





SITE DEVELOPMENT DATA	
DENSITIES:	
Lot Area	36,868 SF. (846 Acres)
Dwelling Units	50 Units
Lot Area / DU.	737 SF./Unit
Density	11.2 net DU/Acre
Usable Open Space	
Usable Open Space/DU.	
DWELLING UNIT MIX:	
Efficiency	6
One Bedroom	33
One Bedroom + Den	2
Two Bedroom	1
Total	50
VEHICLE PARKING:	
Underground	49 Stalls
Surface	5 Stalls
Total	54 Stalls
Ratio	1.08 Stalls/DU.
BIKE PARKING:	
Surface	10
Underground	42
Total	52

SHEET INDEX:

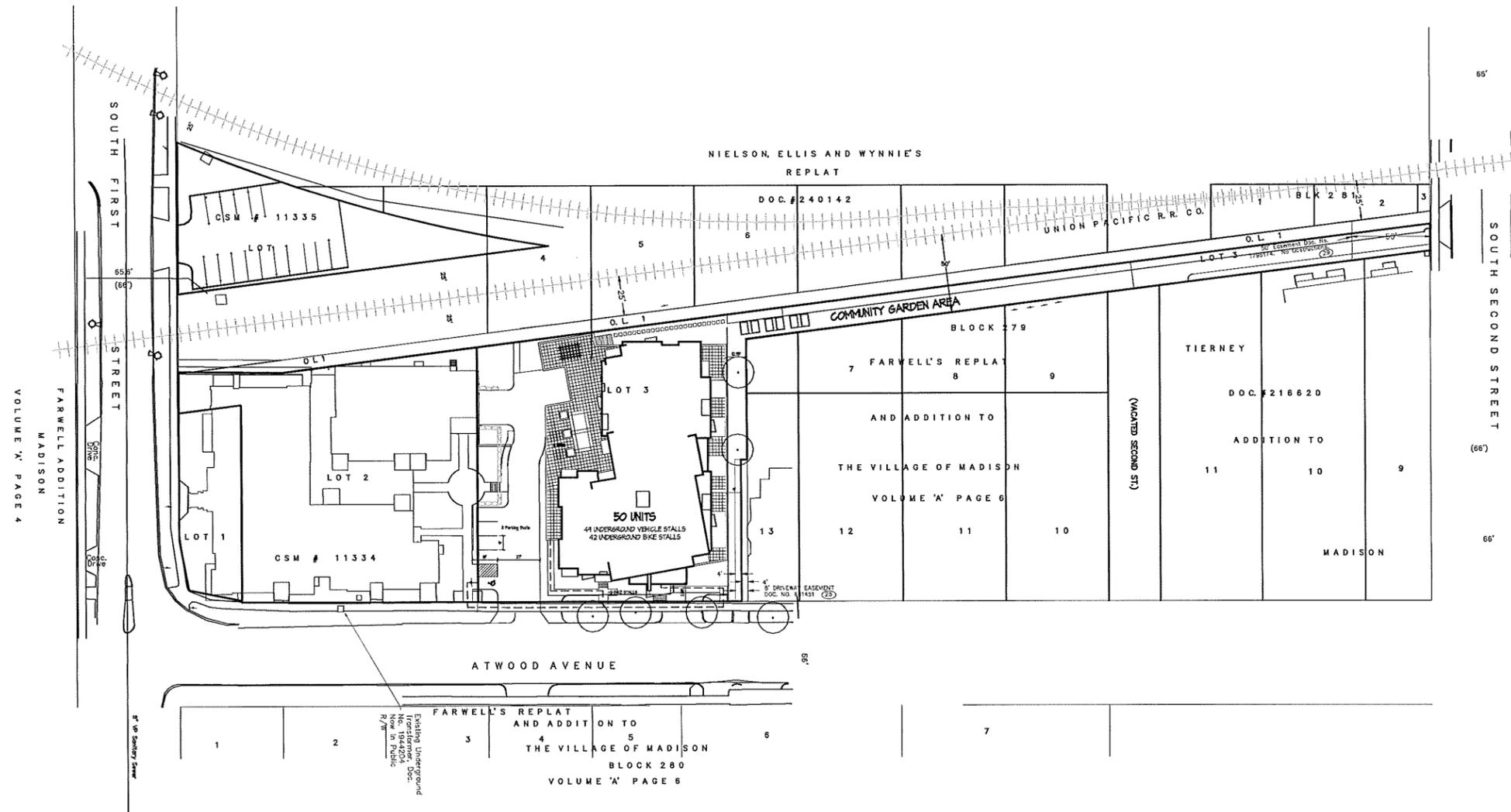
SITE	OVERALL SITE PLAN
C-1.1	OVERALL SITE PLAN
C-1.2	SITE AND LIGHTING PLAN
L-1.0	LANDSCAPE PLAN
C-2.1	EXISTING CONDITIONS
C-2.2	DEMOLITION PLAN
C-2.3	UTILITY PLAN
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ARCHITECTURAL

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SITE DEVELOPMENT DATA

DENSITIES:	
Lot Area	86,868 SF. (2.46 Acres)
Dwelling Units	50 Units
Lot Area / DU	1737 S.F./Acre
Density	172.2 net DU/Acre
Usable Open Space	
Usable Open Space/DU	
DWELLINGS UNIT MIX:	
Efficiency	6
One Bedroom	33
One Bedroom + Den	2
Two Bedroom	1
Total	50
VEHICLE PARKING	
Underground	44 Stalls
Surface	5 Stalls
Total	54 Stalls
Ratio	1.08 Stalls/DU
BIKE PARKING	
Surface	10
Underground	42
Total	52



Overall Site Plan
1" = 40'

