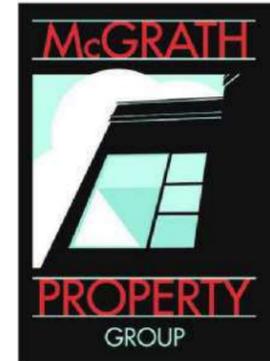


OLIN AVENUE MIXED-USE DEVELOPMENT

222-232 EAST OLIN AVENUE
MADISON, WISCONSIN



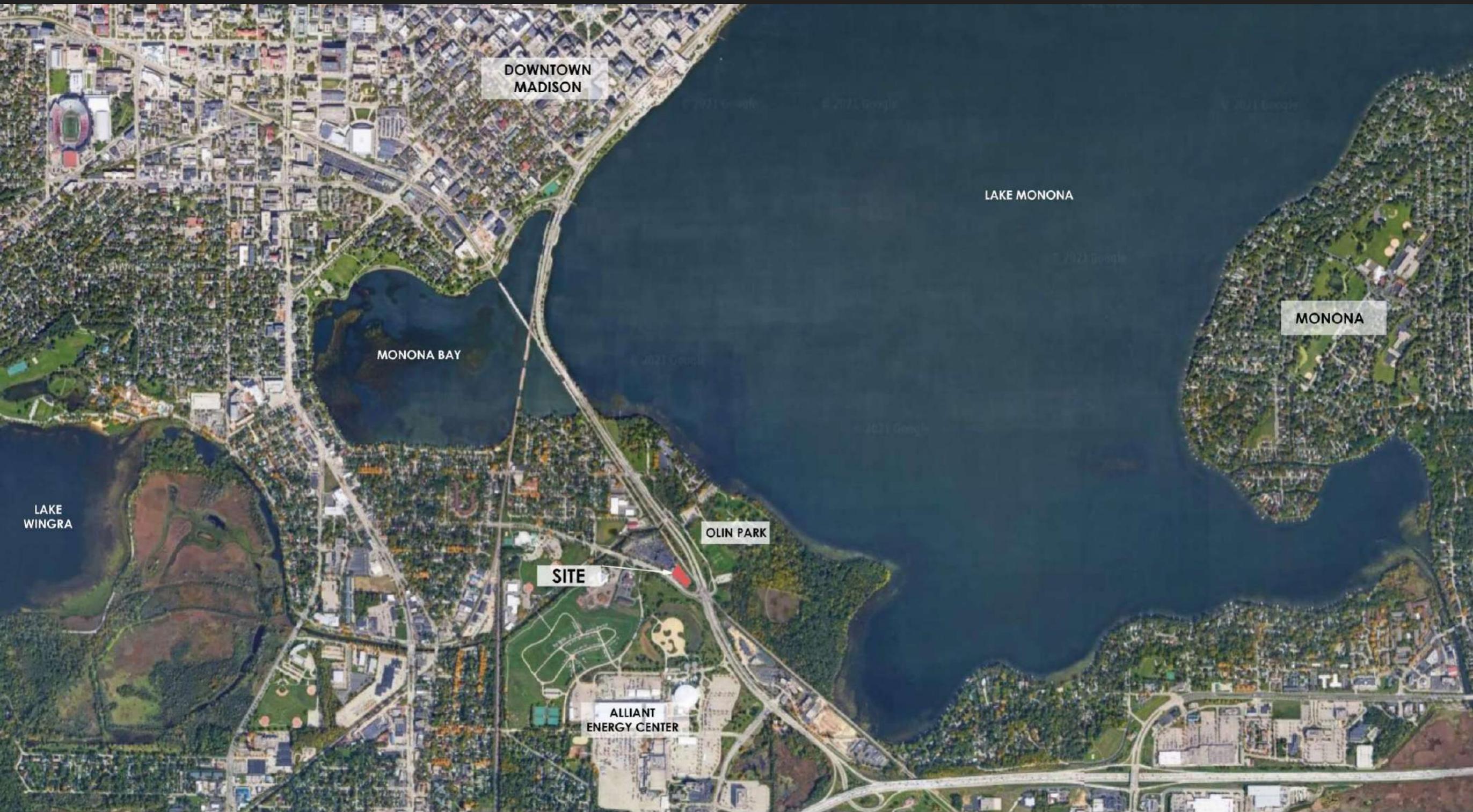
UDC INFORMATIONAL PRESENTATION SET

APRIL 28, 2021



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JLA PROJECT NUMBER: 20-1014



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OLIN AVENUE MIXED-USE DEVELOPMENT

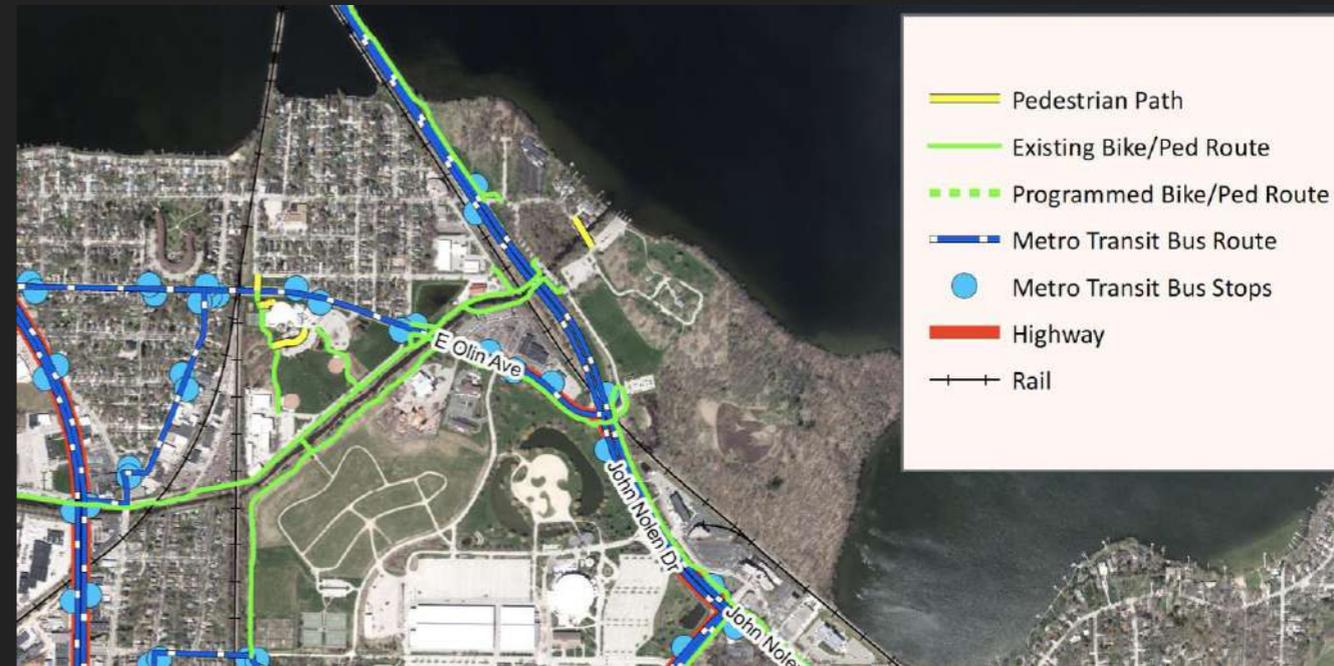
CONCEPTUAL MASTERPLAN - AERIAL

MARCH 08, 2021



WHY THIS PROJECT:

