

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____

Date received _____

Received by _____

Aldermanic District _____

Zoning District _____

Urban Design District _____

Submission reviewed by _____

Legistar # _____



March 26, 2020
1:48 p.m.

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: 36 West Towne Mall

Title: West Towne Mall Redevelopment (Demo of Boston Store for Von Maur Development)

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested April 29, 2020

- New development Alteration to an existing or previously-approved development
 Informational Initial approval Final approval

3. Project Type

- Project in an Urban Design District
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
 Planned Development (PD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Multi-Use Site or Residential Building Complex

Signage

- Comprehensive Design Review (CDR)
 Signage Variance (i.e. modification of signage height, area, and setback)

Other

- Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name Ken Wittler
Street address 2030 Hamilton Place Boulevard, Suite 500
Telephone 423-855-0001

Company CBL Properties
City/State/Zip Chattanooga, TN 37421
Email ken.wittler@cblproperties.com

Project contact person Jeff Yersin
Street address 16745 W. Bluemound Rd.
Telephone 262-317-3232

Company RaSmith, Inc
City/State/Zip Brookfield, WI 53005
Email jeff.yersin@rasmith.com

Property owner (if not applicant) _____
Street address _____
Telephone _____

City/State/Zip _____
Email _____

5. Required Submittal Materials

- Application Form**
- Letter of Intent**
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
 - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- Development plans** (Refer to checklist on Page 4 for plan details)
- Filing fee**
- Electronic Submittal***

Each submittal must include fourteen (14) 11" x 17" collated paper copies. Landscape and Lighting plans (if required) must be full-sized and legible. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

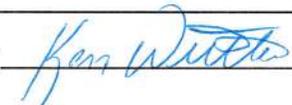
For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with City of Madison Development Assistance Team on October 31, 2019.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Ken Wittler Relationship to property Vice President - Development at CBL

Authorizing signature of property owner  Date 1-9-20

7. Application Filing Fees

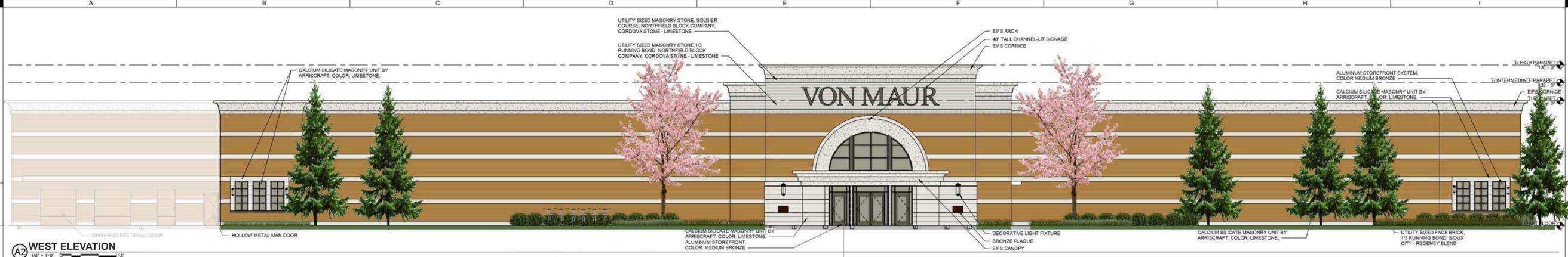
Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

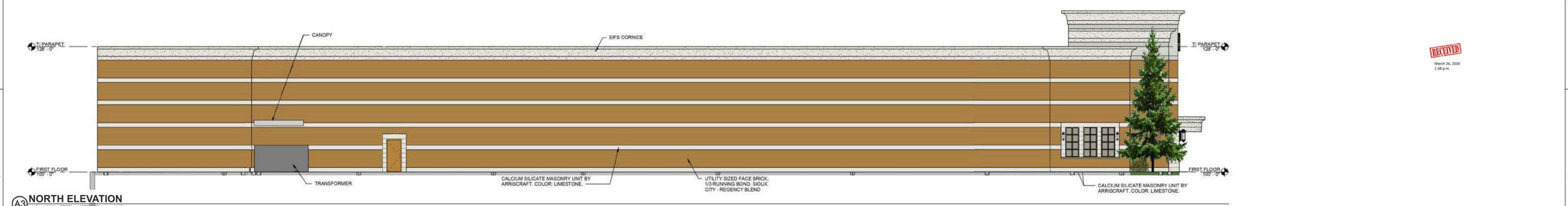
- Urban Design Districts: \$350 (per §35.24(6) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

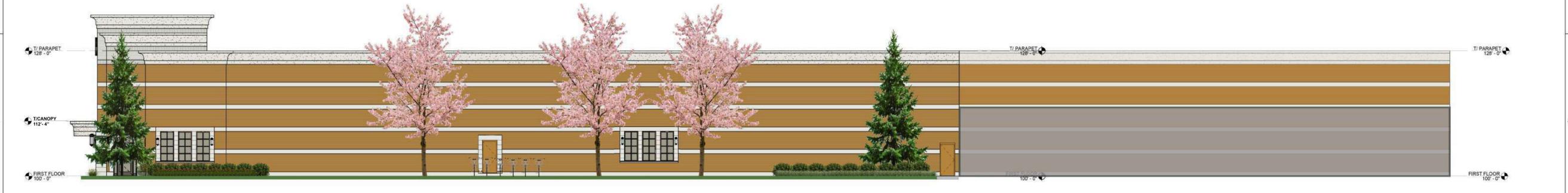
- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex



A2 WEST ELEVATION
 1/8" = 1'-0" 0' 12"



A3 NORTH ELEVATION
 1/8" = 1'-0" 0' 12"



A5 SOUTH ELEVATION
 1/8" = 1'-0" 0' 12"



A5 SOUTH ELEVATION

A5 SOUTH ELEVATION

A2 WEST ELEVATION

RECEIVED
 March 26, 2020
 1:48 p.m.

NEW DEPARTMENT STORE - WEST TOWNE MALL

**PRELIMINARY
 - NOT FOR
 CONSTRUCTION**

DRAWN:	GDK
APPROVED:	SPK
ISSUED FOR REVIEW:	
DATE:	10-28-2019
PROJECT NO:	3192549
FIELD BOOK:	

ELEVATIONS
 CONSTRUCTION ISSUE #1



GENERAL NOTES

- THE LOCATIONS OF UTILITY MAINS, STRUCTURES, AND SERVICE CONNECTIONS PLOTTED ON THIS DRAWING ARE APPROXIMATE ONLY AND WERE OBTAINED FROM RECORDS MADE AVAILABLE TO SHIVEHATTERY, INC. THESE MAY BE OTHER EXISTING UTILITY MAINS, STRUCTURES, AND SERVICE CONNECTIONS NOT KNOWN TO SHIVEHATTERY, INC. AND NOT SHOWN ON THIS DRAWING.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR LIAISON WITH OWNERS OF EXISTING FACILITIES ENCOUNTERED DURING THE CONSTRUCTION.
- CALL MISS DIG (ONE CALL) AT 811 OR 1-800-482-7171 A MINIMUM OF 3 BUSINESS DAYS PRIOR TO CONSTRUCTION.
- ALL EXISTING UTILITIES SHALL BE PROTECTED BY THE CONTRACTOR DURING THE PROGRESS OF THE WORK. SUCH PROTECTION SHALL ALLOW THE UTILITIES TO REMAIN IN CONTINUOUS OPERATION. ANY UTILITY DAMAGED BY THE CONTRACTOR DURING THE COURSE OF THE WORK SHALL BE REPAIRED AT THEIR EXPENSE.
- ANY CONSTRUCTION NOT DETAILED OR SPECIFIED IN THESE CONSTRUCTION DOCUMENTS OR THE CITY OF ROCHESTER HILLS SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, LATEST EDITION.
- NO TOPOGRAPHIC SURVEY HAS BEEN PERFORMED. CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL DISTURBED AREAS HAVE POSITIVE DRAINAGE AND ALL PAVEMENT SURFACES ARE IN CONFORMANCE WITH THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, LATEST EDITION.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL CAUSE A MINIMUM INTERRUPTION TO TRAFFIC. THE CONTRACTOR SHALL POST WITH MILE SIGNS INDICATING ANY NECESSARY STREET CLOSURES OR DETOURS.
- IF IT IS NECESSARY DURING CONSTRUCTION TO INTERRUPT OR OBSTRUCT NATURAL DRAINAGE OF THE SURFACE, OR THE FLOW OF ARTIFICIAL DRAINS, THE CONTRACTOR SHALL PROVIDE TEMPORARY DRAINAGE FACILITIES DURING PROGRESS OF THE WORK AT HIS EXPENSE THAT WILL PREVENT DAMAGE TO PUBLIC AND PRIVATE INTERESTS. THE CONTRACTOR SHALL RESTORE THE ORIGINAL DRAINS AT HIS OWN EXPENSE AS THE WORK WILL PERMIT. THE CONTRACTOR SHALL BE LIABLE FOR ALL DAMAGES WHICH MAY RESULT FROM HIS NEGLIGENCE TO PROVIDE FOR EITHER NATURAL OR ARTIFICIAL DRAINAGE WHICH THE WORK MAY HAVE INTERRUPTED.
- CONSTRUCTION NOT SPECIFICALLY DETAILED OR SPECIFIED WITHIN THE PLANS OR IN THE PROJECT MANUAL SHALL CONFORM TO THE CITY OF MADISON, WISCONSIN ENGINEERING DESIGN STANDARDS AND THE RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES (TEN STATE STANDARDS), LATEST EDITION.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY SITE/UTILITY PERMITS, INCLUDING ANY FEES.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ADJACENT AREAS FREE FROM DEBRIS GENERATED BY THE CONSTRUCTION.
- DURING REMOVAL AND CONSTRUCTION, CONTRACTOR SHALL USE ALL MEANS NECESSARY TO CONTROL DUST SPREADING FROM WORK AND STAGING AREAS.
- ALL CONSTRUCTION DEBRIS SHALL BE DISPOSED OF OFF SITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
- PROTECT ADJACENT PROPERTY DURING CONSTRUCTION. PROTECT EXISTING UTILITIES WHICH ARE TO REMAIN.
- SAWCUT EDGES OF PAVEMENT FULL DEPTH PRIOR TO REMOVAL TO PREVENT DAMAGE TO ADJACENT SLABS AND FIXTURES.
- CONTRACTOR SHALL PROVIDE A CONTINGENT PLAN FOR OWNER APPROVAL PRIOR TO BEGINNING CONCRETE SITE WORK.
- ALL CONCRETE PAVING SHALL RECEIVE A BROOM FINISH.

SITE AND LANDSCAPE PLANTING NOTES

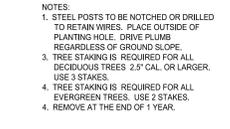
- CONTRACTOR SHALL VERIFY THE LOCATION AND PROTECT UTILITIES AND STRUCTURES PRIOR TO PLANT INSTALLATION. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE IMMEDIATELY REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER.
- PLANT MATERIAL SHALL MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z601 - LATEST EDITION).
- NO PLANT MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF OWNERS REPRESENTATIVE, INCLUDING PLANT TYPE AND SIZE OF INSTALLED PLANT MATERIALS.
- CONTRACTOR TO COORDINATE SELECTION OF PLANTS WITH OWNER PRIOR TO PURCHASE AND INSTALLATION. CONTRACTOR TO ARRANGE FOR OWNER TO VERIFY PLANTS SELECTION PRIOR TO PURCHASE AND INSTALLATION BY IN FIELD NURSERY SUPPLIER VISIT OR PHOTOGRAPHS AS REQUESTED BY OWNER OR OWNERS REPRESENTATIVE.
- PRUNE PLANT MATERIAL TO REMOVE DEAD OR DAMAGED BRANCHES. MAKE ALL CUTS AT BRANCH COLLAR. MAINTAIN THE NATURAL HABIT, SHAPE AND SPECIFIED SIZE OF PLANT MATERIALS.
- ALL SINGLE STEM DECIDUOUS TREES SHALL BE WRAPPED FROM THE GROUND LINE UP TO AND INCLUDING THE CROUCH FORMED BY THE FIRST MAJOR BRANCH. WRAPPING SHALL BE DONE AFTER THE PLANT HAS BEEN INSTALLED.
- REMOVE ALL TAGS, LABELS, ETC. ON PLANT MATERIAL AFTER PLANT MATERIALS HAVE BEEN INSTALLED AND APPROVED BY THE OWNER OR OWNERS REPRESENTATIVE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LEGAL DISPOSAL OF EXCESS SOIL, PACKING MATERIAL, BURLAP, TRIMMINGS AND OTHER DEBRIS ASSOCIATED WITH THE PLANTING OPERATION. PAVED SURFACES SHALL BE BROOM CLEAN. CLEAN UP WORK SHALL BE CONSIDERED INCIDENTAL TO THE WORK.
- SHOP DRAWINGS AND OR SUBMITTALS SHALL BE RECEIVED FOR ALL PLANT MATERIALS AND LANDSCAPE MATERIALS TO BE VERIFIED AND APPROVED BY OWNER AND OR OWNERS REPRESENTATIVE PRIOR TO ORDERING AND INSTALLATIONS.
- THE CONTRACTOR SHALL PROVIDE COLOR SAMPLERS AND A FIELD SAMPLE 3" X 3" FIELD SAMPLE OF INTEGRALLY COLORED PCC SIDEWALK FOR OWNER APPROVAL PRIOR TO INSTALLATION. COLORED CONCRETE SHALL BE INSTALLED, SEALED, AND COVERED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS AND SPECIFICATIONS.
- CONTRACTOR SHALL COORDINATE LANDSCAPE PLANTING AREAS, AND LANDSCAPE ELEMENTS WITH UTILITIES AND ELECTRICAL AS NECESSARY. ANY DISCREPANCIES SHALL BE MADE AWARE TO THE OWNER FOR OWNER OR OWNER REPRESENTATIVE APPROVAL PRIOR TO ANY ADJUSTMENTS.
- LANDSCAPED AREAS, INCLUDING TURF AREAS, SHALL RECEIVE A MINIMUM OF SIX INCHES OF TOPSOIL.
- LANDSCAPED AREAS SHALL BE TOPPED WITH A MINIMUM OF THREE INCHES OF HARDWOOD MULCH.
- PLANTING WITHIN THE PARKING LOT ISLANDS SHALL REMAIN.
- CONTRACTOR SHALL REMOVE LANDSCAPE AS MINIMALLY REQUIRED FOR ROCK CHANNELS AND NEW PCC SIDEWALK CONNECTIONS.
- LANDSCAPE PLANTING AREAS SHALL BE BOUND BY BLACK ALUMINUM EDGING OR BY SIDEWALK PAVEMENT.
- LANDSCAPED AREAS SHALL BE TOP DRESSED WITH 2" SHREDDED HARDWOOD MULCH AND BE BOUND BY BLACK ALUMINUM EDGING.
- EXISTING TREES THAT ARE TO REMAIN SHALL BE TOP DRESSED WITH 2" SHREDDED HARDWOOD MULCH AND CLEAN SPADE CUT EDGE.
- AREAS INTENDED TO RECEIVE RIVER ROCK SHALL BE ATOP NON WOVEN FABRIC AND BE BOUND BY BLACK ALUMINUM EDGING.

