

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

AGENDA ITEM # _____
Project # 05667

DATE SUBMITTED: <u>10/22/08</u>	Action Requested
UDC MEETING DATE: <u>10/29/08</u>	<input type="checkbox"/> Informational Presentation
	<input checked="" type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 8133 Mansion Hill Avenue

ALDERMANIC DISTRICT: 1

OWNER/DEVELOPER (Partners and/or Principals) <u>Lot 87, LLC</u>	ARCHITECT/DESIGNER/OR AGENT: <u>the ARCHITECTS Ltd</u>
<u>W.C. Development Corporation</u>	<u>701 Ridge St.</u>
	<u>Madison, WI 53705 608-698-4653</u>

CONTACT PERSON: Karyl Rice

Address: c/o Community By Design, Inc.
625 North Segoe Road

Phone: 608.310.8133

Fax: _____

E-mail address: rice@mailbag.com

TYPE OF PROJECT:

(See Section A for:)

- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review* (Fee required)
- Street Graphics Variance* (Fee required)
- Other _____

***Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)**

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.

theARCHITECTS Ltd

September 25, 2008, **October 22, 2008**

Mr. Brad Murphy
Director of Planning and Development
City of Madison
215 Martin Luther King Jr. Blvd.
PO Box 2985
Madison, WI 53701

RE: Letter of Intent
Lot 87, Midtown Commons Plat
Madison, WI
SIP Submittal

Dear Mr. Murphy,
The following is submitted together with the plans, application, and zoning text for staff, Plan Commission and Common Council consideration of approval:

Organizational Structure:

Owner: L87, LLC
c/o Community By Design, Inc.
625 North Segoe Road
Madison, WI 53705
608.310.8133
Contact: Karyl Rice
rice@mailbag.com

Architect:
the **ARCHITECTS** Ltd
701 Ridge St.
Madison, WI 53705
Contact: Steve Rice
steve@thearchitectsltd.com

Engineer: Calkins Engineering LLC
David Glusick
5010 Voges Rd
Madison, WI 53718.
838-0444/ fax 838-0445
dglusick@calkinsengineering.com

Landscape Design: Kittleson Landscape, Inc.
Kirk Zimpel
10486 CTH ID
Blue Mounds, WI
437-8845
kzimpel@mhtc.net

Introduction and Project Description:

Midtown Commons is a 79-acre development on the north side of Midtown Road east of Highway M on the City's far west side. The development has been designed to create a Town Center within the larger Highpoint/Raymond neighborhood plan. A mix of uses and densities was planned including retail and office, residential, civic and institutional uses, parking and dedicated parkland. A PUD-GDP for this particular site was previously approved, which provided for a range of potential institutional type uses, including a daycare.

The proposed day care facility will be a one-story building containing approximately 10,650 s.f. The daycare will be operated by Prairie Life Learning Center, Lake Mills Wisconsin. The wood frame building, designed to blend into the existing neighborhood character, will care for not more than 163 children.

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Site Development Data

The previous SIP submittal for the neighboring housing units can be reviewed in the April 2, 2008 Letter of Intent. To refine the suggested Daycare Center, we submit a site plan of 63,227 square feet which contains the following.

- The parking consists of 20 stalls for staff and 31 for parent/visitors. One parking stall per 190 sqft approximately. Lot coverage with building and parking is 45 percent.
- Space for sixteen bikes has been designated for the occupants use for a ratio of .8 stall per staff.
- A playground with 50% mulch area and the balance of sod is provided at 9,350 sq ft.
- A retention basin shown on the grading plan will assist in keeping silt and chemical runoff from entering the storm system and consequentially the lakes.

Site and Building Architecture

The surrounding residential buildings are a combination of 2 and 3 story simulated stone and vinyl siding. This infill project aims, with its siding and low asphalt roof, for a more single family residential feel to assuage small fears. With the larger overhangs, cementitious siding and face brick, Prairie Life aspires to be the neighborhood institution. The light from the upper windows over the central space will serve as a beacon and a location element as well as a daylighting feature.

Project Schedule

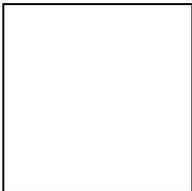
The developer intends to start construction in October or November of this year and complete the project by June of 2009.

Social and Economic Impact:

The construction of a daycare will have a positive social and economic impact. There is a high demand for a quality daycare in this booming area.

Please review the attached proposal and contact me with and questions or comments.

Respectfully,
theARCHITECTS Ltd



Steven R. Rice
architect.ceo

Response to committees comments:

The **signage** on the south side of the building is withdrawn pending an application for signage.
A cross section through the site will be presented a that rime

Planting has been increased and more native species have been included, including playground shading. A **bio retention basin** will be planted a the North of the site.

701 ridge.street.madison.wisconsin.53705. theARCHITECTS Ltd.com 608.233.6363

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Vinyl siding has been change to **cementitious siding**.

Additional **windows** have been added to some classrooms and others have been moved o obtain **cross ventilation**.

Concrete paving areas will be provided for **handicapped students** in the playground.