- ▶ Gateway Site
- ▶ Can handle the Scale
- ▶ On a major Road/Rail Corridor
- ▶ Adjacent to Bike/Ped Paths
- ▶ Bus Lines
- ▶ Surrounded by Parks
- ▶ Over 1,200 ft from nearest Neighborhood
- ▶ Existing marginal uses
- ▶ Very few sites this close to downtown can handle this density



[ALERT](#) [TOP STORY](#)

[EDITORIAL](#)

Building up is better than out

Wisconsin State Journal editorial board Apr 21, 2021

PROJECT DESCRIPTION

- ▶ Site = 1.49 Acres
- ▶ Demo - Coliseum and Wonder Bars
- ▶ New 18-Story Post Tensioned Concrete Mixed Use Building
- ▶ Approx. 448,000SF of Building
 - ▶ 4 Levels of Parking Wrapped by
 - ▶ Two Tall Levels of Commercial
 - ▶ Large Residential Lobby
 - ▶ 13 Levels of Residential
 - ▶ 1 Level Mechanical Penthouse



BUILDING SPECS

- ▶ 290 Residential Units
 - ▶ Studio to 3 BR
- ▶ 15,500 sf Commercial
- ▶ 342 Parking Stalls
 - ▶ 295 in Residential Ramp
 - ▶ 47 in Grade Level
- ▶ 2 Off-Street Loading Zones
- ▶ Turn Around Vehicle Entry
- ▶ Central High-Efficiency HVAC



BUILDING AMENITIES

- ▶ Large Enclosed Dog Run
- ▶ Dog Wash
- ▶ Bike Maintenance Station
- ▶ Large Exterior Patio for Lower Commercial Space
- ▶ Balcony for Upper Commercial
- ▶ Large Residential Entry Lobby
- ▶ Entertainment Suite
- ▶ Large Parcel Room with Direct Access
- ▶ 5th Floor Fitness Center
- ▶ 5th Floor Community Room
- ▶ Large 5th Floor Community Terrace
- ▶ 14th Floor Community Room w/Large Terrace



ZONING

- ▶ Existing = SE
- ▶ Re-Zone: TE or PD
- ▶ Comp Plan = Employment
- ▶ South Madison Plan - Draft recommends High Density Residential
- ▶ Alliant Energy Plan
- ▶ Destination District

8. The Alliant Energy Center is shown as SI, but may include restaurant, entertainment, and hotel uses if a Master Plan for the area that includes those uses is adopted by the City. Such a Plan may include land use changes to surrounding properties, such as the Employment-designated properties to the north.

Strategy 5

Concentrate the highest intensity development along transit corridors, downtown, and at Activity Centers.

Strategy 3

Increase the amount of available housing.

Strategy 6

Facilitate compact growth to reduce the development of farmland.

Strategy 1

Create complete neighborhoods across the city where residents have access to transportation options and resources needed for daily living.

