larkspur	28	1 gal	Cort	Space 18" o.c.	1'-5" H x 1'-5" sp
pv	<i>Panicum virgatum 'Ruby Ribbons'</i>	Switch Grass Ruby Ribbons	7	3 gal	Cort	Space 30" o.c.	4'-6" H x 2'-3' sp
rn	<i>Rumex crispus</i>	Black-Faced Rumex	9	1 gal	Cort	Space 18" o.c.	2'-3' H x 1'-5" sp
sh	<i>Scorobolus heterophyllus</i>	Prima Dropseed	34	1 gal	Cort	Space 18" o.c.	1'-5" H x 1'-5" sp
ss	<i>Stachytarctum angustatum</i>	Little Blue Stem	31	1 gal	Cort	Space 18" o.c.	2'-3' H x 1'-5" sp
<b>Green Roof Mix</b>							
	<i>Aster centurus</i>				1 accent tray	Pre-grown green roof modules	native
	<i>Bouteloua gracilis</i>				1 accent tray		native
	<i>Sedum acre 'Autumn'</i>				full coverage		
	<i>Sedum hybridum 'Immergruenchen'</i>				full coverage		
	<i>Sedum rupestris 'Angelina'</i>				full coverage		
	<i>Sedum arancifolium 'Eratum'</i>				full coverage		
	<i>Sedum spectabile 'Royal Flush'</i>				full coverage		
	<i>Sedum ternatum</i>				full coverage		native

City of Madison, WI Landscape Worksheet			
Planned Development District			
Developed Lots	SF	Landscape Units Req.	Landscape Points Req.
Total Developed Area	29,938	100	499
<b>Element</b>			
Oversitory Deciduous Tree	Point Value	Quantity	Total Points
Oversitory Tree	35	5	175
Evergreen Tree	15	5	75
Shrub, deciduous	2	69	118
Shrub, evergreen	3	8	24
Ornamental Grass	2	83	166
Ornamental Decorative Fence or Wall (4' plus 10 LF)	4	0	0
			558
<b>Development Frontage</b>			
Total LF of Street Frontage	LF	Shrubs Req.	
Between Bldg./Parking & Street	128	4	21
<b>Element</b>			
Oversitory Deciduous Tree	Point Value	Quantity	
Oversitory Tree	35	2	
Evergreen Tree	15	0	
Shrub, deciduous	2	28	
Shrub, evergreen	3	8	
<b>Interior Parking Lots</b>			
Total Parking Lot Area	SF		
Req. Parking Lot Islands (5%)	4,755	1	
<b>Element</b>			
Oversitory Deciduous Tree	Point Value	Quantity	
Oversitory Tree	35	2	
Ornamental Tree	15	0	

- NOTE:**
- All plant beds and mulch rings shall have shredded hardwood bark mulch unless otherwise noted.
  - All plant beds shall have shovel-cut edging unless otherwise noted.
  - All disturbed areas shall be repaired with indicated seed or sod.
  - Contact City Forestry regarding any pruning of existing street trees.
  - If any street trees are damaged or need to be removed to accommodate construction, the appraised value of the tree(s) will need to be paid. The planned removal of trees includes all brush and stump removal.
  - Contractor shall install tree protection fencing in the area between the curb and sidewalk, and at least 5'-0" from the edge of the trunk along the length of the terrace.
  - Contractor shall contact City Forestry if any excavation is necessary within 5'-0" of the edge of the existing street tree trunk, at least 48 hours prior to excavation. Contact Dean Kahl, 608-266-4816, DKahl@cityofmadison.com
  - Extensive green roof shall be 4'-6" tray system by Liverool.

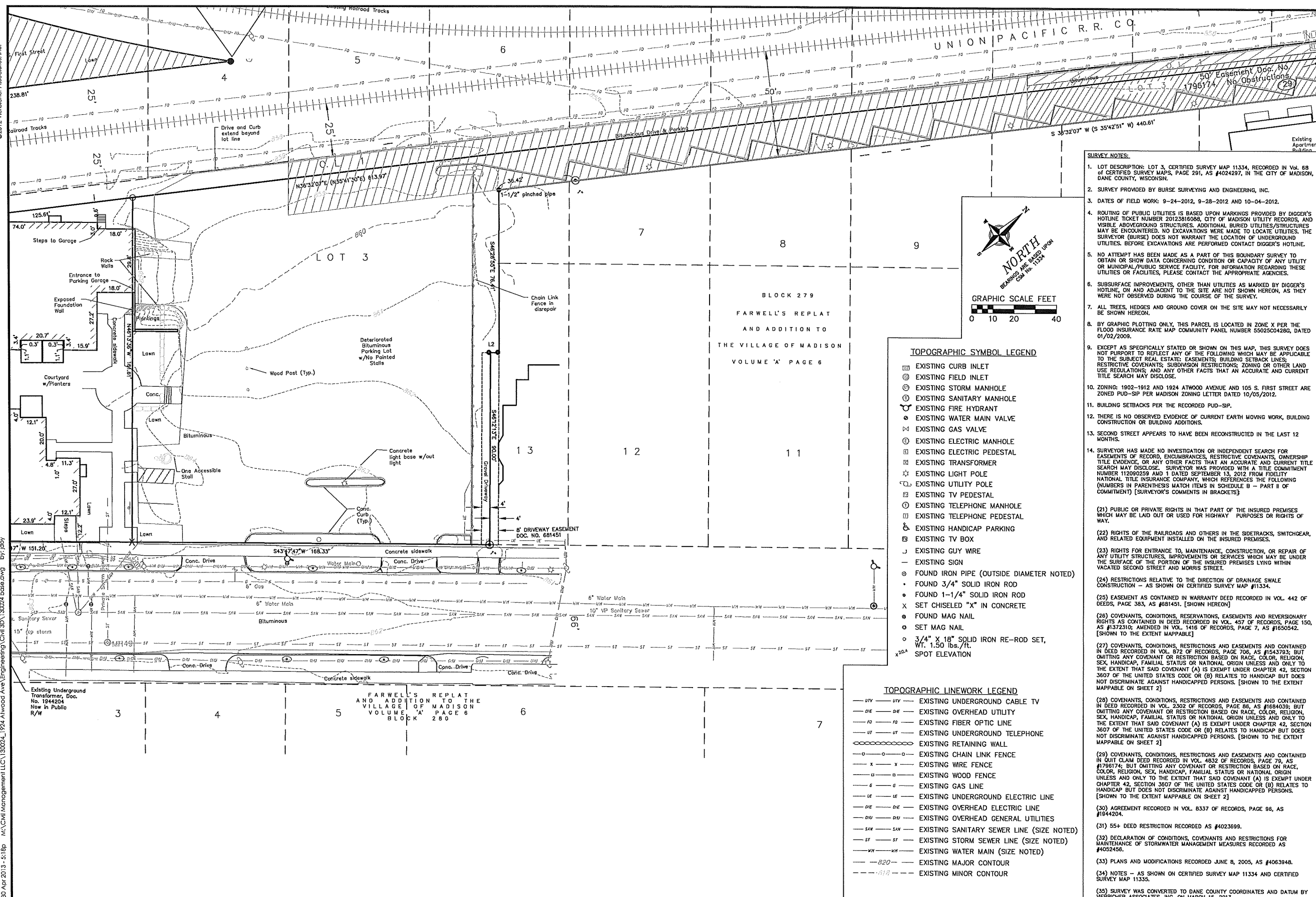
Revisions  
PUD-SIP Submittal - March 20, 2013  
Submittal - May 1, 2013