An **access from the park** to the Daycare's sidewalk has been developed at the SE corner of the site. Rotating the building toward the park, conflicted with the pedestrian and drop off access.

The SE parking against the curb has been made a **drop off area** and widened to 10' and the **staff parking** moved across the drive. The sidewalk widths have been increases to 7' to accommodate vehicle overhangs.

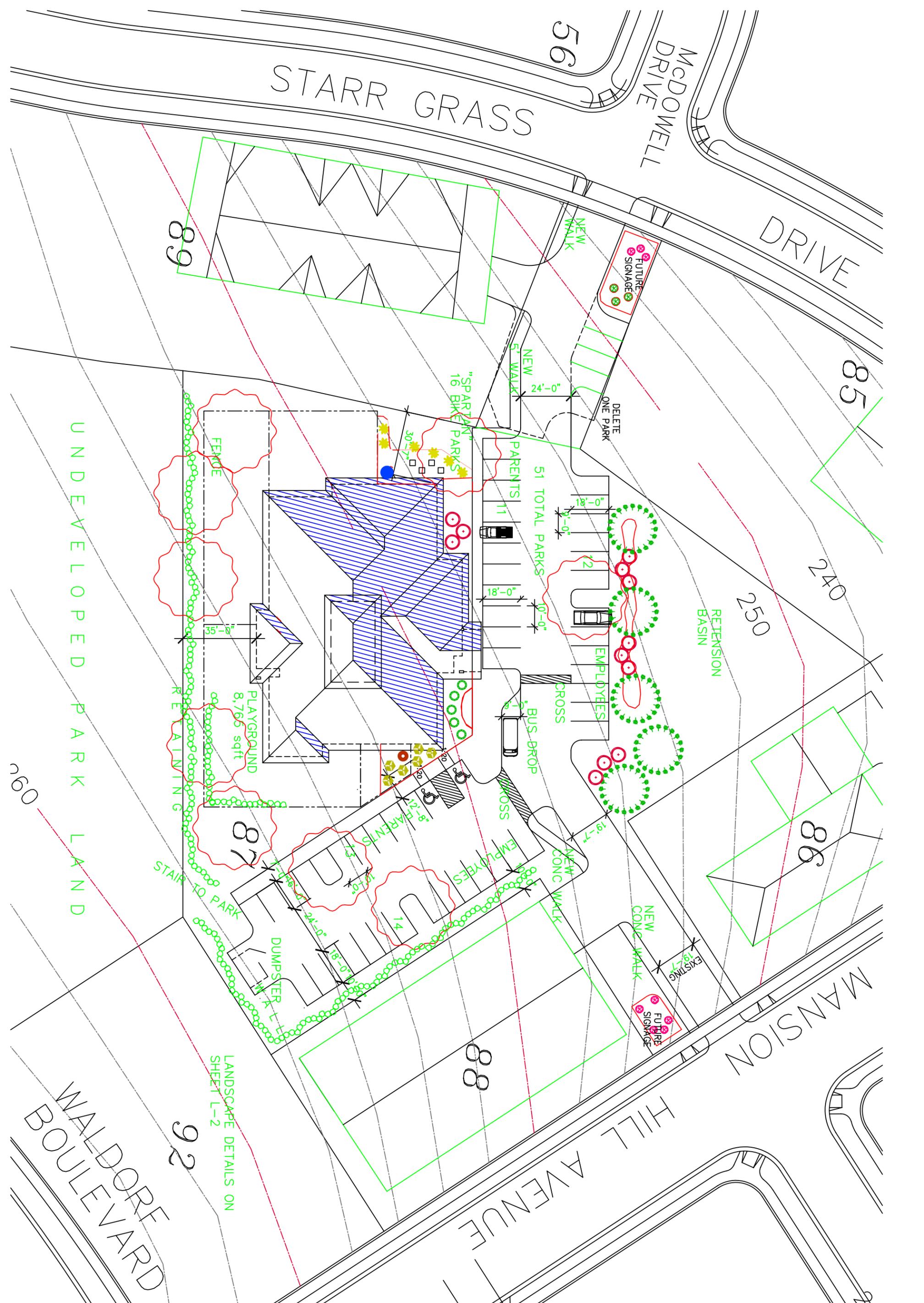
The 16 **bike racks** will be "Sentry" model by Madrax.

The City Parks Department is contemplating our request to do some **grading** on their property to mitigate some of the issues caused by the stone wall.

Parking lot **tree islands** have been added per the requirements. The parking total has been reduced to **49** as a result.

Angular parking was investigated and restricted the owner desired number of stalls and may have caused cars to circle the block until a stall opened up.

The pedestrian access from the NE has been made shorter and clearer by moving the walks on either side of the drive.



