

APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL

AGENDA ITEM # _____
Project # _____
Legistar # 29498

| | |
|-------------------------------------|--|
| DATE SUBMITTED: <u>03/12/2013</u> | Action Requested |
| | <input type="checkbox"/> Informational Presentation |
| UDC MEETING DATE: <u>04/03/2013</u> | <input checked="" type="checkbox"/> Initial Approval and/or Recommendation |
| | <input checked="" type="checkbox"/> Final Approval and/or Recommendation |

PLEASE PRINT!

PROJECT ADDRESS: 110 Glenway Street

ALDERMANIC DISTRICT: _____

| | |
|--|---|
| OWNER/DEVELOPER (Partners and/or Principals) | ARCHITECT/DESIGNER/OR AGENT: |
| <u>Madison Water Utility</u> | <u>Engineer</u> |
| <u>Alan Larson, Principal Engineer</u> | <u>Strand Associates, Inc.</u> |
| <u>119 E Olin Ave</u> | <u>Andy Mullendore, P.E. / Mark Oleinik, P.E.</u> |
| <u>Madison WI 53713</u> | <u>910 W Wingra Drive</u> |
| | <u>Madison WI 53715</u> |

CONTACT PERSON: Andy Mullendore

Address: 910 W Wingra Drive

Madison, WI 53715

Phone: 608-251-2129 Ext 1108

Fax: 608-251-8655

E-mail address: andy.mullendore@strand.com

PLEASE PRINT!

TYPE OF PROJECT:
(See Section A for:)

☐ Planned Unit Development (PUD)

☐ General Development Plan (GDP)

☐ Specific Implementation Plan (SIP)

☐ Planned Community Development (PCD)

☐ General Development Plan (GDP)

☐ Specific Implementation Plan (SIP)

☐ Planned Residential Development (PRD)

☐ New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)

☒ School, Public Building or Space (Fee may be required)

☐ New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.

☐ Planned Commercial Site

(See Section B for:)

☐ New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

☐ R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

☐ Comprehensive Design Review* (Fee required)

☐ Street Graphics Variance* (Fee required)

☐ Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.



Strand Associates, Inc.[®]
910 West Wingra Drive
Madison, WI 53715
(P) 608-251-4843
(F) 608-251-8655

February 19, 2013

Planning and Community & Economic Office
Planning Division
115 Martin Luther King Jr. Blvd., Suite LL 100
Madison Municipal Building
Madison, WI 53703

Re: Madison Water Utility Booster Station 106
110 Glenway Street

Dear Plan Commission:

This letter serves as the Letter of Intent for the Madison Booster Station No. 106 project for the city of Madison Water Utility. The following describes the project.

1. Project Name: Madison Booster Station No. 106

2. Preliminary Construction Schedule:

| | |
|-------------------------|----------------|
| Advertisement: | July 2013 |
| Notice to Proceed | September 2013 |
| Construction completion | July 2014 |

3. Description of Existing Conditions: The existing Booster 106 site is currently operated as a municipal park. On the site, there is an existing 6-million-gallon ground-level reservoir with a small booster station located on the east side. Except for two roof access structures and door to access the booster station, the entire facility is located below grade. The existing facility was constructed in the 1920s. Large canopy trees cover the embankment that was constructed around the reservoir and booster station. The eastern portion of the lot also is covered with large canopy trees. A radio tower with a support structure is located in a fenced area on the west side of the lot. Traditional park recreation equipment can be found in the southern portion of the park.

4. Names of People Involved: Andy Mullendore is the lead project engineer for Strand Associates, Inc.[®] Strand Associates, Inc.[®] will serve as the engineer. Mark Oleinik is the Strand Project Manager and may be contacted as a backup to Andy Mullendore. Adam Wiederhoeft is the Madison Water Utility (MWU) project manager. Adam is working under the direction of Alan Larson, MWU's Principal Engineer, and he can be contacted as a backup to Adam Wiederhoeft. The project architect is Doug Hursh of Potter Lawson, Inc. The project will be publicly bid, so the contractor is unknown at this time.

5. Uses: The proposed structure will replace the existing pumping station in the same relative location. The pumping equipment facilitates the transfer of water between various pressure zones in the

Planning and Community & Economic Office
Planning Division
Page 2
February 19, 2013

MWU distribution system and regulates water level in the existing ground-level reservoir. The building will be earth-covered and extend one story above grade.

6. Gross Square Footage: The proposed building square footage is 1224 square feet.
7. The station is designed to run automatically through the MWU Supervisory Control and Data Acquisition system without any on-site employees needed. Standard operating procedure calls for an operator to visit the site on a daily basis during normal business hours (7 A.M. through 4 P.M.). This will be a single vehicle.
8. Capacity: Not Applicable.
9. Hours of Operation: Please see description in item 7 above.
10. Square Footage of Site: The current lot is listed as 4 AC, although work on this project will be limited to the eastern quarter of the site.
11. Number of Dwelling Units: Not Applicable.
12. Potential School Children: Not Applicable.
13. Trash Removal and Storage, Snow Removal, and other Maintenance Equipment Requirements: The Rounder who visits the site on a daily basis removes trash as necessary. Snow removal is by the Water Utility Staff. The remainder of the site is maintained by the Parks Department.

If additional information is required, please contact Andy Mullendore, Mark Oleinik, or Alan Larson.