Revisions
RD-51P Submittal - March 20, 2013

Project Title
Atwood Avenue

1924 Atwood Avenue
Drawing Title
Overall Site Plan

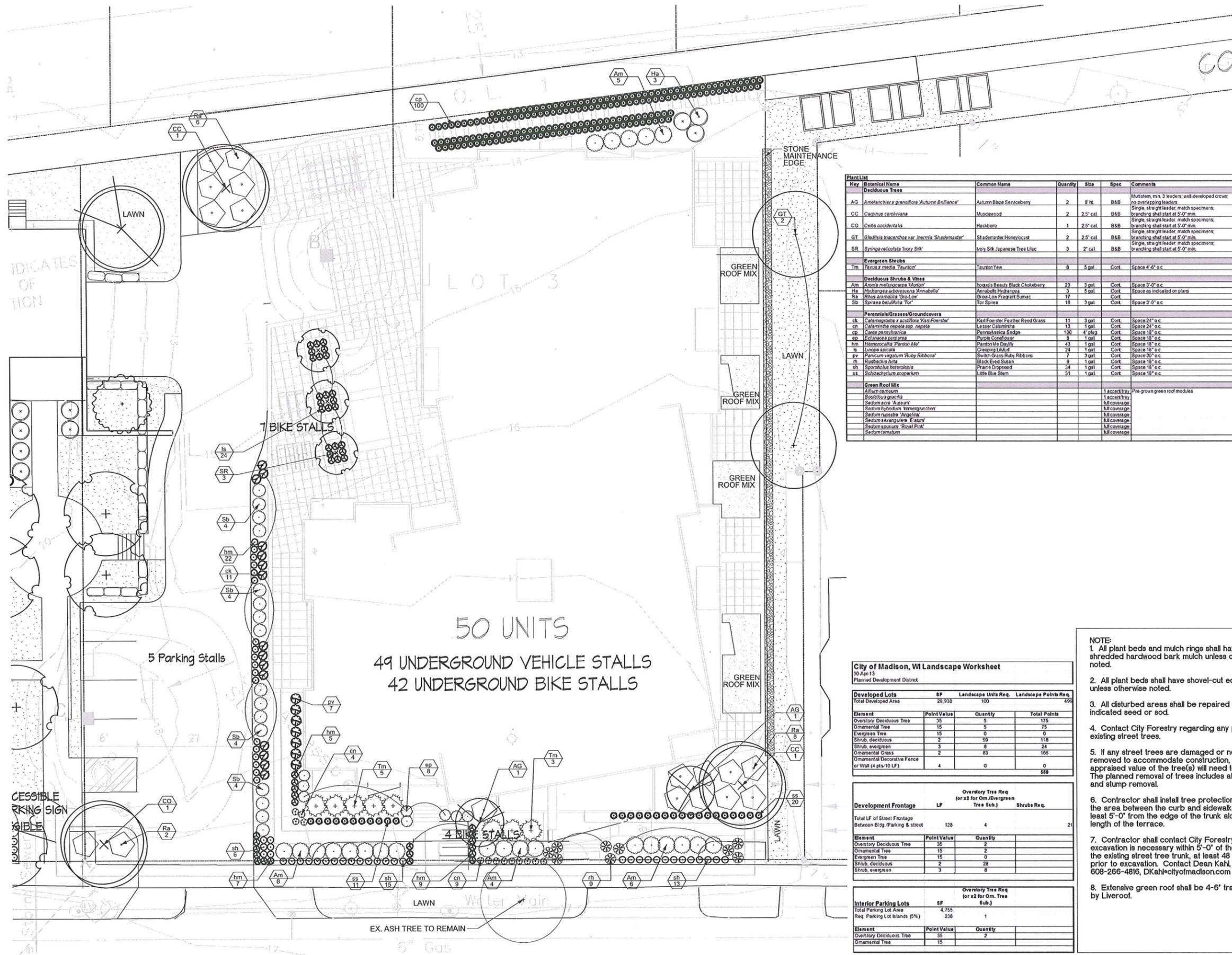
Project No. 1229 Drawing No. C-1.1

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Consultant



Notes



Key	Botanical Name	Common Name	Quantity	Size	Spec	Comments	Mature Size
Deciduous Trees							
AG	<i>Amelanchier x grandiflora 'Autumn Brilliance'</i>	Autumn Blaze Serviceberry	2	8" Ht	B&B	Musiform, min. 3 leaders; well-developed crown; no overhanging leaders	20-25' Ht x 20-25' Sp
CC	<i>Cornus caroliniana</i>	Musclewood	2	2 1/2" cal	B&B	Single, straight leader; match specimens; branching shall start at 5'-0" min.	22' Ht x 25' Sp
CO	<i>Celtis occidentalis</i>	Hickory	1	2 1/2" cal	B&B	Single, straight leader; match specimens; branching shall start at 5'-0" min.	60' Ht x 60' Sp
GT	<i>Gleditsia inaequalis var. inermis 'Shademaster'</i>	Shademaster Honeylocust	2	2 1/2" cal	B&B	Single, straight leader; match specimens; branching shall start at 5'-0" min.	50-60' Ht x 30-35' Sp
SR	<i>Syringa reticulata 'Ivory Silk'</i>	Ivory Silk Japanese Tree Lilac	3	2" cal	B&B	Single, straight leader; match specimens; branching shall start at 5'-0" min.	25' Ht x 15-20' Sp
Evergreen Shrubs							
Tm	<i>Taxus x media 'Taurin'</i>	Taurin Yew	8	5 gal	Cort	Space 4'-0" o.c.	3-5' Ht x 3-6' Sp
Deciduous Shrubs & Vines							
Am	<i>Amorpha melanocarpa 'Marion'</i>	Marion's Beauty Black Chokeberry	23	3 gal	Cort	Space 3'-0" o.c.	2-3' Ht x 3'-4' Sp
Ha	<i>Hydrangea arborescens 'Annabelle'</i>	Annabelle Hydrangea	3	6 gal	Cort	Space as indicated on plans	3'-4' Ht x 2'-5' Sp
Ra	<i>Rhus aromatica 'Scent-Lov'</i>	Gro-Low Fragrant Sumac	17		Cort		
Sb	<i>Spiraea betulifolia 'Tor'</i>	Tor Spiraea	16	3 gal	Cort	Space 3'-0" o.c.	2-3' Ht x 2-3' Sp
Perennials/Grasses/Groundcovers							
ck	<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	Karl Foerster Feather Reed Grass	11	3 gal	Cort	Space 24" o.c.	4-6' Ht x 2-3' Sp
cn	<i>Calamintha Nepeta ssp. nepeta</i>	Lemon Balm	13	1 gal	Cort	Space 24" o.c.	1-5' Ht x 1.5-2' Sp
cp	<i>Carex pensilvanica</i>	Pennsylvania Sedge	100	4" plug	Cort	Space 18" o.c.	1-5' Ht x 1.5-2' Sp
ep	<i>Echinacea purpurea</i>	Purple Coneflower	8	1 gal	Cort	Space 18" o.c.	1-5' Ht x 1.5-2' Sp
hm	<i>Hemerocallis 'Pardon Me'</i>	Pardon Me Daylily	43	1 gal	Cort	Space 18" o.c.	1-5' Ht x 1.5-2' Sp
ls	<i>Limonium spicata</i>	Creeping Larkspur	24	1 gal	Cort	Space 18" o.c.	1-5' Ht x 1.5-2' Sp
pv	<i>Panicum virgatum 'RUBY Ribbons'</i>	Ruby Ribbons Switch Grass	7	3 gal	Cort	Space 30" o.c.	4-6' Ht x 2-3' Sp
rn	<i>Rudbeckia hirta</i>	Black-eyed Susan	9	1 gal	Cort	Space 18" o.c.	2-3' Ht x 1.5-2' Sp
sh	<i>Scorobolus heterostachia</i>	Prarie Dropseed	14	1 gal	Cort	Space 18" o.c.	1-5' Ht x 1.5-2' Sp
ss	<i>Scytanthus acuminatus</i>	Little Blue Stem	51	1 gal	Cort	Space 18" o.c.	2-3' Ht x 1.5-2' Sp
Green Roof Mix							
	<i>Alyxandria</i>				1 accent tray	Pre-grown green roof modules	native
	<i>Bouteloua gracilis</i>				1 accent tray		native
	<i>Setaria viridis</i>				full coverage		
	<i>Setaria hybridum 'Emerging Sun'</i>				full coverage		
	<i>Setaria rupestris 'Angelina'</i>				full coverage		
	<i>Setaria verticillata 'Elegant'</i>				full coverage		
	<i>Setaria spicata 'Royal Purple'</i>				full coverage		
	<i>Setaria tenuifolia</i>				full coverage		native

Developed Lots	SF	Landscape Units Req.	Landscape Points Req.
Total Developed Area	29,938	100	499
Element	Point Value	Quantity	Total Points
Overstory Deciduous Tree	35	5	175
Overstory Tree	15	5	75
Overstory Evergreen Tree	15	0	0
Shrub, deciduous	2	59	118
Shrub, evergreen	3	8	24
Ornamental Grass	2	83	166
Ornamental Decorative Fence or Wall (4' x 10' LF)	4	0	0
			558
Development Frontage	LF	Tree Sub Req.	Shrubs Req.
Total LF of Street Frontage Between Bldg./Parking & Street	128	4	21
Element	Point Value	Quantity	
Overstory Deciduous Tree	35	2	
Overstory Tree	15	2	
Evergreen Tree	15	0	
Shrub, deciduous	2	28	
Shrub, evergreen	3	8	
Interior Parking Lots	SF	Tree Sub Req.	
Total Parking Lot Area	4,755	1	
Req. Parking Lot Islands (5%)	238	1	
Element	Point Value	Quantity	
Overstory Deciduous Tree	35	2	
Overstory Tree	15	2	

- NOTE:**
- All plant beds and mulch rings shall have shredded hardwood bark mulch unless otherwise noted.
 - All plant beds shall have shovel-cut edging unless otherwise noted.
 - All disturbed areas shall be repaired with indicated seed or sod.
 - Contact City Forestry regarding any pruning of existing street trees.
 - If any street trees are damaged or need to be removed to accommodate construction, the appraised value of the tree(s) will need to be paid. The planned removal of trees includes all brush and stump removal.
 - Contractor shall install tree protection fencing in the area between the curb and sidewalk, and at least 5'-0" from the edge of the trunk along the length of the terrace.
 - Contractor shall contact City Forestry if any excavation is necessary within 5'-0" of the edge of the existing street tree trunk, at least 48 hours prior to excavation. Contact Dean Kahl, 608-266-4816, DKahl@cityofmadison.com
 - Extensive green roof shall be 4-6" tray system by Liveroof.

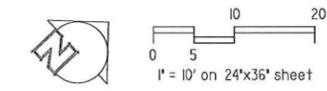
Revisions
PUD-5/P Submittal - March 20, 2013
Submittal - May 1, 2013

Project Title
Atwood Avenue

1924 Atwood Avenue
Drawing Title
Planting Plan

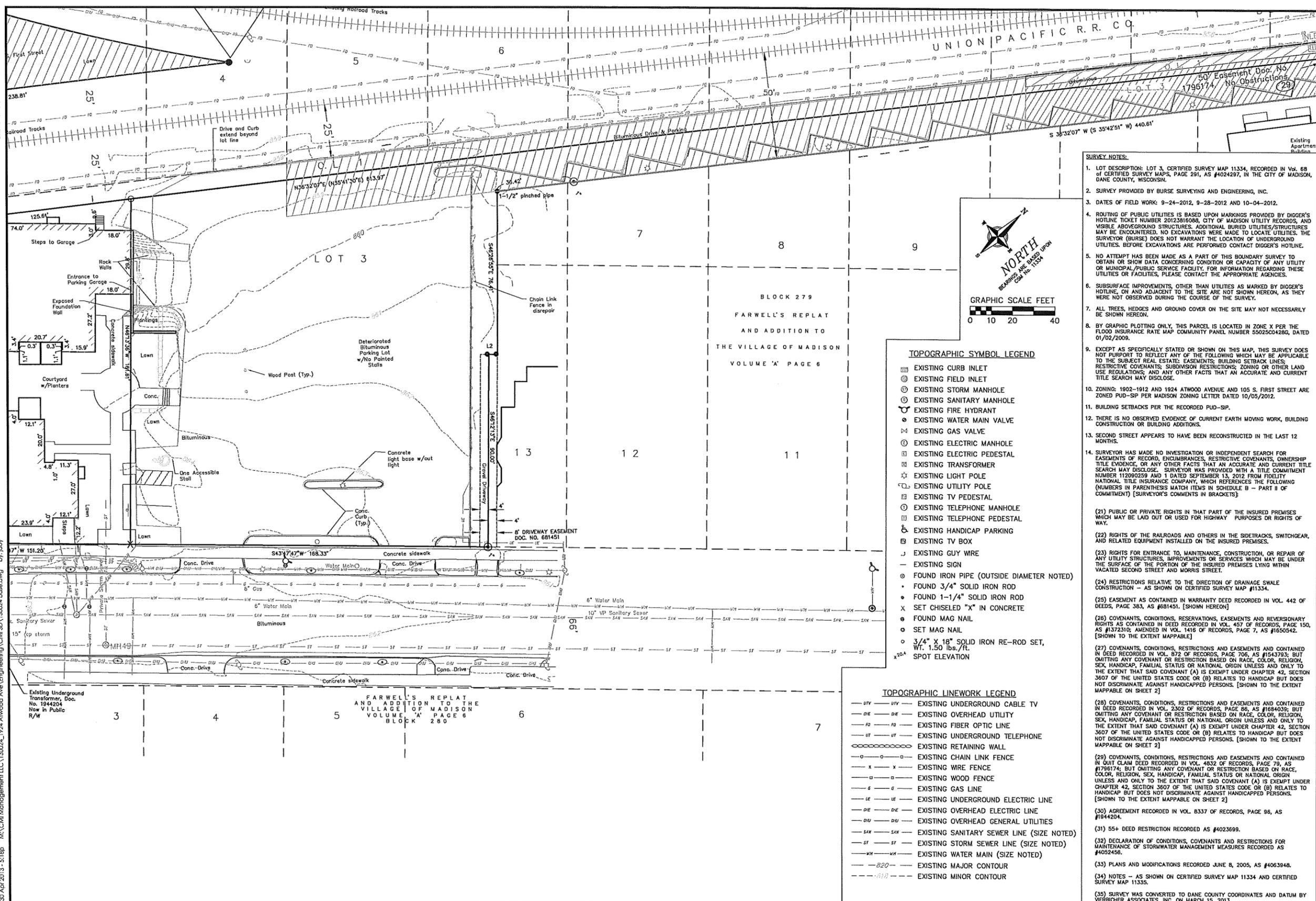
Project No. 1229
Drawing No. L-1.0

1 PLANTING PLAN
L-1.0



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30 Apr 2013 - 5:18p M:\CM Management\1133024\1924 Atwood Ave Engineering\Civil\30024_1924 Atwood Ave base.dwg by: jdy



TOPOGRAPHIC SYMBOL LEGEND

- ⊖ EXISTING CURB INLET
- ⊖ EXISTING FIELD INLET
- ⊖ EXISTING STORM MANHOLE
- ⊖ EXISTING SANITARY MANHOLE
- ⊖ EXISTING FIRE HYDRANT
- ⊖ EXISTING WATER MAIN VALVE
- ⊖ EXISTING GAS VALVE
- ⊖ EXISTING ELECTRIC MANHOLE
- ⊖ EXISTING ELECTRIC PEDESTAL
- ⊖ EXISTING TRANSFORMER
- ⊖ EXISTING LIGHT POLE
- ⊖ EXISTING UTILITY POLE
- ⊖ EXISTING TV PEDESTAL
- ⊖ EXISTING TELEPHONE MANHOLE
- ⊖ EXISTING TELEPHONE PEDESTAL
- ⊖ EXISTING HANDICAP PARKING
- ⊖ EXISTING TV BOX
- ⊖ EXISTING GUY WIRE
- ⊖ EXISTING SIGN
- ⊖ FOUND IRON PIPE (OUTSIDE DIAMETER NOTED)
- ⊖ FOUND 3/4" SOLID IRON ROD
- ⊖ FOUND 1-1/4" SOLID IRON ROD
- X SET CHISELED "X" IN CONCRETE
- ⊖ FOUND MAG NAIL
- ⊖ SET MAG NAIL
- ⊖ 3/4" X 18" SOLID IRON RE-ROD SET, WT. 1.50 lbs./ft.
- x^{20.4} SPOT ELEVATION