UNDEVELOPED PARK LAND

LANDSCAPE DETAILS ON SHEET L-2

Site Plan
SCALE: 1" = 20' - 0"

Midtowne Commons Daycare
Lot 87
8133 Mansion Hill Avenue
Madison Wisconsin 53711

Owner: L87, LLC.
625 North Segoe Road
Suite 101
Madison Wisconsin 53705

architects 701 ridge.st.madison.wi.53705

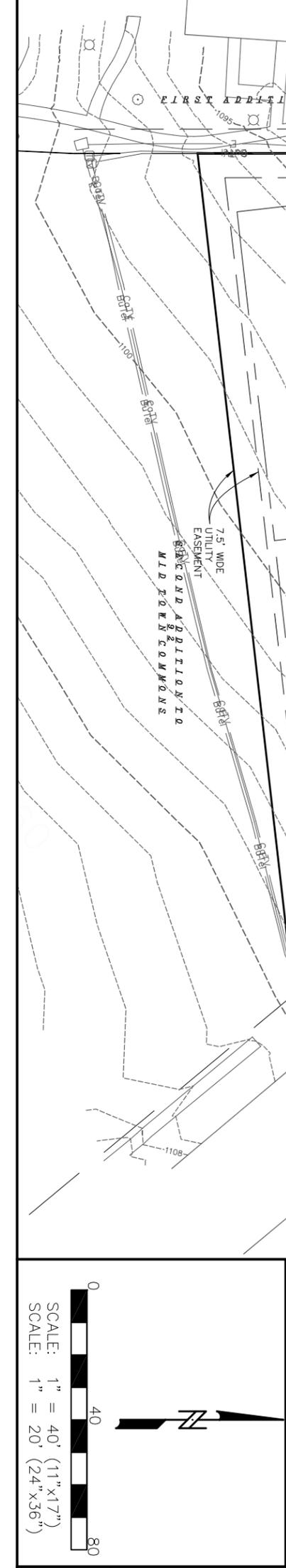

 608.233.6363

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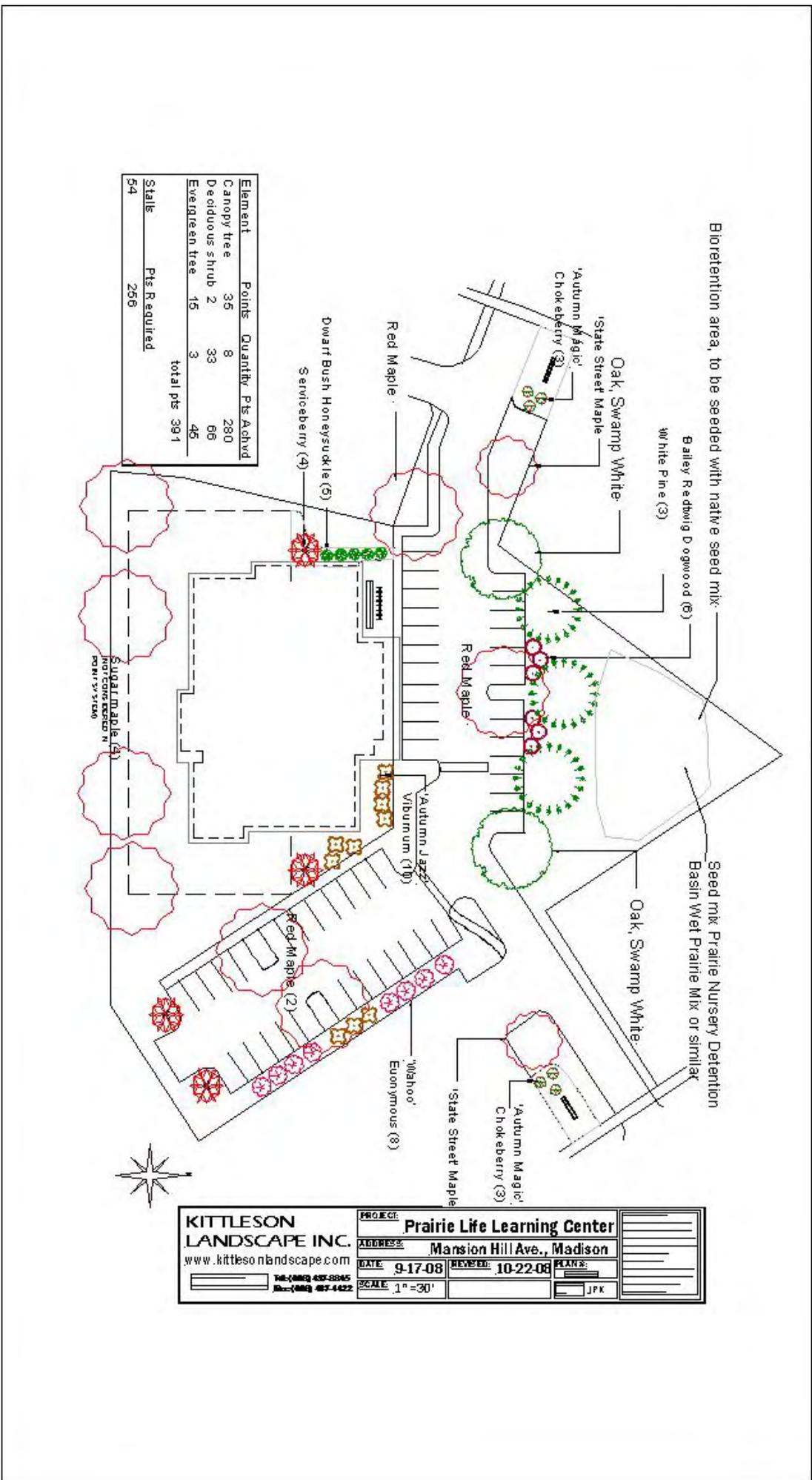