Sincerely,

STRAND ASSOCIATES, INC.®



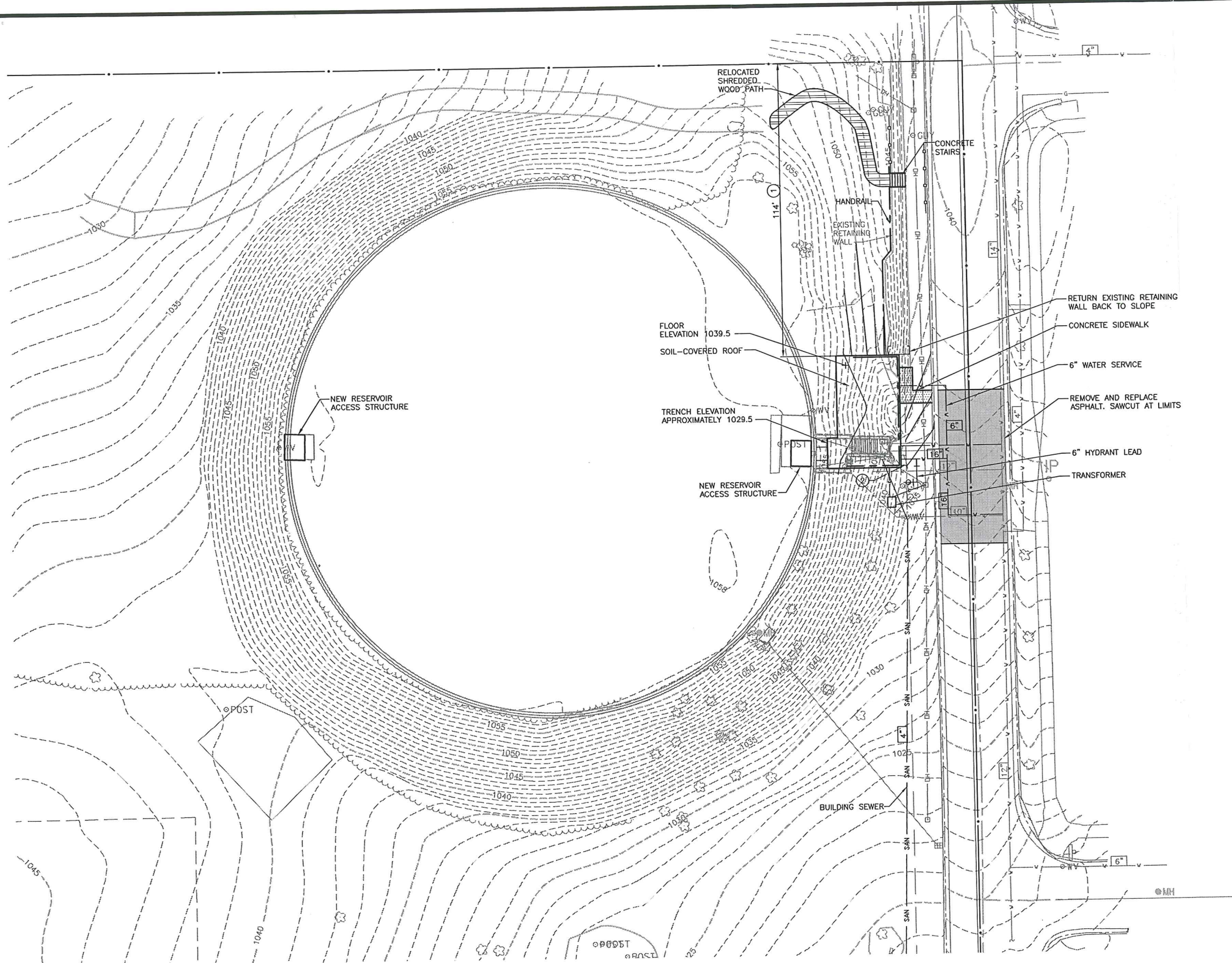
Andy L. Mullendore, P.E.

Enclosures

- c: Alan Larson, P.E. Madison Water Utility
Doug Hush, AIA Potter Lawson, Inc.
Mark Oleink, P.E. Strand Associates, Inc.

[illegible]

SHEET
1



SITE PLAN
0 5' 10' 20' 40'