Project Title  
Atwood Avenue

1924 Atwood Avenue  
Drawing Title  
Planting Plan

Project No. 1229  
Drawing No. L-1.0





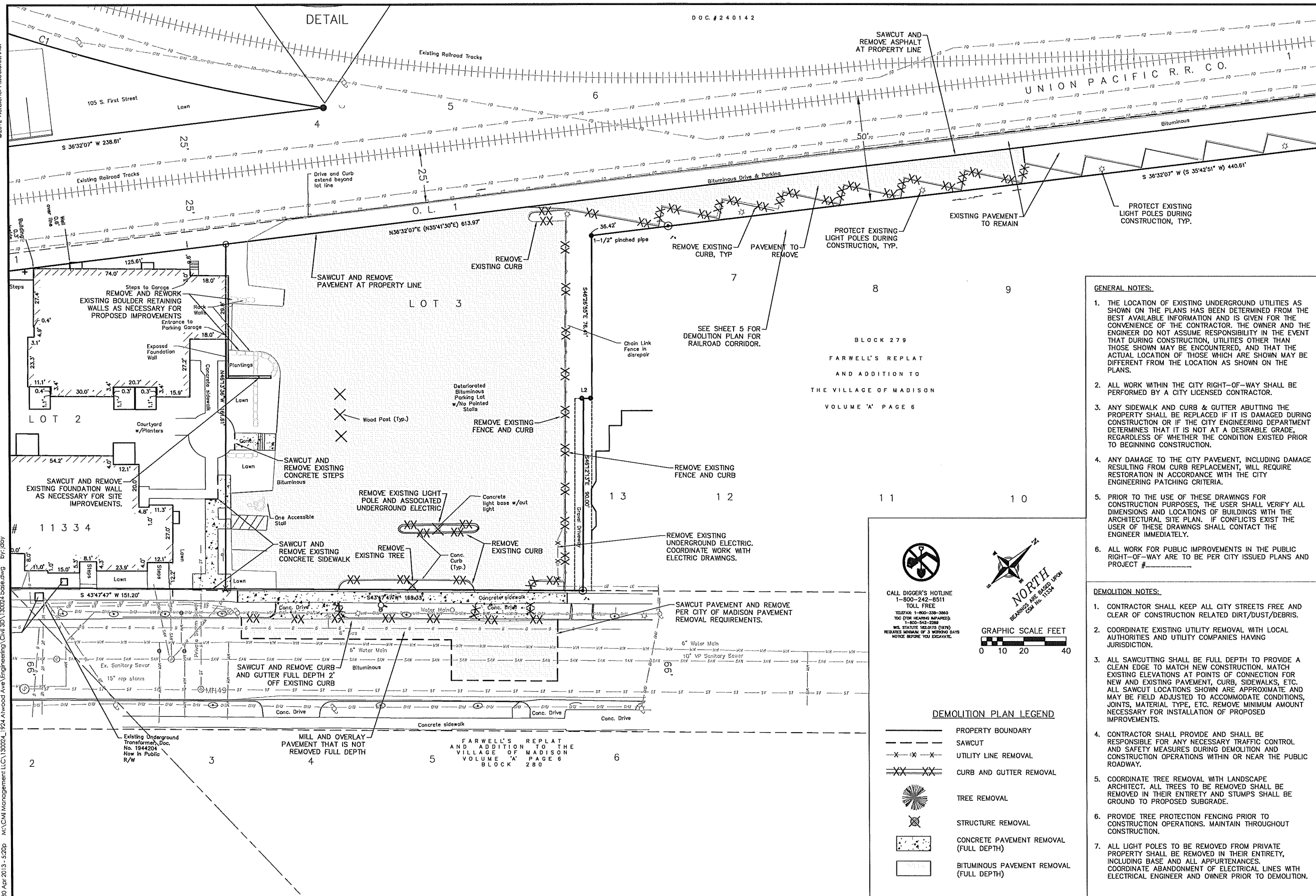
**EXISTING CONDITIONS**  
CMI MANAGEMENT, LLC DEVELOPMENT  
1924 ATWOOD AVENUE  
CITY OF MADISON, DANE COUNTY, WISCONSIN

SCALE		AS SHOWN	
DATE		4-30-13	
DRAFTER		TCOY	
CHECKED		JDOY	
PROJECT NO.			
130024			
SHEET			
1 OF 6			
DWG. NO.			