TOPOGRAPHIC LINEWORK LEGEND

- UT --- EXISTING UNDERGROUND CABLE TV
- OE --- EXISTING OVERHEAD UTILITY
- FO --- EXISTING FIBER OPTIC LINE
- UT --- EXISTING UNDERGROUND TELEPHONE
- ⊖ --- EXISTING RETAINING WALL
- CL --- EXISTING CHAIN LINK FENCE
- X --- EXISTING WIRE FENCE
- W --- EXISTING WOOD FENCE
- G --- EXISTING GAS LINE
- EE --- EXISTING UNDERGROUND ELECTRIC LINE
- OE --- EXISTING OVERHEAD ELECTRIC LINE
- OU --- EXISTING OVERHEAD GENERAL UTILITIES
- SS --- EXISTING SANITARY SEWER LINE (SIZE NOTED)
- SF --- EXISTING STORM SEWER LINE (SIZE NOTED)
- WM --- EXISTING WATER MAIN (SIZE NOTED)
- B20 --- EXISTING MAJOR CONTOUR
- B10 --- EXISTING MINOR CONTOUR

SURVEY NOTES:

- LOT DESCRIPTION: LOT 3, CERTIFIED SURVEY MAP 11334, RECORDED IN Vol. 68 of CERTIFIED SURVEY MAPS, PAGE 291, AS #4024297, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.
- SURVEY PROVIDED BY BURSE SURVEYING AND ENGINEERING, INC.
- DATES OF FIELD WORK: 9-24-2012, 9-28-2012 AND 10-04-2012.
- ROUTING OF PUBLIC UTILITIES IS BASED UPON MARKINGS PROVIDED BY DIGGER'S HOTLINE TICKET NUMBER 20123816088, CITY OF MADISON UTILITY RECORDS, AND VISBLE ABOVEGROUND STRUCTURES. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE TO LOCATE UTILITIES. THE SURVEYOR (BURSE) DOES NOT WARRANT THE LOCATION OF UNDERGROUND UTILITIES. BEFORE EXCAVATIONS ARE PERFORMED CONTACT DIGGER'S HOTLINE.
- NO ATTEMPT HAS BEEN MADE AS A PART OF THIS BOUNDARY SURVEY TO OBTAIN OR SHOW DATA CONCERNING CONDITION OR CAPACITY OF ANY UTILITY OR MUNICIPAL/PUBLIC SERVICE FACILITY. FOR INFORMATION REGARDING THESE UTILITIES OR FACILITIES, PLEASE CONTACT THE APPROPRIATE AGENCIES.
- SUBSURFACE IMPROVEMENTS, OTHER THAN UTILITIES AS MARKED BY DIGGER'S HOTLINE, ON AND ADJACENT TO THE SITE ARE NOT SHOWN HEREON, AS THEY WERE NOT OBSERVED DURING THE COURSE OF THE SURVEY.
- ALL TREES, HEDGES AND GROUND COVER ON THE SITE MAY NOT NECESSARILY BE SHOWN HEREON.
- BY GRAPHIC PLOTTING ONLY, THIS PARCEL IS LOCATED IN ZONE X PER THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 55025C0426G, DATED 01/02/2009.
- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND USE REGULATIONS; AND ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- ZONING: 1902-1912 AND 1924 ATWOOD AVENUE AND 105 S. FIRST STREET ARE ZONED PUD-SIP PER MADISON ZONING LETTER DATED 10/05/2012.
- BUILDING SETBACKS PER THE RECORDED PUD-SIP.
- THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- SECOND STREET APPEARS TO HAVE BEEN RECONSTRUCTED IN THE LAST 12 MONTHS.
- SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. SURVEYOR WAS PROVIDED WITH A TITLE COMMITMENT NUMBER 112090259 AND 1 DATED SEPTEMBER 13, 2012 FROM FIDELITY NATIONAL TITLE INSURANCE COMPANY, WHICH REFERENCES THE FOLLOWING (NUMBERS IN PARENTHESES MATCH ITEMS IN SCHEDULE B - PART B OF COMMITMENT) [SURVEYOR'S COMMENTS IN BRACKETS]:
 - (21) PUBLIC OR PRIVATE RIGHTS IN THAT PART OF THE INSURED PREMISES WHICH MAY BE LAID OUT OR USED FOR HIGHWAY PURPOSES OR RIGHTS OF WAY.
 - (22) RIGHTS OF THE RAILROADS AND OTHERS IN THE SIDETRACKS, SWITCHGEAR, AND RELATED EQUIPMENT INSTALLED ON THE INSURED PREMISES.
 - (23) RIGHTS FOR ENTRANCE TO, MAINTENANCE, CONSTRUCTION, OR REPAIR OF ANY UTILITY STRUCTURES, IMPROVEMENTS OR SERVICES WHICH MAY BE UNDER THE SURFACE OF THE PORTION OF THE INSURED PREMISES LYING WITHIN VACATED SECOND STREET AND MORRIS STREET.
 - (24) RESTRICTIONS RELATIVE TO THE DIRECTION OF DRAINAGE SWALE CONSTRUCTION - AS SHOWN ON CERTIFIED SURVEY MAP #11334.
 - (25) EASEMENT AS CONTAINED IN WARRANTY DEED RECORDED IN VOL. 442 OF DEEDS, PAGE 383, AS #681451. [SHOWN HEREON]
 - (26) COVENANTS, CONDITIONS, RESERVATIONS, EASEMENTS AND REVERSIONARY RIGHTS AS CONTAINED IN DEED RECORDED IN VOL. 457 OF RECORDS, PAGE 150, AS #1372310; AMENDED IN VOL. 1416 OF RECORDS, PAGE 7, AS #1650542. [SHOWN TO THE EXTENT MAPPABLE]
 - (27) COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS AND CONTAINED IN DEED RECORDED IN VOL. 872 OF RECORDS, PAGE 706, AS #1643793; BUT OMITTING ANY COVENANT OR RESTRICTION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN UNLESS AND ONLY TO THE EXTENT THAT SAID COVENANT (A) IS EXEMPT UNDER CHAPTER 42, SECTION 3607 OF THE UNITED STATES CODE OR (B) RELATES TO HANDICAP BUT DOES NOT DISCRIMINATE AGAINST HANDICAPPED PERSONS. [SHOWN TO THE EXTENT MAPPABLE ON SHEET 2]
 - (28) COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS AND CONTAINED IN DEED RECORDED IN VOL. 2302 OF RECORDS, PAGE 86, AS #1684039; BUT OMITTING ANY COVENANT OR RESTRICTION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN UNLESS AND ONLY TO THE EXTENT THAT SAID COVENANT (A) IS EXEMPT UNDER CHAPTER 42, SECTION 3607 OF THE UNITED STATES CODE OR (B) RELATES TO HANDICAP BUT DOES NOT DISCRIMINATE AGAINST HANDICAPPED PERSONS. [SHOWN TO THE EXTENT MAPPABLE ON SHEET 2]
 - (29) COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS AND CONTAINED IN DEED RECORDED IN VOL. 4832 OF RECORDS, PAGE 79, AS #1786174; BUT OMITTING ANY COVENANT OR RESTRICTION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN UNLESS AND ONLY TO THE EXTENT THAT SAID COVENANT (A) IS EXEMPT UNDER CHAPTER 42, SECTION 3607 OF THE UNITED STATES CODE OR (B) RELATES TO HANDICAP BUT DOES NOT DISCRIMINATE AGAINST HANDICAPPED PERSONS. [SHOWN TO THE EXTENT MAPPABLE ON SHEET 2]
 - (30) AGREEMENT RECORDED IN VOL. 8337 OF RECORDS, PAGE 96, AS #1944204.
 - (31) 55+ DEED RESTRICTION RECORDED AS #4023699.
 - (32) DECLARATION OF CONDITIONS, COVENANTS AND RESTRICTIONS FOR MAINTENANCE OF STORMWATER MANAGEMENT MEASURES RECORDED AS #4052456.
 - (33) PLANS AND MODIFICATIONS RECORDED JUNE 8, 2005, AS #4063948.
 - (34) NOTES - AS SHOWN ON CERTIFIED SURVEY MAP 11334 AND CERTIFIED SURVEY MAP 11335.
 - (35) SURVEY WAS CONVERTED TO DANE COUNTY COORDINATES AND DATUM BY VERBICHER ASSOCIATES, INC. ON MARCH 15, 2013.

vierbicher
engineers & planners
advisors

EXISTING CONDITIONS
CMI MANAGEMENT, LLC DEVELOPMENT
1924 ATWOOD AVENUE
CITY OF MADISON, DANE COUNTY, WISCONSIN

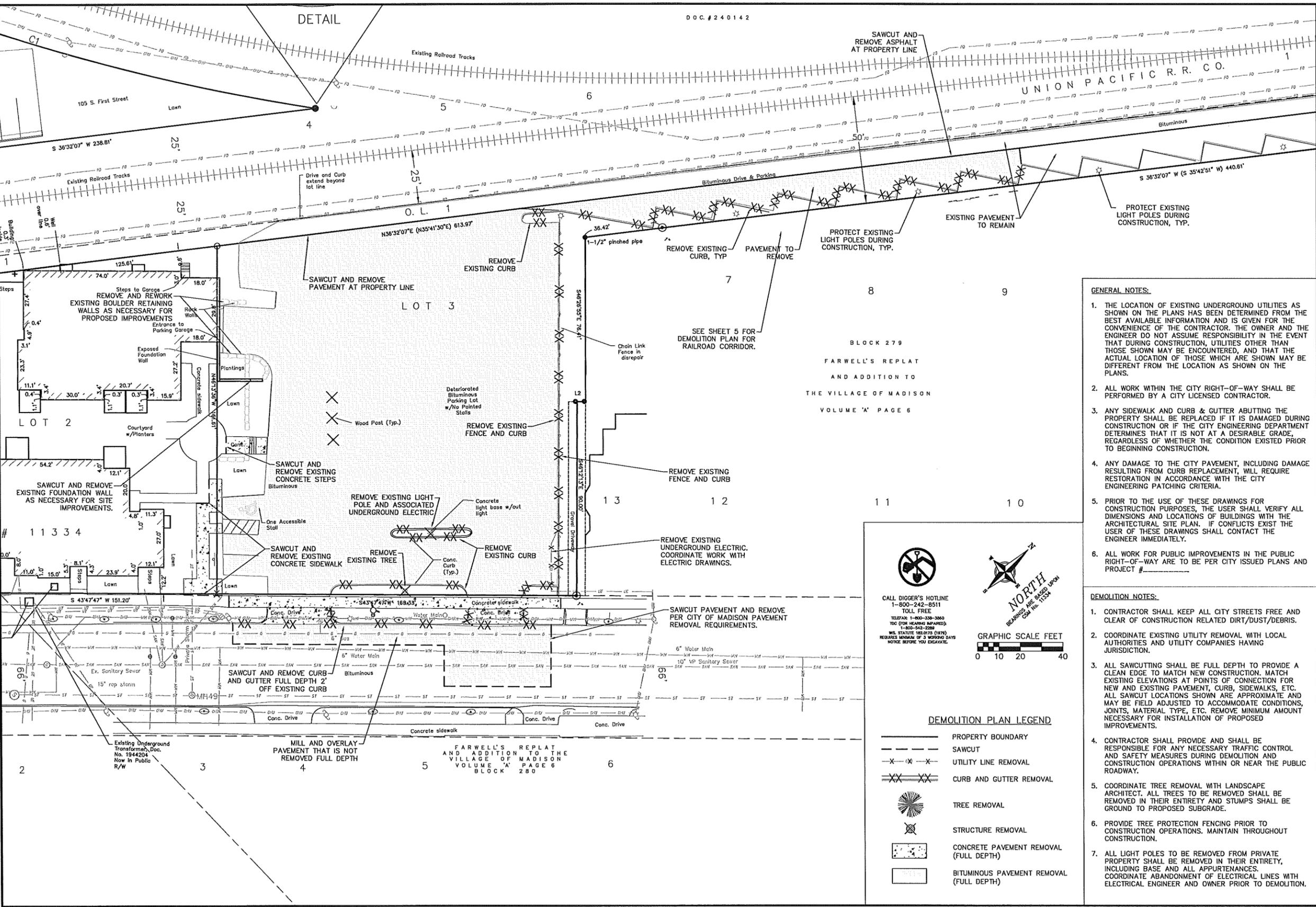
REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