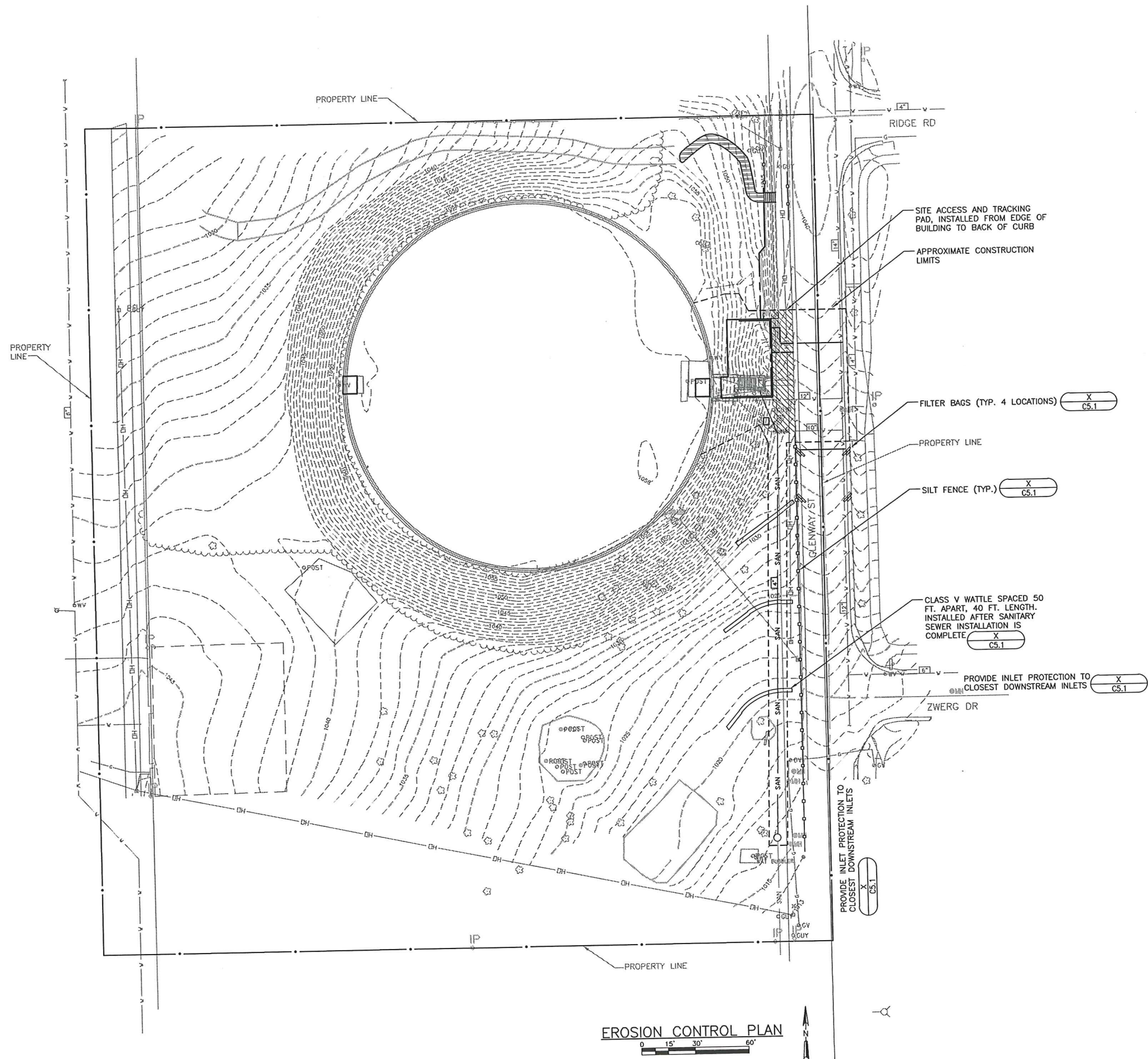
- KEY NOTES:
- ① NORTH SOUTH LOCATION APPROXIMATE. BUILDING WILL BE LOCATED BASED UPON ACTUAL CENTERLINE OF PIPES LEAVING THE EXISTING RESERVOIR.
 - ② 2 FEET FROM BUILDING FACE TO R/W LINE.

| DATE: | 2/19/13 |
|-----------|--|
| NO. | 1 |
| REVISIONS | ISSUED FOR CONDITIONAL USE APPLICATION |

SITE PLAN
BOOSTER STATION NO. 106
110 GLENWAY STREET
MADISON WATER UTILITY
MADISON, WISCONSIN

JOB NO.
1020.071
PROJECT MGR.
ANDY MULLENDORE





EROSION CONTROL NOTES:

1. ANY SOIL STOCKPILED THAT REMAINS FOR MORE THAN 7 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.
2. A MINIMUM OF 4 INCHES OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEED OR SODDED.
3. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
4. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. FLUSHING SHALL NOT BE ALLOWED.
5. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR THE APPLICATION OF STABILIZATION MEASURES MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
6. FOR ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 WORKING DAYS, OR WHERE GRADING WORK EXTENDS BEYOND THE PERMANENT SEEDING DEADLINES, THE SITE MUST BE TREATED WITH TEMPORARY STABILIZATION MEASURES SUCH AS SOIL TREATMENT, TEMPORARY SEEDING AND/OR MULCHING.
7. ALL TEMPORARY EROSION CONTROL PRACTICES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED WITH 70% VEGETATION.
8. WIND EROSION SHALL BE KEPT TO A MINIMUM DURING CONSTRUCTION. WATERING, MULCH OR A TRACKING AGENT MAY NEED TO BE UTILIZED TO PROTECT NEARBY RESIDENCES/WATER RESOURCES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL THE EROSION CONTROL MEASURES IN CONFORMANCE WITH THE WDNR CONSERVATION PRACTICE STANDARDS, LATEST EDITION.
10. THE CONTRACTOR SHALL INSTALL STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITE AS SPECIFIED.
11. FINE SEDIMENT ACCUMULATIONS SHALL BE CLEANED FROM STREETS, PRIVATE DRIVES, OR PARKING AREAS BY MANUAL OR MECHANICAL SWEEPING ON DAILY BASIS AND BEFORE ALL IMMINENT RAINS.
12. EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF RAINFALL OF 0.5 INCH OR MORE.
13. SEDIMENT SHALL BE PROPERLY DISPOSED OF ONCE DEPOSITS REACH 1/2 THE HEIGHT OF THE SILT FENCE.

GENERAL NOTES:

1. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE UNLESS OTHERWISE NOTED..
2. THE EROSION CONTROL MEASURES INDICATED ON THIS DRAWING ARE THE MINIMUM REQUIREMENTS, ADDITIONAL MEASURES MAY BE REQUIRED BY GOVERNING AGENCY.
3. PROTECT EXISTING TREES UNLESS OTHERWISE NOTED.
4. DISTURBED AREAS SHALL BE RESTORED BY SEEDING AS SPECIFIED AND AS SHOWN ON LANDSCAPING PLAN.