Lakeview Residential

Views to the Lake and Downtown

John Nolen Drive

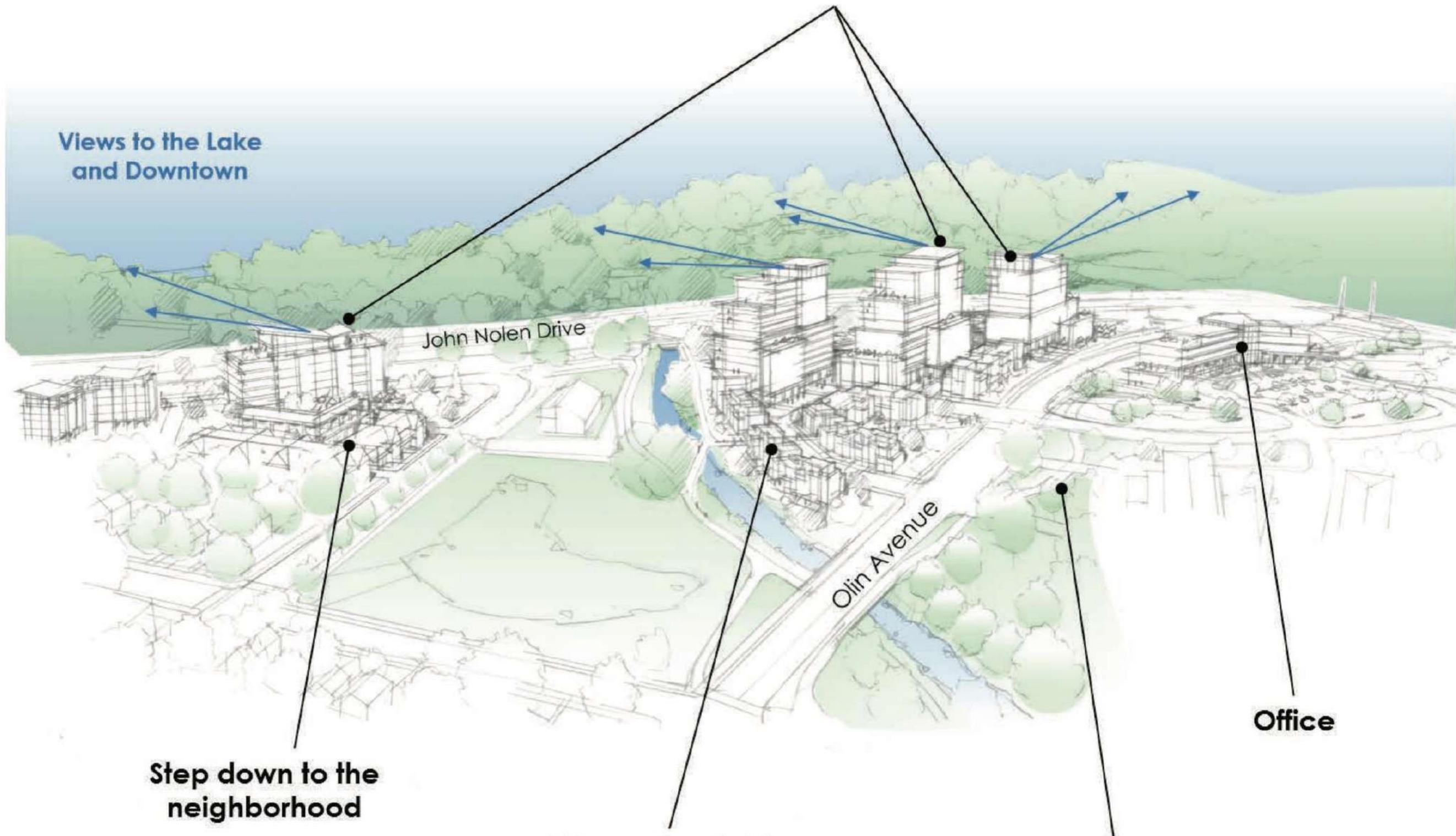
Olin Avenue

Office

Step down to the neighborhood

Wingra Creekside Residential

Trail & Greenspace Connectivity

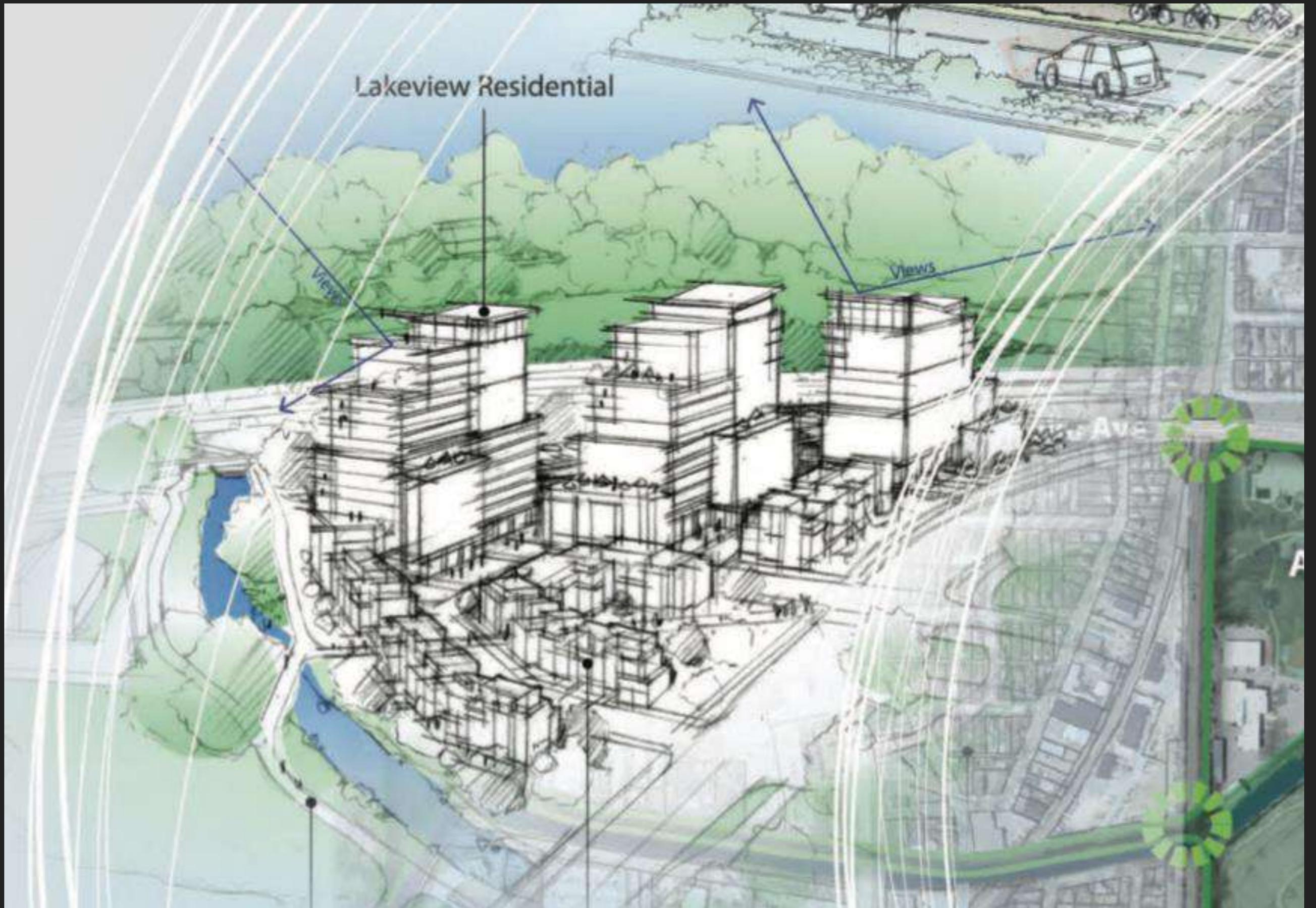


Lakeview Residential

Views

Views

Ave



C. LAKEVIEW AREA

With its proximity to the Alliant Energy Center (AEC), several multi-use trails, extensive parks, Wingra Creek, and Lake Monona, the Lakeview Area is ideal for active adult living and offices. In particular, it offers an unequalled opportunity for those seeking - lakefront and park oriented living, multimodal, and mixed income - near, but not in, the city's central business district. On the north side of Olin Avenue, the area offers an opportunity to develop high density, bike- and pedestrian-oriented housing that captures expansive views of the lake and downtown skyline. Stepping down to the neighborhood to the west, townhomes along the creek would activate the creek and adjoining bike trail with kayaking, paddle boarding, biking, and walking to further support an active adult lifestyle. The south side of Olin Avenue/north of Willow Island offers an opportunity for additional housing or offices that also would take advantage of the great views and proximity to downtown.



Objectives:

1. Take advantage of the lake and Capital views by developing the AEC north of Willow Island with office use.
2. Develop variety of housing types north of Olin Avenue with lake-oriented views that serve a mix of incomes.
3. Capitalize on the proximity to downtown by creating a vertical, active adult living and work environment (i.e. upper level residential and offices; lower level retail, restaurants, entertainment, etc.).
4. Analyze the placement of development to maximize the views while also being sensitive as to not obstruct the views of others.
5. Reduce parking demand by integrating multimodal options including ready access to the bike path, BCycle, car sharing, and structured parking.
6. Capitalize on Wingra Creek by aligning new residential development along the creek.
7. Improve stormwater challenges by incorporating alternative stormwater management facilities and practices into new development or redevelopment (i.e. green roofs, rain gardens, rain barrels, porous paving, etc.).