**SURVEY NOTES:**

1. LOT DESCRIPTION: LOT 3, CERTIFIED SURVEY MAP 11334, RECORDED IN VOL. 69 OF CERTIFIED SURVEY MAPS, PAGE 291, AS #4024297, IN THE CITY OF MADISON DANE COUNTY, WISCONSIN.
2. SURVEY PROVIDED BY BIRSE SURVEYING AND ENGINEERING, INC.
3. DATES OF FIELD WORK: 9-24-2012, 9-28-2012 AND 10-04-2012.
4. ROUTING OF PUBLIC UTILITIES IS BASED UPON MARKINGS PROVIDED BY DIGGER'S HOTLINE TICKET NUMBER 20123816080, CITY OF MADISON UTILITY RECORDS, AND THE WISCONSIN DEPARTMENT OF TRANSPORTATION RECORDS. BUILDING SETBACKS MAY BE ENCOUNTERED, NO EXCAVATIONS WERE MADE TO LOCATE UTILITIES. THE SURVEYOR (BURSE) DOES NOT WARRANT THE LOCATION OF UNDERGROUND UTILITIES. BEFORE EXCAVATIONS ARE PERFORMED CONTACT DIGGER'S HOTLINE.
5. NO ATTEMPT HAS BEEN MADE AS A PART OF THIS BOUNDARY SURVEY TO OBTAIN OR SHOW DATA CONCERNING CONDITION OR CAPACITY OF ANY UTILITY OR MUNICIPAL/PUBLIC/UTILITY SERVICE FACILITY. FOR INFORMATION REGARDING THESE UTILITIES OR FACILITIES, PLEASE CONTACT THE APPROPRIATE AGENCIES.
6. SUBSURFACE IMPROVEMENTS, OTHER THAN UTILITIES AS MARKED BY DIGGER'S HOTLINE, ON AND ADJACENT TO THE SITE ARE NOT SHOWN HEREON, AS THEY WERE NOT OBSERVED DURING THE COURSE OF THE SURVEY.
7. ALL TREES, HEDGES AND GROUND COVER ON THE SITE MAY NOT NECESSARILY BE SHOWN HEREON.
8. BY GRAPHIC PLOTTING ONLY, THIS PARCEL IS LOCATED IN ZONE X PER THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 55025C0428G, DATED 01/02/2009.
9. EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THIS SUBJECT PLAT: STATE FACEMENTS, BUILDING SETBACKS, EASEMENTS, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING OR OTHER LAND USE REGULATIONS, AND ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
10. ZONING: 1902-1912 AND 1924 ATWOOD AVENUE AND 105 S. FIRST STREET ARE ZONED PUD-SIP PER MADISON ZONING LETTER DATED 10/05/2012.
11. BUILDING SETBACKS PER THE RECORDED PUD-SIP.
12. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
13. SECOND STREET APPEARS TO HAVE BEEN RECONSTRUCTED IN THE LAST 12 MONTHS.
14. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. SURVEYOR WAS PROVIDED WITH A TITLE COMMITMENT NUMBER 112090259 AND 1 DATED SEPTEMBER 13, 2012 FROM FIDELITY NATIONAL TITLE INSURANCE COMPANY, WHICH REFLECTS THE FOLLOWING (NUMBER IN PARENTHESES MATCH ITEMS IN SCHEDULE B - PART II OF COMMITMENT) [SURVEYOR'S COMMENTS IN BRACKETS]:
- (21) PUBLIC OR PRIVATE RIGHTS IN THAT PART OF THE INSURED PREMISES WHICH MAY BE LAID OUT OR USED FOR HIGHWAY PURPOSES OR RIGHTS OF WAY.
- (22) RIGHTS OF THE RAILROADS AND OTHERS IN THE SIDERACKS, SWITCHGEAR, AND RELATED EQUIPMENT INSTALLED ON THE INSURED PREMISES.
- (23) RIGHTS FOR ENTRANCE TO, MAINTENANCE, CONSTRUCTION, OR REPAIR OF ANY UTILITY STRUCTURES, IMPROVEMENTS OR SERVICES WHICH MAY BE UNDER THE EASEMENT OF THE PORTION OF THE INSURED PREMISES LYING WITHIN VACATED SECOND STREET AND MORRIS STREET.
- (24) RESTRICTIONS RELATIVE TO THE DIRECTION OF DRAINAGE SWALE CONSTRUCTION - AS SHOWN ON CERTIFIED SURVEY MAP #11334.
- (25) EASEMENT AS CONTAINED IN WARRANTY DEED RECORDED IN VOL. 442 OF DEEDS, PAGE 383, AS #581451. [SHOW HEREON]
- (26) COVENANTS, CONDITIONS, RESERVATIONS, EASEMENTS AND REVERSIONARY RIGHTS AS CONTAINED IN VOL. 437 OF RECORDS, PAGE 150, AS #1372130, AMENDED IN VOL. 415 OF RECORDS, PAGE 7, AS #1650542. [SHOWN TO THE EXTENT MAPPABLE]
- (27) COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS AND CONTAINED IN DEED RECORDED IN VOL. 872 OF RECORDS, PAGE 706, AS #1543793; BUT OMITTING ANY COVENANT OR RESTRICTION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN UNLESS AND ONLY TO THE EXTENT THAT SAID COVENANT (A) IS EXEMPT UNDER CHAPTER 42, SECTION 3607 OF THE UNITED STATES CODE OR (B) RELATES TO HANDICAP BUT DOES NOT DISCRIMINATE AGAINST HANDICAPPED PERSONS. [SHOWN TO THE EXTENT MAPPABLE ON SHEET 2]
- (28) COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS AND CONTAINED IN DEED RECORDED IN VOL. 2302 OF RECORDS, PAGE 86, AS #1684039; BUT OMITTING ANY COVENANT OR RESTRICTION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN UNLESS AND ONLY TO THE EXTENT THAT SAID COVENANT (A) IS EXEMPT UNDER CHAPTER 42, SECTION 3607 OF THE UNITED STATES CODE OR (B) RELATES TO HANDICAP BUT DOES NOT DISCRIMINATE AGAINST HANDICAPPED PERSONS. [SHOWN TO THE EXTENT MAPPABLE ON SHEET 2]
- (29) COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS AND CONTAINED IN QUIT CLAIM DEED RECORDED IN VOL. 4332 OF RECORDS, PAGE 79, AS #176874; BUT OMITTING ANY COVENANT OR RESTRICTION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN UNLESS AND ONLY TO THE EXTENT THAT SAID COVENANT (A) IS EXEMPT UNDER CHAPTER 42, SECTION 3607 OF THE UNITED STATES CODE OR (B) RELATES TO HANDICAP BUT DOES NOT DISCRIMINATE AGAINST HANDICAPPED PERSONS. [SHOWN TO THE EXTENT MAPPABLE ON SHEET 2]
- (30) AGREEMENT RECORDED IN VOL. 8337 OF RECORDS, PAGE 96, AS #1944204.
- (31) 55+ DEED RESTRICTION RECORDED AS #4023669.
- (32) DECLARATION OF CONDITIONS, COVENANTS AND RESTRICTIONS FOR MAINTENANCE OF STORMWATER MANAGEMENT MEASURES RECORDED AS #052456.
- (33) PLANS AND MODIFICATIONS RECORDED JUNE 8, 2005, AS #4063948.
- (34) NOTES - AS SHOWN ON CERTIFIED SURVEY MAP 11334 AND CERTIFIED SURVEY MAP 11335.
- (35) SURVEY WAS CONVERTED TO DANE COUNTY COORDINATES AND DATUM BY YERBERCH ASSOCIATES, INC. ON MARCH 13, 2011.





**vierbicher**  
planners | engineers | advisors

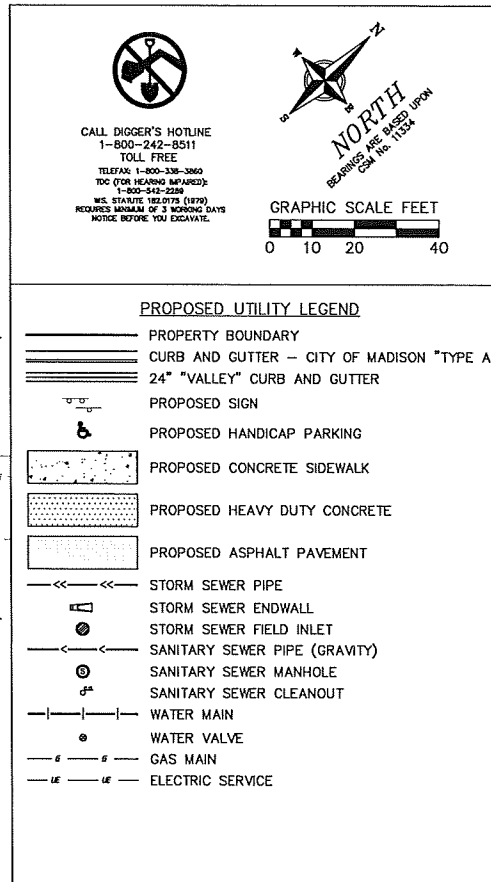
**REEDSBURG - MADISON - PRAIRIE DU CHIEN**  
99 Foutler Drive, Suite 201 Madison, Wisconsin 53717  
Phone: (608) 826-0592 Fax: (608) 826-0530