GENERAL NOTES:

CONTRACTOR SHALL OBTAIN NECESSARY CONNECTION AND EXCAVATION PERMITS FROM CITY ENGINEERING PRIOR TO WORK COMMENCING.
 CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES.
 THE CONTRACTOR SHALL NOTIFY ALL AREA UTILITY COMPANIES PRIOR TO COMMENCING WORK UNDER THIS CONTRACT AND REQUEST THAT UNDERGROUND UTILITIES BE LOCATED IN ACCORDANCE WITH SECTION 82.07(2) OF THE WISCONSIN STATUTES. ANY DISCREPANCIES WITH THE RECORD DRAWINGS SHALL BE REPORTED TO THE ENGINEER PRIOR TO FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES.
 ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 UNLESS OTHERWISE INDICATED, WATER AND SANITARY SEWER LATERALS AND STORM SEWER ENDS SHALL EACH BE MARKED WITH A 4" X 4" POST EXTENDING FOUR FEET (4') BELOW GROUND AND THREE FEET (3') ABOVE GROUND WHERE BOTH THE WATER AND STORM SEWER ENDS ARE TO BE MARKED AT THE SAME LOCATION. A COMMON 4" X 4" POST MAY BE USED TO MARK THE ENDS.
 ALL SANITARY SEWER, WATER MAIN, AND STORM SEWER SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 PRIVATE STORM SEWER SHALL BE ADS N-12.
 PRIVATE SANITARY SEWER AND LATERALS SHALL BE PVC (ASTM D3034-SDR35).
 ALL SANITARY LATERALS ARE TO BE AT A SLOPE OF 1/8" FT UNLESS OTHERWISE SPECIFIED.
 COORDINATE WORK WITH BUILDING PLUMBING CONTRACTOR(S).



Prairie Life Preschool - native plants



Part II - Earthwork

2. **Temporary Seed Mix.** Seed for temporary seeding shall be composed of seeds of the purity, germination, and proportions, by weight as given below:

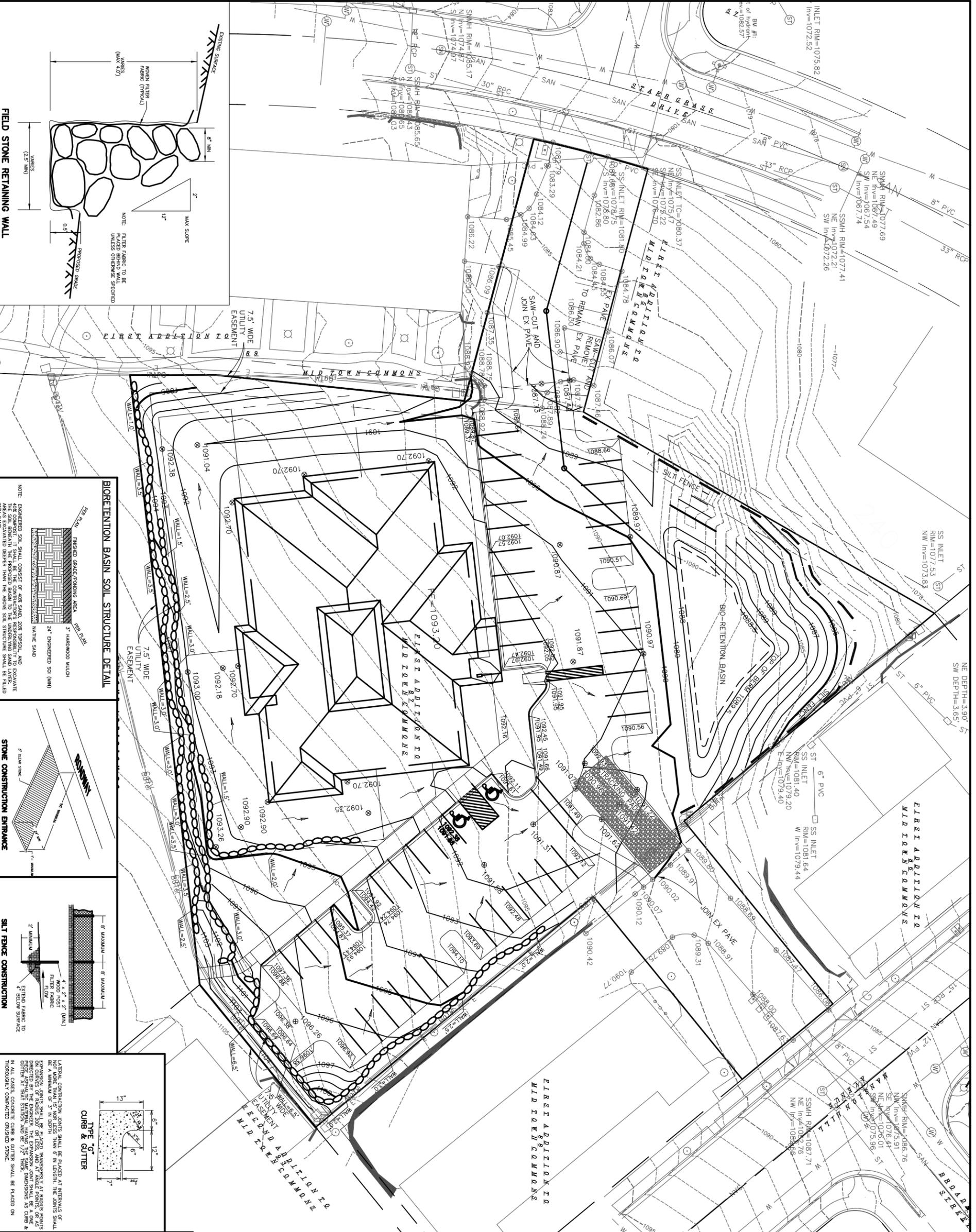
Species	Date	Rate (ibs./ac.)	Proportion %	Purity %	Germination %
Oats	5/1 - 7/15	20	100	97	90
Oats	7/15 - 10/15	96	100	97	90
Regreen Sterile Wheat Hybrid	5/1 - 7/15 10/1 - 11/15	10	100	97	90
Winter Wheat or Rye Grain	10/15 - 11/15	87	100	97	90