SCHEDULE

- ▶ November 2021 Start
- ▶ Construction = 21 months
- ▶ Occupancy = August 1, 2023

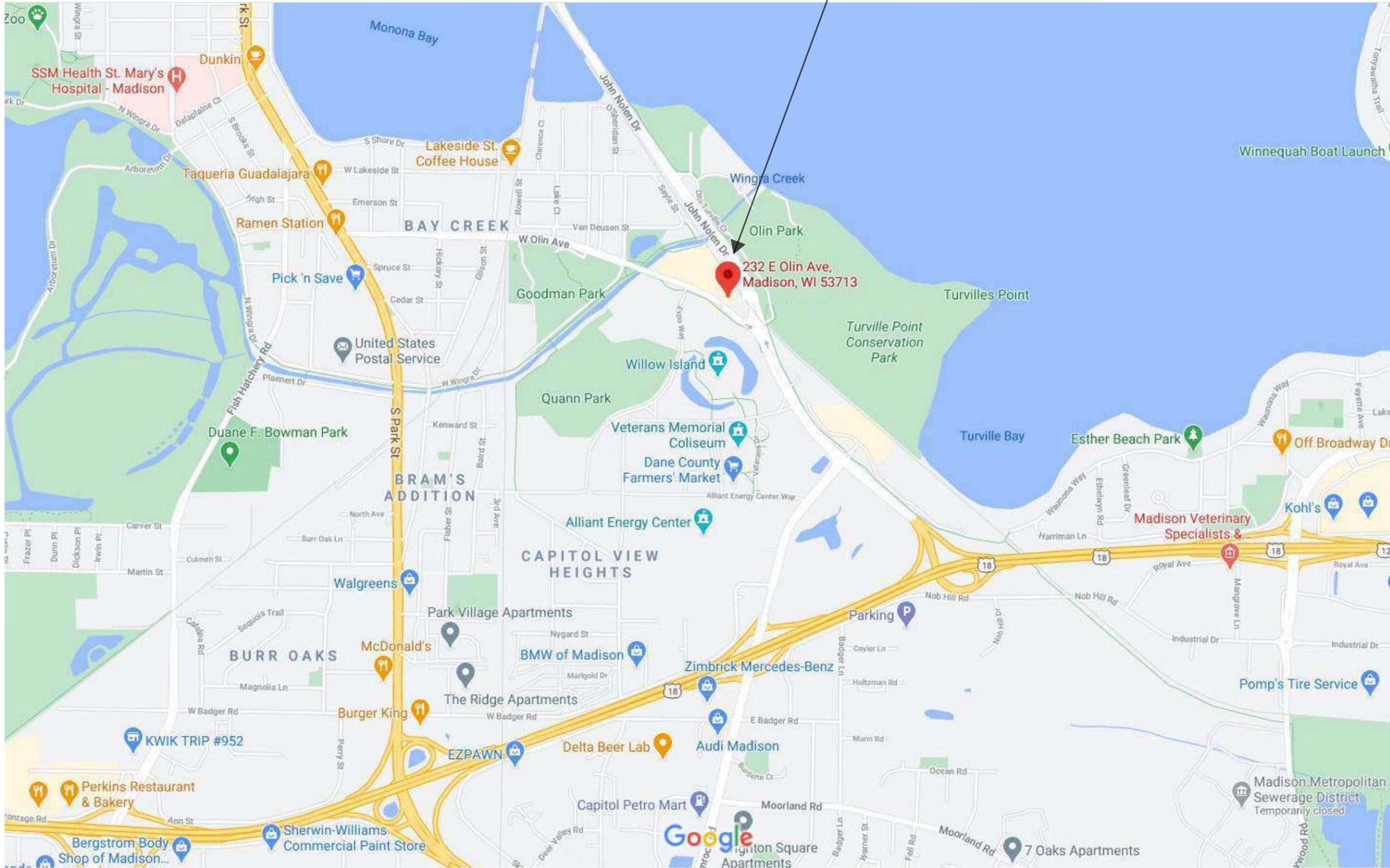
TIMING

- ▶ Construction Costs on the Rise
- ▶ Interest Rates Favorable
- ▶ Market is Favorable
- ▶ COVID Accelerated

OTHER

- ▶ Financing
- ▶ Conventional -v- WHEDA
- ▶ WHEDA 7 - 10 Program
- ▶ Income Restricted
- ▶ 20% of Units rented to those who make no more than 80% of DCMI
- ▶ Catalyst for AEC/Destination District Vision

222-232 E. OLIN AVENUE
MADISON, WI 53713

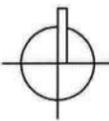


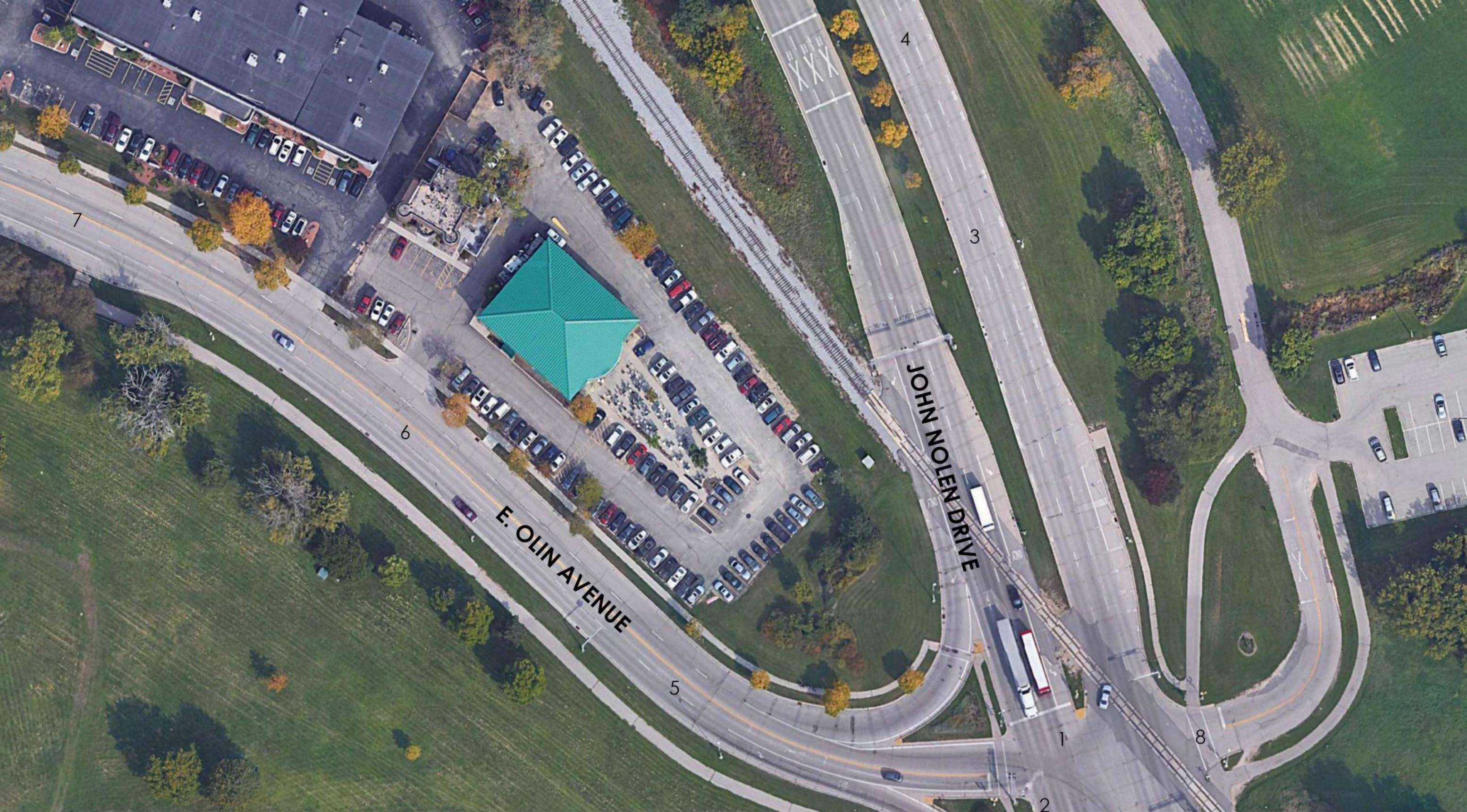
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OLIN AVENUE MIXED-USE DEVELOPMENT - UDC INFORMATIONAL SET