# DEMOLITION PLAN

CMI MANAGEMENT, LLC DEVELOPMENT  
1924 ATWOOD AVENUE  
CITY OF MADISON, DANE COUNTY, WISCONSIN

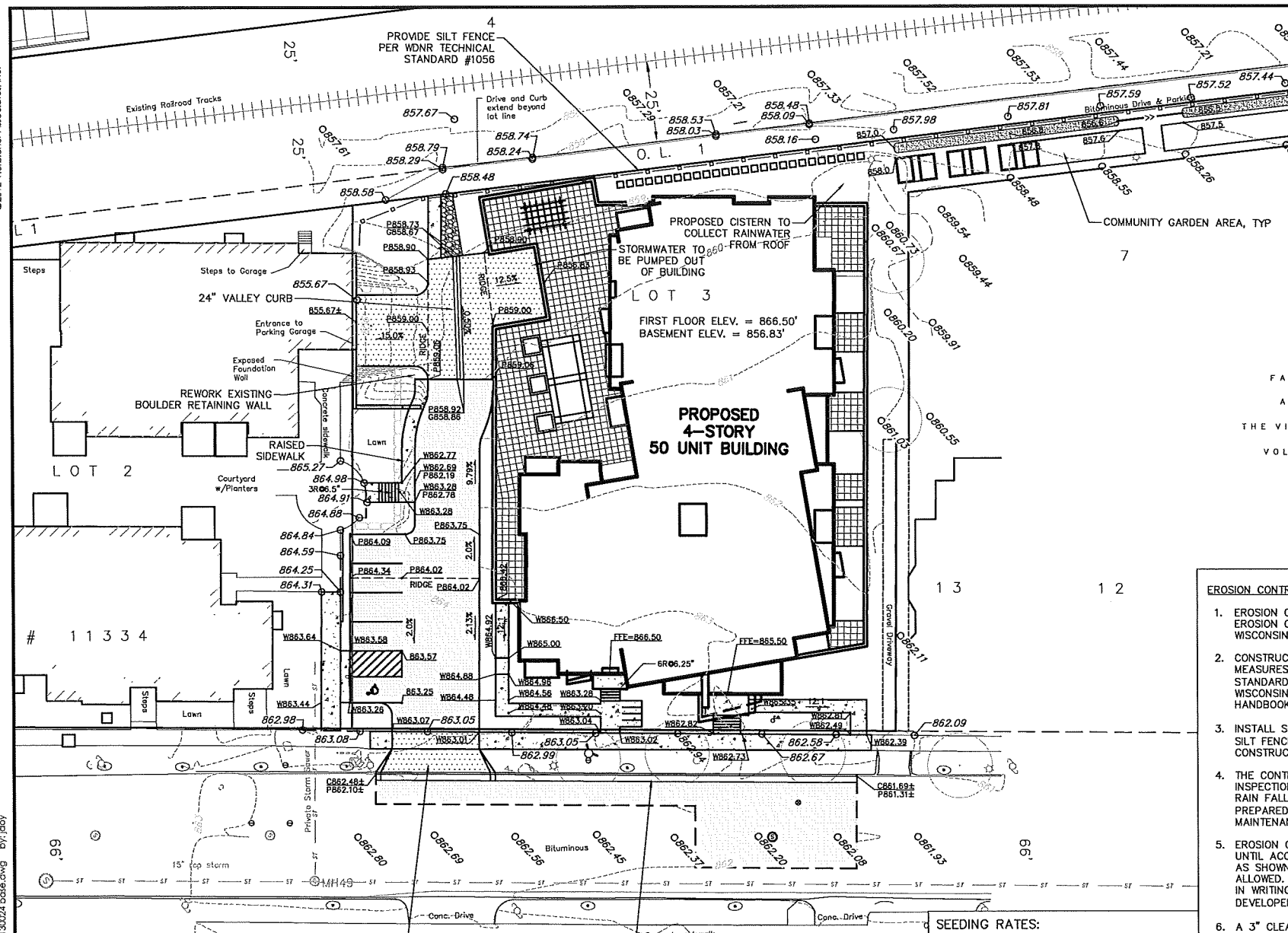
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- ## UTILITY NOTES
1. SANITARY & STORM SEWER LENGTHS ARE SHOWN FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
  2. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
  3. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES (MANHOLE RIMS, WATER VALVES, AND CURB STOPS).
  4. FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
  5. STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
  6. PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
  7. PRIVATE SANITARY SEWER LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
  8. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(8)(k).
  9. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b.).
  10. NO PERSON MAY ENGAGE IN WORK AT PLUMBING IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
  11. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE AND EXACT LOCATION OF PROPOSED SANITARY AND WATER LATERALS.
  12. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
  13. PROPOSED UTILITY SERVICE LINES AS SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
  14. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
  15. ALL WATER SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
  16. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
  17. EXISTING WATER AND SANITARY LATERALS MUST BE PROPERLY ABANDONED PER CITY REQUIREMENTS.
  18. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
  19. THE DEVELOPER SHALL INSTALL THE 3M™ELECTRONIC MARKER SYSTEM (EMS) 4" EXTENDED RANGE 5" BALL MARKERS-WASTEWATER (MODEL #1404-XR) FOR EACH SANITARY AND STORM SEWER LATERALS. THE CITY SHALL SUPPLY ALL THE REQUIRED MARKERS TO THE DEVELOPER OR ITS CONTRACTOR (GENERALLY REQUIRES 2 PER LATERAL) AND THE CONTRACTOR SHALL INSTALL THEM PER THE MANUFACTURER'S REQUIREMENTS OR AS DIRECTED BY THE CITY ENGINEER.





PROVIDE A MINIMUM 50'X24'  
TRACKING PAD PER WDNR  
TECHNICAL STANDARD #1057.

INSTALL NEW 30" TYPE A CITY—  
OF MADISON CURB AND GUTTER,  
INSTALL AT MINIMUM 0.50%

SITE PAVING NOTES

1. CONCRETE SIDEWALK TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
2. HEAVY-DUTY CONCRETE INSTALLED AT DRIVEWAYS, LOADING ZONES, AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
3. PROPOSED ASPHALT PAVEMENT SHALL BE 1.5" SURFACE COURSE OVER 1.5" BINDER COURSE OVER A 10" AGGREGATE BASE COURSE.

CONSTRUCTION SEQUENCE:

1. INSTALL INLET PROTECTION ON EXISTING INLETS ADJACENT TO PROPERTY.
2. REMOVE EXISTING PAVEMENT AND PERFORM OTHER SITE DEMOLITION.
3. INSTALL SILT FENCE AND TRACKING PAD.
4. ROUGH GRADE DRIVE, PARKING LOT AND BUILDING PAD.
5. CONSTRUCT UNDERGROUND UTILITIES.
6. CONSTRUCT WALKS, DRIVE, AND PARKING LOT.
7. INSTALL INLET PROTECTION ON ALL NEW STORM INLETS.
8. FINAL GRADE SITE, INSTALL TOPSOIL, SEED AND MULCH.
9. REMOVE SILT FENCE AFTER DISTURBED AREAS ARE STABILIZED.