3. **Infiltration Seed Mix.** Seed shall be native ecotypes. No improved varieties are allowed. Seed source shall be native ecotypes from Southeast Minnesota, Eastern Iowa, Southern Wisconsin, or Northern Illinois.

VARIETY	% BY WT.
FORBS (22.75%)	
Aster novae-angliae (New England Aster)	1.31
Cassia Hebecarpa (Wild Senna)	3.27
Eupatorium maculatum (Joe Pye Weed)	1.31
Helenium Autumnale (Sneezeweed)	1.31
Liatris pycnostachya (Prairie Blazing Star)	2.62
Lobelia Siphilitica (Great Blue Lobelia)	0.82
Pedicularis lanceolata (Marsh Betony)	1.31
Rudbeckia hirta (Black-eyed Susan)	1.31
Rudbeckia triloba (Brown-eyed Susan)	2.62
Silphium perforliatum (Cup Plant)	1.64
Solidago riddellii (Riddell's Goldenrod)	1.31
Verbena hastata (Blue Vervain)	0.65
Vernonia fasciculata (Common Ironweed)	1.31
Zizia aurea (Golden Alexanders)	1.96
GRASSES, SEDGES & RUSHES (77.25%)	
Andropogon Gerardii (Big Bluestem PLS)	52.37
Elymus Canadensis (Canada Wild Rye PLS)	10.47
Elymus virginicus (Virginia Wild Rye PLS)	10.47
Panicum virgatum (Switch Grass PLS)	2.62
Scirpus atrovirens (Dark-green Bulrush)	1.31

4. **Detention Basin Seed Mix.** Seed shall be native ecotypes. No improved varieties are allowed. Seed source shall be native ecotypes from Southeast Minnesota, Eastern Iowa, Southern Wisconsin, or Northern Illinois.

VARIETY	% BY WT.
FORBS (42.86%)	
Sweet Flag	1.43
Mud Plantain	.71
Nodding Onion	1.43
Canada Anemone	.36
Swamp Milkweed	5.00



LEGEND:

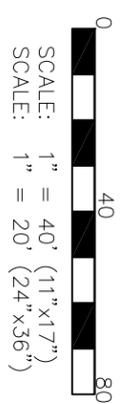
- ⊗ 900.00 = PROPOSED SPOT ELEVATION
- ⊗ 900.0 = EXISTING SPOT ELEVATION
- = RETAINING WALL
- = STONE CONSTRUCTION ENTRANCE
- |—|— = SILT FENCE
- = DIRECTION OF FLOW

GENERAL NOTES:
 STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS AND MAINTAINED UNTIL GRAVEL BASE IS INSTALLED.
 SILT FENCE AND ALL OTHER EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS AND MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE OF THIS PROJECT.
 TRACKED MATERIAL TO ADJACENT STREETS SHALL BE COLLECTED AT THE END OF EACH WORK DAY OR AS REQUIRED BY THE VILLAGE OF COTTAGE GROVE.
 BIO-RETENTION BASINS SHALL BE EXCAVATED AND USED AS SEDIMENT TRAPS DURING CONSTRUCTION. UPON COMPLETION OF CONSTRUCTION AND SITE STABILIZATION, THE BASINS SHALL BE OVER-EXCAVATED 2 FEET (OR UNTIL THE NATIVE SANDY SOIL IS REACHED) IN ORDER TO ALLOW FOR FERTILIZER APPLICATION. THE RECOMMENDED FERTILIZER SHALL BE 10-10-10 (N-P-K) WITH 3 INCHES OF HARDWOOD MULCH TO BE APPLIED ON TOP OF THE ENGINEERED SOIL.
 ALL AREAS WHICH ARE NOT PAVED SHALL RECEIVE A MINIMUM OF 4\"/>