SCALE AS SHOWN
DATE 4-30-13
DRAFTER TOBY
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PROJECT NO. 130024
SHEET 1 OF 6
DWG. NO.

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30 Apr 2013 - 5:20p N:\CM Management LLC\130024_1924 Atwood Ave\Engineering\Civil\3D\130024 base.dwg by: jdy

DOC. # 240142



- GENERAL NOTES:**
1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
 2. ALL WORK WITHIN THE CITY RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
 3. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
 4. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.
 5. PRIOR TO THE USE OF THESE DRAWINGS FOR CONSTRUCTION PURPOSES, THE USER SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF BUILDINGS WITH THE ARCHITECTURAL SITE PLAN. IF CONFLICTS EXIST THE USER OF THESE DRAWINGS SHALL CONTACT THE ENGINEER IMMEDIATELY.
 6. ALL WORK FOR PUBLIC IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY ARE TO BE PER CITY ISSUED PLANS AND PROJECT #

- DEMOLITION NOTES:**
1. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
 2. COORDINATE EXISTING UTILITY REMOVAL WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
 3. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
 4. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
 5. COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.
 6. PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
 7. ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE ABANDONMENT OF ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.

DEMOLITION PLAN LEGEND

- PROPERTY BOUNDARY
- - - SAWCUT
- X-X- UTILITY LINE REMOVAL
- XX XX CURB AND GUTTER REMOVAL
- ☼ TREE REMOVAL
- ⊗ STRUCTURE REMOVAL
- ▒ CONCRETE PAVEMENT REMOVAL (FULL DEPTH)
- ▒ BITUMINOUS PAVEMENT REMOVAL (FULL DEPTH)

CALL DIGGER'S HOTLINE
1-800-242-8511
TOLL FREE
TELEFAX 1-800-330-3060
TOD (FOR HEARING IMPAIRED)
1-800-542-2269
WIS. STATUTE 182.0175 (187)
REQUIRES MINIMUM OF 3 WORKING DAYS
NOTICE BEFORE YOU EXCAVATE.

NORTH
BEARING: N 89° 15' 34" W
SCALE: 1" = 10'

GRAPHIC SCALE FEET
0 10 20 40

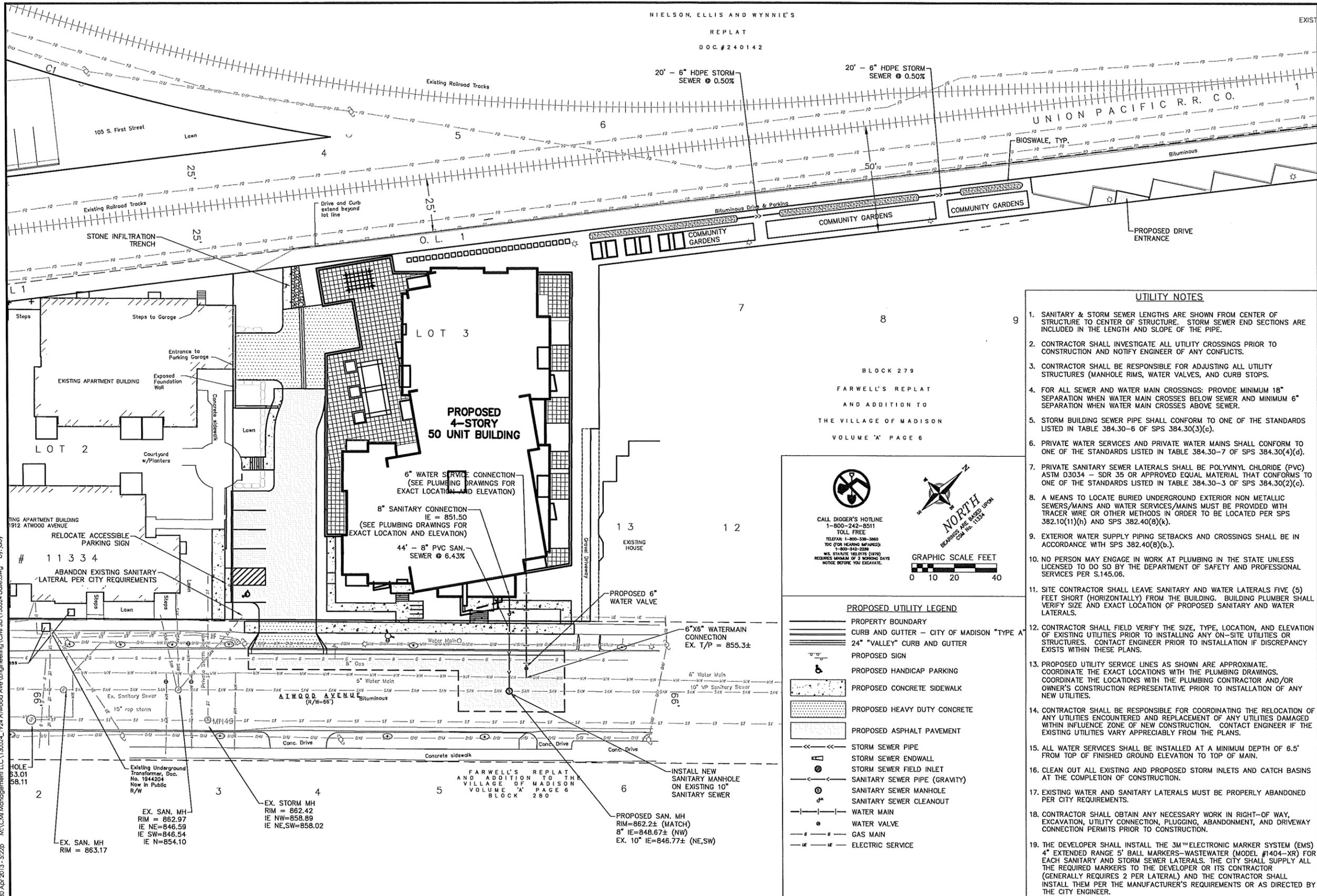
vierbicher
engineers | advisors
planners
REEDSBURG - MADISON - FRAIRIE DU CHIEN
977 FARM ROAD, REEDSBURG, WI 53151
PHONE: (608) 824-3332 FAX: (608) 824-0300

DEMOLITION PLAN
CMI MANAGEMENT, LLC DEVELOPMENT
1924 ATWOOD AVENUE
CITY OF MADISON, DANE COUNTY, WISCONSIN

REVISIONS	NO.	DATE	REMARKS
SCALE	AS SHOWN		
DATE	4-30-13		
DRAFTER	TCOY		
CHECKED	JDOY		
PROJECT NO.	130024		
SHEET	2 OF 6		
DWG. NO.			

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30 Apr 2013 - 5:22p M:\CM Management LLC\130024_1924 Atwood Ave\Engineering\Chil 3D\130024 base.dwg by: jdy



NIELSON, ELLIS AND WYNNIE'S
REPLAT
DOC. # 240142

BLOCK 279
FARWELL'S REPLAT
AND ADDITION TO
THE VILLAGE OF MADISON
VOLUME 'A' PAGE 6

CALL DIGGER'S HOTLINE
1-800-242-8511
TOLL FREE
TELEFAX: 1-800-238-3860
TDC (FOR HEARING IMPAIRED):
1-800-543-2289
WIS. STATUTE 182.0175 (1979)
REQUIRES MANUAL OF 3 BUSINESS DAYS
NOTICE BEFORE YOU EXCAVATE.

GRAPHIC SCALE FEET
0 10 20 40

PROPOSED UTILITY LEGEND

- — — — — PROPERTY BOUNDARY
- — — — — CURB AND GUTTER - CITY OF MADISON "TYPE A"
- — — — — 24" "VALLEY" CURB AND GUTTER
- ⓑ PROPOSED SIGN
- ⓑ PROPOSED HANDICAP PARKING
- ▨ PROPOSED CONCRETE SIDEWALK
- ▨ PROPOSED HEAVY DUTY CONCRETE
- ▨ PROPOSED ASPHALT PAVEMENT
- — — — — STORM SEWER PIPE
- — — — — STORM SEWER ENDWALL
- — — — — STORM SEWER FIELD INLET
- — — — — SANITARY SEWER PIPE (GRAVITY)
- — — — — SANITARY SEWER MANHOLE
- — — — — SANITARY SEWER CLEANOUT
- — — — — WATER MAIN
- — — — — WATER VALVE
- — — — — GAS MAIN
- — — — — ELECTRIC SERVICE

UTILITY NOTES

1. SANITARY & STORM SEWER LENGTHS ARE SHOWN FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
2. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES (MANHOLE RIMS, WATER VALVES, AND CURB STOPS).
4. FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
5. STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
6. PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
7. PRIVATE SANITARY SEWER LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASIM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
8. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(1)(h) AND SPS 382.40(8)(k).
9. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b).
10. NO PERSON MAY ENGAGE IN WORK AT PLUMBING IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
11. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE AND EXACT LOCATION OF PROPOSED SANITARY AND WATER LATERALS.
12. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
13. PROPOSED UTILITY SERVICE LINES AS SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
15. ALL WATER SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
16. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
17. EXISTING WATER AND SANITARY LATERALS MUST BE PROPERLY ABANDONED PER CITY REQUIREMENTS.
18. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
19. THE DEVELOPER SHALL INSTALL THE 3M™ ELECTRONIC MARKER SYSTEM (EMS) 4" EXTENDED RANGE 5" BALL MARKERS-WASTEWATER (MODEL #1404-XR) FOR EACH SANITARY AND STORM SEWER LATERALS. THE CITY SHALL SUPPLY ALL THE REQUIRED MARKERS TO THE DEVELOPER OR ITS CONTRACTOR (GENERALLY REQUIRES 2 PER LATERAL) AND THE CONTRACTOR SHALL INSTALL THEM PER THE MANUFACTURER'S REQUIREMENTS OR AS DIRECTED BY THE CITY ENGINEER.