## SEEDING RATES:

TEMPORARY:

1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

PERMANENT:

1. USE WISCONSIN D.O.T. SEED MIX #40 AT 4 LB./1,000 S.F. IN LAWN AND TERRACES.
2. USE PRAIRIE NURSERY DETENTION BASIN WET PRAIRIE MIX IN DETENTION BASIN BELOW WATER ELEVATION.
3. USE PRAIRIE NURSERY EROSION CONTROL FOR DRY SOILS IN ALL OTHER AREAS AROUND THE DETENTION BASIN.

FERTILIZING RATES:

TEMPORARY AND PERMANENT:

- USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

**MULCHING RATES:**

TEMPORARY AND PERMANENT:

- USE  $\frac{1}{2}$ " TO 1- $\frac{1}{2}$ " STRAW OR HAY MULCH,  
CRIMPED PER SECTION 607.3.2.3, OR OTHER  
RATE AND METHOD PER SECTION 627,  
WISCONSIN D.O.T. STANDARD SPECIFICATIONS  
FOR HIGHWAY AND STRUCTURE  
CONSTRUCTION

NATIVE PLANTINGS SHALL BE PER  
MANUFACTURERS RECOMMENDATIONS.



CALL DIGGER'S HOTLINE  
1-800-242-8511  
TOLL FREE  
TELEFAX: 1-800-338-3660  
TDD (FOR HEARING IMPAIRED):  
1-800-542-2259  
WIS. STATUTE 182.0175 (1979)  
REQUIRES MINIMUM OF 3 WORKING DAYS  
NOTICE BEFORE YOU EXCAVATE.



PROPOSED GRADING LEGEND

- PROPERTY BOUNDARY
- CURB AND GUTTER - CITY OF MADISON "TYPE A"
- 24" "VALLEY" CURB AND GUTTER
- PROPOSED SIGN
- PROPOSED HANDICAP PARKING
- PROPOSED CONCRETE SIDEWALK
- PROPOSED HEAVY DUTY CONCRETE
- PROPOSED ASPHALT PAVEMENT
- STORM SEWER PIPE
- STORM SEWER ENDWALL
- STORM SEWER FIELD INLET
- SANITARY SEWER MANHOLE
- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS
- PROPOSED MAJOR CONTOURS
- PROPOSED MINOR CONTOURS
- SILT FENCE
- PROPOSED SLOPE ARROWS
- PROPOSED SPOT ELEVATIONS
- EXISTING SPOT ELEVATIONS
- TYPE D INLET PROTECTION
- ABBREVIATIONS**
- C - TOP OF CURB  
FF - FINISHED FLOOR  
W - TOP OF WALK  
P - EDGE OF PAVEMENT

## ABBREVIATIONS

C - TOP OF CURB  
FF - FINISHED FLOOR  
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### EROSION CONTROL MEASURES

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
7. **STABILIZED DISTURBED GROUND:** ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FOOT OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
8. **SITE DE-WATERING:** WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OF THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING). PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. SUMP PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTH/MESH SOCK SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.

9. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
10. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.
11. ALL AREAS WHICH ARE NOT PAVED SHALL RECEIVE A MINIMUM OF 4" TOPSOIL PRIOR TO SEEDING.
12. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
13. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
14. EROSION MAT (TYPE I CLASS A PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
15. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
16. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY.
17. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
18. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY OF MADISON.
19. THE CITY OF MADISON, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.
20. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
21. ALL ABANDONED DRIVEWAYS ADJACENT TO THE SITE SHALL BE REPLACED WITH CURB AND THE TERRACE SHALL BE RESTORED WITH GRASS.
22. CONTRACTOR SHALL OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, WORK IN RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
23. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

## GRADING AND EROSION CONTROL PLAN

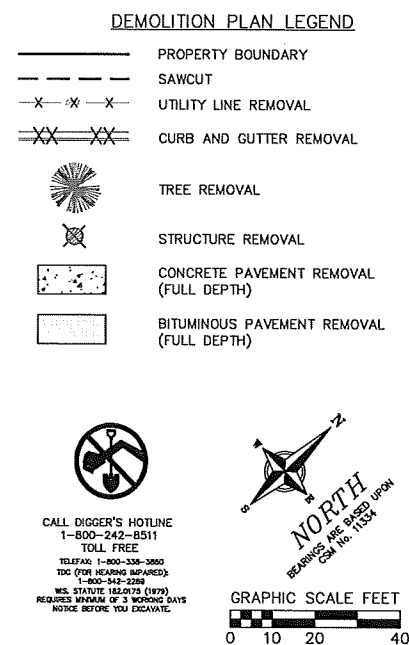
CMI MANAGEMENT, LLC DEVELOPMENT

1924 ATWOOD AVENUE  
CITY OF MADISON, DANE COUNTY, WISCONSIN



[illegible]

DWG. NO.






**PROPOSED LEGEND**


- PROPERTY BOUNDARY
-  PROPOSED ASPHALT PAVEMENT
- STORM SEWER PIPE
- STORM SEWER ENDWALL
- STORM SEWER FIELD INLET
- EXISTING MAJOR CONTOURS
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- PROPOSED SLOPE ARROWS
-  TYPE D INLET PROTECTION
- EXISTING SPOT ELEVATIONS
- PROPOSED SPOT ELEVATIONS