MULCH SHOULD BE APPLIED SO THAT THE SOIL SURFACE IS FULLY COVERED. MULCH SHOULD BE APPLIED AT A RATE OF FOUR POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 10% (ORGANIC); PHOSPHORUS, NOT LESS THAN 10% (ORGANIC); POTASSIUM, NOT LESS THAN 10% (ORGANIC). FERTILIZER SHOULD BE APPLIED AT THE RATE OF SEVEN POUNDS PER 1,000 SQUARE FEET.
 PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER HOUR. A CLOTH/WASH SOCK SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.
 ALL EROSION AND SEDIMENT CONTROL MEASURES AND STRUCTURES SHALL BE MAINTAINED AND REPAIRED AS NECESSARY. NECESSARY MAINTENANCE SHALL FOLLOW WITHIN 24 HOURS OF THE INSPECTION.
 FOR THE FIRST SIX WEEKS AFTER THE INITIAL STABILIZATION OF A DISTURBED AREA, PROVISIONS SHALL BE MADE FOR WATERING WHENEVER MORE THAN SEVEN DAYS OF DRY WEATHER ELAPSE. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND REPAIRED BY THE CONTRACTOR, IF NECESSARY, EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT OF 0.5\"/>

INSTALL EROSION CONTROL MEASURES:
 BEGIN CONSTRUCTION:
 GRAVEL BASE COURSE INSTALLATION COMPLETED:
 NOTE: AN EROSION CONTROL PERMIT EXTENSION SHALL BE FILED WITH THE CITY OF MADISON PRIOR TO THE GRAVEL BASE COURSE INSTALLATION DATE INDICATED ABOVE. IF THIS DATE WILL NOT BE MET, THE CONTRACTOR SHALL NOTIFY AN ENGINEER IF AN EXTENSION IS NECESSARY.
 DEVELOPER SHALL REPAIR/REPLACE ANY SIDEWALK, CURB, OR PAVEMENT DAMAGED DURING CONSTRUCTION OR AS DETERMINED NECESSARY BY THE CITY ENGINEER.

TYPE "G" CURB & GUTTER
 LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF 8' MAXIMUM. JOINTS SHALL BE A MINIMUM OF 3\"/>