MAINTENANCE NOTES

- LANDSCAPE CONTRACTOR SHALL GUARANTEE PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INITIAL ACCEPTANCE.
- MAINTENANCE OF PLANTS SHALL COMMENCE IMMEDIATELY AND CONTINUE UNTIL ACCEPTANCE OF THE WORK. PROVIDE A DETAILED WRITTEN RECOMMENDED MAINTENANCE PROGRAM TO THE OWNER PRIOR TO ACCEPTANCE OF THE WORK. MAINTENANCE PERFORMED BY THE OWNER IN ACCORDANCE WITH THE RECOMMENDED PROGRAM SHALL NOT AFFECT THE CONTRACTORS OBLIGATION TO GUARANTEE AND REPLACE DEFECTIVE PLANT MATERIAL.

IRRIGATION NOTES

- CONTRACTOR SHALL PROVIDE A ZONED IRRIGATION SYSTEM CAPABLE OF FULLY IRRIGATING THE LANDSCAPED AREAS ALONG THE WEST AND SOUTH FACE OF THE BUILDING IN ACCORDANCE WITH THE FOLLOWING NOTES, INCLUDING PROVIDING A NEW CONTROLLER MOUNTED TO THE EXTERIOR OF THE BUILDING AT THE IRRIGATION WATER SERVICE CONNECTION. THAT IRRIGATION WATER SERVICE CONNECTION LOCATION TO BE DETERMINED, WILL BE PROVIDED BY OTHERS AND WILL INCLUDE A BACKFLOW PREVENTER WITHIN THE BUILDING AND A 1" SERVICE LINE EXTENDING OUTSIDE OF THE BUILDING APPROXIMATELY 2' BELOW GRADE.
- THIS PERFORMANCE SPECIFICATION IS MEANT TO BE A GUIDE TO FACILITATE THE DESIGN AND INSTALLATION OF AN IRRIGATION SYSTEM THAT ADDRESSES THE NEEDS OF THE IRRIGATION SYSTEM. IT IS THE RESPONSIBILITY OF THE DESIGNER AND/OR INSTALLER TO INCLUDE ONLY THOSE PRACTICES THAT APPLY TO THEIR LOCAL NEEDS AND IN SUCH A WAY AS TO BE ECONOMICALLY PRACTICAL AND SUSTAINABLE FOR MAINTENANCE.
- HEALTHY AND FUNCTIONAL LANDSCAPE WITHOUT EXCEEDING THE WATER REQUIREMENTS OF THE LANDSCAPE.
- PROVIDE A DRAWING SHOWING PROPOSED IRRIGATION LAYOUT FOR OWNER OR OWNERS REPRESENTATIVE APPROVAL PRIOR TO CONSTRUCTION OR, AND INSTALLATION OF THE SYSTEM.
- TO ASSURE THAT A HIGH-QUALITY IRRIGATION SYSTEM IS DESIGNED, INSTALLED, MAINTAINED, AND MANAGED:
 - TO ENSURE THAT THE IRRIGATION SYSTEM IS DESIGNED TO EFFICIENTLY AND UNIFORMLY DISTRIBUTE WATER, AND CONSERVE AND PROTECT WATER RESOURCES, THE IRRIGATION DESIGNER SHOULD:
 - OBTAIN DIRECT KNOWLEDGE OF SITE CONDITIONS RATHER THAN RELYING SOLELY ON PLOT PLANS TO GENERATE A DESIGN.
 - MEET ALL APPLICABLE STATE AND LOCAL CODES, INCLUDING PLUMBING AND ELECTRICAL CODES.
 - SPECIFY MANUFACTURER, MODEL, TYPE AND SIZE OF ALL COMPONENTS TO ELIMINATE AMBIGUITY AT CONSTRUCTION AND FACILITATE MANAGEMENT OF THE SYSTEM. COMPONENT SELECTION SHOULD BE BASED ON DESIGN PARAMETERS, ENVIRONMENTAL CONDITIONS AND CODE REQUIREMENTS.
 - DESIGN THE IRRIGATION SYSTEM TO MINIMIZE INSTALLATION AND MAINTENANCE PROBLEMS. SELECTION AND PLACEMENT OF SPRINKLER AND DRIP/IRRIGATION COMPONENTS SHOULD BE GUIDED BY LARGER PLANTS EXPECTED SIZE.
 - PROVIDE A COMPLETE IRRIGATION SYSTEM ORIENTATION TO THE OWNER OF THE SYSTEM.
 - APPLY ACCEPTED RULES OF MAXIMUM SAFE FLOW RATE FOR MUNICIPAL WATER SUPPLIERS WITH THE LOWEST SAFE FLOW RATE PREVAILING AS THE DESIGN GUIDELINE.
 - WHERE APPLICABLE, SPECIFY A WATER SOURCE THAT MEETS PEAK DEMANDS FOR LANDSCAPE WATER WITH AN IRRIGATION DURATION OF NO MORE THAN 10 HOURS PER DAY.
 - SPECIFY WATER SOURCE PROTECTION IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS. WHERE NO REQUIREMENTS EXIST, ASSESS RISK AND SPECIFY AN APPROPRIATE BACKFLOW PREVENTION DEVICE.
 - SPECIFY A METERING DEVICE THAT MEASURES THE TOTAL LANDSCAPE WATER USE SEPARATE FROM OTHER USE (REQUIRED FOR COMMERCIAL INSTALLATIONS AND RECOMMENDED FOR RESIDENTIAL INSTALLATIONS).
 - FOR SYSTEMS ON A MUNICIPAL SUPPLY, ALLOW FOR A REDUCTION IN STATIC PRESSURE OF UP TO 10 PSI TO ACCOMMODATE POSSIBLE EXPANSION IN THE SUPPLY NETWORK.
 - SPECIFY PRESSURE REGULATION WHERE VARIABLE OR EXCESSIVE STATIC PRESSURE EXISTS.
 - SPECIFY THE RECOMMENDED OPERATING (WORKING) PRESSURE AT THE MAXIMUM DESIGN FLOW RATE OF THE SYSTEM.
 - FOR ZONES WITH DRIP/MICRO-IRRIGATION, SPECIFY APPROPRIATE EQUIPMENT AND TECHNIQUES.
 - SELECT COMPONENTS AND DESIGN ZONES TO ACHIEVE THE FOLLOWING MINIMUM OPERATIONAL LOWER QUARTER DISTRIBUTION UNIFORMITY (DU) OR EMISSION UNIFORMITY (EU):
 - TYPE OF ZONE TYPE OF UNIFORMITY MINIMUM UNIFORMITY SPRAY/DULQ 55/DRIP/MICRO-IRRIGATION/ELUQ 80/0
 - DESIGN THE LAYOUT OF HEADS AND OTHER EMISSION DEVICES FOR ZERO OVERSPRAY ACROSS OR TO A STREET, PUBLIC DRIVEWAY OR SIDEWALK, PARKING AREA, BUILDING, FENCE OR ADJACENT PROPERTY.
 - SPECIFY ANY REQUIRED EQUIPMENT CHANGES IN A WAY THAT MEETS OR EXCEEDS THE MINIMUM DU, EU AND OVERSPRAY CRITERIA.
 - DESIGN SPRINKLER HEAD SPACING WITH A MINIMUM OF "HEAD-TO-HEAD" COVERAGE UNLESS NEEDED FOR WIND DEBRATING.
 - USE SEPARATE STATION ZONES (HEAD ZONES) FOR AREAS WITH DISPARATE WATER OR SCHEDULING REQUIREMENTS.
 - SELECTING SYSTEM COMPONENTS TO AVOID SURFACE RUNOFF.
 - LOCATE SPRINKLER HEADS BASED ON A THOROUGH EVALUATION OF PHYSICAL, ENVIRONMENTAL AND HYDRAULIC SITE CONDITIONS, INCLUDING TYPICAL WIND CONDITIONS DURING THE NORMAL IRRIGATION PERIOD.
 - USE DRIP/MICRO-IRRIGATION WHERE APPROPRIATE TO REDUCE EVAPORATION LOSSES AND SURFACE RUNOFF, AND TO AVOID APPLYING WATER ON HARDSURFACES.
 - PROVIDE A MONTHLY IRRIGATION WATER BUDGET.
 - IN REGIONS WHERE A LANDSCAPE WATER ALLOWANCE APPLIES, INCLUDE AN ESTIMATE OF THE FUTURE MONTHLY LANDSCAPE WATER ALLOWANCE.
 - PROVIDE MONTHLY BASE IRRIGATION SCHEDULES WITH OPERATING RECOMMENDATIONS FOR EACH STATION/ZONE BASED ON APPROPRIATE CRITERIA.
 - RECOMMEND APPROPRIATE AND ECONOMICALLY FEASIBLE WATER-SAVING CONCEPTS AND EQUIPMENT.
 - A QUALIFIED IRRIGATION DESIGNER OR IRRIGATION CONSULTANT SHALL DESIGN THE SYSTEM FOR THE EFFICIENT AND UNIFORM DISTRIBUTION OF WATER BASED ON ALL APPLICABLE REGULATIONS. "QUALIFIED" MEANS CERTIFIED, FORMALLY TRAINED, LICENSED OR OTHER SIMILAR QUALIFICATION THAT MEETS STATE AND LOCAL REQUIREMENTS.
 - A QUALIFIED IRRIGATION CONTRACTOR SHALL BE SELECTED TO INSTALL THE IRRIGATION SYSTEM BASED ON VERIFIABLE EXPERIENCE AND KNOWLEDGE WITH THE DESIGNED SYSTEM AND SYSTEM COMPONENTS. THE IRRIGATION CONTRACTOR SHALL TEST THE COMPLETED SYSTEM TO VERIFY THAT THE SYSTEM OPERATES ACCORDING TO THE DESIGN CRITERIA.
 - THE LANDSCAPE ARCHITECT, IRRIGATION DESIGNER, IRRIGATION CONSULTANT, OR LOCAL WATER DISTRICT REPRESENTATIVE SHALL PERFORM ONE OR MORE SITE OBSERVATIONS DURING SYSTEM INSTALLATION TO CHECK FOR ADHERENCE TO THE DESIGN. OBSERVATION SHOULD INSPECT THE INSTALLATION OF THE BACKFLOW PREVENTION ASSEMBLY, MAIN LINE, LATERALS, VALVES, SPRINKLER HEADS, DRIP/MICRO-IRRIGATION EQUIPMENT, CONTROL, WIRE, CONTROLLER, AND WATER CONSERVING DEVICES AND SHOULD ASSURE THAT THE INTENT OF THE IRRIGATION DESIGNER OR CONSULTANT HAS BEEN PRESERVED.
 - THE IRRIGATION SYSTEM SHALL BE MAINTAINED FOR ONGOING EFFICIENT PERFORMANCE BASED ON THE REQUIREMENTS OF CURRENT INDUSTRY STANDARDS.
 - THE CONTROLLER PROGRAMMING (SCHEDULING) SHALL BE MANAGED TO RESPOND TO THE CHANGING NEED FOR WATER IN THE LANDSCAPE.
 - FOLLOWING INSTALLATION OF A NEW SYSTEM, A FIELD PERFORMANCE ADJUST SHALL BE CONDUCTED USING AN INDUSTRY ACCEPTED PROCEDURE SUCH AS THE IRRIGATION ASSOCIATION'S CERTIFIED IRRIGATION ADJUST PROGRAM (OR EQUIVALENT). THE ADJUST SHALL BE SCHEDULED WITH A REASONABLE TIME PERIOD FOLLOWING COMPLETION OF THE INSTALLATION AND AS ESTABLISHED BY THE LOCAL WATER DISTRICT OR OTHER AUTHORITY. THE ADJUST SHALL CHECK THE PERFORMANCE OF THE SYSTEM FOR CONFORMANCE WITH STATE AND LOCAL REQUIREMENTS INCLUDING MEETING STANDARDS FOR THE MINIMUM PRECIPITATION RATE, LOWER QUARTER DISTRIBUTION UNIFORMITY (DU) AND, WHERE POSSIBLE, EMISSION UNIFORMITY FOR DRIP/MICRO-IRRIGATION SYSTEMS). IN ADDITION, THE ADJUST SHALL ALSO VERIFY THE INSTALLATION OF SPECIFIED WATER MANAGEMENT DEVICES SUCH AS A RAIN SHUTOFF DEVICE AND/OR SOIL MOISTURE SENSORS. FINALLY, THE IRRIGATION SCHEDULE SHALL BE EVALUATED TO ASSURE THAT THE IRRIGATION SYSTEM MEETS THE SUPPLEMENTAL WATER NEEDS OF THE PLANTS WITHOUT WASTING WATER.