UTILITY PLAN

CM1 MANAGEMENT, LLC DEVELOPMENT
1924 ATWOOD AVENUE
CITY OF MADISON, DANE COUNTY, WISCONSIN

REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN

DATE 3-20-13

DRAWN JDD

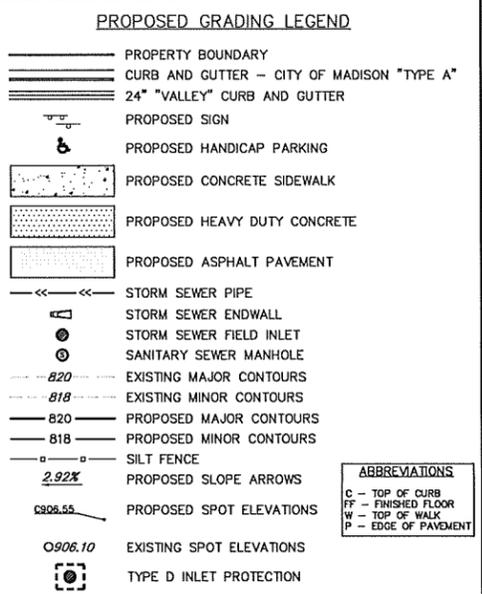
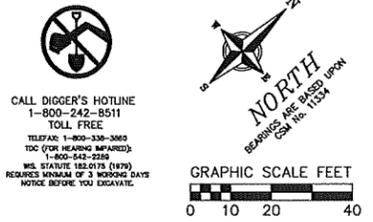
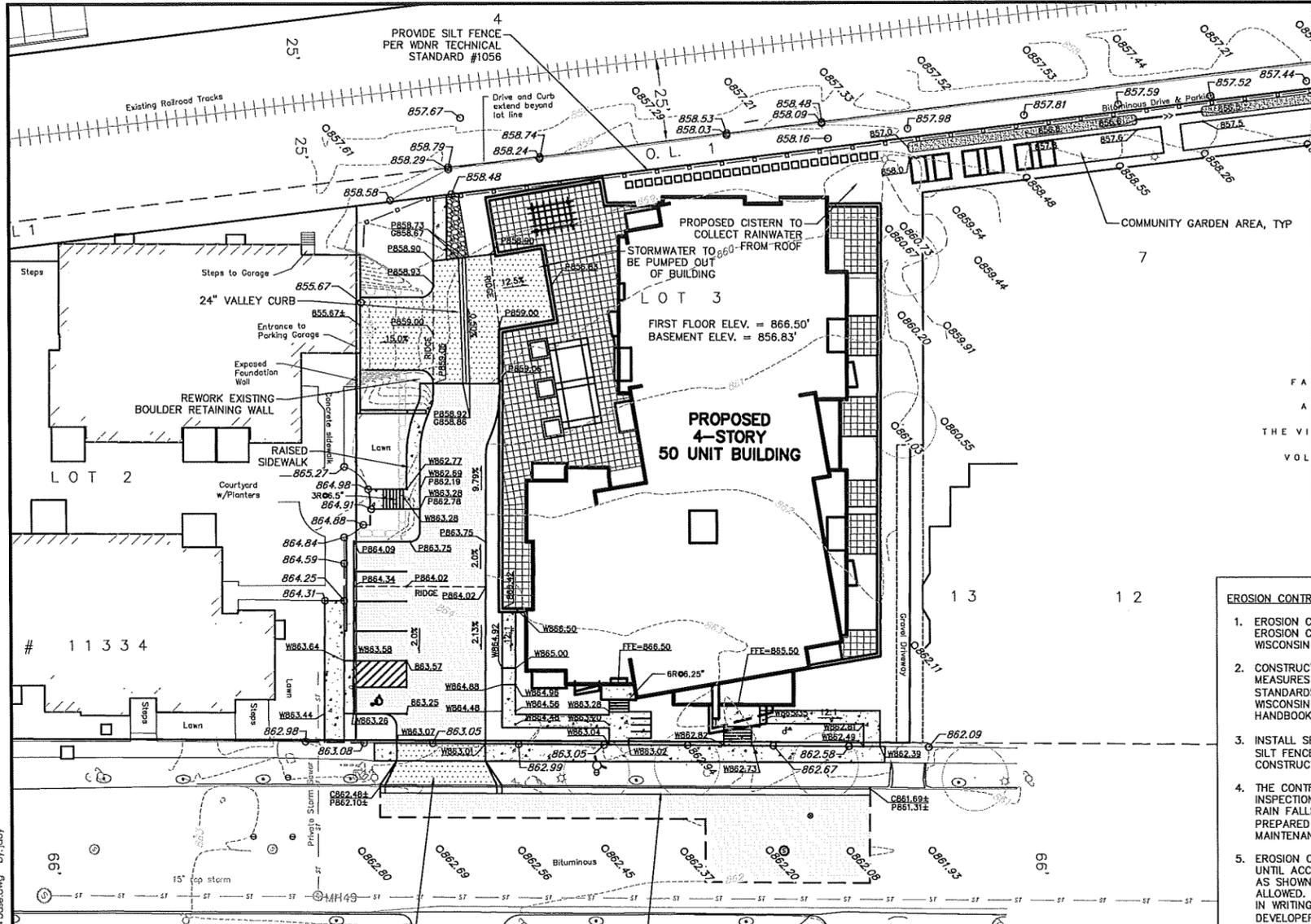
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977 Highway 108, Madison, WI 53717
977 Highway 108, Frairies, WI 53540



EROSION CONTROL MEASURES

- EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
- CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstda.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
- INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WSDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
- STABILIZED DISTURBED GROUND:** ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
- SITE DE-WATERING:** WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING). PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. SUMP PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTH/MESH SOCK SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.
- INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
- RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.
- ALL AREAS WHICH ARE NOT PAVED SHALL RECEIVE A MINIMUM OF 4" TOPSOIL PRIOR TO SEEDING.
- SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
- FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- EROSION MAT (TYPE I CLASS A PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
- SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
- SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY.
- SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
- ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY OF MADISON.
- THE CITY OF MADISON, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.
- CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
- ALL ABANDONED DRIVEWAYS ADJACENT TO THE SITE SHALL BE REPLACED WITH CURB AND THE TERRACE SHALL BE RESTORED WITH GRASS.
- CONTRACTOR SHALL OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, WORK IN RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
- ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

SEEDING RATES:

TEMPORARY:
 1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
 2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 S.F. FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

PERMANENT:
 1. USE WISCONSIN D.O.T. SEED MIX #40 AT 4 LB./1,000 S.F. IN LAWN AND TERRACES.
 2. USE PRAIRIE NURSERY DETENTION BASIN WET PRAIRIE MIX IN DETENTION BASIN BELOW WATER ELEVATION.
 3. USE PRAIRIE NURSERY EROSION CONTROL FOR DRY SOILS IN ALL OTHER AREAS AROUND THE DETENTION BASIN.

FERTILIZING RATES:
TEMPORARY AND PERMANENT:
 USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:
TEMPORARY AND PERMANENT:
 USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

NATIVE PLANTINGS SHALL BE PER MANUFACTURERS RECOMMENDATIONS.

PROVIDE A MINIMUM 50'X24' TRACKING PAD PER WSDNR TECHNICAL STANDARD #1057.

INSTALL NEW 30" TYPE A CITY OF MADISON CURB AND GUTTER, INSTALL AT MINIMUM 0.50%

FARWELL'S REPLAT AND ADDITION TO THE VILLAGE OF MADISON VOLUME "A" PAGE 6 BLOCK 280

SITE PAVING NOTES

- CONCRETE SIDEWALK TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
- HEAVY-DUTY CONCRETE INSTALLED AT DRIVEWAYS, LOADING ZONES, AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
- PROPOSED ASPHALT PAVEMENT SHALL BE 1.5" SURFACE COURSE OVER 1.5" BINDER COURSE OVER A 10" AGGREGATE BASE COURSE.

CONSTRUCTION SEQUENCE:

- INSTALL INLET PROTECTION ON EXISTING INLETS ADJACENT TO PROPERTY.
- REMOVE EXISTING PAVEMENT AND PERFORM OTHER SITE DEMOLITION.
- INSTALL SILT FENCE AND TRACKING PAD.
- ROUGH GRADE DRIVE, PARKING LOT AND BUILDING PAD.
- CONSTRUCT UNDERGROUND UTILITIES.
- CONSTRUCT WALKS, DRIVE, AND PARKING LOT.
- INSTALL INLET PROTECTION ON ALL NEW STORM INLETS.
- FINAL GRADE SITE, INSTALL TOPSOIL, SEED AND MULCH.
- REMOVE SILT FENCE AFTER DISTURBED AREAS ARE STABILIZED.

GRADING AND EROSION CONTROL PLAN

CMI MANAGEMENT, LLC DEVELOPMENT
 1924 ATWOOD AVENUE
 CITY OF MADISON, DANE COUNTY, WISCONSIN

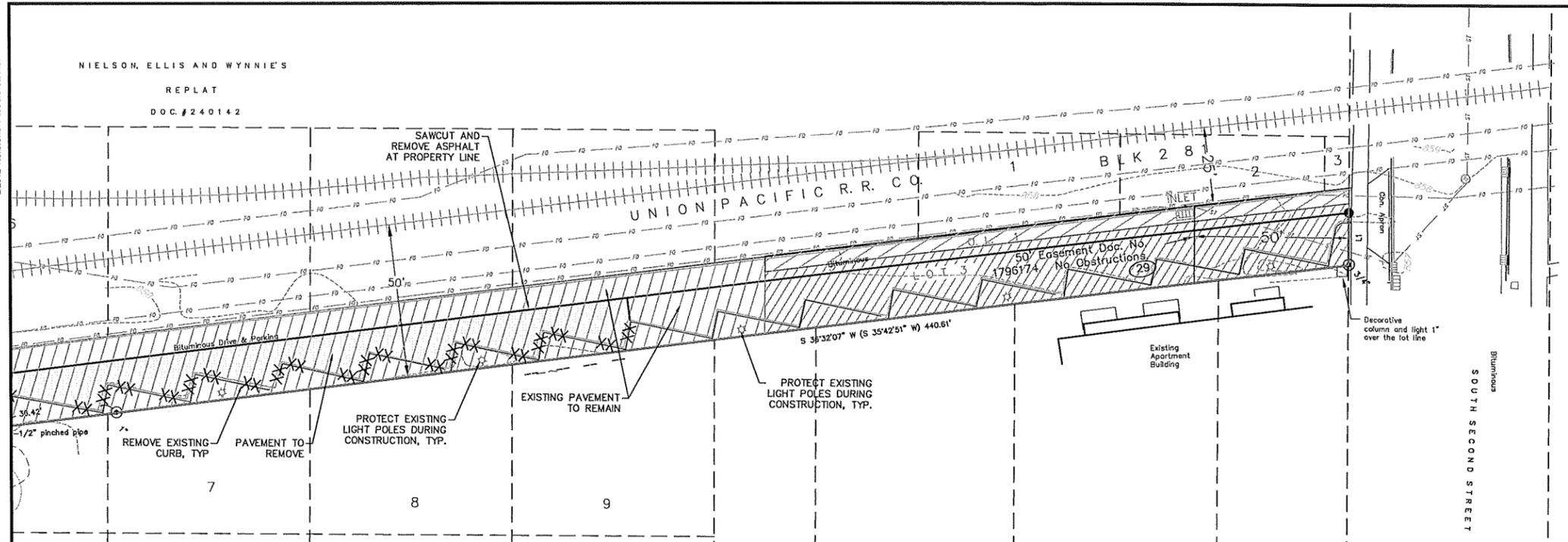
REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN