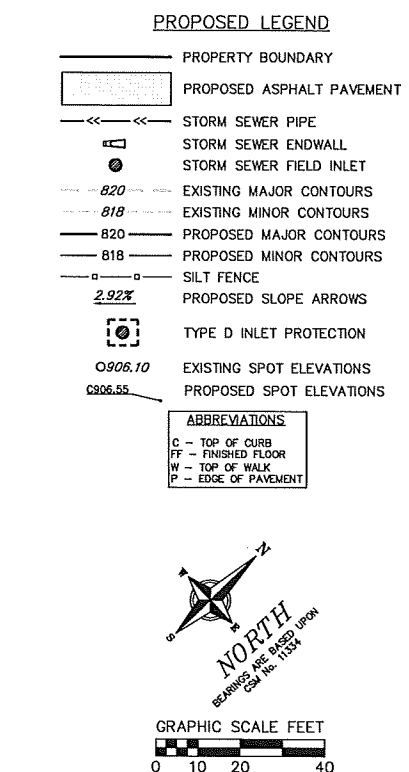
**ABBREVIATIONS**

C — TOP OF CURB  
 FF — FINISHED FLOOR  
 W — TOP OF WALK  
 P — EDGE OF PAVEMENT



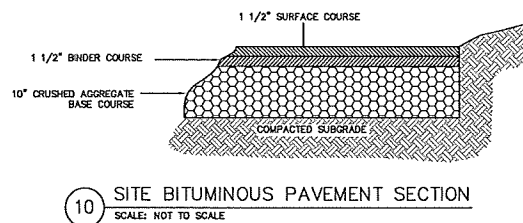
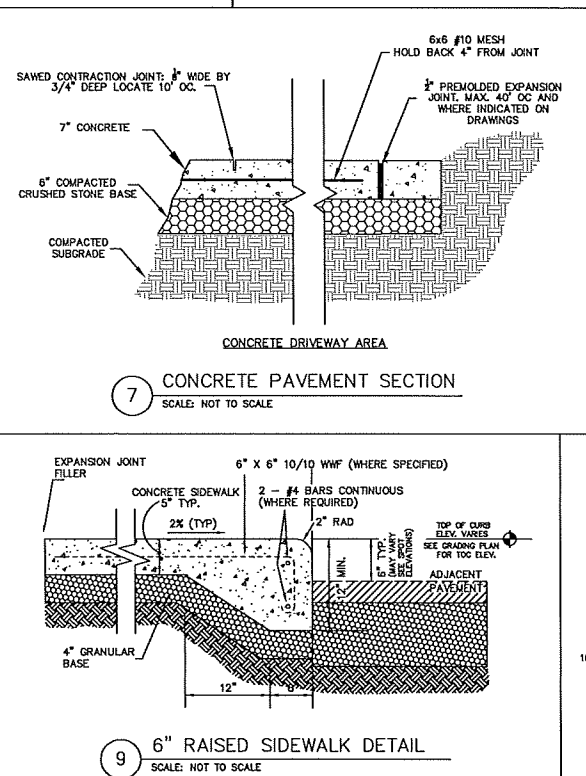
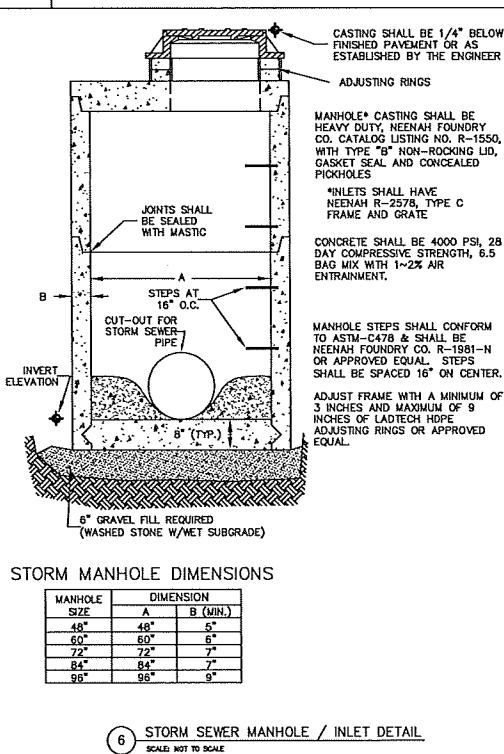
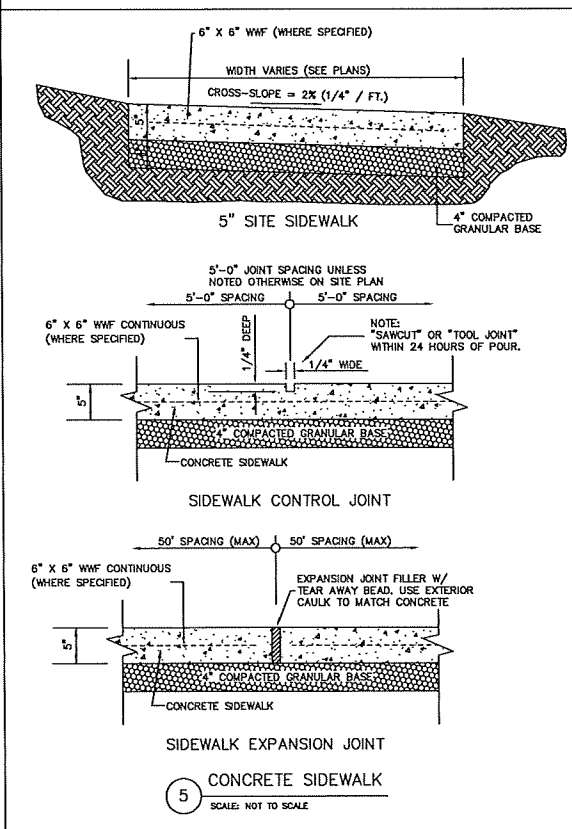
**GRAPHIC SCALE FEET**



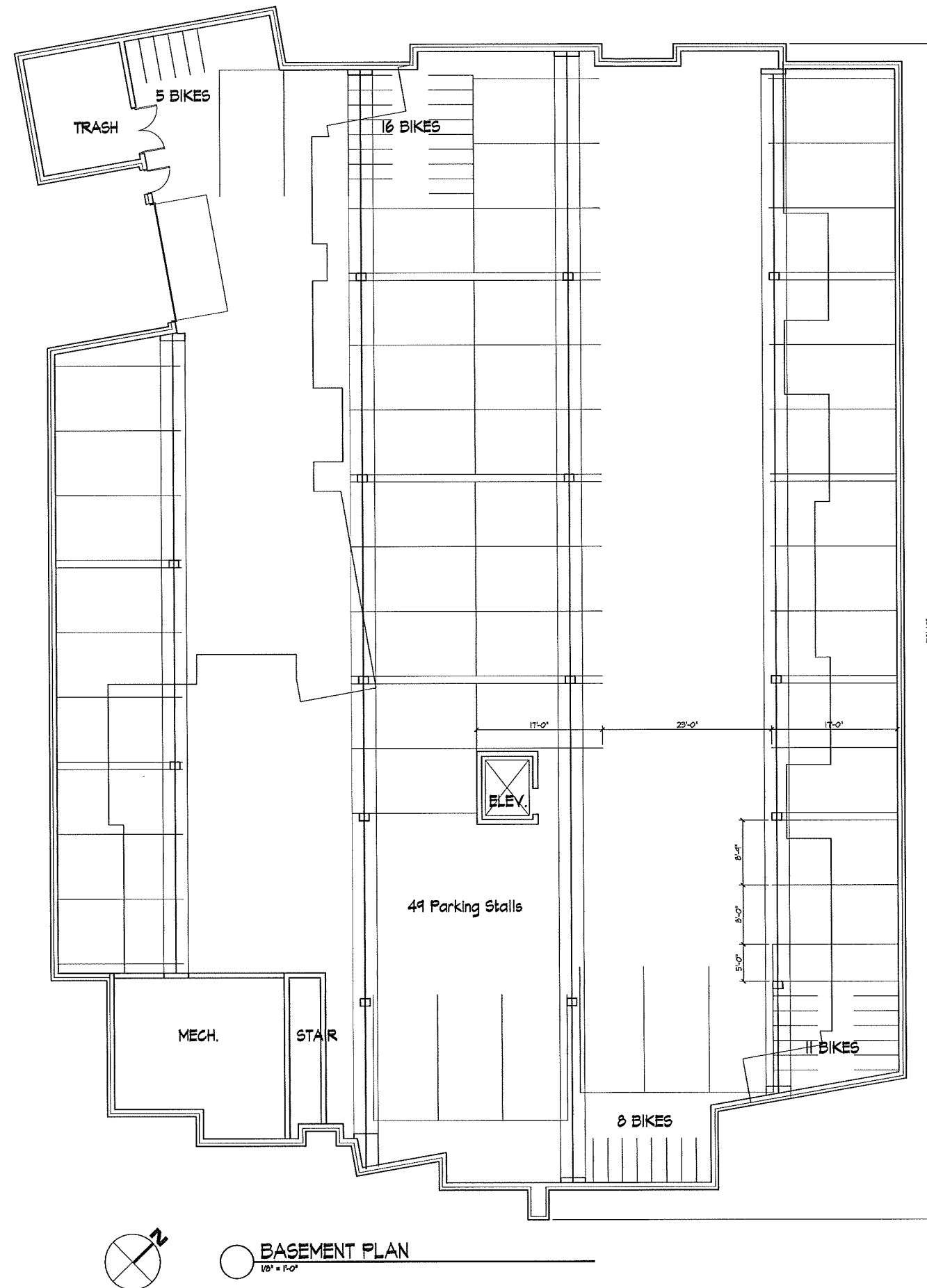


RAILROAD CORRIDOR – PROPOSED IMPROVEMENTS









BASEMENT PLAN  
1/8" = 1'-0"