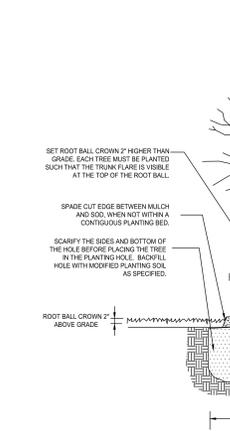
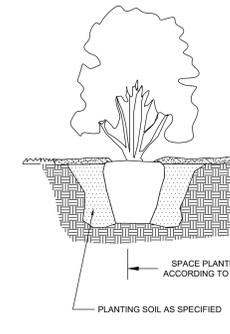
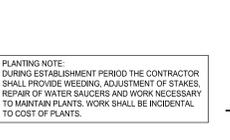
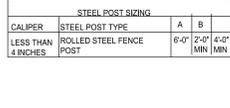
B2 TREE STAKING
NOT TO SCALE

B2 ROOTBALL INSTALLATION
NOT TO SCALE

B4 SHRUB, ORNAMENTAL GRASSES, AND PERENNIAL PLANTING
NOT TO SCALE

G6 DECIDUOUS TREE PLANTING
NOT TO SCALE

G7 CONIFEROUS TREE PLANTING
NOT TO SCALE



LEGEND



PLANT SCHEDULE

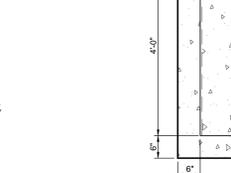
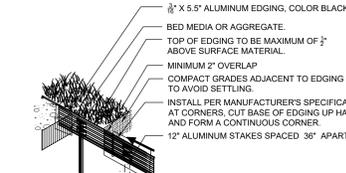
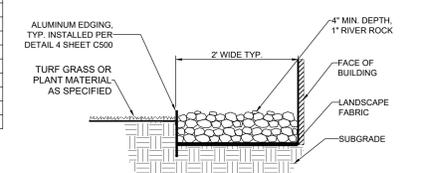
DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
MAL SWW	5	Malus x 'JFS KW213MX' TM	Raspberry Spear Crabapple	B & B	3' Cal
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
PIC CUP	6	Picea abies 'Cupressina'	Norway Spruce	B & B	8-10' HT
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
ILE SHA	58	Ilex glabra 'Shamrock'	Hollyberry	3 gal	24 - 30" HT
PEN HAM	28	Penstemon alpestris 'Hamel's'	Hamel's Fountain Grass	3 gal	18 - 24" HT
SPI TOR	22	Spiraea betulifolia 'Tor'	Birchleaf Spirea	3 gal	24 - 30" HT
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
SPO HET	89	Sporobolus heterolepis	Prairie Dropseed	1 gal	12 - 18" HT
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
HEM S83	141	Hemerocallis x 'Stella D' Oro'	Stella D' Oro Daylily	1 gal	12 - 18" HT

C7 MAINTENANCE BAND
NOT TO SCALE

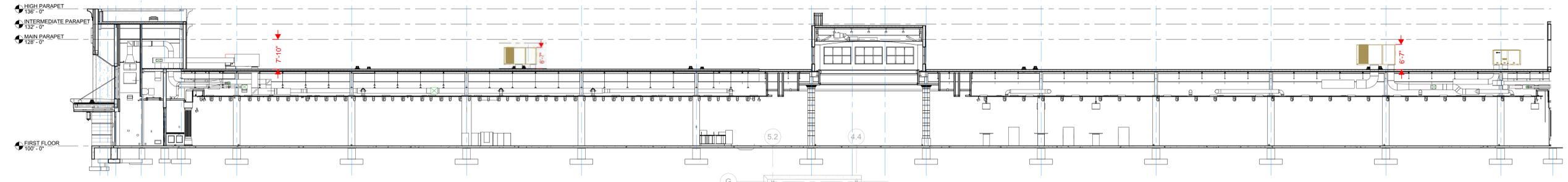
E7 TYPICAL SPADE EDGE AND MULCH DETAIL
NOT TO SCALE

D7 ALUMINUM EDGING
NOT TO SCALE

E7 DECORATIVE BOLLARD
NOT TO SCALE

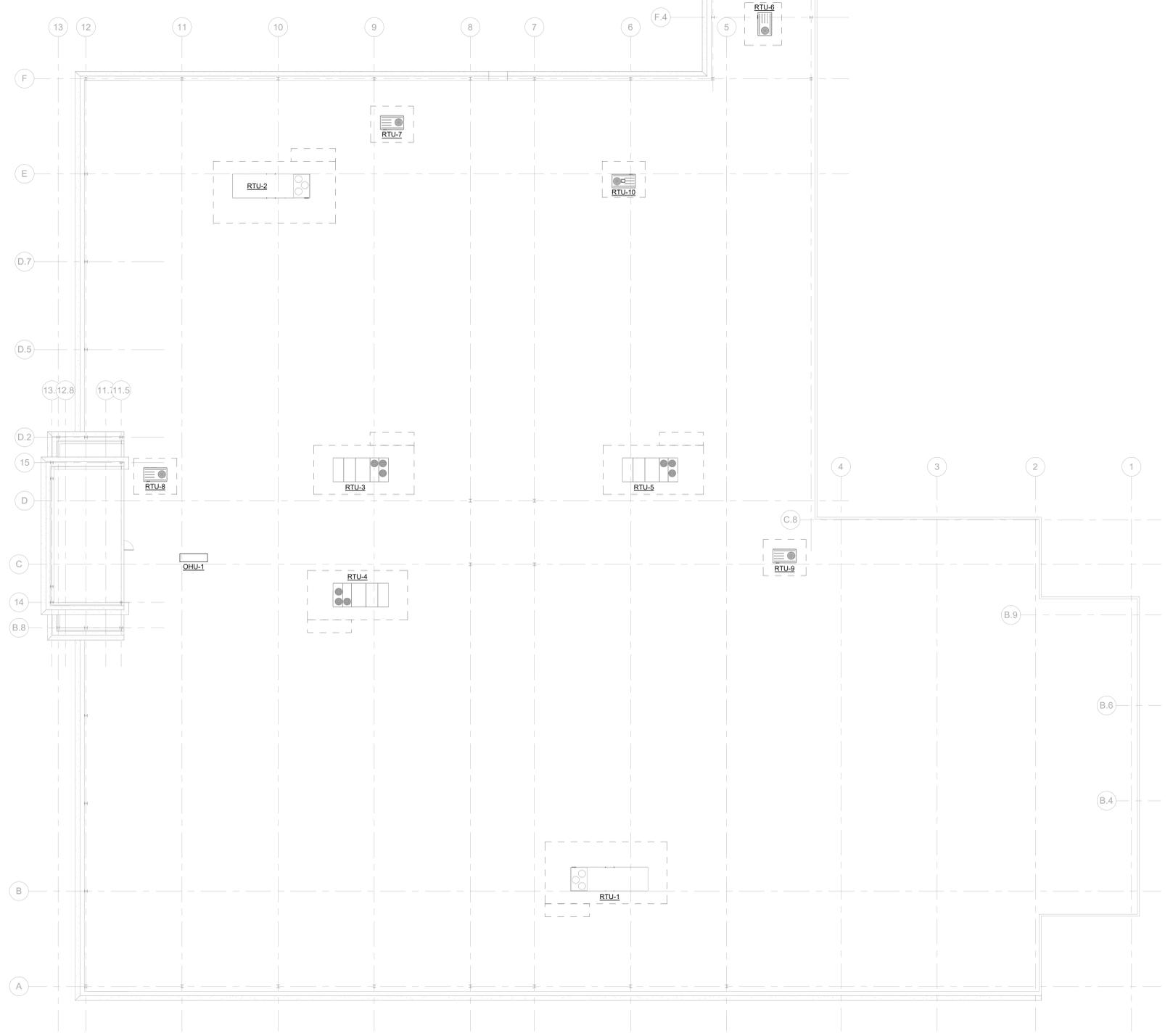


KEYNOTE LEGEND	
KEY	NOTE



A2 BUILDING SECTION - EAST/WEST LOOKING NORTH
3/32" = 1'-0" 0' 18"

THE SIGHT LINES DO NOT CAPTURE THE RTUs SINCE THE PARAPET IS HIGHER THAN THE RTUs



A6 PRELIMINARY ROOF PLAN WITH RTU LOCATIONS
1/16" = 1'-0" 0' 24"

DRAWN:	Author
APPROVED:	Approver
ISSUED FOR:	
DATE:	Issue Date
PROJECT NO:	Project Number
FIELD BOOK:	



SHIVE-HATTERY
 ARCHITECTURE + ENGINEERING
 1701 River Drive, Suite 200 | Moline, Illinois 61265
 309.764.7650 | www.shive-hattery.com
 Iowa | Illinois | Indiana Illinois Firm Number: 184-000214

EXTERIOR BUILDING UPLIGHTING PROTOTYPE PHOTOS

VON MAUR
66 W TOWNE MALL, MADISON WI, 53719

DATE	SCALE	...
01-22-2020	SLB	...
DRAWN	SPK	...
APPROVED	REVISION	...

PROJECT NO.
3192540

SHEET NO.
EX-1

KIM LIGHTING

CFL
Compact Floodlight, LED 2.0 kl_cfl_led_spec.pdf

JOB VON MAUR GRAND RAPIDS TYPE _____

NOTES CFL/WF/213KUV/CC FH-CFL/CC-P APPROVALS REVISED SUBMITTAL

FEATURES

- Second generation LED 2.0
- Three beam patterns, Wide Flood, Vertical Flood, and Narrow Flood distributions generate high efficiencies and outstanding uniformity of illumination
- Die-cast housing with integral cooling ribs promote efficient transfer of heat.
- A variety of mounting options.
- IP66 sealed optical chamber.

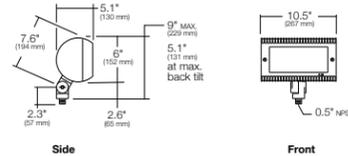
Certifications



SPECIFICATIONS



Max Weight = 13 lbs.