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 PROJECT NO.: 130024
 SHEET: 4 OF 6
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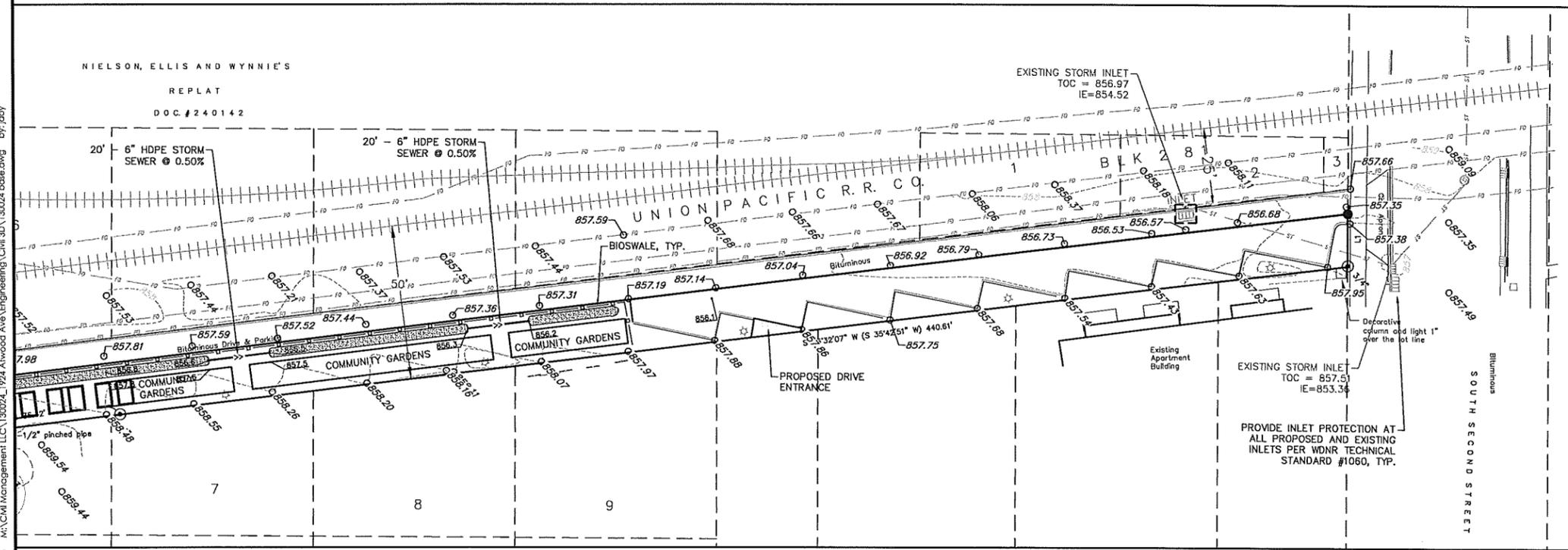


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RAILROAD CORRIDOR - DEMOLITION PLAN

30 Apr 2013 - 5:26p M:\CMI Management LLC\30024\1924 Atwood Ave Engineering\Civil 3D\30024 base.dwg by: jdy



RAILROAD CORRIDOR - PROPOSED IMPROVEMENTS

DEMOLITION PLAN LEGEND

- PROPERTY BOUNDARY
- SAWCUT
- X-X- UTILITY LINE REMOVAL
- XX-XX CURB AND GUTTER REMOVAL
- (Tree symbol) TREE REMOVAL
- (Structure symbol) STRUCTURE REMOVAL
- (Concrete hatched) CONCRETE PAVEMENT REMOVAL (FULL DEPTH)
- (Bituminous hatched) BITUMINOUS PAVEMENT REMOVAL (FULL DEPTH)



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TDC (FOR NEARBY APPROVED)
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WIS. STATUTE 182.2725 (1975)
REQUIRES MINIMUM OF 3 WORKING DAYS
NOTICE BEFORE YOU DIG/AWIT.



GRAPHIC SCALE FEET
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PROPOSED LEGEND

- PROPERTY BOUNDARY
- (Asphalt hatched) PROPOSED ASPHALT PAVEMENT
- STORM SEWER PIPE
- (End wall symbol) STORM SEWER ENDWALL
- (Field inlet symbol) STORM SEWER FIELD INLET
- 820 EXISTING MAJOR CONTOURS
- 818 EXISTING MINOR CONTOURS
- 820 PROPOSED MAJOR CONTOURS
- 818 PROPOSED MINOR CONTOURS
- (Fence symbol) SILT FENCE
- 2.92% PROPOSED SLOPE ARROWS
- (Type D symbol) TYPE D INLET PROTECTION
- 0906.10 EXISTING SPOT ELEVATIONS
- 0906.55 PROPOSED SPOT ELEVATIONS