LEGEND:

- NEW ASPHALT PAVEMENT
- NEW SIDEWALK/CONCRETE PAVEMENT
- STONE TRACKING PAD

| DATE: | 2/19/13 |
|--|---------|
| REVISIONS | |
| NO. | 1 |
| ISSUED FOR CONDITIONAL USE APPLICATION | |

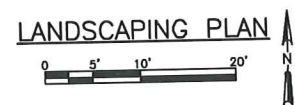
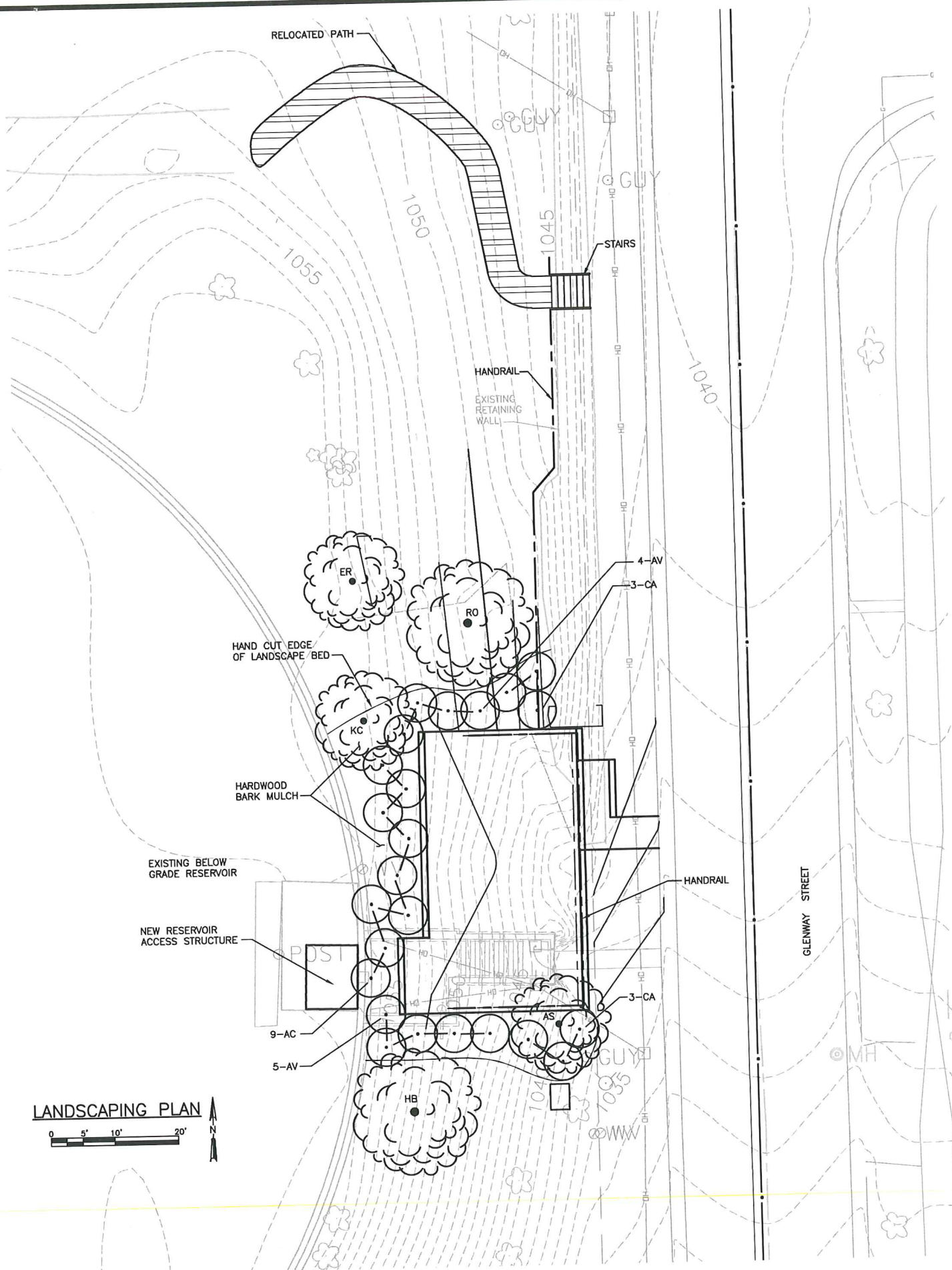
EROSION CONTROL PLAN

BOOSTER STATION NO. 106
110 GLENWAY STREET
MADISON WATER UTILITY
MADISON, WISCONSIN

JOB NO.
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ANDY MULLENDORE

SA
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SHEET
3



ARROWWOOD VIBURNUM 5-6' HEIGHT



COMPACT AMERICAN CRANBERRY BUSH VIBURNUM 6-8'



EASTERN REDBUD



HACKBERRY - HEIGHT 55'



ALLEGHENY SERVICEBERRY



KENTUCKY COFFEE TREE



AMERICAN CRANBERRY BUSH VIBURNUM 8-12'