FXLED150SFY

RAB Outdoor



Color: Bronze

Weight: 27.2 lbs

Project: Von Maur REVISED SUBMITTAL 11/9/2018	Type: F29/Heads
Prepared By: LMFETTIS	Date: 9/27/2018

Driver Info	LED Info
Type: Constant Current	Watts: 150W
120V: 1.31A	Color Temp: 3000K (Warm)
208V: 0.80A	Color Accuracy: 71 CRI
240V: 0.69A	L70 Lifespan: 100000
277V: 0.60A	Lumens: 18264
Input Watts: 153W	Efficacy: 119 LPW
Efficiency: 98%	

Technical Specifications

Listings	Color Consistency:	Housing:
UL Listing: Suitable for wet locations. Suitable for ground mounting.	3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color	Die-cast aluminum housing and door frame
IESNA LM-79 & LM-80 Testing: RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.	Color Stability: LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period	Mounting: Heavy-duty Slipfitter for 2 3/8"OD pipe
DLC Listed: This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities. DLC Product Code: P00001730	Color Uniformity: RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.	Reflector: Specular, vacuum-metallized polycarbonate
Electrical	Construction	Gaskets: High-temperature silicone gaskets
Driver: One Driver, Constant Current, Class 2, 2100mA 100-277V, 50-60Hz, Power Factor 99%	IP Rating: Ingress Protection rating of IP66 for dust and water	Finish: Formulated for high-durability and long lasting color
THD: 4.9% at 120V, 13.9% at 277V	Maximum Ambient Temperature: Suitable for use in 40°C (104°F) ambient temperatures	Green Technology: Mercury and UV-free. RoHS compliant components.
Power Factor: 99.5% at 120V, 93.7% at 277V	Effective Projected Area: EPA = 2	Optical
LED Characteristics	Cold Weather Starting: Minimum starting temperature is -40°C (-40°F)	NEMA Type: NEMA Beam Spread of 6H x 6V
Lifespan: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations	Thermal Management: Superior thermal management with external "Air-Flow" fins	Sensor Characteristics
Note: All values are typical (tolerance +/- 10%)	Lens: Tempered glass lens	Field & Beam Angles: Horizontal Beam Angle (50%): 91.8°, Vertical Beam Angle (50%): 73.5° Horizontal Field Angle (10%): 121.0°, Vertical Field Angle (10%): 108.0°
LEDs: Multi-chip, high-output, long-life LEDs		

ORDERING CODE

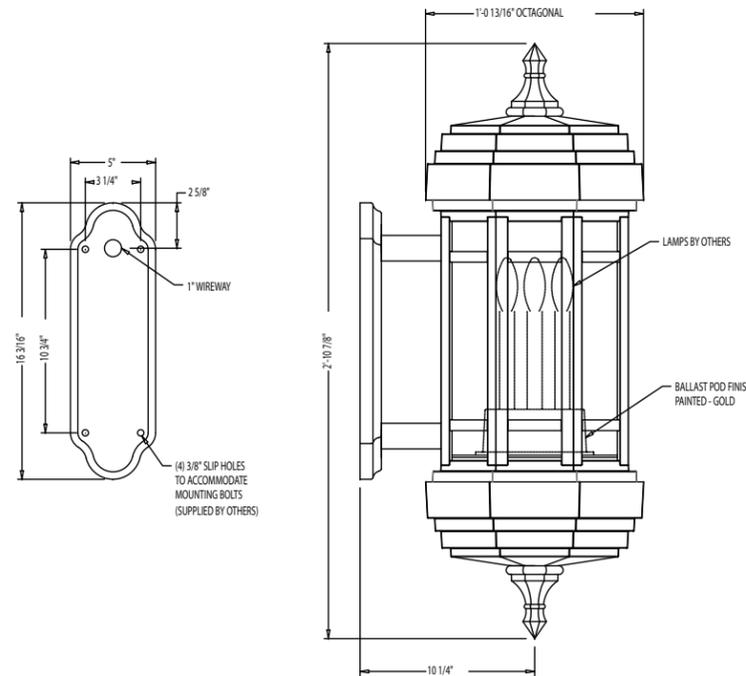
CFL	WF	21	3K	35	UV	CC	
Fixture	Distribution	# LED's	CCT	Drive Current	Voltage	Color	Fuse Options
WF Wide Flood	21 21 LED's	3K 3000K	35 350mA	UV 120-277V	BL Black	SF 120, 277 Line Volts	
VF Vertical Flood		4K 4000K	50 500mA		DB Dark Bronze	DF 208, 240 Line Volts	
NF Narrow Flood		5K 5000K			LG Light Gray		
					PS Platinum Silver		
					TT Titanium		
					WH White		
					CC Custom Color ²		

FH-CFL/CC-P

Accessories / Mounting Options

BD-CFL Barn Doors	JBR32 Brass In-Grade Staked J-Box with Cord
FH-CFL Fixed Hood	SM18 Surface Mount Tenon
FS-CFL Full Shield	J-27N Surface Mount
JBR2/3/21/24 Brass In-Grade Architectural J-Box	JW Architectural Wall Mount
JBR4/5 Composite In-Grade Architectural J-Box	EP17 PowerPost
JBR30 Brass In-Grade Staked J-Box	JB1 Architectural J-Box
	J-25N Portable Spear Mount

(SEE ADDITIONAL SUBMITTAL PAGE)



WALL BRACKET SPECIFICATIONS:

STYLE:	FORT WORTH (M1) WALL BRACKET
HEIGHT:	2'-10 7/8"
WIDTH:	1'-0 13/16" OCTAGONAL (FLAT TO FLAT)
LUMINAIRE:	10 1/4" FROM WALL TO B OF LUMINAIRE
BRACKET:	CAST ALUMINUM ALLOY ANSI 356 PER A.S.T.M. B26-95
MATERIAL:	POWDER COAT: RIVER TEXTURE GLOSS BLACK
FINISH:	(4) 50 WATT INCANDESCENT
LAMPING:	WIRED AT 120 VOLTS
VOLTAGE:	(4) MINI CANDELABRA
SOCKET:	CLEAR POLYCARBONATE
PANELS:	FORT POINT
FINAL:	

CATALOG NO. AWKFTW-M1-15-10.25-IN050/SVK/MC-PPO-FNA-CU

△ QUANTITY 6 REQUIRED

***UPDATED JOB INFORMATION AND CHANGED TO QTY 6**

REVISED BY: MWG		DATE: 04-06-18	
THE FORT WORTH (M1) WALL BRACKET Spring City Electrical Mfg. Co. HALL AND MAIN STREETS, P.O. BOX 19 - SPRING CITY, PA. 18415 PHONE (610) 948-4000 - FAX (610) 948-5577 - WWW.SPRINGCITYCM.COM			
DESCRIPTION	DRAWN BY:	DATE	WB-30005
	MWG		
CUSTOMER	Crescent Electric Supply Company, Grand Rapids, MI		
JOB	WOODLAND MALL		
SCALE		DRAWING NO.	
N.T.S.		10/2018	SB-30005

SHIVE-HATTERY
ARCHITECTURE + ENGINEERING
1701 River Drive, Suite 200 | Moline, Illinois 61265
309.764.7650 | www.shive-hattery.com
Iowa | Illinois | Indiana Illinois Firm Number: 184-000214

VON MAUR WOODLAND MALL TYPE F10B			
VON MAUR 66 W TOWNE MALL, MADISON WI. 53719	SCALE	FIELD BOOK	REVISION
DATE	SLB	SPK	
01-22-2020			

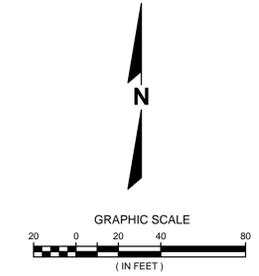
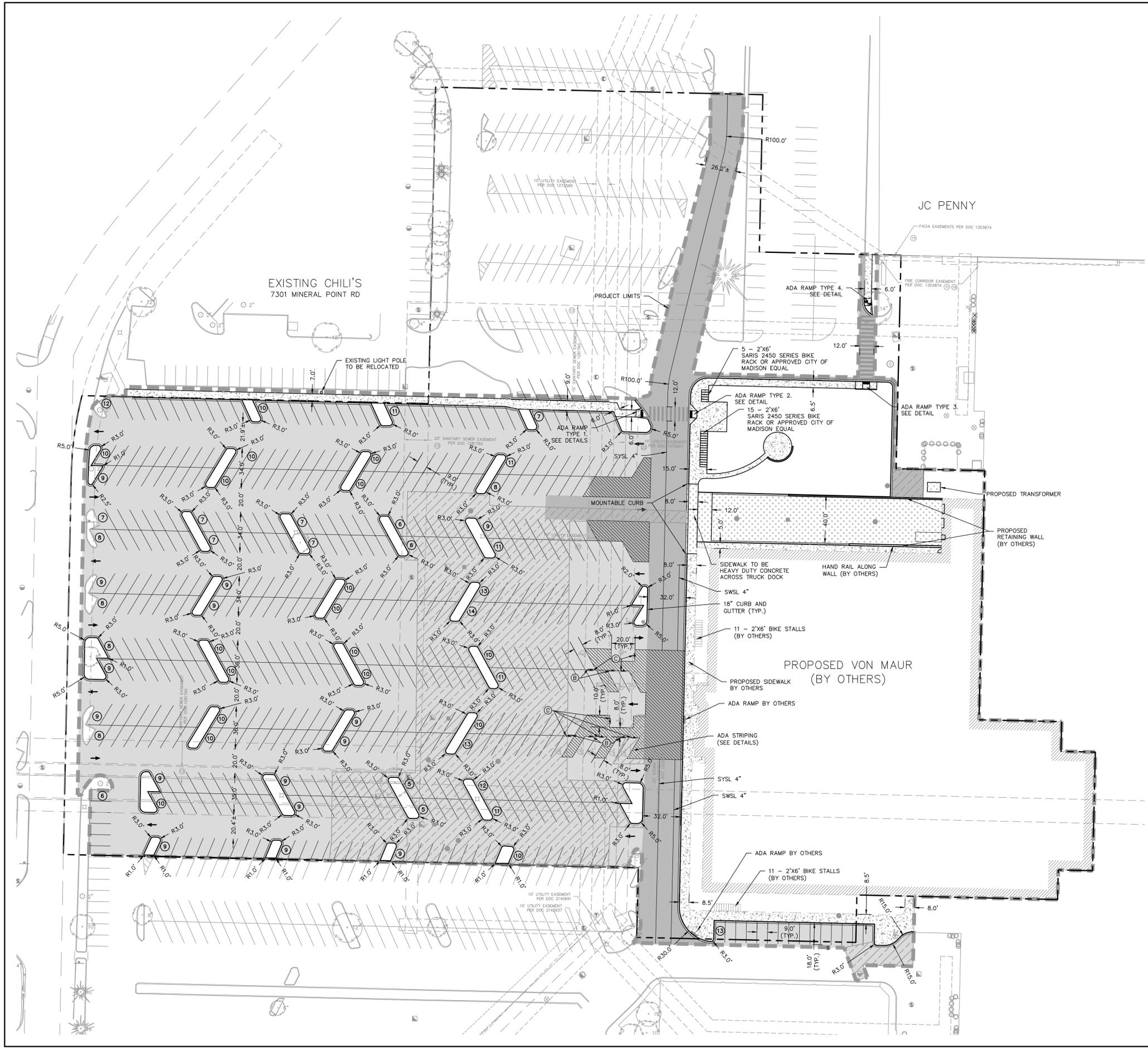
EXTERIOR LIGHTING
PROJECT NO. 3192540
SHEET NO. EX-3



VON MAUR

VON MAUR





KEY MAP
NTS

LEGEND

- ▲ SIGN
- PROPOSED 18" CONCRETE HIGH SIDE CURB & GUTTER
- ▨ HEAVY-DUTY CONCRETE PAVEMENT
- ▩ LIGHT-DUTY CONCRETE PAVEMENT
- ▧ HEAVY-DUTY ASPHALT PAVEMENT OVERLAY
- ▦ STANDARD-DUTY ASPHALT PAVEMENT OVERLAY
- ▤ HEAVY-DUTY ASPHALT PAVEMENT
- ▣ STANDARD-DUTY ASPHALT PAVEMENT
- ♿ PROPOSED PAVEMENT MARKING (PARKING LOT)
- PAVEMENT MARKING - ISLANDS, CROSSWALKS, ETC. (PARKING LOT)
- ▭ BUILDING OUTLINE
- PROJECT LIMITS

SIGN LEGEND

- Ⓐ STOP SIGN
- Ⓑ ADA
- Ⓒ ADA VAN

GENERAL NOTES:

EXISTING TOPOGRAPHY OBTAINED BY RASMITH, INC. DATED NOVEMBER 18, 2019.
 CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, STAIRS, RETAINING WALLS, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL STANDARDS AND WISCONSIN DNR TECHNICAL STANDARDS.
 ALL DIMENSIONS AND CORRESPONDING HORIZONTAL CONTROL RELATED TO PAVING REPRESENT FACE OF CURB, ELEVATIONS AND CONTOURS REPRESENT FINISHED GRADES UNLESS OTHERWISE INDICATED. BUILDINGS ARE DIMENSIONED TO FACE OF BUILDING.
 BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.
 ALL SITE SIGNAGE MUST COMPLY WITH THE MOST RECENT EDITION OF THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 REFER TO ARCHITECTURAL PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
 SYSL IS A SINGLE YELLOW SOLID LINE 4" IN WIDTH.
 SWSL IS A SINGLE WHITE SOLID LINE 4" IN WIDTH

SITE CALCULATIONS			
	AC	SF	% OF PROJECT AREA
TOTAL PARCEL AREA:	9.45	411,724	-
TOTAL PROJECT AREA:	7.77	338,449	-
EXISTING IMPERVIOUS AREA:	7.41	322,929	95.63%
PROPOSED IMPERVIOUS AREA:	7.08	308,567	91.12%
OVERALL SITE GREENSPACE:	0.69	29,882	8.88%
EXISTING BUILDING AREA	2.21	96,212	28.82%
PROPOSED BUILDING AREA	1.89	82,378	24.34%

SITE DATA	
EXISTING PARKING STALLS	623 (612 & 11 ADA)
PROPOSED PARKING	557 (545 & 12 ADA)
PROPOSED BIKE PARKING	42 (112,000 SF BUILDING AREA)



R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.
 THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