ABBREVIATIONS
C - TOP OF CURB
FF - FINISHED FLOOR
W - TOP OF WALK
P - EDGE OF PAVEMENT



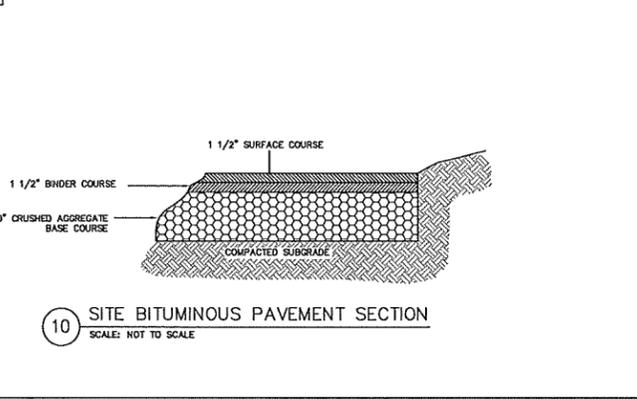
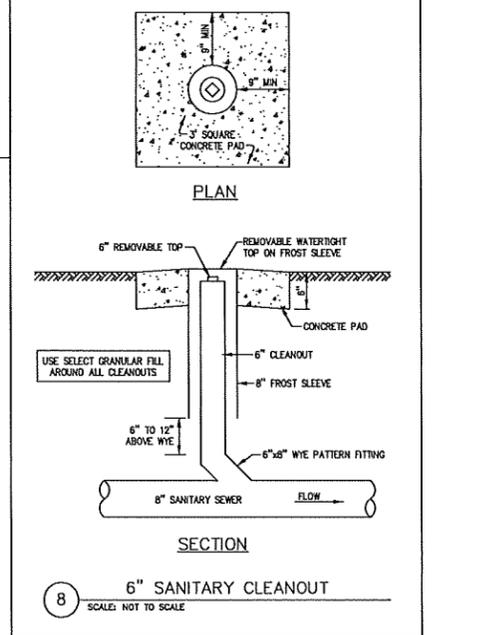
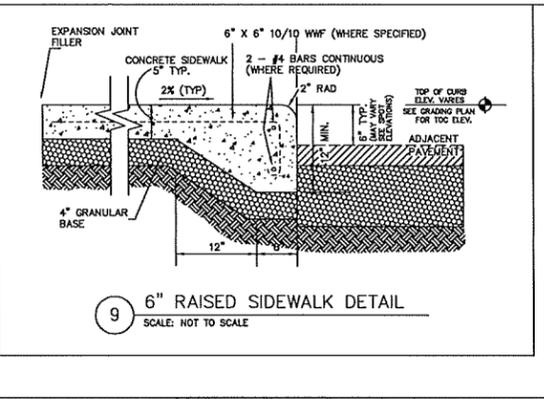
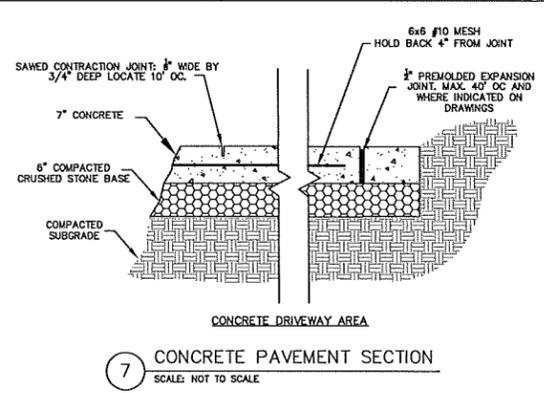
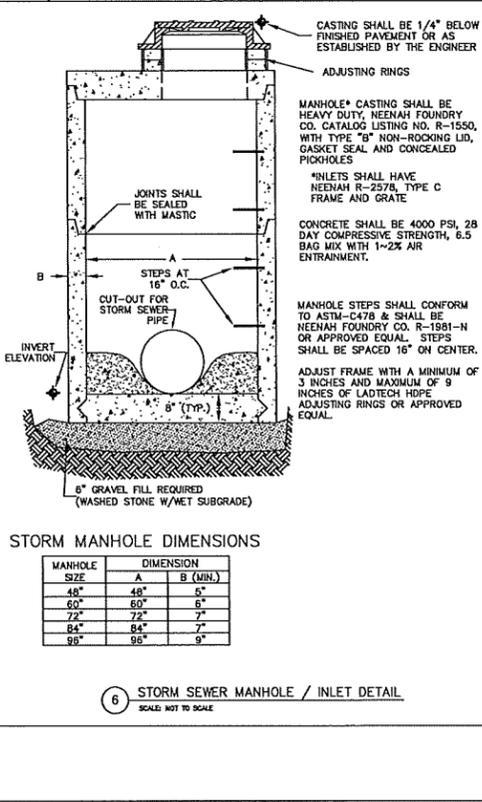
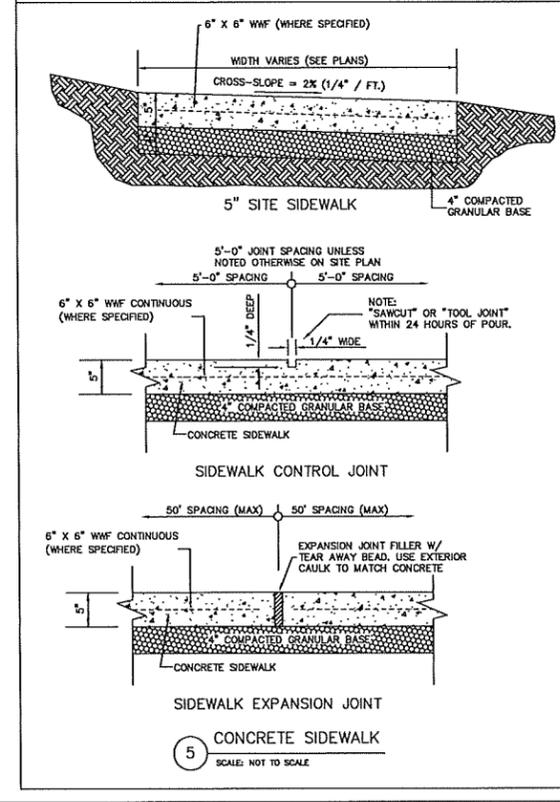
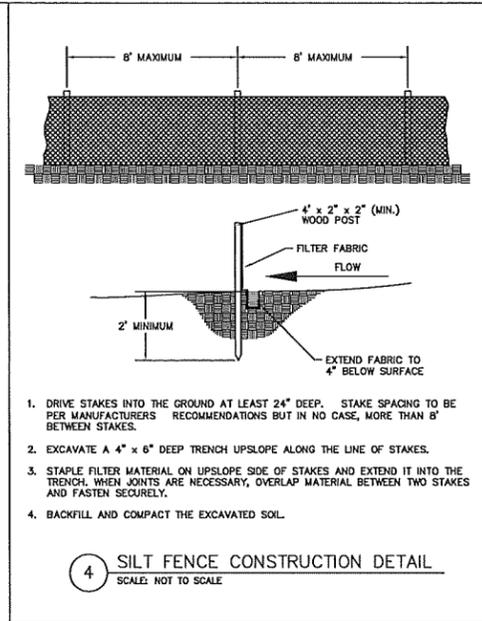
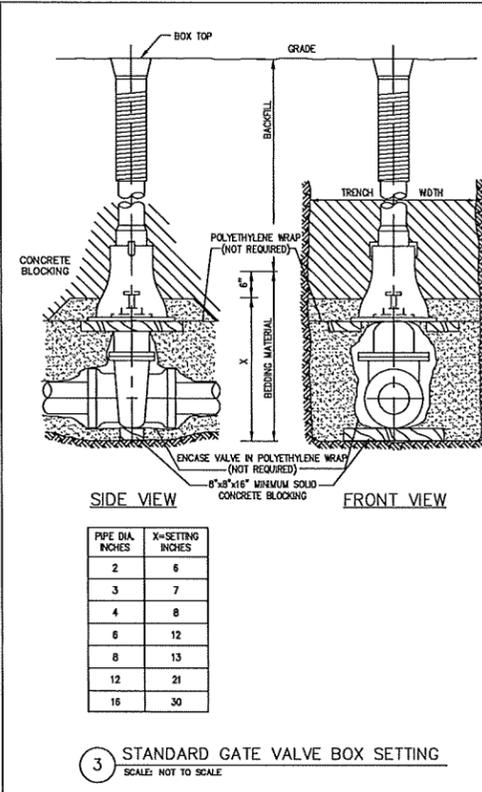
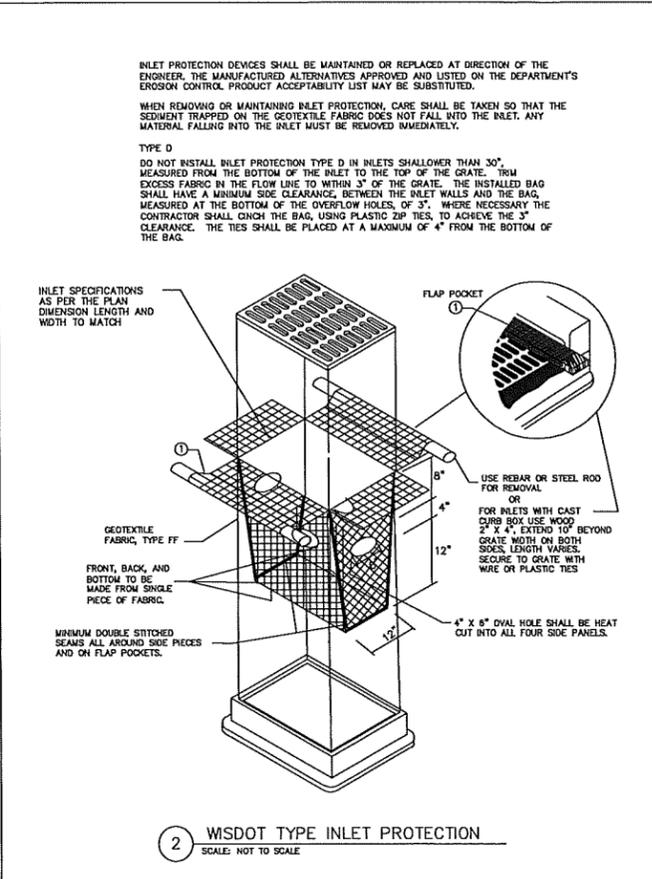
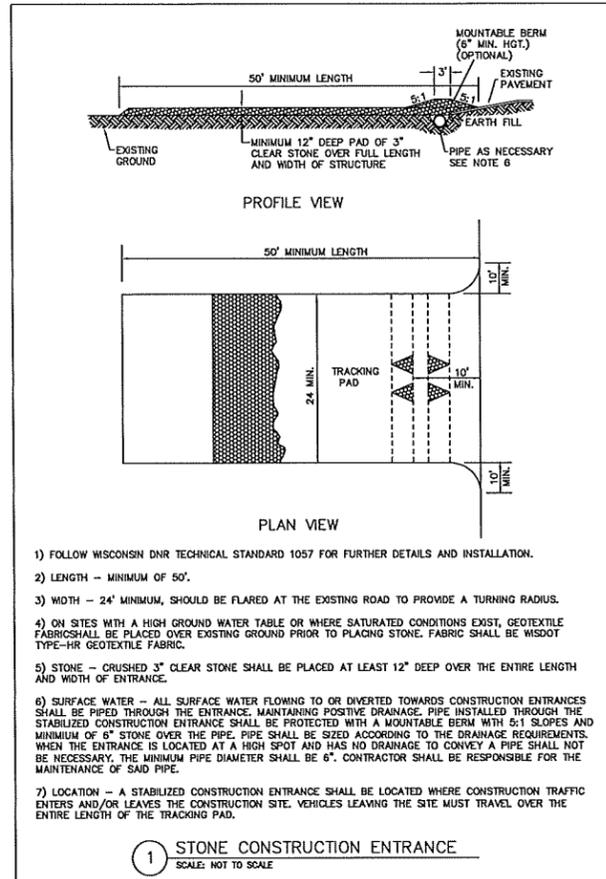
GRAPHIC SCALE FEET
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vierbicher
engineers | advisors
planners
REEDSBURG - MADISON - PRAIRE DU CHIEN
999 Foucar Drive, Suite 201 - Madison, Wisconsin 53717
Phone: (608) 666-6552 Fax: (608) 666-6553

RAILROAD COORIDOR
CMI MANAGEMENT, LLC DEVELOPMENT
1924 ATWOOD AVENUE
CITY OF MADISON, DANE COUNTY, WISCONSIN

REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN
DATE 4-30-13
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CHECKED JDDY
PROJECT NO. 130024
SHEET 5 OF 6
DWG. NO.



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REEDBURG - MADISON - FRANKLIN - WAUKESHA - WAUWATOSA
999 KENNEDY DRIVE, SUITE 200 | REEDBURG, WI 53150
PHONE: (608) 824-3332 | FAX: (608) 824-6330

CONSTRUCTION DETAILS
CMI MANAGEMENT, LLC DEVELOPMENT
1924 ATWOOD AVENUE
CITY OF MADISON, DANE COUNTY, WISCONSIN

REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN
DATE 4-30-13
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SHEET 6 OF 6
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Consultant