CONCEPTUAL PLANS - LOCATOR MAP

MARCH 31, 2021





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OLIN AVENUE MIXED-USE DEVELOPMENT - UDC INFORMATIONAL SET
IMMEDIATE SITE CONTEXT

MARCH 31, 2021

1"=60' @ 11x17





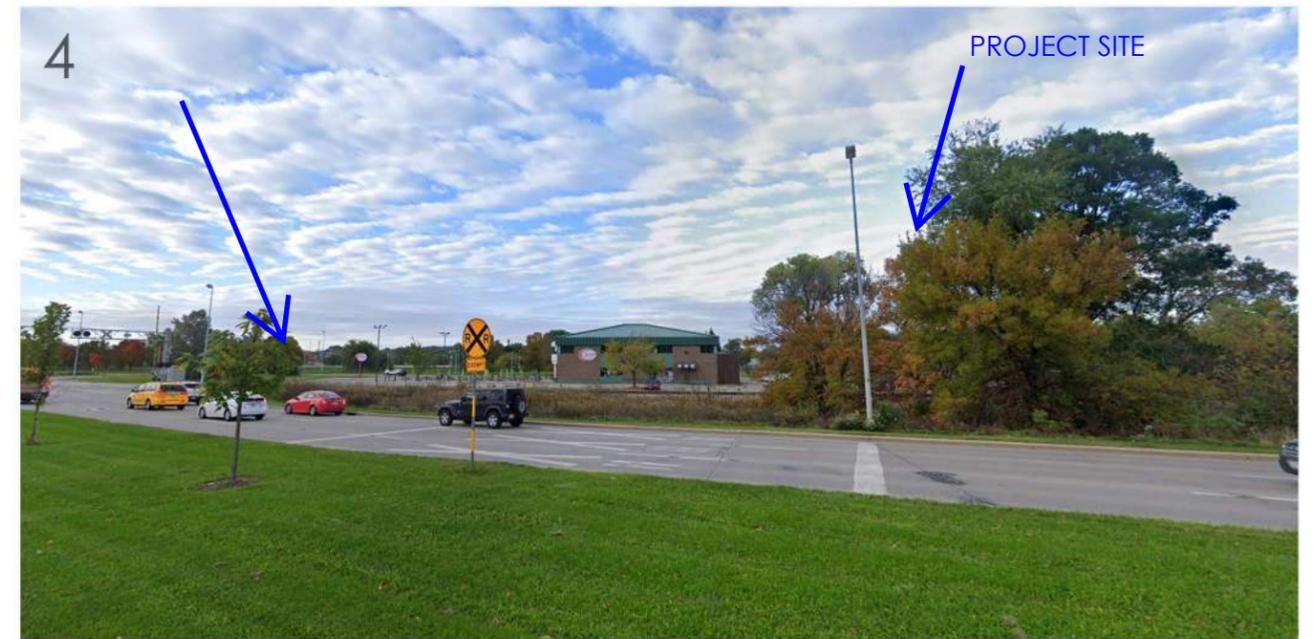
1: JOHN NOLEN DR - FACING NORTHWEST



2: JOHN NOLEN DR - FACING NORTHWEST



3: JOHN NOLEN DR - FACING SOUTHWEST



4: JOHN NOLEN DR - FACING SOUTHWEST





5: E OLIN AVE - FACING NORTH



6: E OLIN AVE - FACING NORTHEAST



7: E OLIN AVE - FACING EAST



8: OLIN-TURNVILLE CT - FACING WEST



OLIN AVENUE MIXED USE BUILDING DATA																				
FLOOR	TOTAL GROSS AREA	PARKING / UNFINISHED	FINISHED NON-LEASABLE	RESIDENTIAL AMENITY	RESIDENTIAL LEASABLE	COMMERCIAL LEASABLE	EFFICENCY	UNITS								PARKING PROVIDED				
								STUDIO	1BR	1BR+	2BR	2BR+	3BR	TOTAL	BRs	RES.	COMM.	TOTALS	RATIOS	
18	3,974		3,974				0.00%							0	0			0		
17	20,666		3,433		17,233		83.39%	0	0	1	6	0	6	13	31			0		
16	20,666		3,433		17,233		83.39%	0	0	1	6	0	6	13	31			0		
15	20,666		3,439		17,227		83.36%	0	8	2	2	0	5	17	29			0		
14	22,958		3,684	1,050	18,224		83.95%	0	9	2	4	0	4	19	31			0		
13	24,737		3,852		20,885		84.43%	0	19	3	2	0	2	26	32			0		
12	24,737		3,863		20,874		84.38%	0	19	3	2	0	2	26	32			0		
11	24,737		3,863		20,874		84.38%	0	19	3	2	0	2	26	32			0		
10	24,737		3,863		20,874		84.38%	0	19	3	2	0	2	26	32			0		
9	24,737		3,863		20,874		84.38%	0	19	3	2	0	2	26	32			0		
8	24,737		3,863		20,874		84.38%	0	19	3	2	0	2	26	32			0		
7	24,737		3,863		20,874		84.38%	0	19	3	2	0	2	26	32			0		
6	24,737		3,863		20,874		84.38%	0	19	3	2	0	2	26	32			0		
5	24,437		3,867	3,223	17,347		84.18%	0	12	3	2	1	2	20	27			0		
SUB-TOTALS	311,263	0	52,723	4,273	254,267	0	83.06%													
4 / P4	39,497	29,414	3,085	1,503		5,495		COMMERCIAL - OFFICE SPACE #2								88		88		
3 / P3	37,994	29,414	3,085			5,495		(COMMERCIAL - POTENTIAL OFFICE SPACE #1 MEZZANINE LEVEL)								90		90		
2 / P2	37,994	29,414	3,085			5,495		COMMERCIAL - OFFICE SPACE #1								90		90		
1 / P1	38,914	24,654	3,685	6,005		4,570		RESIDENTIAL ENTRY / LOBBY									3	47	5 GUEST SPACES	
								COMMERCIAL - RESTAURANT SPACE									44		3.0 PER 1,000 S.F.	
								1/PLL	10,134	10,134										
TOTALS	475,796	123,030	65,663	11,781	254,267	21,055		0	181	33	36	1	39	290	405	295	47	342	1.18	0.84
								0.0%	62.4%	11.4%	12.4%	0.3%	13.4%							