DATE	DESCRIPTION
01/28/2020	BID SET
02/04/2020	SIDEWALK REVISION
03/11/2020	CITY SUBMITTAL
03/25/2020	CITY COMMENTS

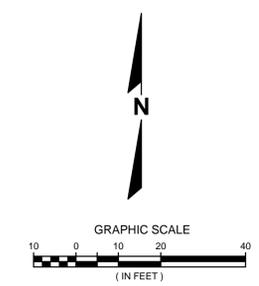
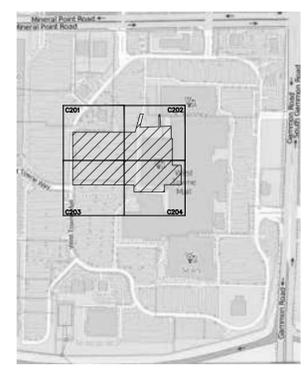
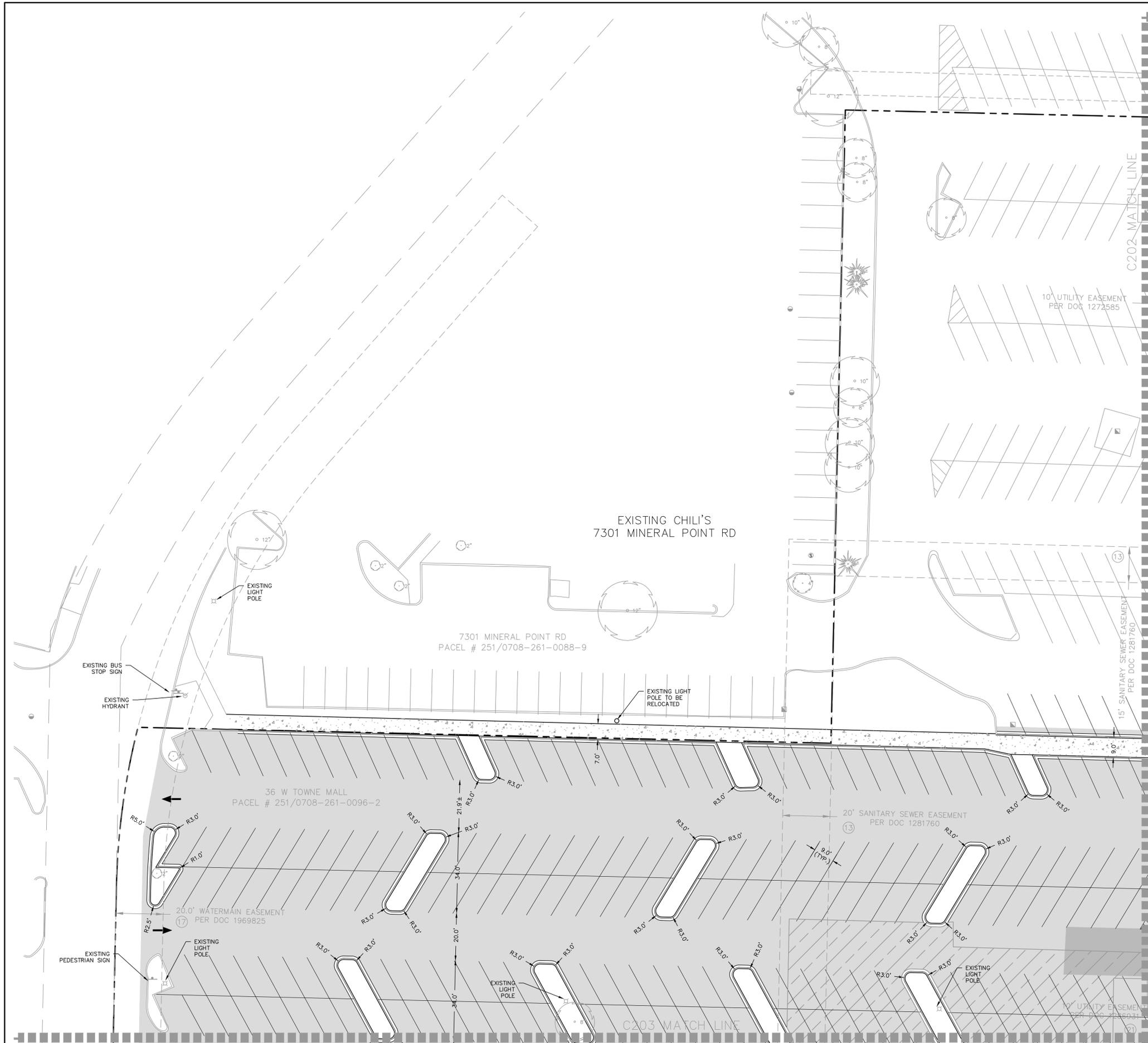
16745 W. Bluemound Road
 Brookfield, WI 53005-5938
 (262) 781-1000
raSmith
 CREATIVITY BEYOND ENGINEERING
 rasmith.com

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI | Cedarburg, WI
 Mount Pleasant, WI | Napperville, IL | Irvine, CA

WEST TOWNE MALL REDEVELOPMENT
CITY OF MADISON, WI
SITE PLAN

© COPYRIGHT 2020 R.A. Smith, Inc.
DATE: 01/08/20
SCALE: 1" = 40'
JOB NO. 3190329
PROJECT MANAGER: MATTHEW P. KOCOUREK, P.E.
DESIGNED BY: DVW
CHECKED BY: RJY
SHEET NUMBER
C200

P:\3190329\Draw\Sheets\3190329-SF01.dwg, SITE PLAN, 3/25/2020 11:01:23 AM, dwg



- LEGEND**
- SIGN
 - PROPOSED 18" CONCRETE HIGH SIDE CURB & GUTTER
 - HEAVY-DUTY CONCRETE PAVEMENT
 - LIGHT-DUTY CONCRETE PAVEMENT
 - HEAVY-DUTY ASPHALT PAVEMENT OVERLAY
 - STANDARD-DUTY ASPHALT PAVEMENT OVERLAY
 - HEAVY-DUTY ASPHALT PAVEMENT
 - STANDARD-DUTY ASPHALT PAVEMENT
 - PROPOSED PAVEMENT MARKING (PARKING LOT)
 - PAVEMENT MARKING - ISLANDS, CROSSWALKS, ETC. (PARKING LOT)
 - BUILDING OUTLINE
 - SHEET MATCH LINE

- SIGN LEGEND**
- STOP SIGN
 - ADA
 - ADA VAN

GENERAL NOTES:

EXISTING TOPOGRAPHY OBTAINED BY RASMITH, INC. DATED NOVEMBER 18, 2019.

CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, STAIRS, RETAINING WALLS, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL STANDARDS AND WISCONSIN DNR TECHNICAL STANDARDS.

ALL DIMENSIONS AND CORRESPONDING HORIZONTAL CONTROL RELATED TO PAVING REPRESENT FACE OF CURB, ELEVATIONS AND CONTOURS REPRESENT FINISHED GRADES UNLESS OTHERWISE INDICATED. BUILDINGS ARE DIMENSIONED TO FACE OF BUILDING.

BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.

ALL SITE SIGNAGE MUST COMPLY WITH THE MOST RECENT EDITION OF THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

SYSL IS A SINGLE YELLOW SOLID LINE 4" IN WIDTH.

SWSL IS A SINGLE WHITE SOLID LINE 4" IN WIDTH.



R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

DATE	DESCRIPTION
03/11/2020	CITY SUBMITTAL
03/25/2020	CITY COMMENTS

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

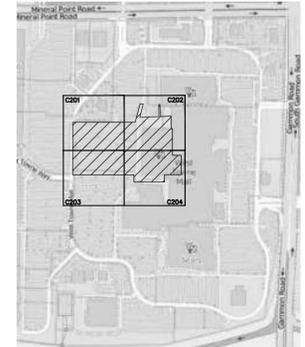
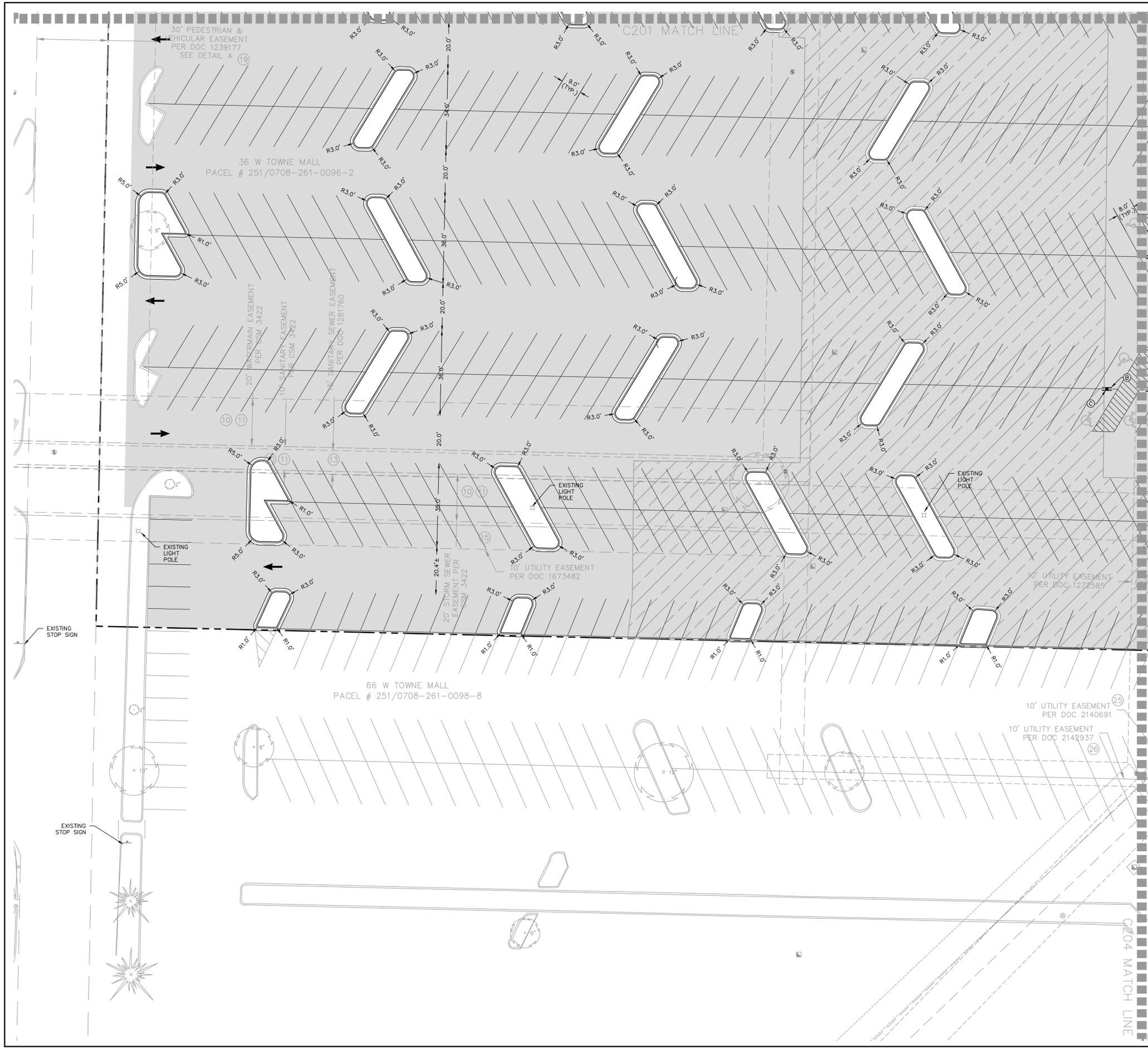
raSmith
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI | Cedarburg, WI
Mount Pleasant, WI | Napperville, IL | Ina, CA

**WEST TOWNE MALL REDEVELOPMENT
CITY OF MADISON, WI**

SITE PLAN NW

© COPYRIGHT 2020 R.A. Smith, Inc.
DATE: 01/08/20
SCALE: 1" = 20'
JOB NO. 3190329
PROJECT MANAGER: MATTHEW P. KOCOUREK, P.E.
DESIGNED BY: DVW
CHECKED BY: RJY
SHEET NUMBER
C201



KEY MAP
NTS

LEGEND

- ▲ SIGN
- PROPOSED 18" CONCRETE HIGH SIDE CURB & GUTTER
- ▨ HEAVY-DUTY CONCRETE PAVEMENT
- ▩ LIGHT-DUTY CONCRETE PAVEMENT
- ▧ HEAVY-DUTY ASPHALT PAVEMENT OVERLAY
- ▦ STANDARD-DUTY ASPHALT PAVEMENT OVERLAY
- ▤ HEAVY-DUTY ASPHALT PAVEMENT
- ▣ STANDARD-DUTY ASPHALT PAVEMENT
- ⊕ PROPOSED PAVEMENT MARKING (PARKING LOT)
- PAVEMENT MARKING - ISLANDS, CROSSWALKS, ETC. (PARKING LOT)
- ▭ BUILDING OUTLINE
- ▬ SHEET MATCH LINE