RED OAK

PLANT DATA CHART

| PLANT CODE | COMMON NAME | SCIENTIFIC NAME | AVG. MATURE HEIGHT | SIZE WHEN PLANTED | ROOT ZONE | MIN. BALL OR POT DIA. (INCHES) | MIN. HOLE DIA. (INCHES) | MIN. HOLE DEPTH (INCHES) | MIN. BALL OR POT DIA. (INCHES) | MIN. HOLE DIA. (INCHES) | MIN. HOLE DEPTH (INCHES) | FEET. PACK BEED | MULCH RING DIA. |
|-------------------------|---|-------------------------------|--------------------|-------------------|-----------|--------------------------------|-------------------------|--------------------------|--------------------------------|-------------------------|--------------------------|-----------------|-----------------|
| DECIDUOUS TREES | | | | | | | | | | | | | |
| HB | Common Hackberry | Celtis occidentalis | 55' | 1 1/2" cal | BSB | 20" | 14" | 14" | 36" | 14" | 3 | 44" | |
| KC | Kentucky Coffee Tree | Gymnocladus dioica | 65' | 1 1/2" cal | BSB | 20" | 14" | 14" | 36" | 14" | 3 | 44" | |
| RO | Red Oak | Quercus rubra | 70' | 1 1/2" cal | BSB | 20" | 14" | 14" | 36" | 14" | 3 | 44" | |
| ER | Eastern Redbud | Cercis canadensis | 30' | 2 1/2" cal | BSB | 20" | 14" | 14" | 36" | 14" | 4 | 48" | |
| AS | Allegheny Serviceberry | Amelanchier laevis | 15-25' | 1 1/2" cal | BSB | 20" | 14" | 14" | 36" | 14" | 3 | 44" | |
| DECIDUOUS SHRUBS | | | | | | | | | | | | | |
| AC | American Cranberrybush Viburnum | Viburnum trilobum | 8-12' | 4" HT | BSB | 16" | 12" | 12" | 28" | 16" | 2 | 36" | Bed |
| CA | Compact American Cranberrybush Viburnum | Viburnum trilobum 'Compactum' | 6-8' | 3" HT | BSB | 20" | 14" | 14" | 32" | 14" | 2 | 36" | Bed |
| AV | Arrowwood Viburnum | Viburnum trilobum densatum | 5' | 3" HT | BSB | 12" | 9" | 9" | 28" | 9" | 1 | 36" | Bed |

| NO. | REVISIONS | DATE |
|-----|-------------------------------------|---------|
| 1 | ISSUED FOR CONSTRUCTION APPLICATION | 2/19/13 |

LANDSCAPING PLAN

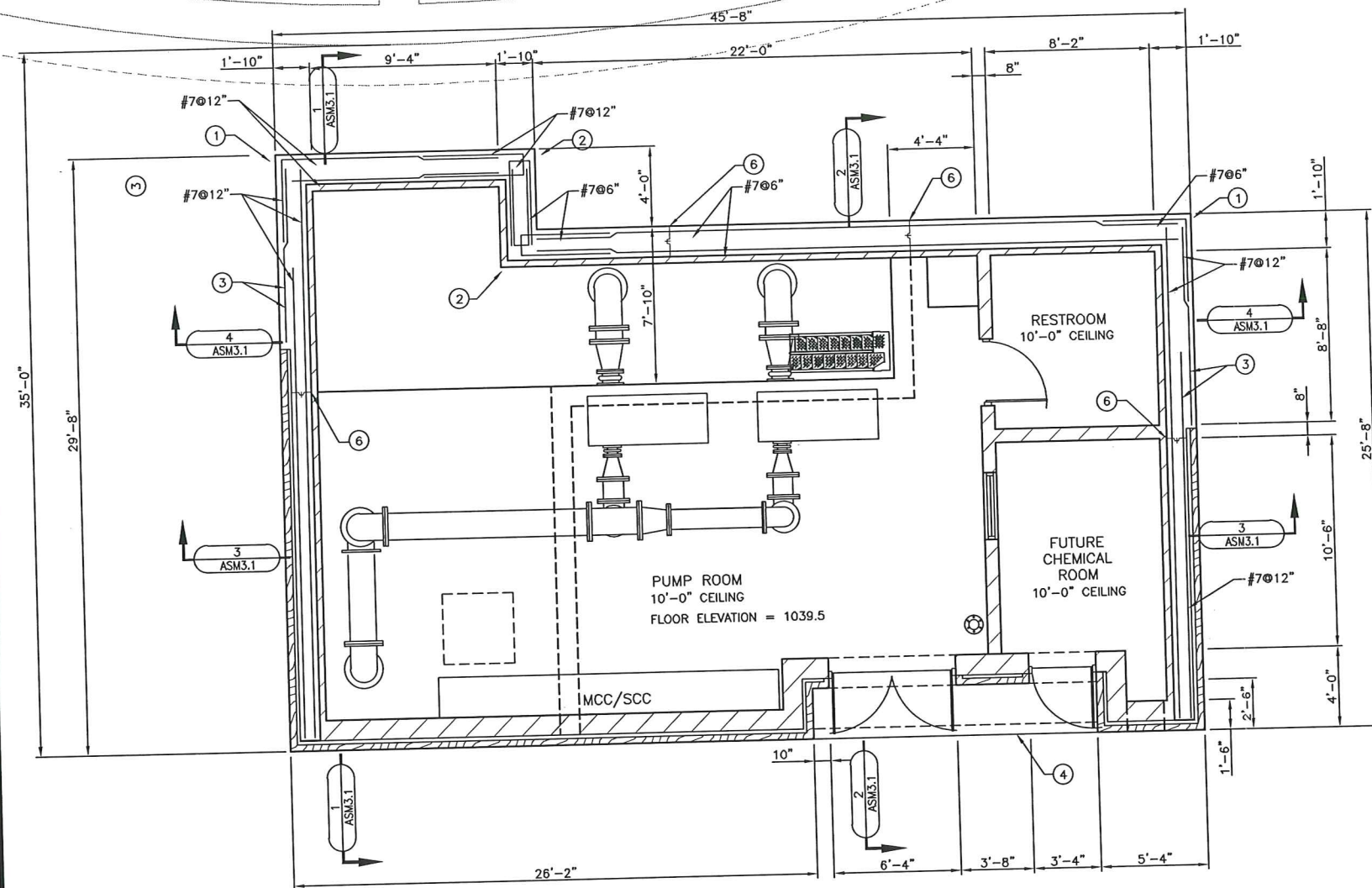
BOOSTER STATION NO. 106
110 GLENWAY STREET
MADISON WATER UTILITY
MADISON, WISCONSIN