NOTES:

- GROSS AREA IS TO OUTSIDE FACE OF STRUCTURE/FRAMING AND DOES NOT INCLUDE EXTERIOR FINISH MATERIAL.
- GROSS AREAS OF P2 AND P4 DO NOT INCLUDE POTENTIAL COMMERCIAL MEZZANINE SPACE OR COMMERCIAL EGRESS CORRIDOR.
- INCLUDES ALL EGRESS STAIRS, CORRIDORS, ELEVATOR LOBBIES, MECH/STORAGE ROOMS ON RESIDENTIAL LEVELS, ETC.
- 1ST FLOOR AMENITY SPACE INCLUDES LOBBY, LEASING, ELEVATORS, STAIRS, MOVE-IN, AND MAIL/PARCEL. IT DOES NOT INCLUDE BIKE STORAGE.
- OPEN TO BELOW AREA @ 3-FLOOR SPACE TO BE INCLUDED WITH THE OVERALL AREA OF THE 2nd FLOOR OFFICE SPACE.
- PER CITY OF MADISON BIKE PARKING ORDINANCE;
 RESIDENTIAL: (339) TOTAL BIKE STORAGE SPACES ARE REQUIRED – 310 RESIDENTIAL & 29 GUEST SPACES.
 COMMERCIAL: (16) TOTAL BIKE STORAGE SPACES ARE REQUIRED – 10 FUTURE RESTAURANT & 6 FUTURE OFFICE SPACES.
 TOTAL REQUIRED FOR THE FACILITY: (355)

**CURRENT DESIGNED BIKE SPACES = (253)

NOTE:
 AREAS NOTED ON THESE DOCUMENTS ARE CONCEPTUAL AND SHOULD NOT BE USED FOR CONSTRUCTION COST ESTIMATING PURPOSES. CONTRACTORS SHOULD PERFORM THEIR OWN 'TAKE-OFFS' TO CONFIRM/VERIFY AREAS AND CONTACT JLA ARCHITECTS IF ANY DISCREPANCIES ARE DISCOVERED.

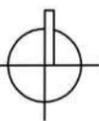


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OLIN AVENUE MIXED-USE DEVELOPMENT - UDC INFORMATIONAL SET
CONCEPTUAL MASTERPLAN - AERIAL VIEW

APRIL 28, 2021

1"=60' @ 11x17



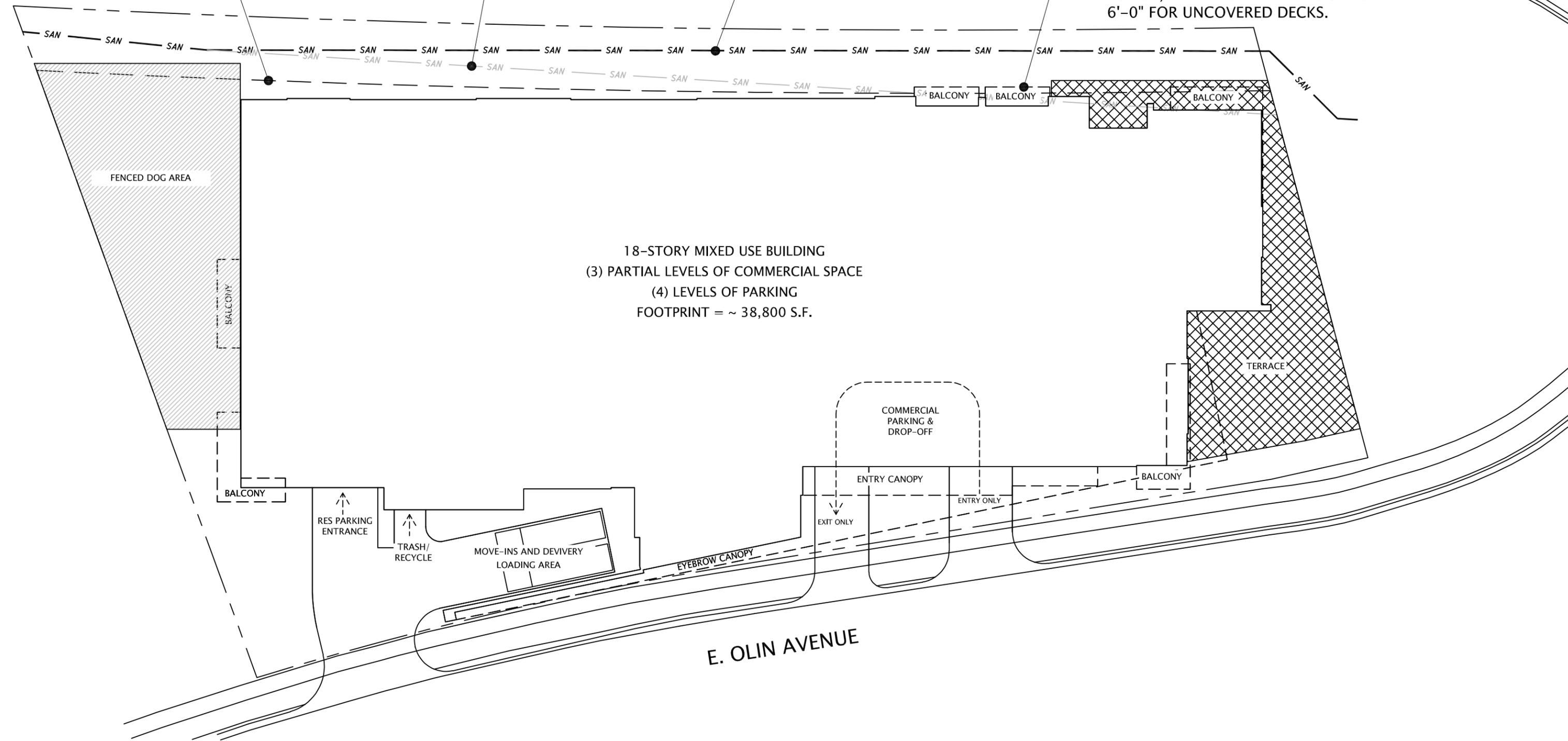
JOHN NOLEN DRIVE

20' REAR SETBACK FOR 'TE' ZONING

PORTION OF EXISTING SANITARY LINE TO BE RELOCATED

RELOCATE EXISTING SANITARY LINE 15' FROM FACE OF BUILDING

BALCONY EXTENSION INTO SETBACK = ~4'-6". MADISON ORDINANCE 28.132, TABLE 28I-1 ALLOWS UP TO 6'-0" FOR UNCOVERED DECKS.