SIGN LEGEND

- Ⓐ STOP SIGN
- Ⓑ ADA
- Ⓒ ADA VAN

GENERAL NOTES:

EXISTING TOPOGRAPHY OBTAINED BY RASMITH, INC. DATED NOVEMBER 18, 2019.
 CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, STAIRS, RETAINING WALLS, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL STANDARDS AND WISCONSIN DNR TECHNICAL STANDARDS.
 ALL DIMENSIONS AND CORRESPONDING HORIZONTAL CONTROL RELATED TO PAVING REPRESENT FACE OF CURB, ELEVATIONS AND CONTOURS REPRESENT FINISHED GRADES UNLESS OTHERWISE INDICATED. BUILDINGS ARE DIMENSIONED TO FACE OF BUILDING.
 BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.
 ALL SITE SIGNAGE MUST COMPLY WITH THE MOST RECENT EDITION OF THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 SYSL IS A SINGLE YELLOW SOLID LINE 4" IN WIDTH.
 SWSL IS A SINGLE WHITE SOLID LINE 4" IN WIDTH

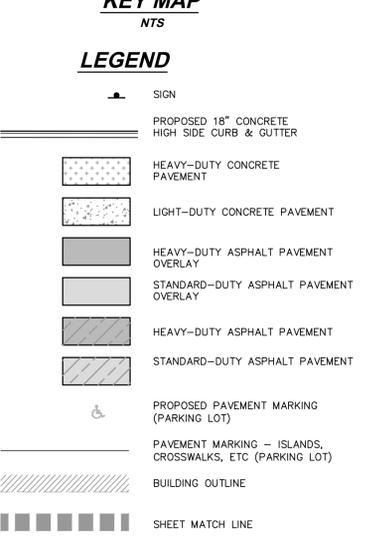
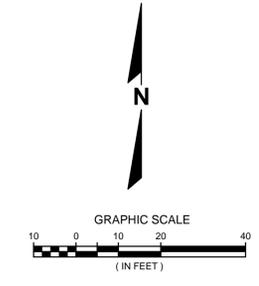
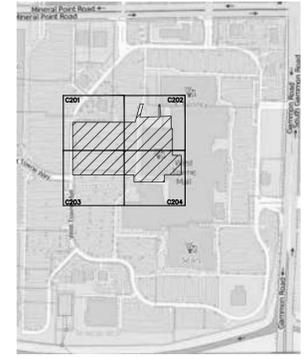
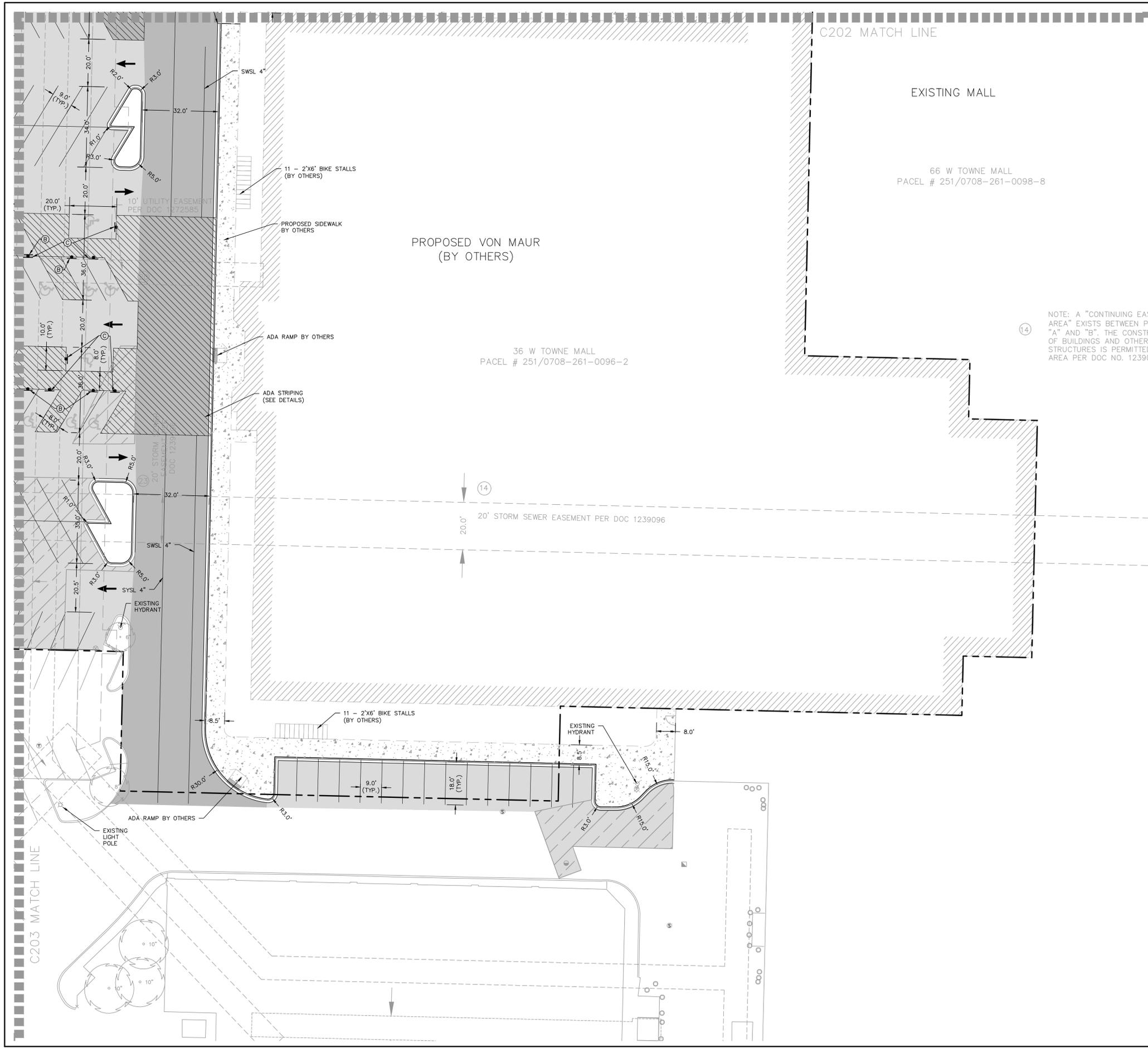


R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

DESCRIPTION	CITY SUBMITTAL
DATE	03/11/2020
	03/25/2020 CITY COMMENTS
<p>16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com</p> <p>raSmith CREATIVITY BEYOND ENGINEERING</p> <p>Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Cedarburg, WI Mount Pleasant, WI Napperville, IL Inverness, IL</p>	
<p>WEST TOWNE MALL REDEVELOPMENT CITY OF MADISON, WI</p> <p>SITE PLAN SW</p>	
<p>© COPYRIGHT 2020 R.A. Smith, Inc.</p> <p>DATE: 01/08/20</p> <p>SCALE: 1" = 20'</p> <p>JOB NO. 3190329</p> <p>PROJECT MANAGER: MATTHEW P. KOCOUREK, P.E.</p> <p>DESIGNED BY: DVW</p> <p>CHECKED BY: RJY</p>	
<p>SHEET NUMBER C203</p>	

P:\3190329\Drawings\Sheets\3190329-SR02.dwg, SITE PLAN SW, 3/25/2020 11:01:43 AM, dww



NOTE: A "CONTINUING EAS AREA" EXISTS BETWEEN P "A" AND "B". THE CONST OF BUILDINGS AND OTHER STRUCTURES IS PERMITTEL AREA PER DOC NO. 12390

GENERAL NOTES:

EXISTING TOPOGRAPHY OBTAINED BY RASMITH, INC, DATED NOVEMBER 18, 2019.

CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, STAIRS, RETAINING WALLS, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL STANDARDS AND WISCONSIN DNR TECHNICAL STANDARDS.

ALL DIMENSIONS AND CORRESPONDING HORIZONTAL CONTROL RELATED TO PAVING REPRESENT FACE OF CURB, ELEVATIONS AND CONTOURS REPRESENT FINISHED GRADES UNLESS OTHERWISE INDICATED. BUILDINGS ARE DIMENSIONED TO FACE OF BUILDING.

BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.

ALL SITE SIGNAGE MUST COMPLY WITH THE MOST RECENT EDITION OF THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

SYSL IS A SINGLE YELLOW SOLID LINE 4" IN WIDTH.

SWSL IS A SINGLE WHITE SOLID LINE 4" IN WIDTH.

DATE	DESCRIPTION
03/11/2020	CITY SUBMITTAL
03/25/2020	CITY COMMENTS

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

raSmith
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI | Cedarburg, WI
Mount Pleasant, WI | Naperville, IL | Irvine, CA

WEST TOWNE MALL REDEVELOPMENT
CITY OF MADISON, WI

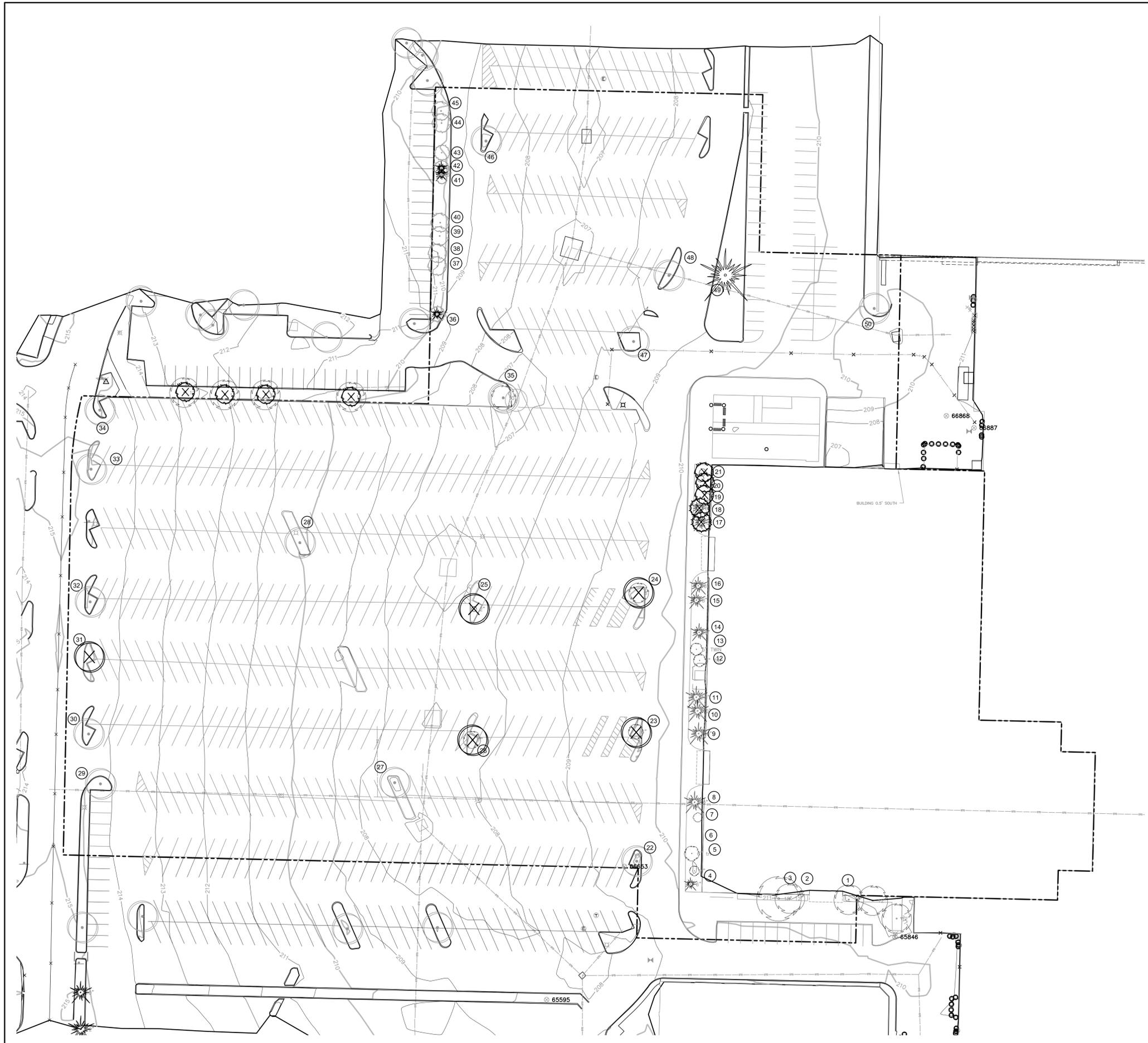
SITE PLAN SE

© COPYRIGHT 2020 R.A. Smith, Inc.
DATE: 01/08/20
SCALE: 1" = 20'
JOB NO. 3190329
PROJECT MANAGER: MATTHEW P. KOCOUREK, P.E.
DESIGNED BY: DVW
CHECKED BY: RJY
SHEET NUMBER
C204



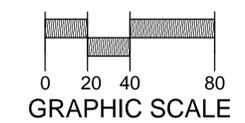
R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.