JOB NO.
1020.071

PROJECT MGR.
ANDY MULLENDORE



SHEET
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





FLOOR PLAN

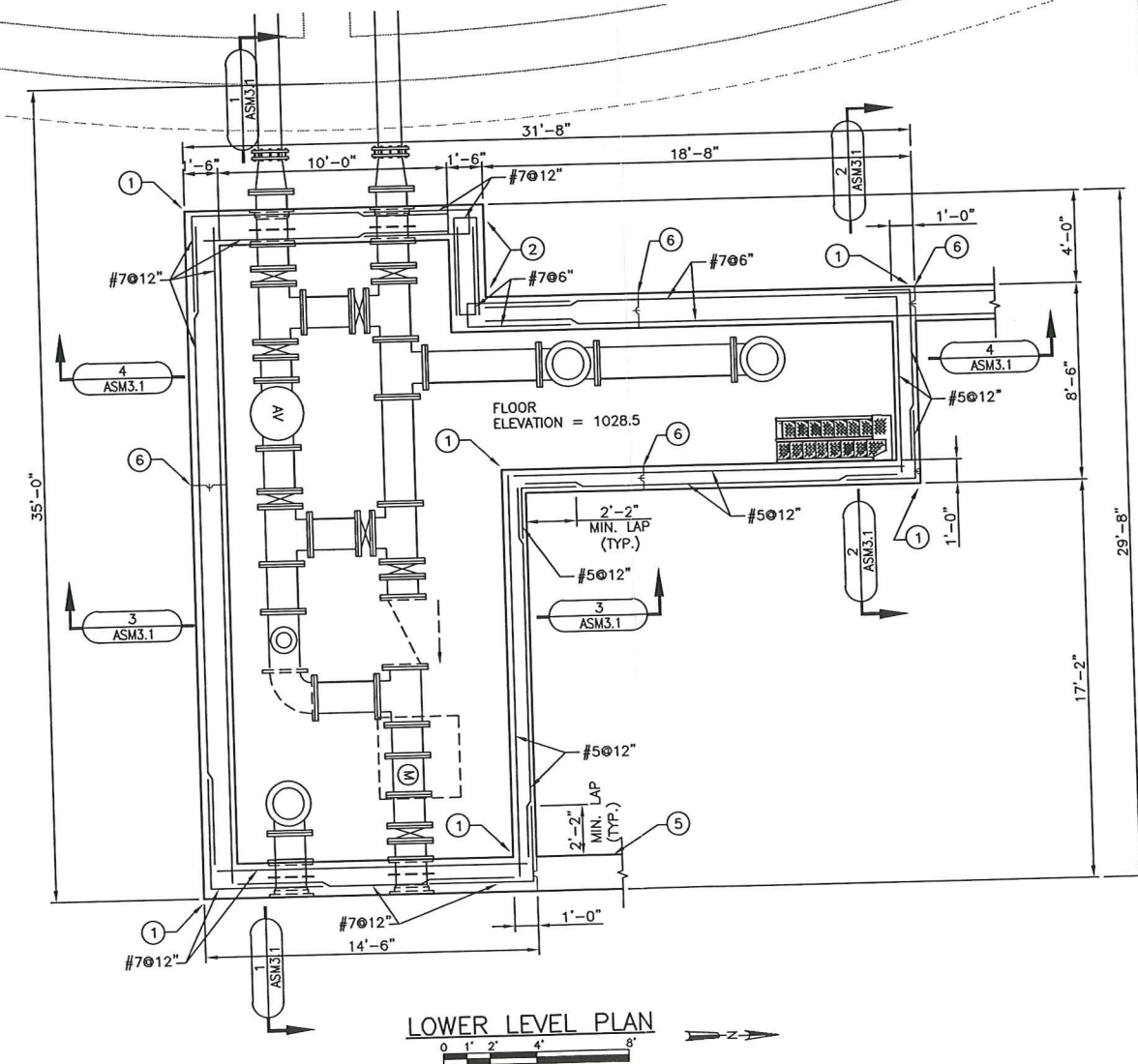
BUILDING SQUARE
FOOTAGE = 1224 SQ. FT.

- GENERAL NOTES:

1. PROVIDE MINIMUM 3'-8" LAPS FOR #7 HORIZONTAL BARS AND MINIMUM 2'-11" LAPS FOR #7 VERTICAL BARS UNLESS SHOWN OR NOTED OTHERWISE.
2. PROVIDE ADDITIONAL REINFORCING AT WALL AND BASE SLAB PIPE PENETRATIONS PER X
ASM5.X.
3. FOR BACKFILL REQUIREMENTS, SEE SPECIFICATION SECTION 02222 AND X
ASM5.X.

- KEY NOTES:

- ① PROVIDE FOUNDATION WALL CORNER REINFORCEMENT PER .
- ② PROVIDE FOUNDATION WALL CORNER REINFORCEMENT PER .
- ③ PROVIDE 3'-8" NON-CONTACT LAP SPLICE IN WALL REINFORCEMENT AT MASONRY LEDGE LOCATIONS PER .
- ④ CONCRETE STOOP .
- ⑤ PROVIDE FROST WALL FOUNDATION REINFORCEMENT PER .
- ⑥ CONSTRUCTION JOINT .