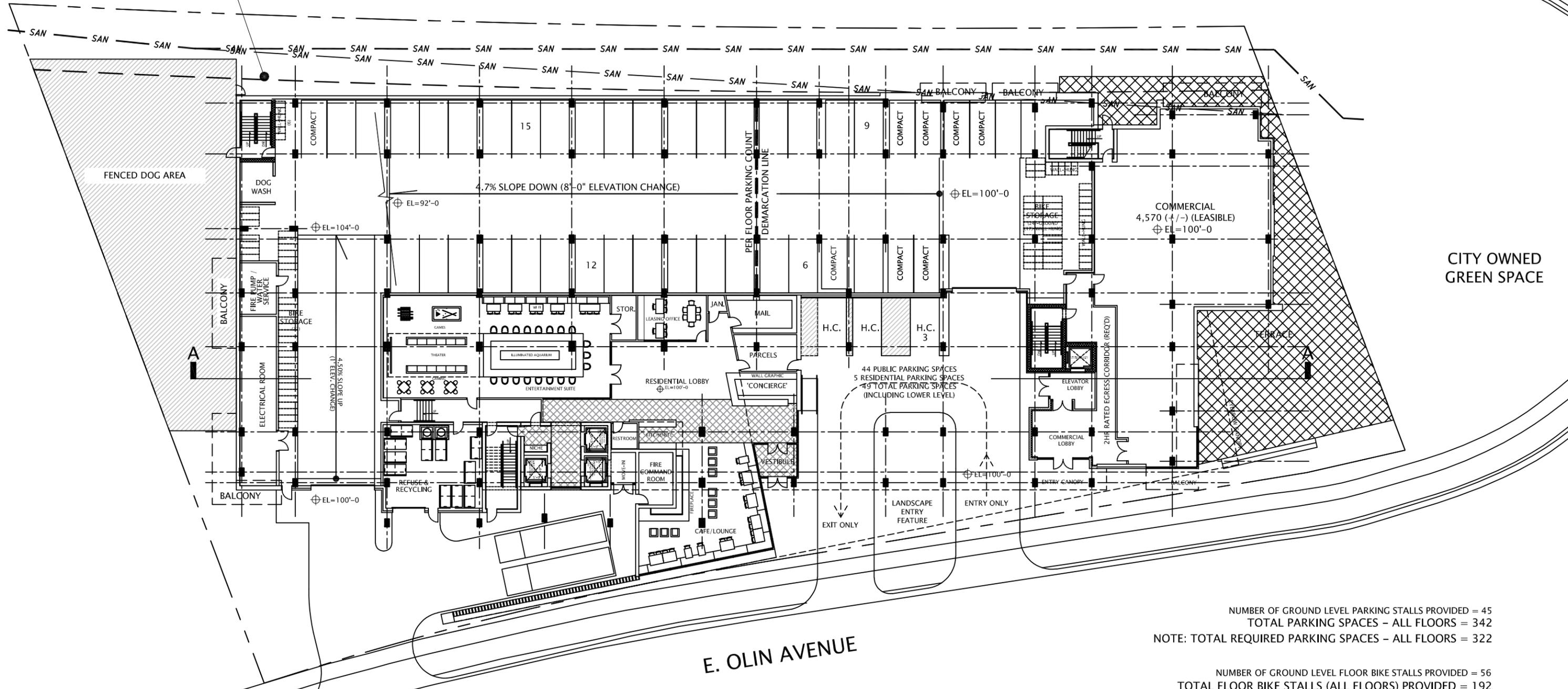


18-STORY MIXED USE BUILDING
 (3) PARTIAL LEVELS OF COMMERCIAL SPACE
 (4) LEVELS OF PARKING
 FOOTPRINT = ~ 38,800 S.F.



JOHN NOLEN DRIVE

20' REAR SETBACK FOR 'TE' ZONING



NUMBER OF GROUND LEVEL PARKING STALLS PROVIDED = 45
 TOTAL PARKING SPACES - ALL FLOORS = 342
 NOTE: TOTAL REQUIRED PARKING SPACES - ALL FLOORS = 322

NUMBER OF GROUND LEVEL FLOOR BIKE STALLS PROVIDED = 56
 TOTAL FLOOR BIKE STALLS (ALL FLOORS) PROVIDED = 192
 NOTE: TOTAL REQUIRED FLOOR BIKE STALLS (ALL FLOORS) = 278

NUMBER OF GROUND LEVEL WALL-HUNG BIKE RACKS PROVIDED = 23
 TOTAL WALL-HUNG BIKE RACKS (ALL FLOORS) PROVIDED = 61
 NOTE: TOTAL ALLOWED WALL-HUNG BIKE RACKS (ALL FLOORS) = 77

NOTE: TOTAL BIKE SPACES PROVIDED = 253
 NOTE: TOTAL REQUIRED BIKE SPACES (PER CITY OF MADISON BIKE PARKING ORDINANCE) = 355



OLIN AVENUE MIXED-USE DEVELOPMENT
 CONCEPTUAL PLANS - GROUND FLOOR / LEVEL P1

APRIL 28, 2021
 1"=30' @ 11x17





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OLIN AVENUE MIXED-USE DEVELOPMENT - UDC INFORMATIONAL PRESENTATION SET

VIEW 7: LOOKING DOWNTOWN FROM JOHN NOLEN DRIVE

APRIL 28, 2021



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OLIN AVENUE MIXED-USE DEVELOPMENT - UDC INFORMATIONAL PRESENTATION SET

VIEW 8: LOOKING DOWNTOWN FROM JOHN NOLEN DRIVE

APRIL 28, 2021



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OLIN AVENUE MIXED-USE DEVELOPMENT - UDC INFORMATIONAL SET

MARCH 31, 2021

VIEW 1: FROM SOUTHEAST



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OLIN AVENUE MIXED-USE DEVELOPMENT - UDC INFORMATIONAL PRESENTATION SET
VIEW 2: FROM SOUTHEAST

APRIL 28, 2021



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OLIN AVENUE MIXED-USE DEVELOPMENT - UDC INFORMATIONAL PRESENTATION SET

VIEW 3: FROM NORTHEAST - JOHN NOLEN DRIVE

APRIL 28, 2021



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OLIN AVENUE MIXED-USE DEVELOPMENT - UDC INFORMATIONAL PRESENTATION SET

VIEW 4: FROM NORTHEAST - JOHN NOLEN DRIVE

APRIL 28, 2021



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OLIN AVENUE MIXED-USE DEVELOPMENT - UDC INFORMATIONAL PRESENTATION SET