Notes

Revisions
SIP Submittal - March 20, 2013

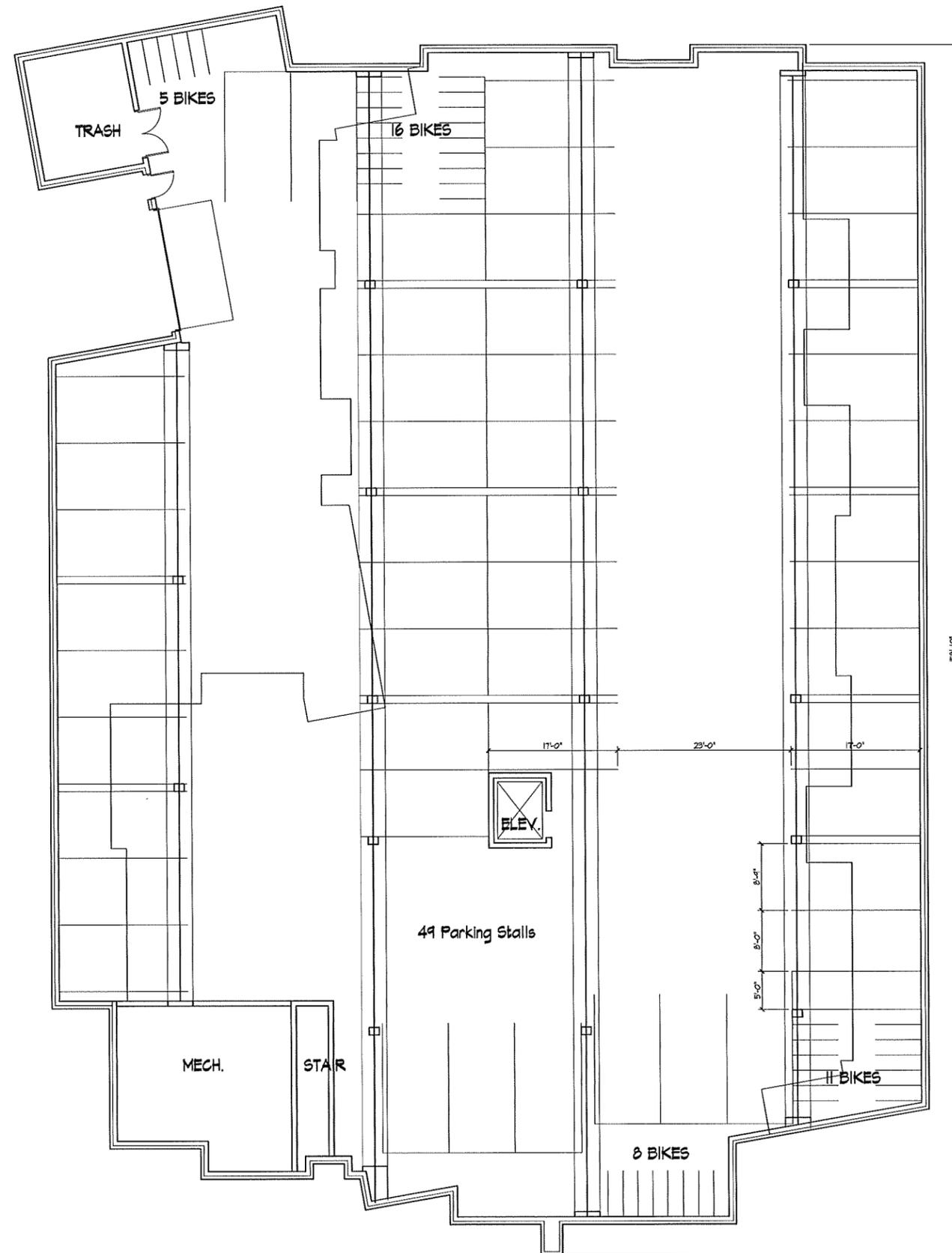
Project Title
Atwood Avenue

1924 Atwood Ave.
Drawing Title
Basement Plan

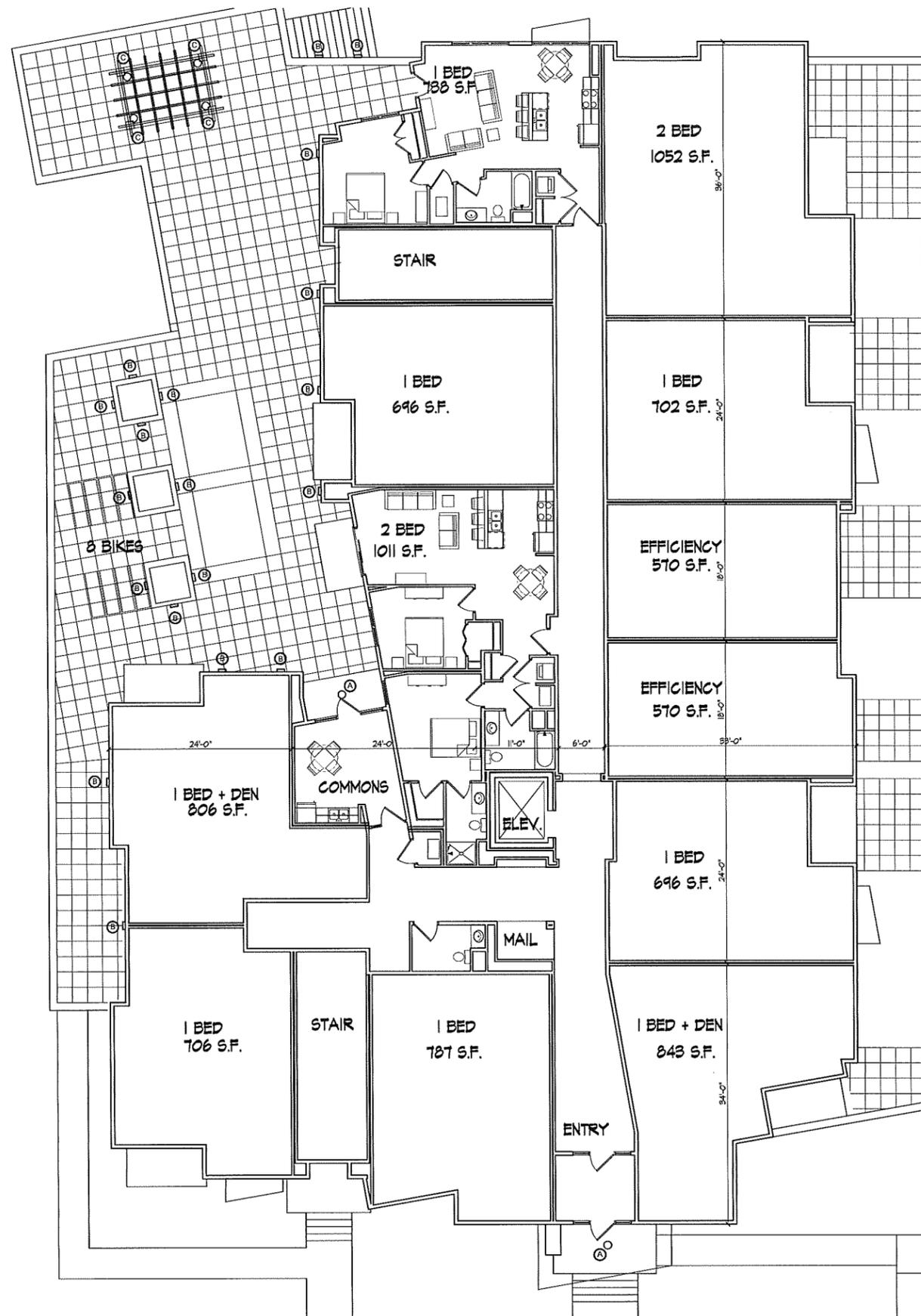
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BASEMENT PLAN
1/8" = 1'-0"



LIGHTING SCHEDULE *						
Label	Qty	Manufacturer	Catalog Number	Description	Lamp	Mounting
A	2	T.B.D.		RECESSED DOWNLIGHT	CFL	FLUSH IN CEILING
B	19	Ligman Lighting	U40521	RADO 2 - RECESSED PATH LIGHT	CFQ 18W	18" ABOVE WALKING SURFACE
C	4	Ligman Lighting	U50226-W	MIC 5 - SMALL FLOOD LIGHT	T4 CMH 20W, 37" BEAM	MOUNTED IN ARBOR, FACING DOWNWARD

* Cutsheets and specific model numbers are representative examples only. Final fixtures will have similar lamping and light distribution.
* Signage lighting to be determined with signage design.
* Final light fixture selection must be approved by UDC staff.

Revisions
SIP Submittal - March 20, 2013

Project Title
Atwood Avenue

UNIT MIX:
6 - EFFICIENCY
33 - ONE BEDROOMS
2 - ONE BEDROOM + DEN
9 - TWO BEDROOMS



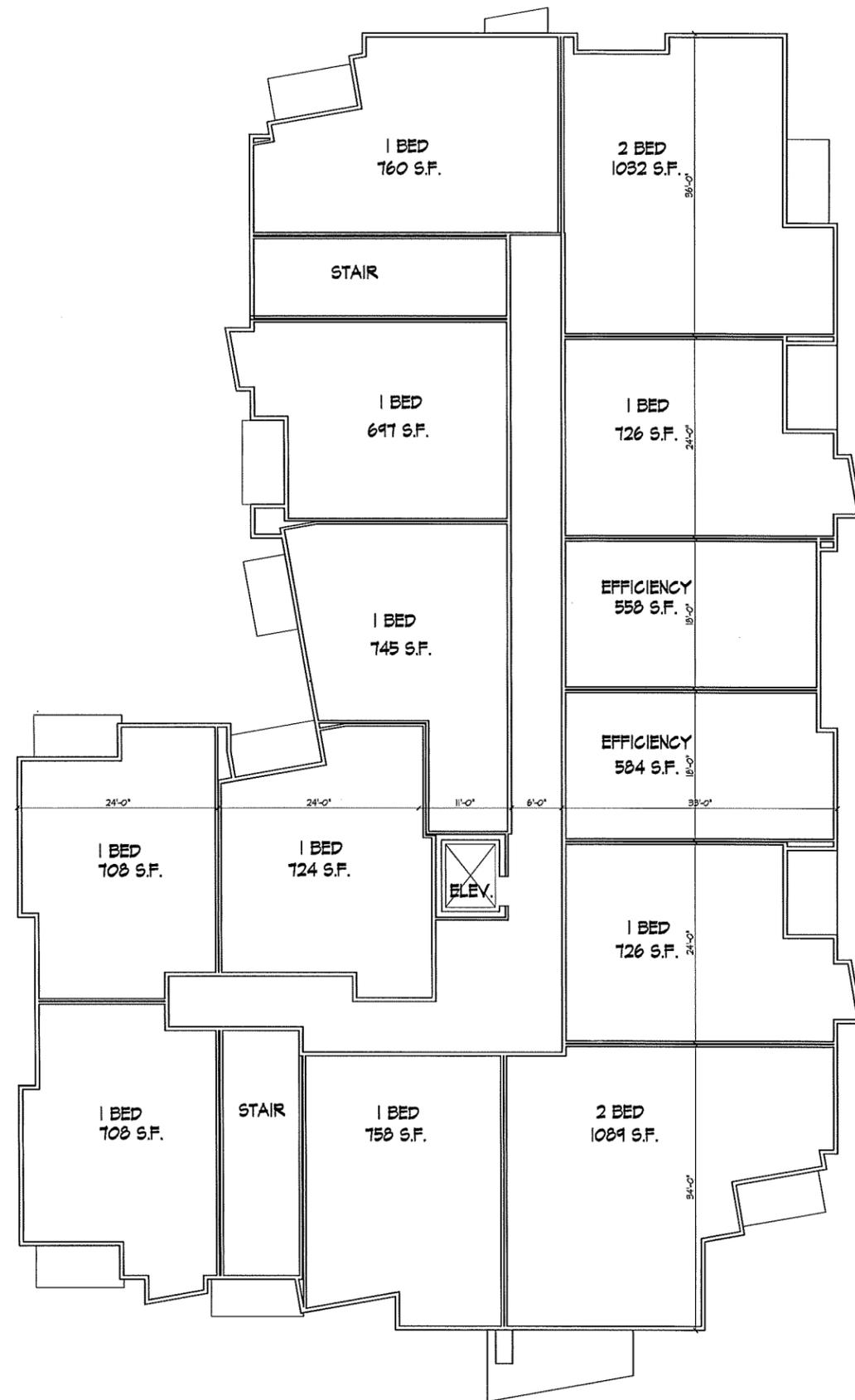
FIRST FLOOR PLAN WITH LIGHTING
1/8" = 1'-0"

1924 Atwood Ave.
Drawing Title
First Floor Plan
With Lighting

Project No. 1229 Drawing No. A-1.2

Consultant

Notes



Revisions
 SIP Submittal - March 20, 2013

Project Title
 Atwood Avenue

1924 Atwood Ave.
 Drawing Title
 Second/Third Floor Plan

Project No. 1229 Drawing No. A-1.3

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SECOND AND THIRD FLOOR PLAN
 1/8" = 1'-0"



Revisions
SIP Submittal - March 20, 2010

Project Title
Atwood Avenue

1924 Atwood Ave.
Drawing Title
Fourth Floor Plan

Project No. 1229 Drawing No. A-1.4



FOURTH FLOOR PLAN
1/8" = 1'-0"



○ SOUTHEAST ELEVATION
1/8" = 1'-0"



○ NORTHEAST ELEVATION
1/8" = 1'-0"



 NORTHWEST ELEVATION
1/8" = 1'-0"



 SOUTHWEST ELEVATION
1/8" = 1'-0"



View from Atwood

Perspectives
May 8, 2013

**KNOTHE
& BRUCE**
architects



View from Atwood



View from rear of building

Perspectives
May 8, 2013

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