LOWER LEVEL PLAN

FLOOR PLANS

**BOOSTER STATION NO. 106
110 GLENWAY STREET
MADISON WATER UTILITY
MADISON, WISCONSIN**

DB NO.
020.071

PROJECT MGR.
DY MULLENDORE



SHEET
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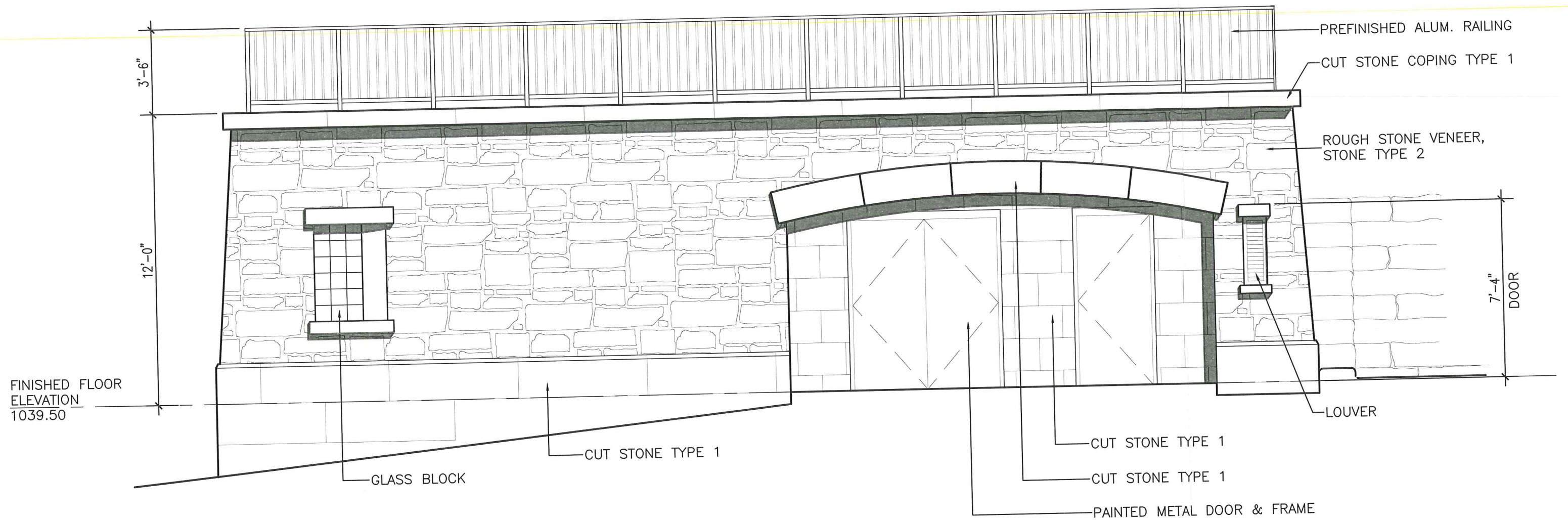
Existing



Proposed



Existing Context



STONE LEGEND:

TYPE 1: EDEN CUT STONE



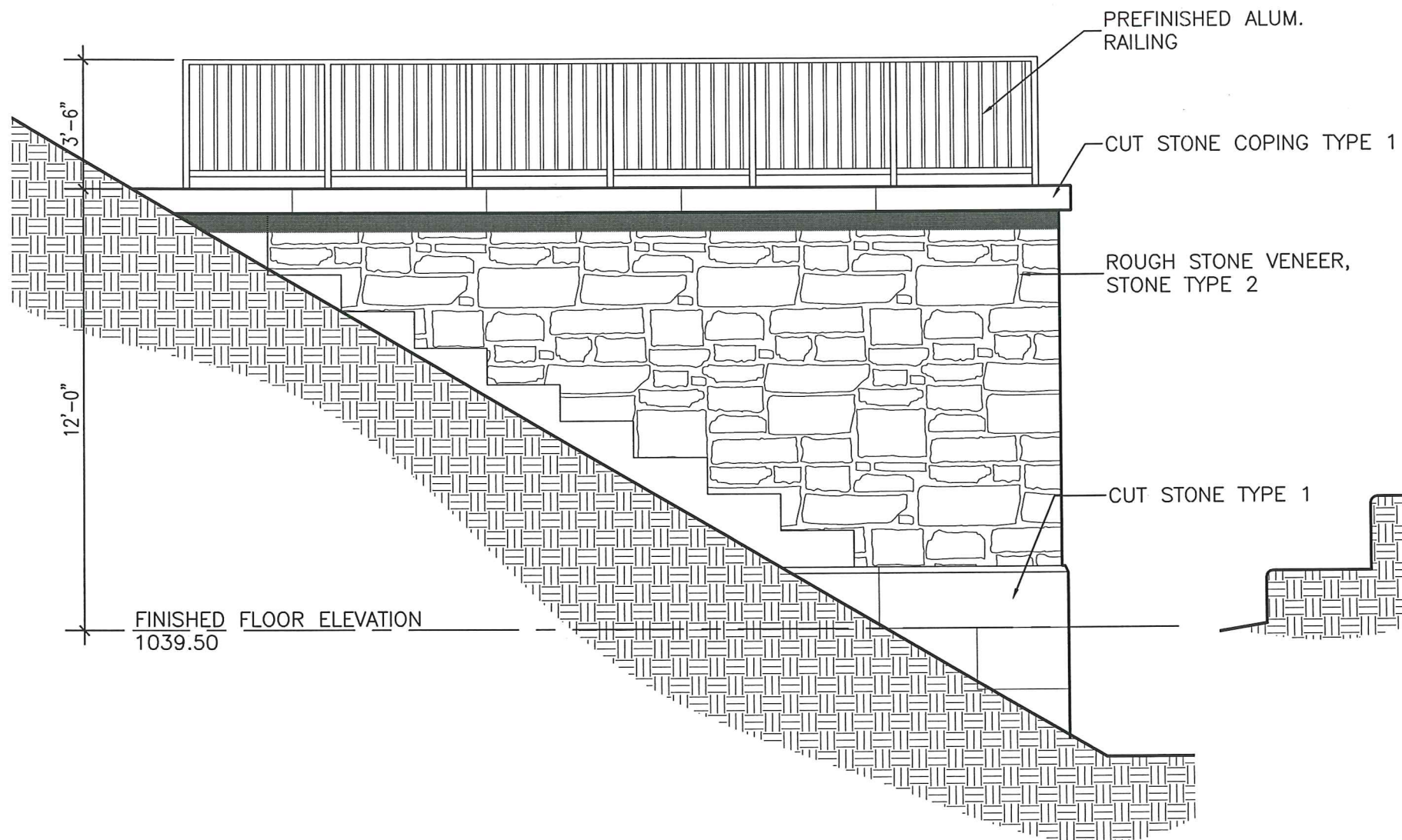
TYPE 2: EDEN STONE, CHILTON
WEATHER EDGE TUMBLED, NO REDS