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Notes

LIGHTING SCHEDULE *						
Label	Qty	Manufacturer	Catalog Number	Description	Lamp	Mounting
A	2	T.B.D.		RECESSED DOWNLIGHT	CFL	FLUSH IN CEILING
B	19	Ligman Lighting	U40521	RADO 2 - RECESSED PATH LIGHT	CFQ 18W	18" ABOVE WALKING SURFACE
C	4	Ligman Lighting	U50226-W	MIC 5 - SMALL FLOOD LIGHT	T4 CMH 20W, 37" BEAM	MOUNTED IN ARBOR, FACING DOWNWARD
* Cutsheets and specific model numbers are representative examples only. Final fixtures will have similar lamping and light distribution.						
* Signage lighting to be determined with signage design.						
* Final light fixture selection must be approved by UDC staff.						

Revisions

SIP Submittal - March 20, 2013

Project Title

Atwood Avenue

1924 Atwood Ave.

Drawing Title

First Floor Plan  
With Lighting

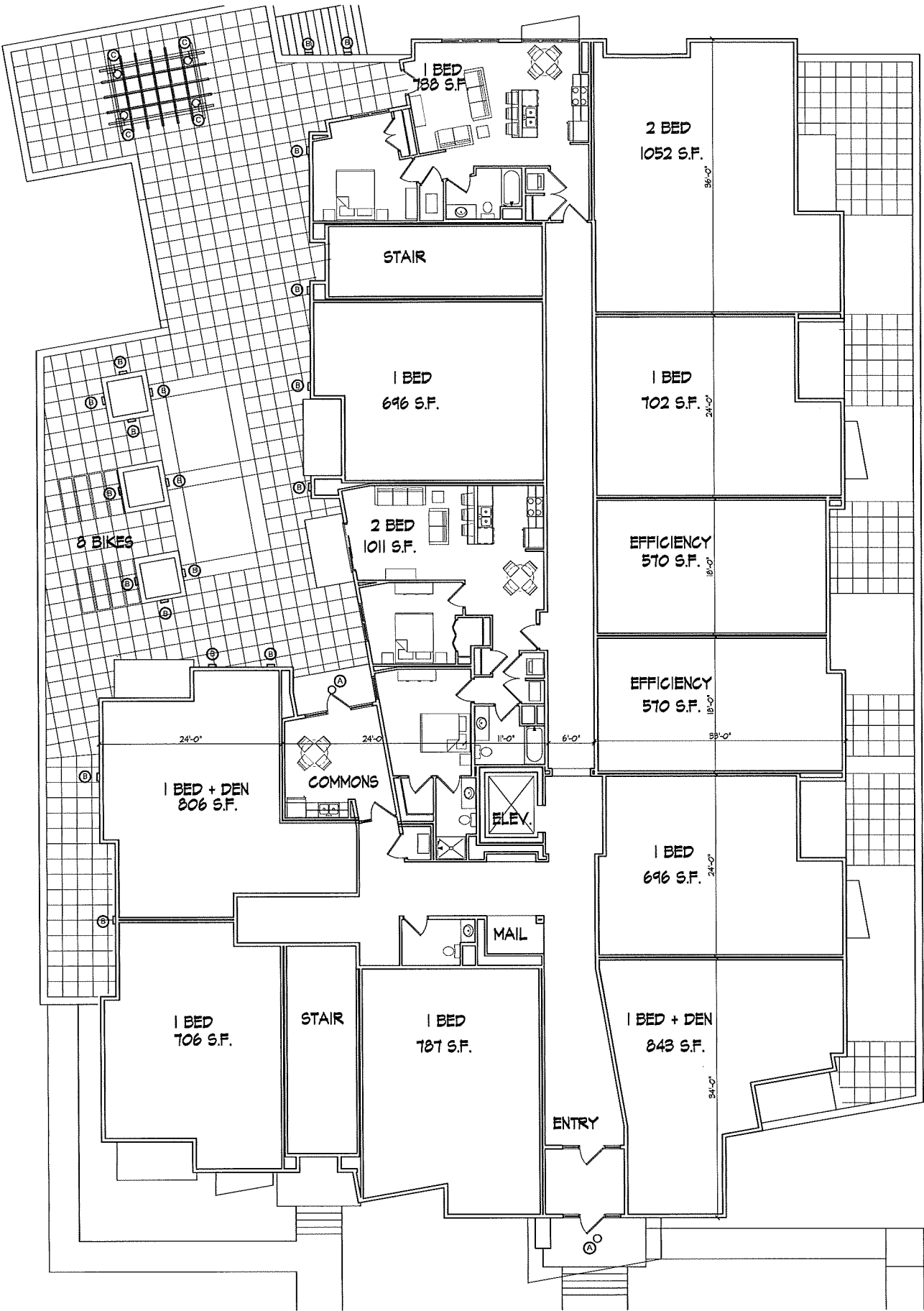
Project No.

1229

Drawing No.

A-1.2

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FIRST FLOOR PLAN WITH LIGHTING

1/8" = 1'-0"

UNIT MIX:

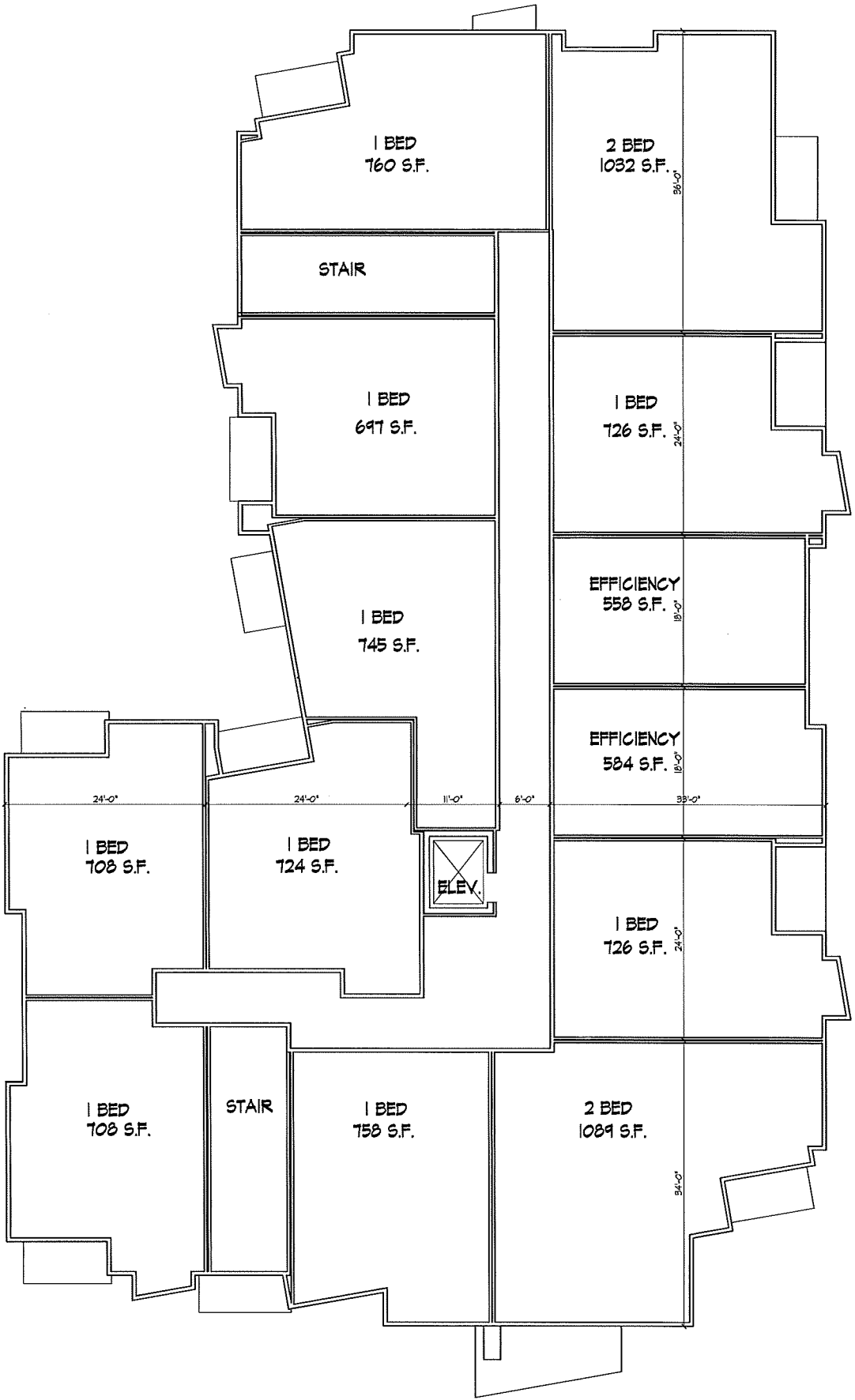
6 - EFFICIENCY

33 - ONE BEDROOMS

2 - ONE BEDROOM + DEN

9 - TWO BEDROOMS





SECOND AND THIRD FLOOR PLAN  
1/8" = 1'-0"



Consultant

## Notes

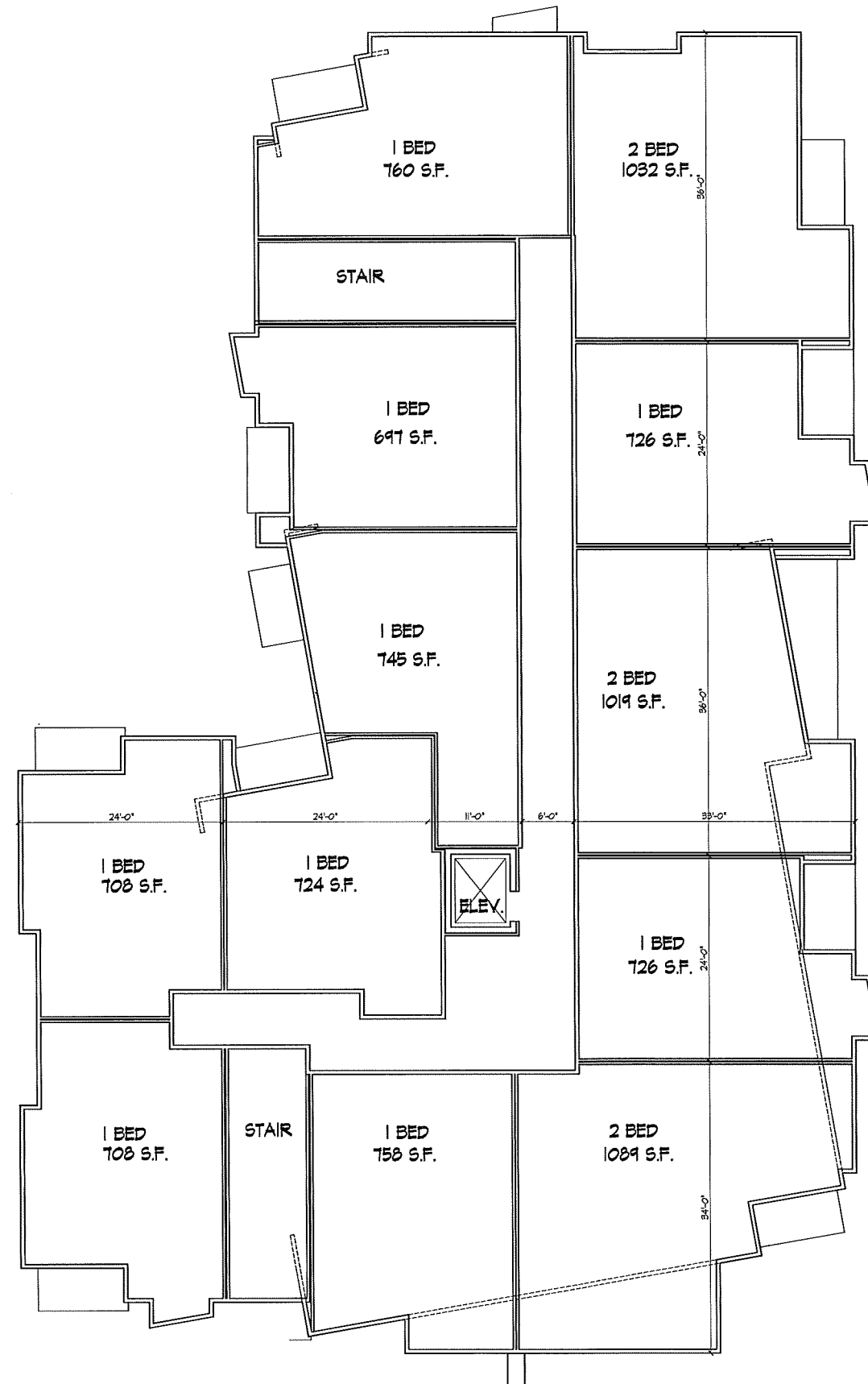
Revisions  
SIP Submittal - March 20, 2013

Project Title  
Atwood Avenue

1924 Atwood Ave.  
Drawing Title  
Fourth Floor Plan

Project No.	Drawing No.
1229	A-1.4

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**FOURTH FLOOR PLAN**  
1/8" = 1'-0"





 SOUTHEAST ELEVATION  
1/8" = 1'-0"



 NORTHEAST ELEVATION  
1/8" = 1'-0"





○ NORTHWEST ELEVATION  
1/8" = 1'-0"



○ SOUTHWEST ELEVATION  
1/8" = 1'-0"





View from Atwood

Perspectives  
May 8, 2013

KNOTHE  
& BRUCE  
*architects*