VIEW 5: COMMERCIAL PLAZA

APRIL 28, 2021



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OLIN AVENUE MIXED-USE DEVELOPMENT - UDC INFORMATIONAL PRESENTATION SET

VIEW 6: COMMERCIAL PLAZA

APRIL 28, 2021



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OLIN AVENUE MIXED-USE DEVELOPMENT - UDC INFORMATIONAL PRESENTATION SET

VIEW 9: OLIN AVENUE STREETScape

APRIL 28, 2021



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OLIN AVENUE MIXED-USE DEVELOPMENT - UDC INFORMATIONAL PRESENTATION SET

VIEW 10: ROOFTOP TERRACE

APRIL 28, 2021



JUNE 21 | 9:00 AM



JUNE 21 | 12:00 PM



JUNE 21 | 3:00 PM



JUNE 21 | 6:00 PM





DECEMBER 21 | 9:00 AM



DECEMBER 21 | 12:00 PM



DECEMBER 21 | 3:00 PM



DECEMBER 21 | 6:00 PM



THANK YOU!
Q&A



JLA
ARCHITECTS

OLIN AVENUE MIXED-USE DEVELOPMENT - UDC INFORMATIONAL PRESENTATION SET

VIEW 3: FROM NORTHEAST - JOHN NOLEN DRIVE

APRIL 28, 2021



WEST ELEVATION - SCHEMATIC IMAGE
3/32" = 1'-0"

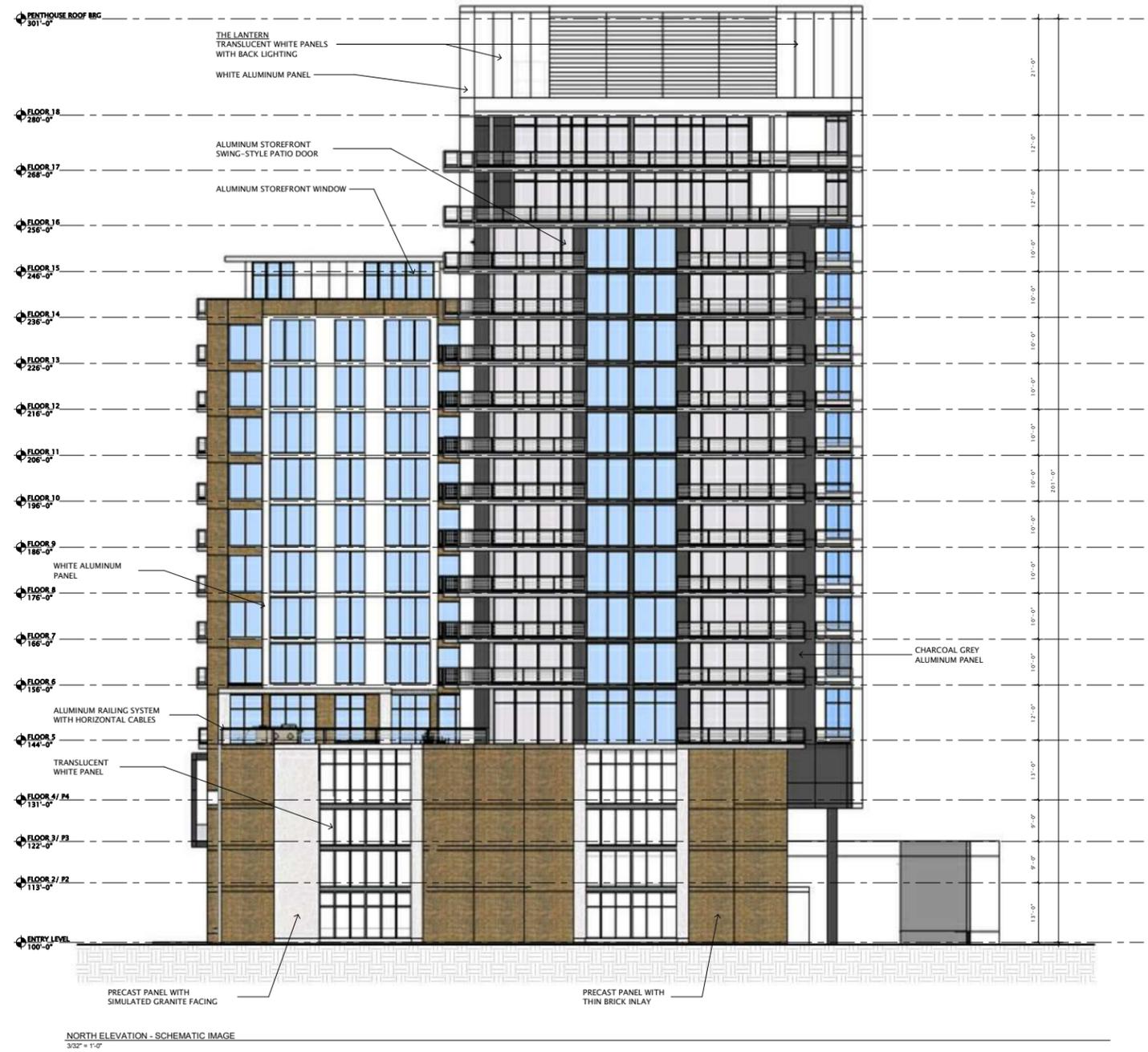


OLIN AVENUE MIXED-USE DEVELOPMENT - UDC INFORMATIONAL SET
CONCEPTUAL ELEVATIONS - WEST EXTERIOR ELEVATION

JLA PROJECT No: 20-1014

A201S

MARCH 31, 2021



OLIN AVENUE MIXED-USE DEVELOPMENT - UDC INFORMATIONAL SET
 CONCEPTUAL ELEVATIONS - NORTH EXTERIOR ELEVATION

JLA PROJECT No: 20-1014

A202S

MARCH 31, 2021



EAST ELEVATION - SCHEMATIC IMAGE
3/32" = 1'-0"



OLIN AVENUE MIXED-USE DEVELOPMENT - UDC INFORMATIONAL SET
CONCEPTUAL ELEVATIONS - EAST EXTERIOR ELEVATION

JLA PROJECT No: 20-1014

A203S

MARCH 31, 2021

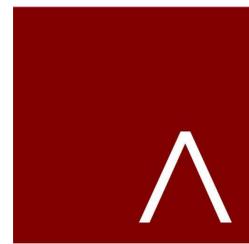


OLIN AVENUE MIXED-USE DEVELOPMENT - UDC INFORMATIONAL SET
 CONCEPTUAL ELEVATIONS - SOUTH EXTERIOR ELEVATION

JLA PROJECT No: 20-1014

A204S

MARCH 31, 2021



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 20-1014

OLIN AVENUE
MIXED-USE
DEVELOPMENT

UDC INFORMATIONAL SET

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE APRIL 28, 2021

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

WALL SECTIONS

SHEET NUMBER

A310