EAST ELEVATION

1/4" = 1'-0"

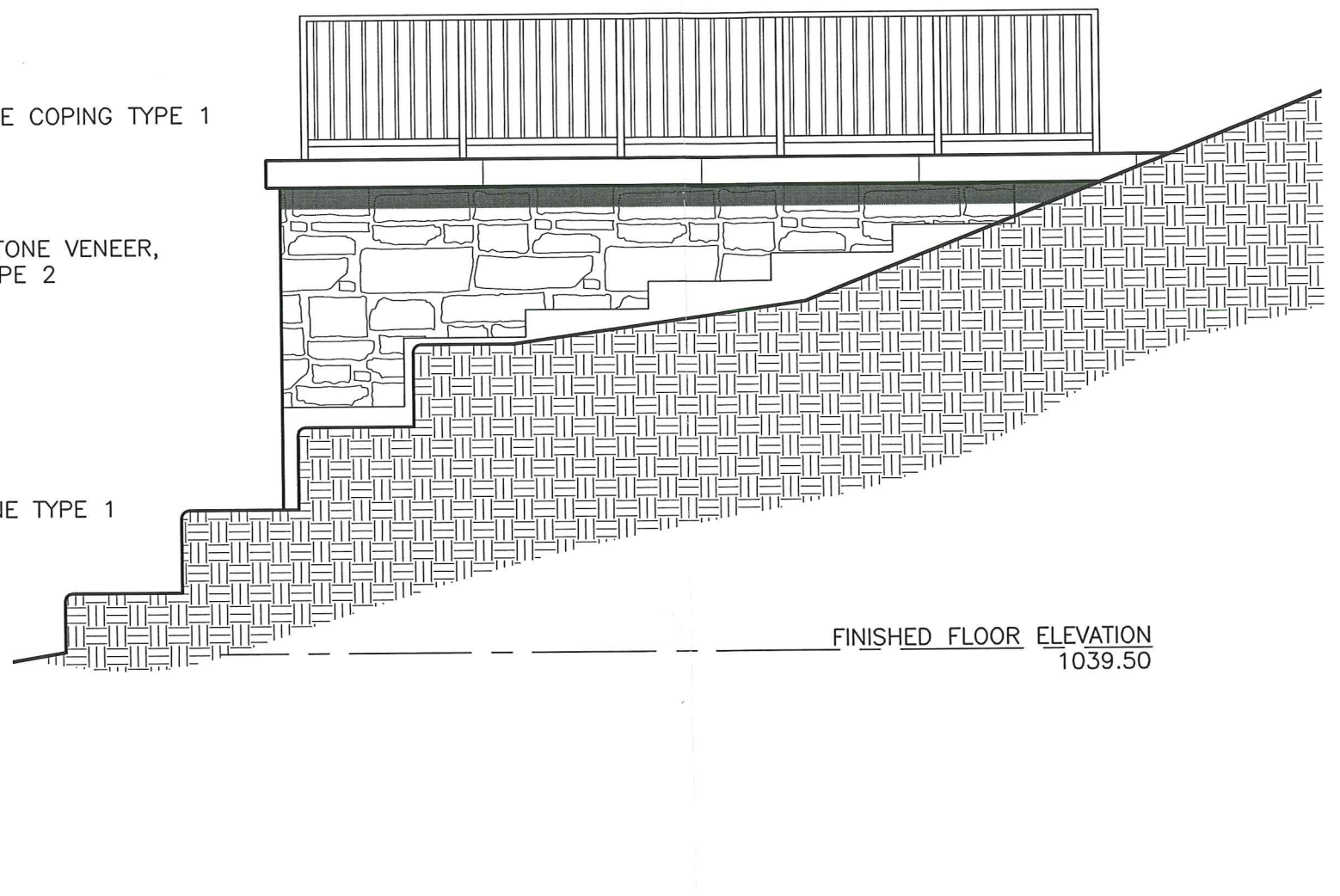


Potter Lawson
Success by Design



SOUTH ELEVATION

1/4" = 1'-0"



NORTH ELEVATION

1/4" = 1'-0"