West Towne Mall - von Maur
Tree Inventory 10-22-2019
Existing Trees and Shrubs

Key	QTY	Size DBH	Tree	Condition
1	1	12" Cal.	Maple	Good
2	1	14" Cal.	Maple	Good
3	1	18" Cal.	Maple	Good
4	1	25'-30' HT	Spruce	Good
5	1	3" CAL	Crabapple	Poor
6	1	5" & 7" Cal.	Birch - Twin	Good
7	1	25' HT	Magnolia - Multistem	Good
8	1	25'-30' HT	Concolor Fir	Good
9	1	25'-30' HT	Concolor Fir	Good
10	1	25'-30' HT	Spruce	Fair
11	1	25'-30' HT	Spruce	Fair
12	1	4", 4" & 4" Cal	Birch - Multistem	Good
13	1	5" & 3" Cal.	Birch - Twin	Good
14	1	25'-30' HT	Austrian Pine	Good
15	1	25'-30' HT	Spruce	Fair
16	1	25'-30' HT	Spruce	Good
17	1	25'-30' HT	Spruce	Good
18	1	25'-30' HT	Spruce	Good
19	1	20" HT	Crabapple	Fair
20	1	15" HT	Amelanchier	Good
21	1	15" HT	Amelanchier	Good
22	1	7" Cal.	Locust	Good
23	1	5" Cal.	Linden	Good
24	1	8" Cal.	Ash	Good
25	1	2" Cal.	Locust	Good
26	1	6" Cal.	Locust	Poor
27	1	12" Cal.	Locust	Good
28	1	8" Cal.	Locust	Good
29	1	2" Cal.	Maple	Good
30	1	2" Cal.	Maple	Good
31	1	8" Cal.	Locust	Good
32	1	8" Cal.	Locust	Good
33	1	2" Cal.	Maple	Good
34	1	2" Cal.	Maple	Good
35	1	12" Cal.	Locust	Good
36	1	15'-20' HT	Upright Juniper	Good
37	1	20' HT	Crabapple	Good
38	1	20' HT.	Crabapple - Multistem	Good
39	1	20' HT.	Crabapple - Multistem	Good
40	1	20' HT.	Crabapple - Multistem	Good
41	1	5' HT.	Dwarf Lilac	Good
42	1	15'-20' HT	Upright Juniper	Good
43	1	15'-20' HT	Upright Juniper	Good
44	1	20' HT	Crabapple - Multistem	Good
45	1	20' HT	Crabapple - Multistem	Good
46	1	8" CAL	Locust	Good
47	1	11" CAL	Maple	Good
48	1	8" CAL	Hackberry	Good
49	1	25'-30' HT	Austrian Pine (20" CAL	Good
50	1	14" CAL	Linden	Good



R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.

DATE	DESCRIPTION
01/28/2020	BID SET
03/11/2020	CITY SUBMITTAL
03/25/2020	CITY COMMENTS

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

CREATIVITY BEYOND ENGINEERING

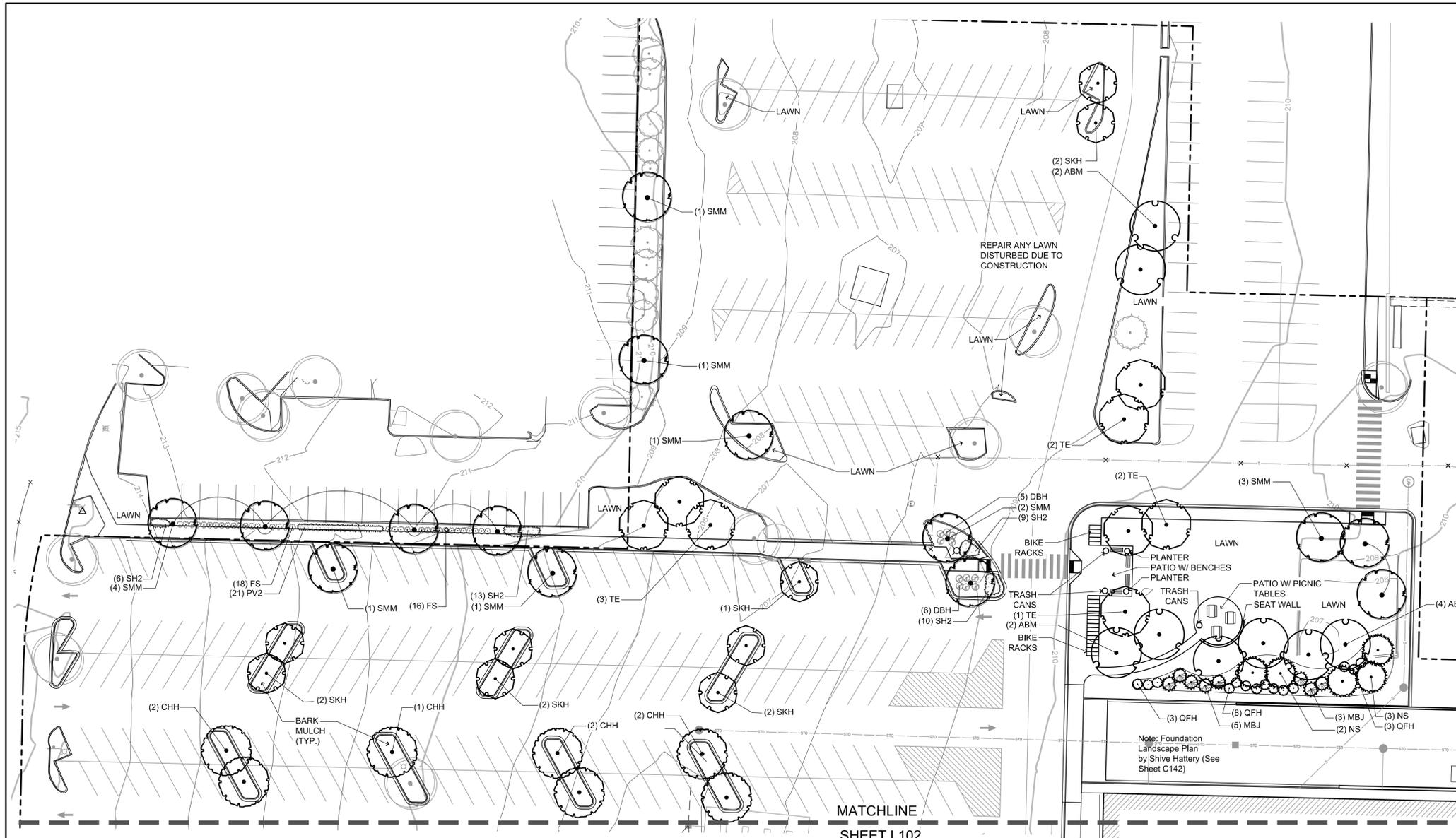
Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI | Cedarburg, WI
Mount Pleasant, WI | Naperville, IL | Irvine, CA

**WEST TOWNE MALL REDEVELOPMENT
CITY OF MADISON, WI**

EXISTING TREE INVENTORY

© COPYRIGHT 2020 R.A. Smith, Inc.
DATE: 01/08/20
SCALE: 1" = 40'
JOB NO. 3190329
PROJECT MANAGER: MATTHEW P. KOCOUREK, P.E.
DESIGNED BY: NJW/CNS
CHECKED BY: CNS
SHEET NUMBER
L100

P:\3190329\Draw\Sheets\3190329-LSP01.dwg, L100 TREE INVENTORY, 3/25/2020 1:02:01 AM, dww



CITY OF MADISON
LANDSCAPE WORKSHEET
Section 28.142 Madison General Ordinance

Project Location / Address: West Towne Mall, Madison, WI
 Name of Project: West Towne Mall Redevelopment
 Owner / Contact: Ken Wittler
 Contact Phone: 423-490-8385 Contact Email: Ken.Wittler@cjbiproperties.com

**** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. ****

Applicability
 The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:
 (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
 (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
 (c) No demolition of a principal building is involved.
 (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution
 Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.
 (a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.
 Total square footage of developed area _____
 Total landscape points required _____
 (b) For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.
 Total square footage of developed area 308,011 SF
 Five (5) acres = 217,800 square feet
 First five (5) developed acres = 3,630 points
 Remainder of developed area 90,211 SF
 Total landscape points required 4,533
 (c) For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.
 Total square footage of developed area _____
 Total landscape points required _____

10/2013 1

DESCRIPTION: 01/28/2020 BID SET, 02/04/2020 SIDEWALK REVISION, 03/05/2020 PLAN COMMISSION, 03/11/2020 CITY SUBMITTAL, 03/25/2020 CITY COMMENTS

DATE: 01/28/2020

16745 W. Bluemound Road
 Brookfield, WI 53005-5938
 (262) 781-1000
 rasmith.com
 CREATIVITY BEYOND ENGINEERING

raSmith

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI | Cedarburg, WI
 Mount Pleasant, WI | Napperville, IL | Inone, CA

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/Element	Minimum Size at Installation	Points	Credits/Existing Landscaping		New/Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2 1/2 inch caliper measured diameter at breast height (dbh)	35	13	455	78	2730
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35	4	140	5	175
Ornamental tree	1 1/2 inch caliper	15	6	90	2	30
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10			8	80
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3	1	3	68	204
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4			8	32
Ornamental grasses/perennials	#1 gallon container size, Min. 8"-18"	2			59	118
Ornamental/decorative fencing or wall	n/a	4 per 10 linear ft.			232	464
Existing significant specimen tree	Minimum size: 2 1/2 inch caliper/dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	*Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"				
Sub Totals				688		4340

Total Number of Points Provided 5028

*As dictated by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

10/2013 2

WEST TOWNE MALL REDEVELOPMENT
CITY OF MADISON, WI

LANDSCAPE PLAN
NORTH

PLANT SCHEDULE NORTH

DECIDUOUS TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
ABM	8	Autumn Blaze Maple	Acer freemanii 'Autumn Blaze'	2 1/2" CAL	B&B	Full, matching heads
SMM	14	State Street Miyabe Maple	Acer miyabei 'Morton' TM	2 1/2" CAL	B&B	Full, matching heads
CHH	7	Chicagoland Hackberry	Celtis occidentalis 'Chicagoland'	2 1/2" CAL	B&B	Full, matching heads
SKH	9	Street Keeper Honey Locust	Gleditsia thiacanthos 'Draves'	2 1/2" CAL	B&B	Full, matching heads
TE	8	Triumph Elm	Ulmus x 'Morton Glossy' TM	2 1/2" CAL	B&B	Full, matching heads

EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
MBJ	8	'Mountbatten' Juniper	Juniperus chinensis 'Mountbatten'	6 HT	B&B	Semi-sheared, fully branched to ground
NS	5	Norway Spruce	Picea abies	7 HT	B&B	Semi-sheared, fully branched to ground

DECIDUOUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
DBH	11	Dwarf Bush Honeysuckle	Diervilla lonicera	15" HT	CONT.	
QFH	14	Quick Fire Hydrangea	Hydrangea paniculata 'Quick Fire'	3' HT	CONT. OR BB	
FS	34	Froebel Spirea	Spiraea x bumalda 'Froebeli'	15" HT	CONT.	

ORNAMENTAL GRASSES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
PV2	21	Cheyenne Sky Switch Grass	Panicum virgatum 'Cheyenne Sky'	1 GAL	POT	18" Spacing
CUS	99	Tea Pavilion Pennant	Cenchrus ciliaris 'Tea'	1 GAL	POT	18" Spacing

LANDSCAPE CALCULATIONS

Total Site area 308,011 SF

Landscape Calculations and distribution (see Madison worksheet for calculations)
 Total Developed Area: 308,011 SF

REQUIRED: 4,533 points
 PROVIDED: 4,675 points

5) Development Frontage Landscaping
 NA

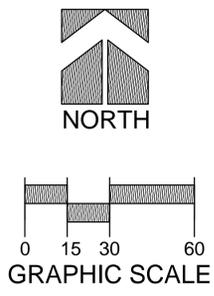
6) Interior Parking Lot Landscaping
 for changes to a developed site a minimum of 5% of paving shall be landscape islands & strips & peninsulas

REQUIRED: 5% of 308,011 = 15,401 SF landscape
 PROVIDED: 20,174 SF

1 overstory deciduous tree for every 160 SF required landscape area
 (2 ornamental trees equivalent to 1 overstory tree)

REQUIRED: 15,401 SF / 160SF = 97 trees
 PROVIDED: Existing: 13 overstory deciduous trees and 6 ornamental trees (equal to 3 overstory trees)
 Proposed: 78 overstory trees in parking lot & 3 overstory trees in foundation planting