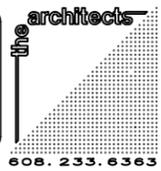
DATE: 09-30-08

REVISIONS:
 10-20-08

Calkins Engineering, LLC
 5010 Voges Road
 Madison, WI 53718
 (608) 838-0444

**PRAIRIE LIFE LEARNING CENTER
 GRADING AND EROSION CONTROL PLAN**

Calkins Engineering, LLC
 Civil Engineers & Land Surveyors

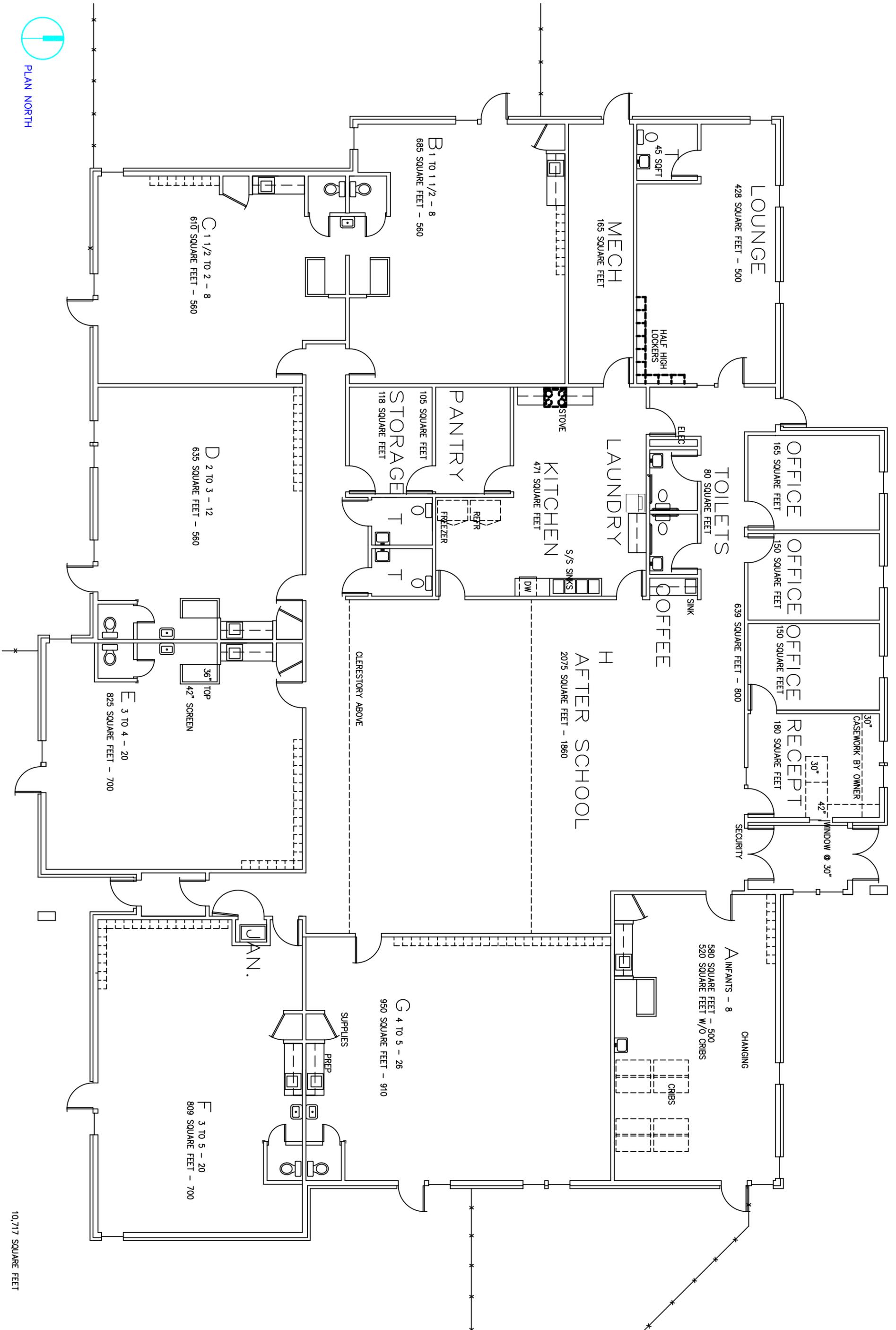


Owner: L87, LLC.
 625 North Segoe Road
 Suite 101
 Madison Wisconsin 53705

Midtowne Commons Daycare
 Lot 87
 8133 Mansion Hill Avenue
 Madison Wisconsin 53711

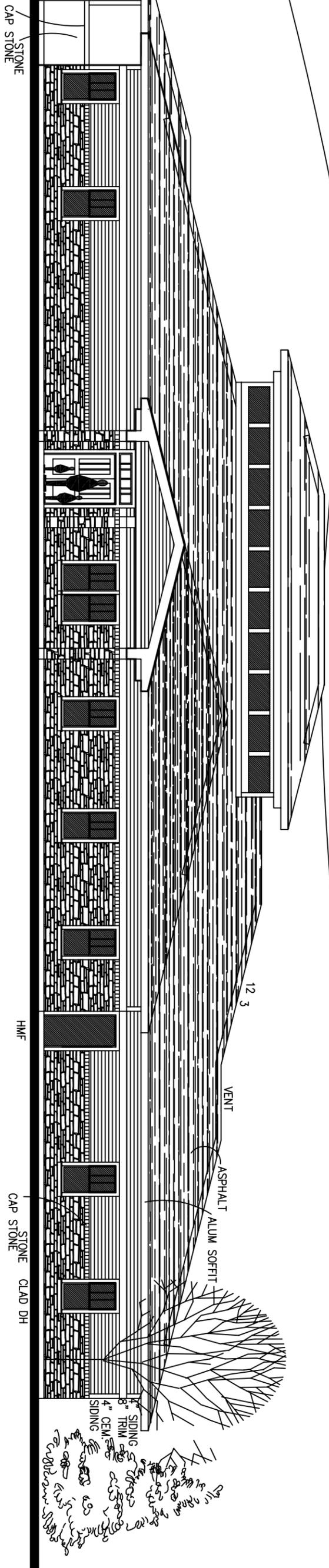
Floor Plan
 SCALE: 1" = 10' - 0"

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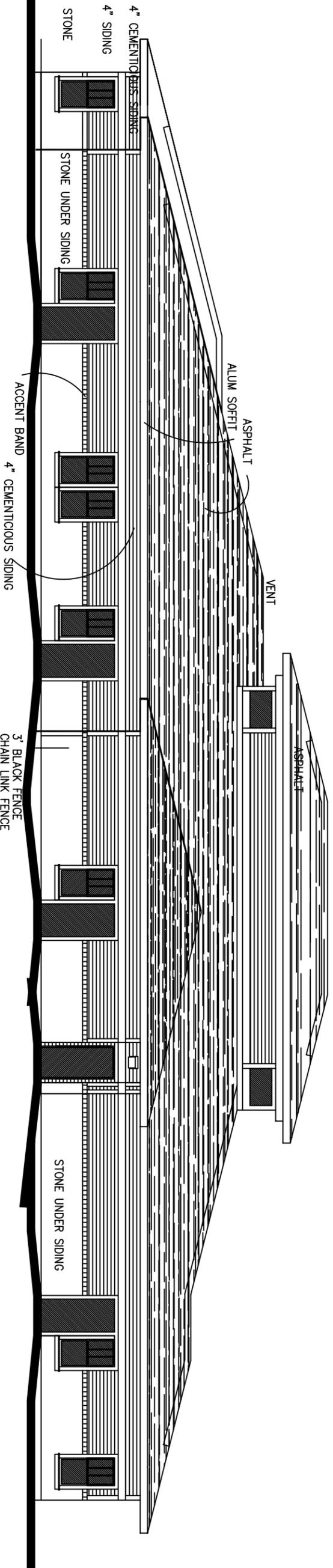
10,717 SQUARE FEET