7) Foundation Plantings
 Foundation planting by others

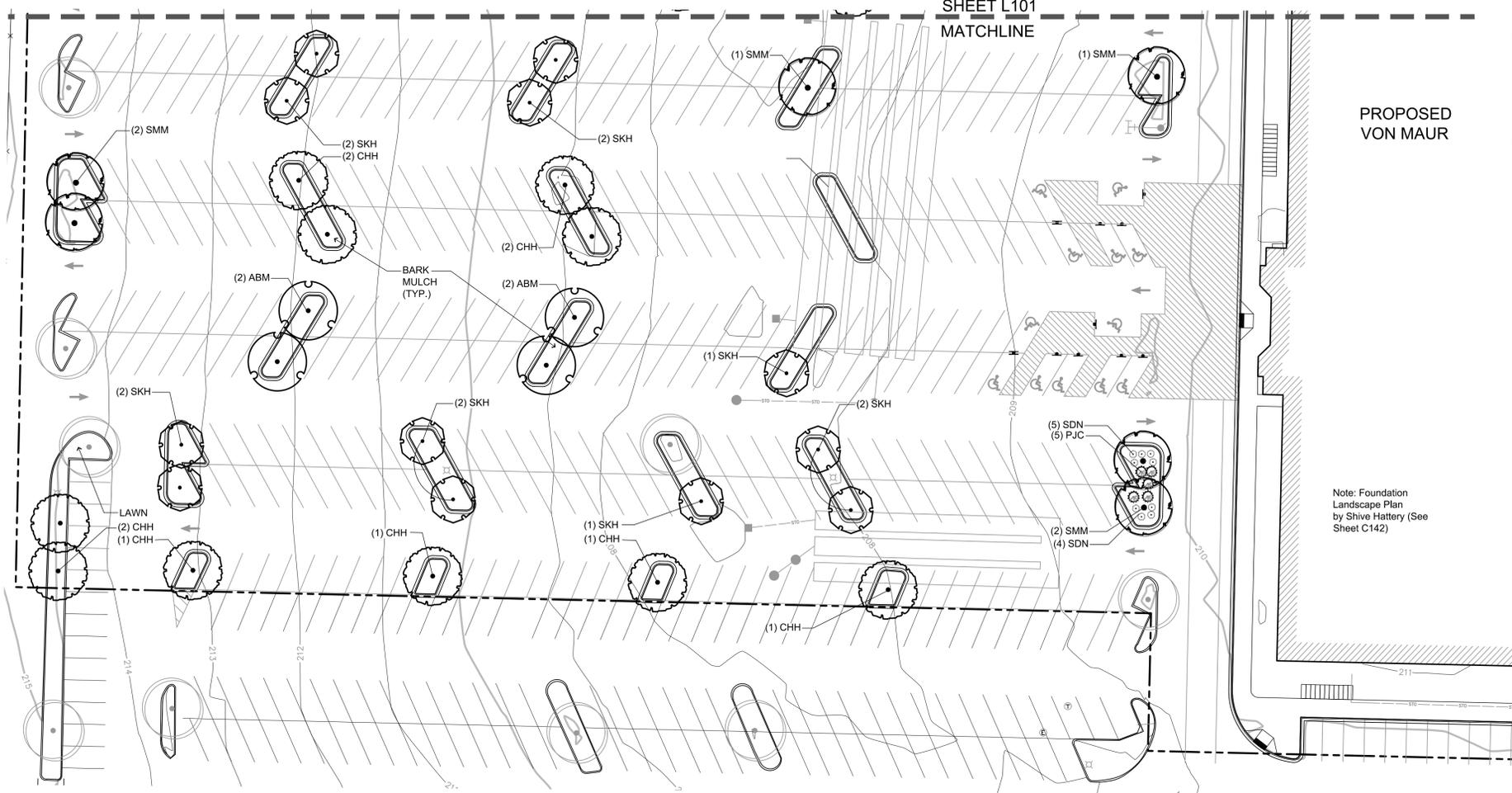


R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.



P:\190329 (Dwg) Sheets\190329-LSP02.dwg, L101 LANDSCAPE PLAN - NORTH, 3/25/2020 11:02:17 AM, d1w

SHEET L101
MATCHLINE



PROPOSED
VON MAUR

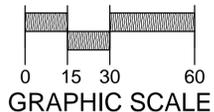
Note: Foundation
Landscape Plan
by Shive Hattery (See
Sheet C142)

PLANT SCHEDULE SOUTH

DECIDUOUS TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
ABM	4	Autumn Blaze Maple	Acer freemanii 'Autumn Blaze'	2 1/2' CAL	B&B	Full, matching heads
SMM	6	State Street Miyabe Maple	Acer miyabei 'Morton TM'	2 1/2' CAL	B&B	Full, matching heads
CHH	10	Chicagoland Hackberry	Celtis occidentalis 'Chicagoland'	2 1/2' CAL	B&B	Full, matching heads
SKH	12	Street Keeper Honey Locust	Gleditsia triacanthos 'Draves'	2 1/2' CAL	B&B	Full, matching heads

DECIDUOUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
SDN	9	Nikko Slender Deutzia	Deutzia gracilis 'Nikko'	15' HT	CONT.	

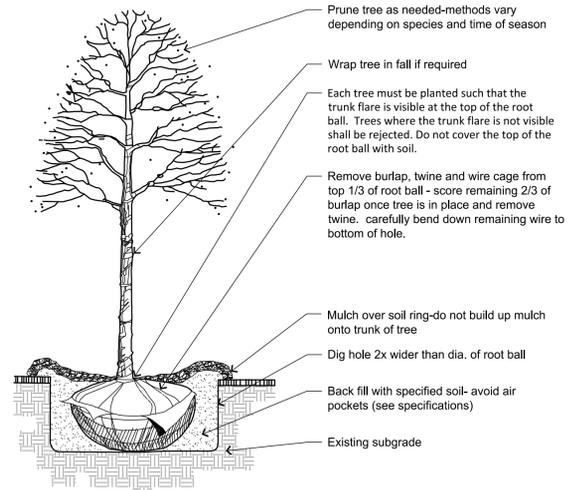
EVERGREEN SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
PJC	5	Kallay Compact Pfitzer Juniper	Juniperus chinensis 'Kallays Compact'	18'SPD	CONT.	



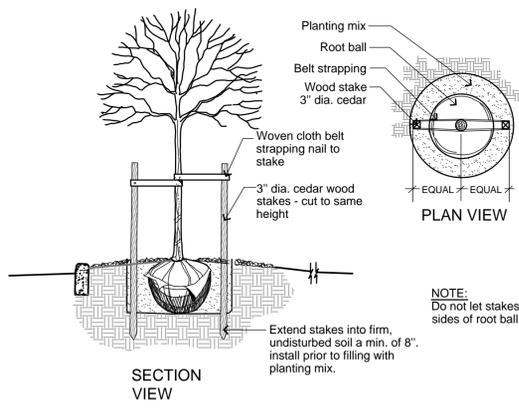
Know what's below.
Call before you dig.

R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.

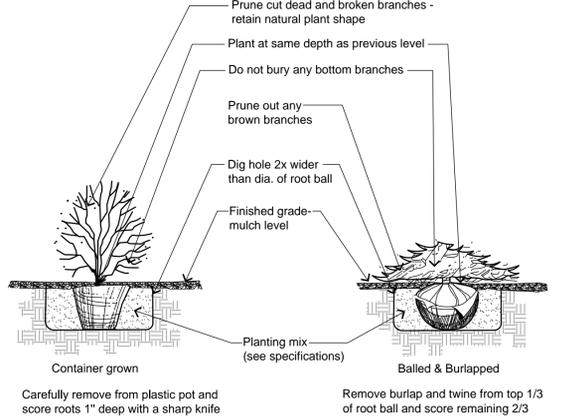
GENERAL LANDSCAPE DETAILS



1 DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



2 DECIDUOUS TREE STAKING FOR RESTRICTED AREAS
NOT TO SCALE



3 SHRUB PLANTING DETAIL
NOT TO SCALE

GENERAL LANDSCAPE NOTES

- Contractor responsible for contacting public and private underground utility locating service to have site marked prior to any digging or earthwork.
- Contractor to verify all plant quantities shown on plant list and verify with plan. Report any discrepancies immediately to general contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - ANSI Z60.1 (latest version). General contractor or owner's representative reserves the right to inspect and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged.
- Any potential plant substitutions must be submitted in writing and approved by the general contractor or owner's representative prior to installation. All plants must be installed as per sizes shown on plant material schedule, unless approved by general contractor or owner's representative.
- All seeded areas and planting beds require topsoil to be placed within 3" of finish grade during rough grading operations. All parking lot islands require topsoil placed to a minimum depth of 18" to insure long term plant health. These requirements should be coordinated between the general contractor, grading contractor and landscape contractor.
- Tree planting (see planting detail):
Plant all trees slightly higher than finished grade at root flare. Remove excess soil from top of root ball, if needed. Scarify side walls of tree pit prior to installation. Remove and discard non-biodegradable ball wrapping and support wire. Remove biodegradable burlap and wire cage (if applicable) from top one-third of rootball. Carefully bend remaining wire down to the bottom of hole once the tree has been placed into the hole and will no longer be moved. Score the remaining two-thirds of burlap and remove twine. Backfill pit with 80% existing soil removed from excavation and 20% plant starter mix blended prior to backfilling holes. Discard any gravel, heavy clay or stones. Avoid any air pockets and do not tamp soil down. When hole is two-thirds full, trees shall be watered thoroughly, and water left to soak in before proceeding.
Provide a 3" deep, 4 ft. diameter shredded hardwood bark mulch ring around all lawn trees. Do not build up any mulch onto trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the landscape contractor. Stake trees according to the staking detail.
- Shrub planting: all shrubs to be pocket planted with a 50/50 mix of plant starter and topsoil. Install topsoil into all plant beds as needed to achieve proper grade and replace undesirable soil (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole is two-thirds full, shrubs shall be watered thoroughly and water left to soak in before proceeding.
- Mulching: all tree and shrub planting beds to receive a 3" deep layer of high quality shredded hardwood bark mulch (not environmental). All perennial planting areas to receive a 2" layer and groundcover areas a 1-2" layer of the same mulch. Do not allow mulch to contact plant stems and tree trunks.
- Edging: edge all planting beds with a 4" deep spaded edge (shovel cut or mechanical). Bedlines are to be cut crisp, as per plan. A clean definition between lawn area and plant bed is required.
- Plant bed preparation: all perennial, ornamental grass, annual and groundcover areas are required to receive a blend of organic soil amendments prior to installation. Rototill the following materials, at the ratio given, into the required 18" of topsoil to a depth of approx. 6":
Per every 100 square feet of bed area add:
2 cu. ft. bale of peat moss
2 lbs. of 5-10-5 slow release fertilizer
1/4 cu. yard of composted manure
- Lawn installation for all seeded turfgrass areas: remove / kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil and seed bed by removing all surface stones 1" or larger and grading lawn areas to finish grade. Apply a starter fertilizer and specified seed uniformly and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer mix information to general contractor prior to installation. Erosion control measures are to be used in swales and on steep grades, where applicable. Methods of installation may vary at the discretion of the landscape contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. A minimum depth of 3" of blended, prepared and non-compacted topsoil is required for all lawn areas. If straw mulch is used as a mulch covering, a backfiller may be necessary to avoid wind damage. Match hay containing weed canary grass is not acceptable as a mulch covering.
An acceptable quality turf is defined as having no more than 10% of the total area with bare spots larger than 1 square foot and uniform coverage throughout all turf areas.
- Seed mix for lawn areas - use only a premium quality seed mix installed at recommended rates. Premium blend seed mix example (or equivalent): 50% blended bluegrass, 25% creeping red fescue, 25% perennial ryegrass applied at 5 lbs per 1,000 SF. Provide seed specifications to general contractor prior to installation.
- Warranty and replacements: Trees, evergreens, and shrubs to be guaranteed (100% replacement) for a minimum of one (1) year from the date of substantial project completion. Perennials, groundcovers, and ornamental grasses to be guaranteed for a minimum of one growing season from the date of substantial project completion. Perennials, groundcovers, and ornamental grasses planted after September 1st shall be guaranteed through May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements.
- The landscape contractor is responsible for the watering and maintenance of all landscape areas at time of planting and throughout construction until the substantial completion of the installation and acceptance by the owner. This includes all trees, shrubs, evergreens, perennials, ornamental grasses and turf grass. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.
- Project completion: upon substantial completion of the project, the landscape contractor is responsible to conduct a final review with the owner's representative and the general contractor to answer questions and insure that all specifications have been met. The landscape contractor is to provide watering and general ongoing maintenance instructions (in writing) for the new plantings and lawn to the owner and general contractor.

DATE	DESCRIPTION
01/28/2020	BID SET
02/04/2020	SIDEWALK REVISION
03/05/2020	PLAN COMMISSION
03/11/2020	CITY SUBMITTAL
03/25/2020	CITY COMMENTS

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

raSmith
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI | Cedarburg, WI
Mount Pleasant, WI | Napperville, IL | Ina, CA

WEST TOWNE MALL REDEVELOPMENT
CITY OF MADISON, WI
LANDSCAPE PLAN
SOUTH

© COPYRIGHT 2020
R.A. Smith, Inc.
DATE: 01/08/20
SCALE: 1" = 30'
JOB NO. 3190329
PROJECT MANAGER:
MATTHEW P. KOCOUREK, P.E.
DESIGNED BY: NJW
CHECKED BY: CNS

SHEET NUMBER
L102

P:\3190329 (DWG) Sheets\3190329-LSP02.dwg, L102 LANDSCAPE PLAN-SOUTH, 3/25/2020 11:02:24 AM, dhw