FRONT ELEVATION



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REAR ELEVATION

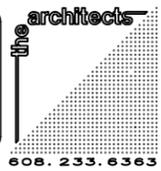


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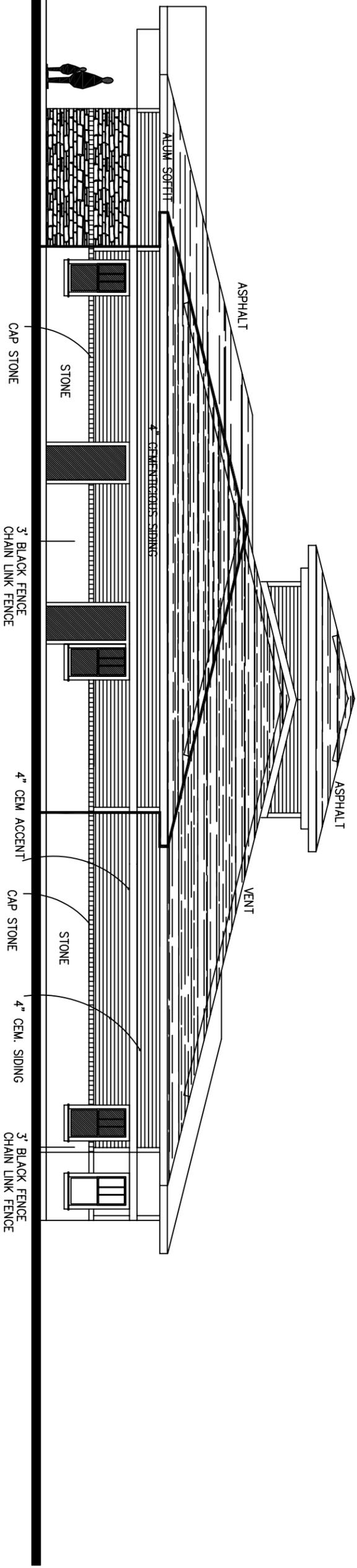
Elevation
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 Madison Wisconsin 53711

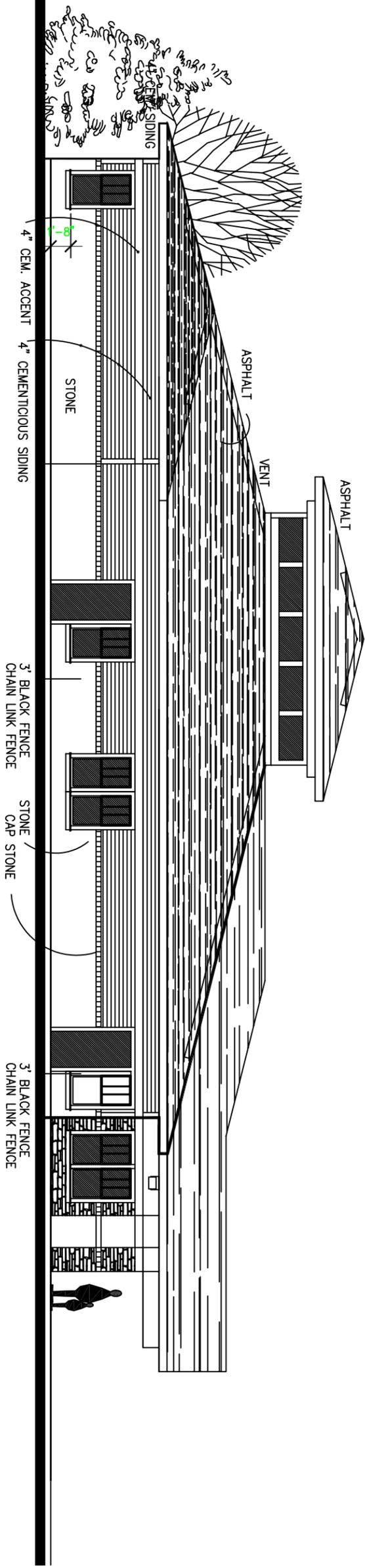
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 Madison Wisconsin 53705



R I G H T S I D E E L E V A T I O N



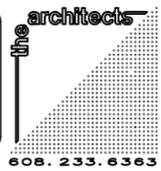
L E F T S I D E E L E V A T I O N



Side Elevation
 SCALE: 1" = 10' - 0"

Midtowne Commons Daycare
 Lot 87
 8133 Mansion Hill Avenue
 Madison Wisconsin 53711

Owner: L87, LLC.
 625 North Segoe Road
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